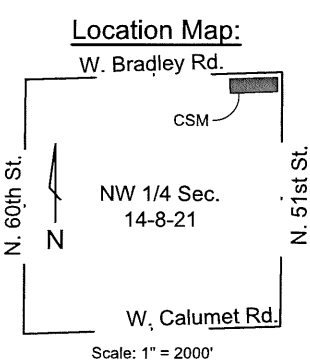
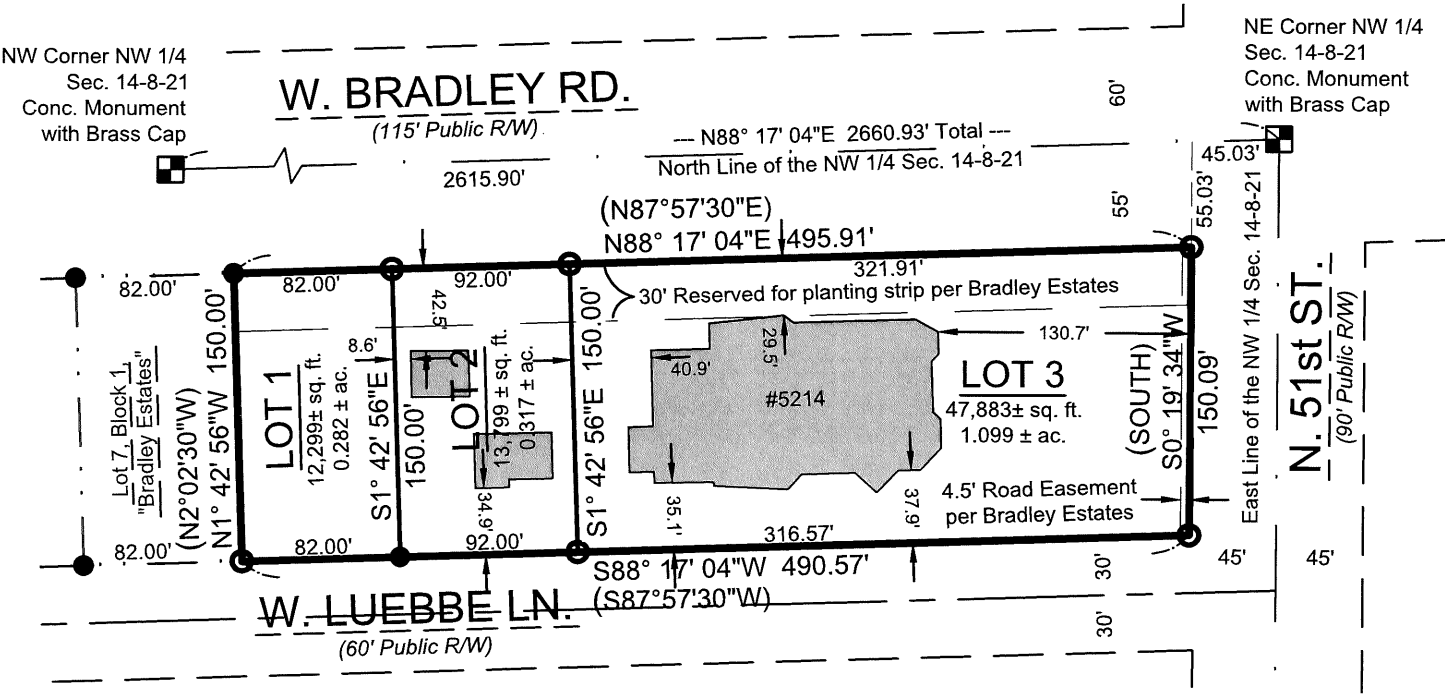


DCD#3484

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.



**LEGEND & NOTES:**

- INDICATES SET 1" DIAM. IRON PIPE, 18" LONG WEIGHING 1.68 LBS/LIN. FT.
- INDICATES FOUND IRON PIPE

COORDINATES & BEARINGS REFERENCED THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE WITH THE NORTH LINE OF THE NW. 1/4 OF SEC. 14-8-21, ASSUMED TO BEAR N88°17'04"E, AS PUBLISHED BY SEWRPC, NAD83-2011.

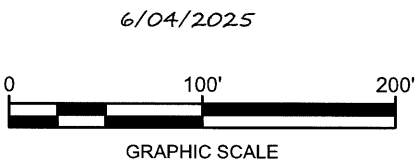


**THE SIGMA GROUP**  
Single Source. Sound Solutions.  
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Phone: 414-643-4200  
Fax: 414-643-4210

Addresses:  
5214-5224 W Luebbe Ln.  
Milwaukee, WI 53223

Prepared for:  
City of Praise Inc.  
c/o Pastor Willie Fola Ojo  
5214 W Luebbe Ln.  
Milwaukee, WI 53223

Zoning: RS3  
Tax ID # 0840001000



PROJECT NUMBER 23958 DRAFTED BY JGS

Sheet 1 of 5

INFRASTRUCTURE SERVICES DIVISION	
6/11/2025	
CENTRAL DRAFTING & RECORDS MANAGER	
6.10.25	
ENGR. IN CHARGE	ENVIRON. ENGR.
CORRECT	
6/13/2025	
CITY ENGINEER	
APPROVED	

DEPARTMENT OF CITY DEVELOPMENT  
CITY OF MILWAUKEE

MAY 15 2025

STAFF APPROVED

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, James G. Schneider, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped the following parcel of land:

Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

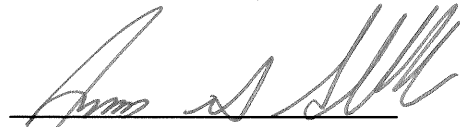
Commencing at the Northeast corner of the Northwest 1/4 of said Section 14; thence S88°17'04"W along the North line of said Section 14, 45.03 feet to the Northerly extension of the West Right of Way line of North 51st Street; thence S0°19'34"W along said West Right of Way line, 55.03 feet to the Northeast corner of Lot 1 in Block 1 of Bradley Estates, and the point of beginning of the lands to be described; thence continuing S0°19'34"W along said West Right of Way line, 150.09 feet to the Southeast corner of Lot 1 in Block 1 of Bradley Estates; thence S88°17'04"W along the South line of said Block 1, 490.57 feet to the Southwest corner of Lot 6 in Block 1 of Bradley Estates; thence N1°42'56"W along the West line of said Lot 6, 150.00 feet to the Northwest corner of said Lot 6; thence N88°17'04"E along the North line of said Block 1, 495.91 feet to the point of beginning.

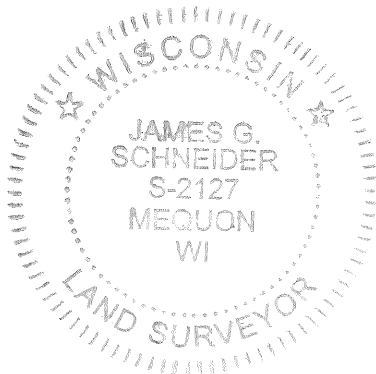
Said lands containing 73,981 sq. ft. / 1.698 acres of land, more or less.

That I have made such survey, land division, and plat at the direction of City of Praise Inc., OWNER of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have complied with, Chapter 236.34 of the Wisconsin Statutes and the City of Milwaukee Municipal Code in surveying and mapping the same.

  
James G. Schneider S-2127



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

## ENTITY OWNER'S CERTIFICATE

City of Praise, Inc., a corporation duly organized and existing under and by virtue of the laws of the state of Wisconsin, as owner, certifies that said entity caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 119 of the Milwaukee Code of Ordinances.

In consideration of the approval of the map by the Milwaukee Common Council, the undersigned agrees:

A. That all utility lines to provide electric power and telephone services and cable television or communications systems lines or cables to all lots in the certified survey map, other than already exiting lines and cables shall be installed underground in easements provided therefor, where feasible.

This agreement shall be binding on the undersigned and assigns.

Date: 12/6/2025

Willie Fola Ojo

Signature: [Handwritten Signature]

Print Name: Fola Williams Ojo

Title: Senior Pastor

State of Wisconsin)

)ss

Milwaukee County)

Personally came before me this 6 day of June, 20 25, Fola Williams Ojo (name),

the owner-REP (title) of the above named entity, to me known to be the person who executed the foregoing instrument,

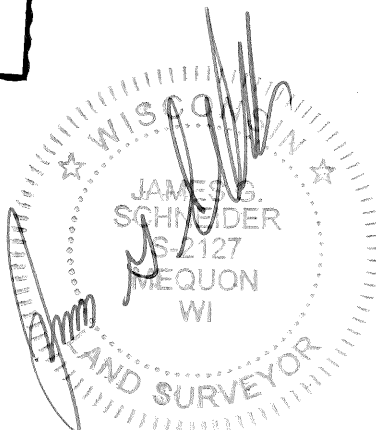
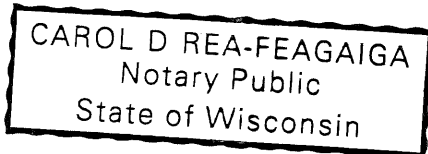
and acknowledged that he/she executed the foregoing instrument as such office on behalf of the entity by its authority.

Notary signature [Handwritten Signature]

Print Notary name Carol D Rea-Feagaiga

Notary Public, State of Wisconsin. My commission expires: 5/5/2026

(Notary Seal)



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_


A Redivision of Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

## CONSENT OF ENTITY MORTGAGEE

WATERSTONE BANK, a bank duly organized and existing under and by virtue of the laws of the State of Wisconsin, as mortgagee of the above described land, consents to the surveying, dividing, mapping, restricting and dedication of the land described on this Certified Survey Map and in the surveyor's certificate, and to the certificate of the owner(s) of said land.

Date: 6/6/2025

Waterstone Bank

Signature: 

Print Name: Ryan Gordon

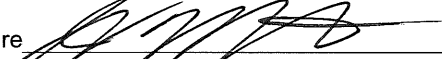
Title: EVP - Chief Credit Officer

State of Wisconsin)

)ss

Milwaukee County)

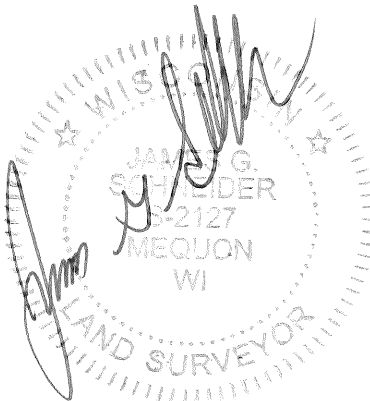
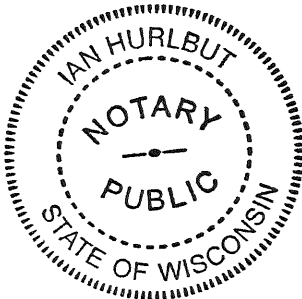
Personally came before me this 6 day of June, 20 25, Ryan Gordon (name),  
the EVP (title) of the above named entity, to me known to be the person who executed the foregoing instrument, and  
acknowledged that he/she executed the foregoing instrument as such office on behalf of the entity by its authority.

Notary signature 

Print Notary name Ian Hurlbut

Notary Public, State of W: My commission expires: 7/16/2028

(Notary Seal)



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Lots 1, 2, 3, 4, 5, and 6, in Block 1, in "Bradley Estates", in the Northeast 1/4 of the Northwest 1/4 of Section 14, Township 8 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

## CERTIFICATE OF CITY TREASURER

I, Spencer Coggs, being the duly elected and acting City Treasurer of the City of Milwaukee, certify that in accordance with the records in the office of the City Treasurer of the City of Milwaukee there are no unpaid taxes or unpaid special assessments on the land included in this certified survey map.

Per Wis. Stat. 75.06 and 74.87, the City of Milwaukee collects property taxes and enforces nonpayment of same on parcels in the City of Milwaukee. Per Wis. Stat. 74.83, the City of Milwaukee and Milwaukee County entered into an Intergovernmental Cooperation Agreement approved by Council Resolution 901408, whereby the city is the sole collector and enforcer of property taxes for parcels in the city.

Date: 7/24/2025  
Signature: LaQuisha Schroeder  
Name: Spencer Coggs LaQuisha Schroeder  
(City Treasurer) Deputy City Treasurer

## CERTIFICATE OF CITY CLERK REGARDING COMMON COUNCIL APPROVAL

I certify that this certified survey map was approved under Resolution File No. \_\_\_\_\_, adopted by the Common Council of the City of Milwaukee on \_\_\_\_\_.

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: James Owczarski  
(City Clerk)

