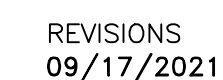


4369 NORTH 26TH STREET  
MILWAUKEE, WI 53209

ARCHITECT:  
KEITH SCHULTZ, ALA



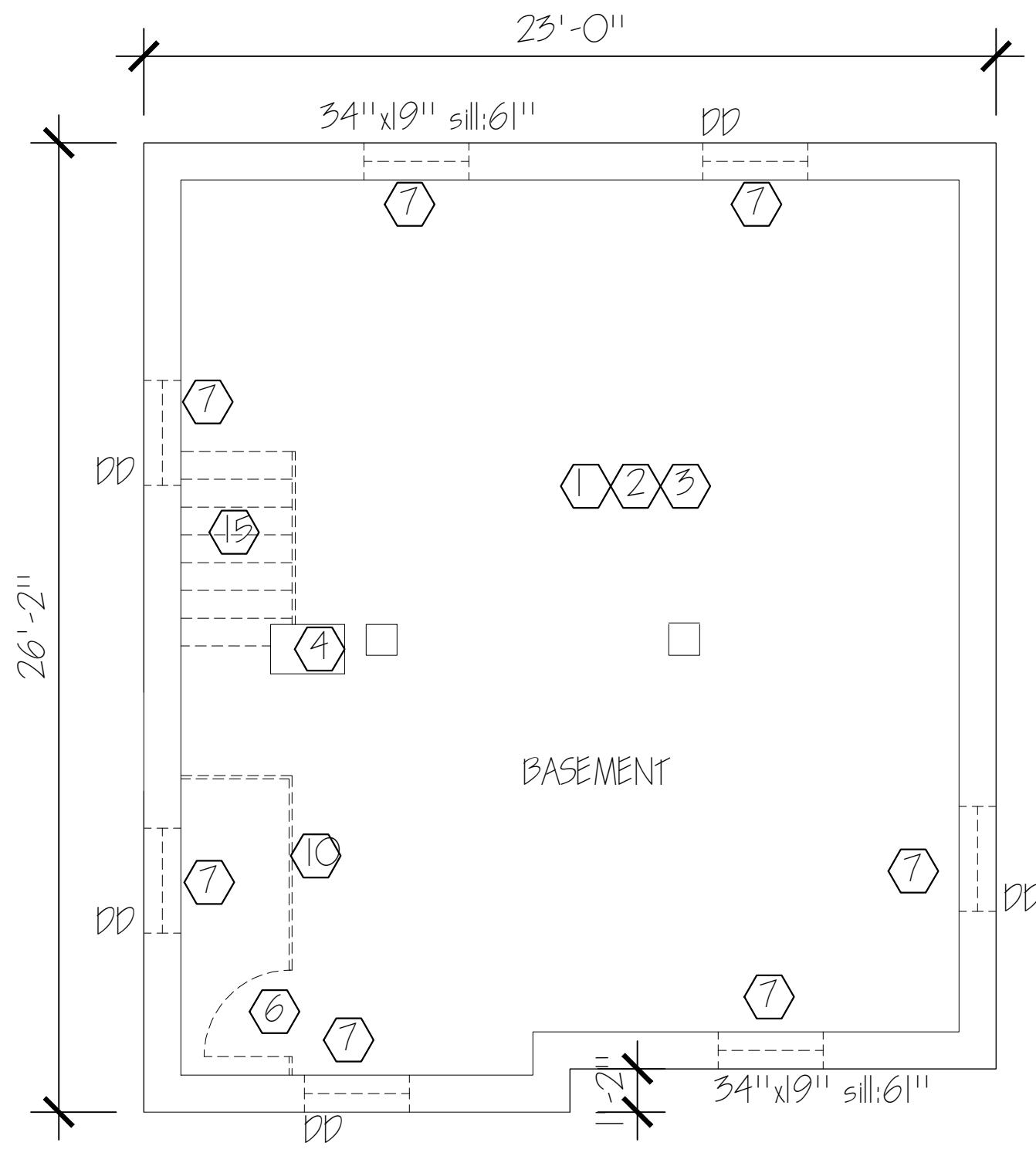
SHEET  
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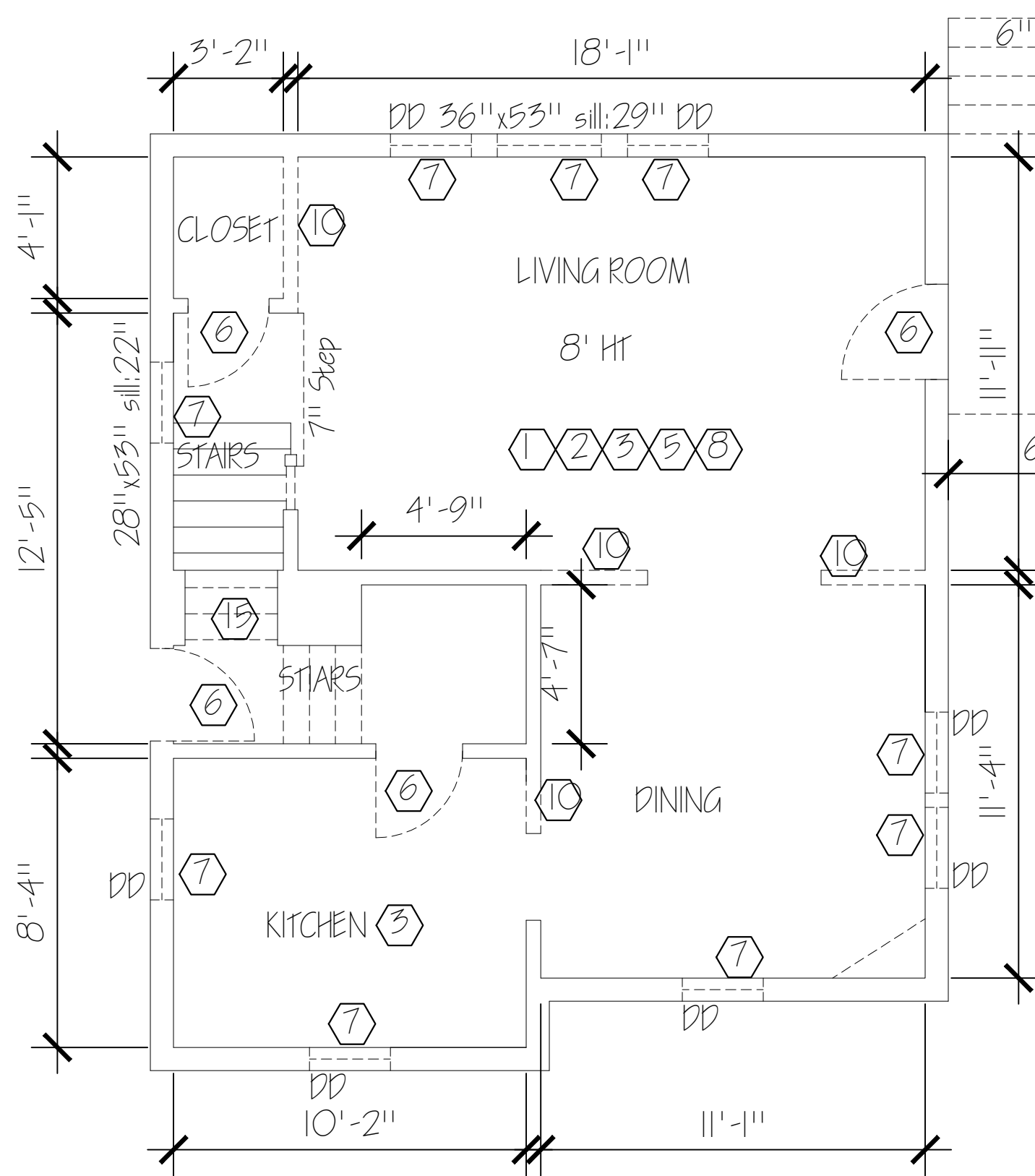


GENERAL DEMOLITION NOTES:

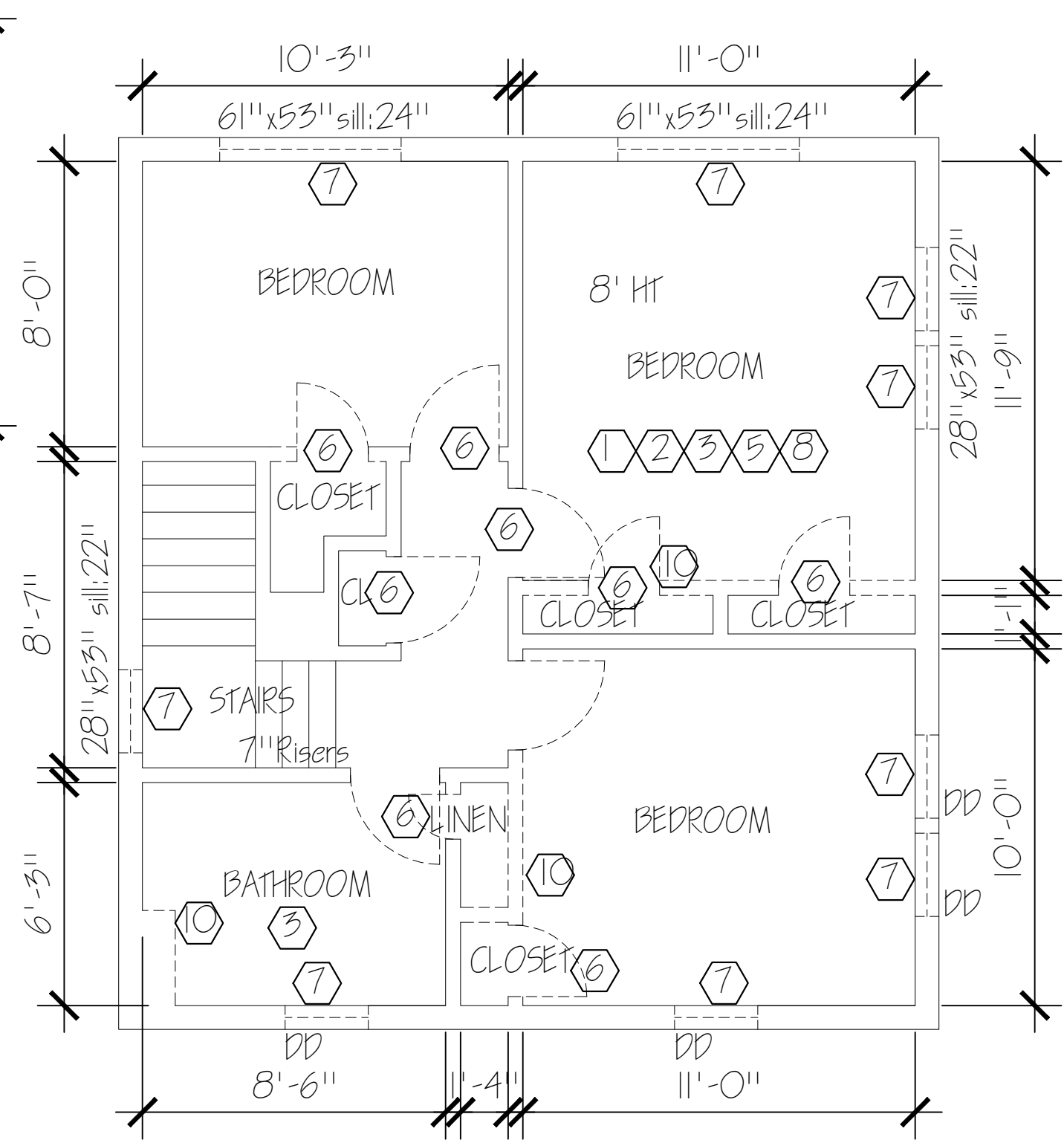
1. REMOVE ALL EXISTING ELECTRICAL - TERMINATE OUTLETS, SWITCHES, WIRING - CAP PROPERLY
2. REMOVE ALL EXISTING DUCTWORK AND MECHANICAL UNITS AND ALL ASSOCIATE HVAC EQUIPMENT
3. REMOVE ALL EXISTING PLUMBING FIXTURES, PIPING AND ALL EXISTING ASSOCIATED FITTINGS AND PLUMBING MATERIALS - PROPERLY CAP ACCORDING TO CODE.
4. EXISTING CHIMNEY TO REMAIN.
5. REMOVE EXISTING FLOORING DOWN TO WOOD FLOOR OR EXISTING WOOD SUB-FLOOR ON ALL FLOORS.
6. REMOVE ALL EXISTING DOORS AND DOOR FRAMES
7. REMOVE EXISTING WINDOWS
8. STRIP ALL EXISTING WALLS AND CEILINGS OF PLASTER, DRYWALL AND LATH DOWN TO THE BARE STUDS.
9. REMOVE EXISTING FRONT PORCH, DECK, STEPS AND RAILINGS.
10. REMOVE EXISTING WALLS AS NOTED
11. CUT OPENING INTO EXISTING WALL AS NOTED
12. REMOVE ALL EXISTING EXTERIOR SIDING AND TRIM TO STUDS
13. REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO EXISTING ROOF SUBSTRATE.
14. REMOVE ALL EXISTING HANDRAIL ON PORCH  
REMOVE EXISTING ROOFING AND DECKING.
15. REMOVE REAR STAIRS TO THE BASEMENT AND FIRST FLOOR



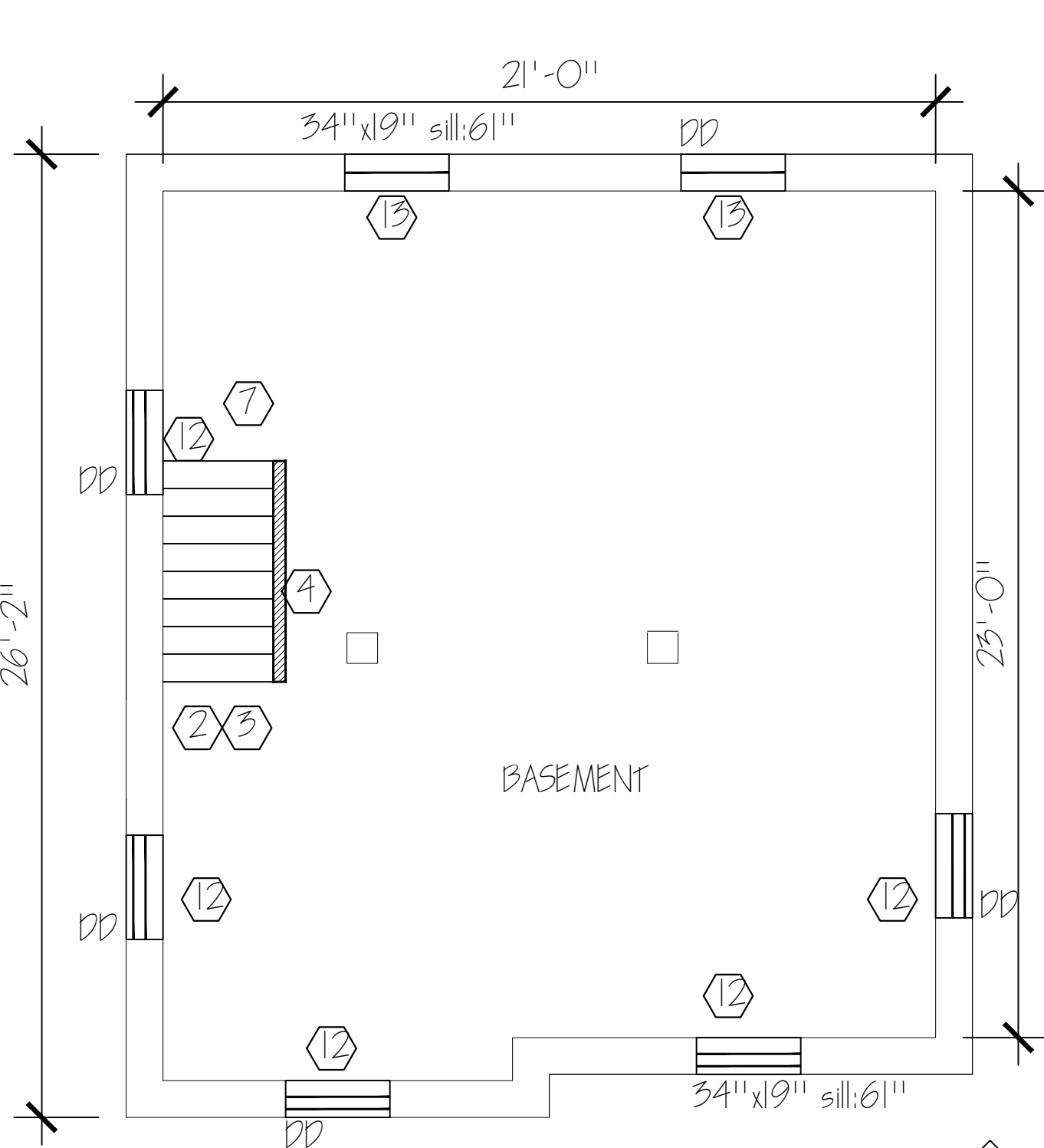
1 BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



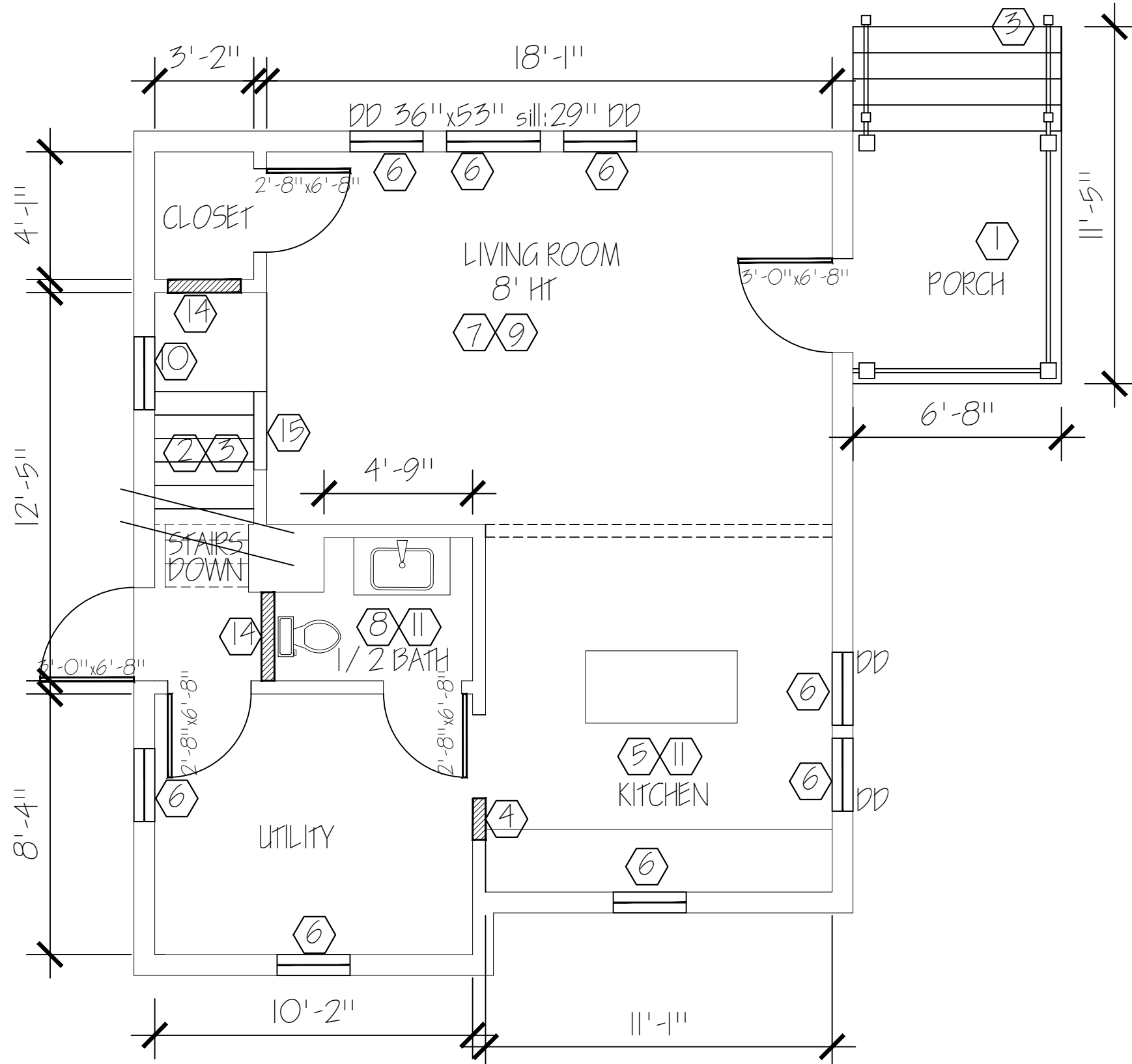
2 FIRST FLOOR  
SCALE: 1/4" = 1'-0"



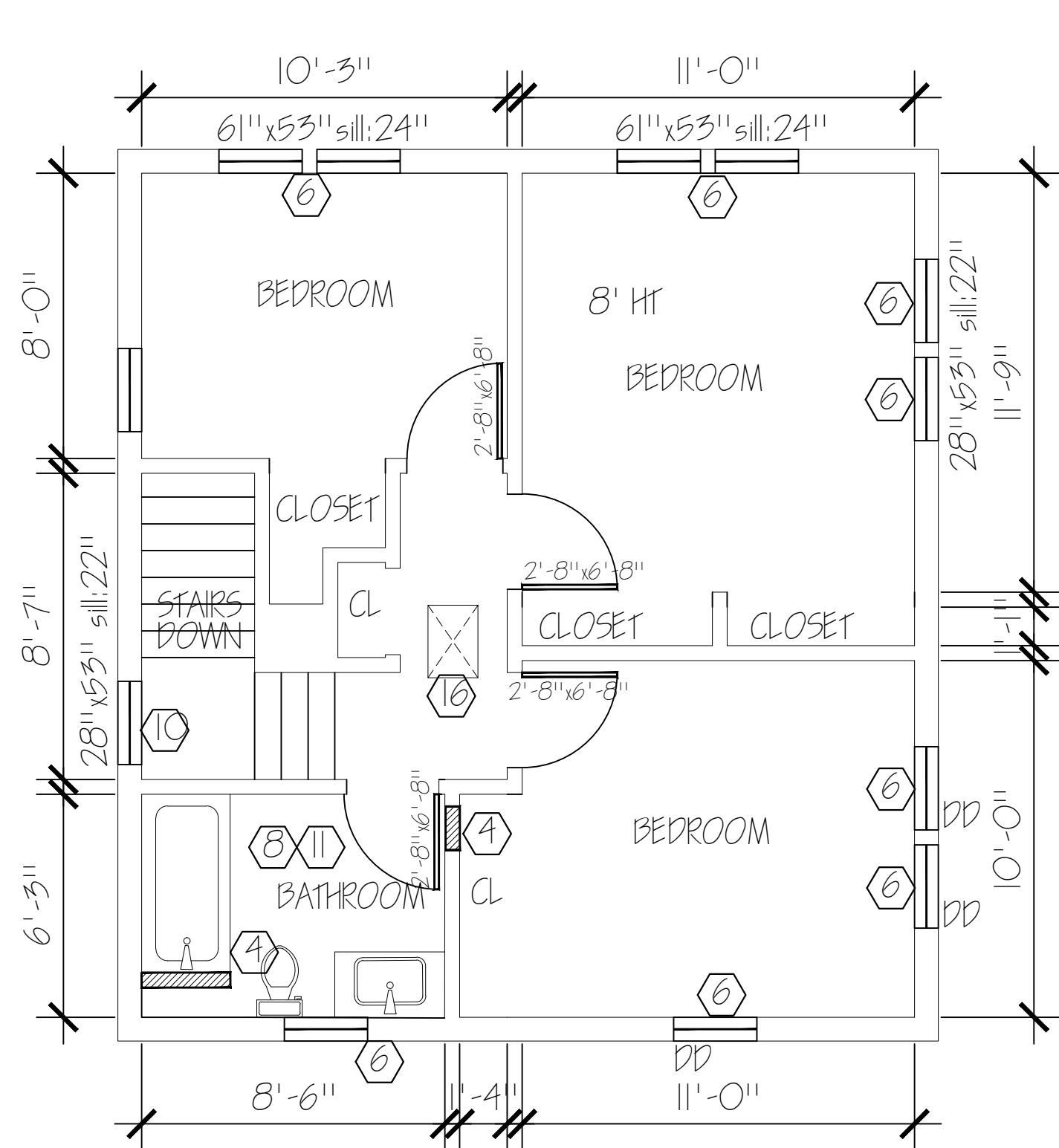
3 SECOND FLOOR  
SCALE: 1/4" = 1'-0"



1 BASEMENT ALTERATION  
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR ALTERATION  
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR ALTERATION  
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

1. CONSTRUCT NEW PORCH. HANDRAILS  
USE TREATED MATERIALS; PRIME AND PAINT
2. CONSTRUCT NEW STAIRS TO MEET UDC REQUIREMENTS  
RESIDENTIAL CODE. RISERS AT 8"; RUN 9" MINIMUM
3. FURNISH AND INSTALL NEW HANDRAILS IN STAIRS  
HAND RAILS TO COMPLY WITH SPS 321.04 (3)
4. NEW WALLS AS INDICATED
5. OWNER TO PROVIDE KITCHEN LAYOUT
6. NEW WINDOWS; U VALUE 0.35 Btu/ sq. ft  
U VALUE 0.56 Btu/ sq. ft.
7. FURNISH AND INSTALL SMOKE AND CO DETECTORS  
PER SPS 321.09 AND SPS 321.097. HARD  
WIRED WITH BATTERY BACK UP
8. FURNISH AND INSTALL BATHROOM  
EXHAUST PER SPS 323.02 (3) (d).
9. WALL AND CEILING INSULATION TO COMPLY WITH  
SE WI TO COMPLY WITH SE WI ALTERATIONS AND  
REMODELING GUIDELINES FOR PRE 1980 1 & 2  
FAMILY DWELLINGS (30.55 OF THE WI UBC)
10. PROVIDE SAFETY GLASS PER SPS 321.05 (3)
11. NEW PLUMBING FIXTURES
12. GLASS BLOCK WINDOW - RECESS 1" TO 2" FROM FACE OF WALL
13. NEW WINDOWS FOR STREET ELEVATION; FURNISH AND INSTALL  
BARS TO PROTECT WINDOWS - REFER TO ELEVATIONS
14. CLOSE UP EXISTING OPENING. MATCH WALL  
CONSTRUCTION AND FINISH
15. HALF WALL
16. NEW ATTIC SCUTTLE
17. NEW 2X6 OR 2X4 WALLS AS REQUIRED

GARDEN HOMES CORPORATION  
HOME RENOVATIONS

4369 NORTH 26TH STREET  
MILWAUKEE, WI 53209

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REVISIONS  
09/17/2021

PROJECT NO. 20027.00  
DATE 05/18/2021  
DRAWN BY BB/JS/LB  
CHECKED BY KS

SHEET CONTENTS

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