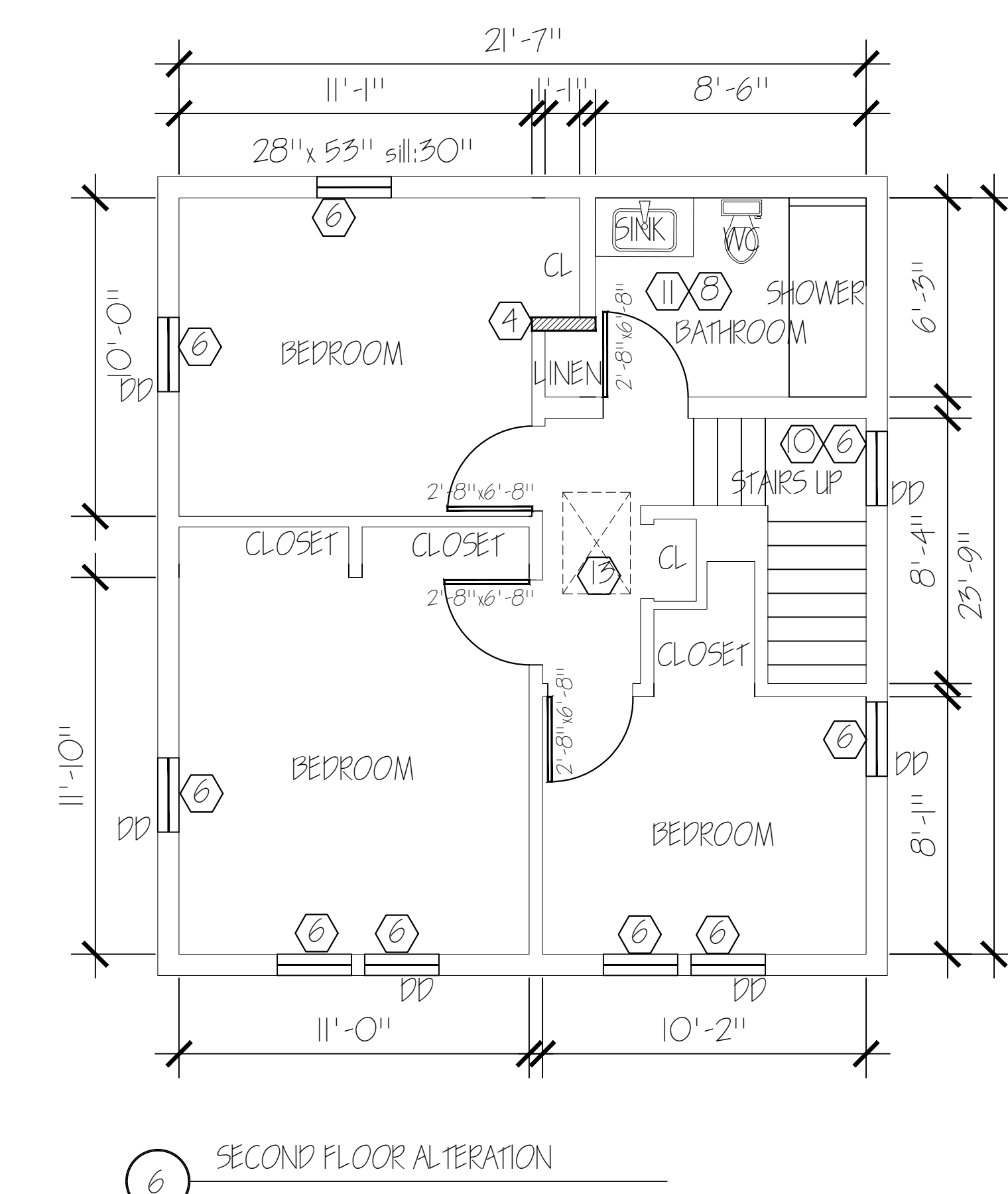
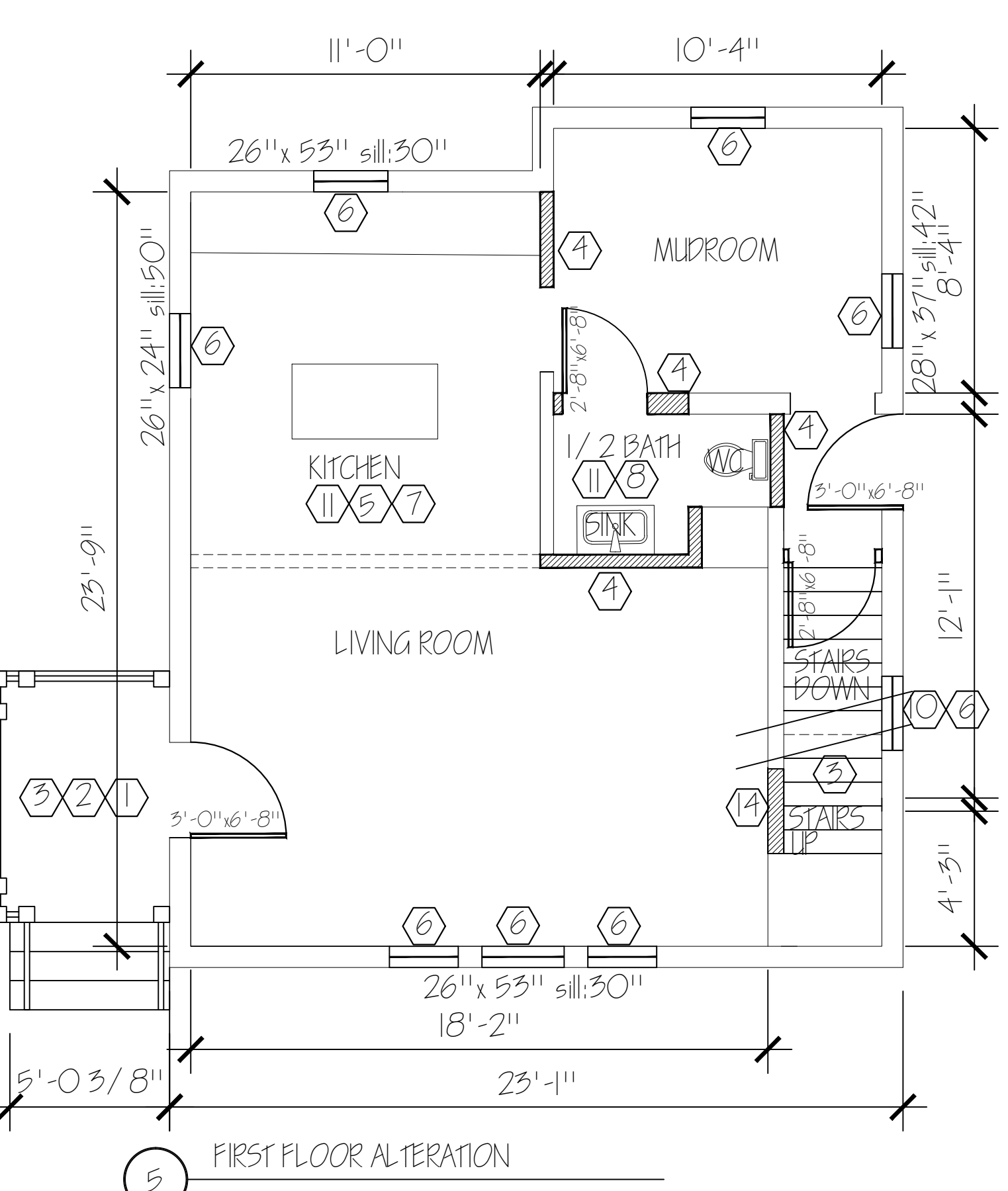
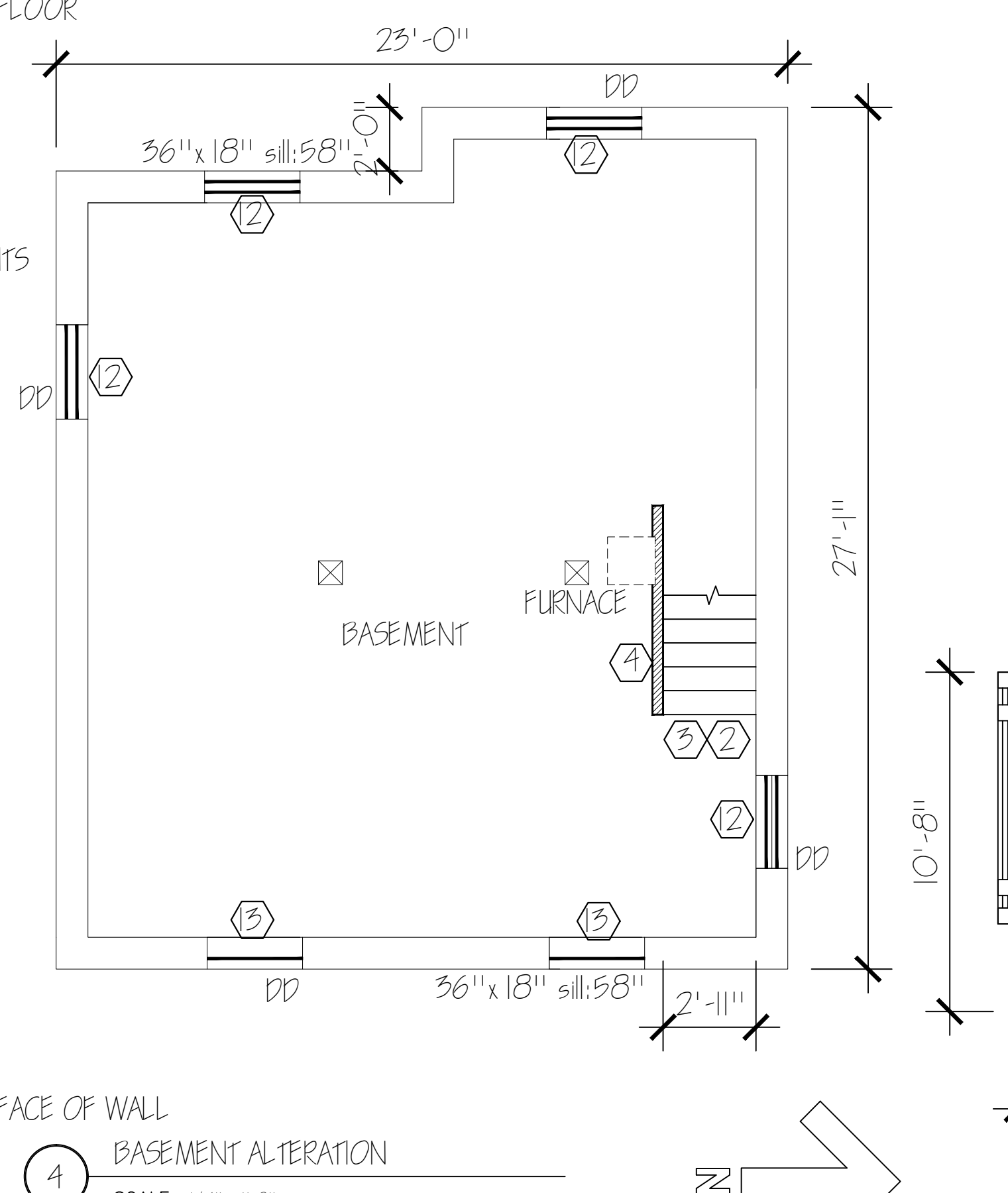
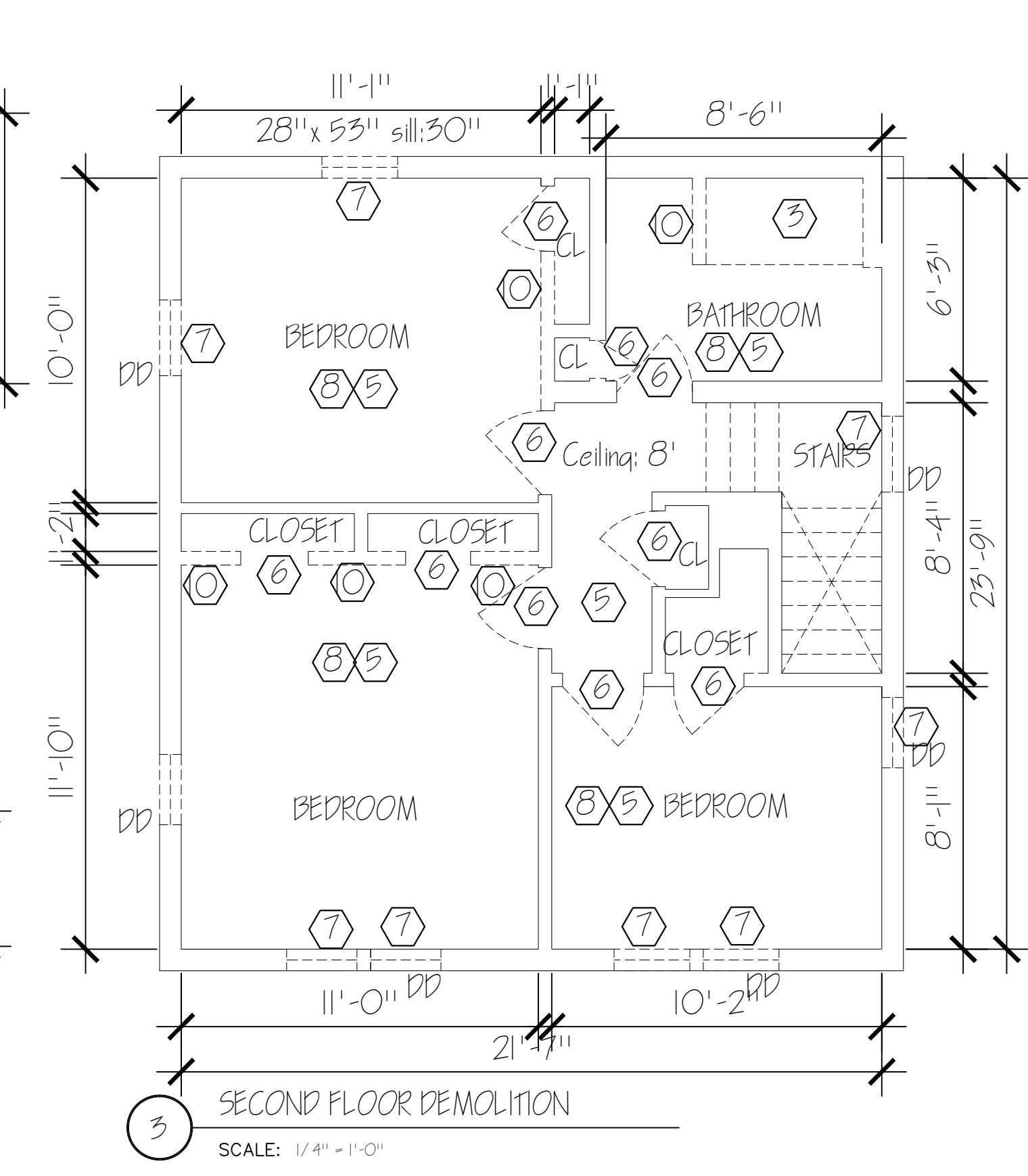
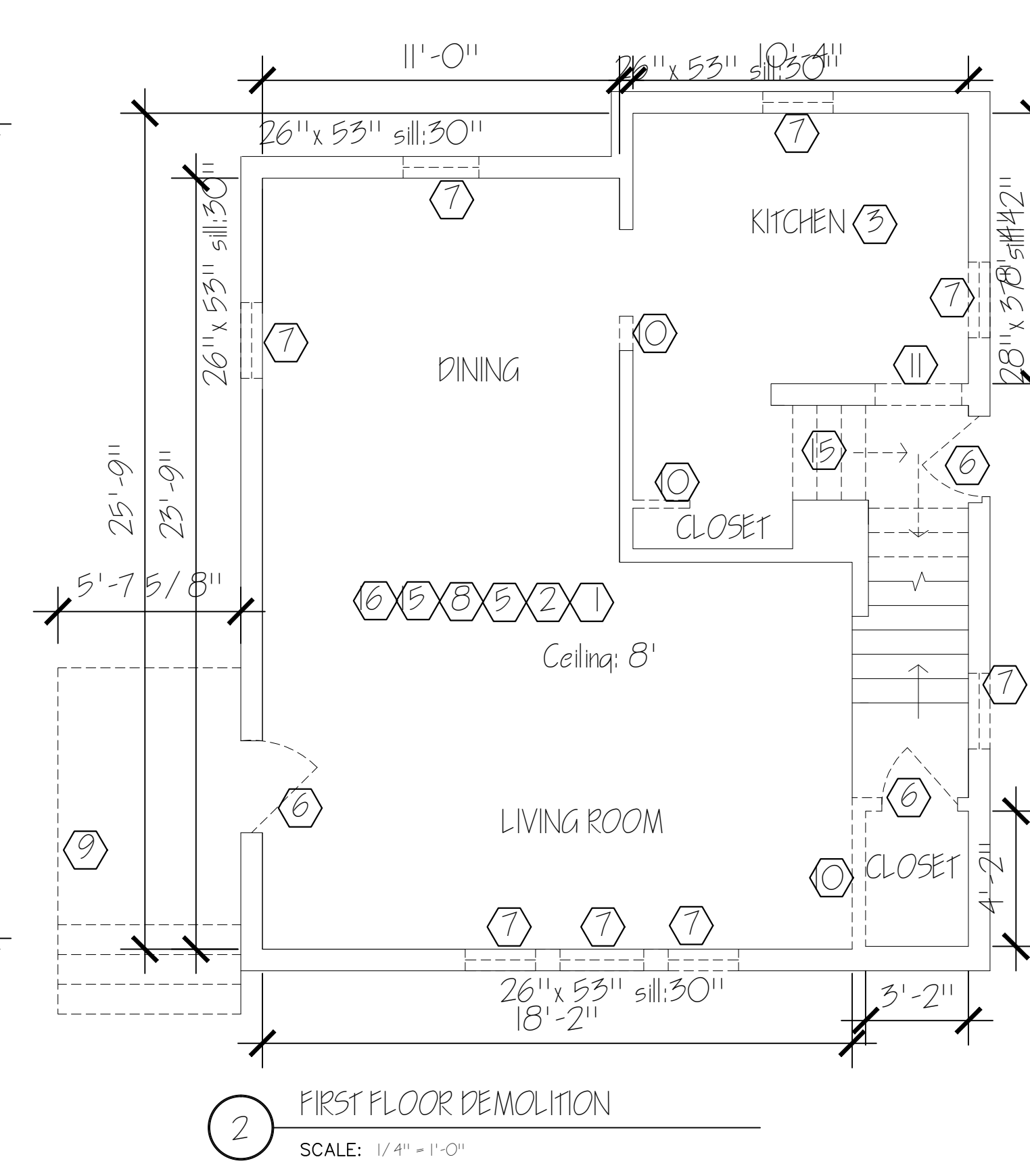
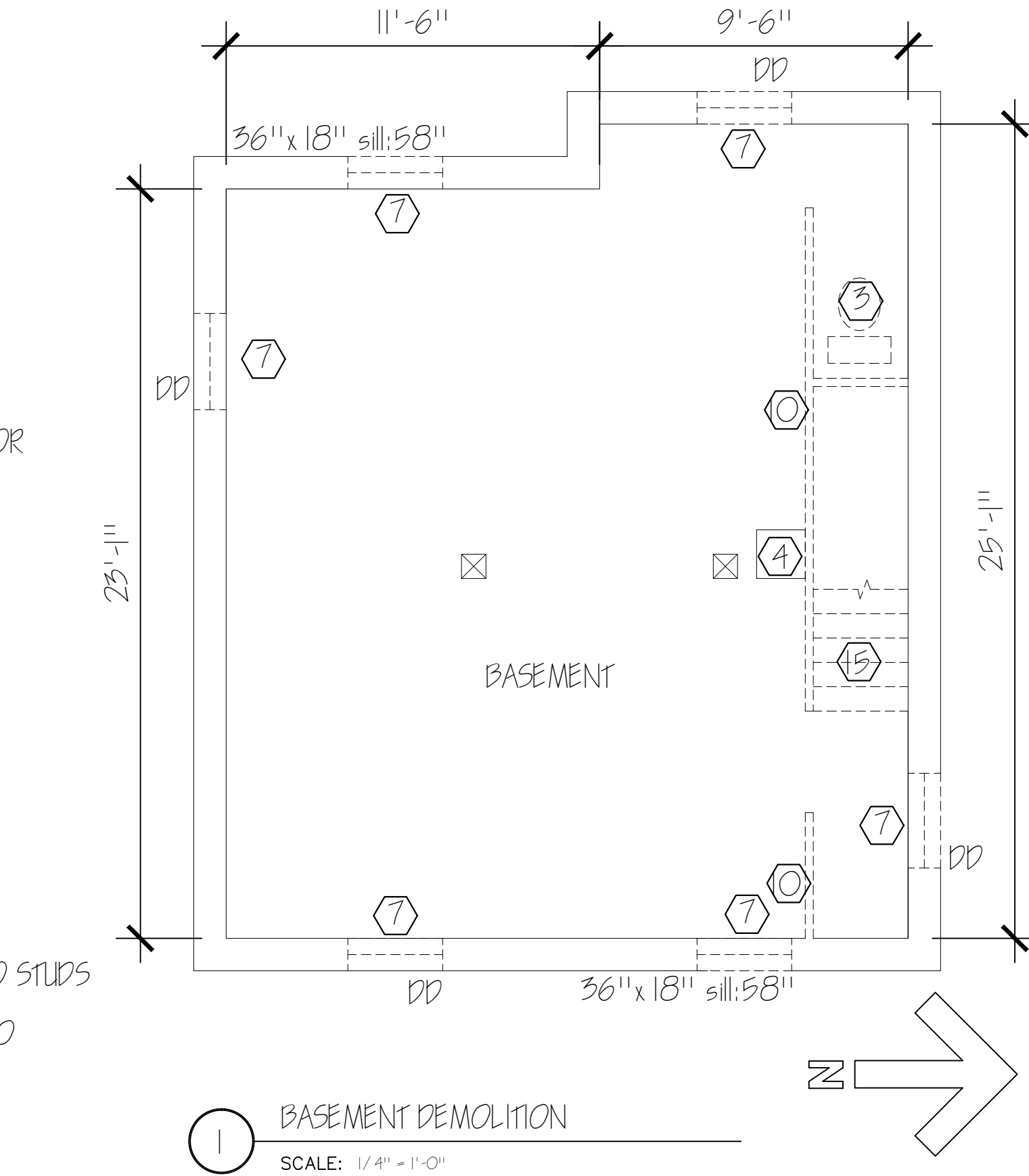


GENERAL DEMOLITION NOTES:

1. REMOVE ALL EXISTING ELECTRICAL - TERMINATE OUTLETS, SWITCHES, WIRING - CAP PROPERLY
2. REMOVE ALL EXISTING DUCTWORK AND MECHANICAL UNITS AND ALL ASSOCIATE HVAC EQUIPMENT
3. REMOVE ALL EXISTING PLUMBING FIXTURES, PIPING AND ALL EXISTING ASSOCIATED FITTINGS AND PLUMBING MATERIALS - PROPERLY CAP ACCORDING TO CODE.
4. EXISTING CHIMNEY TO REMAIN.
5. REMOVE EXISTING FLOORING DOWN TO WOOD FLOOR OR EXISTING WOOD SUB-FLOOR ON ALL FLOORS.
6. REMOVE ALL EXISTING DOORS AND DOOR FRAMES
7. REMOVE ALL EXISTING WINDOWS AS NOTED
8. STRIP ALL EXISTING WALLS AND CEILINGS OF PLASTER, DRYWALL AND LATH DOWN TO THE BARE STUDS.
9. REMOVE EXISTING FRONT PORCH, DECK, STEPS AND RAILINGS.
10. REMOVE EXISTING WALLS AS NOTED
11. CUT OPENING INTO EXISTING WALL AS NOTED
12. REMOVE ALL EXISTING EXTERIOR SIDING AND TRIM TO STUDS
13. REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO EXISTING ROOF SUBSTRATE.
14. REMOVE ALL EXISTING HANDRAIL ON PORCH REMOVE EXISTING ROOFING AND DECKING.
15. REMOVE REAR STAIRS TO THE BASEMENT AND FIRST FLOOR

CONSTRUCTION NOTES:

1. CONSTRUCT NEW PORCH. HANDRAILS USE TREATED MATERIALS; PRIME AND PAINT
2. CONSTRUCT NEW STAIRS TO MEET UDC REQUIREMENTS RESIDENTIAL CODE. RISERS AT 8"; RUN 9" MINIMUM
3. FURNISH AND INSTALL NEW HANDRAILS IN STAIRS HAND RAILS TO COMPLY WITH SPS 321.04 (3)
4. NEW WALLS AS INDICATED
5. OWNER TO PROVIDE KITCHEN LAYOUT
6. NEW WINDOWS; U VALUE 0.35 Btu/ sq. ft. U VALUE 0.56 Btu/ sq. ft.
7. FURNISH AND INSTALL SMOKE AND CO DETECTORS PER SPS 321.09 AND SPS 321.097. HARD WIRED WITH BATTERY BACK UP
8. FURNISH AND INSTALL BATHROOM EXHAUST PER SPS 323.02 (3) (d).
9. WALL AND CEILING INSULATION TO COMPLY WITH SE VI TO COMPLY WITH SE VI ALTERATIONS AND REMODELING GUIDELINES FOR PRE 1980 1 & 2 FAMILY DWELLINGS (30.55 OF THE WI UBC)
10. PROVIDE SAFETY GLASS PER SPS 321.05 (3)
11. NEW PLUMBING FIXTURES
12. GLASS BLOCK WINDOW - RECESS 1" TO 2" FROM FACE OF WALL
13. NEW WINDOWS FOR STREET ELEVATION; FURNISH AND INSTALL BARS TO PROTECT WINDOWS - REFER TO ELEVATIONS
14. CLOSE UP EXISTING OPENING. MATCH WALL CONSTRUCTION AND FINISH
15. FURNISH AND INSTALL NEW ATTIC SCUTTLE
- NEW 2X6 OR 2X4 WALLS AS REQUIRED



GARDEN HOMES CORPORATION
HOME RENOVATIONS

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KEITH SCHULTZ, ALA



REVISIONS
09/17/2021

PROJECT NO. 20027.00
DATE 05/23/2021
DRAWN BY BB/JS
CHECKED BY KS

SHEET CONTENTS
EXISTING AND REVISED
FLOOR PLANS

SHEET

A1.2

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