

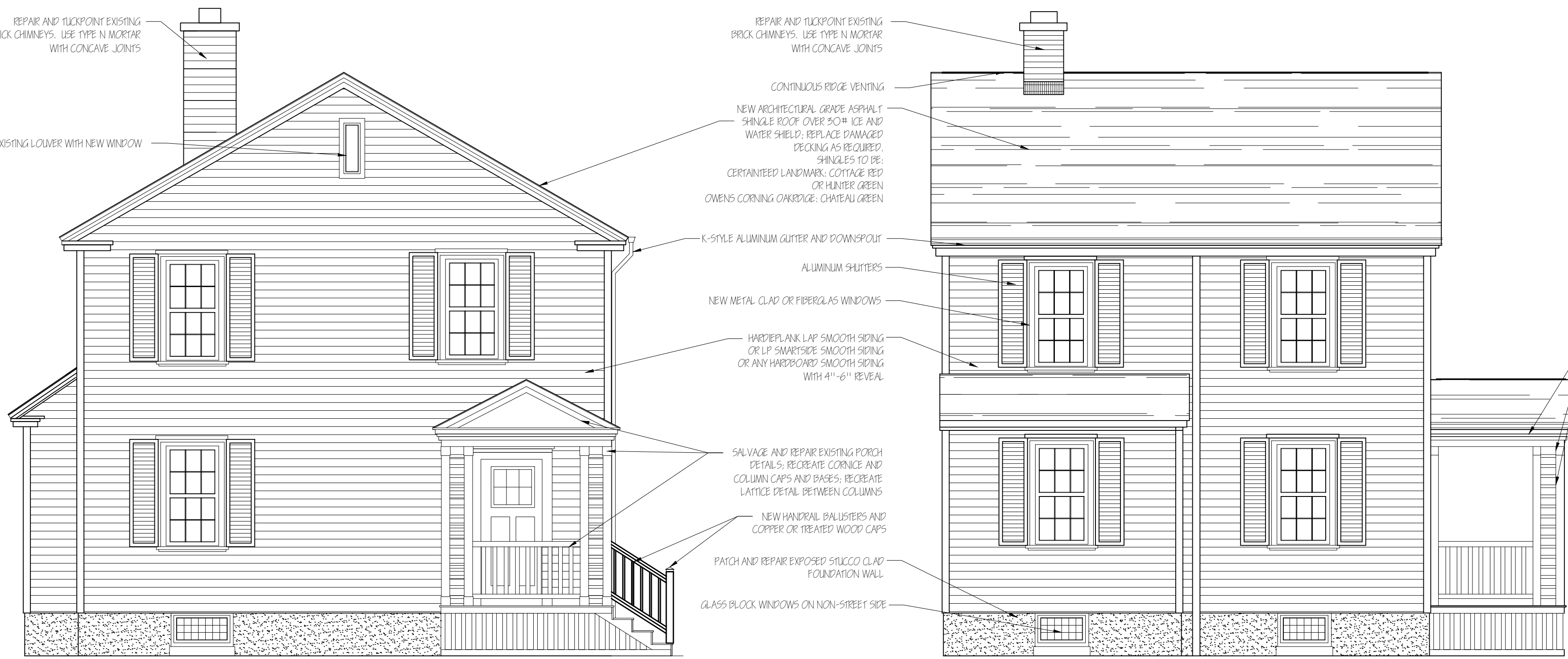
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
By Jacqueline Drayer at 1:23 pm, Oct 01, 2021

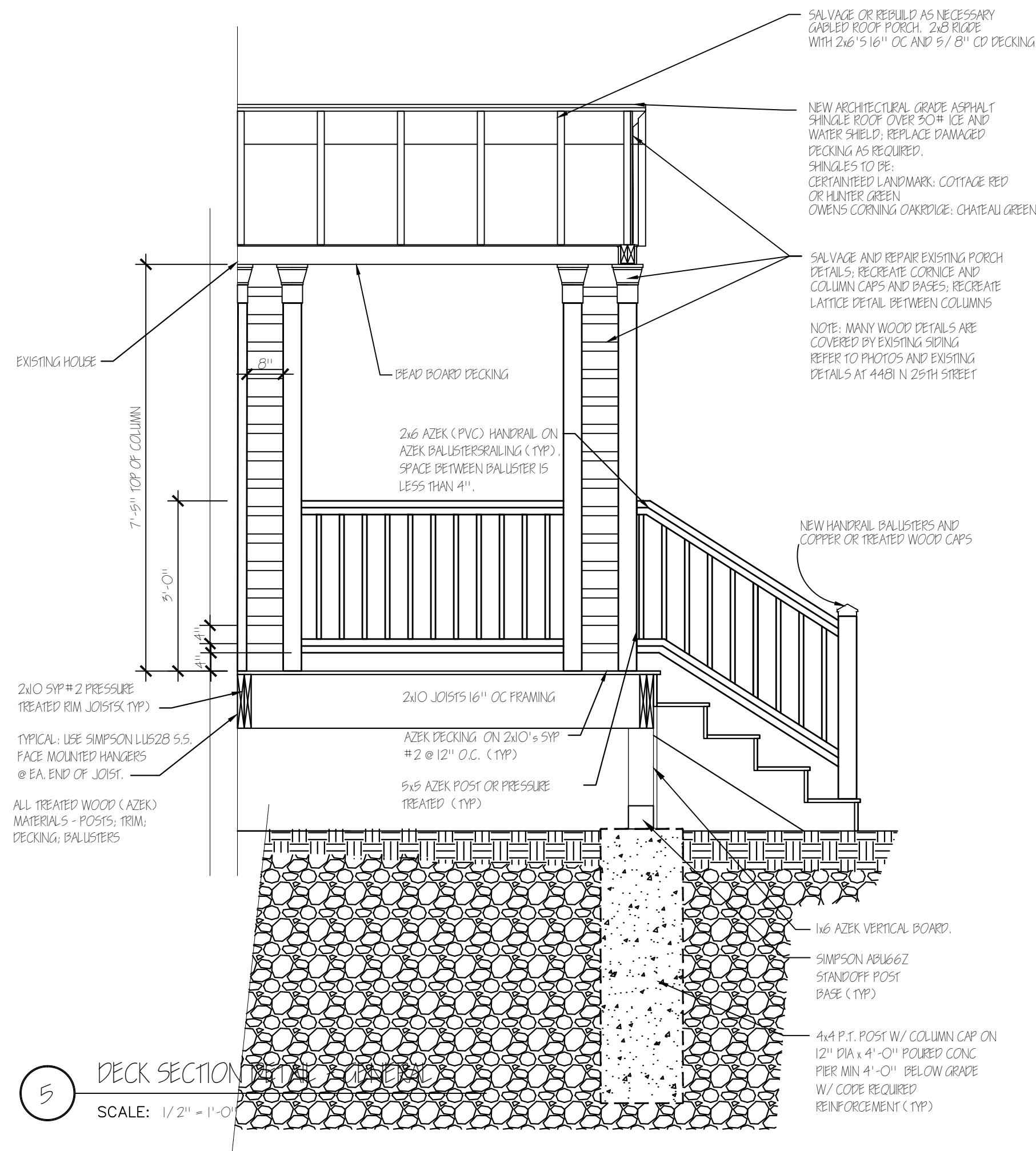
CONDITIONS

1. **Windows:** Replacement windows must feature simulated divided light with spacer bar or be true divided light.
2. **Reduce spacing to no more than 3.5" between balusters.**



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



5 DECK SECTION
SCALE: 1/2" = 1'-0"

HISTORIC PLANNING COMMISSION SUBMISSION FOR: GARDEN HOMES 4423 NORTH 25TH STREET

**GARDEN HOMES CORPORATION
HOME RENOVATIONS**
4423 NORTH 25TH STREET
MILWAUKEE, WI 53209

ARCHITECT:
**SchultzWerk
Architecture, Inc.**
2515 NORTH 66TH STREET
WAUWATOSA, WI 53213
414.322.7374
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ARCHITECT:
KEITH SCHULTZ, ALA



REVISIONS
09/17/2021

PROJECT NO. 20027.00
DATE 05/24/2021
DRAWN BY BB/JS/LB
CHECKED BY KS

SHEET CONTENTS
HISTORIC ELEVATIONS
AND DETAIL

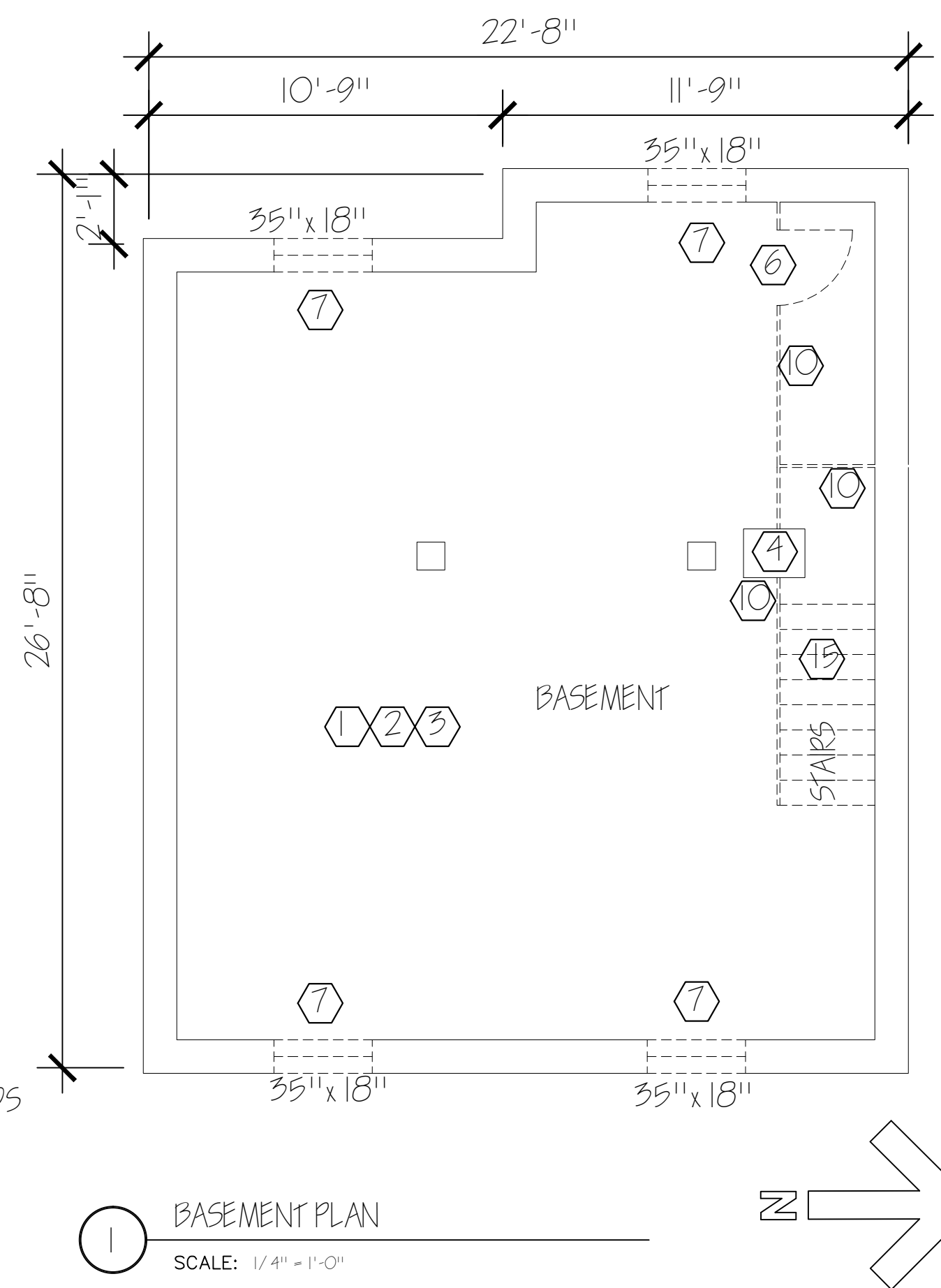
SHEET
A1.1
1 OF 2

GENERAL DEMOLITION NOTES:

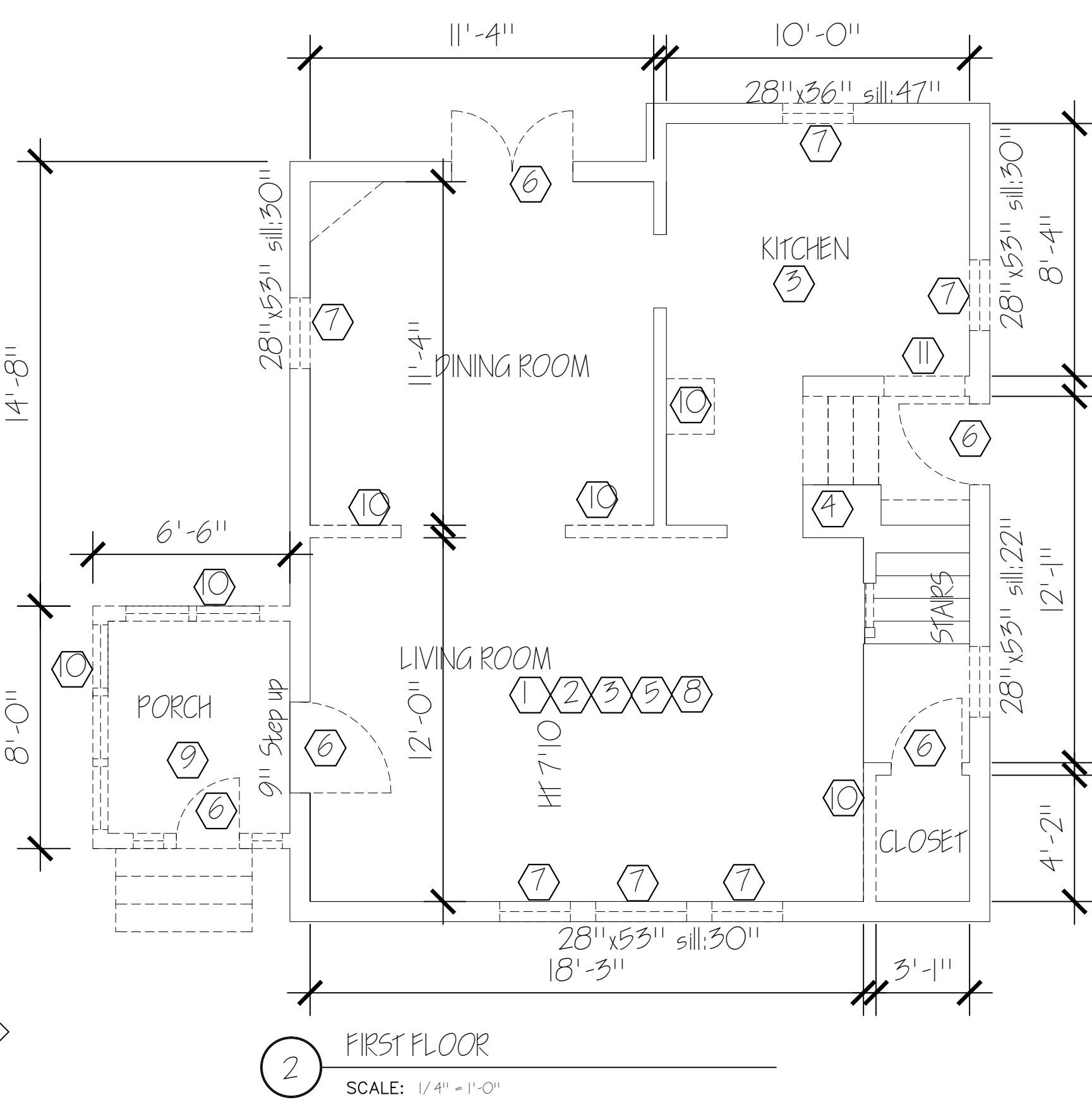
1. REMOVE ALL EXISTING ELECTRICAL - TERMINATE OUTLETS, SWITCHES, WIRING - CAP PROPERLY
2. REMOVE ALL EXISTING DUCTWORK AND MECHANICAL UNITS AND ALL ASSOCIATE HVAC EQUIPMENT
3. REMOVE ALL EXISTING PLUMBING FIXTURES, PIPING AND ALL EXISTING ASSOCIATED FITTINGS AND PLUMBING MATERIALS - PROPERLY CAP ACCORDING TO CODE.
4. EXISTING CHIMNEY TO REMAIN.
5. REMOVE EXISTING FLOORING DOWN TO WOOD FLOOR OR EXISTING WOOD SUB-FLOOR ON ALL FLOORS.
6. REMOVE ALL EXISTING DOORS AND DOOR FRAMES
7. REMOVE EXISTING WINDOWS
8. STRIP ALL EXISTING WALLS AND CEILINGS OF PLASTER, DRYWALL AND LATH DOWN TO THE BARE STUDS.
9. REMOVE EXISTING FRONT PORCH, DECK, STEPS AND RAILINGS.
10. REMOVE EXISTING WALLS AS NOTED
11. CUT OPENING INTO EXISTING WALL AS NOTED
12. REMOVE ALL EXISTING EXTERIOR SIDING AND TRIM TO STUDS
13. REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO EXISTING ROOF SUBSTRATE.
14. REMOVE ALL EXISTING HANDRAIL ON PORCH REMOVE EXISTING ROOFING AND DECKING.
15. REMOVE EXISTING STAIRS AS NOTED

CONSTRUCTION NOTES:

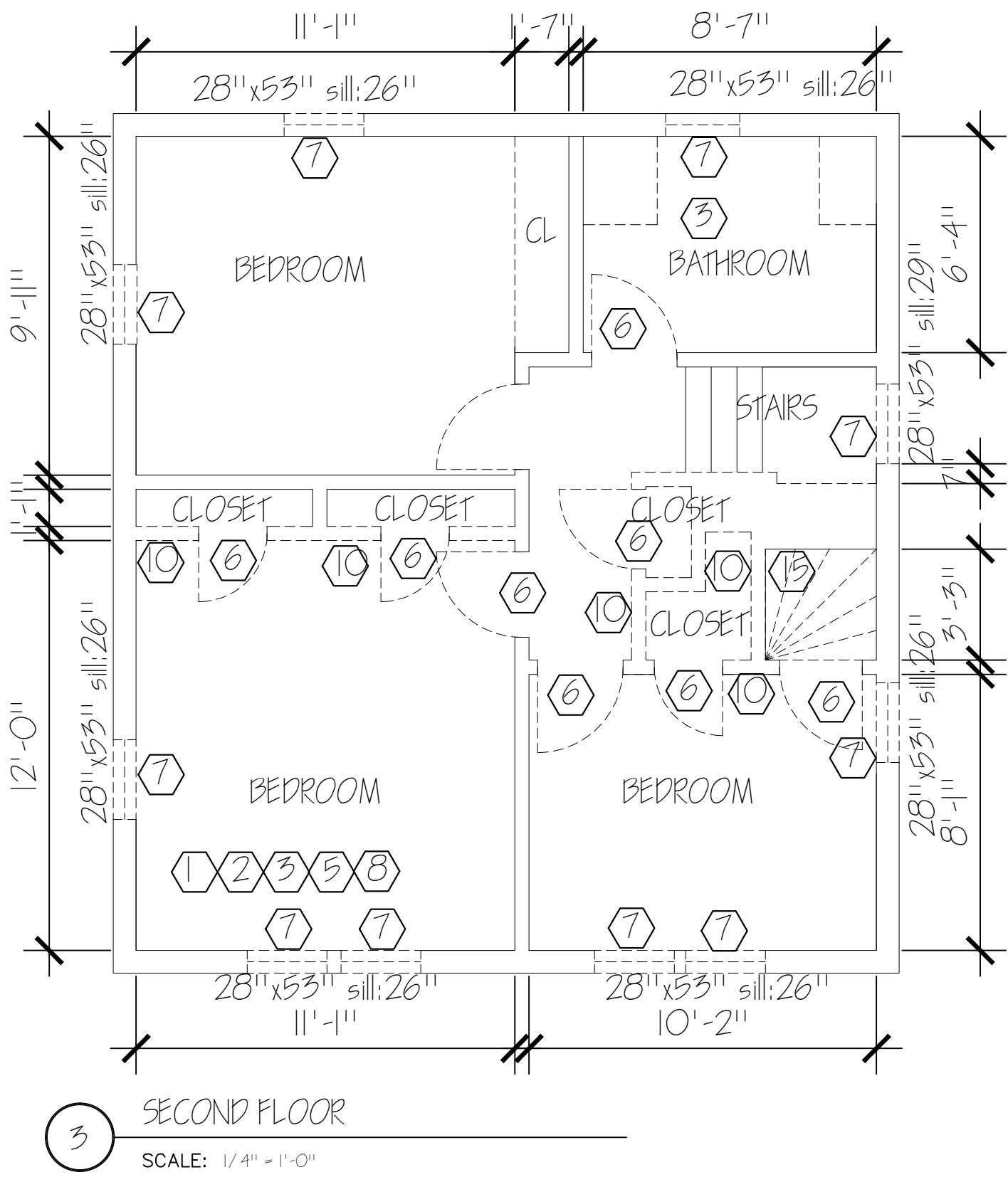
1. CONSTRUCT NEW PORCH. HANDRAILS USE TREATED MATERIALS; PRIME AND PAINT
2. CONSTRUCT NEW STAIRS TO MEET UDC REQUIREMENTS RESIDENTIAL CODE. RISERS AT 8"; RUN 9" MINIMUM
3. FURNISH AND INSTALL NEW HANDRAILS IN STAIRS HAND RAILS TO COMPLY WITH SPS 321.04 (3)
4. NEW WALLS AS INDICATED
5. OWNER TO PROVIDE KITCHEN LAYOUT
6. NEW WINDOWS; U VALUE 0.35 Btu/ sq. ft. U VALUE 0.56 Btu/ sq. ft.
7. FURNISH AND INSTALL SMOKE AND CO DETECTORS PER SPS 321.09 AND SPS 321.097. HARD WIRED WITH BATTERY BACK UP
8. FURNISH AND INSTALL BATHROOM EXHAUST PER SPS 323.02 (3) (d).
9. WALL AND CEILING INSULATION TO COMPLY WITH SE WI TO COMPLY WITH SE WI ALTERATIONS AND REMODELING GUIDELINES FOR PRE 1980 1 & 2 FAMILY DWELLINGS (30.55 OF THE WI UBC)
10. PROVIDE SAFETY GLASS PER SPS 321.05 (3)
11. NEW PLUMBING FIXTURES
12. GLASS BLOCK WINDOW - RECESS 1" TO 2" FROM FACE OF WALL
13. NEW WINDOWS FOR STREET ELEVATION; FURNISH AND INSTALL BARS TO PROTECT WINDOWS - REFER TO ELEVATIONS
14. CLOSE UP EXISTING OPENING. MATCH WALL CONSTRUCTION AND FINISH
15. HALF WALL
16. NEW ATTIC SCUTTLE
1. NEW 2X6 OR 2X4 WALLS AS REQUIRED



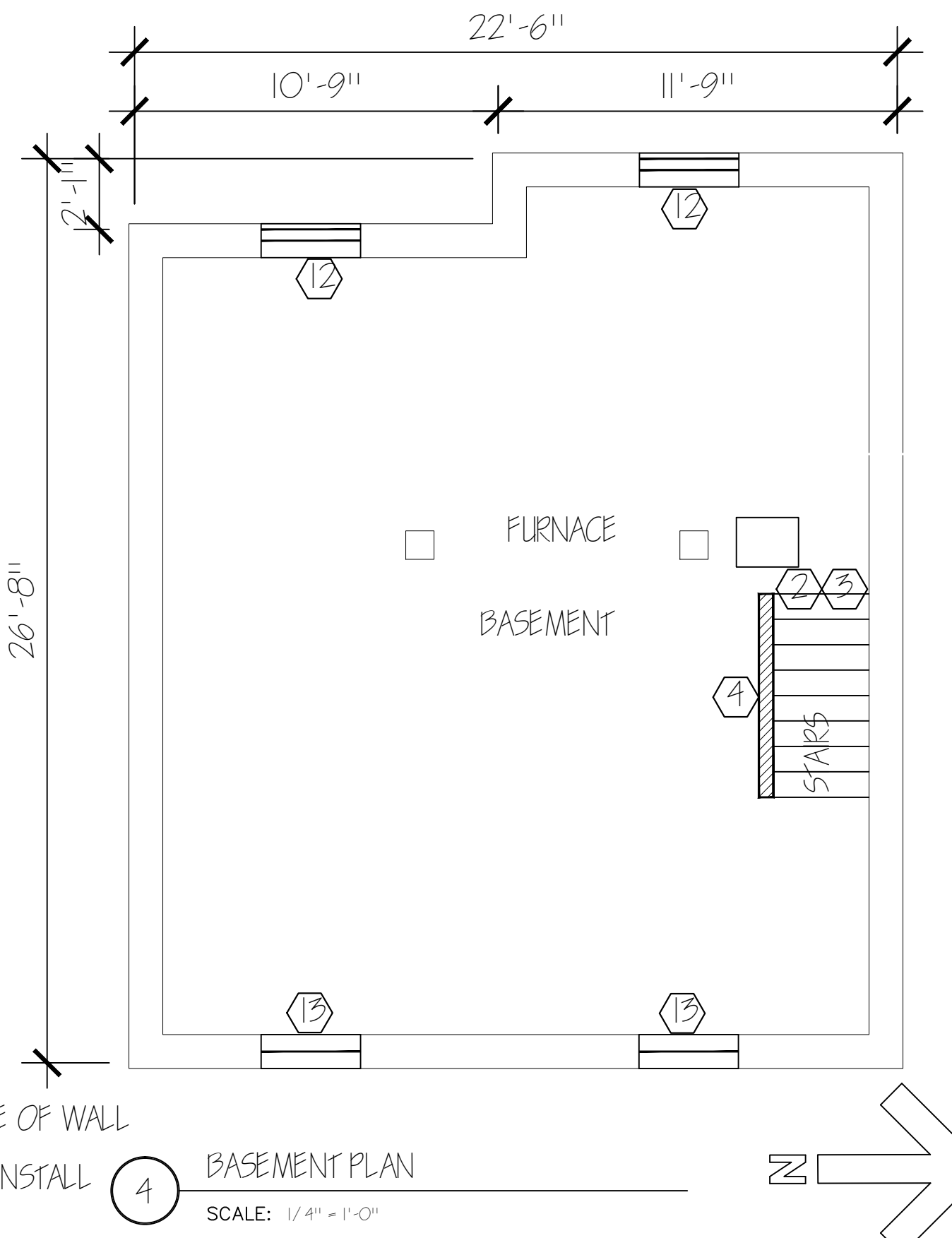
1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



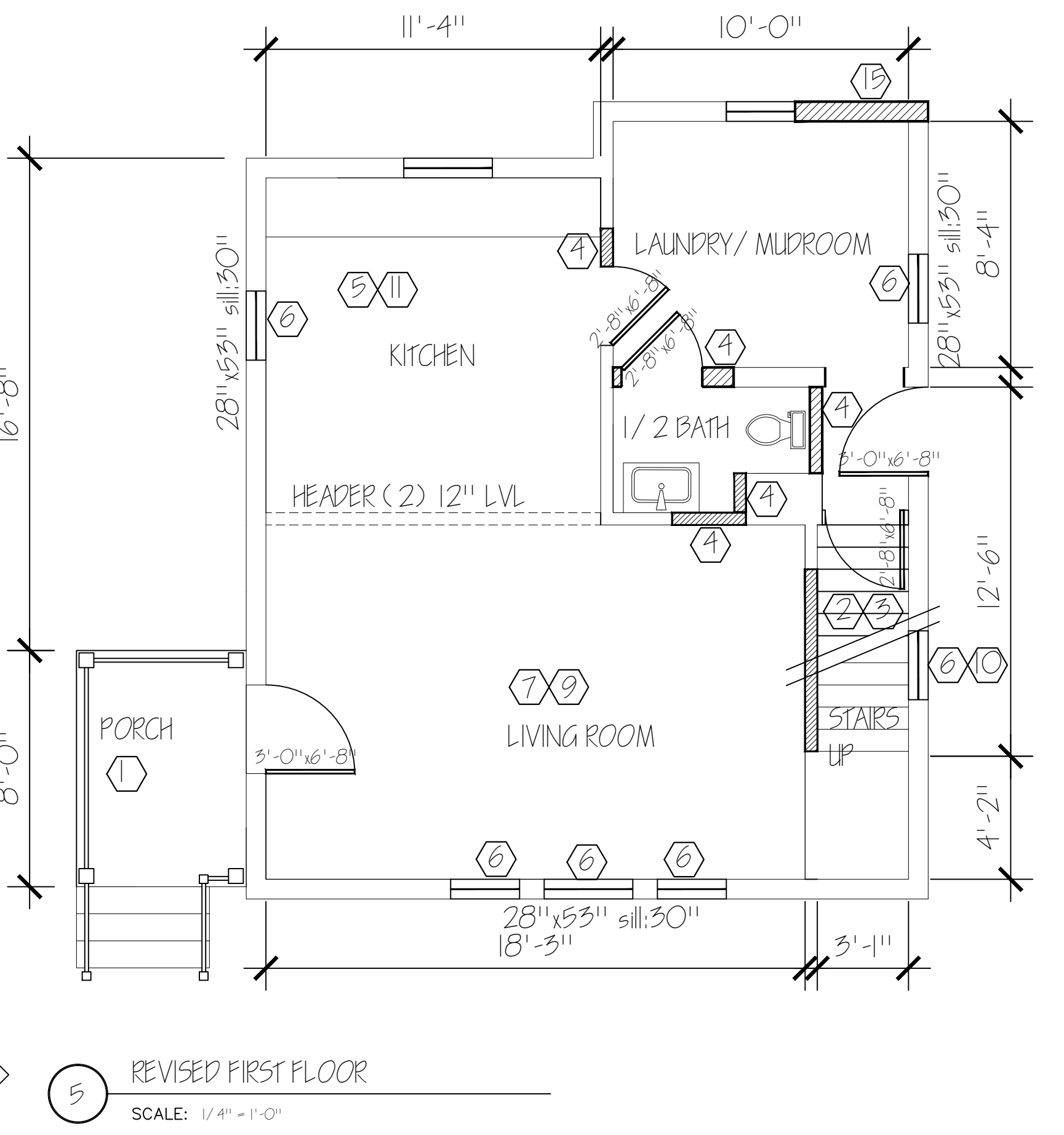
2 FIRST FLOOR
SCALE: 1/4" = 1'-0"



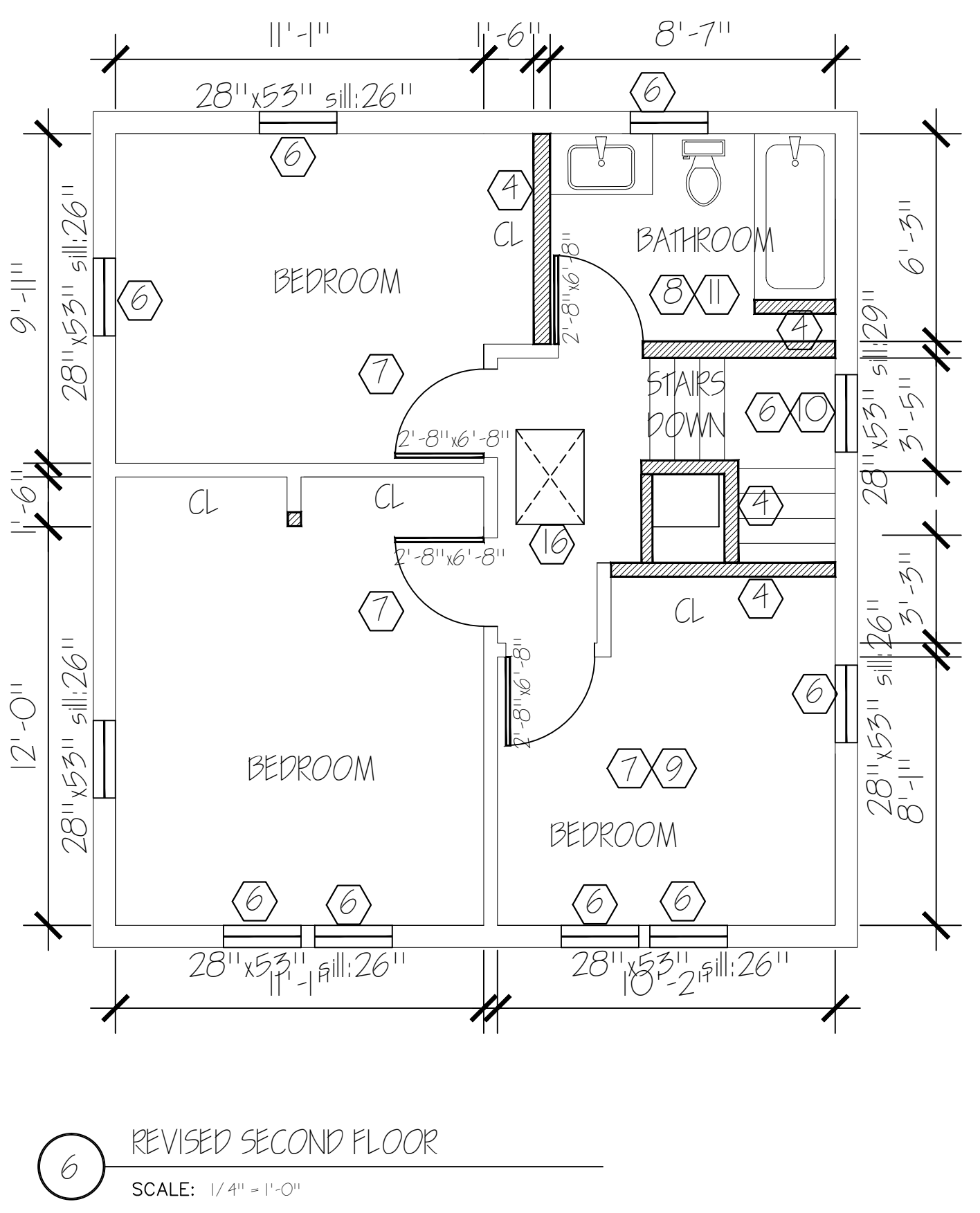
3 SECOND FLOOR
SCALE: 1/4" = 1'-0"



4 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



5 REVISED FIRST FLOOR
SCALE: 1/4" = 1'-0"



6 REVISED SECOND FLOOR
SCALE: 1/4" = 1'-0"

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EXISTING AND REVISED
FLOOR PLANS