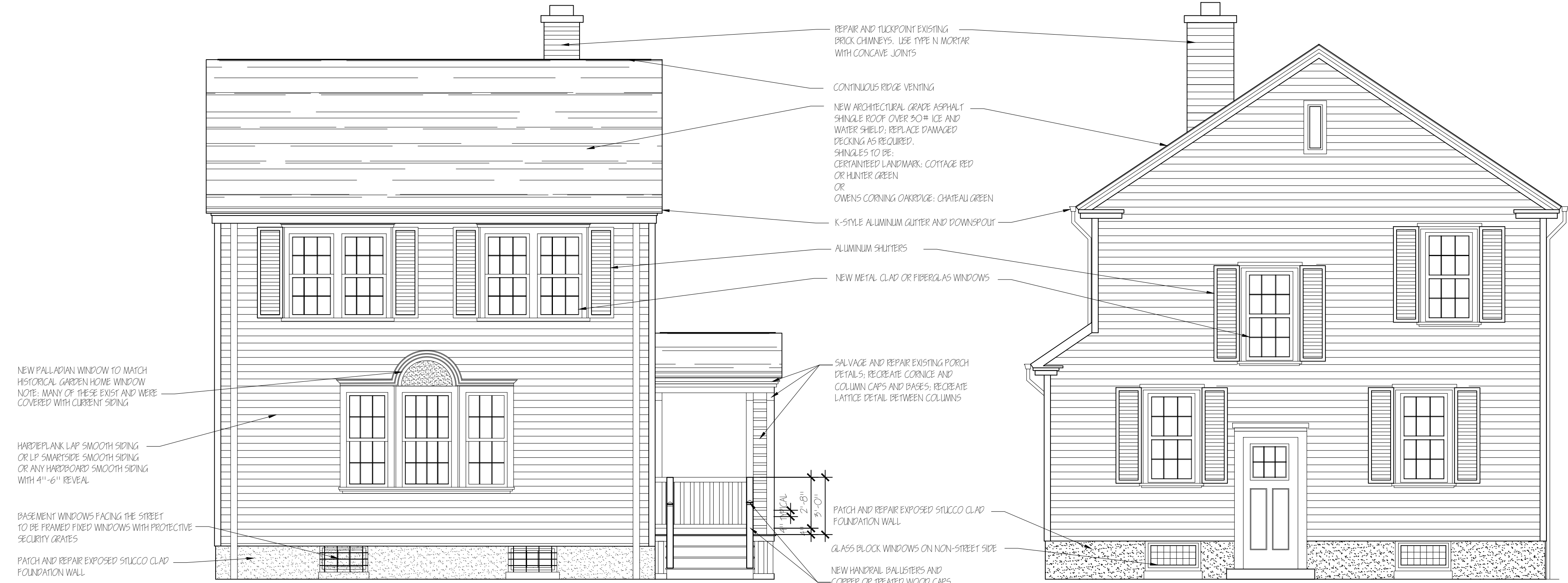
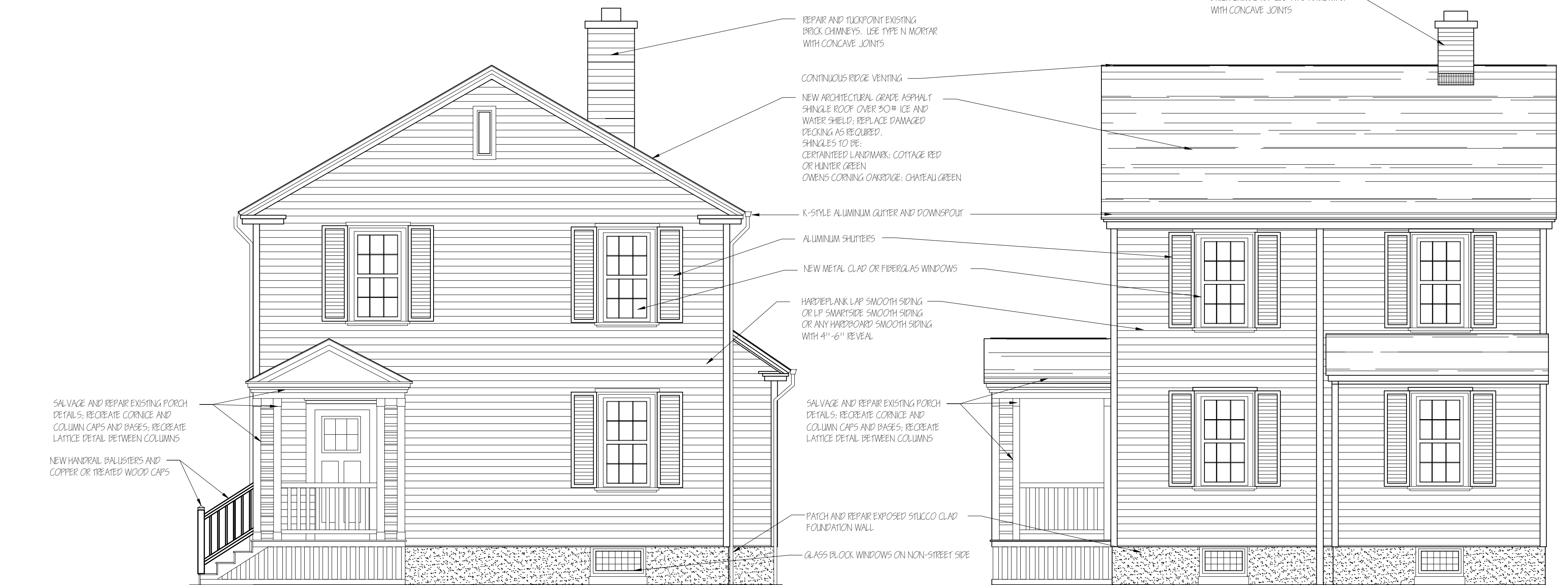




1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

HISTORIC PLANNING COMMISSION SUBMISSION FOR: GARDEN HOMES 2614 WEST PORT SUNLIGHT WAY



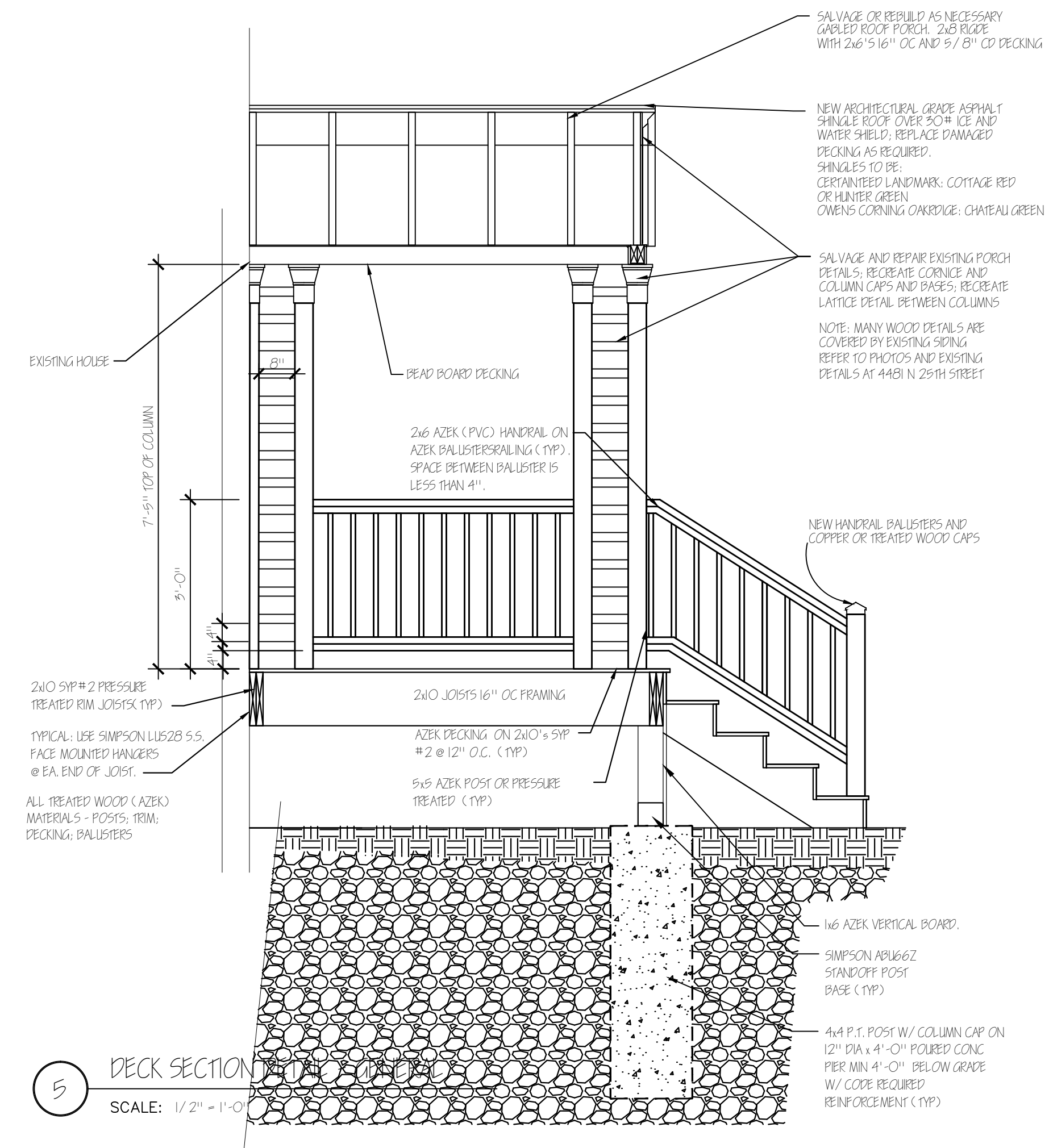
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
By Jacqueline Drayer at 1:28 pm, Oct 01, 2021

- CONDITIONS**
- 1. Windows: Replacement windows must feature simulated divided light with spacer bar or be true divided light.**
 - 2. Reduce spacing to no more than 3.5" between balusters.**



5 DECK SECTION
SCALE: 1/2" = 1'-0"

GARDEN HOMES CORPORATION HOME RENOVATIONS

2614 W PORT SUNLIGHT WAY
MILWAUKEE, WI 53209

ARCHITECT:
SchultzWerk
Architecture, Inc.
2515 NORTH 66TH STREET
WAUWATOSA, WI 53213
414.322.7374
swerk@juno.com

ARCHITECT:
KEITH SCHULTZ, ALA



REVISIONS
09/17/2021

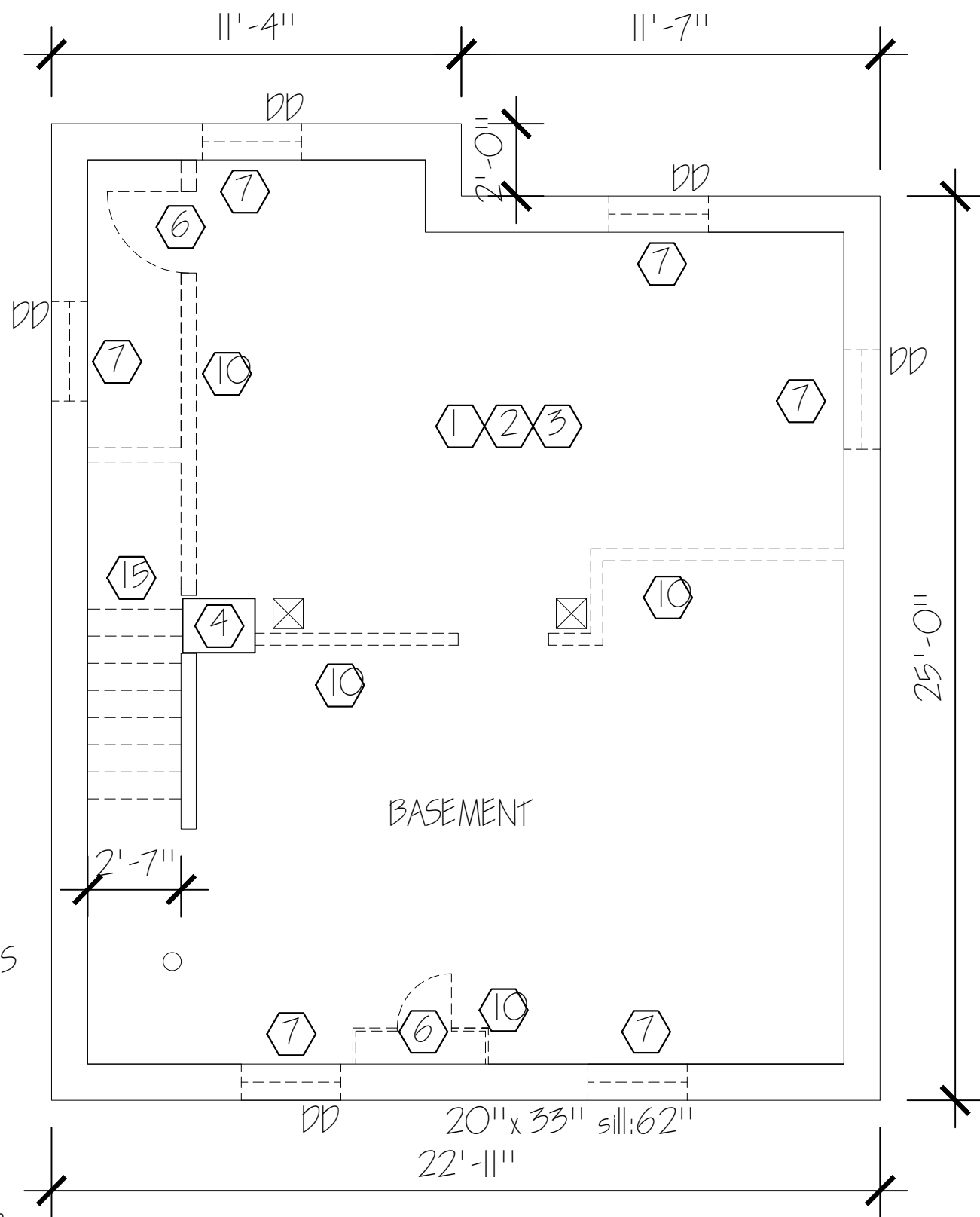
PROJECT NO. 20027.00
DATE 05/18/2021
DRAWN BY BB/JS/LB
CHECKED BY KS

SHEET CONTENTS
HISTORIC ELEVATIONS
AND DETAIL

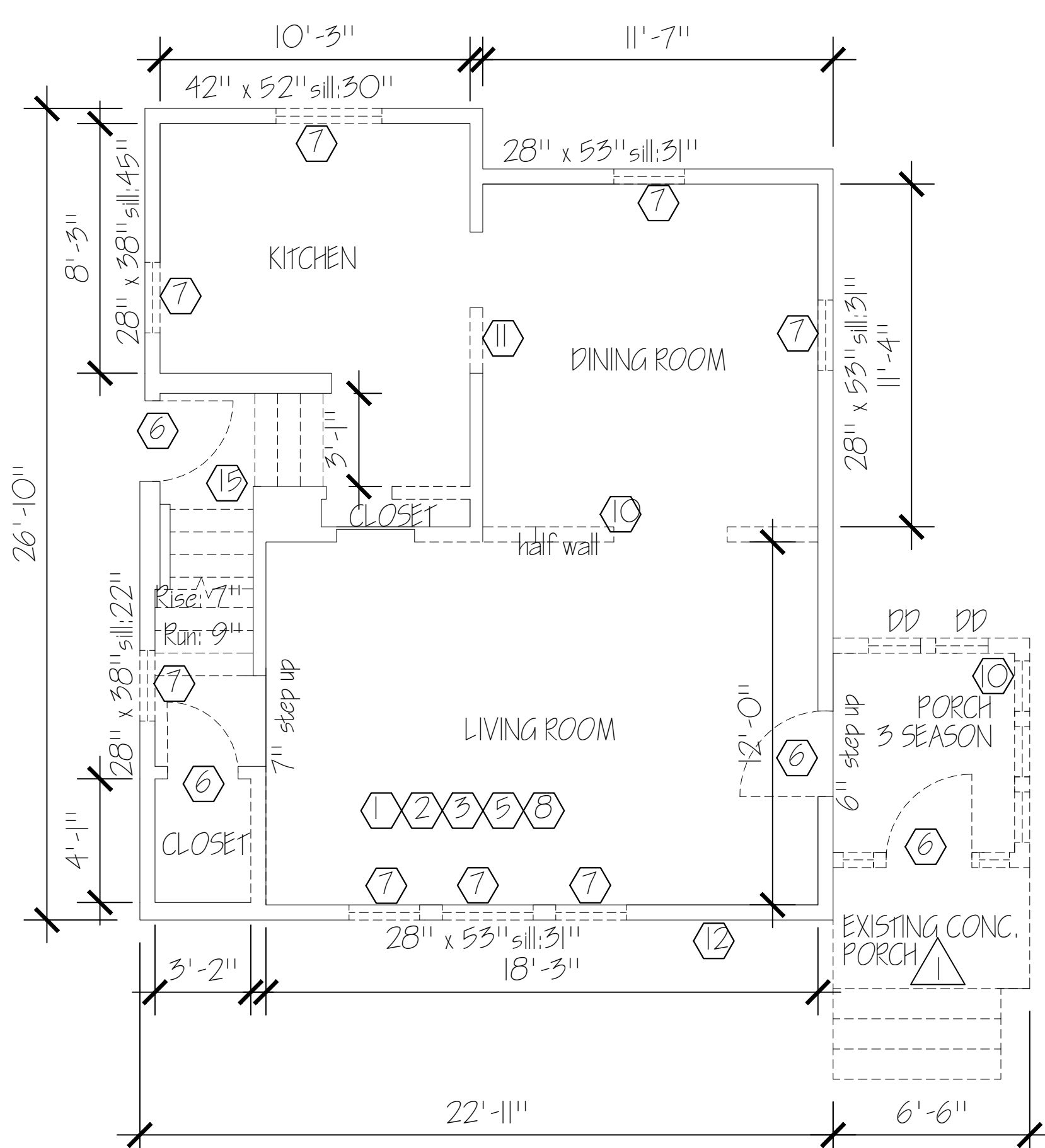
SHEET
A1.1
1 OF 2

GENERAL DEMOLITION NOTES:

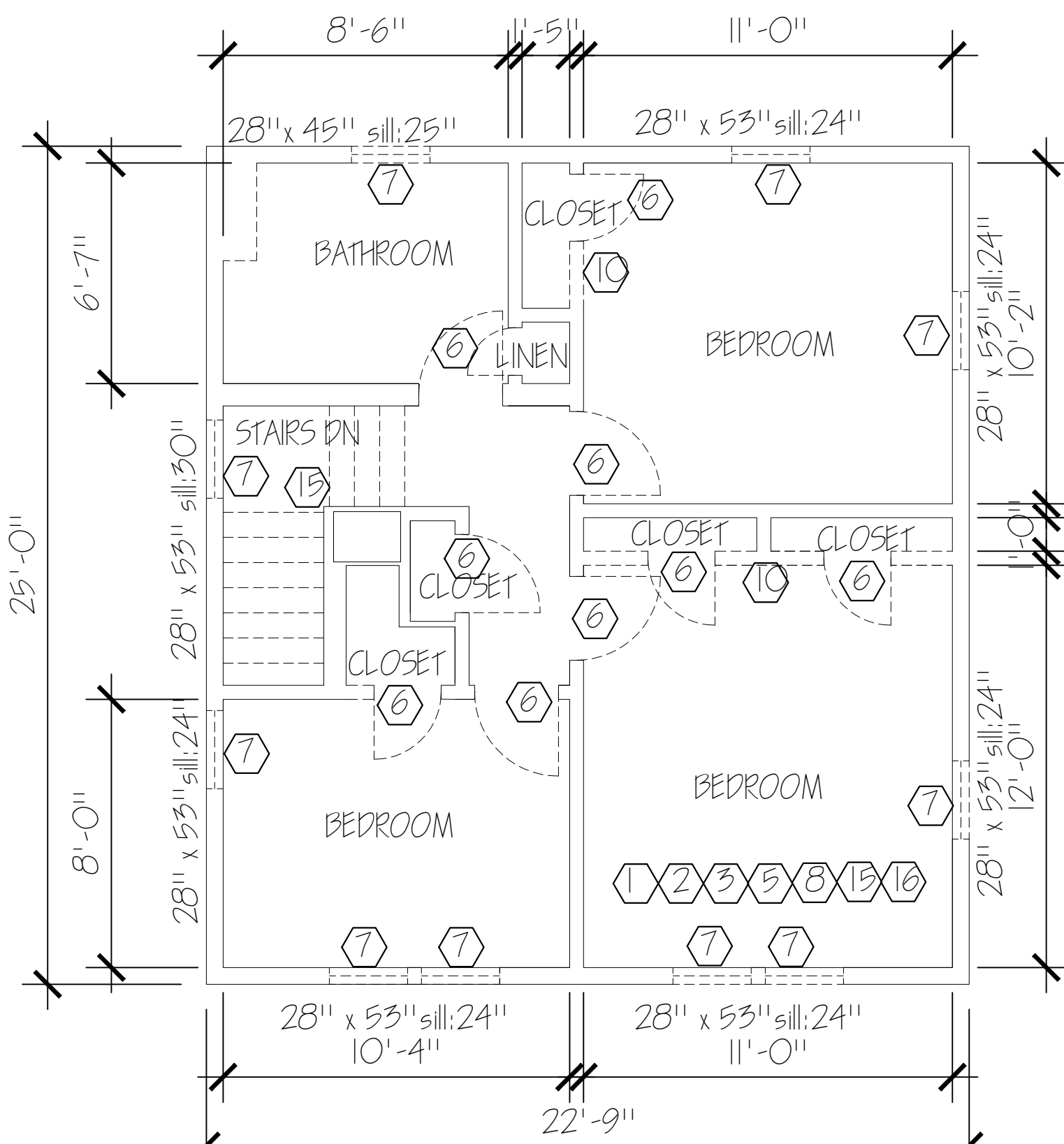
- 1) REMOVE ALL EXISTING ELECTRICAL - TERMINATE OUTLETS, SWITCHES, WIRING - CAP PROPERLY
- 2) REMOVE ALL EXISTING DUCTWORK AND MECHANICAL UNITS AND ALL ASSOCIATE HVAC EQUIPMENT
- 3) REMOVE ALL EXISTING PLUMBING FIXTURES, PIPING AND ALL EXISTING ASSOCIATED FITTINGS AND PLUMBING MATERIALS - PROPERLY CAP ACCORDING TO CODE.
- 4) EXISTING CHIMNEY TO REMAIN.
- 5) REMOVE EXISTING FLOORING DOWN TO WOOD FLOOR OR EXISTING WOOD SUB-FLOOR ON ALL FLOORS.
- 6) REMOVE ALL EXISTING DOORS AND DOOR FRAMES
- 7) REMOVE ALL EXISTING WINDOWS AS NOTED
- 8) STRIP ALL EXISTING WALLS AND CEILINGS OF PLASTER, DRYWALL AND LATH DOWN TO THE BARE STUDS.
- 9) REMOVE EXISTING FRONT PORCH, DECK, STEPS AND RAILINGS.
- 10) REMOVE EXISTING WALLS AS NOTED
- 11) CUT OPENING INTO EXISTING WALL AS NOTED
- 12) REMOVE ALL EXISTING EXTERIOR SIDING AND TRIM TO STUDS
- 13) REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO EXISTING ROOF SUBSTRATE.
- 14) REMOVE ALL EXISTING HANDRAIL ON PORCH REMOVE EXISTING ROOFING AND DECKING.
- 15) REMOVE REAR STAIRS TO THE BASEMENT AND FIRST FLOOR



1 BASEMENT DEMOLITION
SCALE: 1/4" = 1'-0"



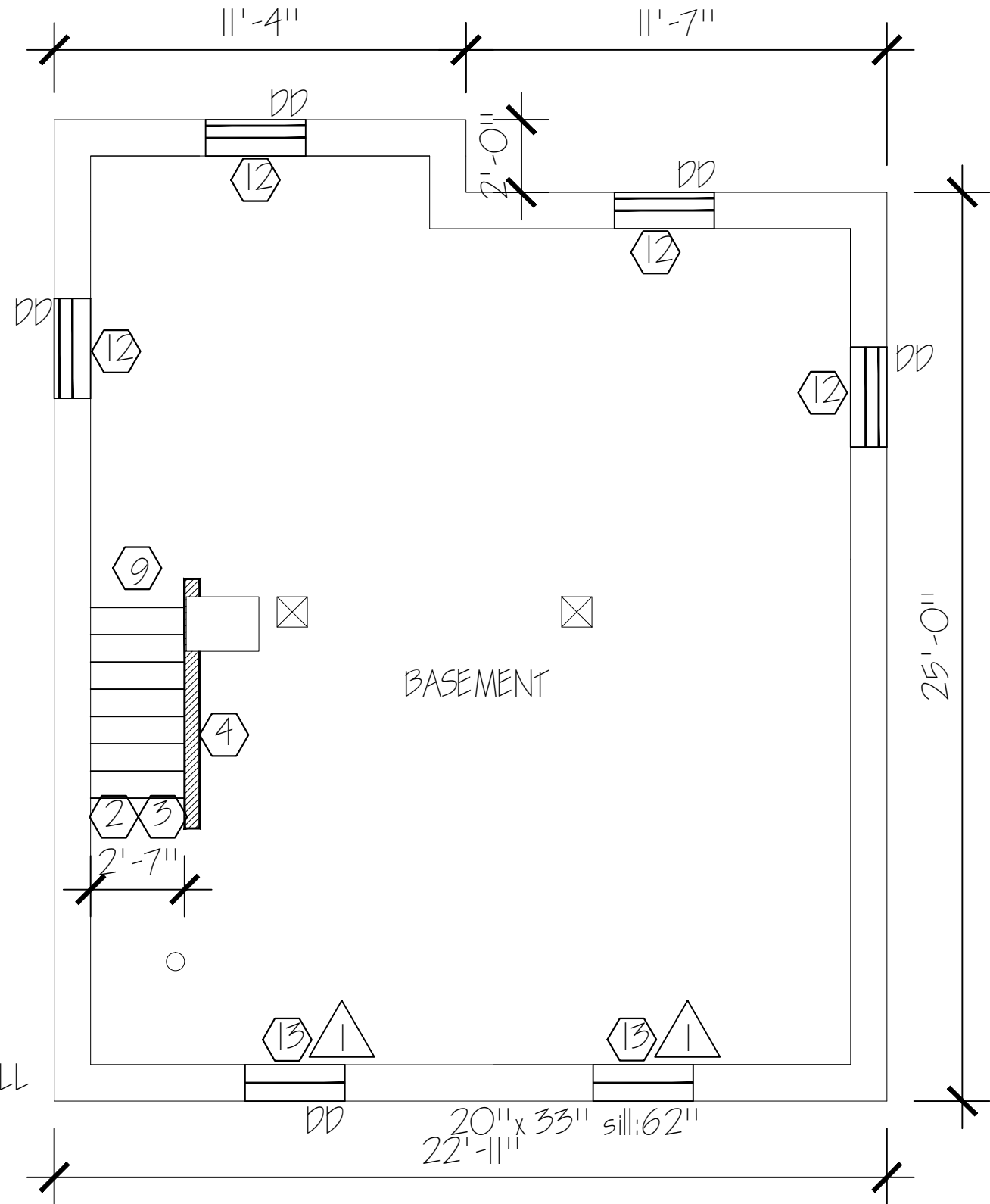
2 FIRST FLOOR DEMOLITION
SCALE: 1/4" = 1'-0"



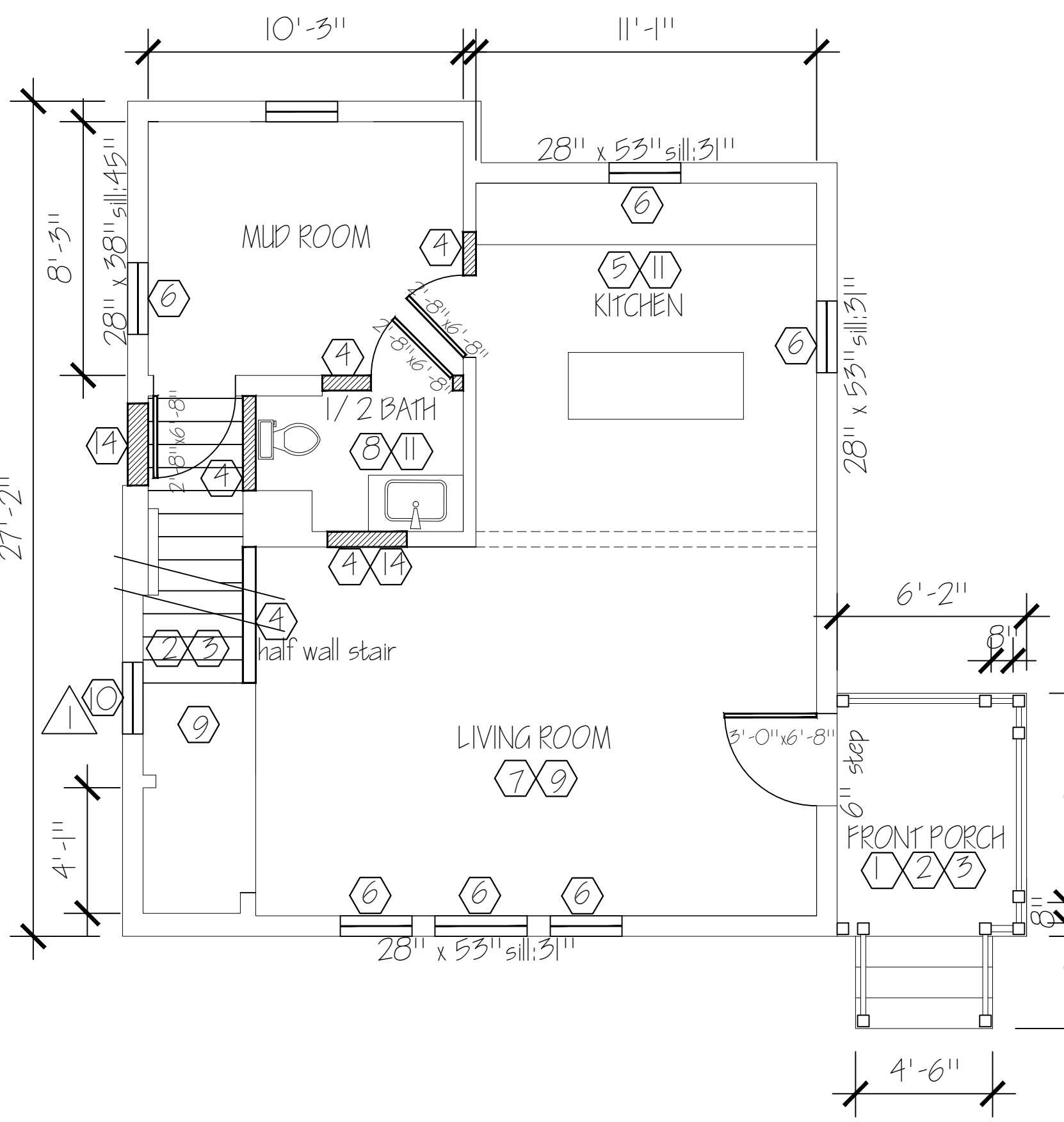
3 SECOND FLOOR DEMOLITION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

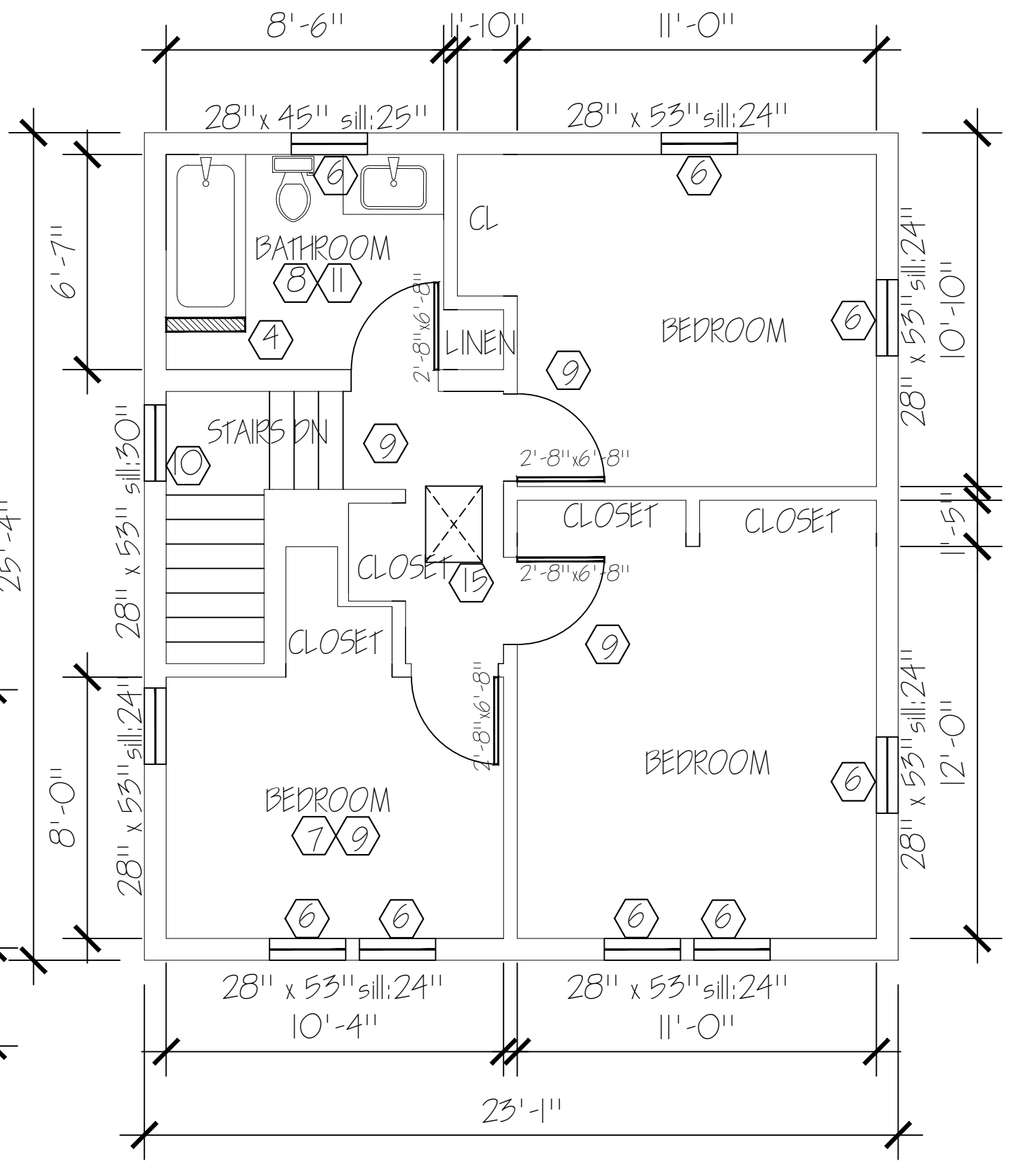
- 1) CONSTRUCT NEW PORCH, HANDRAILS USE TREATED MATERIALS; PRIME AND PAINT
- 2) CONSTRUCT NEW STAIRS TO MEET UPC REQUIREMENTS RESIDENTIAL CODE. RISERS AT 8"; RUN 9" MINIMUM
- 3) FURNISH AND INSTALL NEW HANDRAILS IN STAIRS HAND RAILS TO COMPLY WITH SPS 321.04 (3)
- 4) NEW WALLS AS INDICATED
- 5) OWNER TO PROVIDE KITCHEN LAYOUT
- 6) NEW WINDOWS; U VALUE 0.35 Btu/ sq. ft. U VALUE 0.56 Btu/ sq. ft.
- 7) FURNISH AND INSTALL SMOKE AND CO DETECTORS PER SPS 321.09 AND SPS 321.097. HARD WIRED WITH BATTERY BACK UP
- 8) FURNISH AND INSTALL BATHROOM EXHAUST PER SPS 323.02 (3) (d).
- 9) WALL AND CEILING INSULATION TO COMPLY WITH SE WI TO COMPLY WITH SE WI ALTERATIONS AND REMODELING GUIDELINES FOR PRE 1980 1 & 2 FAMILY DWELLINGS (30.55 OF THE WI UPC)
- 10) PROVIDE SAFETY GLASS PER SPS 321.05 (3)
- 11) NEW PLUMBING FIXTURES
- 12) GLASS BLOCK WINDOW - RECESS 1" TO 2" FROM FACE OF WALL
- 13) NEW WINDOWS FOR STREET ELEVATION; FURNISH AND INSTALL BARS TO PROTECT WINDOWS - REFER TO ELEVATIONS
- 14) CLOSE UP EXISTING OPENING. MATCH WALL CONSTRUCTION AND FINISH
- 15) FURNISH AND INSTALL NEW ATTIC SCUTTLE
- NEW 2X6 OR 2X4 WALLS AS REQUIRED



1 BASEMENT ALTERATION
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR ALTERATION
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR ALTERATION
SCALE: 1/4" = 1'-0"

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SHEET CONTENTS
EXISTING AND REVISED
FLOOR PLANS

SHEET

A1.2

2 OF 2