

REVISIONS

No. Date Description:



# 21-102 SAXONY VAN BUREN

## 9-3-27 PERMIT SET

21-102

SAXONY PROPERTIES  
790 N. VAN BUREN ST.  
MILWAUKEE, WI 53202

INDEX		
Sheet Number	Sheet Name	Drawn By
<b>GENERAL</b>		
G001	TITLE SHEET	RS
G100	ABBREVIATIONS & SYMBOLS	RS
G101	ACCESSIBILITY REQUIREMENTS	RS
G102	ACCESSIBILITY REQUIREMENTS	RS
G200	LIFE SAFETY PLANS	RS
<b>ARCHITECTURAL</b>		
A100	DEMOLITION PLANS - BASEMENT	RS
A101	DEMOLITION PLANS - FIRST FLOOR	RS
A102	DEMOLITION PLANS - SECOND FLOOR	RS
A103	DEMOLITION PLANS - THIRD FLOOR	RS
A104	DEMOLITION PLANS - ROOF	RS
A110	BASEMENT PLAN	RS
A111	FIRST FLOOR PLAN	RS
A112	SECOND FLOOR PLAN	RS
A113	THIRD FLOOR PLAN	RS
A114	ROOF PLAN	RS
A120	ENLARGED TYPICAL BATHROOM PLANS	RS
A121	ENLARGED TYPICAL KITCHEN PLANS	RS
A200	EXTERIOR ELEVATIONS	RS
A201	EXTERIOR ELEVATIONS	RS
A300	BUILDING SECTIONS	RS
A301	PARTIAL BUILDING SECTIONS	RS
A400	DETAILS	RS
A510	DOOR SCHEDULE & TYPES	RS
A520	WALL & WINDOW TYPES	RS
A600	INTERIOR ELEVATIONS - TYPICAL BATHROOM	RS
A601	INTERIOR ELEVATIONS - TYPICAL KITCHEN	RS
A602	INTERIOR ELEVATIONS - KITCHEN + BEDROOM	RS
<b>STRUCTURAL</b>		
S001	STRUCTURAL NOTES & SCHEDULES	PIERCE
S100	FOUNDATION PLAN	PIERCE
S101	FIRST FLOOR FRAMING PLAN	PIERCE
S102	SECOND FLOOR FRAMING PLAN	PIERCE
S103	THIRD FLOOR FRAMING PLAN	PIERCE
S201	ROOF FRAMING PLAN	PIERCE
S400	STRUCTURAL DETAILS	PIERCE
S401	STRUCTURAL DETAILS	PIERCE

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PROJECT  
21-102 SAXONY VAN BUREN

SHEET  
TITLE SHEET

DATE

9-3-27

PROJECT NO.

21-102

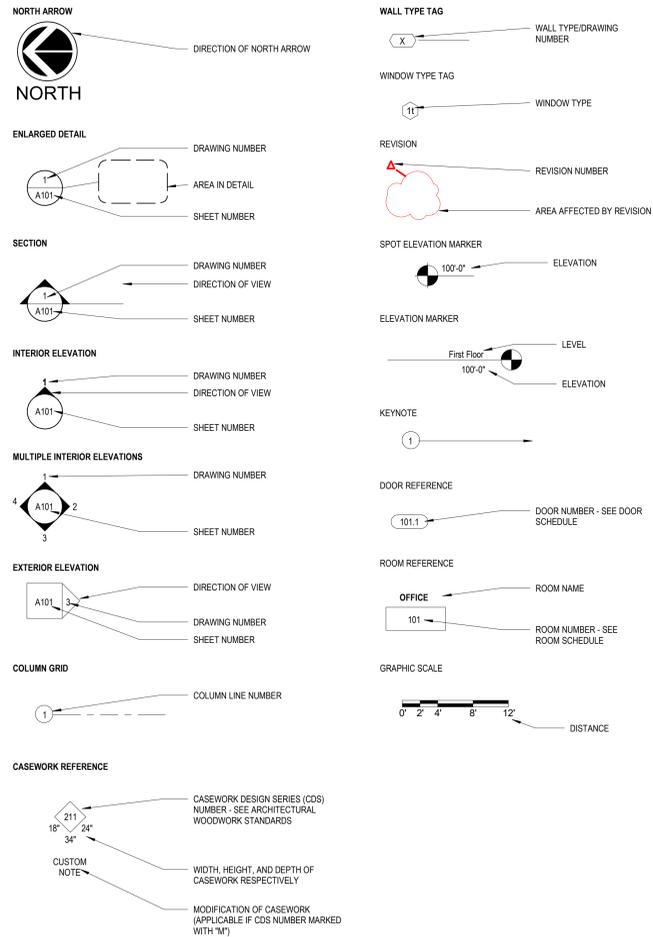
SHEET NO.

G001

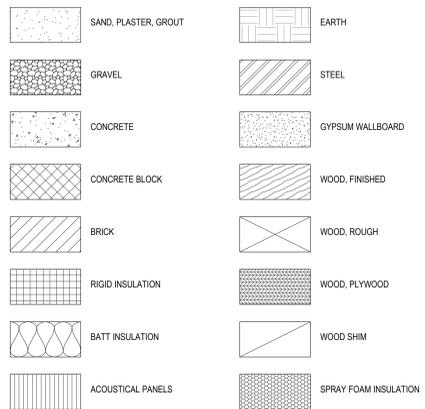
# ABBREVIATIONS

<b>A</b>	ANGLE	<b>G</b>	GAGE	<b>R</b>	RADIUS (STAIR) RISER
@	AT	GAL	GALLON	RA	RETURN AIR
%	PERCENT	GALV	GALVANIZED	RB	RUBBER BASE
AB	ANCHOR BOLT	GB	GRAB BAR	RBS	RUBBER SHEET FLOORING
AC	AIR CONDITIONING	GC	GENERAL CONTRACTOR	RCP	REINFORCED CONCRETE PIPE/ REFLECTED CEILING PLAN
ACOUS	ACOUSTICAL	GL	GLASS	RD	ROOF DRAIN
ACP	ACOUSTICAL CEILING PANELS	GLP	GLASS PARTITION	REBAR	REINFORCING BAR
ACT	ACOUSTICAL CEILING TILES	GR	GRADE/ GROUND/ GROUT/ GRANITE	RENF	REINFORCING
AD	AREA DRAIN	GS	GLASS SURFACE	REDD	REQUIRED
ADJ	ADJUSTABLE	GWB	GYPSUM WALL BOARD	RES	RESILIENT
AF	ABOVE FINISHED FLOOR	GY	GYPSUM	REV	REVISION
ALT	ALTERNATE			RF	RESILIENT FLOORING
ALUM	ALUMINUM	<b>H</b>		RFG	ROOFING
ANOD	ANODIZED	H	HIGH	RH	RIGHT HAND
AP	ACCESS PANEL/ACRYLIC PANEL	HB	HOSE BIB	RM	ROOM
APPROX	APPROXIMATELY	HC	HOLLOW CORE	RO	ROUGH OPENING
ARCH	ARCHITECTURAL	HDW	HARDWARE	ROW	RIGHT OF WAY
ASB	ASBESTOS	HK	HOUSEKEEPING	RS	ROLLER SHADE
ASPH	ASPHALT	HM	HOLLOW METAL	RST	RUBBER STAIR TREAD
AWP	ACOUSTICAL WALL PANEL	HOR	HORIZONTAL	RTS	ROUNDED TRANSITION STRIP
		HR	HOUR		
		HT	HEIGHT	<b>S</b>	
<b>B</b>		HVAC	HEATING, VENTILATION AND AIR CONDITIONING	S	SINK/SOUTH
B-B	BACK TO BACK	HVACC	HVAC CONTRACTOR	SAN	SANITARY
B&B	BALLED AND BULB RIPPED	HW	HARDWARE	SAN	SOIL BORING
BB	BULLETIN BOARD			SC	SOLID CORE
BD	BOARD/BEAD	<b>I</b>		SCHED	SCHEDULE(S)
BF	BOTH FACES/ BAFFLE	ID	INSIDE DIAMETER	SCONC	SEALED CONCRETE
BIT	BITUMINOUS	IE	INVERT ELEVATION	SD	SOAP DISPENSER
BL	BORROWED LITE	IN	INCHES	SECT	SECTION
BLDG	BUILDING	INCL	INCLUDE	SH	SHELF/SINGLE HUNG
BLK	BLOCK	INFO	INFORMATION	SHT	SHEET
BLKG	BLOCKING	INS	INSULATED	SHTG	SHEATHING
BM	BENCH MARK	INSUL	INSULATED	SIM	SIMILAR
BOS	BOTTOM OF STEEL	INT	INTERIOR	SJY	SHORT LEG VERTICAL
BRG	BEARING			SND	SANITARY NAPKIN DISPENSER
BRK	BRICK	<b>J</b>		SNR	SANITARY NAPKIN RECEPTACLE
BS	BACK SPLASH	JAN	JANITOR	SP	SPECIALTY PAINT
BSMT	BASEMENT	JB	JUNCTION BOX	SQ	SQUARE
BTM	BOTTOM	JC	JANITORS CLOSET	SR	SHOWER ROD
BTU	BRITISH THERMAL UNIT	JT	JOINT	SS	SERVICE SINK/STAINLESS STEEL/ SOLID SURFACE
BUR	BUILT UP ROOF			ST	STONE
BW	BOTH WAYS	<b>L</b>		STB	STONE BASE/ STAINLESS BASE
		LAM	LAMINATED	STC	SOUND TRANSMISSION CLASS
<b>C</b>		LAV	LAVATORY	STD	STANDARD
C	CHANNEL	LB	POUND	STL	STEEL
CAB	CABINET	LBS	POUNDS	STO/STOR	STORAGE
CB	CATCH BASIN/CORNER BEAD	LH	LEFT HAND	STRUCT	STRUCTURAL
CBP	CHALK BOARD PAINT	LIN	LINEAR	STV	STONE WANSICOT
C/C	CENTER TO CENTER	LINO	LINOLEUM	SUSP	SUSPENDED
CER	CERAMIC	LLV	LONG LEG VERTICAL	SAV	STAIN AND VARNISH
CF	CORK FLOORING	LT	LIGHT	SWB	STAINED WOOD BASE
CFOI	CONTRACTOR FURNISHED, OWNER INSTALLED	LS	LIMESTONE	SYM	SYMMETRICAL
CG	CORNER GUARD	LVT	LUXURY VINYL TILE		
CG-S	CORNER GUARD STAINLESS STEEL			<b>T</b>	
CG-W	CORNER GUARD WOOD LOOK	<b>M</b>		T	TREAD
CJ	CONTROL JOINT	MACH	MACHINE	TB	TACKBOARD/TOWEL BAR
CK	CORN	MAS	MASONRY	T&B	TOP AND BOTTOM
CL	CENTER LINE	MATL	MATERIAL	TEL	TELEPHONE
CLG	CEILING	MAX	MAXIMUM	TEMP	TEMPERATURE/TEMPERED/TEMPORARY
CLR	CLEAR	MB	MARKERBOARD	T&G	TONGUE AND GROOVE
CM	CENTIMETER	MC	MECHANICAL CONTRACTOR	THK	THICKNESS
CMU	CONCRETE MASONRY UNIT	MDF	MEDIUM DENSITY FIBERBOARD	TOB	TOP OF BEAM
COL	COLUMN	MECH	MECHANICAL	TOC	TOP OF CURB
CONC	CONCRETE	MED	MEDIUM	TOF	TOP OF FOOTING
CONST	CONSTRUCTION	MEZZ	MEZZANINE	TOJ	TOP OF JOIST
CONT	CONTINUOUS	MFR	MANUFACTURER	TOS	TOP OF STEEL
CONTR	CONTRACTOR	MH	MAN HOLE	TOW	TOP OF WALL
CORR	CORRUGATED	MIN	MINIMUM	TP	TOILET PARTITIONS
CPT	CARPET	MIR	MIRROR	TPH	TOILET PAPER HOLDER
CR	CHAR RAIL/ COAT RACK/ COLD ROLLED	MISC	MISCELLANEOUS	TRZ	TERRAZZO
CSMT	CASEMENT	MO	MASONRY OPENING	TZS	TERRAZZO STAIR TREAD
CTR	COUNTER	MB	MARBLE BASE	TS	TRANSITION STRIP
CTSK	COUNTERSUNK	MRBL	MARBLE	TYP	TYPICAL
CUB	CUBIC	MTL	METAL		
<b>D</b>		MTS	METAL TRANSITION STRIP	<b>U</b>	
D	DEPTH	MUL	MULLION	UL	UNDERWRITERS' LABORATORY
DBL	DOUBLE	MULTI	MULTIPLE	UNO	UNLESS NOTED OTHERWISE
DF	DRINKING FOUNTAIN	<b>N</b>		UNFN	UNFINISHED
DH	DOUBLE HUNG	N/A	NOT APPLICABLE	UR	URINAL
DIA	DIAMETER	N	NORTH	<b>V</b>	
DIAG	DIAGONAL	NC	NOT IN CONTRACT	V&P	VALANCE & PANEL
DIM	DIMENSION	NO	NUMBER	VAT	VINYL ASBESTOS TILE
DISP	DISPENSER	NOM	NOMINAL	VB	VAPOR BARRIER
DN	DOWN	NRC	NOISE REDUCTION COEFFICIENT	VERT	VERTICAL
DO	DITTO/DOOR OPENING	NTE	NOT TO EXCEED	VEST	VESTIBULE
DP	DRAPERY	NTS	NOT TO SCALE	VIF	VEGETY IN FIELD
DR	DOOR	<b>O</b>		VIN	VINYL
DS	DOWNSPOUT	OA	OUTSIDE AIR/OVERALL	VOL	VOLUME
DTL	DETAIL	OC	ON CENTER	VTR	VENT THROUGH ROOF
DWG	DRAWING	OD	OUTSIDE DIAMETER	VCP	VINYL COATED CEILING PANEL
<b>E</b>		OFOI	OWNER FURNISHED, CONTRACTOR INSTALLED	VCT	VINYL COMPOSITION TILE
E	EAST	OFOI	OWNER FURNISHED, OWNER INSTALLED	VT	VINYL TILE
EA	EACH	OH	OPPOSITE HAND/OVERHEAD	VTS	VINYL TRANSITION STRIP
ELELEV	ELEVATION/ELEVATOR	OPO/OPG	OPPOSITE/ OPPOSITE	<b>W</b>	
ELECT	ELECTRICAL	OZ	OUNCE(S)	W	WEST/WIDE/WIDTH
EP	EPOXY PAINT	<b>P</b>		WI	WITH
EPB	EPOXY BASE	P	PAINT	WB	WOOD BASE
EPX	EPOXY FLOORING	PART	PARTITION	WC	WATER CLOSET/ WALLCOVERING
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PCF	POUNDS PER CUBIC FOOT	WD	WOOD
EQ	EQUAL	PL	PLATE/ PROPERTY LINE/ PLASTIC LAMINATE	WDF	WOOD FLOORING
EQUIP	EQUIPMENT	PLAS/PLAST	PLASTER/PLASTIC	WDM	WOOD MILLWORK
ETR	EXISTING TO REMAIN	PLBG	PLUMBING	WDP	WOOD WALL PANELING
EW	EACH WAY	PR	PAIR	WDW	WINDOW
EWC	ELECTRIC WATER COOLER	PREFAB	PREFABRICATED	WF	WIDE FLANGE
EXH	EXHAUST	PREFIN	PREFINISHED	WH	WALL HUNG
EXISTE	EXISTING	PRELIM	PRELIMINARY	W/O	WITHOUT
EXP	EXPANSION	PS	PROJECTION SCREEN	WP	WATERPROOF/WORKING POINT
EXT	EXTERIOR	PSF	POUNDS PER SQUARE FOOT	WR	WATER RESISTANT
<b>F</b>		P&S	POLE AND SHELF	WT	WEIGHT/ WINDOW TREATMENT
FA	FIRE ALARM/FORCED AIR/FRESH AIR	PT	PORCELAIN TILE	WWF	WELDED WIRE FABRIC
FAB	FABRIC	PTB	PORCELAIN TILE BASE	<b>Y</b>	
FCB	FLASH COVERED BASE	PTM	PATCH TO MATCH PORCELAIN TILE MOSAIC	YD	YARD
FD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE		
FON	FOUNDATION	PWB	PAINTED WOOD BASE		
FE	FIRE EXTINGUISHER	PWD/PLYWD	PLYWOOD		
FEC	FIRE EXTINGUISHER CABINET	<b>Q</b>			
FF	FINISHED FLOOR	QS	QUARTZ SURFACE		
FH	FLAT HEAD (SCREW)	QT	QUARRY TILE		
FHC	FIRE HOSE CABINET	QTB	QUARRY TILE BASE		
FIN	FINISHED	QTW	QUARRY WALL TILE		
FIXT	FIXTURE				
FL	FLOW LINE				
FLR	FLOOR				
FLUOR	FLUORESCENT				
FOM	FACE OF MASONRY				
FOS	FACE OF STUD				
FW	FACE OF WALL				
FRP	FIBERGLASS REINFORCED PANEL				
FS	FULL SIZE				
FT	FOOT/FEET				
FTF	FLOOR TO FLOOR				
FTG	FOOTING				
FURN	FURNITURE				
FV	FIELD VERIFY				

# DRAWING SYMBOLS



# MATERIAL SYMBOLS



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## REVISIONS

No.	Date	Description

## ABBREVIATIONS & SYMBOLS

DATE  
9-3-27

PROJECT NO.  
21-102

SHEET NO.

**G100**

DEMOLITION LEGEND

- ==== REMOVE WALL
- REMOVE DOOR AND FRAME U.N.O.
- REMOVE WINDOW / OPENING

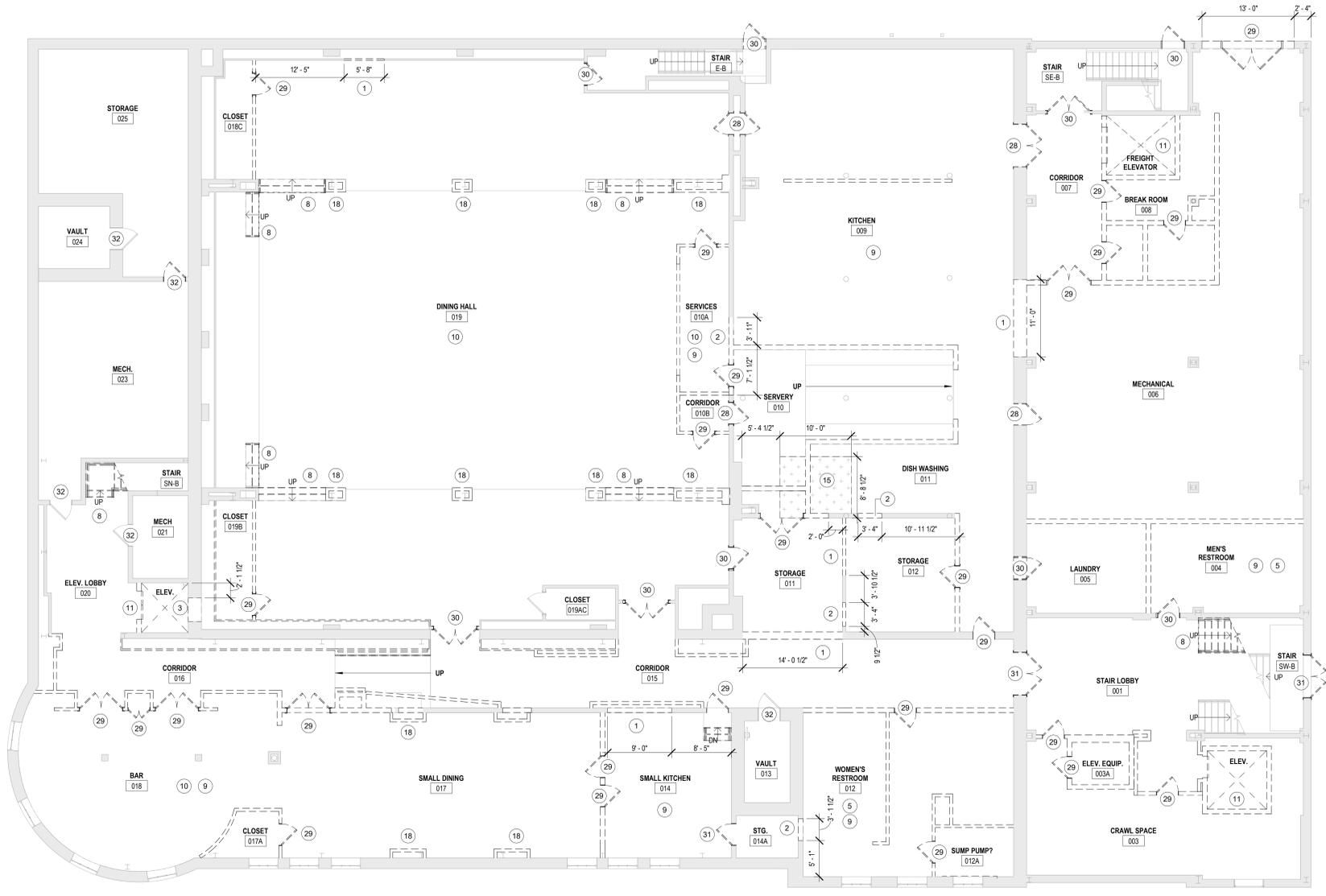
DEMOLITION KEY NOTES:

INDICATED WITH A CIRCLE ANNOTATION. EXAMPLE: (X)

KEYNOTES - DEMOLITION	
Key Value	Keynote Text
1	REMOVE PORTION OF WALL. CLEAN AND PATCH AREA TO MATCH EXISTING. SEE FLOOR PLANS FOR EXTENTS
2	REMOVE PORTION OF WALL. PREP FOR NEW DOOR. SEE DOOR SCHEDULE, OR FRAME ELEVATIONS FOR SIZE. RE. STRUCTURAL FOR HEADER
3	REMOVE PORTION OF WALL. PREP FOR NEW WINDOW, RE. STRUCTURAL FOR HEADER
5	REMOVE TOILET PARTITIONS, COUNTERS, AND TOILET ACCESSORIES IN THIS ROOM
8	REMOVE STAIR, ASSOCIATED STRUCTURE, GUARD RAILS AND RAILINGS
9	REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PIPING IN THIS SPACE
10	REMOVE ALL CASEWORK IN THIS ROOM
11	REMOVE ELEVATOR SYSTEM, ASSOCIATED STRUCTURE, AND DOORS - PREP FLOOR FOR INFILL
15	REMOVE PORTION OF EXISTING FLOOR. SEE FLOOR PLANS FOR EXTENTS
18	REMOVE COLUMN WRAP. STRUCTURAL COLUMN TO REMAIN
28	REMOVE DOOR AND ASSOCIATED HARDWARE. FRAME TO REMAIN
29	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
30	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE. PREP FOR NEW DOOR/ HARDWARE
31	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE. PREP FOR INFILL EXISTING DOOR TO REMAIN
32	

GENERAL DEMOLITION NOTES:

- A. WALLS, FLOORS, AND CEILINGS SHOWN TO BE DEMOLISHED SHALL ALSO INCLUDE DEMOLITION OF ALL APPLIED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COAT HOOKS, SIGNAGE, FECS, SEATING, SHELVING, MIRRORS, TACKBOARDS, ETC.
- B. REMOVE ALL FLOORING. COORDINATE WITH GC PRIOR TO REMOVAL. REMOVE SETTING BED UNDER TILES, MASTIC, UNDERLAYMENTS, ETC. TO EXISTING HARDWOOD OR SUBFLOOR / STRUCTURE.
- C. COORDINATE CEILING REMOVAL WITH GC PRIOR TO DEMO. WHERE CEILINGS ARE TO BE REMOVED, REMOVE FURRING STRIPS, GLUES, ETC. TO BARE STRUCTURE. REMOVE SPALLING AND LOOSE PIECES.
- D. REMOVE ALL EXISTING ELECTRICAL FIXTURES, LIGHTING, HVAC EQUIPMENT, AND PLUMBING PIPING. COORDINATE REMOVAL WITH M.E.P. DRAWINGS/ SCOPE.
- E. COORDINATE EXTENT OF REMOVAL OF EXISTING FLOOR AREAS AND STRUCTURE WITH STRUCTURAL PLANS.
- F. SALVAGE ALL REMOVED DOORS AND TURN OVER TO OWNER. REMOVE AND SALVAGE EXISTING STAINED GLASS WINDOWS AND TURN OVER TO OWNER.
- G. SALVAGE ALL ARTWORK, BOOKS, A/V EQUIPMENT, & HISTORICAL ITEMS. TURN OVER TO OWNER.
- H. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING SELECTIVE DEMOLITION OPERATIONS.
- I. PERFORM AN ENGINEERING SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
- J. DESIGN, PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- K. VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH THE BUILDING DEMOLITION OPERATIONS.



1 BASEMENT - DEMO  
SCALE: 1/8" = 1'-0"

PROJECT  
21-102 SAXONY VAN BUREN

SHEET  
DEMOLITION  
PLANS -  
BASEMENT



DATE  
9-3-27

PROJECT NO.  
21-102

SHEET NO.

A100

**DEMOLITION LEGEND**

- REMOVE WALL
- REMOVE DOOR AND FRAME U.N.O.
- REMOVE WINDOW / OPENING

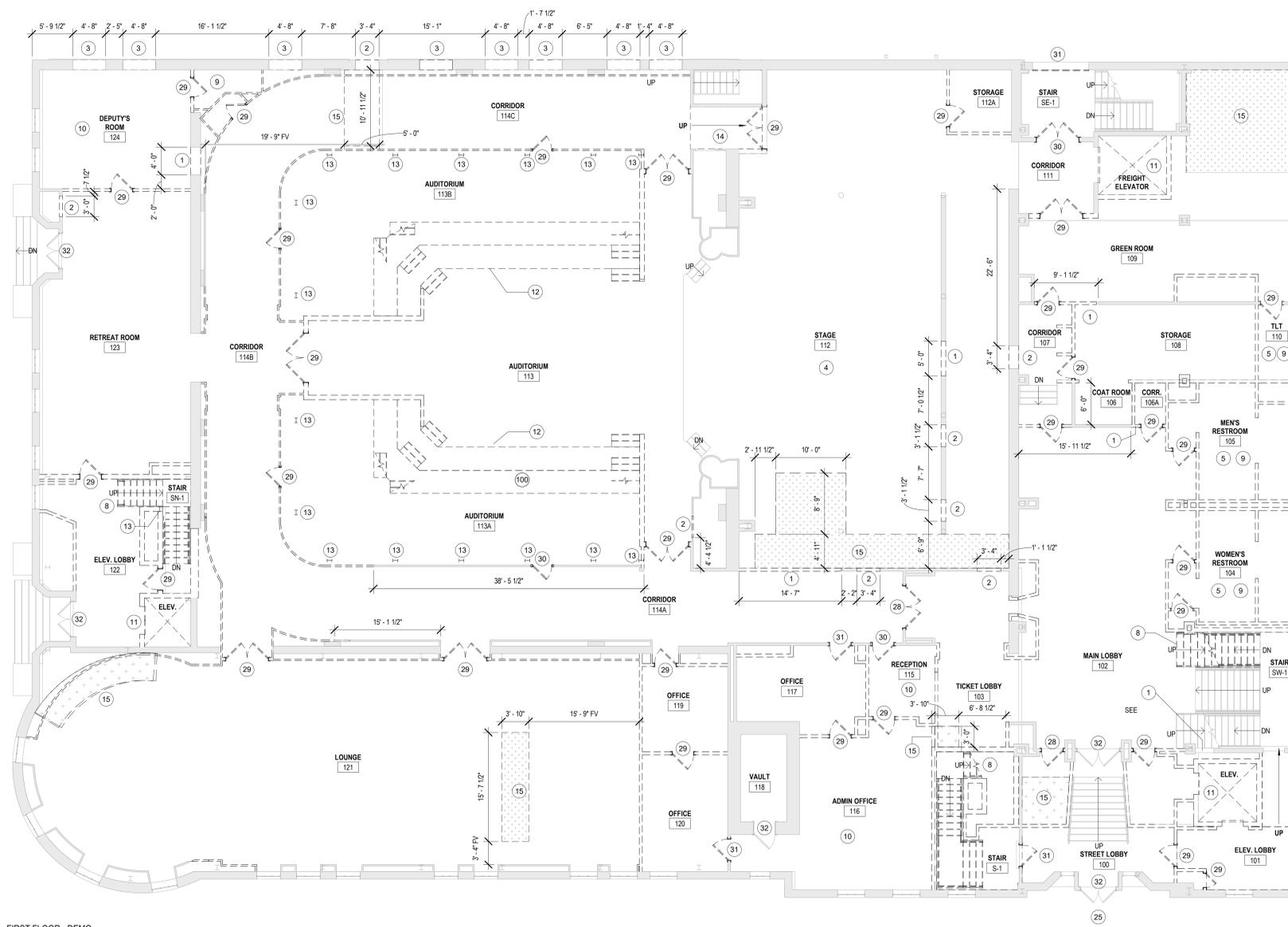
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INDICATED WITH A CIRCLE ANNOTATION. EXAMPLE: (X)

KEYNOTES - DEMOLITION	
Key Value	Keynote Text
1	REMOVE PORTION OF WALL, CLEAN AND PATCH AREA TO MATCH EXISTING. SEE FLOOR PLANS FOR EXTENTS
2	REMOVE PORTION OF WALL, PREP FOR NEW DOOR, SEE DOOR SCHEDULE, OR FRAME ELEVATIONS FOR SIZE, RE: STRUCTURAL FOR HEADER
3	REMOVE PORTION OF WALL, PREP FOR NEW WINDOW, RE: STRUCTURAL FOR HEADER
4	REMOVE STAGE CURTAINS, SUPPORTS, AND ASSOCIATED HOIST SYSTEMS
5	REMOVE TOILET PARTITIONS, COUNTERS, AND TOILET ACCESSORIES IN THIS ROOM
8	REMOVE STAIR, ASSOCIATED STRUCTURE, GUARD RAILS AND RAILINGS
9	REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PIPING IN THIS SPACE
10	REMOVE ALL CASEWORK IN THIS ROOM
11	REMOVE ELEVATOR SYSTEM, ASSOCIATED STRUCTURE, AND DOORS - PREP FLOOR FOR INFILL
12	REMOVE AUDITORIUM RISERS, CHAIRS, STAIRS AND SUPPORTING STRUCTURE
13	REMOVE COLUMN, NO SHORING REQUIRED
14	REMOVE RAMP, SUPPORTS, AND RAILINGS
15	REMOVE PORTION OF EXISTING FLOOR, SEE FLOOR PLANS FOR EXTENTS
25	REMOVE EXTERIOR ENTRANCE CANOPY AND ASSOCIATED STRUCTURE
28	REMOVE DOOR AND ASSOCIATED HARDWARE, FRAME TO REMAIN
29	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
30	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE, PREP FOR NEW DOOR HARDWARE
31	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE, PREP FOR INFILL EXISTING DOOR TO REMAIN

**GENERAL DEMOLITION NOTES:**

- A. WALLS, FLOORS, AND CEILINGS SHOWN TO BE DEMOLISHED SHALL ALSO INCLUDE DEMOLITION OF ALL APPLIED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COAT HOOKS, SIGNAGE, FEES, SEATING, SHELVING, MIRRORS, TACKBOARDS, ETC.
- B. REMOVE ALL FLOORING, COORDINATE WITH GC PRIOR TO REMOVAL. REMOVE SETTING BED UNDER TILES, MASTIC, UNDERLAYMENTS, ETC. TO EXISTING HARDWOOD OR SUBFLOOR / STRUCTURE.
- C. COORDINATE CEILING REMOVAL WITH GC PRIOR TO DEMO. WHERE CEILINGS ARE TO BE REMOVED, REMOVE Furring STRIPS, GLUES, ETC. TO BARE STRUCTURE. REMOVE SPALLING AND LOOSE PIECES.
- D. REMOVE ALL EXISTING ELECTRICAL FIXTURES, LIGHTING, HVAC EQUIPMENT, AND PLUMBING PIPING. COORDINATE REMOVAL WITH M.E.P. DRAWINGS/ SCOPE.
- E. COORDINATE EXTENT OF REMOVAL OF EXISTING FLOOR AREAS AND STRUCTURE WITH STRUCTURAL PLANS.
- F. SALVAGE ALL REMOVED DOORS AND TURN OVER TO OWNER. REMOVE AND SALVAGE EXISTING STAINED GLASS WINDOWS AND TURN OVER TO OWNER.
- G. SALVAGE ALL ARTWORK, BOOKS, A/V EQUIPMENT, & HISTORICAL ITEMS. TURN OVER TO OWNER.
- H. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING SELECTIVE DEMOLITION OPERATIONS.
- I. PERFORM AN ENGINEERING SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
- J. DESIGN, PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- K. VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH THE BUILDING DEMOLITION OPERATIONS.



1 FIRST FLOOR - DEMO  
A101 SCALE: 1/8" = 1'-0"



**DEMOLITION LEGEND**

- REMOVE WALL
- - - - REMOVE DOOR AND FRAME U.N.O.
- - - - REMOVE WINDOW / OPENING

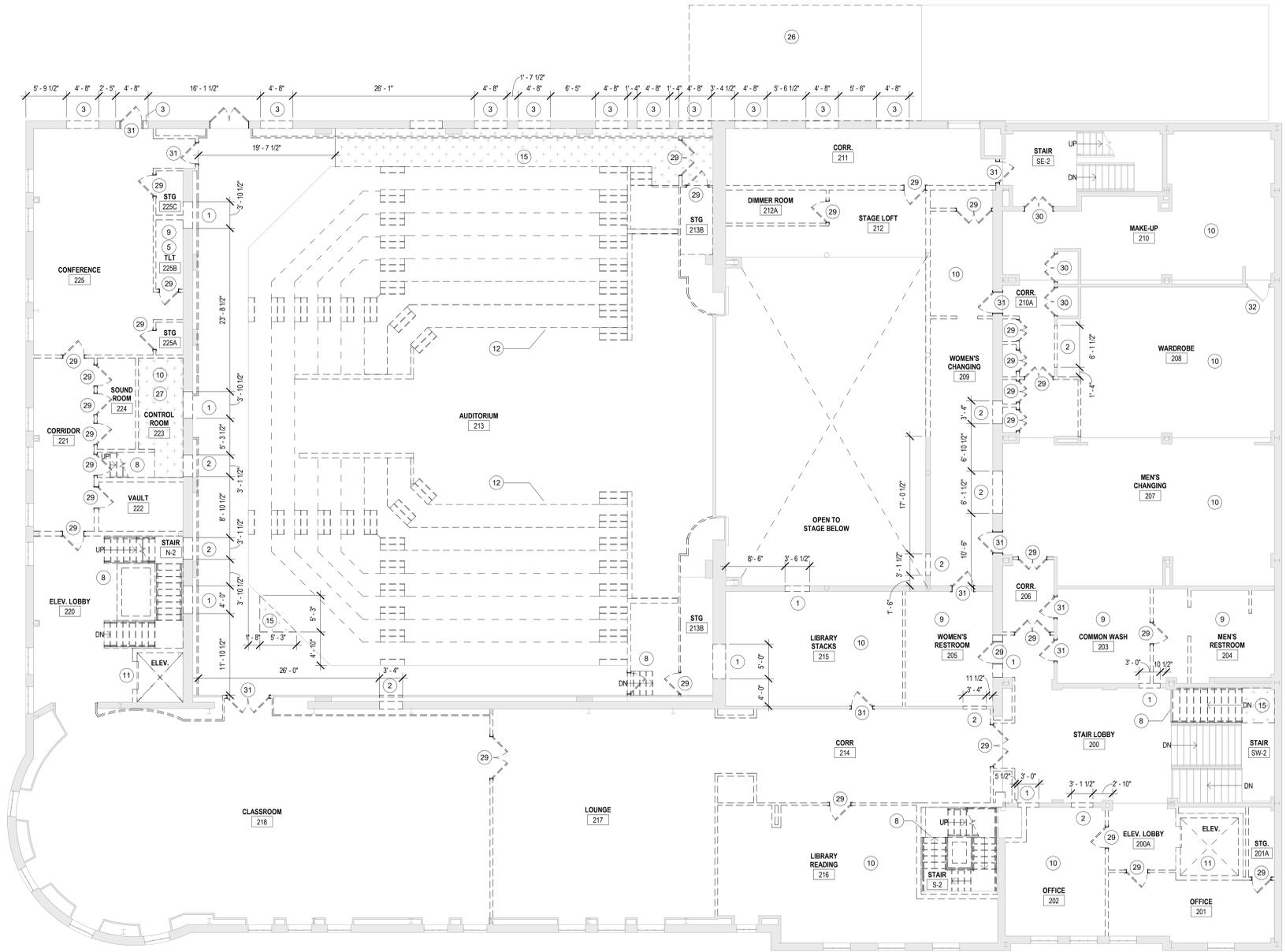
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3	REMOVE PORTION OF WALL, PREP FOR NEW WINDOW, RE: STRUCTURAL FOR HEADER
5	REMOVE TOILET PARTITIONS, COUNTERS, AND TOILET ACCESSORIES IN THIS ROOM
8	REMOVE STAIR, ASSOCIATED STRUCTURE, GUARD RAILS AND RAILINGS
9	REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PIPING IN THIS SPACE
10	REMOVE ALL CASEWORK IN THIS ROOM
11	REMOVE ELEVATOR SYSTEM, ASSOCIATED STRUCTURE, AND DOORS - PREP FLOOR FOR INFILL
12	REMOVE AUDITORIUM RISERS, CHAIRS, STAIRS AND SUPPORTING STRUCTURE
15	REMOVE PORTION OF EXISTING FLOOR, SEE FLOOR PLANS FOR EXTENTS
26	REMOVE PORTION OF MECHANICAL STRUCTURE, SEE STRUCTURAL REMOVE RAISED FLOOR / PLATFORM
27	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
29	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE. PREP FOR NEW DOOR/ HARDWARE
30	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE, PREP FOR INFILL
31	EXISTING DOOR TO REMAIN

**GENERAL DEMOLITION NOTES:**

- A. WALLS, FLOORS, AND CEILINGS SHOWN TO BE DEMOLISHED SHALL ALSO INCLUDE DEMOLITION OF ALL APPLIED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COAT HOOKS, SIGNAGE, FECS, SEATING, SHELVING, MIRRORS, TACKBOARDS, ETC.
- B. REMOVE ALL FLOORING, COORDINATE WITH GC PRIOR TO REMOVAL. REMOVE SETTING BED UNDER TILES, MASTIC, UNDERLAYMENTS, ETC. TO EXISTING HARDWOOD OR SUBFLOOR / STRUCTURE.
- C. COORDINATE CEILING REMOVAL WITH GC PRIOR TO DEMO. WHERE CEILINGS ARE TO BE REMOVED, REMOVE FURRING STRIPS, GLUES, ETC. TO BARE STRUCTURE. REMOVE SPALLING AND LOOSE PIECES.
- D. REMOVE ALL EXISTING ELECTRICAL FIXTURES, LIGHTING, HVAC EQUIPMENT, AND PLUMBING PIPING. COORDINATE REMOVAL WITH M.E.P DRAWINGS' SCOPE.
- E. COORDINATE EXTENT OF REMOVAL OF EXISTING FLOOR AREAS AND STRUCTURE WITH STRUCTURAL PLANS.
- F. SALVAGE ALL REMOVED DOORS AND TURN OVER TO OWNER. REMOVE AND SALVAGE EXISTING STAINED GLASS WINDOWS AND TURN OVER TO OWNER.
- G. SALVAGE ALL ARTWORK, BOOKS, A/V EQUIPMENT, & HISTORICAL ITEMS. TURN OVER TO OWNER.
- H. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING SELECTIVE DEMOLITION OPERATIONS
- I. PERFORM AN ENGINEERING SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES
- J. DESIGN, PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- K. VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH THE BUILDING DEMOLITION OPERATIONS



1 SECOND FLOOR - DEMO  
SCALE: 1/8" = 1'-0"

### DEMOLITION LEGEND

- == == REMOVE WALL
- --- REMOVE DOOR AND FRAME U.N.O.
- == == REMOVE WINDOW / OPENING

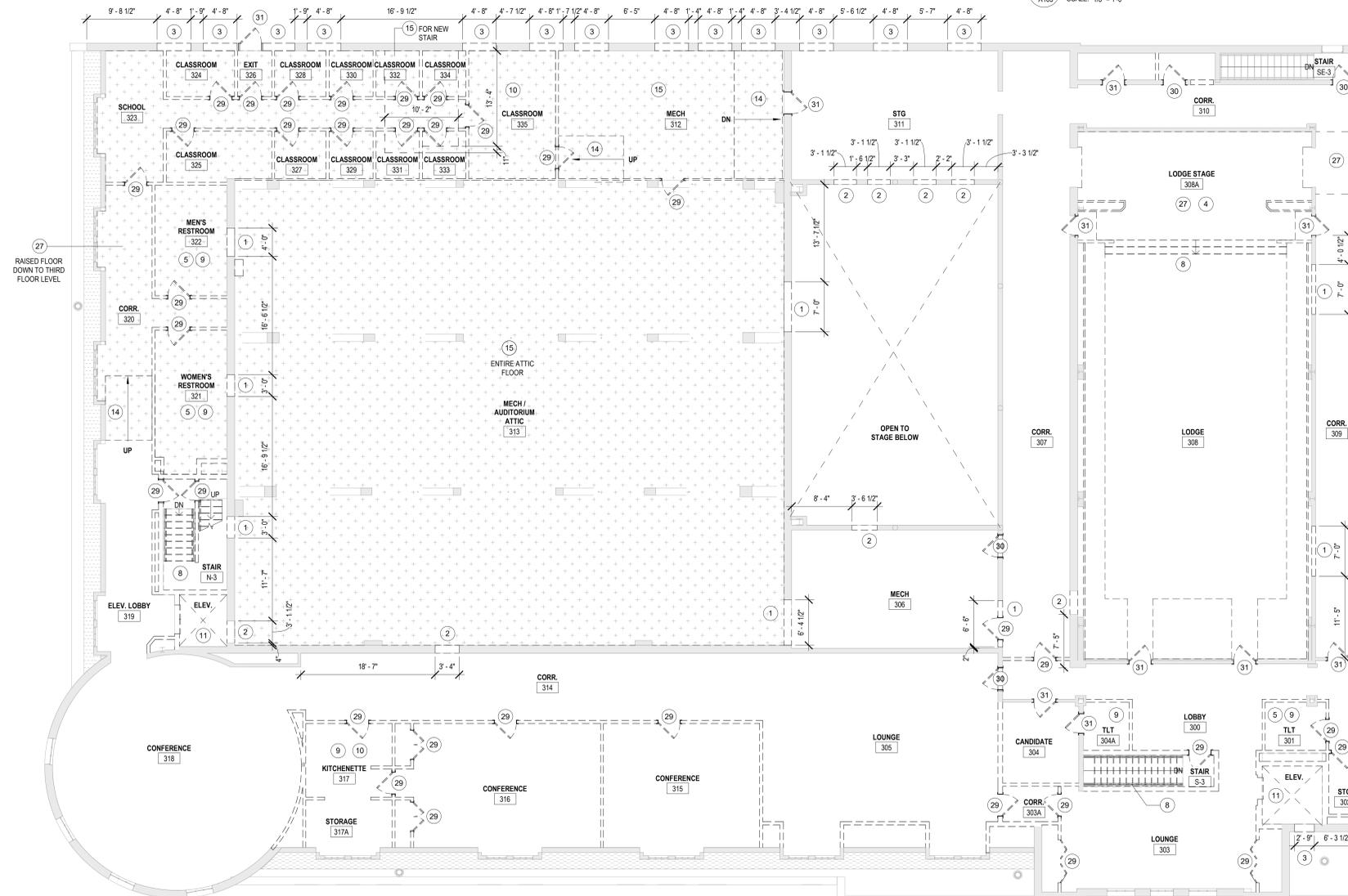
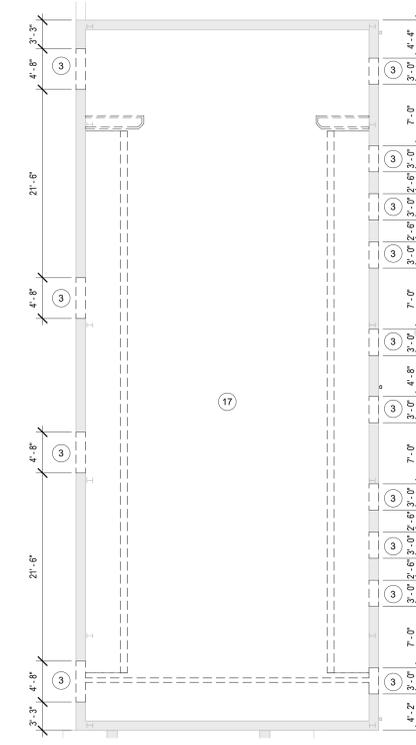
### DEMOLITION KEY NOTES:

INDICATED WITH A CIRCLE ANNOTATION. EXAMPLE: (X)

KEYNOTES - DEMOLITION	
Key Value	Keynote Text
1	REMOVE PORTION OF WALL. CLEAN AND PATCH AREA TO MATCH EXISTING. SEE FLOOR PLANS FOR EXTENTS
2	REMOVE PORTION OF WALL. PREP FOR NEW DOOR. SEE DOOR SCHEDULE, OR FRAME ELEVATIONS FOR SIZE. RE; STRUCTURAL FOR HEADER
3	REMOVE PORTION OF WALL. PREP FOR NEW WINDOW. RE; STRUCTURAL FOR HEADER
4	REMOVE STAGE CURTAINS, SUPPORTS, AND ASSOCIATED HOIST SYSTEMS
5	REMOVE TOILET PARTITIONS, COUNTERS, AND TOILET ACCESSORIES IN THIS ROOM
8	REMOVE STAIR, ASSOCIATED STRUCTURE, GUARD RAILS AND RAILINGS
9	REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PIPING IN THIS SPACE
10	REMOVE ALL CASEWORK IN THIS ROOM
11	REMOVE ELEVATOR SYSTEM, ASSOCIATED STRUCTURE, AND DOORS - PREP FLOOR FOR INFILL
14	REMOVE RAMP, SUPPORTS, AND RAILINGS
15	REMOVE PORTION OF EXISTING FLOOR. SEE FLOOR PLANS FOR EXTENTS
17	REMOVE CEILING IN THIS SPACE
27	REMOVE RAISED FLOOR / PLATFORM
29	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
30	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE. PREP FOR NEW DOOR HARDWARE
31	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE. PREP FOR INFILL

### GENERAL DEMOLITION NOTES:

- A. WALLS, FLOORS, AND CEILINGS SHOWN TO BE DEMOLISHED SHALL ALSO INCLUDE DEMOLITION OF ALL APPLIED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COAT HOOKS, SIGNAGE, FFC'S, SEATING, SHELVING, MIRRORS, TACKBOARDS, ETC.
- B. REMOVE ALL FLOORING. COORDINATE WITH GC PRIOR TO REMOVE. REMOVE SETTING BED UNDER TILES, MASTIC, UNDERLAYMENTS, ETC. TO EXISTING HARDWOOD OR SUBFLOOR / STRUCTURE.
- C. COORDINATE CEILING REMOVAL WITH GC PRIOR TO DEMO. WHERE CEILINGS ARE TO BE REMOVED, REMOVE FURRING STRIPS, GLUES, ETC. TO BARE STRUCTURE. REMOVE SPALLING AND LOOSE PIECES.
- D. REMOVE ALL EXISTING ELECTRICAL FIXTURES, LIGHTING, HVAC EQUIPMENT, AND PLUMBING PIPING. COORDINATE REMOVAL WITH M.E.P DRAWINGS/ SCOPE.
- E. COORDINATE EXTENT OF REMOVAL OF EXISTING FLOOR AREAS AND STRUCTURE WITH STRUCTURAL PLANS.
- F. SALVAGE ALL REMOVED DOORS AND TURN OVER TO OWNER. REMOVE AND SALVAGE EXISTING STAINED GLASS WINDOWS AND TURN OVER TO OWNER.
- G. SALVAGE ALL ARTWORK, BOOKS, AV EQUIPMENT, & HISTORICAL ITEMS. TURN OVER TO OWNER.
- H. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING SELECTIVE DEMOLITION OPERATIONS.
- I. PERFORM AN ENGINEERING SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
- J. DESIGN, PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- K. VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH THE BUILDING DEMOLITION OPERATIONS.



1 THIRD FLOOR - DEMO  
A103 SCALE: 1/8" = 1'-0"

4 3.5 THIRD FLOOR LOFT - DEMO  
A103 SCALE: 1/8" = 1'-0"



**RAMLOW/STEIN**  
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REVISIONS		
No.	Date	Description

9/23/2021 2:25:30 PM BIM 360://21-102 Scottish Rite Masonic Center//21-102 Scottish Rite - A.rvt

PROJECT  
**21-102 SAXONY VAN BUREN**  
SAXONY PROPERTIES

SHEET  
**DEMOLITION PLANS - THIRD FLOOR**



DATE  
9-3-27

PROJECT NO.  
21-102

SHEET NO.

**A103**



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**REVISIONS**

No. Date Description:

**DEMOLITION LEGEND**

- ==== REMOVE WALL
- |--- REMOVE DOOR AND FRAME U.N.O.
- |--- REMOVE WINDOW / OPENING

**DEMOLITION KEY NOTES:**

INDICATED WITH A CIRCLE ANNOTATION. EXAMPLE: (X)

KEYNOTES - DEMOLITION	
Key Value	Keynote Text
19	REMOVE ROOF ASSEMBLY TO STRUCTURAL ROOF DECK
20	REMOVE ROOF ACCESS STRUCTURE TO INCLUDE WALLS, STAIR, DOOR, ROOF, AND ELEVATOR OVER-RUN
21	REMOVE ELEVATOR OVER-RUN STRUCTURE
22	REMOVE PORTION OF EXISTING ROOF STRUCTURE. SEE PLANS FOR EXTENTS
23	REMOVE ROOF HATCH OR VENT. PREP FOR INFILL
24	REMOVE PORTION OF GUTTER AND ASSOCIATED DOWNSPOUT. SEE PLANS FOR EXTENTS
26	REMOVE PORTION OF MECHANICAL STRUCTURE. SEE STRUCTURAL

**GENERAL DEMOLITION NOTES:**

- A. WALLS, FLOORS, AND CEILINGS SHOWN TO BE DEMOLISHED SHALL ALSO INCLUDE DEMOLITION OF ALL APPLIED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COAT HOOKS, SIGNAGE, FECS, SEATING, SHELVING, MIRRORS, TACKBOARDS, ETC.
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