

AR 21034



Department of Neighborhood Services  
Enforcement Section  
841 N. Broadway  
Milwaukee, WI 53202

Inspection Date  
11/06/2020  
ORD-20-13143

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INSPECTION REPORT AND ORDER TO CORRECT CONDITION

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Department Copy

Re: 4933 W MEDFORD AV

Taxkey #: 267-0915-000

A recent inspection of the premises at the above address revealed conditions that violate the Milwaukee Code of Ordinances. You are hereby ordered to correct each violation listed below by date indicated.

**Correct By Date: 12/09/2020**

OK  
117  
~~1) 200-20.1.a-1~~ Supplied Facilities. Every supplied facility, piece of equipment or utility which is supplied under this chapter shall be so constructed or installed that it will function properly, and be maintained in reasonably good working condition. Restore service/equipment to proper working condition.

OVEN

**Correct By Date: 12/09/2020**

2 ) 275-33.3.a Repair or remove defective carpeting.

LIVING ROOM

**Correct By Date: 12/09/2020**

OK  
117  
~~3) 275-32.4.a~~ Repair or replace defective exterior door.

SOUTH DOOR

**Correct By Date: 12/09/2020**

4 ) 275-33.3 Restore tub enclosure to watertight condition

HOLE IN WALL AND DEFECTIVE TILES

For any additional information, please phone Inspector Nastacia Smith at 414-286-3882 or [nassmi@milwaukee.gov](mailto:nassmi@milwaukee.gov) between the hours of 8:00 a.m. to 10:00 a.m. Monday through Friday. Violations can also be viewed on our website at [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms).

Per Commissioner of Neighborhood Services By -  
Nastacia Smith

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OFFICIAL NOTICE OF VIOLATION

The City of Milwaukee - Department of Neighborhood Services

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**Recipients:**

GOLDEN TREE PROPERTIES WISCONSIN, LLC (RA), NORTHWEST REGISTERED AGENT, LLC 2800 E ENTERPRISE  
AVE, STE 333, APPLETON, WI 54913  
GOLDEN TREE PROPERTIES, 2526 RICHERT AVE WISCONSIN LLC, CLOVIS, CA 93611-0111

**FAILURE TO COMPLY**

Failure to correct the violations noted herein within the time set, or failure to comply with the order as modified by an appellant board and maintain compliance, may subject you to prosecution and to daily penalties of \$150.00 to \$10,000 in the manner provided in Section 200-19.

Also, any infraction of this order may result in a citation under Section 200-12-5 of the Milwaukee Code of Ordinances Volume II.

**RIGHT TO APPEAL**

You may file an appeal within 20 days. The Milwaukee Code of Ordinances requires that a written appeal of this order be received within 20 days of service of this order. If service of this order is made by mail, the appeal shall be received within 30 days or by the compliance date plus 5 days not to exceed 30 days. There is a fee for filing this appeal.

**Violations (excluding zoning violations - Chapter 295) must be appealed to the Code Appeals Secretary, Municipal Building, 1st Floor, 841 N. Broadway, Milwaukee, Wisconsin 53202, phone 414 286-2543.**

Violations of Chapter 295 of the Milwaukee Code of Ordinances must be appealed to the Board of Zoning Appeals, 809 N. Broadway, 1st floor, Milwaukee, Wisconsin 53202, phone 414-286-2501. All appeal applications must include the required information outlined in sec. 295-311-6.

**If an appeal is pursued, it is your responsibility, as the recipient of this order, to file with the appropriate department. Please contact the inspector that issued this order if you are unclear on this issue. Filing an appeal with the incorrect department may render your appeal null and void.**

**TENANT RENT WITHHOLDING**

Uncorrected violations on properties may allow tenants to deposit their rent in an escrow account in the Department of Neighborhood Services under Section 200-22. The Commissioner may withdraw monies from such escrow accounts to make repairs to protect the health, safety and welfare of tenants.

**REINSPECTION FEES**

In accordance with Section 200-33-48, a fee may be charged for any reinspection, except no fee shall be charged for the final reinspection when compliance is recorded. **The fee is \$177.80 for the first reinspection, \$355.60 for the second and all subsequent reinspections. These fees include a 1.6% training and technology surcharge. Reinspection fees shall be a lien upon the real estate where the reinspections were made and shall be assessed and collected as a special tax.** If you wish to contest the assessment of a reinspection fee, contact the inspector, and, if necessary, the inspector's supervisor. If no agreement is reached, an appeal form will be mailed to you, which you can complete and send to the City's Administrative Review Appeals Board. Any question regarding the actual appeal process, please contact the Administrative Review Appeals Board at (414) 286-2221. Please be aware that there is a fee required when filing an appeal.

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**OFFICIAL NOTICE OF VIOLATION**

*The City of Milwaukee - Department of Neighborhood Services*

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TRADUCCION EN ESPAÑOL

Si Ud, necesite ayuda para la traducción, de esta información, comuníquese con el 'Centro Hispano' Council for the Spanish Speaking, Inc., 614 W. National Avenue, Milwaukee, WI 53204. Teléfono: (414) 384-3700 o Community Advocates, 728 N. James Lovell St., Milwaukee WI, 53233, Teléfono: (414) 449-4777

LUS HMOOB

Yog koj xav tau kev pab txhais cov lus no, thov hu mus rau koomhaum Hmong/American Friendship Association, 3824 West Vliet Street, Milwaukee, WI 53208, xovtooj yog (414) 344-6575.

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**OFFICIAL NOTICE OF VIOLATION**

*The City of Milwaukee - Department of Neighborhood Services*

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## CHRONOLOGICAL RECORD OF ENFORCEMENT

**ADDRESS:** 4933 - 4933 W MEDFORD AV, MILWAUKEE, WI 532162334

**ORDER #**

**Original Inspection Date:** 11/06/2020

ORD-20-13143

<u>DATE</u>	<u>COMMENT</u>	<u>Comment By</u>
11/06/2020	attempted contacts with GOLDEN TREE PROPERTIES WISCONSIN, LLC - no answer mailbox full	NASSMI
11/10/2020	ORDERS MAILED 1ST CLASS	LBUEGE
12/23/2020	received call from property manager - tenant refusing entry	NASSMI
12/23/2020	tenant stating that property owner making appointments and not coming during agreed upon time	NASSMI
12/23/2020	scheduled reinspection for - 1/7/20 at 11am	NASSMI
01/12/2021	1/7/2021 inspection complete violation 2 remains	NASSMI
01/12/2021	Fee added	NASSMI
01/14/2021	Mailed reinspection fee letter first class.	BRANER
02/19/2021	Appeal filed - ARAB #21034	LBUEGE
05/04/2021	05/03/2021 - Re-inspection for supervisor K. Reed. Information and pictures only	JKOLBE

Print Date: 11/6/2020 3:04:30 PM

Property: **4933-4933 W MEDFORD AV**

Owner	Info
GOLDEN TREE PROPERTIES WISCONSIN LLC	Taxkey: 2670915000 Land Use: 8810 Lot Size: 5520 Year Built: 1947 Units: 1 Conveyance Date: 2014-09-26 Conveyance Type: QC Name Change: 2020-08-11 Zoning: RT2
2526 RICHERT AVE CLOVIS, CA ,936110111	

**Latest Property Registration Information**

Date Registration Received: 2014-10-03

Link to ACA Registration: [SLRNT-14-217624-H](#)

Type	Name	Phone	Address	Email
Agent for Applicant	NORTHWEST REG AGT			
Registration Owner	GOLDEN TREE PROPETIES WISCONSIN LLC	2097408488	NORTHWEST REGISTERED AGENT (RA) 4650 W SPENCER STREET SUITE A APPLETON, WI 54914	

Showing 1 to 2 of 2 entries

# Wisconsin Department of Financial Institutions

## Strengthening Wisconsin's Financial Future

Search for:

GOLDEN TREE PROPERTIES

Search Records

[Search](#)  
[Advanced Search](#)  
[Name Availability](#)

### Corporate Records

Result of lookup for G051009 (at 11/6/2020 3:04 PM)

## GOLDEN TREE PROPERTIES WISCONSIN, LLC

You can: [File an Annual Report](#) - [Request a Certificate of Status](#) - [File a Registered Agent/Office Update Form](#)

### Vital Statistics

Entity ID G051009

Registered Effective Date 09/02/2014

Period of Existence PER

Status Restored to Good Standing [Request a Certificate of Status](#)

Status Date 08/03/2020

Entity Type Domestic Limited Liability Company

Annual Report Requirements Limited Liability Companies are required to file an Annual Report under s. 183.0120, WI Statutes.

### Addresses

Registered Agent Office NORTHWEST REGISTERED AGENT, LLC  
2800 E ENTERPRISE AVE  
STE 333  
APPLETON, WI 54913-7889

[File a Registered Agent/Office Update Form](#)

Principal Office 2800 E ENTERPRISE AVE  
STE 333  
APPLETON, WI 54913-7889

### Historical Information

#### Annual Reports

Year	Reel	Image	Filed By	Stored On
2020	000	0000	online	database
2018	000	0000	online	database
2016	000	0000	online	database
2015	000	0000	online	database

[File an Annual Report - Order a Document Copy](#)

Certificates of  
Newly-elected  
Officers/Directors

None

Old Names

None

Chronology

Effective Date	Transaction	Filed Date	Description
09/02/2014	Organized	09/02/2014	E-Form
09/10/2015	Change of Registered Agent	09/10/2015	OnlineForm 5
01/25/2017	Change of Registered Agent	02/02/2017	CHANGES REGISTERED AGENT
07/01/2018	Delinquent	07/01/2018	
08/27/2018	Change of Registered Agent	08/27/2018	OnlineForm 5
08/27/2018	Restored to Good Standing	08/27/2018	OnlineForm 5
07/01/2020	Delinquent	07/01/2020	
08/03/2020	Restored to Good Standing	08/03/2020	OnlineForm 5

[Order a Document Copy](#)

















Nov 6, 2020 at 12:36:29 PM





**Department of Neighborhood Services  
Enforcement Section  
841 N. Broadway  
Milwaukee, WI 53202**

January 12, 2021  
Order #: ORD-20-13143

Department Copy  
MILWAUKEE, WI

Re: 4933 W MEDFORD AV

When a property is reinspected and violations remain uncorrected, the Milwaukee Code of Ordinances provides for these reinspection fees:

First reinspection \$177.80  
Second reinspection \$355.60  
All subsequent reinspections \$355.60

There is no charge for the reinspection that shows compliance with all violations.

All reinspections which show noncompliance with the order will be charged at the above rate. These fees will be assessed against the property as a special charge and will appear on the tax bill for this property. **On 01/07/2021, we imposed a \$177.80 reinspection fee, which includes a 1.6% training and technology surcharge. Any outstanding fees will automatically be assessed to your 2021 tax bill.**

As you can see, the cost of noncompliance with the code can add up quickly. The Department would prefer to see you put the money into correcting the violations and not into paying reinspection fees. Please contact me as soon as the violations have been corrected. If I do not hear from you, we will continue to reinspect until the property has been brought into compliance with the code. Please do not put us in that situation.

If you wish to appeal this charge you must file that appeal within 30 days of the date of this letter. It must be filed with the: Administrative Review and Appeals Board, Office of the City Clerk, Room 205 City Hall, 200 E Wells Street, Milwaukee Wisconsin 53202, 414-286-2221. Please contact them to obtain the proper application form. There is a \$25 fee required when filing this appeal.

**Please be advised that if you have filed for bankruptcy, this letter is for informational purposes and is not intended as to be construed as an attempt to collect a debt during the pendency of your bankruptcy as other conditions may apply.**

**To discuss the violations, please contact the inspector listed below. Please contact your attorney with any legal questions as this office cannot give legal advice**

Please call Inspector Nastacia Smith at 414-286-3882 during the hours of **8:00 a.m. to 10:00 a.m.** Monday through Friday for information on which violations remain uncorrected or if you have any questions. Violations can also be viewed on our website at [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms).

Nastacia Smith

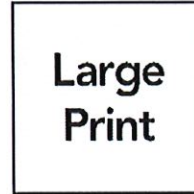
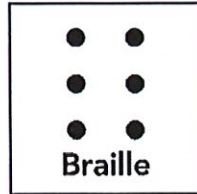
Recipients

GOLDEN TREE PROPERTIES, 2526 RICHERT AVE, WISCONSIN LLC, CLOVIS CA 93611-0111  
GOLDEN TREE PROPERTIES WISCONSIN, LLC (RA), NORTHWEST REGISTERED AGENT, LLC, 2800 E ENTERPRISE AVE, STE 333, APPLETON WI 54

TRADUCCION EN ESPAÑOLSi Ud, necesite ayuda para la traducción, de esta información, comuníquese con el 'Centro His

LUS HMOOBYog koj xav tau kev pab txhais cov lus no, thov hu mus rau koomhaum Hmong/American Friendship Associatio

This material is available in alternative formats for individuals with disabilities upon request. Please contact ADA Coordinator, ADACoordinator@milwaukee.gov, 414-286-3475, TTY: 711. Provide a 72 hour advance notice, 7 days for Braille, to ensure accommodation of request.













J. KOLBERG



4933 W MEDFORD AVE



J. KOLBERG



4933 W MEDFORD AVE

*Southwest portion*



J. KOLBERG



4933 W MEDFORD AVE



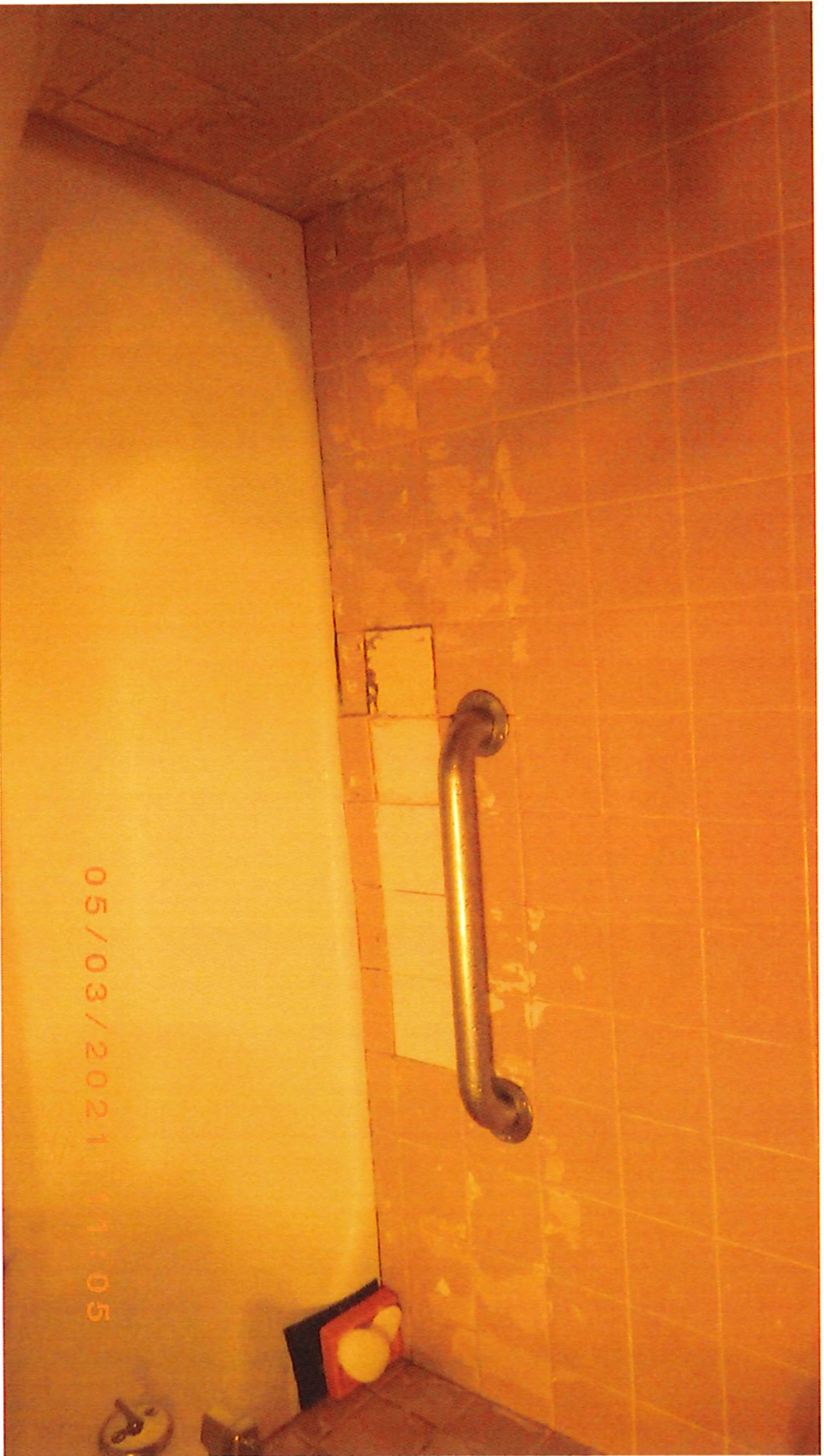
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