

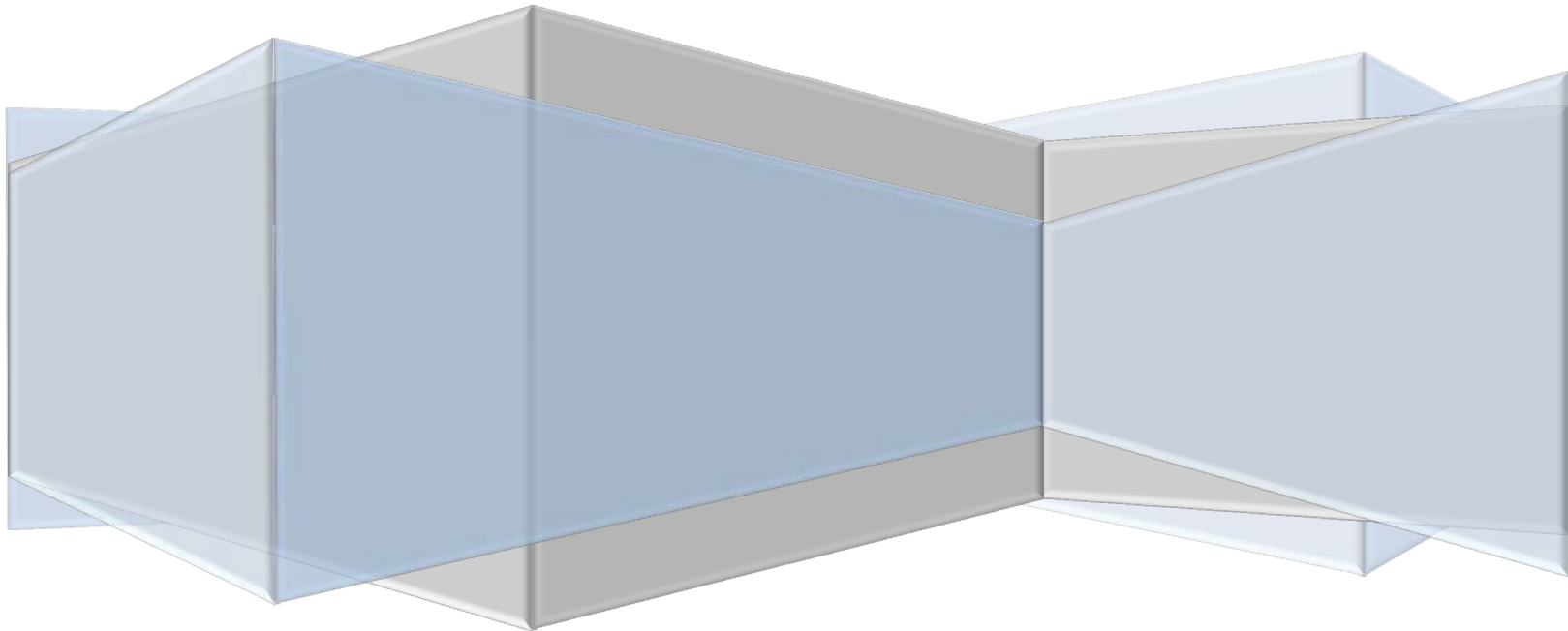
**HOUSING AUTHORITY OF THE CITY OF MILWAUKEE**



# **Recovery Plan Quarterly Report to HUD**

**For the period 1/1/2021 – 3/31/2021**

**Due Date: April 20, 2021**



## Table of Contents

Executive Summary .....	2-3
Update on Recovery Plan Action Items .....	4-8
Waitlist Status Report .....	9
Occupancy Report .....	10
Monthly Report Update .....	10
Quarterly Vacancy Plan Update .....	10
Attachments.....	11-23

## Executive Summary

On September 13, 2019, the Housing Authority of the City of Milwaukee (HACM) received a letter written from Shirley Wong, PIH Director for the U.S. Department of Housing and Urban Development (HUD) to HACM's Board of Commissioners. The letter informed stated that as of May 9, 2019, HACM was designated Substandard by HUD. HUD lowered HACM's designation based on the 2017 Public Housing Assessment System (PHAS) score, which included a Physical Score 22 (of 40), Capital Funds Score 5 (of 25), Management Score 10 (of 25) and Financial Score 25 (of 25) with a point reduction for a late audited financial submission, for a total of 61 of 100.

In response to the letter and substandard designation, HACM submitted a Recovery Plan to HUD on December 18, 2019 outlining the action steps to increase the PHAS scores and to achieve a long-term sustainable level of performance. Enclosed is the quarterly report for the **period January 1, 2021 – March 31, 2021.**

\*Average Unit Turnaround Time – Currently our unit turn team are completing our newer vacant units rehab at a rate within **210 days**, our long term vacancies (units that will cost us significant resources turnover) will be placed into a modernization status (MOD) upon HUD approval. Not addressing these vacant units 90 + days vacant are driving up our unit turnaround time. We have streamlined our move in and move out process in order to get applicants into these vacant units in a timely manner.

Below are the highlighted agency metrics as of March 31, 2021:

**Occupancy Rate: 93%**

HACM Goal through Recovery Plan is 96% by 6/30/2021.

**\*Average Unit Turnaround Time: 210 days-overall**

HACM Goal through Recovery Plan is 30 days or less by 6/30/2021.

### **Additional Highlights to note for Q1 2021:**

- HACM is still in the process of repositioning our public housing portfolio. The remaining public housing developments in our portfolio require the greatest investment and are hardest and most timely to reposition. We will continue to focus on the importance of occupancy while addressing these repositioning challenges.
- Our current occupancy rate is 93 %, we currently have 44 additional units that are ready for occupancy. Approved applicants have delayed leasing due to concerns around COVID19 and the spread of coronavirus. If approved applicants would have chosen to move into these units when first contacted, our occupancy rate would have been at 94 %.
- The application process is not as fluid as it previously was for both staff and applicants. COVID-19 has added delays, stoppage and slowdowns. HACM has to process more applications to find households willing to move during the pandemic.

- HACM has reduced our unit turnaround time down to 210 days; the goal is 30 days or less.
- HACM customer service focus will continue as part of an applicant/resident outreaches by servicing residents via phone, drop box and email. Shifts in communication continue to be a work in progress, which has added additional days to the time in which it takes to process applications. While the shift from in person application processing has benefited some, it has adversely impacted others. (Digital divide, disruption in phone service, etc.)
- HACM has requested an extension from HUD in meeting our recovery plan goals until 6/30/21
- We've completed **31%** of our annual unit inspections. Our anticipated completion date will be 5/31/2021.

\*See Page 10

## Update on Recovery Plan Action Items

PHYSICAL INSPECTION ACTION STEPS	Due By
1. Creation of a Quality Control Team to ensure that all maintenance mechanic work on work orders is executed fully and in accordance with UPCS standards.	Already done as of August 2019
<b>Update as of 6/30/2020:</b> Complete - Ongoing	
2. Review prior REAC Reports and develop development-specific Action Plans to address noted deficiencies. These REAC Action Plans will be shared with the local HUD office.	3/31/2020
<b>Update as of 6/30/2020:</b> Complete	
3. Summarize common findings/themes in REAC reports to help refine training/education needs and to include these common issues as part of our Annual or Biannual inspections.	3/31/2020
<b>Update as of 6/30/2020:</b> Complete	
4. Develop and provide refresher REAC training to existing maintenance staff, including REAC video training, REAC USPC Manuals, and information from the review of HACM-specific REAC reports. This will include ensuring that staff use a "REAC eye" when performing normal work orders or maintenance in apartments or common areas---that is, actively looking for and immediately addressing potential REAC deficiencies that are outside the scope of the current work order. This training will also be incorporated into any onboarding training of new employees	1/31/2020
<b>Update as of 6/30/2020:</b> - Complete	
5. Hold a series of special meetings in each housing development to engage and educate residents on the importance of reporting deficiencies and work orders, and on what residents can do to assist with REAC inspections. We will use Managers Newsletters, written literature, resident meetings, a brochure and HTVN Videos to educate residents	12/1/2020
<b>Update as of 6/30/2020:</b> Postponed due to COVID19	

PHYSICAL INSPECTION ACTION STEPS	Due By
6. HACM will realign our annual inspections with a stated goal date of completion for both the inspection and work orders issued. We will focus significant attention on completing the annual inspection work orders. The annual inspections will be completed by May 31st with related work orders from the inspection to be finalized by August 31 <sup>st</sup> . Additionally, when HACM is notified of a REAC inspection, we will send a senior representative from Housing Operations and Maintenance operations to conduct a pre-REAC walk-through of all common areas and selected units. HACM believes that a combination of additional REAC Training, a realignment of our annual inspections, a focus on completing the annual inspection work orders more timely, and pre-REAC walk-throughs of properties will help improve our REAC score.	6/1/2021
<b>Update as of 12/31/2020:</b> Ongoing Activities –Annual Inspections date have been added to staff's performance evaluations. Due to the COVID-19 we have put all inspections on HOLD until further notice. May 31 <sup>st</sup> target Deadline has been extended to June 1 <sup>st</sup> for 2021.	
7. HACM will continue to use any major capital deficiencies in the annual and REAC inspection results to help us prepare and project budgets for capital work in our housing developments.	Ongoing
<b>Update as of 12/31/2020:</b> Complete - Ongoing	

MANAGEMENT ACTIONS ALREADY TAKEN	Timetable
1. <b>Partnerships with Community Organizations:</b> In September 2017, HACM began partnerships with various community service organizations such as Milwaukee Christian Center, Northcott Neighborhood House, and Milwaukee Community Service Corps to contract out work to speed up some of the steps to unit turnaround, such as removing debris from an apartment or basic cleaning. This allowed HACM staff to focus on the other steps related to unit turnaround.	Starting in September 2017
<b>Update as of 3/31/2021:</b> We have two third party vendors that are working with HACM's Public Housing Team, in helping us with the daily cleaning at the properties and the turning of our vacant units.  As a result of COVID19, both agencies suspended their activities. SER had anticipated restoring their service mid-June, but has chosen to remain suspended until further notice.  Northcott is now providing full time maintenance services to help us with debris removal at our properties.  The SER program has been suspended indefinitely due to Wisconsin's surge of new cases of the Covid 19 virus. We've hired temporary custodians to help us with the daily cleaning at the properties.	

MANAGEMENT ACTIONS ALREADY TAKEN	Timetable
<p><b>1. Creation of Occupancy Work Group:</b> In February 2018, HACM created the Occupancy Work Group to bring together representatives from all HACM divisions that impact occupancy. We work together as a coordinated team to discuss and streamline occupancy processes. We also determine effective solutions to quickly and substantially improve the occupancy rate.</p> <p>This work group included Willie Hines (Associate Director), Greg Anderson (Senior Asset Manager), Beverly Johnson (Senior Asset Manager), Nyles Walker (Senior Asset Manager), Jim Wellman (Maintenance Director), Jim Hoeffler (Senior Maintenance Supervisor), Pat Schmidtknecht (Intake Manager) and Ken Barbeau (Director of Community Programs).</p>	Ongoing, beginning in February 2018
<b>Update as of 12/31/2020:</b> Complete - Ongoing	
<p><b>2. Scattered Sites Portfolio Assessment:</b> Beginning in November 2018, HACM staff performed an Internal Assessment of HACM's Scattered Sites portfolio (387 units).</p>	November 2018 to Present
<p><b>Update as of 12/31/2021</b> Ongoing. HACM is currently evaluating the scattered sites portfolio to see if a Section 18 Disposition Application will be feasible. Early reports find 329/387 units qualify as a "scattered site" under the HUD definition of non-contiguous. Our goal is to submit a Section 18 Disposition Application By 6/30/2021 to the SAC.</p>	
<p><b>3. 2018 Occupancy Initiative:</b> Additionally, as of December 17, 2018, HACM's Occupancy Work Group identified 127 vacant units in need of capital repairs. We allocated \$1,478,000 of Capital Funds to repair these 127 long-term vacant units during calendar year 2019. The scope of work for the units included but was not limited to the replacement of cabinets, countertops, cove base, floors, doors, tub surrounds, etc. With the success of the 2018 Occupancy Initiative, the agency has adopted a new best practice which includes our Maintenance Make Ready Team. The new unit turnover process is detailed on page 9 of the Recovery Plan.</p>	Ongoing
<b>Update as of 6/30/2020:</b> Complete	

<b>MANAGEMENT: INTAKE AND WAIT LIST MANAGEMENT ACTION STEPS</b>		<b>Due By</b>
1. HACM will continue to assess our waiting list and tenant selection processes to ensure they are efficient and will contribute to a quicker lease-up.		Ongoing
<p><b>Update as of 3/31/2021:</b> Complete – Ongoing. We continue to review our wait list management and tenant selection procedures. At this point, we have not made any additional changes other than those described in #3 below and those that were made to modify procedures due to COVID.</p> <p>However, in a change to its ACOP, beginning March 22, 2021, HACM opened its public housing wait lists for a limited preference for Homeless households that are referred through an agency that is a Continuum of Care partner. As of 3/31/2021, a total of 72 households had been referred, with a current total of 200 open slots.</p>		
2. By December 31, 2019, HACM will conduct a review of its tenant unit turndown policy to see if any change would make it more effective. HACM's current ACOP policy is that applicants are made a unit offer (usually from a development that had been pre-selected by the applicant as a preference) and if a household rejects the unit without good cause, they will be dropped from the waiting list. If they reject with good cause, they will remain on the waiting list. Good cause currently includes reasons related to health and proximity to work, school, or childcare.		3/31/2020
<b>Update as of 3/31/2021:</b> Complete . See prior reports.		
3. HACM's Intake Section currently approves applicants and forwards applications to a housing development that had been identified by an applicant as their preference as soon as they are approved, so that managers always have a group of approved applicants that have expressed interest in their housing development to contact for vacancies. One suggestion has been that it may be better to centrally hold the approved applications and only forward to Property Managers when requested to fill an immediate or upcoming vacancy. By December 31, 2019, HACM will evaluate whether such a process change will reduce or increase the time to lease a unit and will implement it if it is beneficial.		3/31/2020
<b>Update as of 3/31/2021:</b> Complete. See prior reports.		



<b>Waitlist Status Report</b>	
<b>MANAGEMENT: INTAKE AND WAIT LIST MANAGEMENT ACTION STEPS</b>	
4. HACM's intake section has not done a purge of its waiting list in several years, partially because applicants on the senior/disabled waiting list are fairly recent and the family waiting list was opened in late 2017. At this point, however, an increasing number of family applicants pulled off the waiting list have bad addresses. HACM's Intake section will do an update and purge of its waiting lists during calendar 2020.	6/30/2020
<p><b>Update as of 12/31/2020:</b> Not yet completed. The YARDI Rent Café system has the ability to more efficiently perform an update/purge of waiting lists (the “Save My Spot” feature).</p> <p>The first priority in the set-up of YARDI RENT Cafe has been the openings of the HCV wait list and the PBV wait list, as those wait lists were severely depleted. Those wait lists were opened in June 2020 and September 2020 respectively.</p> <p>The next priority is the setting up the systems to allow recertifications through RENT Cafe and to open the public housing wait lists in early 2021. After that, Rent Cafe’s system for purging/updating waiting lists will be implemented.</p>	
5. Evaluate whether to open public housing family wait list in 2020	6/30/2020
<p><b>Update as of 3/31/2021:</b> Based on current and projected needs for various bedroom sizes and the status of the wait list, it does not appear that we will need to open the family public housing wait list until early 2021. Planning will start in late 2020 with the goal to open the wait list for family public housing developments through Rent Café in mid-year 2021.</p>	

## Waitlist Status Report

### Summary of Wait Lists as of 3/31/2021

Wait List	1BR	2BR	3BR	4BR	5BR	6BR	Total
Public housing senior and/or disabled	1,186						1,186
Public housing family	3,794	518	179	298	71	5	4,865

**Note:** This information has been compiled from the standard YARDI report, “Wait List Review”, that shows details (gender, race, etc.) by wait list and bedroom size.

\*\*\*\*\*

### Summary of Wait List Pull Activity during 2021

	Quarter 1 2021		Quarter 2 2021		Quarter 3 2021		Quarter 4 2021		2021 Totals	
	Public Housing Senior/ Disabled	Public Housing Family	Public Housing Senior/ Disabled	Public Housing Family	Public Housing Senior/ Disabled	Public Housing Family	Public Housing Senior/ Disabled	Public Housing Family	Public Housing Senior/ Disabled	Public Housing Family
# of applicants pulled off wait list	509	475							509	475
# of applicants that responded and were invited to forms meetings*	154*	80*							154*	80*
# of applicants that attended forms meetings	0*	0*							0*	0*
# of applicants approved and transmitted to developments	109	52							109	52

\* - Please note that PH Family Forms meetings that were originally scheduled during March 2020 were rescheduled and then eventually suspended until further notice due to the Governor’s orders regarding COVID-19 (coronavirus) and group meetings. We are currently working using mail and email with all applicants that have been pulled off the wait list to have forms completed and signed. We have ordered protective equipment (sneeze guards, etc.) that will allow us to resume in- person meetings once such equipment and other protocols are in place and it is considered safe to resume in-person meetings.

Note that invites to forms meetings may include re-invites from prior wait list pulls. Since the beginning of COVID, we have mailed out forms packets rather than inviting to a meeting. Thus after March, the amount in “# of applicants that responded and were invited to forms meeting” includes applicants that returned completed forms packets through the mail.

## Occupancy Report

Included in Attachment 1 is the Occupancy Reports for January, February and March 2021. The report shows as of March 31, 2021 HACM has 170 vacant units with an occupancy rate of 92.88%.

### Monthly Report Update:

March a total of 43 units were leased with an Average Days Vacant = 172 days.

For units which became vacant on or after 1/1/2021 and have been leased the current average days vacant is 43 days\*

\*I know this is not on the one page to provide, but it's a great average to share which highlights the progress we've made in our process. It demonstrates once the old vacancies have been addressed, the changes in our structure and processes have worked and we are laser focused on leasing in a more time effective manner. Averages by stage include:

- Downtime = 0 [Goal is 0 days]
- Make Ready Time = 36 [Goal is 25 days]
- Lease up Time = 7 [Goal is 5 days]

### Quarterly Vacancy Plan Update – Reports Attached:

Average Turnaround Time: The average unit turnaround report has been improved from 263 days to 210 days.

Long Term Vacancy Report: As of 3/31/2021 the agency has 117 units which have been vacant for 90 days or longer. Once removing the units which are being evaluated for disposition through Section 18, we have 64 units remaining. The average days vacant for these 64 units are 212 days. Of the 64 units, 10 have leasing in progress.

Planned Method for Addressing Vacancy	# of Units
Lease in Progress	10
Rent Ready	6
Make Ready in Progress	48
Submit Application for Disposition	53

Unit details are provided on Attachment 1.

HOUSING AUTHORITY OF THE CITY OF MILWAUKEE  
VACANT UNIT STATUS REPORT AS OF 1/31/21

UNITS	Spec Units	UMA	DEVELOPMENT	1 BEDROOM				2 BEDROOM				3 BEDROOM				4 BEDROOM				5 BEDROOM			
				TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY
230	2	228	640E Arlington Court	14	0	0	4																
51		51	105F Carver Park									1	0	0	1	2	0	0	1	0	0	0	
69		69	693F Cherry/SS					0	0	0	0	3	0	0	0	0	0	0	0	2	0	1	
251	3	248	643E College Court	19	0	5	13																
56		56	625F Highland Homes (SS)									1	0	0	1	2	0	0	0	2	0	1	
49		49	681M/F Hillside Terrace	4	0	0	1	1	0	0	0												
421		421		3	0	0	2	14	0	2	2	18	0	2	2	2	0	0	0	1	0	1	
110	2	108	646M Lincoln Court	8	0	0	5																
230		230	647M Locust Court	22	0	0	7																
100	2	98	649E Mitchell Court	4	0	0	1																
180		180	650M Riverview	11	0	5	3																
380	1	379	671F Parklawn	3	1	0	1	23	5	0	6	10	2	0	3								
140		140	691F SS (N&W)					4	0	0	1	16	2	0	0	2	1	0	0	0	0	0	
56		56	694F SS Milwaukee									5	2	0	1	2	0	2	0	0	0	0	
64		64	688F Southside SS					0	0	0	0	16	0	0	0	1	0	1	0	0	0	0	
2387	10	2377	SUBTOTALS:																				
			ELDERLY	82	0	10	34	1	0	0	0												
			FAMILY	6	1	0	3	41	5	2	9	70	6	2	8	11	1	3	1	5	0	3	

VACANT SUBTOTALS		TOT	VAC HOLD APPRV	OCCUPANCY RATE
ELDERLY	FAMILY			
14		14	0	93.86%
	3	3	0	94.12%
	5	5	0	92.75%
19		19	0	92.34%
	5	5	0	91.07%
5		5	0	
	38	38	0	
8		8	0	92.59%
22		22	0	90.43%
4		4	0	95.92%
11		11	0	93.89%
	36	36	8	92.61%
	22	22	3	86.43%
	7	7	2	91.07%
	17	17	0	73.44%
TOTAL VACANTS	83	133	216	
PREVIOUS REPORT	85	130	215	

TOTAL VACANT DWELLING		
UNITS	VAC	%
1150 ELDERLY	83	7.22%
1237 FAMILY	133	10.75%
2387 TOTAL	216	9.05%

TOTAL MINUS VAC HOLD APPRV		
Vac Hold Apprv	VAC	%
0	83	7.22%
13	120	9.70%
13	203	8.50%

TOTAL OCCUPANCY RATE	90.95%
----------------------	--------

HOUSING AUTHORITY OF THE CITY OF MILWAUKEE  
VACANT UNIT STATUS REPORT AS OF 2/28/21

UNITS	Spec Units	UMA	DEVELOPMENT	1 BEDROOM				2 BEDROOM				3 BEDROOM				4 BEDROOM				5 BEDROOM			
				TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY
230	2	228	640E Arlington Court	10	0	0	3																
51		51	105F Carver Park									1	0	0	1	1	0	0	1	0	0	0	
69		69	693F Cherry/SS					3	0	0	1	0	0	0	0	2	0	1	0	0	0	0	
251	3	248	643E College Court	16	0	6	10																
56		56	625F Highland Homes (SS)									1	0	0	1	2	0	0	0	2	0	1	
49		49	681M/F Hillside Terrace	3	0	0	1	1	0	0	0												
421		421		3	0	0	2	15	0	2	3	18	0	2	3	2	0	0	0	1	0	1	
110	2	108	646M Lincoln Court	6	0	0	2																
230		230	647M Locust Court	17	0	0	13																
100	2	98	649E Mitchell Court	5	0	2	1																
180		180	650M Riverview	7	0	4	1																
380	1	379	671F Parklawn	3	1	0	1	20	5	0	7	7	2	0	3								
140		140	691F SS (N&W)					4	0	0	1	17	2	0	1	1	1	0	0	0	0	0	
56		56	694F SS Milwaukee									5	2	0	1	2	0	2	0	0	0	0	
64		64	688F Southside SS					0	0	0	0	16	0	0	2	1	0	1	0	0	0	0	
2387	10	2377	SUBTOTALS:																				
			ELDERLY	64	0	12	31	1	0	0	0												
			FAMILY	6	1	0	3	42	5	2	12	65	6	2	12	11	1	4	1	3	0	2	

TOTAL VACANTS

PREVIOUS REPORT

Attachment 1

VACANT SUBTOTALS		TOT	VAC HOLD APPRV	OCCUPANCY RATE
ELDERLY	FAMILY			
10		10	0	95.61%
	2	2	0	96.08%
	5	5	0	92.75%
16		16	0	93.55%
	5	5	0	91.07%
4		4	0	
	39	39	0	
6		6	0	94.44%
17		17	0	92.61%
5		5	0	94.90%
7		7	0	96.11%
3	30	30	8	94.20%
	22	22	3	86.43%
	7	7	2	91.07%
	17	17	0	73.44%
65	127	192		
83	133	216		

TOTAL VACANT DWELLING		
UNITS	VAC	%
1150 ELDERLY	65	5.65%
1237 FAMILY	127	10.27%
2387 TOTAL	192	8.04%

TOTAL OCCUPANCY RATE 91.96%

TOTAL MINUS VAC HOLD APPRV		
Vac Hold Apprv	VAC	%
0	65	5.65%
13	114	9.22%
13	179	7.50%

HOUSING AUTHORITY OF THE CITY OF MILWAUKEE  
VACANT UNIT STATUS REPORT AS OF 3/31/21

UNITS	Spec Units	UMA	DEVELOPMENT	1 BEDROOM				2 BEDROOM				3 BEDROOM				4 BEDROOM				5 BEDROOM			
				TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY	TOT VAC	VAC HOLD APPRV	VAC HOLD PEND	RDY
230	2	228	640E Arlington Court	5	0	0	0																
51		51	105F Carver Park									2	0	0	1	0	0	0	0	0	0	0	
69		69	693F Cherry/SS					0	0	0	0	3	0	3	1	0	0	0	0	2	0	2	0
251	3	248	643E College Court	14	0	4	7																
56		56	625F Highland Homes (SS)									1	0	0	1	2	0	1	0	2	0	1	0
49		49	681M/F Hillside Terrace	3	0	0	0	1	0	0	0												
421		421		2	0	0	1	13	0	2	1	21	0	2	3	1	0	0	0	1	0	0	1
110	2	108	646M Lincoln Court	3	0	0	1																
230		230	647M Locust Court	8	0	0	4																
100	2	98	649E Mitchell Court	4	0	2	0																
180		180	650M Riverview	7	0	0	4																
380	1	379	671F Parklawn	3	1	0	1	16	5	0	4	8	2	0	4								
140		140	691F SS (N&W)					4	0	1	1	18	0	17	1	2	1	0	0	0	0	0	
56		56	694F SS Milwaukee									5	4	1	1	2	2	0	0	0	0	0	
64		64	688F Southside SS					0	0	0	0	16	0	15	2	1	0	1	0	0	0	0	
2387	10	2377	SUBTOTALS:																				
			ELDERLY	44	0	6	16	1	0	0	0												
			FAMILY	5	1	0	2	33	5	3	6	74	6	38	14	8	3	2	0	5	0	3	1

VACANT SUBTOTALS		TOT	VAC HOLD APPRV	OCCUPANCY RATE
ELDERLY	FAMILY			
5		5	0	97.81%
	2	2	0	96.08%
	5	5	0	92.75%
14		14	0	94.35%
	5	5	0	91.07%
4		4	0	
	38	38	0	
3		3	0	97.22%
8		8	0	96.52%
4		4	0	95.92%
7		7	0	96.11%
	27	27	8	94.99%
	24	24	1	83.57%
	7	7	6	98.21%
	17	17	0	73.44%
TOTAL VACANTS		45	125	170
PREVIOUS REPORT		65	127	192

TOTAL VACANT DWELLING				TOTAL MINUS VAC HOLD APPRV		
UNITS		VAC	%	Vac Hold Apprv	VAC	%
1150	ELDERLY	45	3.91%	0	45	3.91%
1237	FAMILY	125	10.11%	15	110	8.89%
2387	TOTAL	170	7.12%	15	155	6.49%
TOTAL OCCUPANCY RATE				92.88%		

# VACANT UNIT TURNAROUND REPORT

## JANUARY 2021

Arlington Court		230
Total Vacancies	14	
Downtime	0	
Make Ready	8	
Lease Up in Progress	2	
Leasing Date Identified	2	
Special Use	2	

Carver Park		51
Total Vacancies	3	
Downtime	0	
Make Ready	1	
Lease Up in Progress	2	
Leasing Date Identified	0	

Cherry Court SS		69
Total Vacancies	5	
Downtime	0	
Make Ready	5	
Lease Up in Progress	0	
Leasing Date Identified	0	

College Court		251
Total Vacancies	19	
Downtime	0	
Make Ready	3	
Lease Up in Progress	13	
Leasing Date Identified	0	
Special Use	3	

Highland Homes SS		56
Total Vacancies	5	
Downtime	0	
Make Ready	4	
Lease Up in Progress	1	
Leasing Date Identified	0	

Hillside Terrace		470
Total Vacancies	43	
Downtime	0	
Make Ready	36	
Lease Up in Progress	7	
Leasing Date Identified	0	

Lincoln Court		110
Total Vacancies	8	
Downtime	0	
Make Ready	1	
Lease Up in Progress	5	
Leasing Date Identified	0	
Special Use	2	

Downtime Total	0
Make Ready Total	151
Lease Up In Progress Total	50
Leasing Date Identified Total	5
Special Use	10

Vacancy Total	216
---------------	-----

Total Units	2387
Occupancy Rate	90.95%

Locust Court		230
Total Vacancies	22	
Downtime	0	
Make Ready	15	
Lease Up in Progress	7	
Leasing Date Identified	0	

Mitchell Court		100
Total Vacancies	4	
Downtime	0	
Make Ready	1	
Lease Up in Progress	1	
Leasing Date Identified	0	
Special Use	2	

Scattered Sites - North & West SS		140
Total Vacancies	22	
Downtime	0	
Make Ready	21	
Lease Up in Progress	1	
Leasing Date Identified	0	

Scattered Sites - Milwaukee		56
Total Vacancies	7	
Downtime	0	
Make Ready	6	
Lease Up in Progress	1	
Leasing Date Identified	0	

Parklawn		380
Total Vacancies	36	
Downtime	0	
Make Ready	25	
Lease Up in Progress	7	
Leasing Date Identified	3	
Special Use	1	

Riverview		180
Total Vacancies	11	
Downtime	0	
Make Ready	8	
Lease Up in Progress	3	
Leasing Date Identified	0	

Southside SS		64
Total Vacancies	17	
Downtime	0	
Make Ready	17	
Lease Up in Progress	0	
Leasing Date Identified	0	

**VACANT UNIT TURNAROUND REPORT  
FEBRUARY 2021**

Attachment 2

<b>Arlington Court</b>		<b>230</b>
Total Vacancies	10	
Downtime	0	
Make Ready	5	
Lease Up in Progress	0	
Leasing Date Identified	3	
Special Use	2	

<b>Carver Park</b>		<b>51</b>
Total Vacancies	2	
Downtime	0	
Make Ready	0	
Lease Up in Progress	1	
Leasing Date Identified	1	

<b>Cherry Court SS</b>		<b>69</b>
Total Vacancies	5	
Downtime	0	
Make Ready	4	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>College Court</b>		<b>251</b>
Total Vacancies	16	
Downtime	0	
Make Ready	3	
Lease Up in Progress	10	
Leasing Date Identified	0	
Special Use	3	

<b>Highland Homes SS</b>		<b>56</b>
Total Vacancies	5	
Downtime	0	
Make Ready	4	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Hillside Terrace</b>		<b>470</b>
Total Vacancies	43	
Downtime	0	
Make Ready	35	
Lease Up in Progress	8	
Leasing Date Identified	0	

<b>Lincoln Court</b>		<b>110</b>
Total Vacancies	6	
Downtime	0	
Make Ready	2	
Lease Up in Progress	2	
Leasing Date Identified	0	
Special Use	2	

<b>Downtime Total</b>	<b>0</b>
<b>Make Ready Total</b>	<b>124</b>
<b>Lease Up In Progress Total</b>	<b>50</b>
<b>Leasing Date Identified Total</b>	<b>8</b>
<b>Special Use</b>	<b>10</b>

<b>Vacancy Total</b>	<b>192</b>
----------------------	------------

<b>Total Units</b>	<b>2387</b>
<b>Occupancy Rate</b>	<b>91.96%</b>

<b>Locust Court</b>		<b>230</b>
Total Vacancies	17	
Downtime	0	
Make Ready	4	
Lease Up in Progress	13	
Leasing Date Identified	0	

<b>Mitchell Court</b>		<b>100</b>
Total Vacancies	5	
Downtime	0	
Make Ready	2	
Lease Up in Progress	1	
Leasing Date Identified	0	
Special Use	2	

<b>Scattered Sites - North &amp; West SS</b>		<b>140</b>
Total Vacancies	22	
Downtime	0	
Make Ready	20	
Lease Up in Progress	2	
Leasing Date Identified	0	

<b>Scattered Sites - Milwaukee</b>		<b>56</b>
Total Vacancies	7	
Downtime	0	
Make Ready	6	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Parklawn</b>		<b>380</b>
Total Vacancies	30	
Downtime	0	
Make Ready	18	
Lease Up in Progress	7	
Leasing Date Identified	4	
Special Use	1	

<b>Riverview</b>		<b>180</b>
Total Vacancies	7	
Downtime	0	
Make Ready	6	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Southside SS</b>		<b>64</b>
Total Vacancies	17	
Downtime	0	
Make Ready	15	
Lease Up in Progress	2	
Leasing Date Identified	0	



**VACANT UNIT TURNAROUND REPORT  
MARCH 2021**

Attachment 2

<b>Arlington Court</b>		<b>230</b>
Total Vacancies	5	
Downtime	0	
Make Ready	3	
Lease Up in Progress	0	
Leasing Date Identified	0	
Special Use	2	

<b>Carver Park</b>		<b>51</b>
Total Vacancies	2	
Downtime	0	
Make Ready	1	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Cherry Court SS</b>		<b>69</b>
Total Vacancies	5	
Downtime	0	
Make Ready	4	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>College Court</b>		<b>251</b>
Total Vacancies	14	
Downtime	0	
Make Ready	4	
Lease Up in Progress	7	
Leasing Date Identified	0	
Special Use	3	

<b>Highland Homes SS</b>		<b>56</b>
Total Vacancies	5	
Downtime	0	
Make Ready	4	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Hillside Terrace</b>		<b>470</b>
Total Vacancies	42	
Downtime	0	
Make Ready	36	
Lease Up in Progress	4	
Leasing Date Identified	2	

<b>Lincoln Court</b>		<b>110</b>
Total Vacancies	3	
Downtime	0	
Make Ready	0	
Lease Up in Progress	1	
Leasing Date Identified	0	
Special Use	2	

<b>Downtime Total</b>	<b>0</b>
<b>Make Ready Total</b>	<b>121</b>
<b>Lease Up In Progress Total</b>	<b>29</b>
<b>Leasing Date Identified Total</b>	<b>10</b>
<b>Special Use</b>	<b>10</b>

<b>Vacancy Total</b>	<b>170</b>
----------------------	------------

<b>Total Units</b>	<b>2387</b>
<b>Occupancy Rate</b>	<b>92.88%</b>

<b>Locust Court</b>		<b>230</b>
Total Vacancies	8	
Downtime	0	
Make Ready	4	
Lease Up in Progress	4	
Leasing Date Identified	0	

<b>Mitchell Court</b>		<b>100</b>
Total Vacancies	4	
Downtime	0	
Make Ready	2	
Lease Up in Progress	0	
Leasing Date Identified	0	
Special Use	2	

<b>Scattered Sites - North &amp; West SS</b>		<b>140</b>
Total Vacancies	24	
Downtime	0	
Make Ready	22	
Lease Up in Progress	2	
Leasing Date Identified		

<b>Scattered Sites - Milwaukee</b>		<b>56</b>
Total Vacancies	7	
Downtime	0	
Make Ready	6	
Lease Up in Progress	1	
Leasing Date Identified	0	

<b>Parklawn</b>		<b>380</b>
Total Vacancies	27	
Downtime	0	
Make Ready	17	
Lease Up in Progress	5	
Leasing Date Identified	4	
Special Use	1	

<b>Riverview</b>		<b>180</b>
Total Vacancies	7	
Downtime	0	
Make Ready	3	
Lease Up in Progress	0	
Leasing Date Identified	4	

<b>Southside SS</b>		<b>64</b>
Total Vacancies	17	
Downtime	0	
Make Ready	15	
Lease Up in Progress	2	
Leasing Date Identified	0	

AMP ID NUMBER	DEVELOPMENT NAME	TIME PERIOD	UNITS LEASED	DOWN TIME	MAKE READY TIME	LEASEUP TIME	Days Vacant
<b>WI002</b>	<b>HACM Total</b>	<b>YTD</b>	<b>91</b>	<b>1</b>	<b>167</b>	<b>42</b>	<b>210</b>
		Q1 2021	91	1	167	42	210
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000013</b>	<b>Arlington Court</b>	<b>YTD</b>	<b>16</b>	<b>1</b>	<b>75</b>	<b>28</b>	<b>104</b>
		Q1 2021	16	1	75	28	104
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000011</b>	<b>College Court</b>	<b>YTD</b>	<b>14</b>	<b>0</b>	<b>131</b>	<b>78</b>	<b>211</b>
		Q1 2021	14	0	132	79	211
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000001</b>	<b>Hillside Terrace</b>	<b>YTD</b>	<b>12</b>	<b>2</b>	<b>238</b>	<b>61</b>	<b>301</b>
		Q1 2021	12	2	238	61	301
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000019</b>	<b>Lincoln Court</b>	<b>YTD</b>	<b>4</b>	<b>0</b>	<b>121</b>	<b>6</b>	<b>127</b>
		Q1 2021	4	0	121	6	127
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000015</b>	<b>Locust Court</b>	<b>YTD</b>	<b>16</b>	<b>1</b>	<b>152</b>	<b>37</b>	<b>190</b>
		Q1 2021	16	1	152	37	190
		Q2 2021					

AMP ID NUMBER	DEVELOPMENT NAME	TIME PERIOD	UNITS LEASED	DOWN TIME	MAKE READY TIME	LEASEUP TIME	Days Vacant
		Q3 2021					
		Q4 2021					
<b>WI002000017</b>	<b>Mitchell Court</b>	<b>YTD</b>	<b>2</b>	<b>0</b>	<b>31</b>	<b>1</b>	<b>32</b>
		Q1 2021	2	0	31	1	32
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000007</b>	<b>Parklawn</b>	<b>YTD</b>	<b>19</b>	<b>1</b>	<b>249</b>	<b>44</b>	<b>294</b>
		Q1 2021	19	1	249	44	294
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000062</b>	<b>Riverview</b>	<b>YTD</b>	<b>8</b>	<b>2</b>	<b>193</b>	<b>14</b>	<b>209</b>
		Q1 2021	8	2	193	14	209
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000063</b>	<b>Scattered Sites - Cherry Court</b>	<b>YTD</b>					
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000060</b>	<b>Scattered Sites - Highland Homes</b>	<b>YTD</b>					
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000010</b>	<b>Scattered Sites - Milwaukee</b>	<b>YTD</b>					

AMP ID NUMBER	DEVELOPMENT NAME	TIME PERIOD	UNITS LEASED	DOWN TIME	MAKE READY TIME	LEASEUP TIME	Days Vacant
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000016</b>	<b>Scattered Sites - North/West</b>	<b>YTD</b>					
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000061</b>	<b>Scattered Sites - South</b>	<b>YTD</b>					
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					
<b>WI002000046</b>	<b>Townhomes at Carver Park</b>	<b>YTD</b>					
		Q1 2021					
		Q2 2021					
		Q3 2021					
		Q4 2021					

AMP ID NUMBER	DEV #	DEVELOPMENT NAME	APARTMENT NUMBER	UNIT	BEDROOM SIZE	ADDRESS	DATE VACATED	DAYS VACANT	PLANNED METHOD FOR ADDRESSING EACH UNIT VACANCY	DATE ACTION WILL BE COMPLETED
WI002000013	640	ARLINGTON	2410	640230	1	1633 N ARLINGTON PLACE	12/21/2020	100	Lease in Progress	5/14/2021
WI002000011	643	COLLEGE COURT	1220	643241	1	3334 W HIGHLAND BLVD	06/23/20	278	Lease in Progress	5/3/2021
WI002000011	643	COLLEGE COURT	1102	643097	1	3334 W HIGHLAND BLVD	07/14/20	257	Lease in Progress	4/16/2021
WI002000011	643	COLLEGE COURT	1313	643244	1	3334 W HIGHLAND BLVD	08/13/20	228	Lease in Progress	4/9/2021
WI002000011	643	COLLEGE COURT	1001	643086	1	3334 W HIGHLAND BLVD	10/08/20	173	Rent Ready	
WI002000011	643	COLLEGE COURT	916	643207	1	3334 W HIGHLAND BLVD	10/15/20	166	Lease in Progress	4/1/2021
WI002000011	643	COLLEGE COURT	1305	643120	1	3334 W HIGHLAND BLVD	12/08/20	113	Lease in Progress	4/1/2021
WI002000060	625	HIGHLAND HOMES SS		620333	4	2427 N 35 ST	04/02/18	1079	Submit Application for Disposition	6/30/2021
WI002000060	625	HIGHLAND HOMES SS		620324	5	1623 W VINE ST	10/01/18	900	Submit Application for Disposition	6/30/2021
WI002000060	625	HIGHLAND HOMES SS		620354	3	2445 N 22ND ST	07/25/19	606	Submit Application for Disposition	6/30/2021
WI002000060	625	HIGHLAND HOMES SS		620346	5	1205 N 19TH ST	12/18/2019	463	Submit Application for Disposition	6/30/2021
WI002000060	625	HIGHLAND HOMES SS		620301	5	1832 N 13 St	04/15/20	346	Submit Application for Disposition	6/30/2021
WI002000001	681	HILLSIDE TERRACE	557	681557	2	853 W. SOMERS ST	11/05/19	506	Rent Ready	
WI002000001	681	HILLSIDE TERRACE	467	681467	3	1547 N. 8TH ST.	11/19/2019	492	Rent Ready	
WI002000001	681	HILLSIDE TERRACE	565	681565	3	1438 N. 9TH ST	2/25/2020	396	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	443	681443	3	1554 N. 8TH ST.	3/2/2020	389	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	126	681126	1	671 W. REV CECIL FISHER LANE	3/18/2020	373	Rent Ready	
WI002000001	681	HILLSIDE TERRACE	502	681502	5	1528 N. 9th St.	3/27/2020	364	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	473	681473	3	1555 N. 8TH ST.	05/04/20	327	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	173	681173	1	1526 N. 6TH PL.	5/4/2020	327	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	474	681474	3	1555 N. 8TH ST.	6/9/2020	292	Rent Ready	
WI002000001	681	HILLSIDE TERRACE	444	681444	3	1555 N. 8TH ST.	6/30/2020	270	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	304	681304	3	1347 N. 7TH ST.	7/8/2020	263	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	8C	681294	2	1545 N. 7TH ST	8/1/2020	240	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	303	681303	3	1347 N. 7TH ST.	8/10/2020	231	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	4A	681264	1	1545 N. 7TH ST	8/11/2020	230	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	455	681455	3	704 W. SOMERS ST.	8/11/2020	230	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	328	681328	2	721 W. VLIET ST	9/2/2020	209	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	5	681005	2	632 W. VLIET ST.	9/17/2020	194	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	456	681456	3	704 W. SOMERS ST.	10/2/2020	179	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	313	681313	3	711 W. VLIET ST.	10/5/2020	176	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	554	681554	3	849 W. SOMERS ST	10/9/2020	172	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	345	681345	2	1401 N. 7TH ST.	10/12/2020	169	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	605	681605	2	1347 N. 8th Street	11/23/2020	128	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	396	681396	2	743 W CHERRY ST	11/30/2020	120	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	602	681602	2	803 W.VLIET ST	12/1/2020	120	Make Ready in Progress	

AMP ID NUMBER	DEV #	DEVELOPMENT NAME	APARTMENT NUMBER	UNIT	BEDROOM SIZE	ADDRESS	DATE VACATED	DAYS VACANT	PLANNED METHOD FOR ADDRESSING EACH UNIT VACANCY	DATE ACTION WILL BE COMPLETED
WI002000001	681	HILLSIDE TERRACE	602	681602	3	803 W. VLIET ST	12/1/2020	120	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	354	681354	2	1411 N. 7TH ST	12/4/2020	117	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	475	681475	3	803 W. GALENA ST	12/04/20	117	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	356	681356	2	1411 N. 7TH STREET	12/09/20	112	Make Ready in Progress	
WI002000001	681	HILLSIDE TERRACE	508	681508	4	810 W SOMERS STREET	12/30/20	90	Make Ready in Progress	
WI002000063	693	HOPE VI SS (CHERRY CT)		693065	3	3610 W HAMPTON AVE	10/24/18	877	Submit Application for Disposition	6/30/2021
WI002000063	693	HOPE VI SS (CHERRY CT)		693025	3	2645 N 20TH ST	10/24/18	877	Submit Application for Disposition	6/30/2021
WI002000063	693	HOPE VI SS (CHERRY CT)		693069	5	6158 N 40TH ST	12/13/19	468	Submit Application for Disposition	6/30/2021
WI002000063	693	HOPE VI SS (CHERRY CT)		693018	3	2618 N 23 St	05/15/20	316	Submit Application for Disposition	6/30/2021
WI002000063	693	HOPE VI SS (CHERRY CT)		693032	5	2463 N 20 St	08/07/20	234	Submit Application for Disposition	6/30/2021
WI002000015	647	LOCUST COURT	202	647002	1	1350 E LOCUST ST	12/02/19	479	Make Ready in Progress	
WI002000015	647	LOCUST COURT	1301	647111	1	1350 E LOCUST ST	05/07/20	324	Make Ready in Progress	
WI002000015	647	LOCUST COURT	2407	647227	1	1350 E LOCUST ST	06/25/20	276	Make Ready in Progress	
WI002000015	647	LOCUST COURT	1105	647095	1	1350 E LOCUST ST	07/01/20	270	Make Ready in Progress	
WI002000015	647	LOCUST COURT	203	647003	1	1350 E LOCUST ST	10/15/20	166	Make Ready in Progress	
WI002000015	647	LOCUST COURT	1008	647088	1	1350 E LOCUST ST	10/31/20	150	Make Ready in Progress	
WI002000015	647	LOCUST COURT	1303	647113	1	1350 E LOCUST ST	10/31/20	150	Rent Ready	
WI002000015	647	LOCUST COURT	1208	647108	1	1350 E LOCUST ST	12/28/20	93	Make Ready in Progress	
WI002000010	694	MILWAUKEE SS		690562	3	2788 S. Superior	07/01/06	5310	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		690578	3	4987 N 58 St	06/12/14	2449	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		690638	3	3356 N. 22nd St.	09/03/17	1288	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		664937	3	2336 N Booth	08/12/18	949	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		690508	3	2144 N. Holton	10/01/18	900	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		690708	4	3209 N 34 St	03/04/19	747	Submit Application for Disposition	6/30/2021
WI002000010	694	MILWAUKEE SS		690707	4	3221 N 34 St	11/04/19	507	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690710	4	3156 N 24 PL	06/20/17	1361	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664955	2	3216 N 13 St	09/06/18	925	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664954	2	3207 N 12 St	12/01/18	840	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664957	2	2806 N 17	12/05/18	836	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690004	3	1925 W. Cornell St	03/15/19	736	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690002	3	1917 W. Cornell St	04/02/19	719	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690309	3	8948 W WINFIELD AVE	04/02/19	719	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664941	3	3537 N 9 St	05/13/19	678	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690722	3	1014 W Keefe	05/31/19	660	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690020	3	1975 W. Congress	06/03/19	658	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690014	3	1997 W. Lawrence	11/07/19	504	Submit Application for Disposition	6/30/2021

AMP ID NUMBER	DEV #	DEVELOPMENT NAME	APARTMENT NUMBER	UNIT	BEDROOM SIZE	ADDRESS	DATE VACATED	DAYS VACANT	PLANNED METHOD FOR ADDRESSING EACH UNIT VACANCY	DATE ACTION WILL BE COMPLETED
WI002000016	691	NORTH & WEST SS		690741	3	2502 N 39 St	11/21/19	490	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664917	3	3160 N 28 St	12/05/19	476	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664942	3	5311 N 35 St	01/14/20	437	Submit Application for Disposition	6/30/2021
WI002000010	691	NORTH & WEST SS		664961	2	2811 N 18 St	03/02/20	389	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690717	3	5401 W. Silver Spring Dr	03/10/20	381	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		664933	3	2354 N 16 St	10/02/20	179	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690027	3	447 S 84 St	10/02/20	179	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690017	3	4360 N 20 St	11/09/20	142	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690011	3	1987 W. Lawrence	11/19/20	132	Submit Application for Disposition	6/30/2021
WI002000016	691	NORTH & WEST SS		690892	3	3013 N 14 St	12/30/20	90	Submit Application for Disposition	6/30/2021
WI002000007	671	PARKLAWN	365	671365	3	4309 W. OLIVE WAY	06/30/20	270	Make Ready in Progress	
WI002000007	671	PARKLAWN	366	671366	3	4241 N. SHERMAN	08/07/20	234	Make Ready in Progress	
WI002000007	671	PARKLAWN	431	671431	2	4314 W. OLIVE WAY	09/01/20	210	Lease in Progress	4/12/2021
WI002000007	671	PARKLAWN	134	671134	3	4229 N. 46TH WAY	09/10/20	201	Lease in Progress	5/3/2021
WI002000007	671	PARKLAWN	324	671324	3	4241 N. 44TH WAY	09/10/20	201	Make Ready in Progress	
WI002000007	671	PARKLAWN	186	671186	2	4512 W. HOPE	09/30/20	180	Make Ready in Progress	
WI002000007	671	PARKLAWN	388	671388	2	4212 N. 44TH WAY	10/02/20	179	Make Ready in Progress	
WI002000007	671	PARKLAWN	447	671447	1	4278 N 44 WAY	10/05/20	176	Make Ready in Progress	
WI002000007	671	PARKLAWN	386	671386	2	4208 N. 44TH WAY	10/09/20	172	Make Ready in Progress	
WI002000007	671	PARKLAWN	351	671351	3	4224 N. 44TH PL	11/02/20	149	Make Ready in Progress	
WI002000007	671	PARKLAWN	167	671167	2	4511 W. OLIVE WAY	11/16/20	135	Make Ready in Progress	
WI002000007	671	PARKLAWN	80	671080	2	4615 W. MARION ST	11/23/20	128	Make Ready in Progress	
WI002000007	671	PARKLAWN	479	671479	2	4325 W. CONGRESS ST	11/25/20	126	Make Ready in Progress	
WI002000007	671	PARKLAWN	40	671040	2	4644 W. RICE WAY	11/27/20	124	Make Ready in Progress	
WI002000007	671	PARKLAWN	156	671156	3	4230 N 47TH ST	12/08/20	113	Make Ready in Progress	
WI002000007	671	PARKLAWN	5	671005	2	4639 W. CONGRESS ST	12/31/20	90	Make Ready in Progress	
WI002000062	650	RIVERVIEW	301	650011	1	1300 E KANE PLACE	09/02/20	209	Lease in Progress	4/5/2021
WI002000062	650	RIVERVIEW	1208	650108	1	1300 E KANE PLACE	10/01/20	180	Make Ready in Progress	
WI002000062	650	RIVERVIEW	1706	650156	1	1300 E KANE PLACE	10/01/20	180	Make Ready in Progress	
WI002000062	650	RIVERVIEW	1110	650100	1	1300 E KANE PLACE	11/16/20	135	Lease in Progress	4/5/2021
WI002000061	688	SOUTHSIDE SS		690235	3	2722 S 12 ST	05/17/18	1034	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690249	3	5818 S 14 ST	06/05/18	1016	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690224	3	1310 S 23 ST	08/31/18	930	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690767	3	6630 HARRISON AVE	09/06/18	925	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690233	3	2718 S 12 ST	09/11/18	920	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690513	3	1227 W LAPHAM BLVD	04/04/19	717	Submit Application for Disposition	6/30/2021

AMP ID NUMBER	DEV #	DEVELOPMENT NAME	APARTMENT NUMBER	UNIT	BEDROOM SIZE	ADDRESS	DATE VACATED	DAYS VACANT	PLANNED METHOD FOR ADDRESSING EACH UNIT VACANCY	DATE ACTION WILL BE COMPLETED
WI002000061	688	SOUTHSIDE SS		690762	3	1624 S 31ST ST	04/26/19	695	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690049	3	1572 W PLAINFIELD AVE	07/31/19	600	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690039	3	1563 W PLAINFIELD AVE	09/09/19	562	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690053	3	3117 S 72 St	09/19/19	552	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690036	3	1551 W PLAINFIELD AVE	11/01/19	510	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690574	4	4522 W CLEVELAND AVE	11/05/19	506	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690042	3	1581 W. Plainfield Ave.	01/27/20	424	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		664915	3	1022 S 11 St	02/28/20	393	Submit Application for Disposition	6/30/2021
WI002000061	688	SOUTHSIDE SS		690047	3	1562 W. Plainfield Ave.	08/15/20	226	Submit Application for Disposition	6/30/2021