

## **McKinley School Redevelopment**

2001 W. Vliet Street  
Milwaukee, WI 53205

Detailed Plan Development Submittal  
File Number: 180164





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# Owner’s Statement of Intent & Planned Development Project Description

## Owner’s Statement of Intent

The subject site at 2001 West Vliet Street is comprised of the former McKinley School, which has been vacant for years, as well as the former schools playground and parking lot area to the north. Gorman & Company is proposing to redevelop the former school into 36 residential units. Additionally, they propose to construct (4) new, 2-unit residential buildings along W. Vliet Street.

Each of the (4) new buildings along W. Vliet Street will consist of side-by-side residential units. Each unit is two stories with a basement and has three bedrooms. Building materials will include brick, metal panel, and cement board. Behind each of the proposed new buildings is a detached, two-car garage separated from the main building by a fenced-in backyard. These garages are to be accessed through a private alleyway bisecting the site. The fences will be of wood material and will not exceed a height of 6’ feet.

The existing school building will be rehabilitated to accommodate 36 residential units, consisting of both two and three bedroom units.

Two parking areas are proposed for the multi-family building, one to the north of the existing building and one to the south. These parking areas total 41 spaces and are to serve as loading and parking for the multi-family building residents and guests.

Current site conditions include extensive paved surfaces, these will be largely removed and replaced with landscaping.

## Project Overview:

**Total lot square footage:** 125,853 SF (2.29 Acres)

**Maximum amount of land covered by principal structure:** Approx. 49,013 SF 39%

**Maximum amount of land devoted to parking, drives, and parking structure (Incl. in principal structure):** Approx. 29,452 SF 23%

**Maximum amount of land devoted to landscaped open space:** Approx. 51,521 SF 41%

**Proposed number of buildings:** (9), which includes (1) existing building, (4) new buildings with (2) two-story units each, and (4) corresponding detached garage structures with (1) double stall garage for each two-story unit.

**Number of dwelling units:** Up to 44

**Bedrooms per unit:** Two and Three - Total bedroom count: Up to 113

Existing Building:	
Two Bedroom units	- 19
Three Bedroom units	- 17
Total units	- 36
New Building:	
Three Bedroom units	- 8
Total units	- 8

**Parking spaces provided for residents:** Up to 57: Approx. 1.3 per dwelling unit

New Building:	
Interior Parking	- 16 Stalls
Ratio:	- 2 Stalls per dwelling unit
Existing Building	
North Lot	- 24 Stalls
South Lot	- 17 Stalls
Ratio:	- 1.13 Stalls per dwelling unit

**Block density:** 2,860 SF of lot area per dwelling unit.

## Apartment Square Footages (Approx.)

New Building:	
Three Bedroom units	- 1,970 SF
Existing Building:	
Two Bedroom units	- 850 SF - 1,110 SF
Three Bedroom units	- 1,100 SF - 1,700 SF

## Reversion

The DPD zoning designation shall be null and void after a period not to exceed 5 years from the effective date of the ordinance approving the DPD, and that the zoning of the property shall be changed to a GPD zoning district at that time, unless the project has been completed, or the foundation has been constructed. The time period specified pursuant to 295-907-2-c-11 of the zoning code may be extended only by an ordinance amending the DPD, pursuant to s. 295-307.



Planned Development Project Description

Uses:

- Single-family residential (side-by-side residential buildings)
- Multi-family residential
- Support services may be provided to the residents of the multi-family building
- All uses accessory to these uses

The (4) new buildings to be built along W. Vliet Street will be comprised of two, 2-story residential units, for a total of 8 units. Each unit will have a corresponding garage built along a new private alley way that will bisect the property between N 21st Street and N 20th Street. The existing building located at the southern end of the site will be rehabilitated and will be comprised of 36 residential units. Additionally, uses accessory to the multi-family use may occupy the spaces; e.g. fitness room, club room, etc.

Setbacks:

New 2-Unit buildings along Vliet Street: (Approx.)

- 8'-9" from N 20th Street property line (side setback), 8'-9" from N 21st Street property line (side setback), and 25'-0" from Vliet Street property line (front setback)
- There will be approximately 17'-6" between each 2 unit building.

Screening:

- All utility and HVAC equipment will not be visible from the street. They will be housed inside the building or located on the roof of the existing, and screened with walls on the new construction.
- Dumpsters for the multi-family building will be located on the north side of existing building, and will be enclosed with a wooden screen fence.

Open Spaces:

- A landscaped green space will be located in the space between the new north alley and the new north parking lot, also to the east of the parking area north of the multi-family building. Each unit within the 2-unit buildings will have a landscaped front yard 25'-0" deep; in addition to that, each unit will have an enclosed back yard between it, and the detached garages. Further landscaped spaces will be placed around the existing building as a buffer from parking lots.

Circulation, Parking and Loading:

A new private alley will be created to allow access to the garages for the new 2-unit buildings. It will be accessed from both 20th and 21st Streets. Each unit will have a detached 2 car garage. In addition, a second private alley will be created south of the existing building for loading access and 17 parking spaces for the multi-family residents, and will also be accessed from both 20th and 21st Streets. A parking lot with 24 spaces will be created north of the existing building to further service the multi-family residents, which will be accessed from only 21st Street. Paved pedestrian walkways will connect both the north parking lot and the south parking lot within the existing building. Loading will occur in both private alleys, parking will not be open to the public.

Bicycle parking will be provided for the multi-family building along its north facade, south of the parking lot, and in accordance with (295-404) and inside the building accessed from the entry level.

- The site is served by three MCTS bus lines.
  - The 33 line on W. Vliet Street, with a stop at the N/E corner of the site.
  - The 57 line, three blocks north on W Walnut St.
  - The 31 line, three blocks south on W Highland Ave.
- Refuse for the 2-unit buildings is to be handled via private bins located in each unit's garage and taken out to the private alley for collection. Refuse in the multi-family building will be handled via a dumpster north of the building behind a wooden fence, and to be rolled to the private alley for collection.



**Building Enclosure:**

2-Unit Buildings: These buildings are enclosed with a combination of brick masonry, metal siding, and lapped cement board. The north (Vliet) facades are primarily brick with the center of the facade where the front doors are located being metal panel. Concrete and wood-look cement are placed as accents in these facades. A small patio sits in-front of the front doors to the units and is split in two by a thin brick planter. The entrance doors will be a wood material with opaque (translucent) glass insets. A shallow pitched roof is located between the masonry portions of the facades and shelters the front doors from the elements while adding a sense of scale. The east and west (side) facades have a brick masonry return from the north facade, as well as a brick knee-wall base. Either side of the east and west facades are metal panel, while a grey lapped cement board field fills in the rest of the facades. The south (rear) facades are primarily lapped cement board, with metal paneling where the windows and back doors are located, and a dark metal reveal splitting the facades between their respective units. Dark mullions are used throughout to match with the metal panel and the dark metal flashing.

Garages for the 2-Unit Buildings: These garages are enclosed primarily in lapped cement board with metal panel starting right above the doors and wrapping around the building at that height. The roof is pitched so that the entire surface faces south to facilitate solar panels.

Existing building: Primarily brick facades. These facades will be repaired as necessary based on the Secretary of Exterior Standards. Windows will be replaced with new, and roof will be replaced with new Asphalt Shingle. Trim and detailing will be reconstructed and painted.

**Landscaping:**

An approximate 25'-0" deep landscaped yard fronts each townhome unit along W Vliet Street. Fences enclose each unit's side and back yards. These yards will be grass with paved walkways connecting the townhomes to the detached garages in the rear of their properties. The fences will be wood and not exceed 6 feet in height. The current open space in the center of the site will hold a 24-space parking lot surrounded by landscaped greenspace. The existing conditions of the landscaping surrounding the existing school building is almost entirely paved, this will be removed and replaced with greenspace and walkways to connect the parking and loading areas within the site.

The existing site or interim condition will be maintained in an orderly fashion consistent with zoning standards of the site prior to rezoning to DPD, including all existing turf and landscaping, until such time that the subject DPD is constructed. All landscaping and required site features shall be installed within a maximum of 30 days total of the City issuing a Certificate of Occupancy (excluding time between December 1 and March 1) for the subject DPD.

**Lighting:**

Adequate lighting shall be provided along the street elevations of the development. All walk-up units will be well lit for safety purposes using wall or ceiling mounted lights at entries with a warm-white light source. There will also be a light placed outside above each man-door on the garage. The pedestrian paths connecting the surface parking lots to the multi-family building will also be adequately lit. The lighting shall comply with requirements outlined in section 295-409.2 of the City of Milwaukee City Charter and Code of Ordinances.

**Utilities:**

All utility lines shall be installed underground if possible, otherwise existing poles will remain in place. Transformers and substations will be installed within buildings or otherwise screened from view.

**Signs:**

There will be one permanent monument sign adjacent to the entrance to the north parking lot along 21st street. Monument sign will not exceed 5' in height. Material of the base will be masonry, signage face will be metal, with raised lettering. Lighting will be halo lit or LED channel lit from above. Temporary signage during construction and leasing will consist of up to (2) 4'x8' banners with a printed graphic of the project and contact information attached to the construction fence.













N/E Corner of Site - N 20th St + W Vliet St



N/W Corner of Site - N 21st St + W Vliet St



S/E Corner of Site - N 20th St



S/W Corner of Site - N 21st St

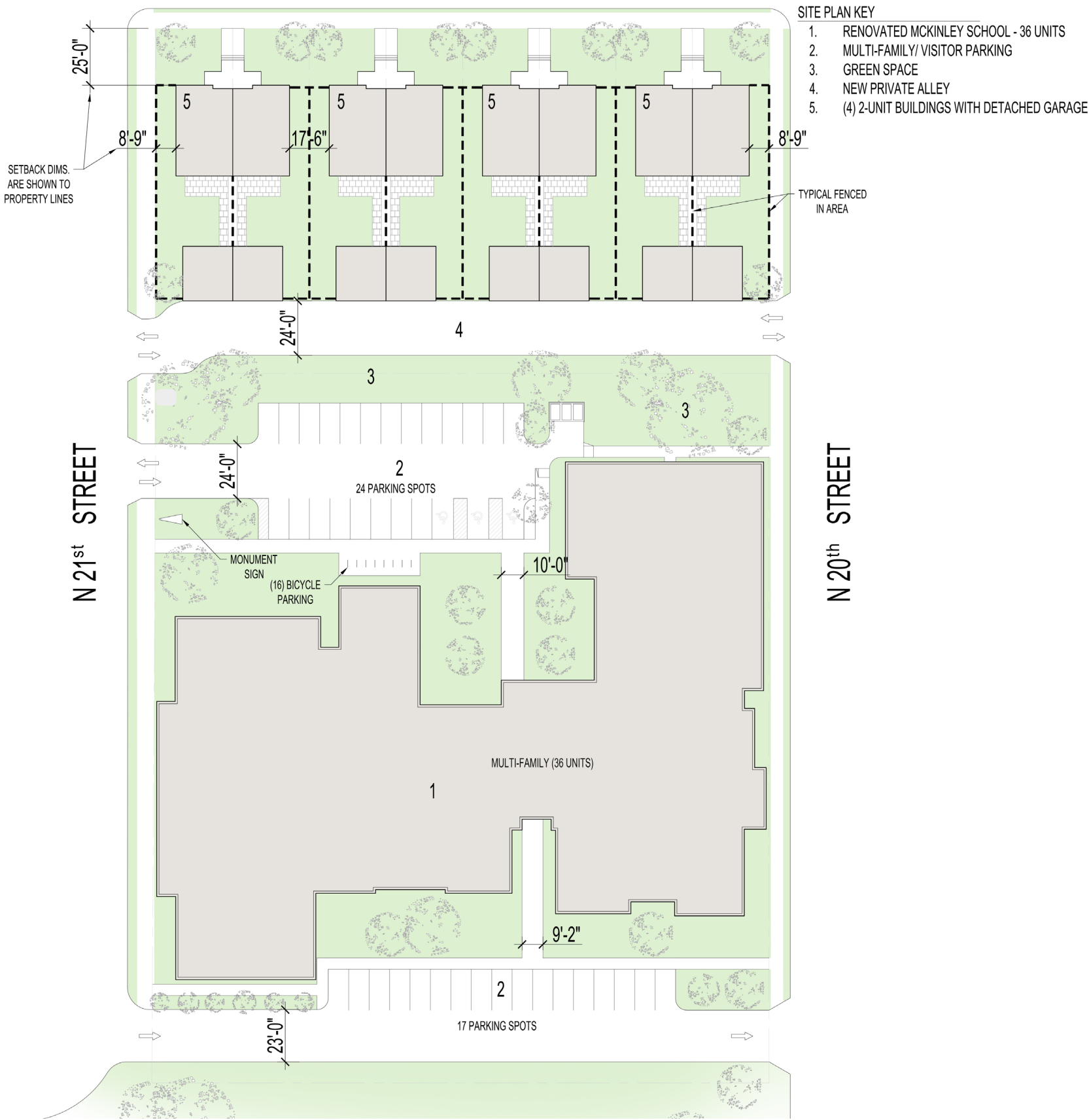


E View of School Building - N 20th St



N/W View of School Building - N 21st St

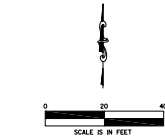












- GENERAL NOTES:**
- ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT, UNLESS STATED OTHERWISE.
  - CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
  - REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

- PLAN NOTES:**
- 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501.
  - 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES (TYP.), SEE DETAIL 5, SHEET C501.
  - PAVEMENT MARKING 4-INCH WHITE, TYP., SEE DETAIL 2, SHEET C501.
  - R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 2 & 3, SHEET C502.
  - 24" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501.
  - CURB RAMPS, SEE DETAILS 1 & 2, SHEET C502.
  - BICYCLE RACKS, SEE DETAIL 3, SHEET C501.
  - ADA ACCESSIBLE PARKING SIGNS, TUBULAR STEEL POST, SEE DETAIL 3 & 4, SHEET C502.
  - WHEEL STOPS (TYP.), SEE DETAIL 10, SHEET C502.

**LEGEND**

- CONCRETE SIDEWALK/CURB & GUTTER/PAVEMENT
- LANDSCAPING, SEE LANDSCAPE PLANS
- NEW FENCE, SEE LANDSCAPE AND ARCHITECTURAL PLANS

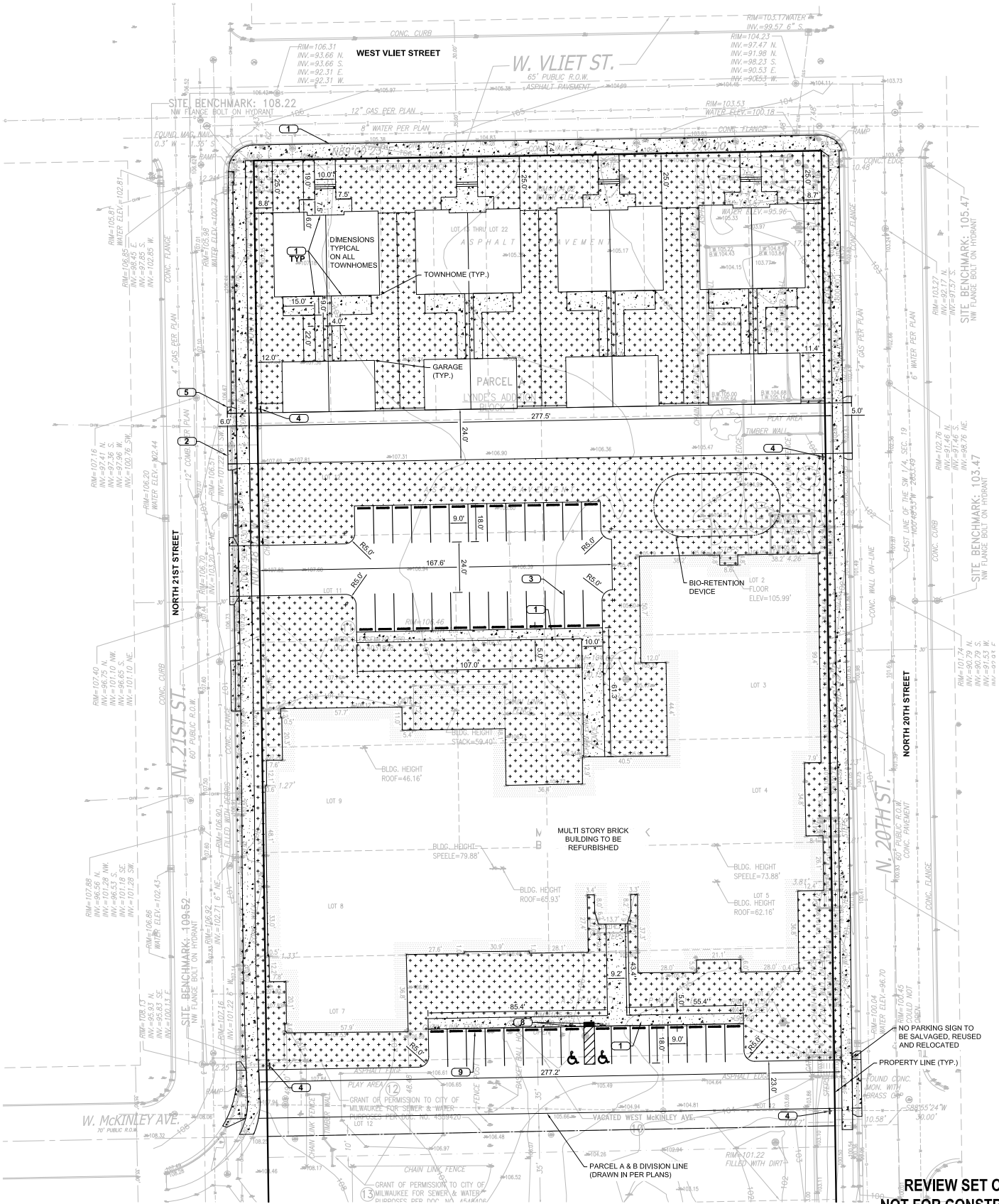
**BUILDING AREA:**  
FIRST FLOOR AREA:  
TOWNHOMES = 987 S.F. EACH (7,896 SF)  
MAX HEIGHT = 24 FEET  
DETACHED GARAGES = 528 S.F. EACH (4,224 SF)  
MAX HEIGHT = 14.5 FEET  
EXISTING BUILDING = 35,514 S.F.  
MAX HEIGHT = 80 FEET

**PARKING DATA:**  
TOTAL PARKING SPACES = 42  
ADA ACCESSIBLE PARKING SPACES = 2

**SITE DATA PARCEL A:**  
TOTAL AREA OF PARCEL A = 125,244 S.F. = 2.88 ACRES  
TOTAL DISTURBED AREA = 134,765 S.F. = 3.09 ACRES  
EXISTING IMPERVIOUS (WITHIN DISTURBED AREA) = 124,860 S.F. = 2.86 ACRES  
PROPOSED IMPERVIOUS (WITHIN DISTURBED AREA) = 85,185 S.F. = 1.96 ACRES  
DECREASE IN IMPERVIOUS AREA = 39,475 S.F. = 0.906 ACRES

**GREEN SPACE PARCEL A:**  
LOT AREA = 125,244 S.F.  
EXISTING GREEN SPACE ON PARCEL = 10,105 S.F.  
8.1% GREEN SPACE  
PROPOSED GREEN SPACE ON PARCEL = 45,946 S.F.  
37% GREEN SPACE

**ZONING:**  
CURRENT: RT-4  
PROPOSED:



**PROJECT NAME:**  
MCKINLEY SCHOOL REDEVELOPMENT

**OWNERS INFO:**  
GORMAN & COMPANY  
200 N. MAIN ST.  
OREGON, WI 53575

**ARCHITECT:**  
KORB + ASSOCIATES  
648 N. PLANKINTON AVE.  
SUITE 240  
MILWAUKEE, WI 53203  
P 414.273.8230

**CONSTRUCTION MANAGER:**  
TO BE DETERMINED  
STREET ADDRESS  
SUITE NUMBER  
CITY, STATE ZIP  
P 800.555.5555

**CIVIL ENGINEER:**  
KSINGH  
3636 N. 124TH STREET  
WAUWATOSA, WI 53222  
P 262-821-1171

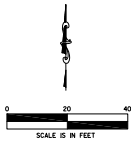
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PROJ. NO: 15090
SCALE: AS NOTED
PHASE: PERMIT SET
DATE: 10-16-2018

**SITE PLAN**  
**C200**

REVIEW SET ONLY  
NOT FOR CONSTRUCTION





LEGEND

NEW SPOT GRADE

TOP OF STAIR GRADE

BOTTOM OF STAIR GRADE

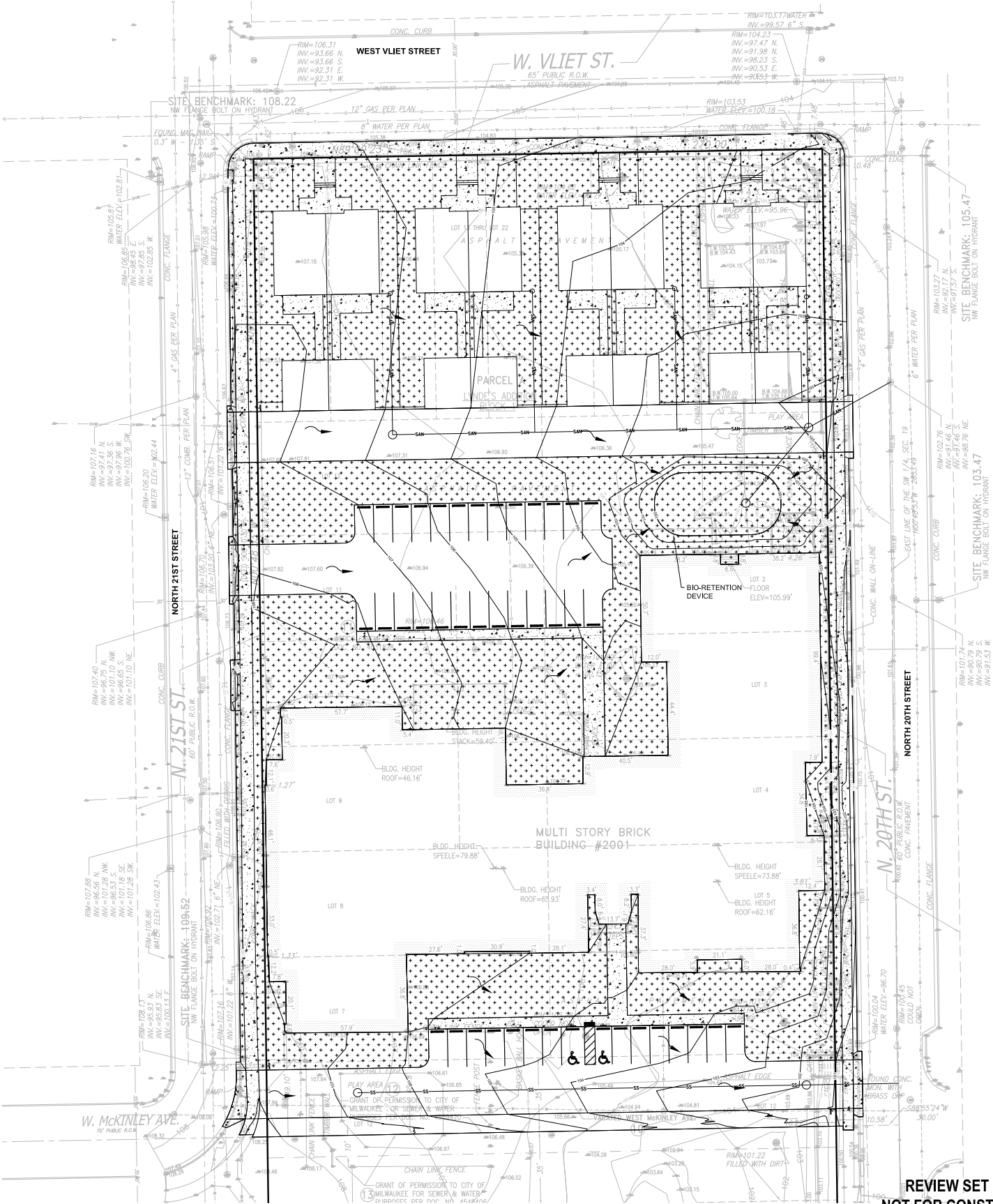
MATCH EXISTING GRADE

NEW GRADING CONTOUR

DRAINAGE FLOW DIRECTION

GENERAL NOTES:

- SEE DEMOLITION PLANS FOR REMOVALS.
- GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
- ALL GRADES SHOWN ARE FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
- ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO PROPOSED GRADING BY THE CONTRACTOR, UNLESS A GRADE MATCH IS INDICATED AT A SPECIFIC UTILITY.
- FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
- UTILITY OWNERS SHALL BE CONTACTED PRIOR TO ADJUSTMENTS.
- UTILITY OWNERS SHALL HAVE THE OPTION OF PERFORMING THE WORK THEMSELVES OR HAVING THE CONTRACTOR PERFORM THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES, PERMITS, AND DEPOSITS FOR THE ADJUSTMENT WORK.
- ALL ADJUSTMENT WORK SHALL BE TO THE SPECIFICATIONS OF THE UTILITY OWNER AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
- PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.



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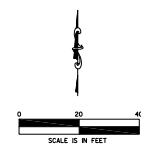
GRADING PLAN

C300

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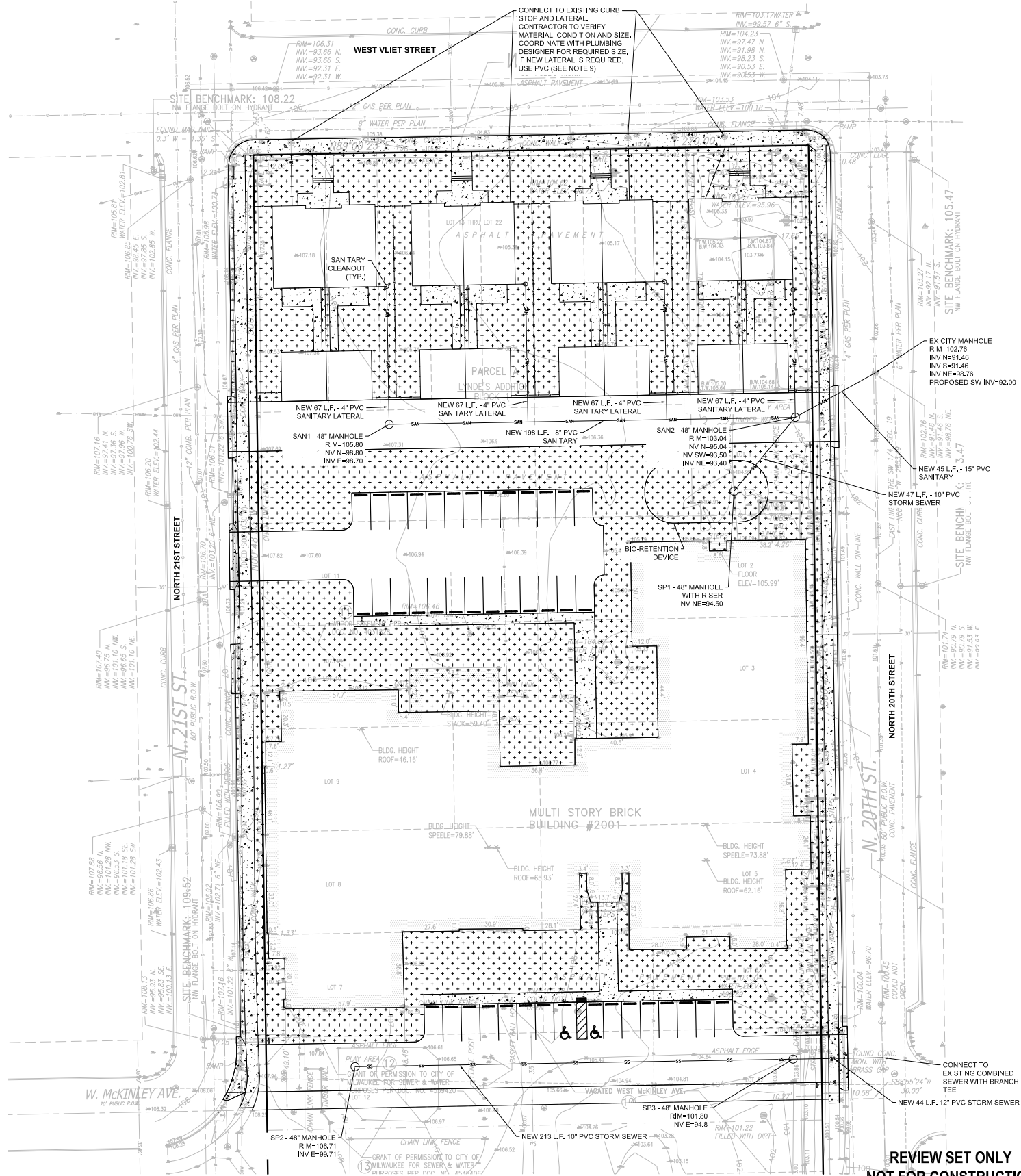


GENERAL NOTES:

- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, EXISTING LATERAL TO BE REUSED SHALL BE INSPECTED AND TELEVIEWED PRIOR TO REUSE AND CONNECTION TO BUILDING, DEFECTS SHALL BE REPAIRED PER MUNICIPALITY STANDARDS.
- SEE DEMOLITION PLAN FOR ABANDONMENT OF LATERALS, ANY LATERAL NOT USED SHALL FOLLOW MUNICIPALITY REQUIREMENTS FOR ABANDONMENT OR REMOVAL.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 26 IN CONFORMANCE WITH SECTION 8.10.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-19).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE MUNICIPALITY.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DSDS 382.40 (b) (i) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER, MAINTAIN A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE SANITARY SEWER AND TOP OF WATER OR 12 INCHES OF VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE WATER AND TOP OF SANITARY.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11,25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED, CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.
- ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS IIA UNLESS SPECIFIED HEREIN, REFER TO WISDOT STANDARD SPECIFICATIONS, CURRENT EDITION, SECTION 606.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS IIA UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET FROM TOP OF PIPE TO TOP OF SUBGRADE, FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, MUNICIPALITY, AND OWNER.
- CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

LEGEND	
	NEW SANITARY SEWER
	NEW STORM SEWER
	NEW ELECTRICAL SERVICE*
	NEW WATER SERVICE
	NEW GAS SERVICE*
	NEW FIBER OPTIC SERVICE*

\*CONTRACTOR TO DETERMINE ROUTING & CONNECTION AND SHALL COORDINATE WITH UTILITY COMPANY. MAINTAIN CODE COMPLIANT SEPARATION FROM EXISTING AND PROPOSED UTILITIES.



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UTILITY PLAN

C400

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Landscaping: Overall Landscape Plan



- SHADE TREES (DECIDUOUS)
- ABM Autumn Blaze Maple
  - SHL Skyline Honeylocust

- ORNAMENTAL TREES (DECIDUOUS)
- RJFC Red Jewel Flowering Crabapple
  - SSFC Spring Snow Flowering Crabapple
  - CFP Chanticleer Flowering Pear
  - JTL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES
- FVJ Fairview Upright Juniper (upright)

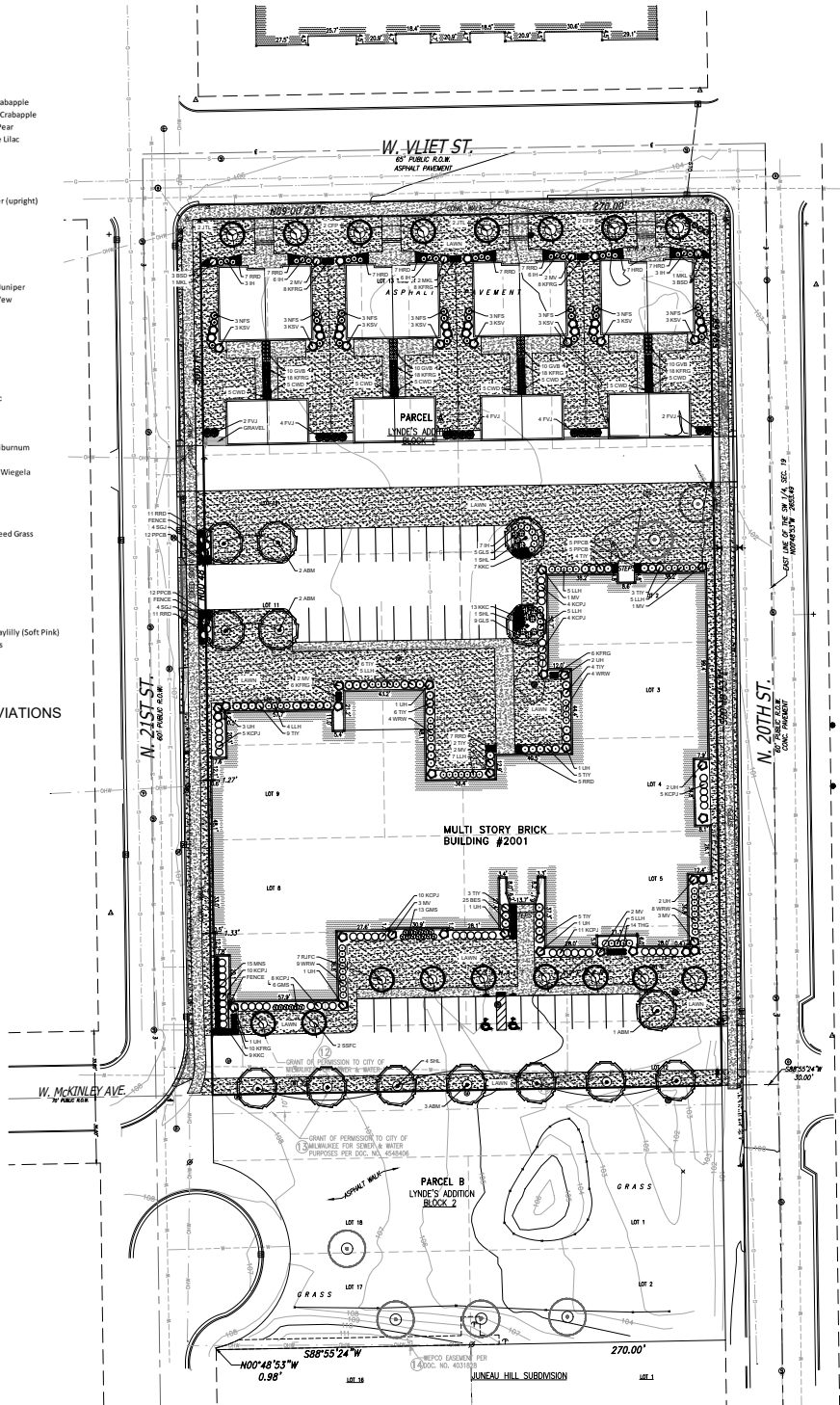
- EVERGREEN SHRUBS
- GVJ Green Velvet Boxwood
  - SGJ Sea Green Juniper
  - KCPJ Kallay Compact Pfitzer Juniper
  - TIY Taunton Intermediate Yew

- DECIDUOUS SHRUBS
- IH Incredible! Hydrangea
  - LLH Little Lime Hydrangea
  - UH Unique Hydrangea
  - GLS Gro Low Fragrant Sumac
  - GMS Goldmound Spirea
  - NFS Neon Flash Spirea
  - MKL Miss Kim Dwarf Lilac
  - KSV Fragrant Koreanspice Viburnum
  - MV Mohican Viburnum
  - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES
- KFRG Karl Foerster Feather Reed Grass
  - THG Tufted Hair Grass

- HERBACEOUS PERENNIALS
- HRD Happy Returns Daylily
  - RHD Rosy Returns Daylily
  - CWD Catherine Woodbury Daylily (Soft Pink)
  - PPCB Palace Purple Coralbells
  - BSD Becky Shasta Daisy
  - KKC Dwarf Camellia
  - BES Black-eyed Susan
  - MNS May Night Salvia

PLANT ABBREVIATIONS



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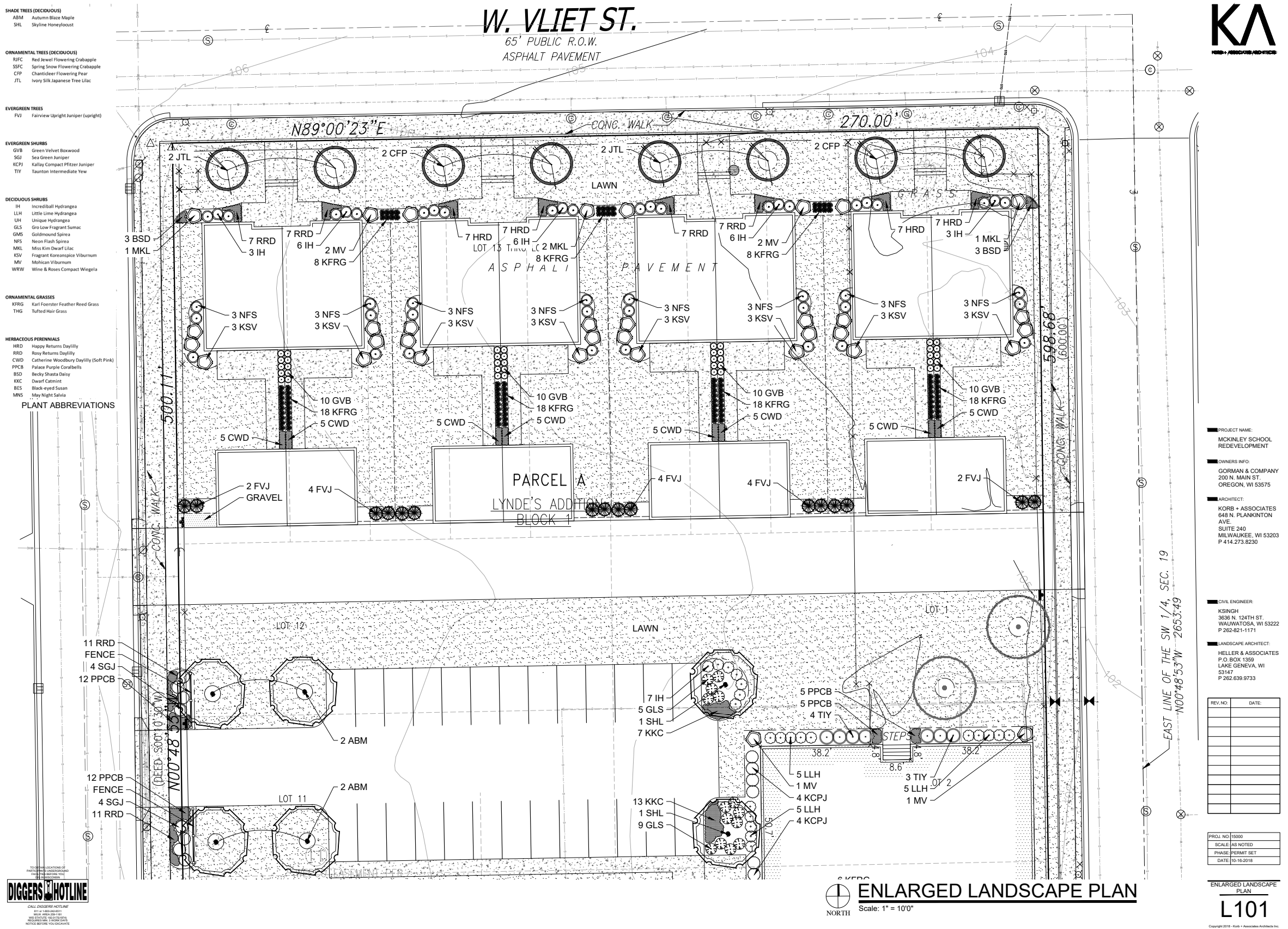
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OVERALL LANDSCAPE  
PLAN  
**L100**

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KSINGH  
3636 N. 124TH ST.  
WALWATOSA, WI 53222  
P 262.821-1171

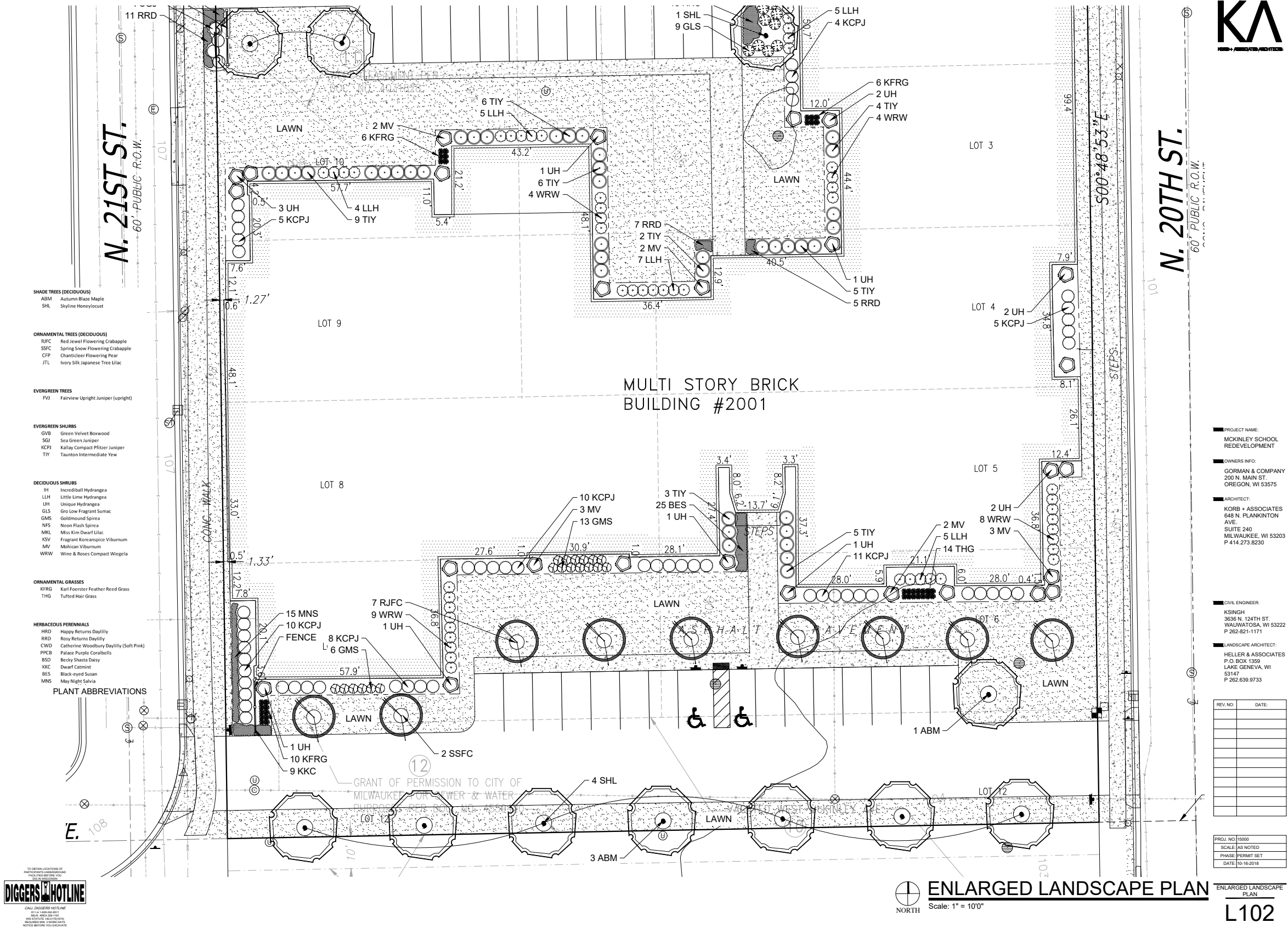
LANDSCAPE ARCHITECT:  
HELLER & ASSOCIATES  
P.O. BOX 1359  
LAKE GENEVA, WI  
53147  
P 262.639.9733

REV. NO.	DATE

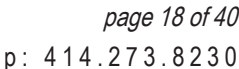
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DATE: 10-16-2018

ENLARGED LANDSCAPE  
PLAN  
**L101**  
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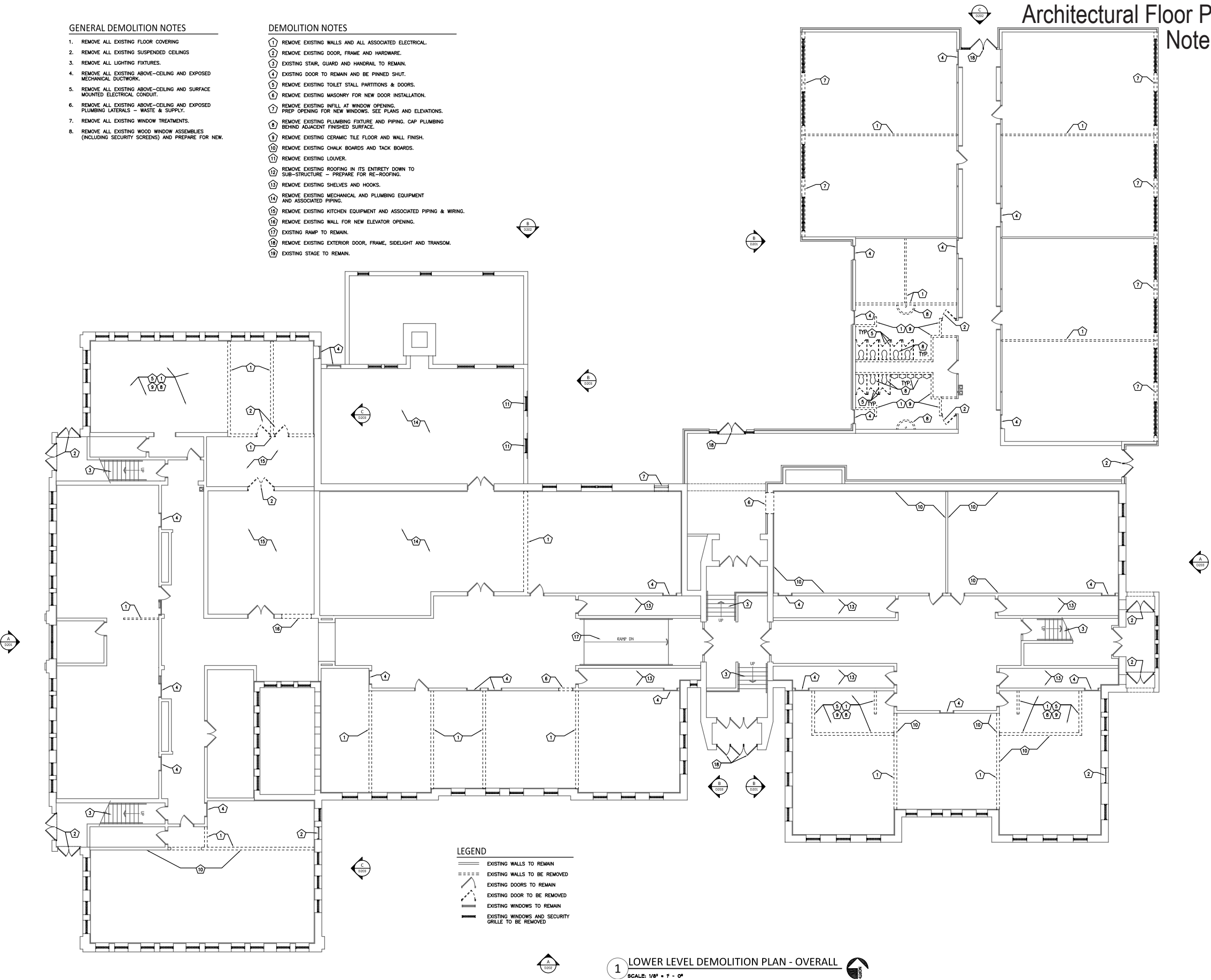
KA  
HOBBS + ASSOCIATES ARCHITECTS



- GENERAL DEMOLITION NOTES**
1. REMOVE ALL EXISTING FLOOR COVERING
  2. REMOVE ALL EXISTING SUSPENDED CEILINGS
  3. REMOVE ALL LIGHTING FIXTURES.
  4. REMOVE ALL EXISTING ABOVE-CEILING AND EXPOSED MECHANICAL DUCTWORK.
  5. REMOVE ALL EXISTING ABOVE-CEILING AND SURFACE MOUNTED ELECTRICAL CONDUIT.
  6. REMOVE ALL EXISTING ABOVE-CEILING AND EXPOSED PLUMBING LATERALS - WASTE & SUPPLY.
  7. REMOVE ALL EXISTING WINDOW TREATMENTS.
  8. REMOVE ALL EXISTING WOOD WINDOW ASSEMBLIES (INCLUDING SECURITY SCREENS) AND PREPARE FOR NEW.

- DEMOLITION NOTES**
1. REMOVE EXISTING WALLS AND ALL ASSOCIATED ELECTRICAL.
  2. REMOVE EXISTING DOOR, FRAME AND HARDWARE.
  3. EXISTING STAIR, GUARD AND HANDRAIL TO REMAIN.
  4. EXISTING DOOR TO REMAIN AND BE PINNED SHUT.
  5. REMOVE EXISTING TOILET STALL PARTITIONS & DOORS.
  6. REMOVE EXISTING MASONRY FOR NEW DOOR INSTALLATION.
  7. REMOVE EXISTING INFILL AT WINDOW OPENING. PREP OPENING FOR NEW WINDOWS. SEE PLANS AND ELEVATIONS.
  8. REMOVE EXISTING PLUMBING FIXTURE AND PIPING. CAP PLUMBING BEHIND ADJACENT FINISHED SURFACE.
  9. REMOVE EXISTING CERAMIC TILE FLOOR AND WALL FINISH.
  10. REMOVE EXISTING CHALK BOARDS AND TACK BOARDS.
  11. REMOVE EXISTING LOUVER.
  12. REMOVE EXISTING ROOFING IN ITS ENTIRETY DOWN TO SUB-STRUCTURE - PREPARE FOR RE-ROOFING.
  13. REMOVE EXISTING SHELVES AND HOOKS.
  14. REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT AND ASSOCIATED PIPING.
  15. REMOVE EXISTING KITCHEN EQUIPMENT AND ASSOCIATED PIPING & WIRING.
  16. REMOVE EXISTING WALL FOR NEW ELEVATOR OPENING.
  17. EXISTING RAMP TO REMAIN.
  18. REMOVE EXISTING EXTERIOR DOOR, FRAME, SIDELIGHT AND TRANSOM.
  19. EXISTING STAGE TO REMAIN.

# Architectural Floor Plans: Existing Building - 1st Floor Note: Existing Conditions, Not to scale

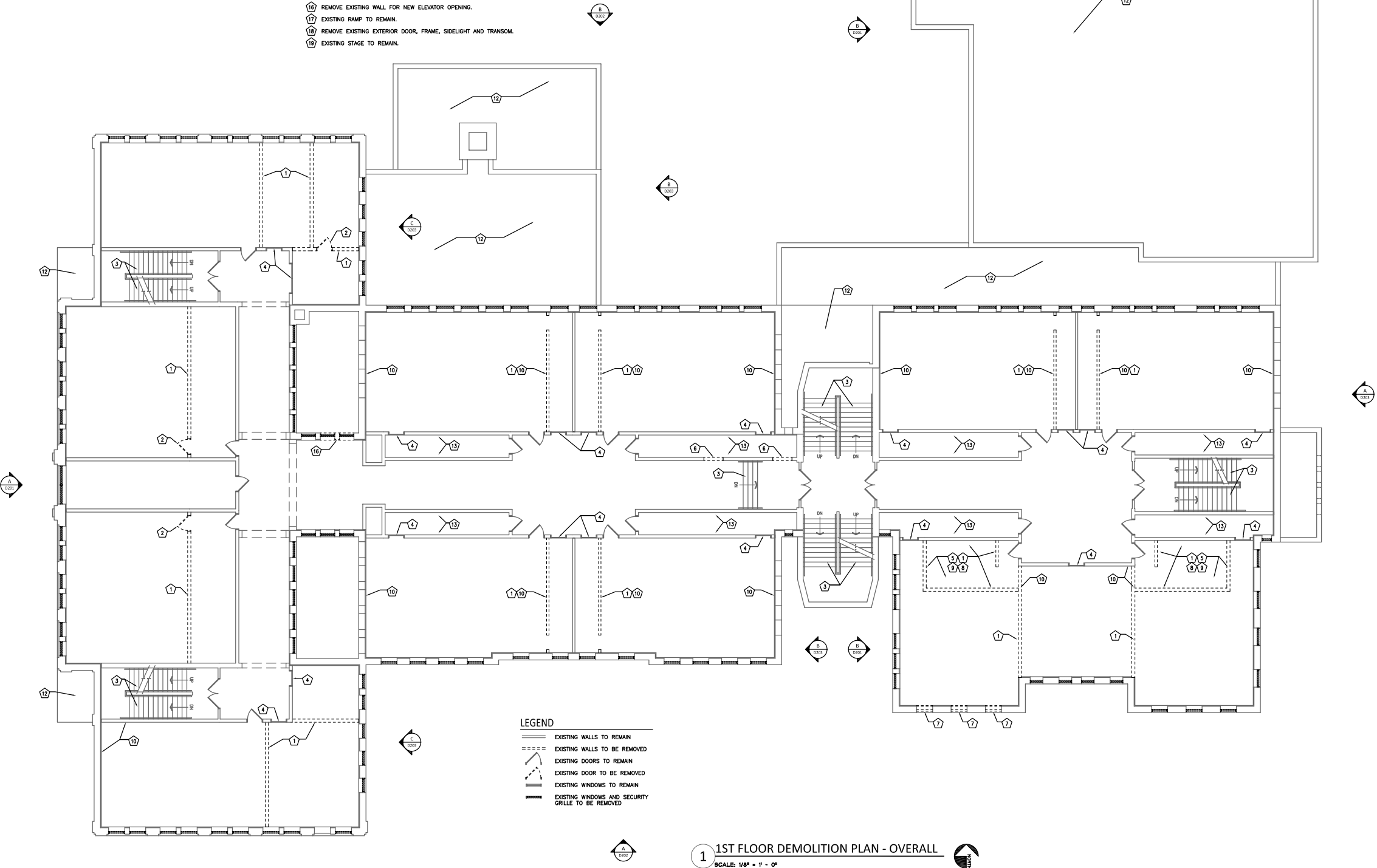




- GENERAL DEMOLITION NOTES**
1. REMOVE ALL EXISTING FLOOR COVERING
  2. REMOVE ALL EXISTING SUSPENDED CEILINGS
  3. REMOVE ALL LIGHTING FIXTURES.
  4. REMOVE ALL EXISTING ABOVE-CEILING AND EXPOSED MECHANICAL DUCTWORK.
  5. REMOVE ALL EXISTING ABOVE-CEILING AND SURFACE MOUNTED ELECTRICAL CONDUIT.
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  15. REMOVE EXISTING KITCHEN EQUIPMENT AND ASSOCIATED PIPING & WIRING.
  16. REMOVE EXISTING WALL FOR NEW ELEVATOR OPENING.
  17. EXISTING RAMP TO REMAIN.
  18. REMOVE EXISTING EXTERIOR DOOR, FRAME, SIDELIGHT AND TRANSOM.
  19. EXISTING STAGE TO REMAIN.

**Architectural Floor Plans: Existing Building - 2nd Floor**  
**Note: Existing Conditions, Not to scale**



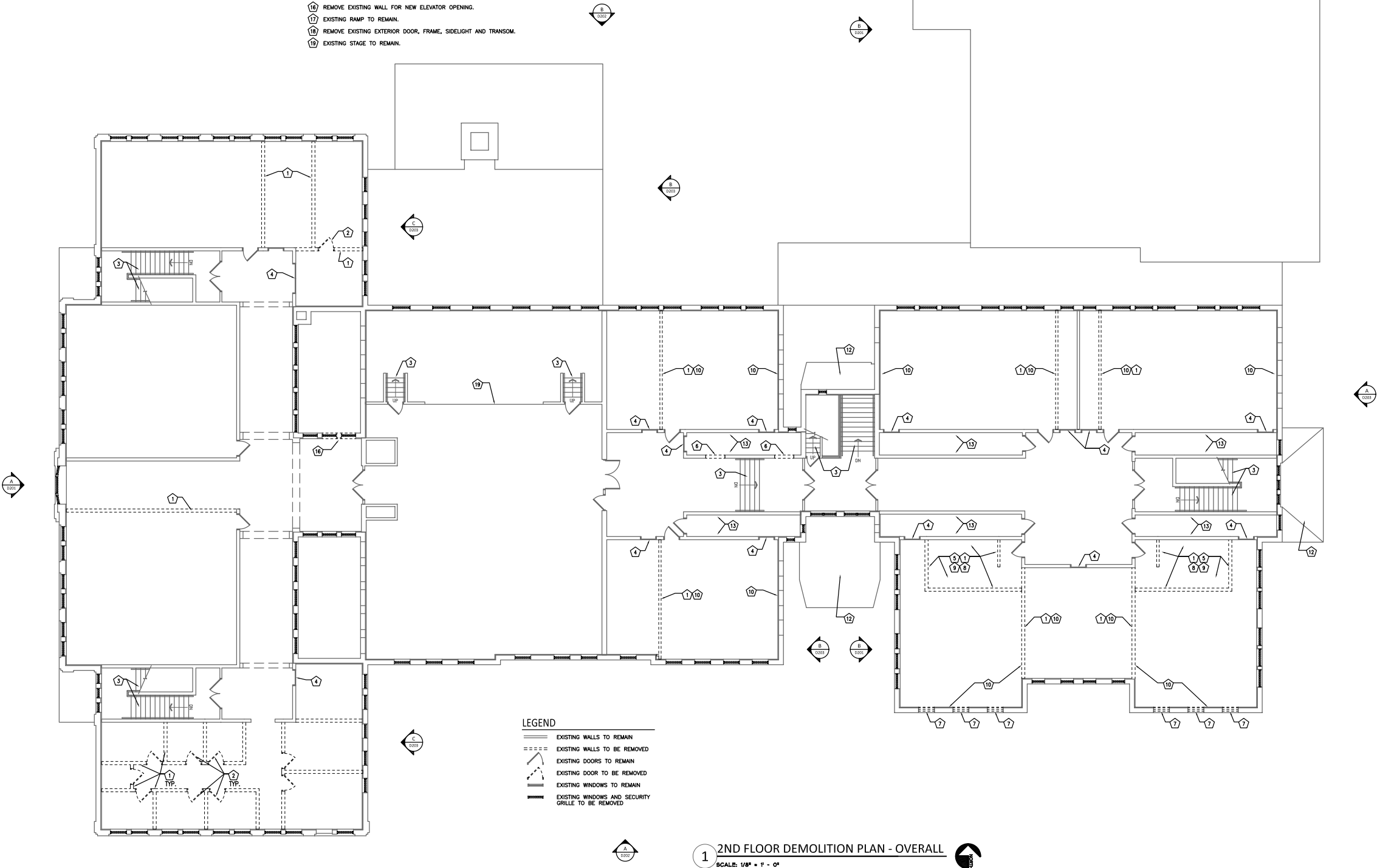


- GENERAL DEMOLITION NOTES
1. REMOVE ALL EXISTING FLOOR COVERING
  2. REMOVE ALL EXISTING SUSPENDED CEILINGS
  3. REMOVE ALL LIGHTING FIXTURES.
  4. REMOVE ALL EXISTING ABOVE-CEILING AND EXPOSED MECHANICAL DUCTWORK.
  5. REMOVE ALL EXISTING ABOVE-CEILING AND SURFACE MOUNTED ELECTRICAL CONDUIT.
  6. REMOVE ALL EXISTING ABOVE-CEILING AND EXPOSED PLUMBING LATERALS - WASTE & SUPPLY.
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  8. REMOVE ALL EXISTING WOOD WINDOW ASSEMBLIES (INCLUDING SECURITY SCREENS) AND PREPARE FOR NEW.

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  7. REMOVE EXISTING INFILL AT WINDOW OPENING. PREP OPENING FOR NEW WINDOWS. SEE PLANS AND ELEVATIONS.
  8. REMOVE EXISTING PLUMBING FIXTURE AND PIPING. CAP PLUMBING BEHIND ADJACENT FINISHED SURFACE.
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  13. REMOVE EXISTING SHELVES AND HOOKS.
  14. REMOVE EXISTING MECHANICAL AND PLUMBING EQUIPMENT AND ASSOCIATED PIPING.
  15. REMOVE EXISTING KITCHEN EQUIPMENT AND ASSOCIATED PIPING & WIRING.
  16. REMOVE EXISTING WALL FOR NEW ELEVATOR OPENING.
  17. EXISTING RAMP TO REMAIN.
  18. REMOVE EXISTING EXTERIOR DOOR, FRAME, SIDELIGHT AND TRANSOM.
  19. EXISTING STAGE TO REMAIN.



Architectural Floor Plans: Existing Building - 3rd Floor  
Note: Existing Conditions, Not to scale





- CONSTRUCTION NOTES
- 1

NEW PAINTED, HISTORICALLY ACCURATE ALUMINUM WINDOW - SEE ELEVATIONS.

2

NEW HOLLOW METAL DOOR AND FRAME SEE ELEVATIONS.

3

NEW HOLLOW METAL DOOR, FRAME AND TRANSOM - SEE ELEVATIONS.

4

NEW MECHANICAL/ELECTRICAL EQUIPMENT.

5

NEW ELEVATOR AND STOP LOCATION.

6

REPAIR/REFINISH EXISTING DOOR ASSEMBLY.

7

REPAIR WALL AT ALL REMOVED OR DAMAGED PLASTER WALLS.

8

NEW MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING ROOF DECK.

9

NEW ASPHALT SHINGLE ROOF SYSTEM ON EXISTING SUB-STRUCTURE.

10

NEW LOUVER.

11

EXISTING STAIR - CLEAN, REPAIR AND REFINISH.

12

CLEAN, PRIME AND PAINT EXISTING ATTIC VENT ENCLOSURE.

13

CLEAN, PRIME AND PAINT EXISTING CORNER.

14

EXISTING SNOW GUARDS - CLEAN, PAINT AND RETURN TO ORIGINAL POSITION AFTER NEW ROOFING IS INSTALLED.

15

EXISTING DOOR AND FRAME TO REMAIN.

16

NEW UNTEL ABOVE AND CASED OPENING.

17

NEW WHEELCHAIR LIFT.

18

EXISTING RAMP - CLEAN, REPAIR AND REFINISH.

19

NEW HOLLOW METAL DOOR, FRAME AND SIDELIGHT - SEE ELEVATIONS.

20

NEW RAMP, HANDRAILS AND GUARDRAILS.

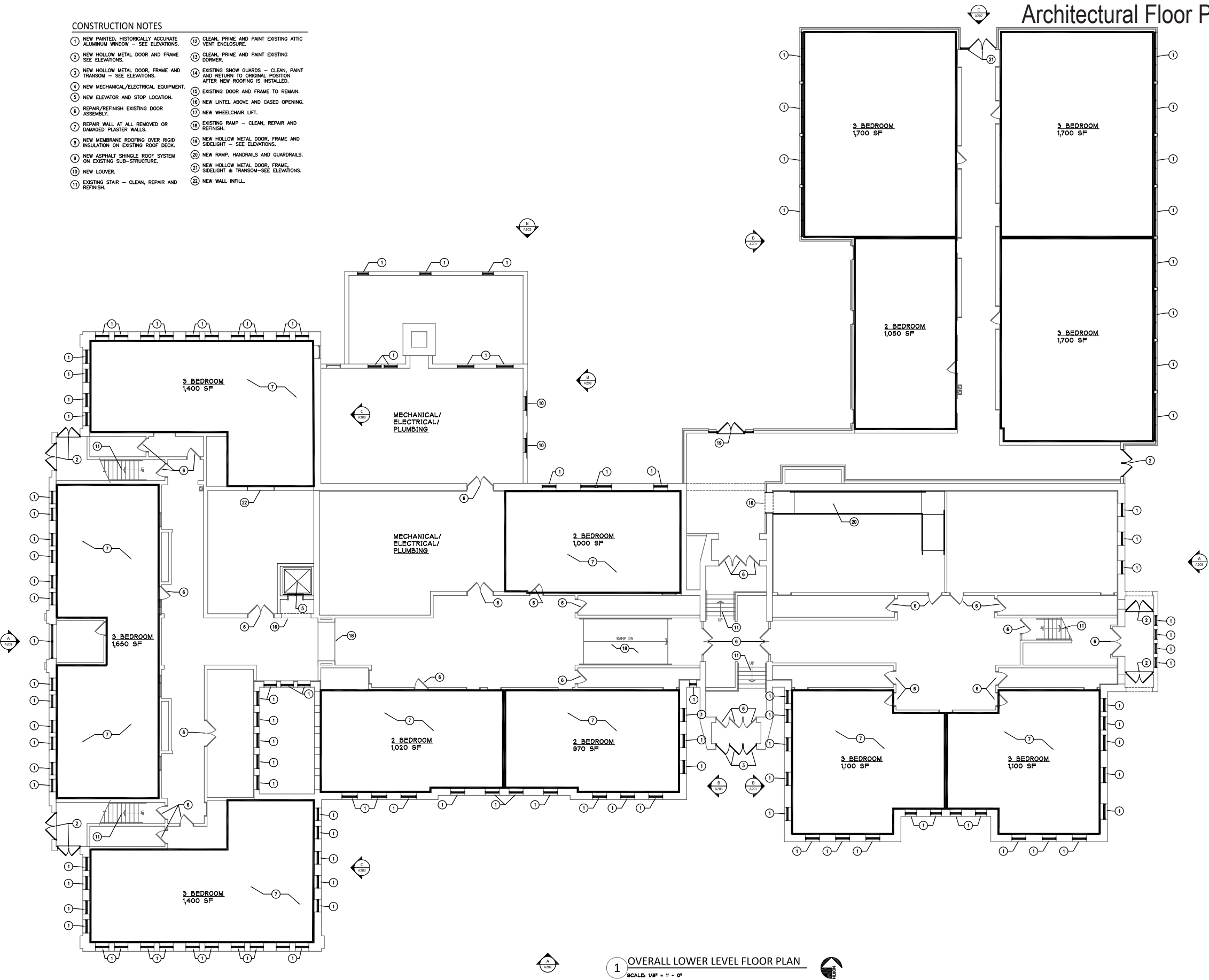
21

NEW HOLLOW METAL DOOR, FRAME, SIDELIGHT & TRANSOM-SEE ELEVATIONS.

22

NEW WALL INFILL.

Architectural Floor Plans: Existing Building - 1st Floor  
Note: Not to scale

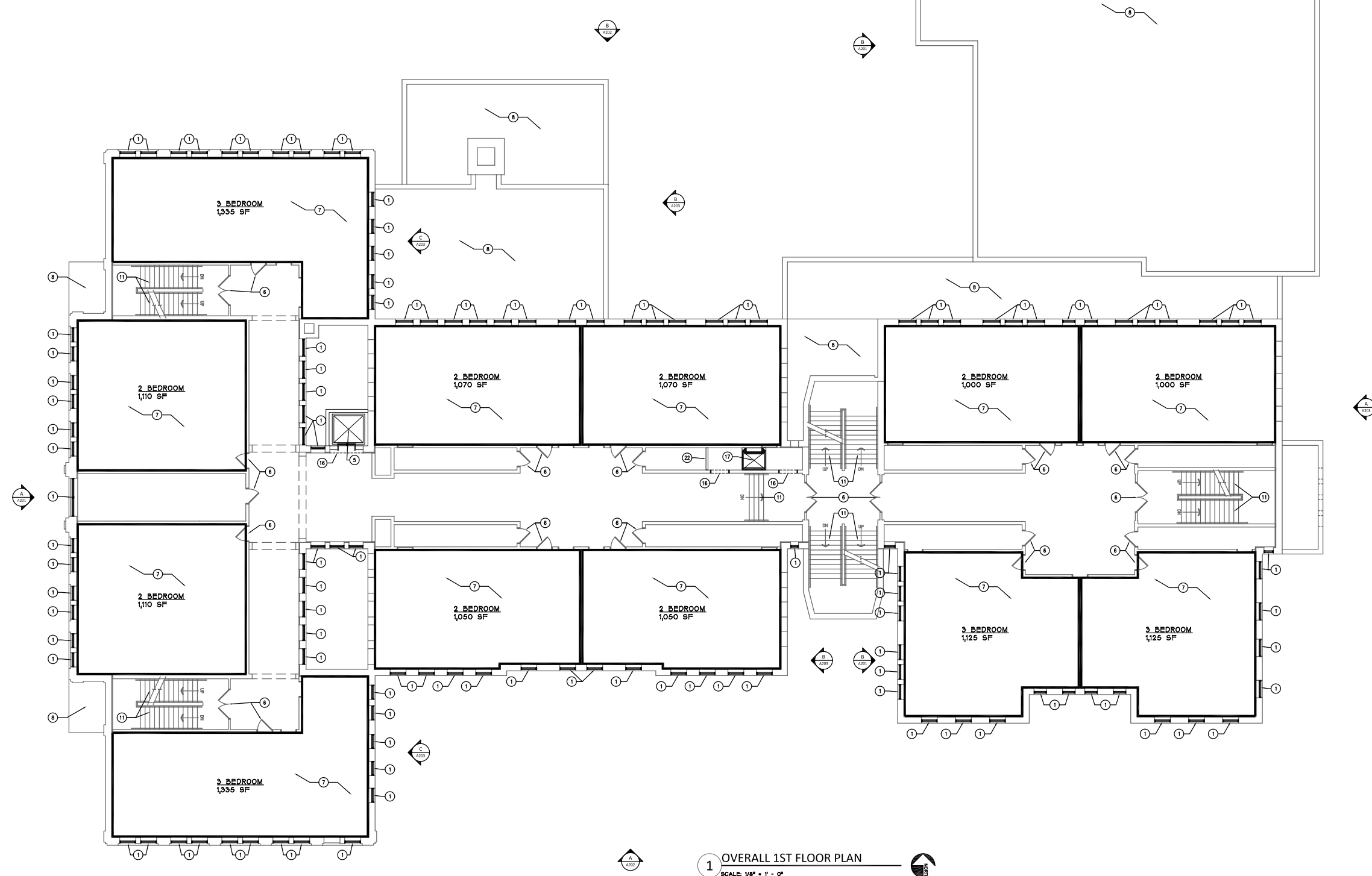




Architectural Floor Plans: Existing Building - 2nd Floor  
Note: Not to scale

CONSTRUCTION NOTES

- 1 NEW PAINTED, HISTORICALLY ACCURATE ALUMINUM WINDOW - SEE ELEVATIONS.
- 2 NEW HOLLOW METAL DOOR AND FRAME SEE ELEVATIONS.
- 3 NEW HOLLOW METAL DOOR, FRAME AND TRANSOM - SEE ELEVATIONS.
- 4 NEW MECHANICAL/ELECTRICAL EQUIPMENT.
- 5 NEW ELEVATOR AND STOP LOCATION.
- 6 REPAIR/REFINISH EXISTING DOOR ASSEMBLY.
- 7 REPAIR WALL AT ALL REMOVED OR DAMAGED PLASTER WALLS.
- 8 NEW MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING ROOF DECK.
- 9 NEW ASPHALT SHINGLE ROOF SYSTEM ON EXISTING SUB-STRUCTURE.
- 10 NEW LOUVER.
- 11 EXISTING STAIR - CLEAN, REPAIR AND REFINISH.
- 12 CLEAN, PRIME AND PAINT EXISTING ATTIC VENT ENCLOSURE.
- 13 CLEAN, PRIME AND PAINT EXISTING CORNER.
- 14 EXISTING SNOW GUARDS - CLEAN, PAINT AND RETURN TO ORIGINAL POSITION AFTER NEW ROOFING IS INSTALLED.
- 15 EXISTING DOOR AND FRAME TO REMAIN.
- 16 NEW LINTEL ABOVE AND CASED OPENING.
- 17 NEW WHEELCHAIR LIFT.
- 18 EXISTING RAMP - CLEAN, REPAIR AND REFINISH.
- 19 NEW HOLLOW METAL DOOR, FRAME AND SIDELIGHT - SEE ELEVATIONS.
- 20 NEW RAMP, HANDRAILS AND GUARDRAILS.
- 21 NEW HOLLOW METAL DOOR, FRAME, SIDELIGHT & TRANSOM-SEE ELEVATIONS.
- 22 NEW WALL INFILL.





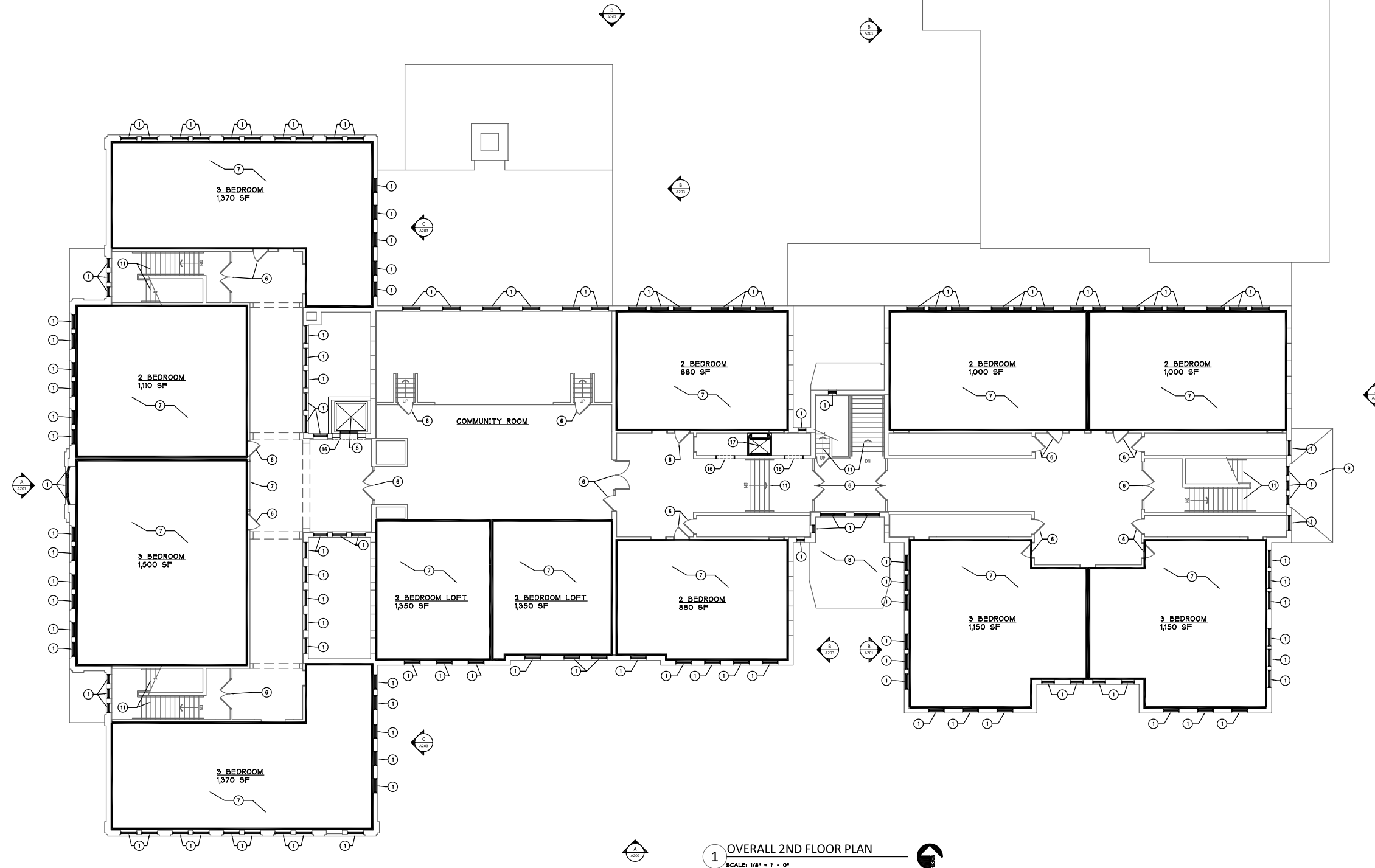


# Architectural Floor Plans: Existing Building - 3rd Floor

Note: Not to scale

## CONSTRUCTION NOTES

- 1 NEW PAINTED, HISTORICALLY ACCURATE ALUMINUM WINDOW - SEE ELEVATIONS.
- 2 NEW HOLLOW METAL DOOR AND FRAME SEE ELEVATIONS.
- 3 NEW HOLLOW METAL DOOR, FRAME AND TRANSOM - SEE ELEVATIONS.
- 4 NEW MECHANICAL/ELECTRICAL EQUIPMENT.
- 5 NEW ELEVATOR AND STOP LOCATION.
- 6 REPAIR/REFINISH EXISTING DOOR ASSEMBLY.
- 7 REPAIR WALL AT ALL REMOVED OR DAMAGED PLASTER WALLS.
- 8 NEW MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING ROOF DECK.
- 9 NEW ASPHALT SHINGLE ROOF SYSTEM ON EXISTING SUB-STRUCTURE.
- 10 NEW LOUVER.
- 11 EXISTING STAIR - CLEAN, REPAIR AND REFINISH.
- 12 CLEAN, PRIME AND PAINT EXISTING ATTIC VENT ENCLOSURE.
- 13 CLEAN, PRIME AND PAINT EXISTING CORNER.
- 14 EXISTING SNOW GUARDS - CLEAN, PAINT AND RETURN TO ORIGINAL POSITION AFTER NEW ROOFING IS INSTALLED.
- 15 EXISTING DOOR AND FRAME TO REMAIN.
- 16 NEW UNTEL ABOVE AND CASED OPENING.
- 17 NEW WHEELCHAIR LIFT.
- 18 EXISTING RAMP - CLEAN, REPAIR AND REFINISH.
- 19 NEW HOLLOW METAL DOOR, FRAME AND SIDEWALL - SEE ELEVATIONS.
- 20 NEW RAMP, HANDRAILS AND GUARDRAILS.
- 21 NEW HOLLOW METAL DOOR, FRAME, SIDEWALL & TRANSOM-SEE ELEVATIONS.
- 22 NEW WALL INFILL.

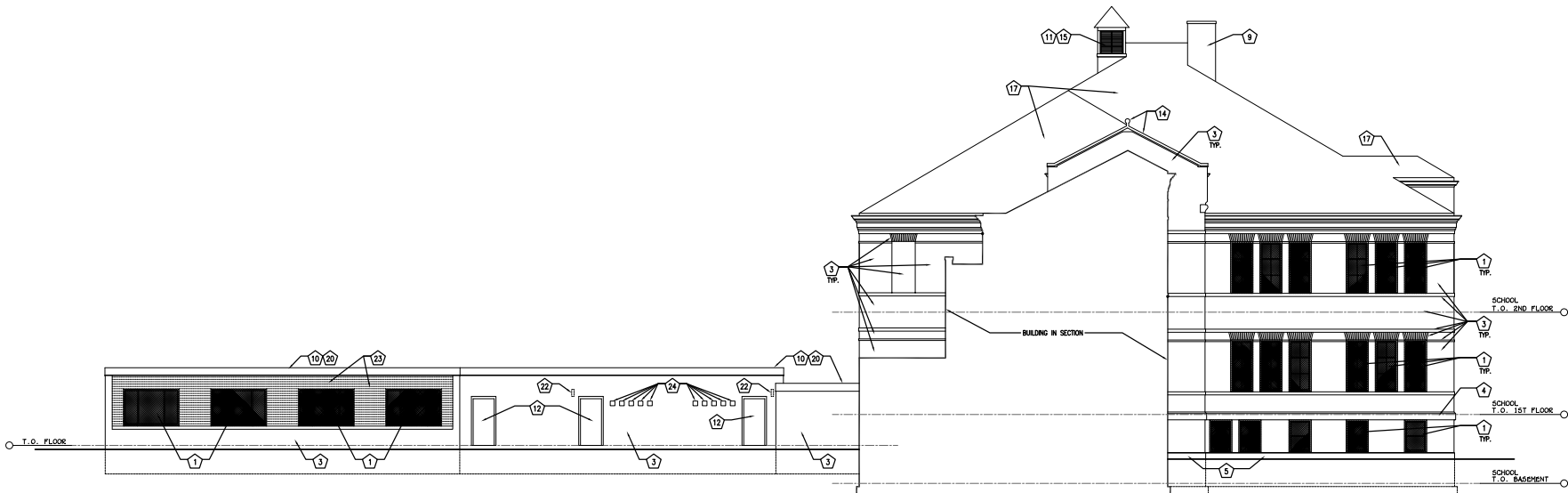




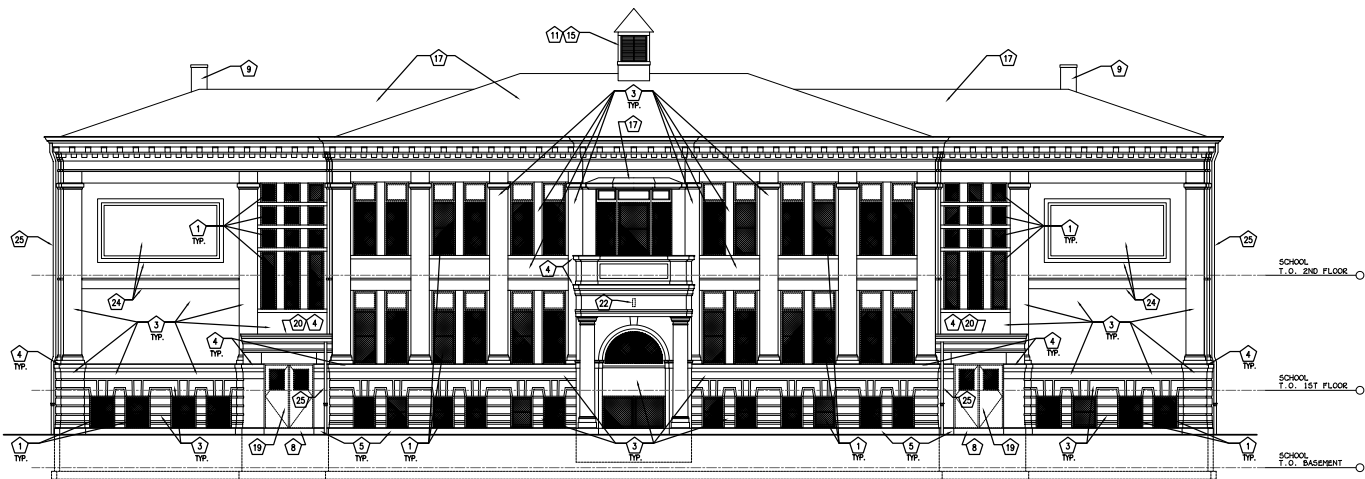
Architectural Elevations: Existing Building  
Note: Existing Conditions, Not to scale

- GENERAL DEMOLITION NOTES
- 1. CLEAN AND REPOINT ALL EXISTING EXTERIOR PAINTED AND UNPAINTED BRICK AS REQUIRED.
  - 2. REMOVE ALL EXISTING SECURITY SCREENS OVER ALL EXISTING WINDOWS.

- ELEVATION DEMOLITION NOTES
- 1 REMOVE EXISTING WINDOW SASHES, JAMBS, SILL CASINGS AND SAFETY SCREENS. PREPARE OPENING FOR NEW WINDOW.
  - 2 REMOVE EXISTING MASONRY INFILL AT WINDOW OPENING - EXISTING SILL AND LINTEL TO REMAIN - PREPARE OPENING FOR NEW WINDOW.
  - 3 EXISTING PAINTED BRICK MASONRY TO REMAIN.
  - 4 EXISTING STONE COPING TO REMAIN.
  - 5 EXISTING EXPOSED FOUNDATION WALL - REPAIR AND REPAINT AS REQUIRED.
  - 6 REMOVE EXISTING HOLLOW METAL DOOR, FRAME, SIDELITE AND TRANSOM.
  - 7 EXISTING TRANSOM TO REMAIN.
  - 8 EXISTING CONCRETE STEPS TO REMAIN.
  - 9 EXISTING CHIMNEY TO REMAIN.
  - 10 EXISTING METAL COPING TO REMAIN.
  - 11 EXISTING ATTIC VENT ENCLOSURE TO REMAIN.
  - 12 EXISTING DOOR AND FRAME TO REMAIN - PIN SHUT.
  - 13 EXISTING CERAMIC COPING TO REMAIN.
  - 14 EXISTING STONE CORNICE TO REMAIN.
  - 15 EXISTING MECHANICAL LOUVER TO REMAIN.
  - 16 REMOVE EXISTING LOUVER - CLEAN, PRIME AND REPAINT.
  - 17 REMOVE EXISTING ASPHALT SHINGLE ROOF TO SUBSTRUCTURE BELOW.
  - 18 REMOVE EXISTING METAL SNOW GUARDS AND SALVAGE FOR REINSTALLATION.
  - 19 REMOVE EXISTING HOLLOW METAL DOOR AND FRAME.
  - 20 REMOVE EXISTING LOW SLOPE ROOF TO SUBSTRUCTURE BELOW.
  - 21 REMOVE EXISTING MECHANICAL/ELECTRICAL CONDUIT.
  - 22 REMOVE EXISTING EXTERIOR LIGHT FIXTURE/HORN AND CONDUIT.
  - 23 REMOVE EXISTING WALL INFILL AND SIDING FOR NEW WINDOWS.
  - 24 EXISTING BRICK DETAIL TO REMAIN.
  - 25 EXISTING GUTTER AND DOWNSPOUT - REPAIR, CLEAN OR REPLACE AS REQUIRED.



**B** PARTIAL WEST ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



**A** WEST ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



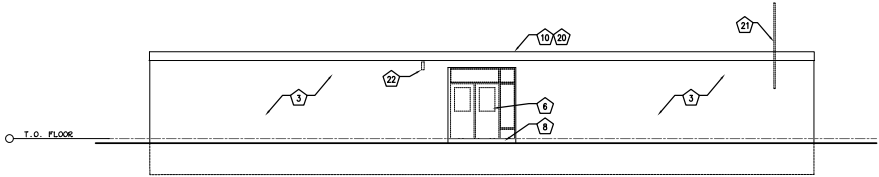
Architectural Elevations: Existing Building  
Note: Existing Conditions, Not to scale

GENERAL DEMOLITION NOTES

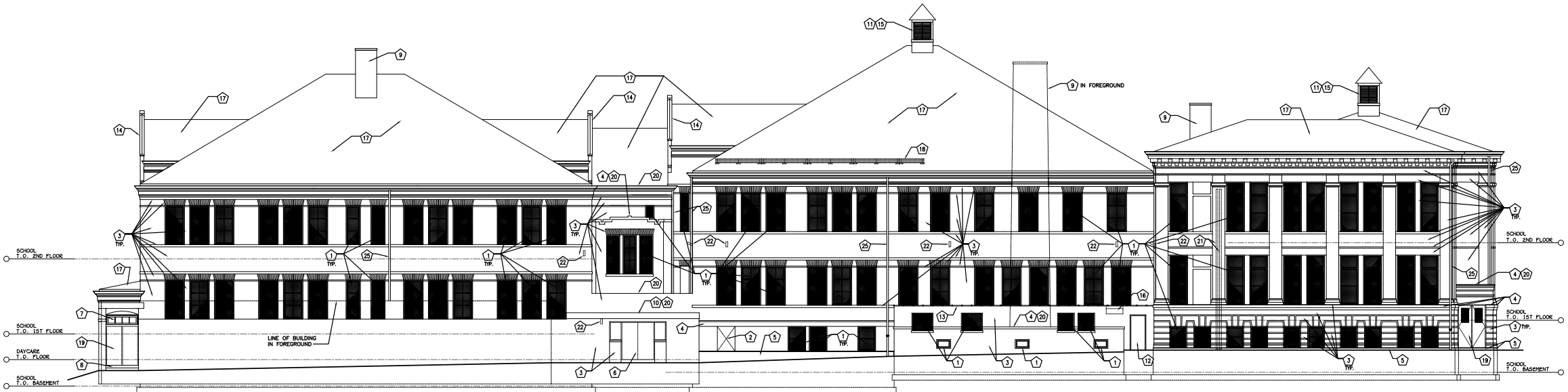
- 1. CLEAN AND REPOINT ALL EXISTING EXTERIOR PAINTED AND UNPAINTED BRICK AS REQUIRED.
- 2. REMOVE ALL EXISTING SECURITY SCREENS OVER ALL EXISTING WINDOWS.

ELEVATION DEMOLITION NOTES

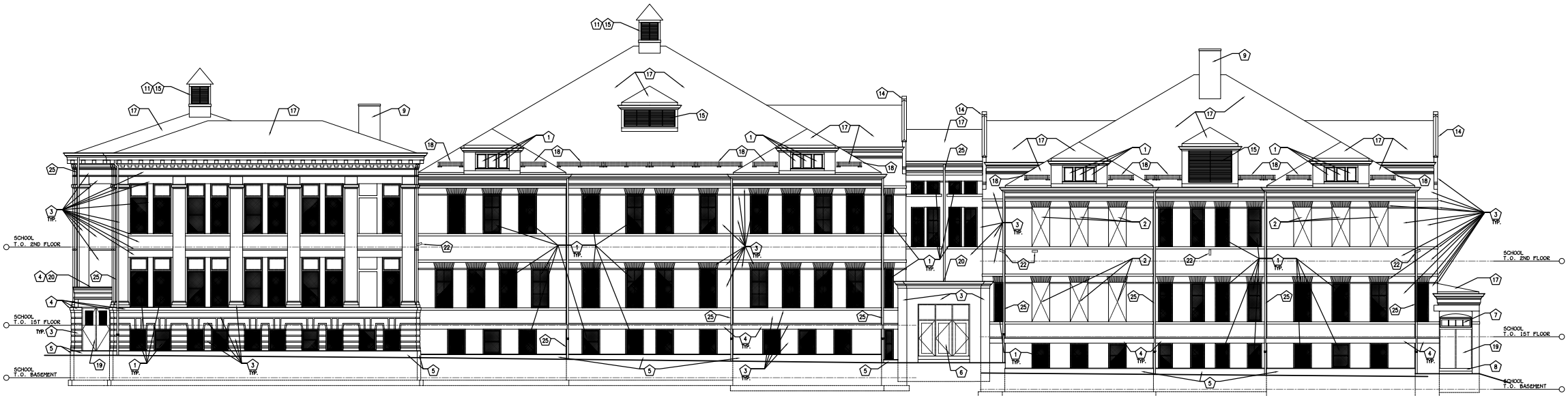
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- 3 EXISTING PAINTED BRICK MASONRY TO REMAIN.
- 4 EXISTING STONE COPING TO REMAIN.
- 5 EXISTING EXPOSED FOUNDATION WALL - REPAIR AND REPOINT AS REQUIRED.
- 6 REMOVE EXISTING HOLLOW METAL DOOR, FRAME, SIDELITE AND TRANSOM.
- 7 EXISTING TRANSOM TO REMAIN.
- 8 EXISTING CONCRETE STEPS TO REMAIN.
- 9 EXISTING CHIMNEY TO REMAIN.
- 10 EXISTING METAL COPING TO REMAIN.
- 11 EXISTING ATTIC VENT ENCLOSURE TO REMAIN.
- 12 EXISTING DOOR AND FRAME TO REMAIN - PIN SHUT.
- 13 EXISTING CERAMIC COPING TO REMAIN.
- 14 EXISTING STONE CORNICE TO REMAIN.
- 15 EXISTING MECHANICAL LOUVER TO REMAIN.
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- 24 EXISTING BRICK DETAIL TO REMAIN.
- 25 EXISTING GUTTER AND DOWNSPOUT - REPAIR, CLEAN OR REPLACE AS REQUIRED.



C NORTH ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



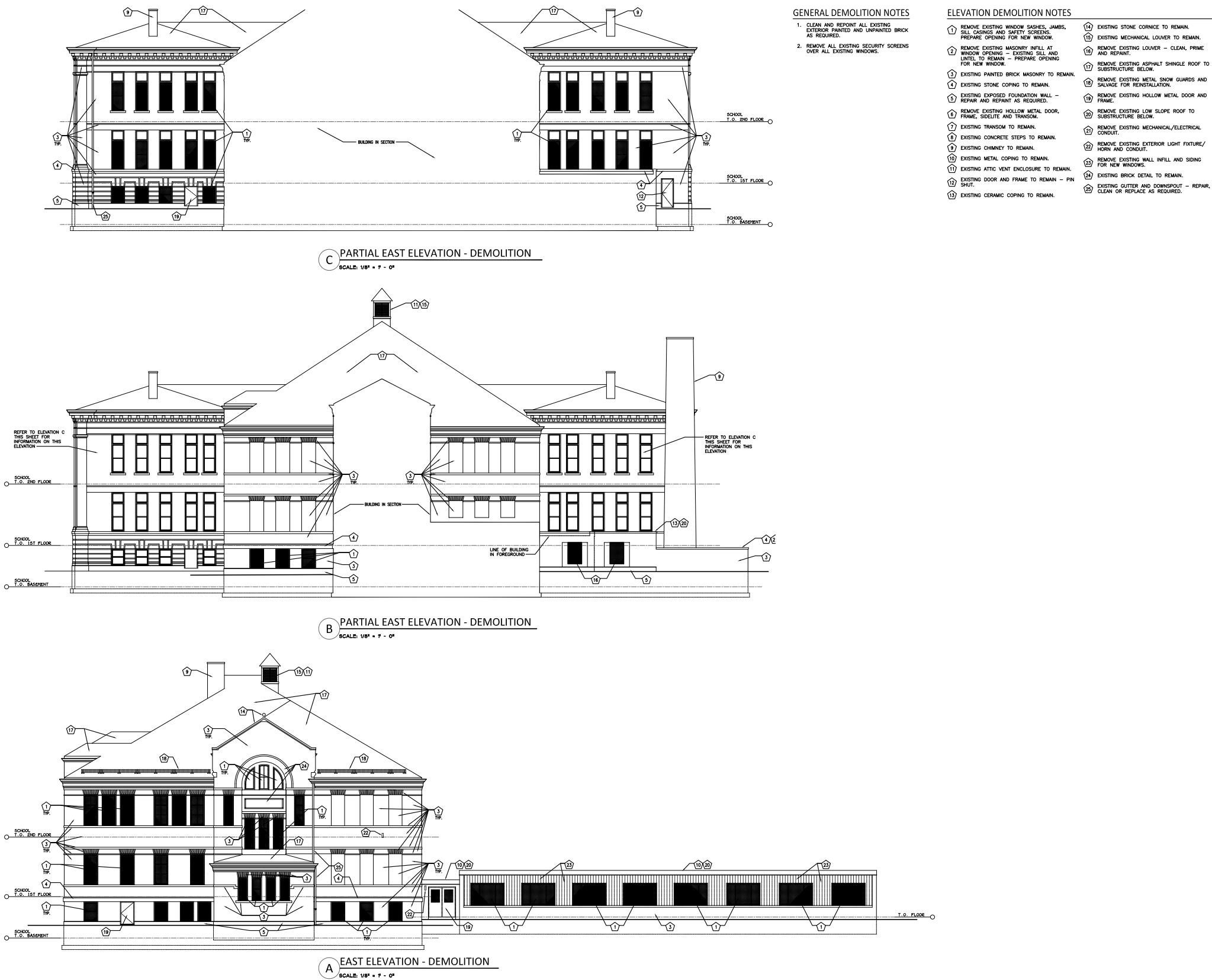
B NORTH ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



A SOUTH ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



Architectural Elevations: Existing Building  
Note: Existing Conditions, Not to scale





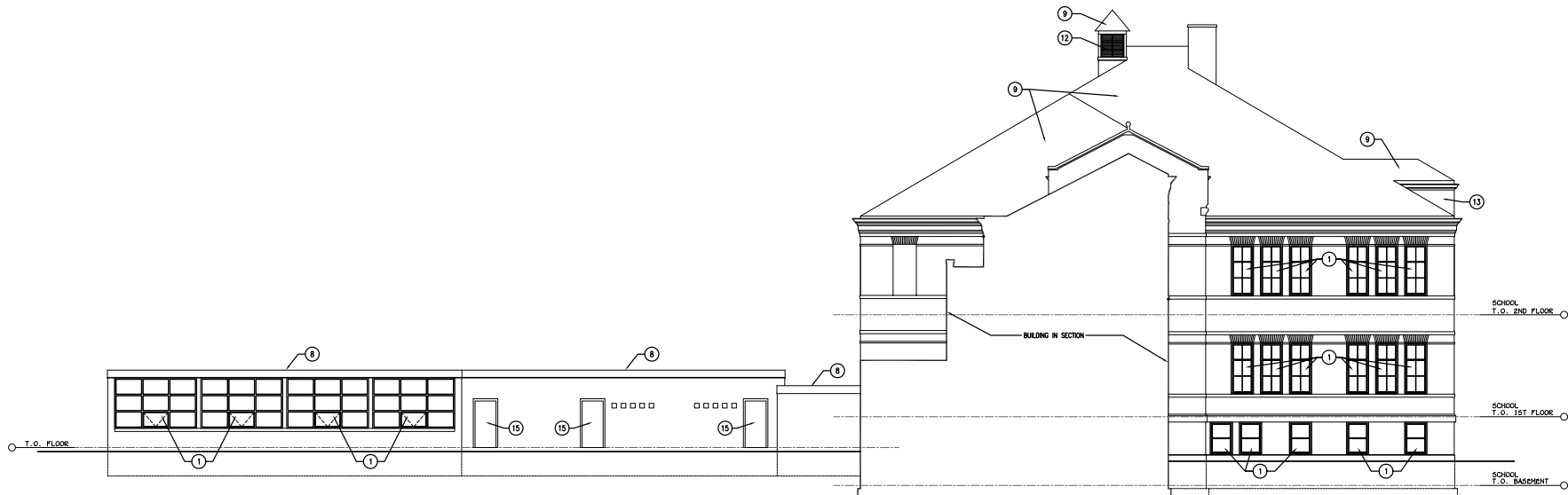
Architectural Elevations: Existing Building  
Note: Not to scale

GENERAL EXTERIOR NOTES

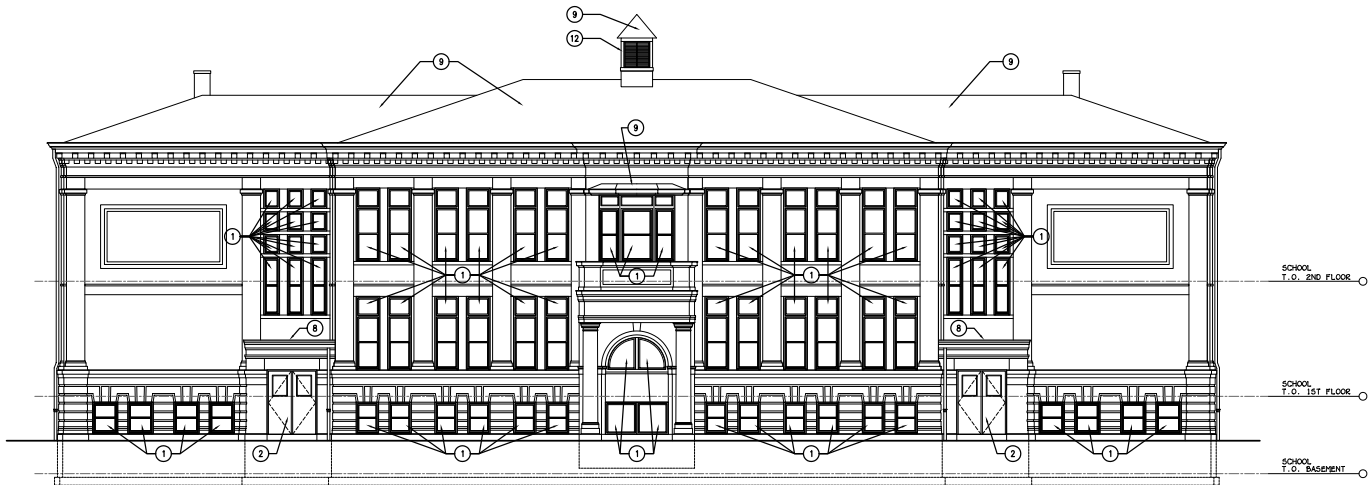
- 1. CLEAN AND REPOINT ALL EXISTING EXTERIOR PAINTED AND UNPAINTED BRICK AS REQUIRED.
- 2. ALL EXISTING BUILT-IN GUTTERS AND DOWNSPOUTS TO BE REPAIRED OR REPLACED (MATCH EXISTING) AS NEEDED. SEAL WATER TIGHT AND PAINT DOWNSPOUTS TO MATCH BUILDING BACKGROUND.
- 3. CLEANING OF EXTERIOR IN PREPARATION FOR NEW PAINT SHALL BE DONE WITH BIO-DEGRADABLE ORGANIC MATERIALS AND/OR NPS APPROVED WASH.
- 4. ALL EXTERIOR MASONRY CURRENTLY PAINTED TO BE REPAINTED.

CONSTRUCTION NOTES

- 1 NEW PAINTED, HISTORICALLY ACCURATE ALUMINUM WINDOW - SEE ELEVATIONS.
- 2 NEW HOLLOW METAL DOOR AND FRAME SEE ELEVATIONS.
- 3 NEW HOLLOW METAL DOOR, FRAME AND TRANSOM - SEE ELEVATIONS.
- 4 NEW MECHANICAL/ELECTRICAL EQUIPMENT.
- 5 NEW ELEVATOR AND STOP LOCATION.
- 6 REPAIR/REFINISH EXISTING DOOR ASSEMBLY.
- 7 REPAIR WALL AT ALL REMOVED OR DAMAGED PLASTER WALLS.
- 8 NEW MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING ROOF DECK.
- 9 NEW ASPHALT SHINGLE ROOF SYSTEM ON EXISTING SUB-STRUCTURE.
- 10 NEW LOUVER.
- 11 EXISTING STAIR - CLEAN, REPAIR AND REFINISH.
- 12 CLEAN, PRIME AND PAINT EXISTING ATTIC VENT ENCLOSURE.
- 13 CLEAN, PRIME AND PAINT EXISTING DORMER.
- 14 EXISTING SNOW GUARDS - CLEAN, PAINT AND RETURN TO ORIGINAL POSITION AFTER NEW ROOFING IS INSTALLED.
- 15 EXISTING DOOR AND FRAME TO REMAIN.
- 16 NEW LINTEL ABOVE AND CASED OPENING.
- 17 NEW WHEELCHAIR LIFT.
- 18 EXISTING RAMP - CLEAN, REPAIR AND REFINISH.
- 19 NEW HOLLOW METAL DOOR, FRAME AND SIDELIGHT - SEE ELEVATIONS.
- 20 NEW RAMP, HANDRAILS AND GUARDRAILS.
- 21 NEW HOLLOW METAL DOOR, FRAME, SIDELIGHT & TRANSOM-SEE ELEVATIONS.
- 22 NEW WALL INFILL.



B PARTIAL WEST ELEVATION  
SCALE: 1/8" = 1' - 0"



A WEST ELEVATION  
SCALE: 1/8" = 1' - 0"



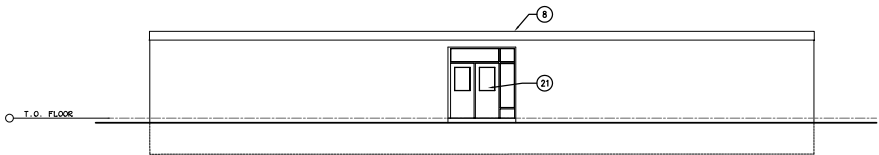
Architectural Elevations: Existing Building  
Note: Not to scale

GENERAL EXTERIOR NOTES

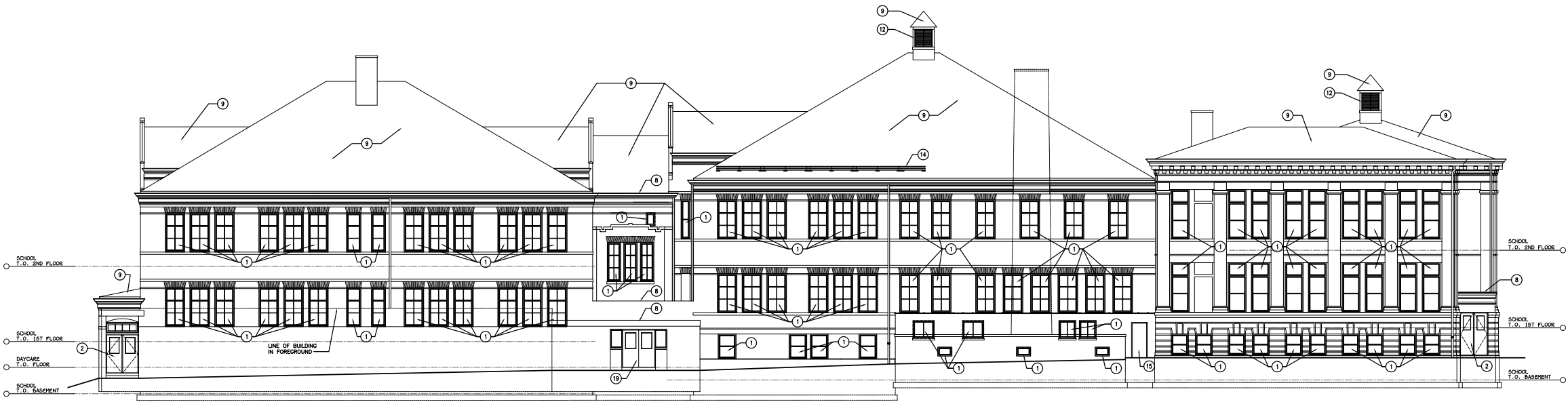
- 1. CLEAN AND REPOINT ALL EXISTING EXTERIOR PAINTED AND UNPAINTED BRICK AS REQUIRED.
- 2. ALL EXISTING BUILT-IN GUTTERS AND DOWNSPOUTS TO BE REPAIRED OR REPLACED (MATCH EXISTING) AS NEEDED. SEAL WATER-TIGHT AND PAINT DOWNSPOUTS TO MATCH BUILDING BACKGROUND.
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- 4 NEW MECHANICAL/ELECTRICAL EQUIPMENT.
- 5 NEW ELEVATOR AND STOP LOCATION.
- 6 REPAIR/REFINISH EXISTING DOOR ASSEMBLY.
- 7 REPAIR WALL AT ALL REMOVED OR DAMAGED PLASTER WALLS.
- 8 NEW MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING ROOF DECK.
- 9 NEW ASPHALT SHINGLE ROOF SYSTEM ON EXISTING SUB-STRUCTURE.
- 10 NEW LOUVER.
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- 12 CLEAN, PRIME AND PAINT EXISTING ATTIC VENT ENCLOSURE.
- 13 CLEAN, PRIME AND PAINT EXISTING DORMER.
- 14 EXISTING SNOW GUARDS - CLEAN, PAINT AND RETURN TO ORIGINAL POSITION AFTER NEW ROOFING IS INSTALLED.
- 15 EXISTING DOOR AND FRAME TO REMAIN.
- 16 NEW LINTEL ABOVE AND CASED OPENING.
- 17 NEW WHEELCHAIR LIFT.
- 18 EXISTING RAMP - CLEAN, REPAIR AND REFINISH.
- 19 NEW HOLLOW METAL DOOR, FRAME AND SIDELIGHT - SEE ELEVATIONS.
- 20 NEW RAMP, HANDRAILS AND GUARDRAILS.
- 21 NEW HOLLOW METAL DOOR, FRAME, SIDELIGHT & TRANSOM-SEE ELEVATIONS.
- 22 NEW WALL INFILL.



C NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"



B NORTH ELEVATION  
SCALE: 1/8" = 1' - 0"



A SOUTH ELEVATION  
SCALE: 1/8" = 1' - 0"



