



## Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

2837 E. PARK PL.      North Point North Historic District

**Description of work**

First floor renovation to include renovation of first floor kitchen, first floor bathroom and second floor bathroom. The renovation will relocate a breakfast area to the back of the home and the first floor bathroom to the center of the home. This involves rebuilding three walls and enclosing a small area that is currently outside and eliminate a pent roof.

Eliminate door onto balcony over remodeled area and replace with an egress window within the existing opening to create a more efficient closet space. New cladding will be all wood with more windows than existing. Remove one window from conservatory addition area and enclose more space to be even with existing walls.

Remove chimney from center of rear dormer. Patch with roof tile matching the existing roof tile. The rear of the home will be restored using the brick saved from the chimney and matching cedar siding. All downspouts and gutters will be replaced with copper downspouts and gutters in keeping with the existing historic design of the property.

Replace two non-original kitchen windows.

New windows throughout the project will be Marvin all-wood 1/1 windows with matching Marvin wood storms. See attached plans: 11 pages.

**Date issued**

5/9/2018

PTS ID    114485    COA: remove chimney, remodel SW corner

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**Salvage original rear entry door and 1918 balcony door for potential future re-use by retaining on site.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Dean Doerrfeld of the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: Dean.Doerrfeld@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.

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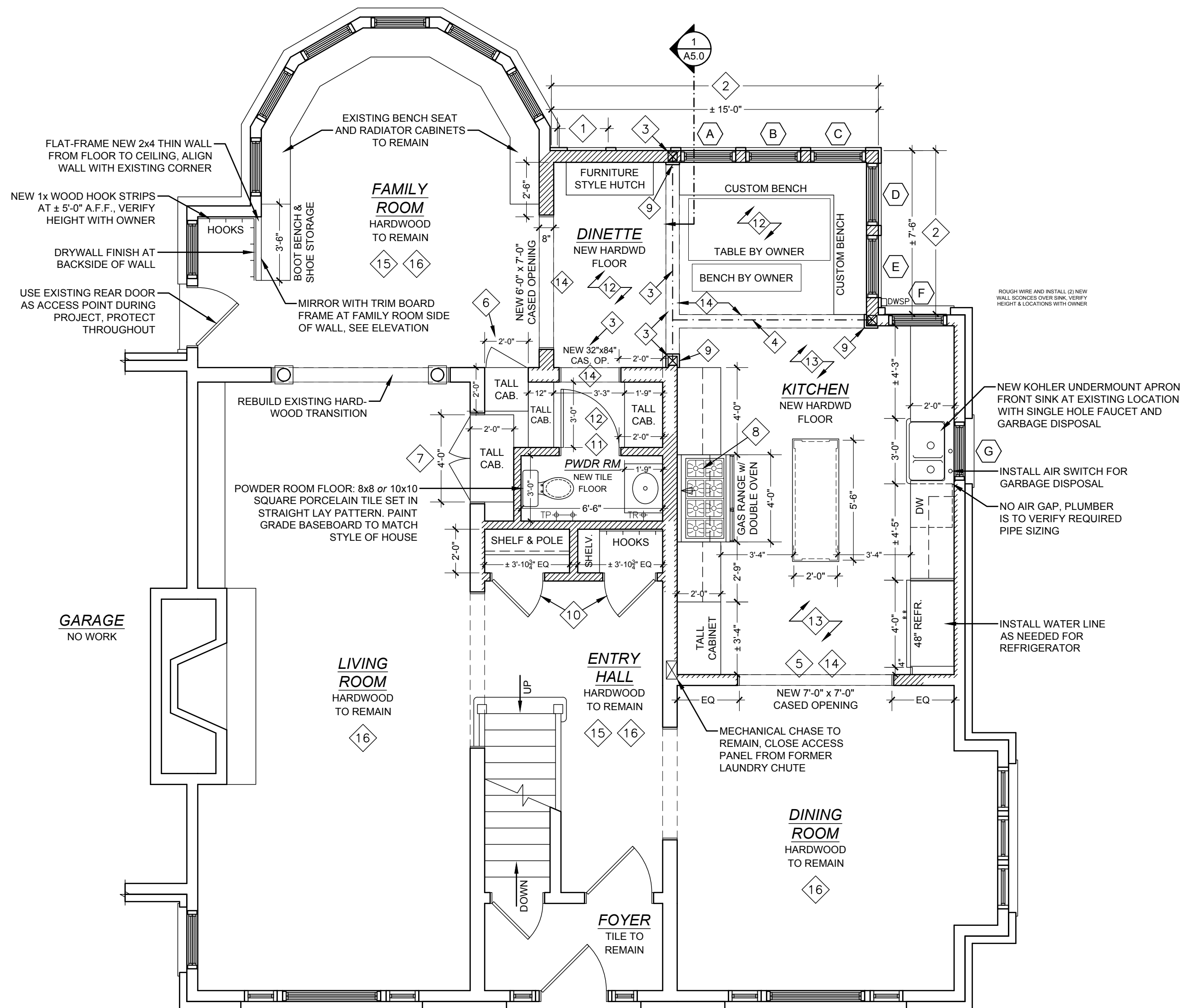
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor , Inspector Paul Wolfgramm (286-2590)

*By Tim Askin at 2:37 pm, May 09, 2018*

D1.0

**APPROVED**  
By Tim Askin at 2:37 pm, May 09, 2018



**WALL SYMBOLS KEY**

- EXISTING STUD OR MASONRY WALL TO REMAIN
- 2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
- 2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
- EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE

**1ST FLOOR CONSTRUCTION NOTES:**

- ROUGH CARPENTER IS TO INSTALL BLOCKING AS NEEDED FOR FIXTURES, HARDWARE, AND ACCESSORIES. VERIFY LOCATIONS WITH PROJECT MANAGER.
- ROUGH-IN AND INSTALL PLUMBING SUPPLY AND WASTE LINES AS NEEDED FOR NEW AND RELOCATED FIXTURES PER PLANS.
- OPTION** TO REPLACE EXISTING PLUMBING SUPPLY AND WASTE PIPES.
- COMPLETELY GUT LOWER LEVEL AT FORMER STAIRWAY AREA BELOW DINETTE. CLEAN, PRIME, AND PAINT EXISTING FOUNDATION WALLS THROUGHOUT THIS AREA.
- INSULATION:** INSTALL FIBERGLASS BATT INSULATION NEW WALLS AND CEILINGS OF DINETTE AREA PER SECTION 1, SHEET A5.0. INCLUDES NEW BATT INSULATION AT EXISTING EXTERIOR WALLS THAT ARE OPENED DURING DEMOLITION.
- OPTION** TO SPRAY FOAM ALL BOX SILLS AND JOISTS ENDS OF REMODELED AREA.
- DRYWALL:** INSTALL NEW 1/2" DRYWALL AT WALLS AND CEILINGS OF REMODELED AREA INCLUDING DINETTE, KITCHEN, AND POWDER ROOM. SPRAY TEXTURE SAND FINISH WITH SQUARE METAL OUTSIDE CORNERS.
- DRYWALL:** PATCH AND REPAIR EXISTING DRYWALL and/or PLASTER AS NEEDED PER CONSTRUCTION WORK AT FAMILY ROOM, DINING ROOM, AND ENTRY HALL.
- INSTALL NEW PAINT GRADE BASEBOARD AND CASING THROUGHOUT REMODELED AREA TO MATCH EXISTING STYLE OF HOUSE. MATCH EXISTING BASEBOARD WHERE EXISTING WALLS ARE MODIFIED AT FAMILY ROOM, DINING ROOM, AND ENTRY HALL.
- INSTALL PAINT GRADE CROWN THROUGHOUT KITCHEN AND AT BOTH CEILING SECTIONS OF DINETTE AREA, PROFILE TBD.

- EXCAVATE FOR, AND INSTALL APPROX. 30" OF NEW FOUNDATION WALL AS NEEDED TO CONNECT NEW DINETTE EXTERIOR WALL TO EXISTING FAMILY ROOM WALL. NEW FOUNDATION IS TO BE 8" CMU WALL SET ON POURED CONCRETE FOOTING. FOOTING IS TO BE SIZED AND REINFORCED PER CODE, MIN 48" BELOW GRADE. CONNECT TO EXISTING FOUNDATION AS NEEDED, EXISTING TO REMAIN.
- FRAME NEW EXTERIOR WALLS AND FLAT ROOF STRUCTURE FOR NEW DINETTE AREA. BEAR WALLS ONTO EXISTING FOUNDATION WALL. IN-FILL FRAME FLOOR JOISTS WHERE STAIRWAY IS REMOVED. SEE DETAIL 1, SHEET A5.0.
- NEW STRUCTURAL BEAM AND BEARING POSTS TO CARRY LOAD OF EXISTING STRUCTURE ABOVE. SIZE AND SPECIFICATION TBD. FRAME SOFFIT AND CASED OPENING PER PLAN AND ELEVATIONS.
- EXISTING STRUCTURAL BEAM IS TO REMAIN. FIELD VERIFY IF ADEQUATE PER NEW CONSTRUCTION. FRAME SOFFIT AND CASED OPENING PER PLAN AND ELEVATIONS.
- INSTALL NEW CASED OPENING WITHIN EXISTING WALL. FIELD VERIFY IF STRUCTURAL HEADER IS REQUIRED.
- FRAME OPENING WITHIN EXISTING FAMILY ROOM WALL AS NEEDED FOR NEW RECESSED FACE-FRAME CABINET.
- EXISTING CASED OPENING TO REMAIN. INSTALL NEW RECESSED FACE-FRAME CABINET TO FIT OPENING.
- INSTALL WATER LINE AS NEEDED FOR NEW POT FILLER IN TILE BACKSPLASH AT KITCHEN RANGE.
- 5/4 x 8 PAINT GRADE TRIM BOARD OR POST WRAP AT SIDES OF DINETTE CASED OPENINGS, PAINT FINISH.
- INSTALL (2) GLASS FRENCH DOORS SAVED DURING DEMOLITION AT NEW ENTRY HALL COAT CLOSETS.
- INSTALL NEW PREHUNG INTERIOR DOOR AT POWDER ROOM. DOOR IS TO BE 32" x 84" PAINT GRADE SINGLE PANEL TO MATCH EXISTING STYLE OF HOUSE.
- INSTALL, STAIN, AND FINISH NEW 2-1/4" T&G QUARTER SAWN WHITE OAK HARDWOOD AT DINETTE AND POWDER ROOM VESTIBULE. **INSTALL LENGTHWISE NORTH-TO-SOUTH.**
- INSTALL, STAIN, AND FINISH NEW 2-1/4" T&G QUARTER SAWN WHITE OAK HARDWOOD AT KITCHEN. **INSTALL IN HERRINGBONE PATTERN.**
- INSTALL WIDE PLANK WHITE OAK HARDWOOD TRANSITION AT DOOR OR CASED OPENING.
- EXISTING HARDWOOD FLOOR IS TO REMAIN AT FAMILY ROOM & ENTRY HALL. TOOTH-IN AS NEEDED AT NEW WALLS PER PLAN.
- EXISTING HARDWOOD FLOOR IS TO REMAIN, BUFF AND COAT. **OPTION** TO SAND AND REFINISH.

PRELIMINARY

BID SET - JANUARY 3, 2018

CONSTRUCTION SET - MARCH 17, 2018

**LOBERG REMODEL**

2837 E. PARK PLACE  
MILWAUKEE, WI 53211

W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022

PHONE: (414) 797-0488

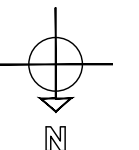


DRAWN BY: C.D.  
MAR. 17, 2018

**A2.0**

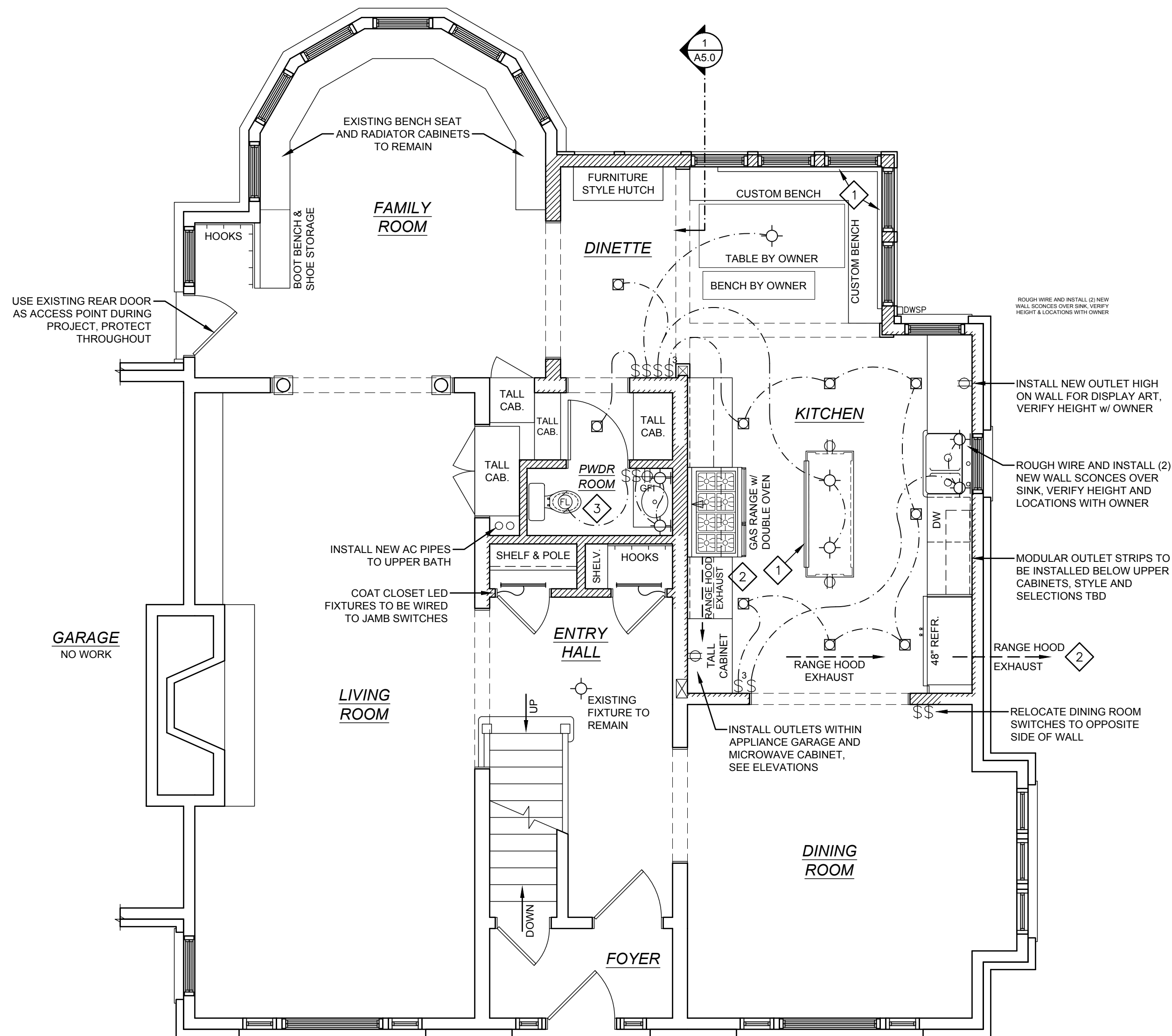
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**1ST FLOOR CONSTRUCTION PLAN**  
1/4" = 1'- 0"





**APPROVED**  
By Tim Askin at 2:37 pm, May 09, 2018



#### ELECTRIC NOTES:

- 1) INSTALL OUTLETS THROUGHOUT THE REMODELED AREA PER PLAN AND AS REQUIRED PER CODE.
- 2) INSTALL OUTLETS and/or HARD-WIRE HOOKUPS AS NEEDED FOR APPLIANCES AND FIXTURES INCLUDING RANGE, EXHAUST HOOD, GARBAGE DISPOSAL, DISHWASHER, REFRIGERATOR, AND OPTIONAL MICROWAVE DRAWER AT ISLAND.
- 3) EXHAUST FAN-LIGHT FIXTURES ARE TO BE CONTROLLED BY A SMART TIMER SWITCH IN WHICH THE EXHAUST FAN CONTINUES TO RUN FOR A PROGRAMMABLE PERIOD OF TIME AFTER THE LIGHT IS TURNED OFF.
- 4) VERIFY IF EXISTING AC SUPPLY LOCATIONS ARE ADEQUATE AT AREAS AFFECTED BY REMODEL.

- 1 ROUGH-IN AND INSTALL NEW CAST IRON BASE RADIATORS BELOW BENCH SEAT AT (2) WALLS OF DINETTE AND AT KITCHEN ISLAND PER PLAN. CONNECT TO EXISTING BOILER SYSTEM.
- 2 INSTALL NEW KITCHEN EXHAUST HOOD, MODEL AND SPECIFICATIONS TBD. VENT THROUGH TALL CABINET CROWN AND CEILING JOIST SYSTEM TO WEST WALL. INSTALL NEW VENT DISCHARGE AT EXISTING EXTERIOR LOCATION, SEE ELEVATION SHEET A4.1.
- 3 ELECTRICIAN IS TO PROVIDE AND INSTALL NEW EXHAUST FAN-LIGHT COMBO AT POWDER ROOM. HVAC CONTRACTOR IS TO INSTALL AND CONNECT DUCTING. EXHAUST THROUGH CEILING JOISTS TO EXTERIOR AT WEST WALL.

#### ELECTRICAL SYMBOLS KEY

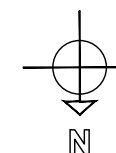
- DECORATIVE LIGHT FIXTURE, CEILING MOUNTED
- DECORATIVE LIGHT FIXTURE, WALL MOUNTED
- 5" LED RECESSED LIGHT FIXTURE (CAN LIGHT)
- CEILING MOUNTED EXHAUST FAN
- CEILING MOUNTED EXHAUST FAN / LIGHT FIXTURE
- LED CLOSET FIXTURE
- ELECTRICAL OUTLET - DUPLEX
- GROUND FAULT CIRCUIT INTERRUPTED
- WALL SWITCH
- 3 - WAY SWITCH

#### WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- 2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
- 2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
- EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE

1

**1ST FLOOR ELECTRIC / MECHANICAL PLAN**  
1/4" = 1'- 0"



PRELIMINARY

BID SET - JANUARY 3, 2018

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**LOBERG REMODEL**

2837 E. PARK PLACE  
MILWAUKEE, WI 53211

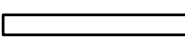
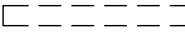
W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022

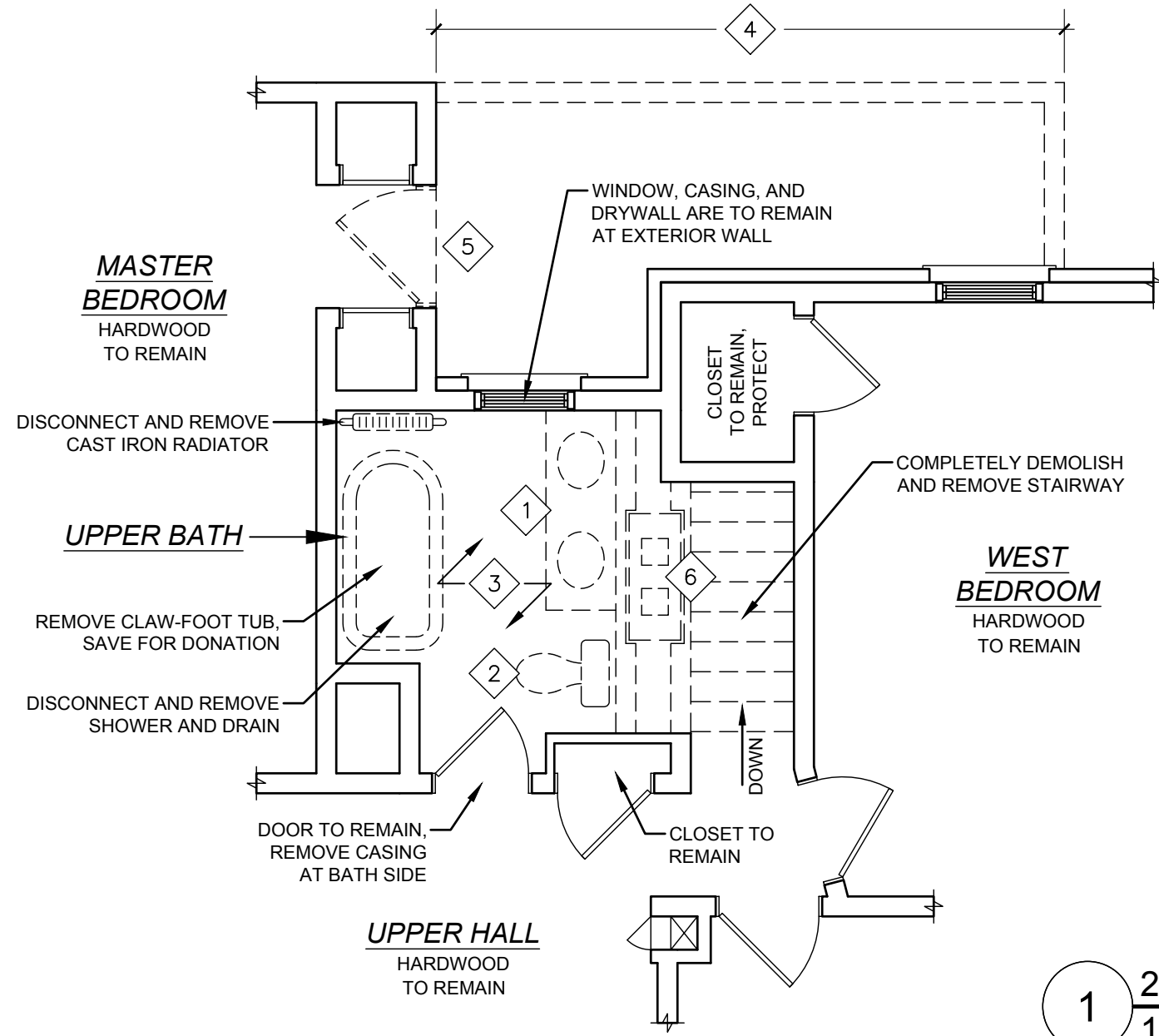
PHONE: (414) 797-0488



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MAR. 17, 2018

**A2.1**

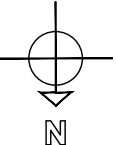
WALL SYMBOLS KEY	
	EXISTING STUD OR MASONRY WALL TO REMAIN
	WALL OR MATERIAL TO BE REMOVED INCLUDING DRYWALL, FRAMING, CABINETS, AND FIXTURES.

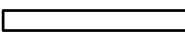
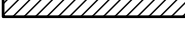
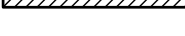



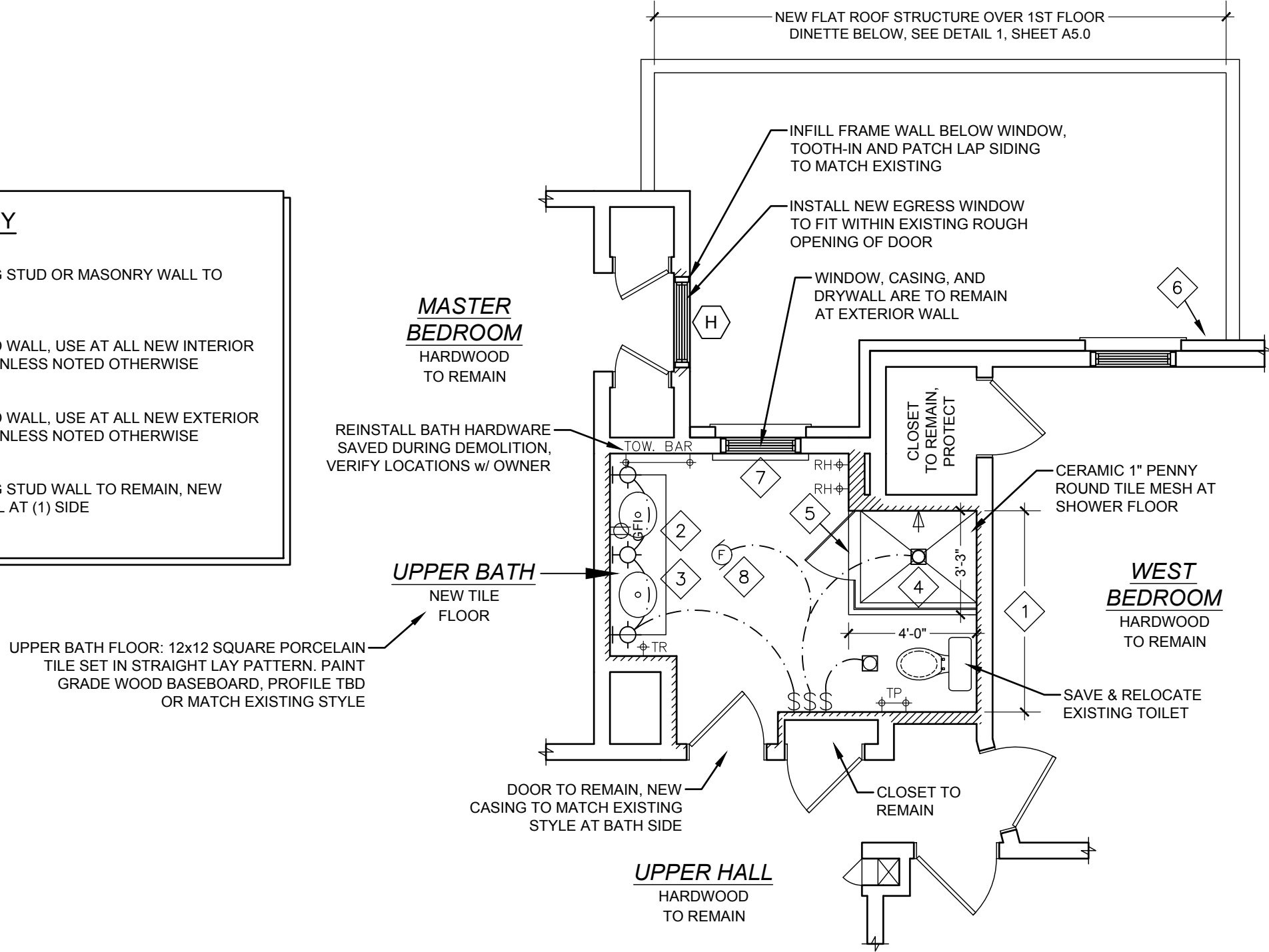
1ST FLOOR DEMOLITION NOTES:	
1)	DRYWALL and/or PLASTER ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.
2)	ALL DOORS, WINDOWS, FLOORING, AND MILLWORK ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.
1	REMOVE AND SAVE VANITY CABINET FOR REUSE AT NEW LOCATION PER PLAN. REMOVE COUNTERTOP, SAVE AND REUSE SINKS AND FAUCETS.
2	REMOVE AND SAVE TOILET. REINSTALL AT NEW LOCATION PER PLAN.
3	COMPLETELY GUT BATHROOM TO STUD FRAMING (DRYWALL TO REMAIN AT EXTERIOR WALL). REMOVE ELECTRICAL FIXTURES, BATH HARDWARE, MILLWORK, DRYWALL, FLOORING, AND FINISHES. SAVE HARDWARE FOR REUSE AT NEW BATH.
4	COMPLETELY DEMOLISH AND REMOVE UPPER ROOF DECK AND PARAPET WALL AS PART OF 1ST FLOOR DEMOLITION, SEE DEMOLITION SHEET D1.0.
5	REMOVE EXISTING DOOR. PREP OPENING FOR NEW EGRESS WINDOW WITHIN EXISTING ROUGH OPENING.
6	REMOVE EXISTING CHIMNEY FROM 1ST FLOOR TO ABOVE ROOF LINE. PATCH AND REPAIR ROOF AND DRYWALL AS NEEDED. CHIMNEY IS TO REMAIN AT LOWER LEVEL. SAVE BRICK FOR REUSE.

**APPROVED**  
By Tim Askin at 2:37 pm, May 09, 2018

1 2ND FLOOR DEMOLITION PLAN  
1/4" = 1'- 0"

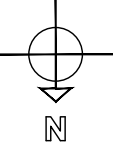


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	2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
	EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE



2ND FLOOR CONSTRUCTION NOTES:	
1)	ROUGH CARPENTER IS TO INSTALL BLOCKING AS NEEDED FOR FIXTURES, HARDWARE, AND ACCESSORIES. VERIFY LOCATIONS WITH PROJECT MANAGER.
2)	ROUGH-IN AND INSTALL PLUMBING SUPPLY AND WASTE LINES AS NEEDED FOR NEW AND RELOCATED FIXTURES PER PLANS.
3)	INSTALL NEW AC SUPPLY LINES TO UPPER BATH, LOCATIONS TBD. TIE INTO EXISTING SYSTEM.
4)	EXHAUST FAN-LIGHT FIXTURES ARE TO BE CONTROLLED BY A SMART TIMER SWITCH IN WHICH THE EXHAUST FAN CONTINUES TO RUN FOR A PROGRAMMABLE PERIOD OF TIME AFTER THE LIGHT IS TURNED OFF.
5)	<b>DRYWALL:</b> INSTALL NEW 1/2" DRYWALL AT WALLS AND CEILINGS UPPER BATH. DRYWALL AND INSULATION IS TO REMAIN AT SOUTH EXTERIOR WALL. SPRAY TEXTURE SAND FINISH WITH SQUARE METAL OUTSIDE CORNERS.
6)	<b>DRYWALL:</b> PATCH AND REPAIR EXISTING DRYWALL and/or PLASTER AS NEEDED PER CONSTRUCTION WORK AT UPPER HALL AND MASTER BEDROOM.
7)	INSTALL NEW PAINT GRADE CROWN AND BASEBOARD AROUND PERIMETER OF BATHROOM, PROFILES TBD.
1	INFILL FRAME FLOOR JOISTS AS NEEDED WHERE STAIRWAY HAS BEEN REMOVED, MATCH HEIGHT OF EXISTING FLOOR.
2	REINSTALL EXISTING VANITY CABINET AT NEW LOCATION. NEW 3cm QUARTZ TOP. REUSE EXISTING SINKS AND FAUCETS.
3	NEW FRAMED VANITY MIRRORS AND WALL SCONCES. STYLE AND SELECTIONS TBD BY OWNER.
4	NEW TILE SHOWER WITH TILE CURB AND GLASS SHOWER ENCLOSURE. STYLE AND SELECTIONS TBD BY OWNER.
5	FRAME ± 6" CROWN SOFFIT AT CEILING ABOVE SHOWER CURB, DRYWALL AND PAINT FINISH, SEE ELEVATIONS.
6	TOOTH-IN AND PATCH EXISTING BRICK VENEER AS NEEDED WHERE PARAPET WALL HAS BEEN REMOVED.
7	ROUGH-IN AND INSTALL A NEW CAST IRON BASE RADIATOR AT EXTERIOR WALL OF BATHROOM. CONNECT TO EXISTING BOILER SYSTEM.
8	ELECTRICIAN IS TO PROVIDE AND INSTALL NEW EXHAUST FAN AT EXISTING LOCATION. CONNECT AND REUSE EXISTING DUCT TO EXTERIOR.

2 2ND FLOOR CONSTRUCTION PLAN  
1/4" = 1'- 0"



PRELIMINARY	BID SET - JANUARY 3, 2018	CONSTRUCTION SET - MARCH 17, 2018
1	2	3

**LOBERG REMODEL**  
2837 E. PARK PLACE  
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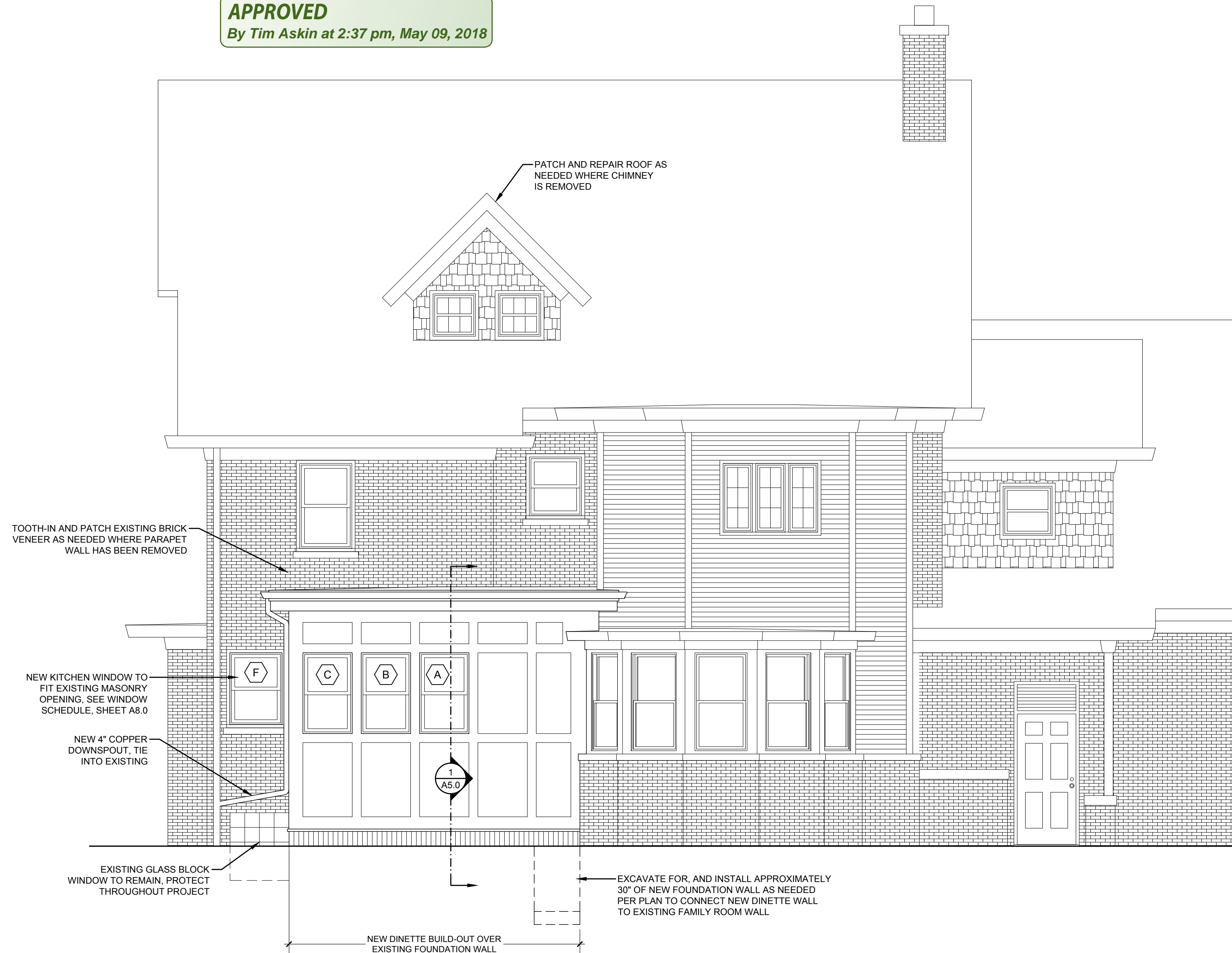
W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022  
PHONE: (414) 797-0488



DRAWN BY: C.D.  
MAR. 17, 2018

**A2.2**

**APPROVED**  
By Tim Askin at 2:37 pm, May 09, 2018



**1** SOUTH EXTERIOR ELEVATION  
1/4" = 1'- 0"

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

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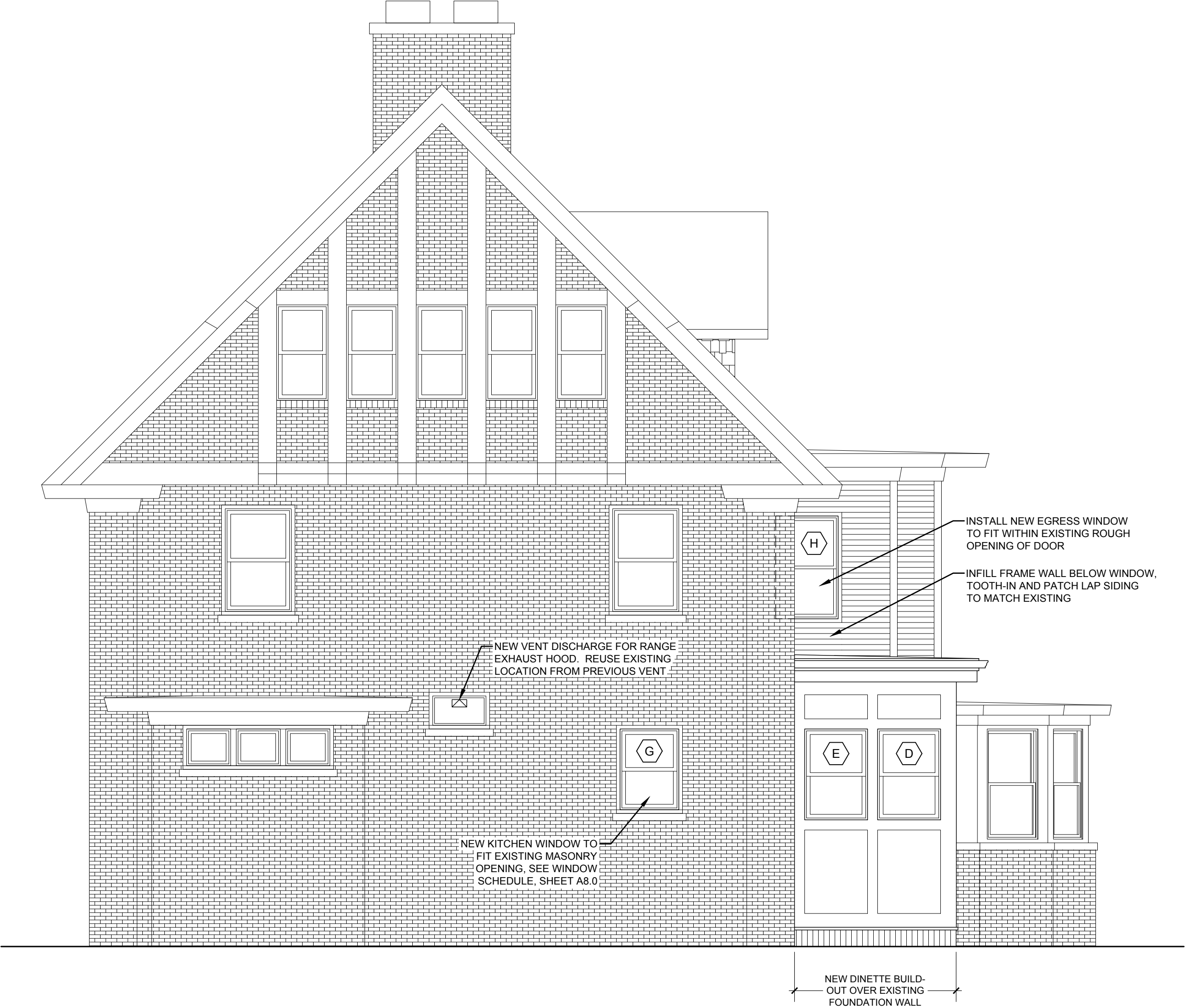
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MAR. 17, 2018

**A4.0**

**APPROVED**  
By Tim Askin at 2:38 pm, May 09, 2018



1 WEST EXTERIOR ELEVATION  
1/4" = 1'- 0"

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
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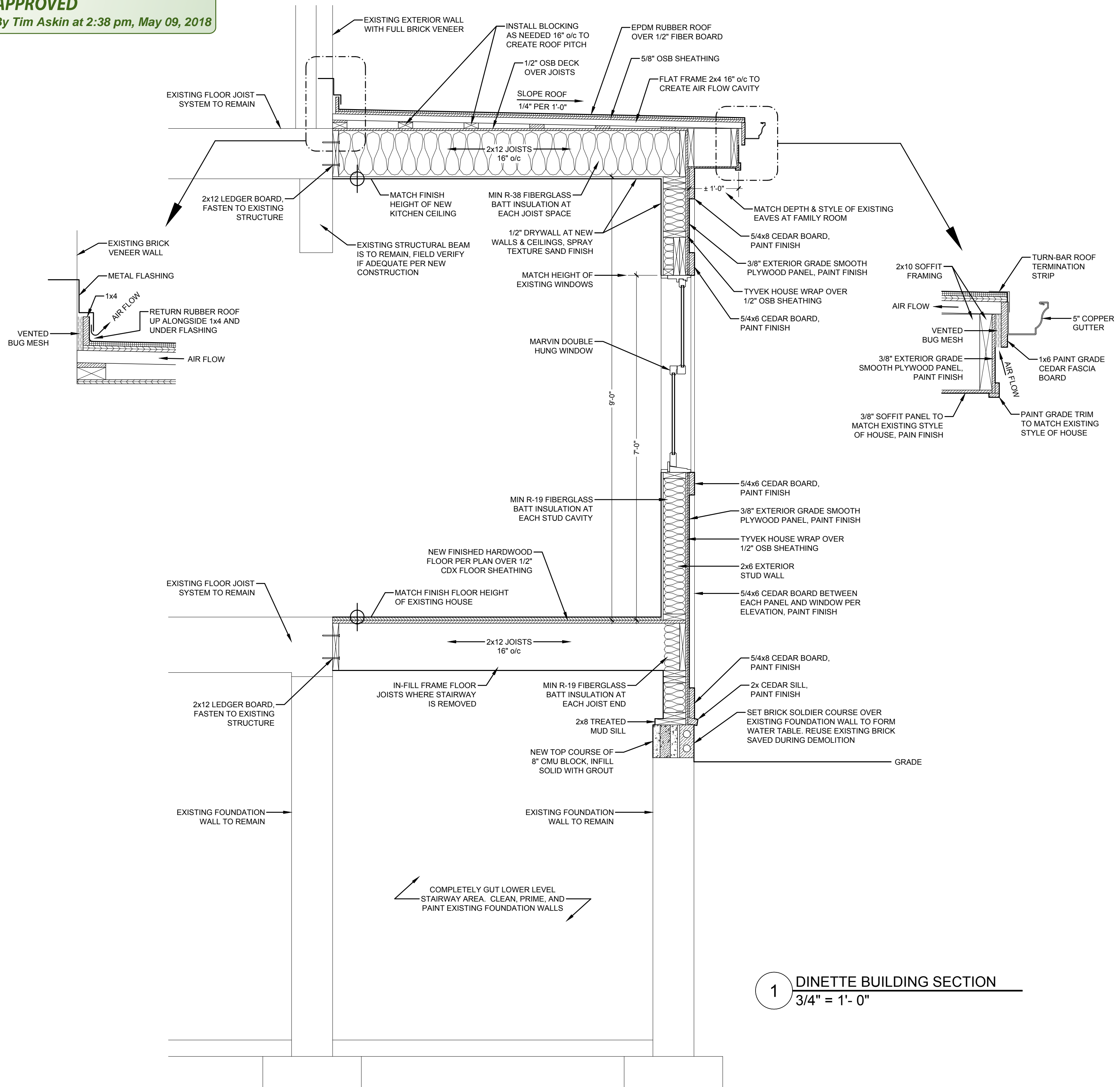
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MAR. 17, 2018

A4.1



**APPROVED**

By Tim Askin at 2:38 pm, May 09, 2018



1

DINETTE BUILDING SECTION  
3/4" = 1'-0"

PRELIMINARY

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CONSTRUCTION SET - MARCH 17, 2018

LOBERG REMODEL

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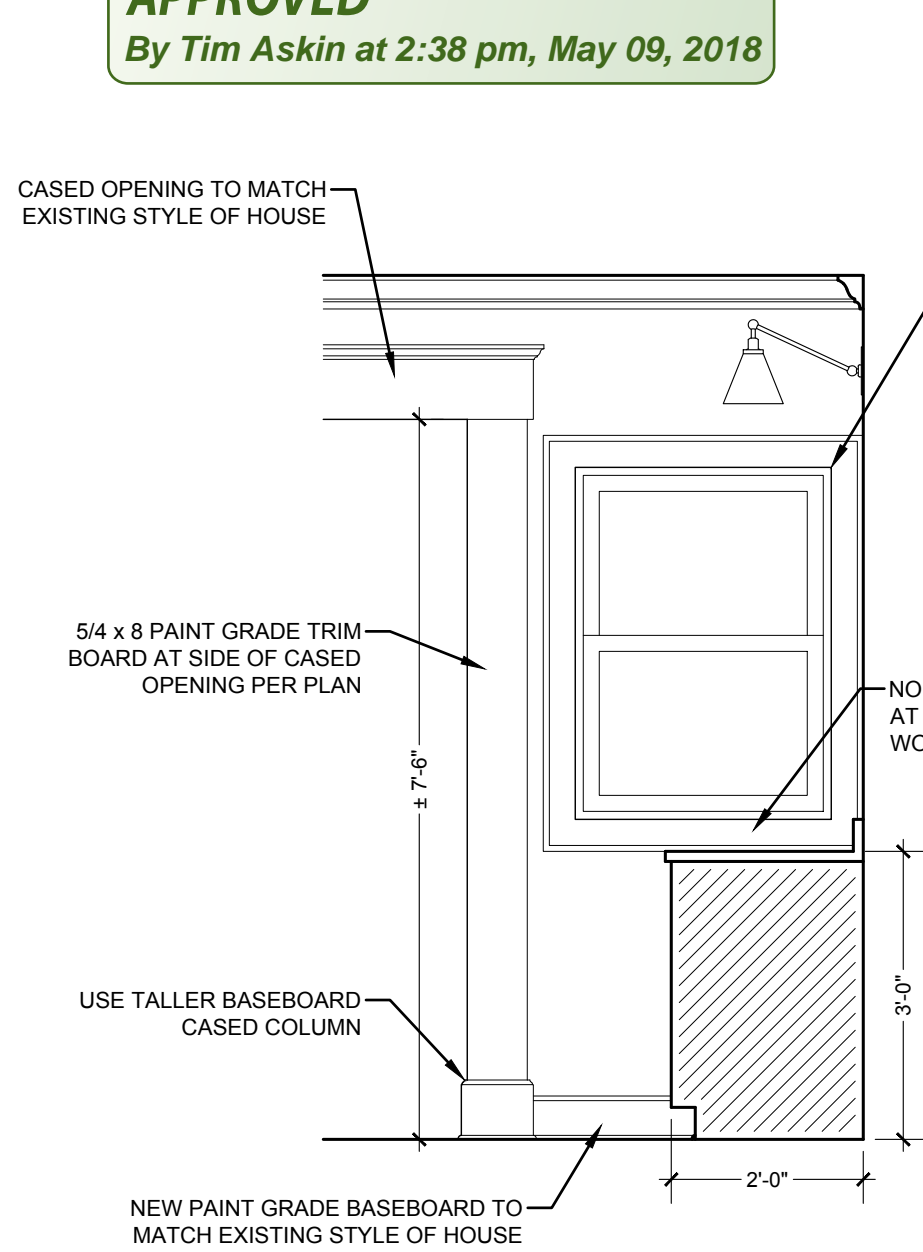
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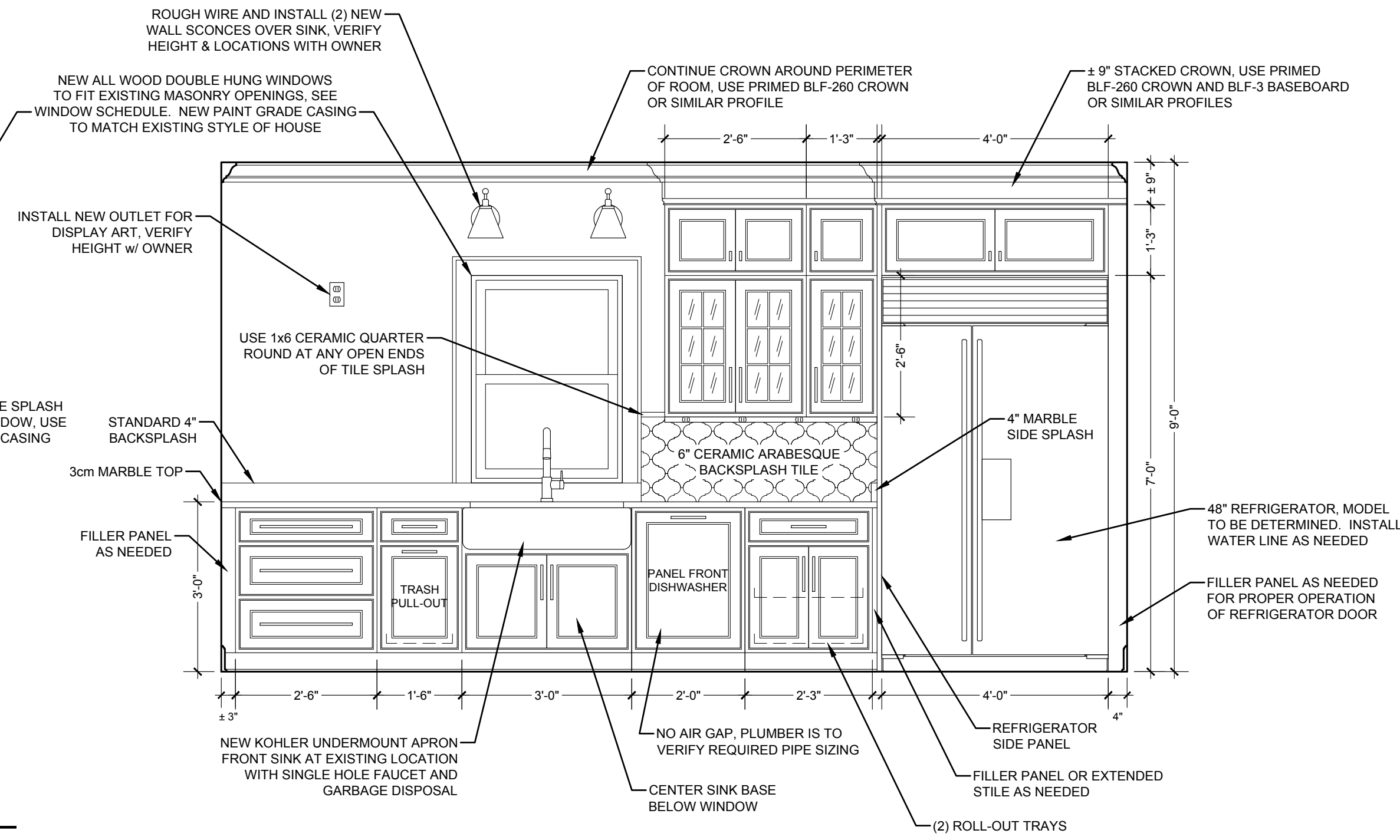
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MAR. 17, 2018

A5.0

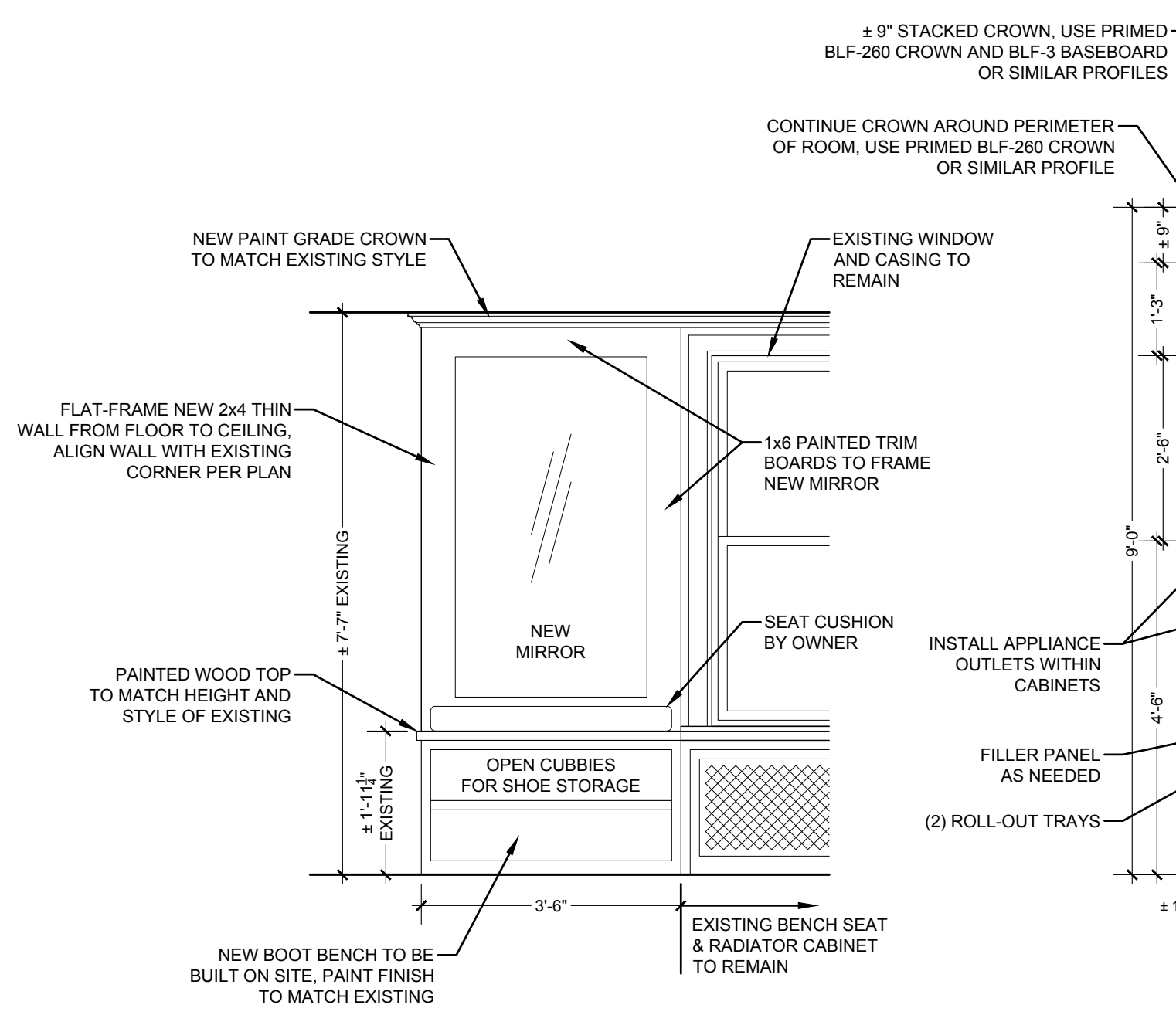
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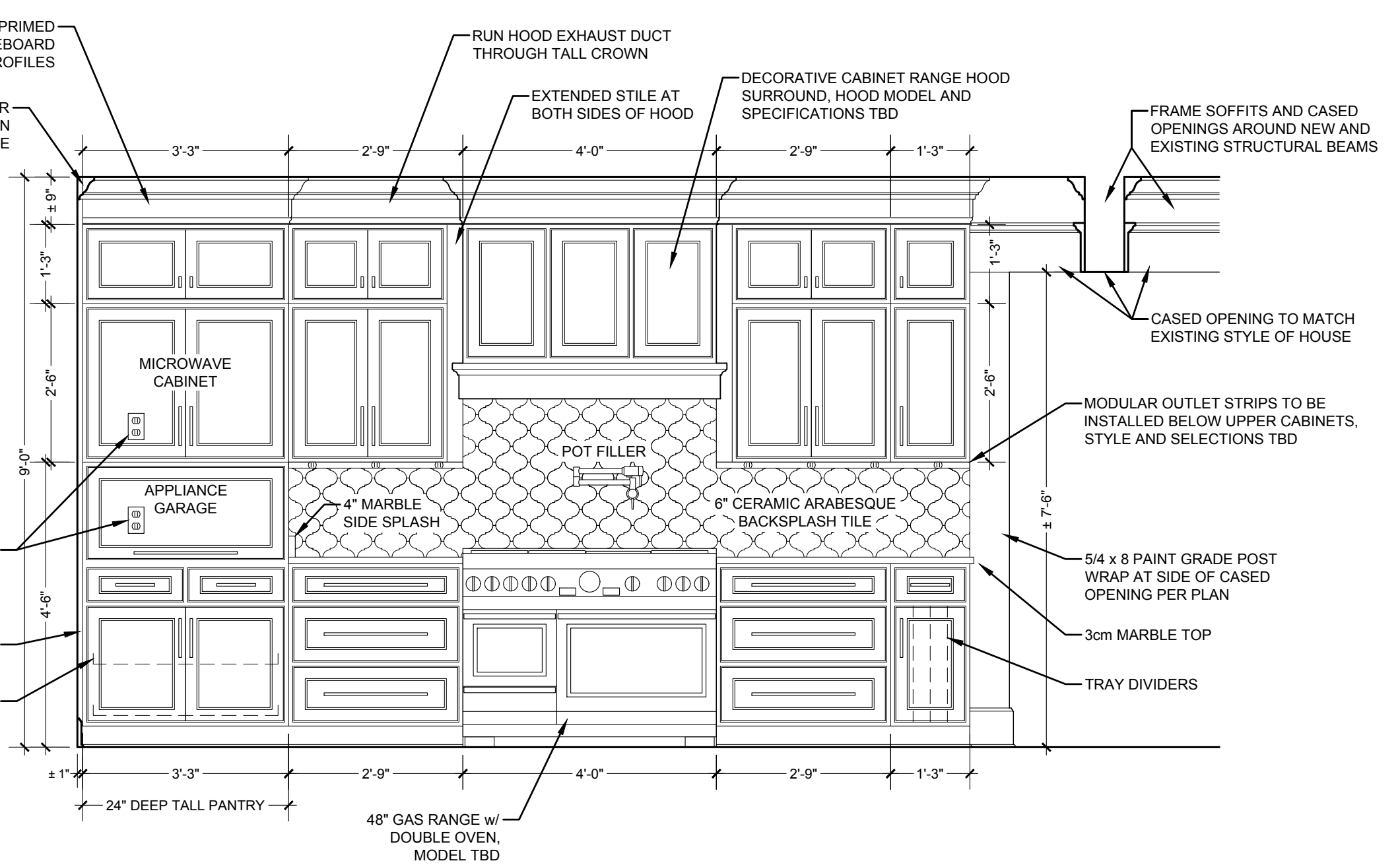
**1 KITCHEN SOUTH ELEVATION**  
1/2" = 1'- 0"



**2 KITCHEN WEST ELEVATION**  
1/2" = 1'- 0"



**3 FAMILY ROOM BOOT BENCH**  
1/2" = 1'- 0"



**4 KITCHEN EAST ELEVATION**  
1/2" = 1'- 0"

PRELIMINARY
BID SET - JANUARY 3, 2018
CONSTRUCTION SET - MARCH 17, 2018
1
2
3

**LOBERG REMODEL**  
2837 E. PARK PLACE  
MILWAUKEE, WI 53211

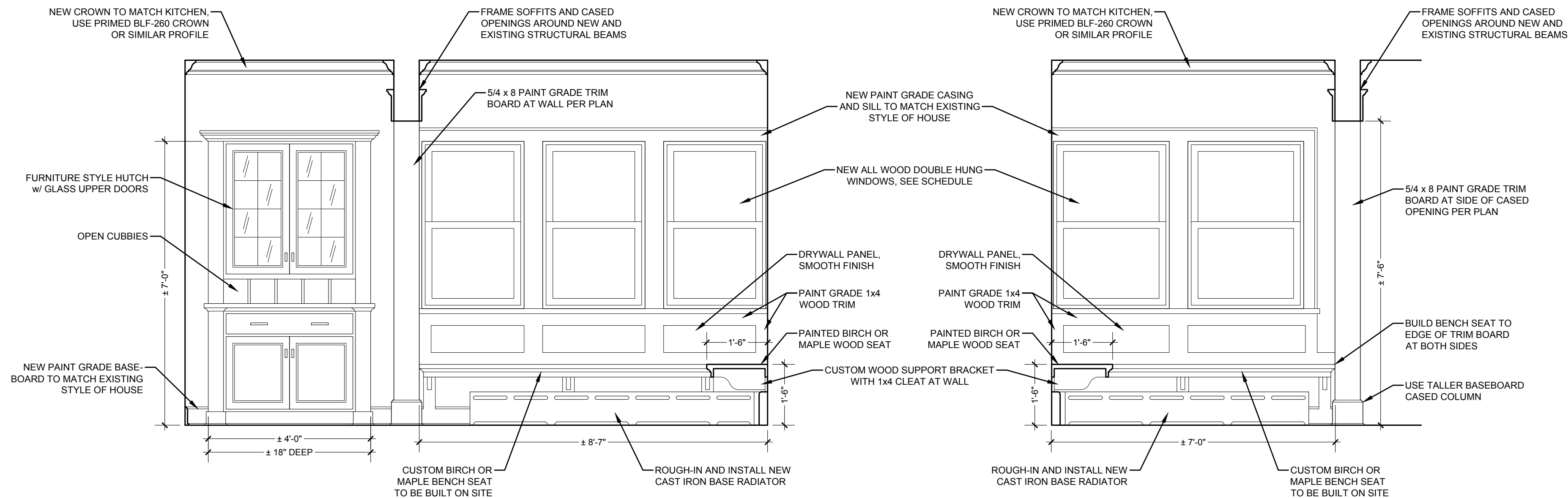
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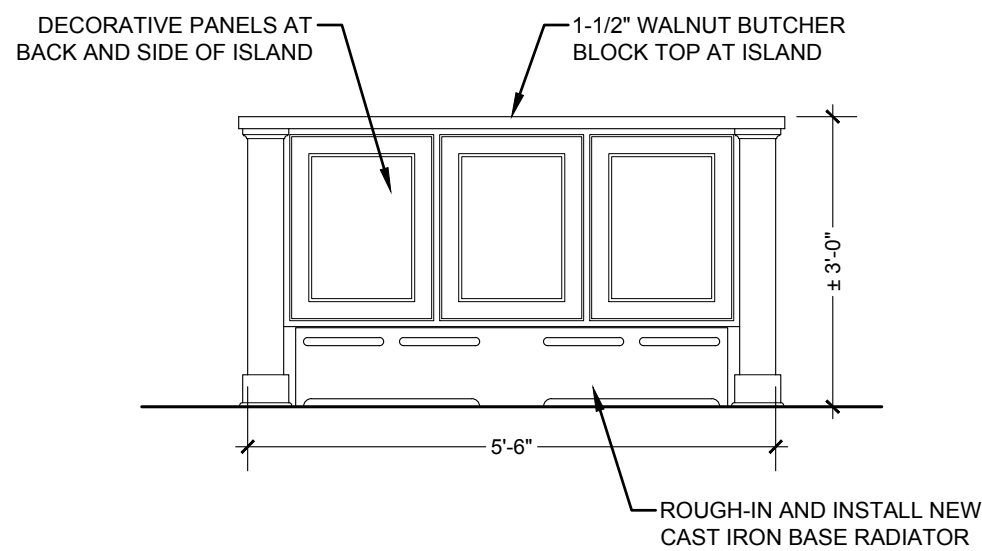
**A6.0**

**APPROVED**  
By Tim Askin at 2:38 pm, May 09, 2018

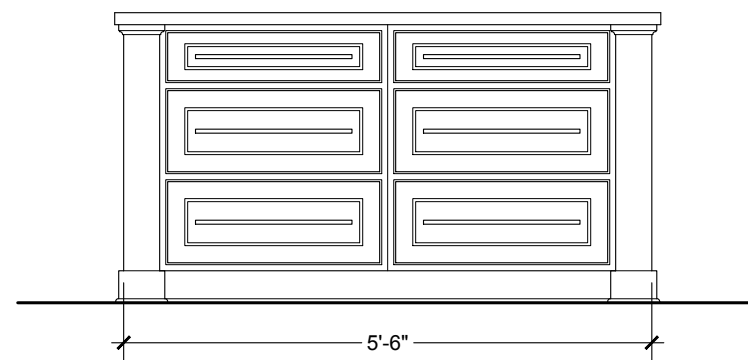


1 DINETTE SOUTH ELEVATION  
1/2" = 1'- 0"

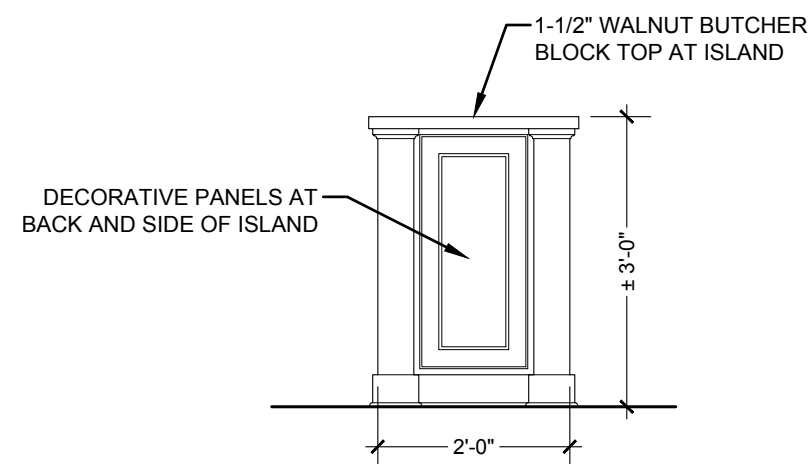
2 DINETTE WEST ELEVATION  
1/2" = 1'- 0"



3 ISLAND WEST ELEVATION  
1/2" = 1'- 0"



4 ISLAND EAST ELEVATION  
1/2" = 1'- 0"



5 ISLAND SIDE ELEVATION  
1/2" = 1'- 0"

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1	
2	
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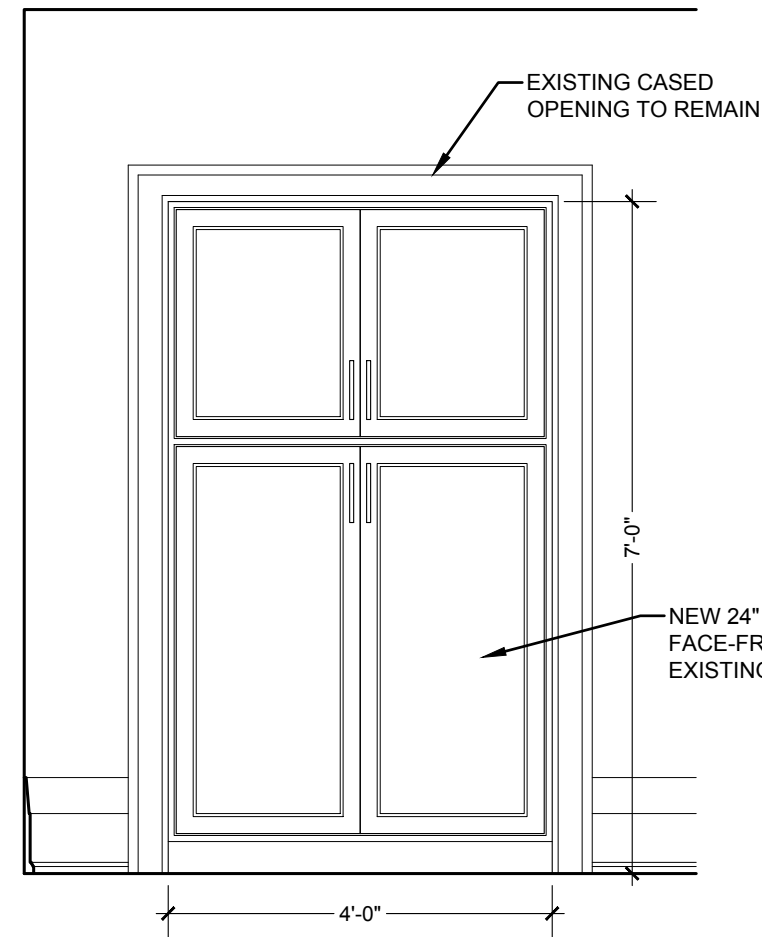
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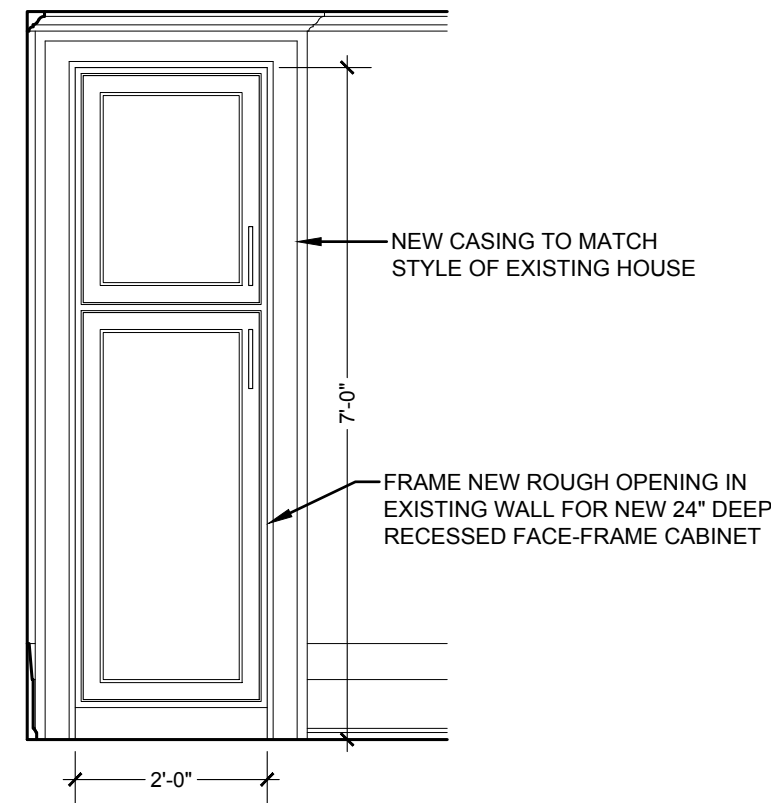


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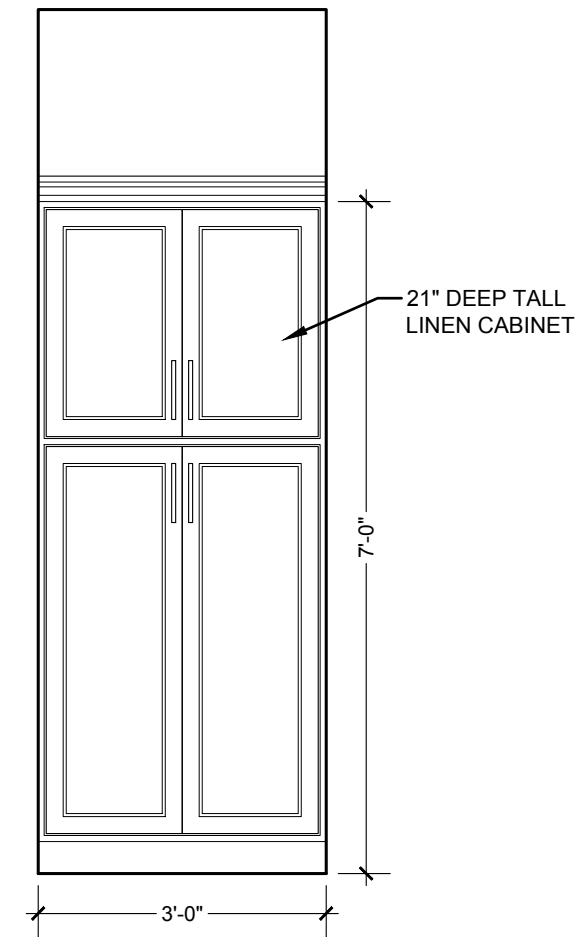




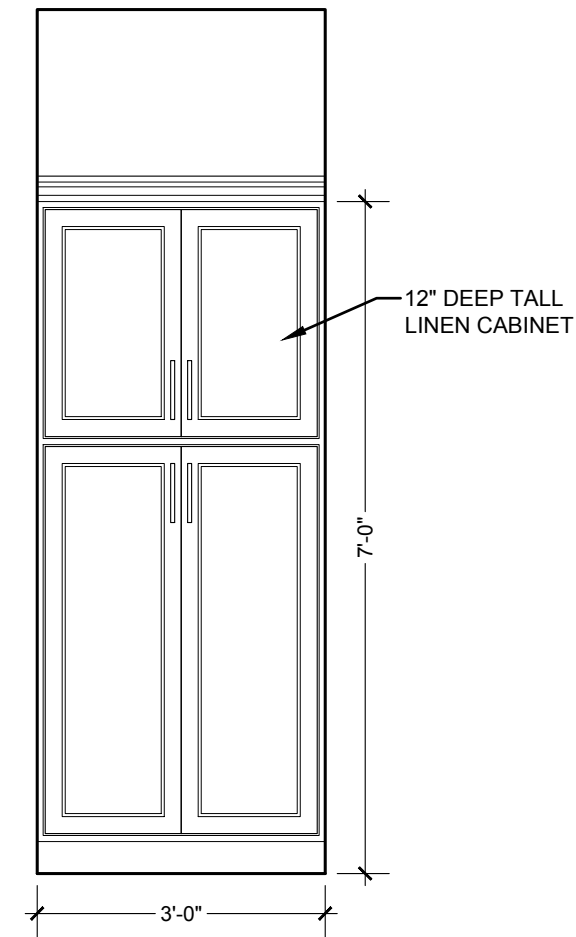
1 RECESSED TALL CABINET  
AT LIVING ROOM WEST WALL  
1/2" = 1'- 0"



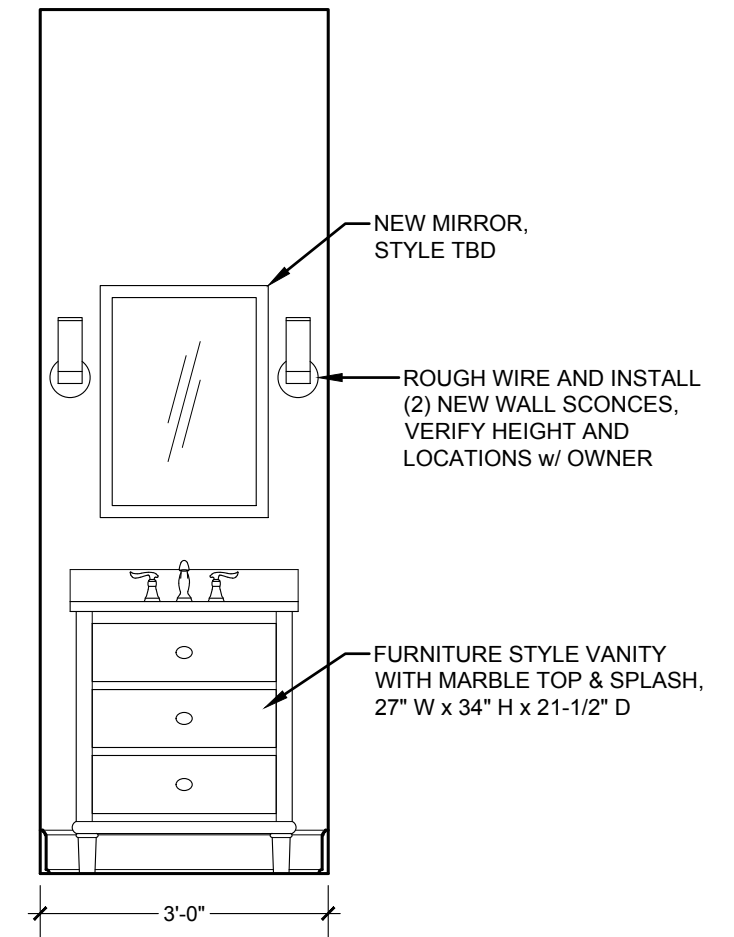
2 RECESSED TALL CABINET  
AT FAMILY ROOM NORTH WALL  
1/2" = 1'- 0"



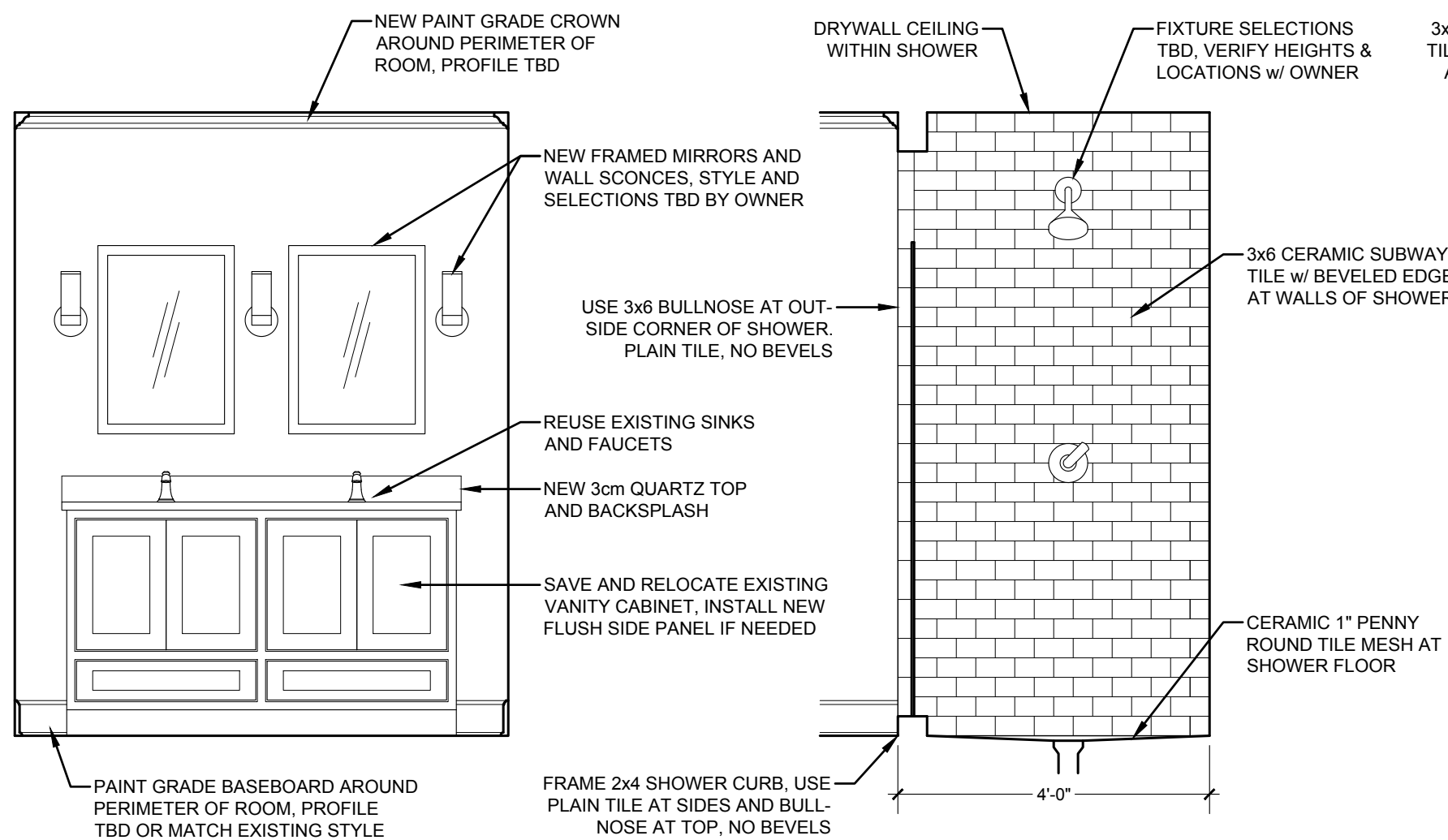
3 POWDER ROOM  
VESTIBULE W. ELEV.  
1/2" = 1'- 0"



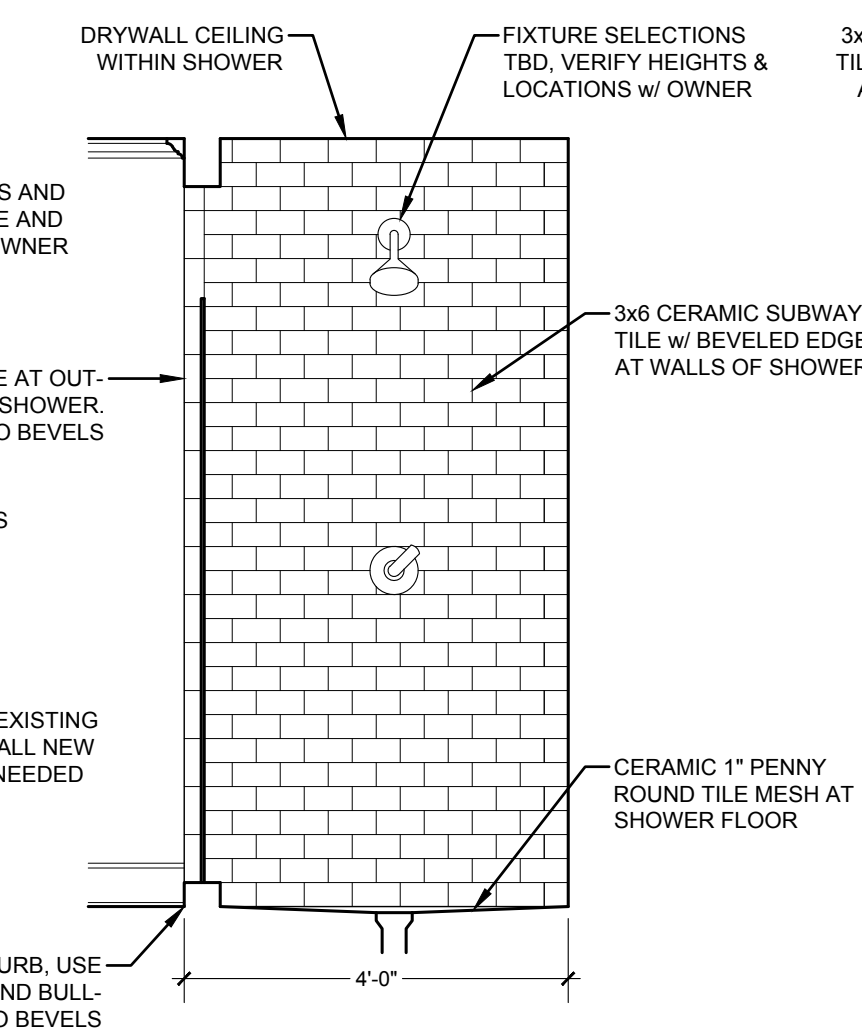
4 POWDER ROOM  
VESTIBULE E. ELEV.  
1/2" = 1'- 0"



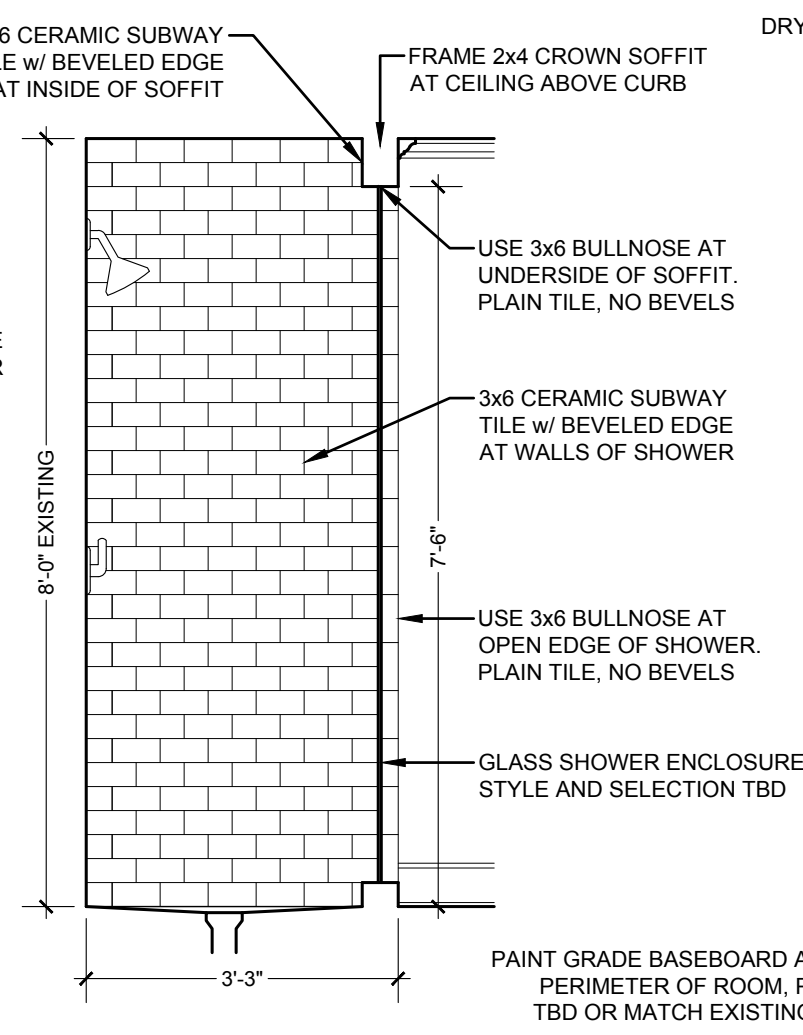
5 POWDER ROOM  
WEST ELEVATION  
1/2" = 1'- 0"



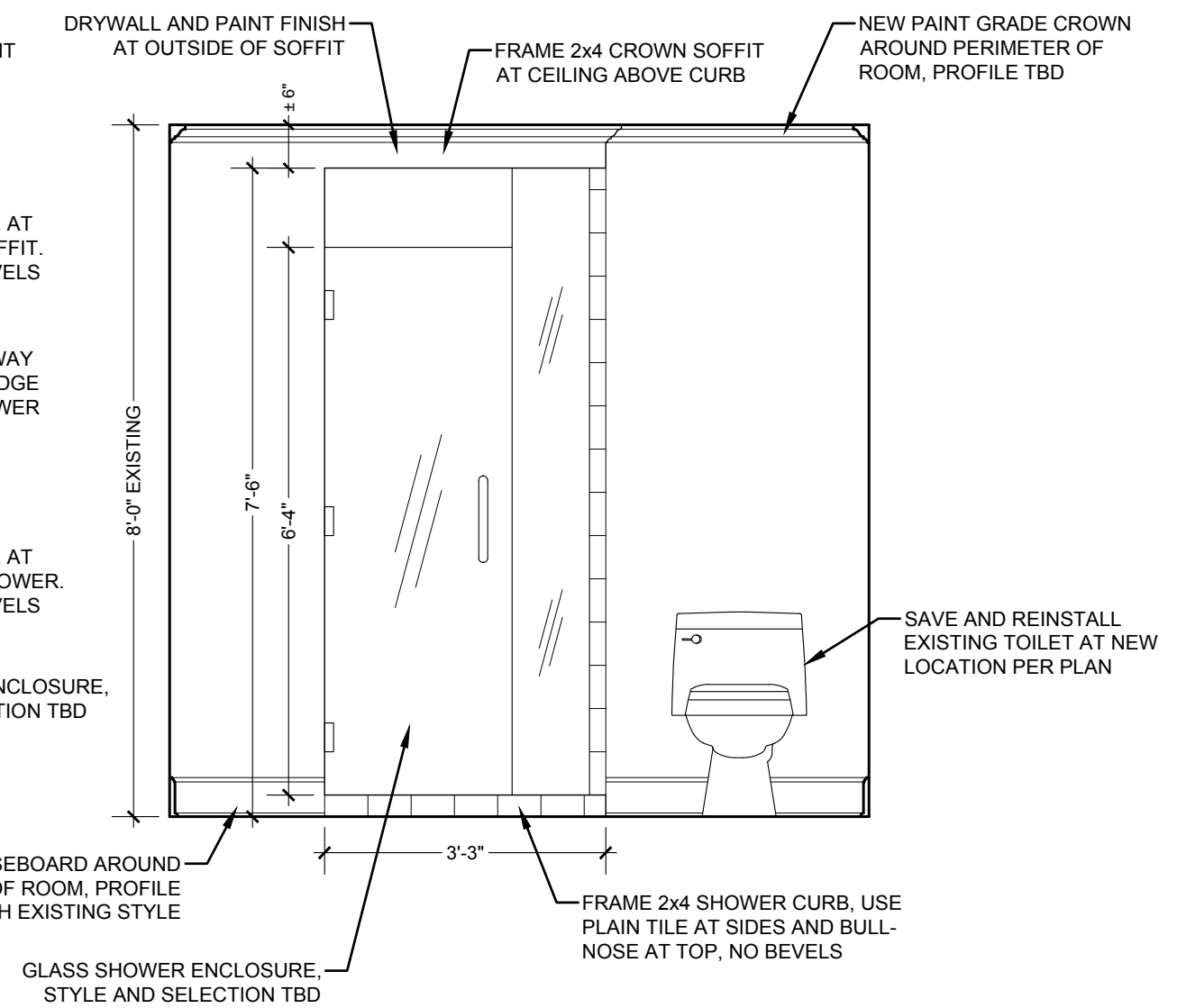
6 UPPER BATH EAST ELEVATION  
1/2" = 1'- 0"



7 UPPER BATH  
SHOWER SOUTH ELEVATION  
1/2" = 1'- 0"



8 UPPER BATH  
SHOWER WEST ELEVATION  
1/2" = 1'- 0"



9 UPPER BATH WEST ELEVATION  
1/2" = 1'- 0"

PRELIMINARY	BID SET - JANUARY 3, 2018	CONSTRUCTION SET - MARCH 17, 2018
1	2	3

LOBERG REMODEL  
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MILWAUKEE, WI 53211

W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022  
PHONE: (414) 797-0488



DRAWN BY: C.D.  
MAR. 17, 2018



APPROVED

By Tim Askin at 2:38 pm, May 09, 2018

WINDOW SCHEDULE																		
ROOM NAME	WINDOW	---- WINDOW ----								---- EXTERIOR FINISH ----				---- INTERIOR FINISH ----				HARDWARE
		TYPE	MODEL	ROUGH OP.	MASONRY OP.	HEAD HEIGHT	OPERATION	GLASS TYPE	* SCREEN	MATERIAL	TRIM STYLE	FINISH	GRILLES	MATERIAL	FINISH	JAMB SIZE	INTERIOR CASING	
DINETTE	A	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	B	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	C	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	D	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2820	2'-10 <sup>8</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	E	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2820	2'-10 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
KITCHEN	F	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	** ± 2'-8" x 3'-8"	** ± 3'-0" x 4'-0"	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	MARVIN BRICK MOLD	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
KITCHEN	G	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	** ± 2'-8" x 3'-8"	** ± 3'-0" x 4'-0"	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	MARVIN BRICK MOLD	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
MASTER BEDROOM	H	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	*** ± 2'-10 <sup>3</sup> / <sub>8</sub> " x 4'-9 <sup>1</sup> / <sub>2</sub> "	N/A	6'-6" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	*** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE

- \* ALL INTEGRITY SCREENS ARE TO BE CHARCOAL FIBERGLASS MESH WITH PRE-PRIMED **WOOD** FRAMES, PAINT FINISH TO MATCH EXISTING HOUSE.
- \*\* KITCHEN WINDOWS ARE TO BE CUSTOM SIZE TO FIT EXISTING JAMB AND MASONRY OPENING. FIELD VERIFY SIZES BEFORE ORDERING.
- \*\*\* MASTER BEDROOM WINDOW IS TO BE CUSTOM SIZE TO FIT EXISTING JAMB AND WIDTH OF EXISTING DOOR OPENING. FIELD VERIFY SIZE BEFORE ORDERING.

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

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A8.0