

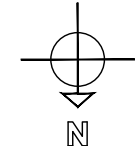
#### WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- WALL OR MATERIAL TO BE REMOVED INCLUDING DRYWALL, FRAMING, CABINETS, AND FIXTURES.

#### 1ST FLOOR DEMOLITION NOTES:

- 1) DRYWALL and/or PLASTER ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.
  - 2) ALL DOORS, WINDOWS, FLOORING, AND MILLWORK ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.
- 1 REMOVE ALL CABINETS, COUNTERTOPS, PLUMBING FIXTURES, ELECTRICAL FIXTURES, APPLIANCES, HARDWARE, AND INTERIOR DOORS THROUGHOUT SPACE. SAVE FOR DONATION OR REUSE PER OWNER'S DISCRETION.
  - 2 COMPLETELY GUT SPACE TO STUD FRAMING. REMOVE CABINET SOFFITS. REMOVE ALL MILLWORK, DRYWALL, FLOORING, AND FINISHES.
  - 3 DRAIN AND CAP EXISTING HEATING PIPE SYSTEM LOCATED WITHIN KITCHEN CEILING. COMPLETELY DEMOLISH AND REMOVE PIPES AND DROP CEILING FRAMING.
  - 4 COMPLETELY DEMOLISH AND REMOVE POWDER ROOM AND REAR STAIRWAY TO LOWER LEVEL. REMOVE EXTERIOR WALLS & ROOF STRUCTURE INCLUDING UPPER ROOF DECK AND PARAPET WALL.
  - 5 EXISTING FOUNDATION WALLS ARE TO REMAIN FOR REUSE. COMPLETELY GUT LOWER LEVEL AT STAIRWAY AREA ONLY.
  - 6 REMOVE EXISTING CHIMNEY FROM 1ST FLOOR TO ABOVE ROOF LINE. PATCH AND REPAIR ROOF AND DRYWALL AS NEEDED. CHIMNEY IS TO REMAIN AT LOWER LEVEL. SAVE BRICK FOR REUSE.
  - 7 REMOVE MILLWORK AND DRYWALL AT WALLS AND CEILING OF ENTRY HALL PER PLAN. REMOVE AND TOOTH-IN HARDWOOD FLOORING AS NEEDED FOR NEW POWDER ROOM.
  - 8 REMOVE (2) GLASS FRENCH DOORS, SAVE FOR REUSE AT NEW ENTRY HALL COAT CLOSETS.

**1 1ST FLOOR DEMOLITION PLAN**  
1/4" = 1'- 0"



#### DRAWING LIST

- |      |  |
|------|--|
| D1.0 | 1ST FLOOR DEMOLITION PLAN                  |
| A2.0 | 1ST FLOOR CONSTRUCTION PLAN                |
| A2.1 | 1ST FLOOR ELECTRIC / MECHANICAL PLAN       |
| A2.2 | 2ND FLOOR DEMOLITION PLAN                  |
|      | 2ND FLOOR CONSTRUCTION PLAN                |
| A4.0 | SOUTH EXTERIOR ELEVATION                   |
| A4.1 | WEST EXTERIOR ELEVATION                    |
| A5.0 | BUILDING SECTION                           |
| A6.0 | INTERIOR ELEVATIONS - KITCHEN, FAMILY ROOM |
| A6.1 | INTERIOR ELEVATIONS - KITCHEN, DINETTE     |
| A6.2 | INTERIOR ELEVATIONS - UPPER BATH           |
| A8.0 | WINDOW SCHEDULE                            |

PRELIMINARY

BID SET - JANUARY 3, 2018

CONSTRUCTION SET - MARCH 17, 2018

**LOBERG REMODEL**

2837 E. PARK PLACE  
MILWAUKEE, WI 53211

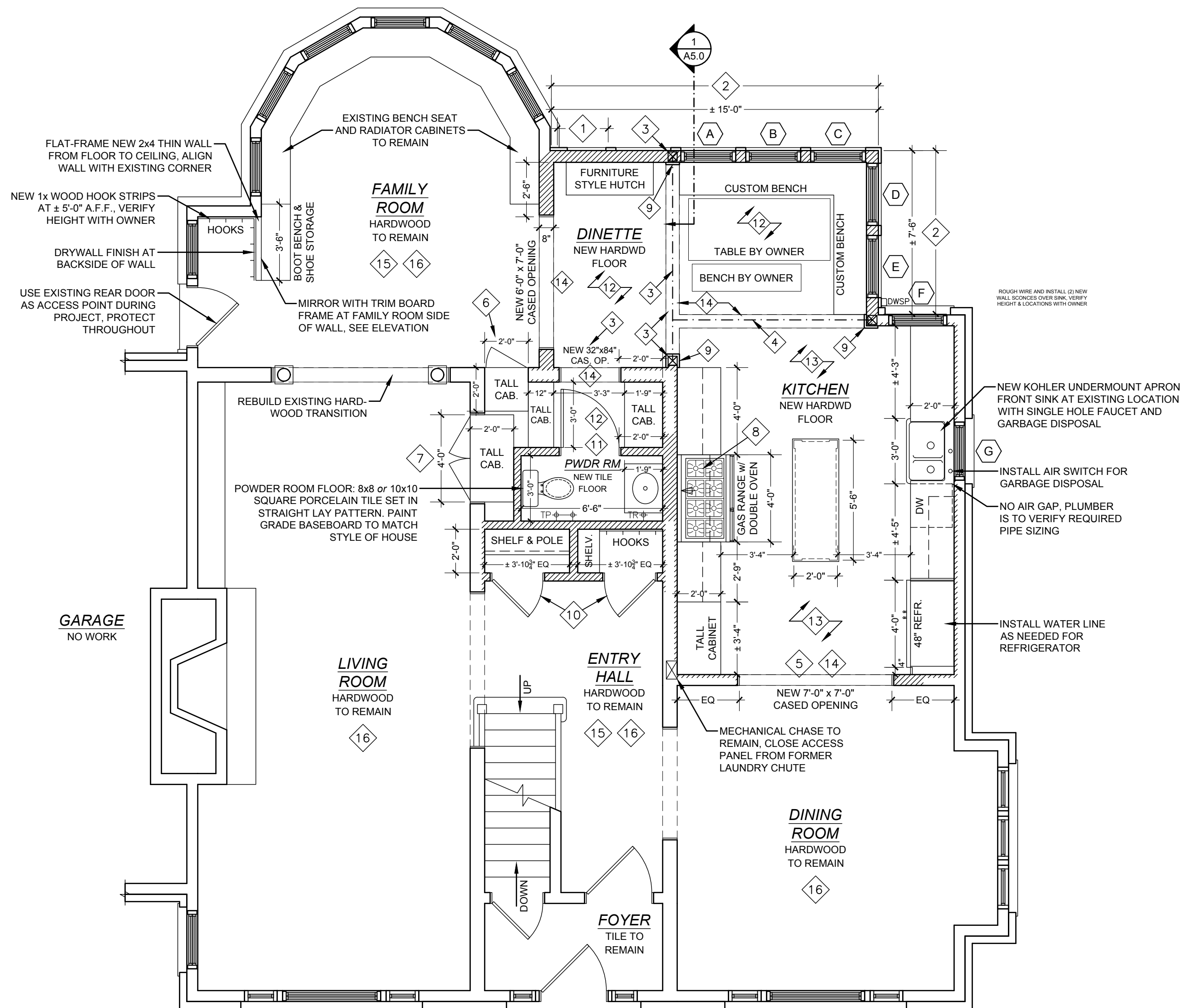
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GERMANTOWN, WI 53022

PHONE: (414) 797-0488



DRAWN BY: C.D.  
MAR. 17, 2018

**D1.0**



#### WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- 2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
- 2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
- EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE

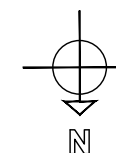
#### 1ST FLOOR CONSTRUCTION NOTES:

- 1) ROUGH CARPENTER IS TO INSTALL BLOCKING AS NEEDED FOR FIXTURES, HARDWARE, AND ACCESSORIES. VERIFY LOCATIONS WITH PROJECT MANAGER.
- 2) ROUGH-IN AND INSTALL PLUMBING SUPPLY AND WASTE LINES AS NEEDED FOR NEW AND RELOCATED FIXTURES PER PLANS.
- 3) **OPTION** TO REPLACE EXISTING PLUMBING SUPPLY AND WASTE PIPES.
- 4) COMPLETELY GUT LOWER LEVEL AT FORMER STAIRWAY AREA BELOW DINETTE. CLEAN, PRIME, AND PAINT EXISTING FOUNDATION WALLS THROUGHOUT THIS AREA.
- 5) **INSULATION:** INSTALL FIBERGLASS BATT INSULATION NEW WALLS AND CEILINGS OF DINETTE AREA PER SECTION 1, SHEET A5.0. INCLUDES NEW BATT INSULATION AT EXISTING EXTERIOR WALLS THAT ARE OPENED DURING DEMOLITION.
- 6) **OPTION** TO SPRAY FOAM ALL BOX SILLS AND JOISTS ENDS OF REMODELED AREA.
- 7) **DRYWALL:** INSTALL NEW 1/2" DRYWALL AT WALLS AND CEILINGS OF REMODELED AREA INCLUDING DINETTE, KITCHEN, AND POWDER ROOM. SPRAY TEXTURE SAND FINISH WITH SQUARE METAL OUTSIDE CORNERS.
- 8) **DRYWALL:** PATCH AND REPAIR EXISTING DRYWALL and/or PLASTER AS NEEDED PER CONSTRUCTION WORK AT FAMILY ROOM, DINING ROOM, AND ENTRY HALL.
- 9) INSTALL NEW PAINT GRADE BASEBOARD AND CASING THROUGHOUT REMODELED AREA TO MATCH EXISTING STYLE OF HOUSE. MATCH EXISTING BASEBOARD WHERE EXISTING WALLS ARE MODIFIED AT FAMILY ROOM, DINING ROOM, AND ENTRY HALL.
- 10) INSTALL PAINT GRADE CROWN THROUGHOUT KITCHEN AND AT BOTH CEILING SECTIONS OF DINETTE AREA, PROFILE TBD.

- 1 EXCAVATE FOR, AND INSTALL APPROX. 30" OF NEW FOUNDATION WALL AS NEEDED TO CONNECT NEW DINETTE EXTERIOR WALL TO EXISTING FAMILY ROOM WALL. NEW FOUNDATION IS TO BE 8" CMU WALL SET ON POURED CONCRETE FOOTING. FOOTING IS TO BE SIZED AND REINFORCED PER CODE, MIN 48" BELOW GRADE. CONNECT TO EXISTING FOUNDATION AS NEEDED, EXISTING TO REMAIN.
- 2 FRAME NEW EXTERIOR WALLS AND FLAT ROOF STRUCTURE FOR NEW DINETTE AREA. BEAR WALLS ONTO EXISTING FOUNDATION WALL. IN-FILL FRAME FLOOR JOISTS WHERE STAIRWAY IS REMOVED. SEE DETAIL 1, SHEET A5.0.
- 3 NEW STRUCTURAL BEAM AND BEARING POSTS TO CARRY LOAD OF EXISTING STRUCTURE ABOVE. SIZE AND SPECIFICATION TBD. FRAME SOFFIT AND CASED OPENING PER PLAN AND ELEVATIONS.
- 4 EXISTING STRUCTURAL BEAM IS TO REMAIN. FIELD VERIFY IF ADEQUATE PER NEW CONSTRUCTION. FRAME SOFFIT AND CASED OPENING PER PLAN AND ELEVATIONS.
- 5 INSTALL NEW CASED OPENING WITHIN EXISTING WALL. FIELD VERIFY IF STRUCTURAL HEADER IS REQUIRED.
- 6 FRAME OPENING WITHIN EXISTING FAMILY ROOM WALL AS NEEDED FOR NEW RECESSED FACE-FRAME CABINET.
- 7 EXISTING CASED OPENING TO REMAIN. INSTALL NEW RECESSED FACE-FRAME CABINET TO FIT OPENING.
- 8 INSTALL WATER LINE AS NEEDED FOR NEW POT FILLER IN TILE BACKSPLASH AT KITCHEN RANGE.
- 9 5/4 x 8 PAINT GRADE TRIM BOARD OR POST WRAP AT SIDES OF DINETTE CASED OPENINGS, PAINT FINISH.
- 10 INSTALL (2) GLASS FRENCH DOORS SAVED DURING DEMOLITION AT NEW ENTRY HALL COAT CLOSETS.
- 11 INSTALL NEW PREHUNG INTERIOR DOOR AT POWDER ROOM. DOOR IS TO BE 32" x 84" PAINT GRADE SINGLE PANEL TO MATCH EXISTING STYLE OF HOUSE.
- 12 INSTALL, STAIN, AND FINISH NEW 2-1/4" T&G QUARTER SAWN WHITE OAK HARDWOOD AT DINETTE AND POWDER ROOM VESTIBULE. **INSTALL LENGTHWISE NORTH-TO-SOUTH.**
- 13 INSTALL, STAIN, AND FINISH NEW 2-1/4" T&G QUARTER SAWN WHITE OAK HARDWOOD AT KITCHEN. **INSTALL IN HERRINGBONE PATTERN.**
- 14 INSTALL WIDE PLANK WHITE OAK HARDWOOD TRANSITION AT DOOR OR CASED OPENING.
- 15 EXISTING HARDWOOD FLOOR IS TO REMAIN AT FAMILY ROOM & ENTRY HALL. TOOTH-IN AS NEEDED AT NEW WALLS PER PLAN.
- 16 EXISTING HARDWOOD FLOOR IS TO REMAIN, BUFF AND COAT. **OPTION** TO SAND AND REFINISH.

1

1ST FLOOR CONSTRUCTION PLAN  
1/4" = 1'- 0"



PRELIMINARY

BID SET - JANUARY 3, 2018

CONSTRUCTION SET - MARCH 17, 2018

LOBERG REMODEL

2837 E. PARK PLACE

MILWAUKEE, WI 53211

W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022

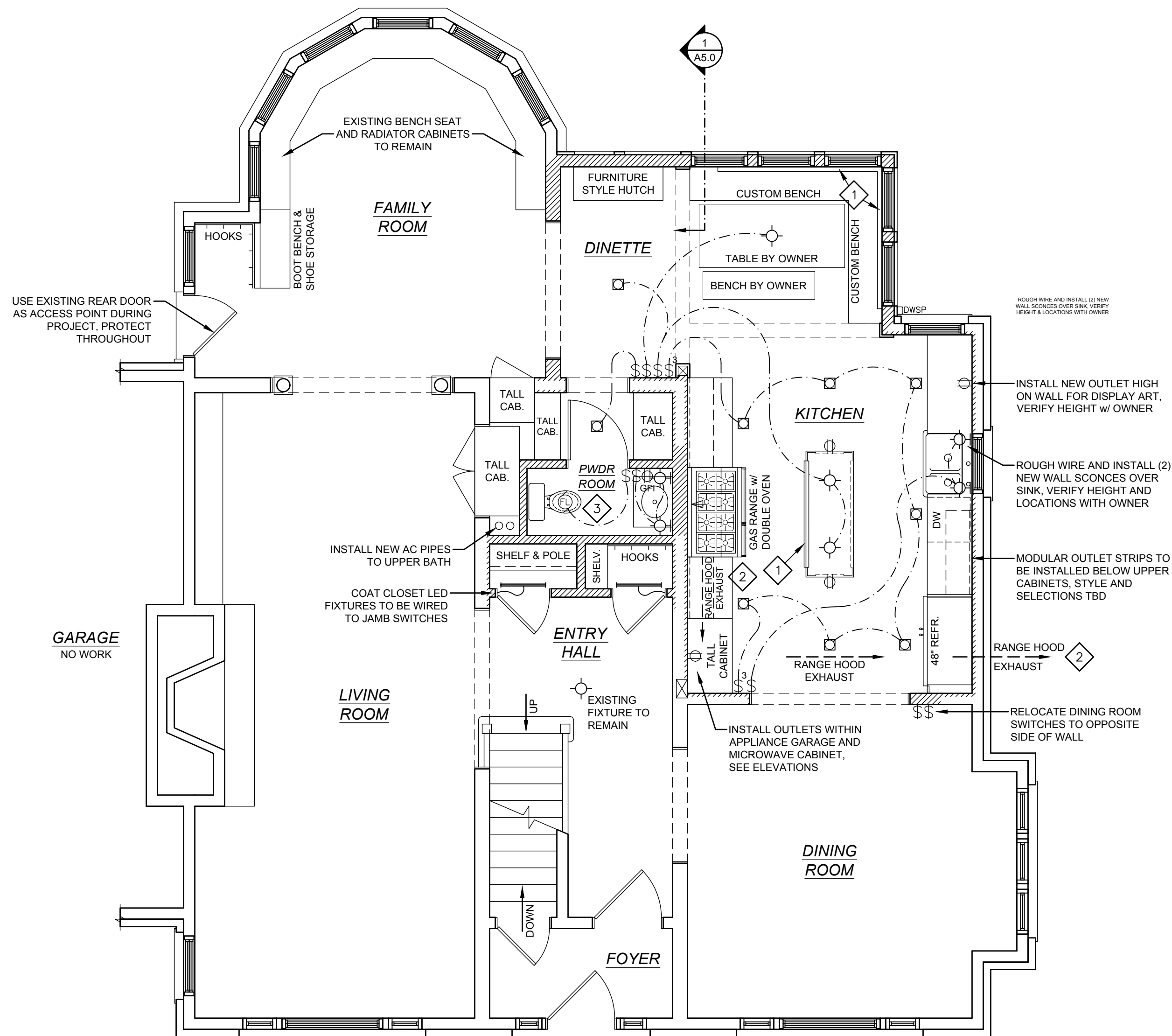
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MAR. 17, 2018

A2.0





#### ELECTRIC NOTES:

- 1) INSTALL OUTLETS THROUGHOUT THE REMODELED AREA PER PLAN AND AS REQUIRED PER CODE.
- 2) INSTALL OUTLETS and/or HARD-WIRE HOOKUPS AS NEEDED FOR APPLIANCES AND FIXTURES INCLUDING RANGE, EXHAUST HOOD, GARBAGE DISPOSAL, DISHWASHER, REFRIGERATOR, AND OPTIONAL MICROWAVE DRAWER AT ISLAND.
- 3) EXHAUST FAN-LIGHT FIXTURES ARE TO BE CONTROLLED BY A SMART TIMER SWITCH IN WHICH THE EXHAUST FAN CONTINUES TO RUN FOR A PROGRAMMABLE PERIOD OF TIME AFTER THE LIGHT IS TURNED OFF.
- 4) VERIFY IF EXISTING AC SUPPLY LOCATIONS ARE ADEQUATE AT AREAS AFFECTED BY REMODEL.

- 1 ROUGH-IN AND INSTALL NEW CAST IRON BASE RADIATORS BELOW BENCH SEAT AT (2) WALLS OF DINETTE AND AT KITCHEN ISLAND PER PLAN. CONNECT TO EXISTING BOILER SYSTEM.
- 2 INSTALL NEW KITCHEN EXHAUST HOOD, MODEL AND SPECIFICATIONS TBD. VENT THROUGH TALL CABINET CROWN AND CEILING JOIST SYSTEM TO WEST WALL. INSTALL NEW VENT DISCHARGE AT EXISTING EXTERIOR LOCATION, SEE ELEVATION SHEET A4.1.
- 3 ELECTRICIAN IS TO PROVIDE AND INSTALL NEW EXHAUST FAN-LIGHT COMBO AT POWDER ROOM. HVAC CONTRACTOR IS TO INSTALL AND CONNECT DUCTING. EXHAUST THROUGH CEILING JOISTS TO EXTERIOR AT WEST WALL.

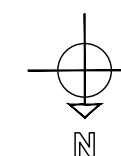
#### ELECTRICAL SYMBOLS KEY

- DECORATIVE LIGHT FIXTURE, CEILING MOUNTED
- DECORATIVE LIGHT FIXTURE, WALL MOUNTED
- 5" LED RECESSED LIGHT FIXTURE (CAN LIGHT)
- CEILING MOUNTED EXHAUST FAN
- CEILING MOUNTED EXHAUST FAN / LIGHT FIXTURE
- LED CLOSET FIXTURE
- ELECTRICAL OUTLET - DUPLEX
- GROUND FAULT CIRCUIT INTERRUPTED
- WALL SWITCH
- 3 - WAY SWITCH

#### WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- 2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
- 2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
- EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE

1 1ST FLOOR ELECTRIC / MECHANICAL PLAN  
1/4" = 1'- 0"



PRELIMINARY

BID SET - JANUARY 3, 2018  
CONSTRUCTION SET - MARCH 17, 2018

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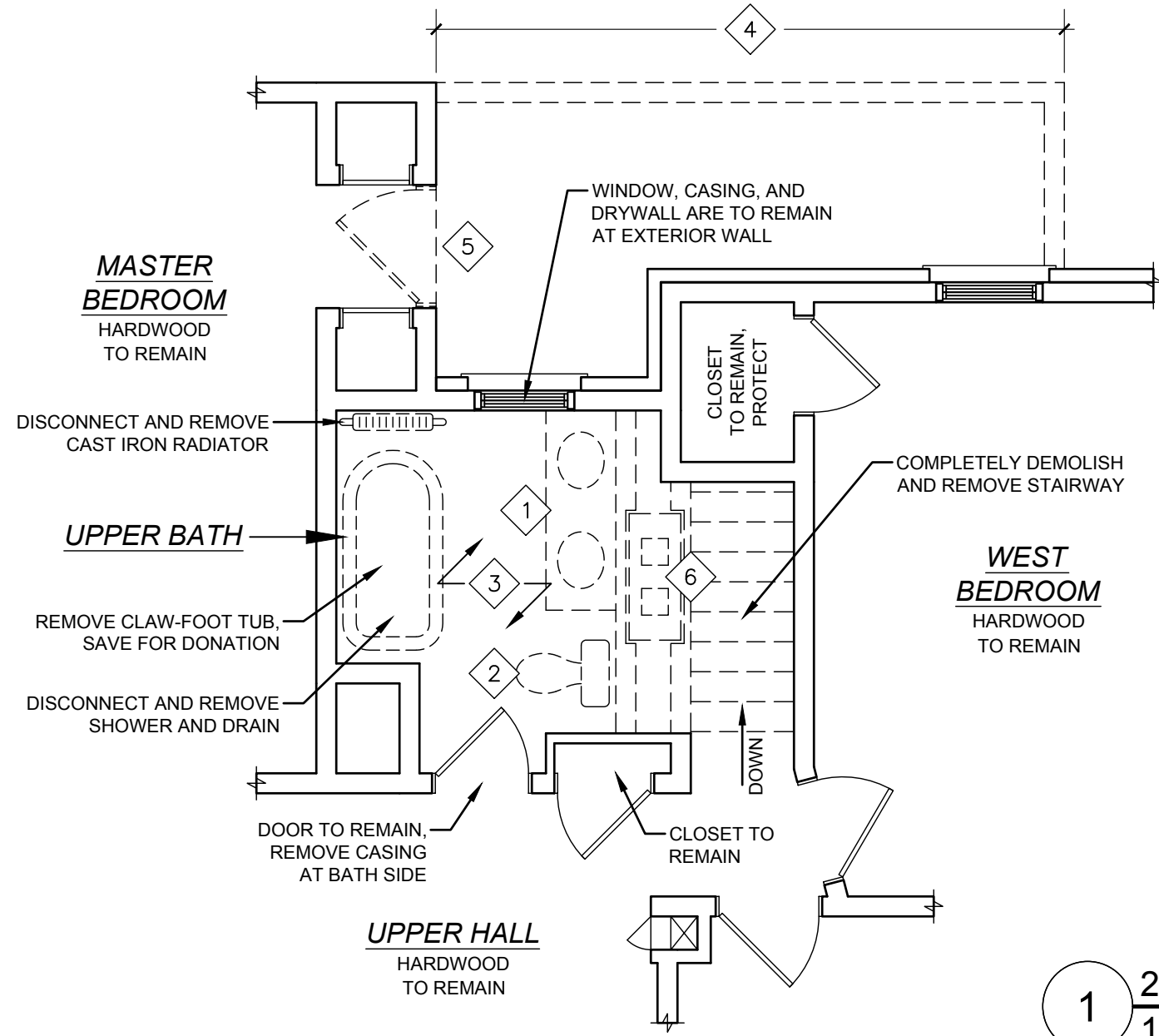
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MAR. 17, 2018

A2.1

WALL SYMBOLS KEY

EXISTING STUD OR MASONRY WALL TO REMAIN

WALL OR MATERIAL TO BE REMOVED INCLUDING DRYWALL, FRAMING, CABINETS, AND FIXTURES.



1ST FLOOR DEMOLITION NOTES:

1) DRYWALL and/or PLASTER ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.

2) ALL DOORS, WINDOWS, FLOORING, AND MILLWORK ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE ON PLANS.

1 REMOVE AND SAVE VANITY CABINET FOR REUSE AT NEW LOCATION PER PLAN. REMOVE COUNTERTOP, SAVE AND REUSE SINKS AND FAUCETS.

2 REMOVE AND SAVE TOILET. REINSTALL AT NEW LOCATION PER PLAN.

3 COMPLETELY GUT BATHROOM TO STUD FRAMING (DRYWALL TO REMAIN AT EXTERIOR WALL). REMOVE ELECTRICAL FIXTURES, BATH HARDWARE, MILLWORK, DRYWALL, FLOORING, AND FINISHES. SAVE HARDWARE FOR REUSE AT NEW BATH.

4 COMPLETELY DEMOLISH AND REMOVE UPPER ROOF DECK AND PARAPET WALL AS PART OF 1ST FLOOR DEMOLITION, SEE DEMOLITION SHEET D1.0.

5 REMOVE EXISTING DOOR. PREP OPENING FOR NEW EGRESS WINDOW WITHIN EXISTING ROUGH OPENING.

6 REMOVE EXISTING CHIMNEY FROM 1ST FLOOR TO ABOVE ROOF LINE. PATCH AND REPAIR ROOF AND DRYWALL AS NEEDED. CHIMNEY IS TO REMAIN AT LOWER LEVEL. SAVE BRICK FOR REUSE.

1 2ND FLOOR DEMOLITION PLAN

1/4" = 1'- 0"

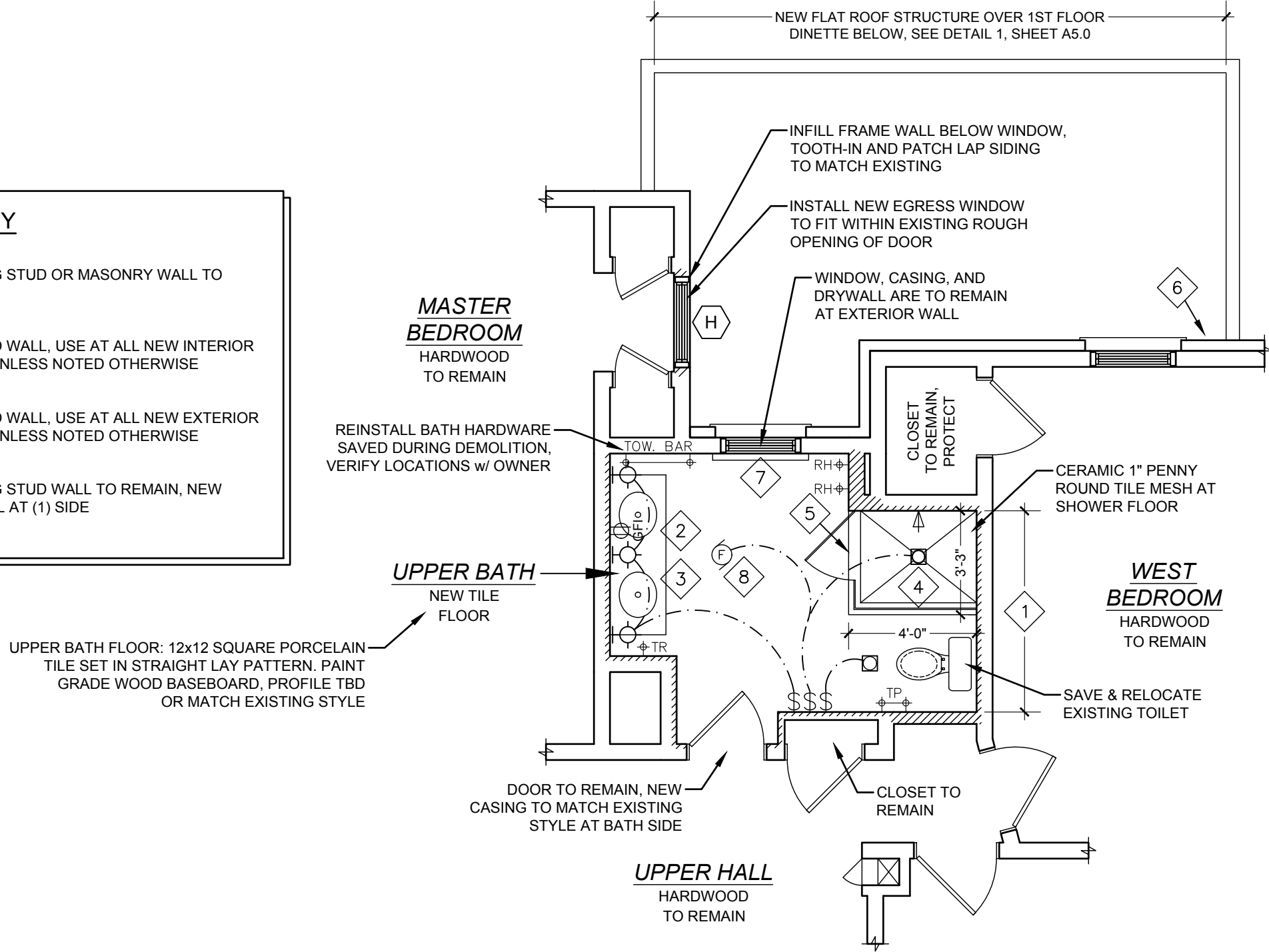
WALL SYMBOLS KEY

EXISTING STUD OR MASONRY WALL TO REMAIN

2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE

2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE

EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE



2ND FLOOR CONSTRUCTION NOTES:

1) ROUGH CARPENTER IS TO INSTALL BLOCKING AS NEEDED FOR FIXTURES, HARDWARE, AND ACCESSORIES. VERIFY LOCATIONS WITH PROJECT MANAGER.

2) ROUGH-IN AND INSTALL PLUMBING SUPPLY AND WASTE LINES AS NEEDED FOR NEW AND RELOCATED FIXTURES PER PLANS.

3) INSTALL NEW AC SUPPLY LINES TO UPPER BATH, LOCATIONS TBD. TIE INTO EXISTING SYSTEM.

4) EXHAUST FAN-LIGHT FIXTURES ARE TO BE CONTROLLED BY A SMART TIMER SWITCH IN WHICH THE EXHAUST FAN CONTINUES TO RUN FOR A PROGRAMMABLE PERIOD OF TIME AFTER THE LIGHT IS TURNED OFF.

5) DRYWALL: INSTALL NEW 1/2" DRYWALL AT WALLS AND CEILINGS UPPER BATH. DRYWALL AND INSULATION IS TO REMAIN AT SOUTH EXTERIOR WALL. SPRAY TEXTURE SAND FINISH WITH SQUARE METAL OUTSIDE CORNERS.

6) DRYWALL: PATCH AND REPAIR EXISTING DRYWALL and/or PLASTER AS NEEDED PER CONSTRUCTION WORK AT UPPER HALL AND MASTER BEDROOM.

7) INSTALL NEW PAINT GRADE CROWN AND BASEBOARD AROUND PERIMETER OF BATHROOM, PROFILES TBD.

1 INFILL FRAME FLOOR JOISTS AS NEEDED WHERE STAIRWAY HAS BEEN REMOVED, MATCH HEIGHT OF EXISTING FLOOR.

2 REINSTALL EXISTING VANITY CABINET AT NEW LOCATION. NEW 3cm QUARTZ TOP. REUSE EXISTING SINKS AND FAUCETS.

3 NEW FRAMED VANITY MIRRORS AND WALL SCONCES. STYLE AND SELECTIONS TBD BY OWNER.

4 NEW TILE SHOWER WITH TILE CURB AND GLASS SHOWER ENCLOSURE. STYLE AND SELECTIONS TBD BY OWNER.

5 FRAME ± 6" CROWN SOFFIT AT CEILING ABOVE SHOWER CURB, DRYWALL AND PAINT FINISH, SEE ELEVATIONS.

6 TOOTH-IN AND PATCH EXISTING BRICK VENEER AS NEEDED WHERE PARAPET WALL HAS BEEN REMOVED.

7 ROUGH-IN AND INSTALL A NEW CAST IRON BASE RADIATOR AT EXTERIOR WALL OF BATHROOM. CONNECT TO EXISTING BOILER SYSTEM.

8 ELECTRICIAN IS TO PROVIDE AND INSTALL NEW EXHAUST FAN AT EXISTING LOCATION. CONNECT AND REUSE EXISTING DUCT TO EXTERIOR.

2 2ND FLOOR CONSTRUCTION PLAN

1/4" = 1'- 0"

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

LOBERG REMODEL

2837 E. PARK PLACE

MILWAUKEE, WI 53211

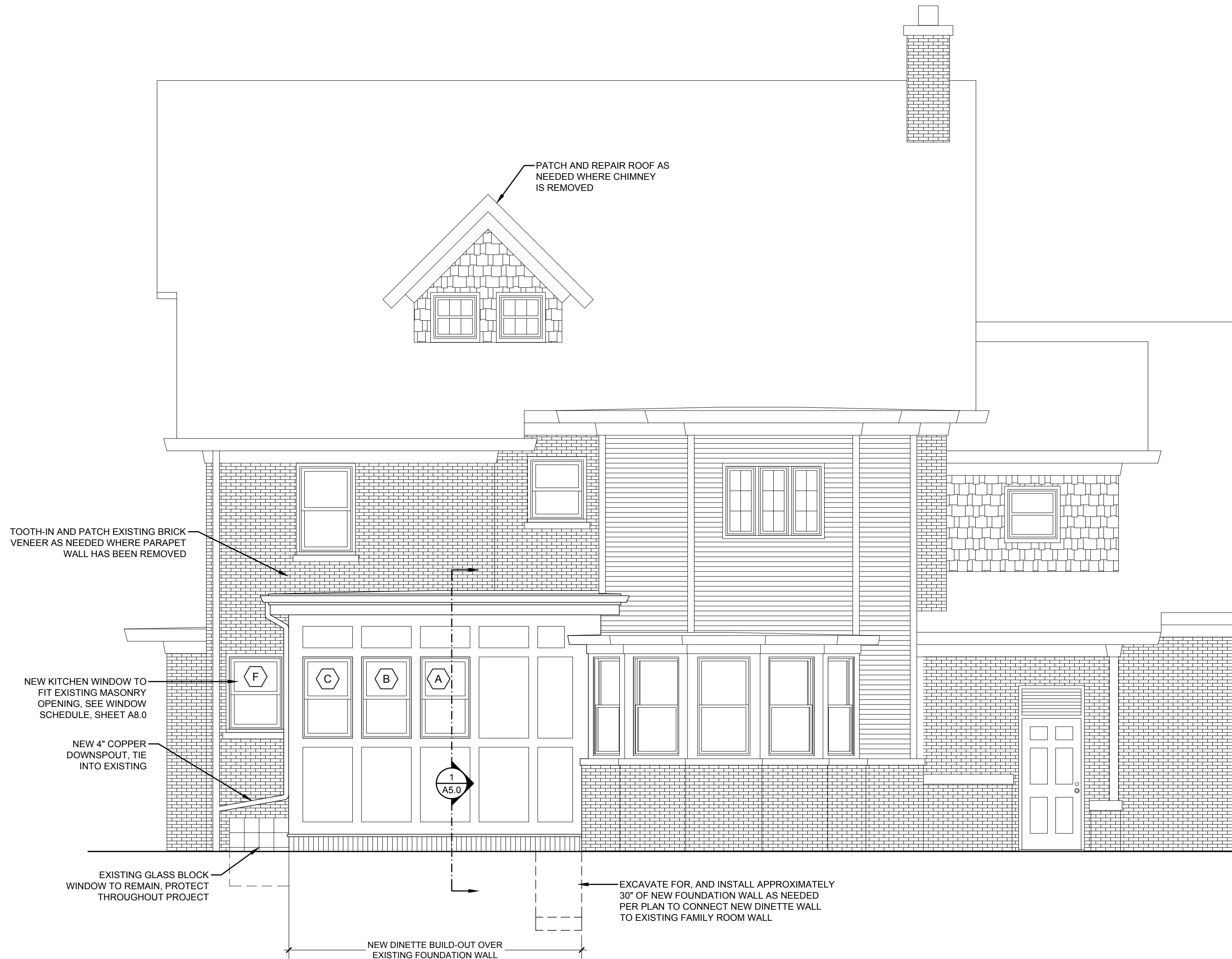
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GABOR  
DESIGN BUILD LLC

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MAR. 17, 2018



1 SOUTH EXTERIOR ELEVATION  
1/4" = 1'- 0"

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

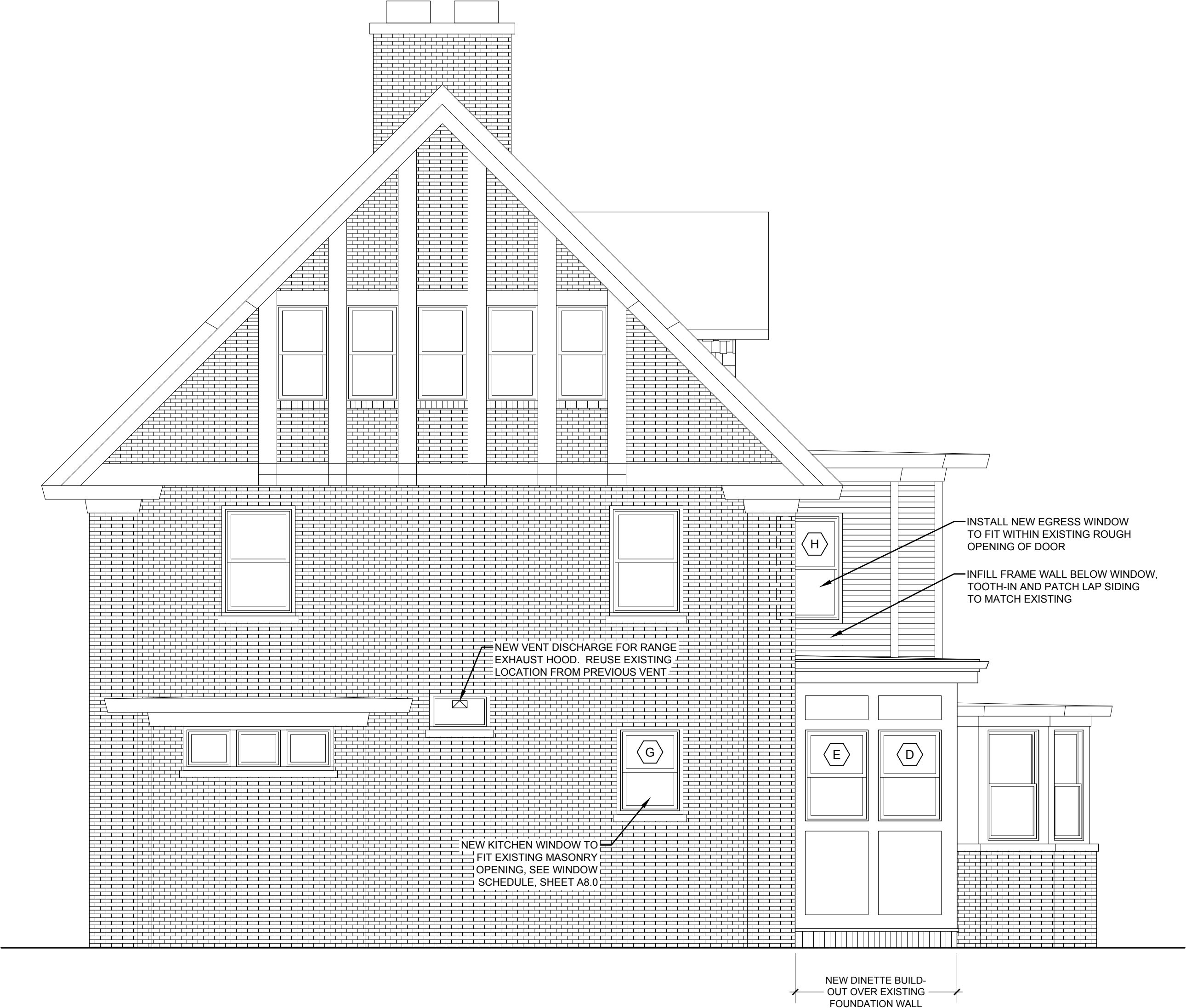
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MAR. 17, 2018

A4.0



1 WEST EXTERIOR ELEVATION  
1/4" = 1'- 0"

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

LOBERG REMODEL  
2837 E. PARK PLACE  
MILWAUKEE, WI 53211

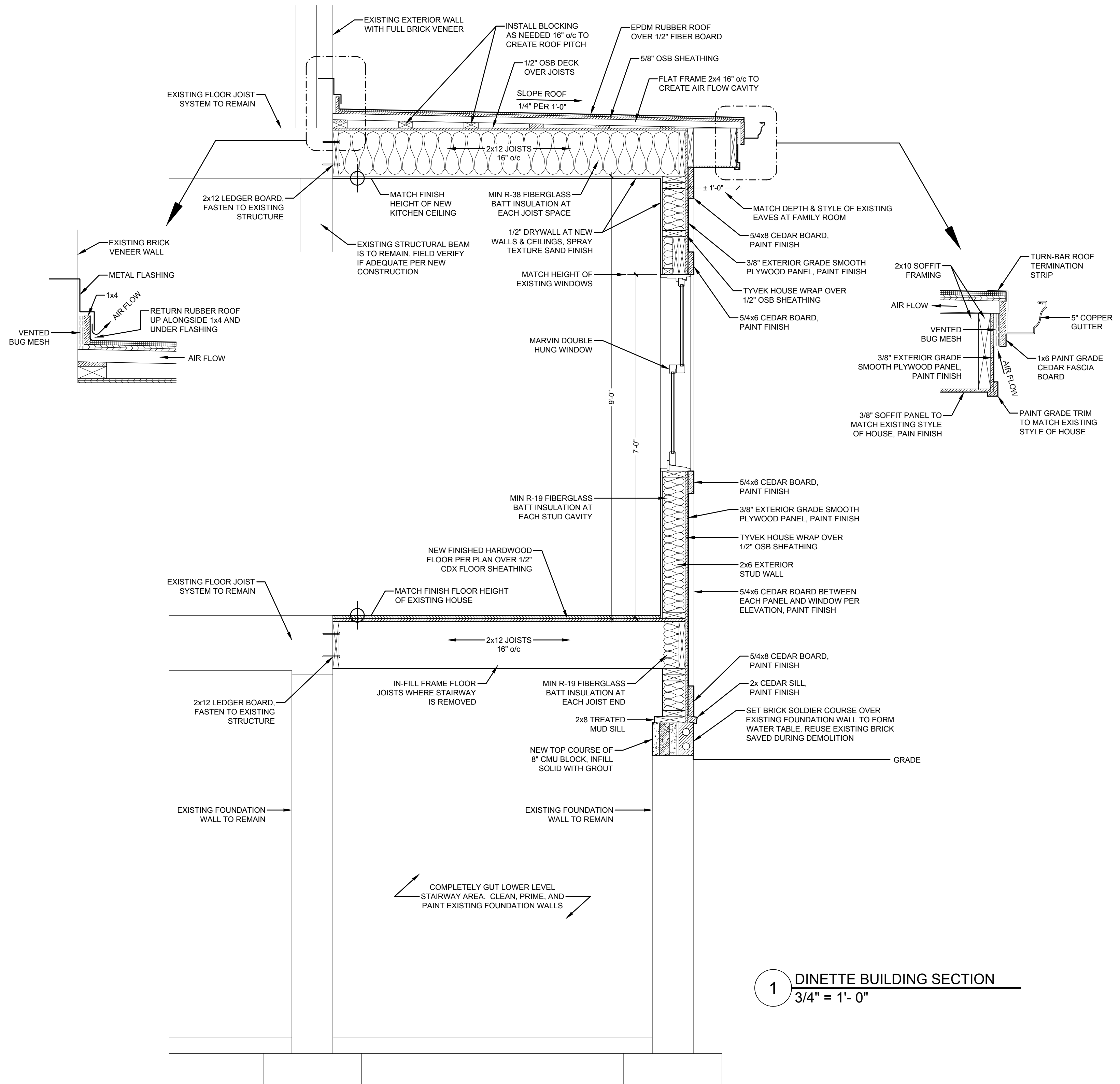
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MAR. 17, 2018





1 DINETTE BUILDING SECTION  
3/4" = 1'- 0"

PRELIMINARY	
BID SET - JANUARY 3, 2018	
CONSTRUCTION SET - MARCH 17, 2018	
1	
2	
3	

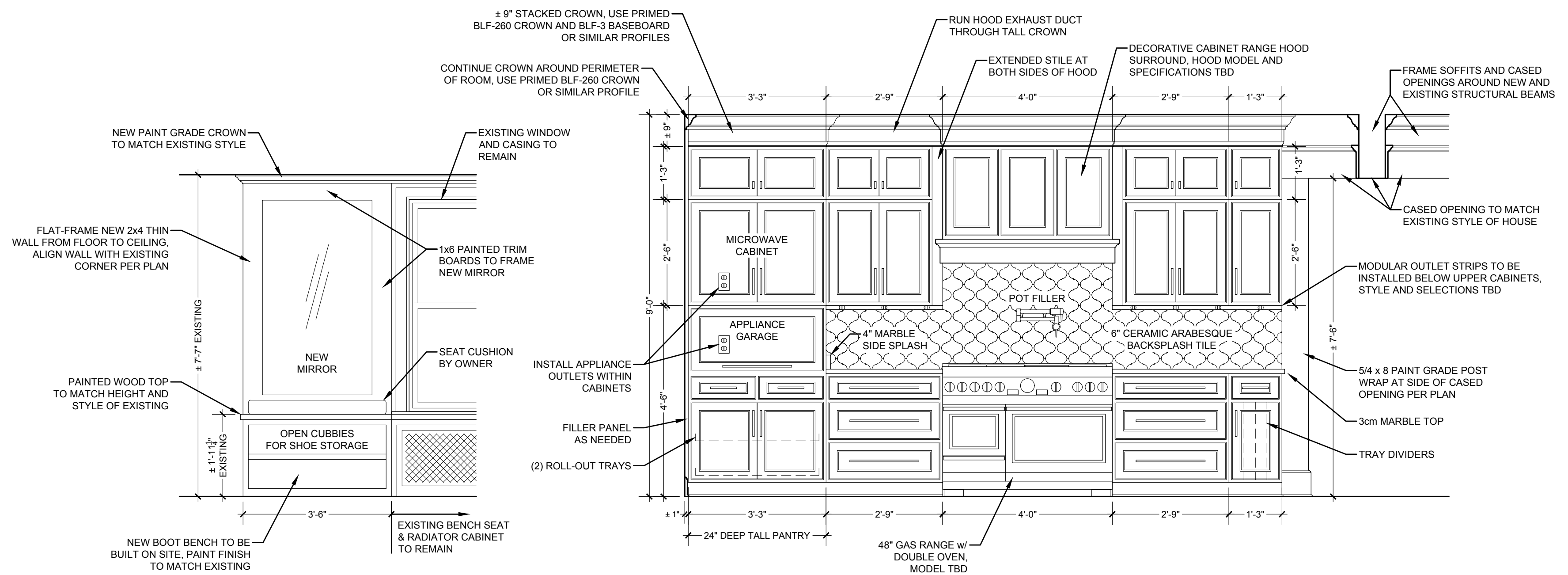
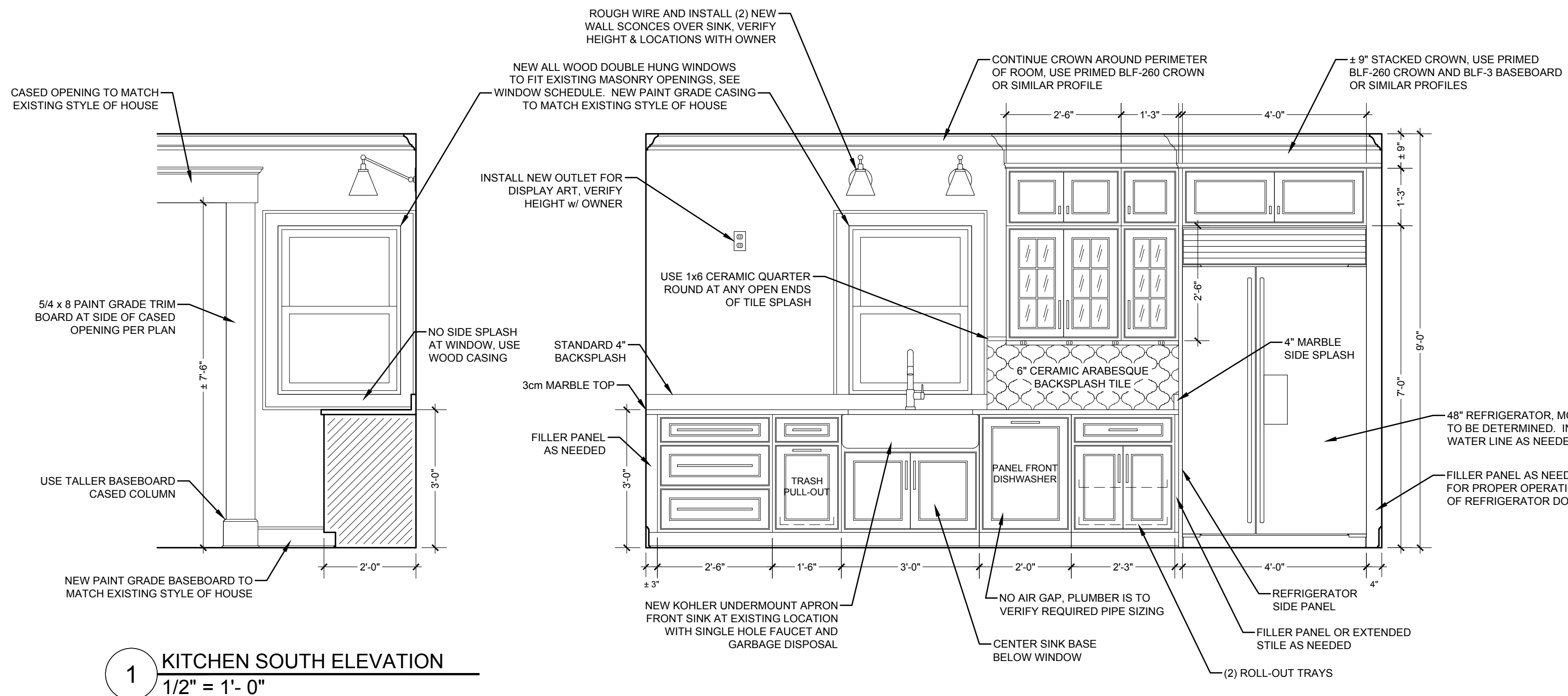
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A5.0



1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
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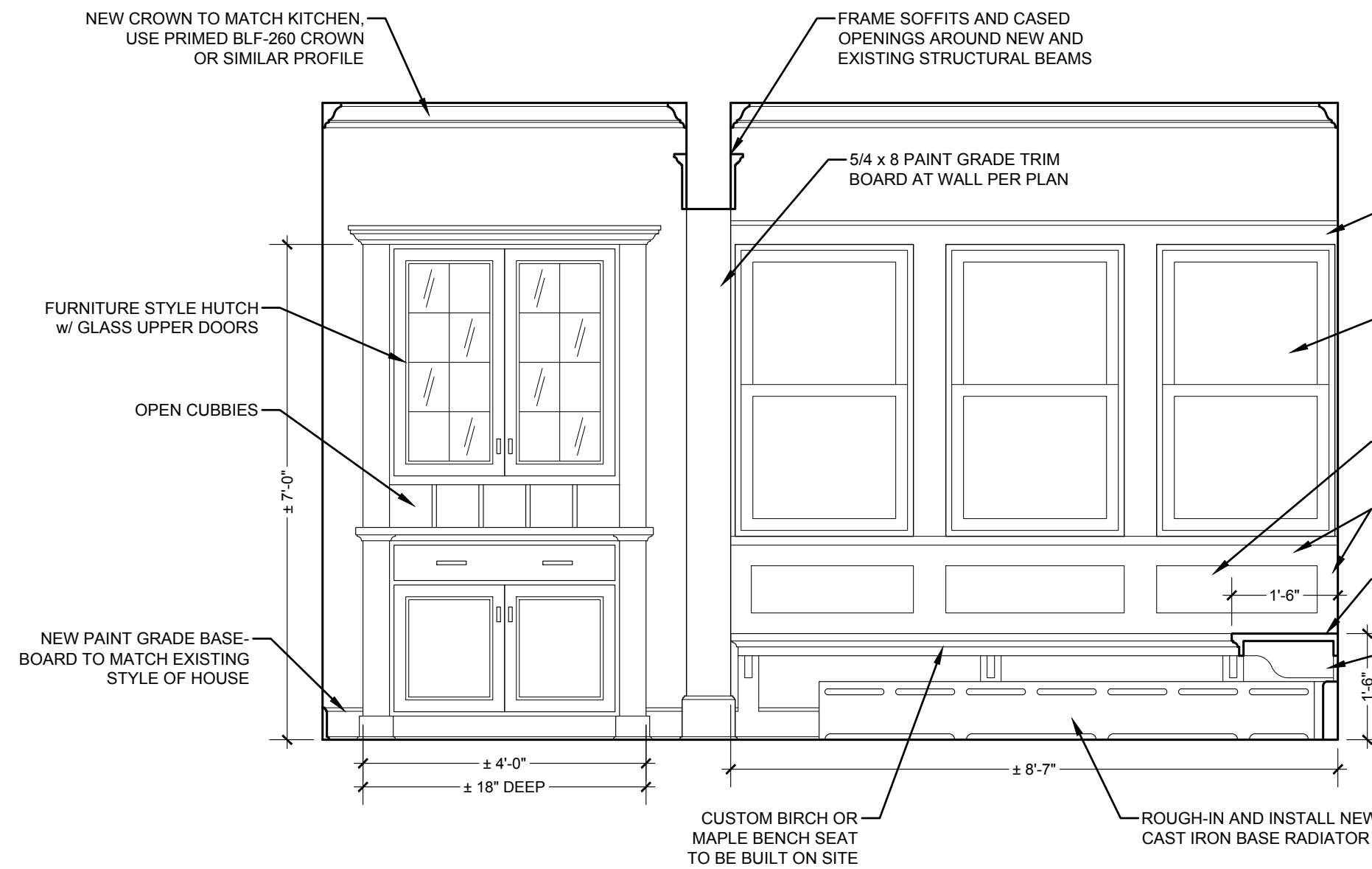
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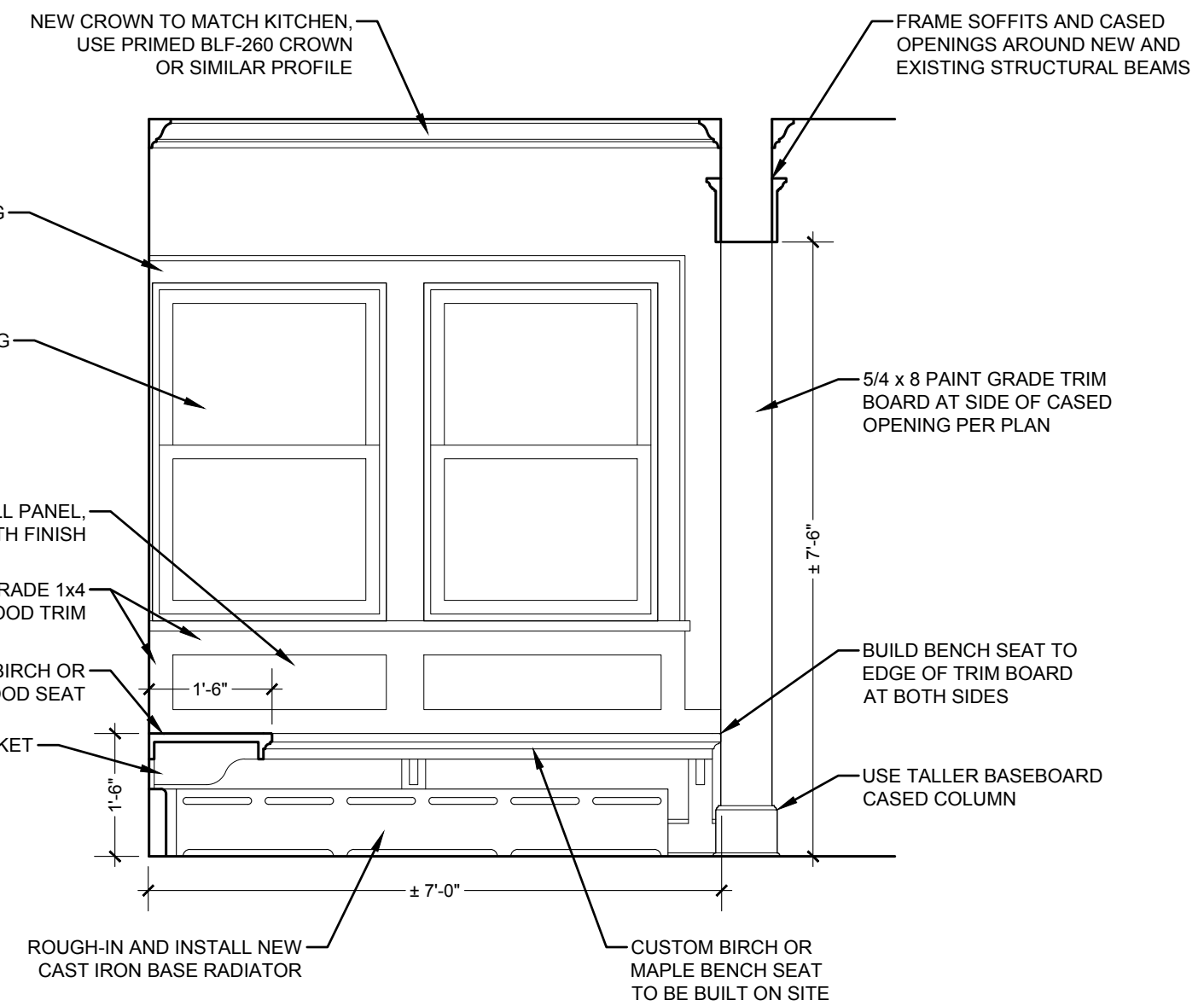
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MAR. 17, 2018

A6.0

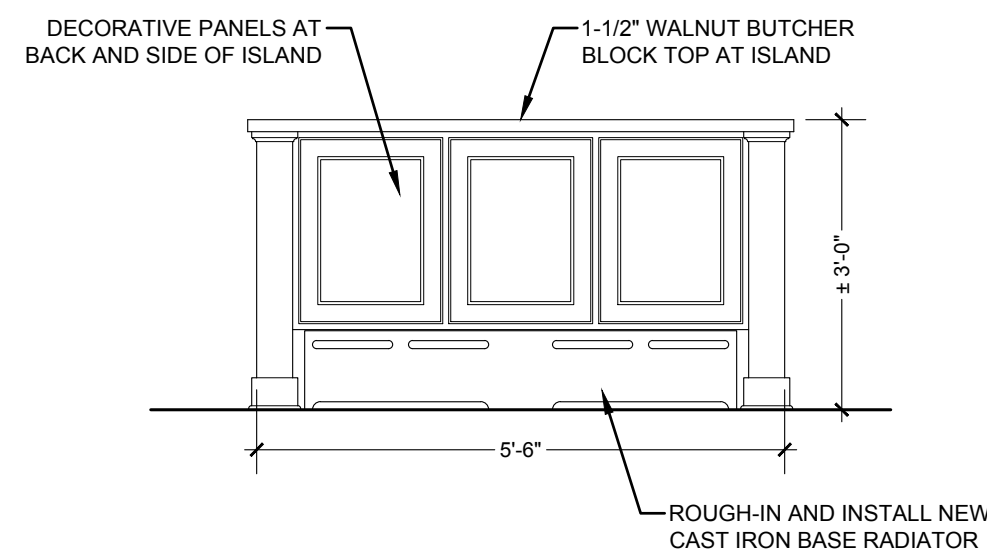




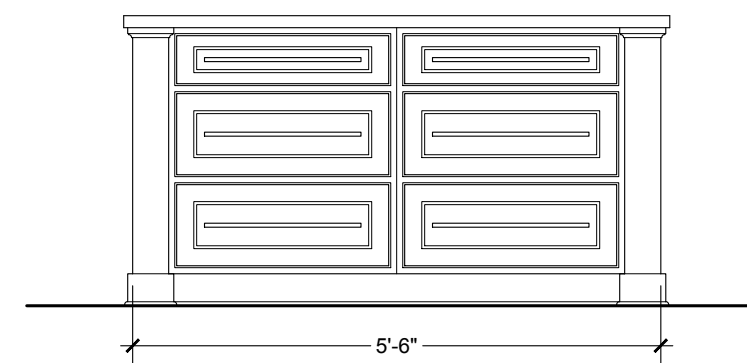
1 DINETTE SOUTH ELEVATION  
1/2" = 1'- 0"



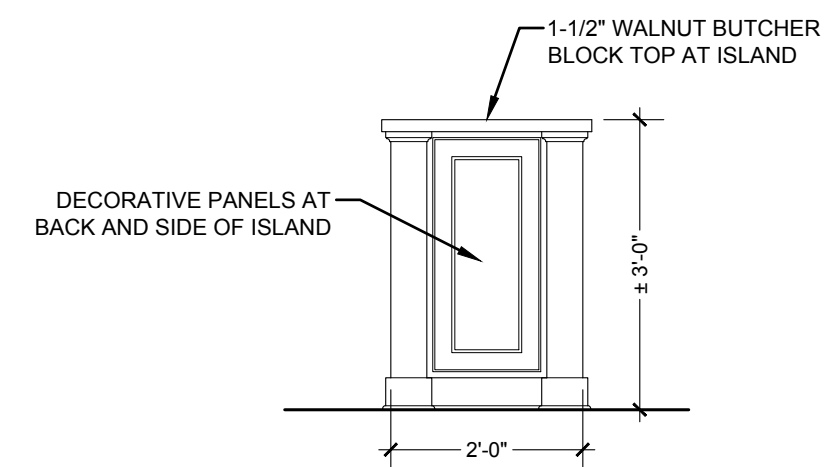
2 DINETTE WEST ELEVATION  
1/2" = 1'- 0"



3 ISLAND WEST ELEVATION  
1/2" = 1'- 0"



4 ISLAND EAST ELEVATION  
1/2" = 1'- 0"



5 ISLAND SIDE ELEVATION  
1/2" = 1'- 0"

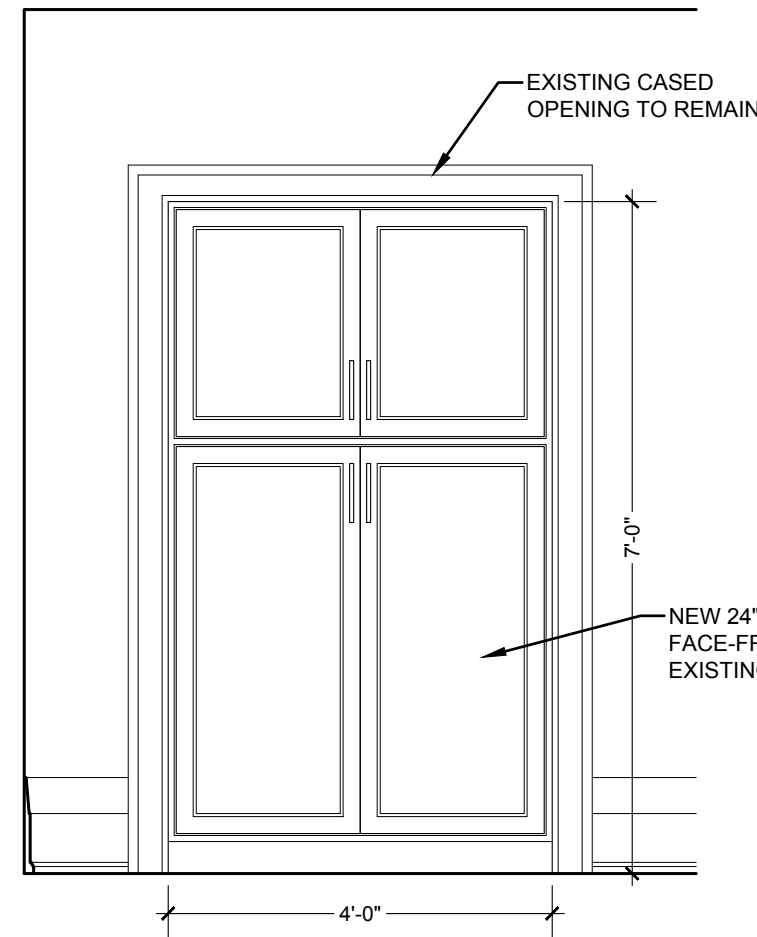
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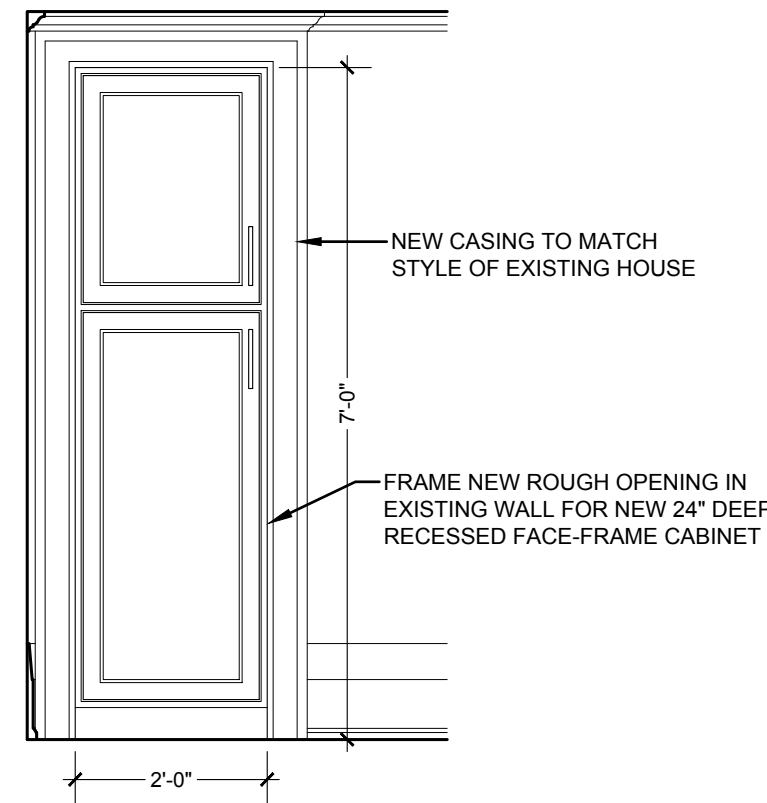
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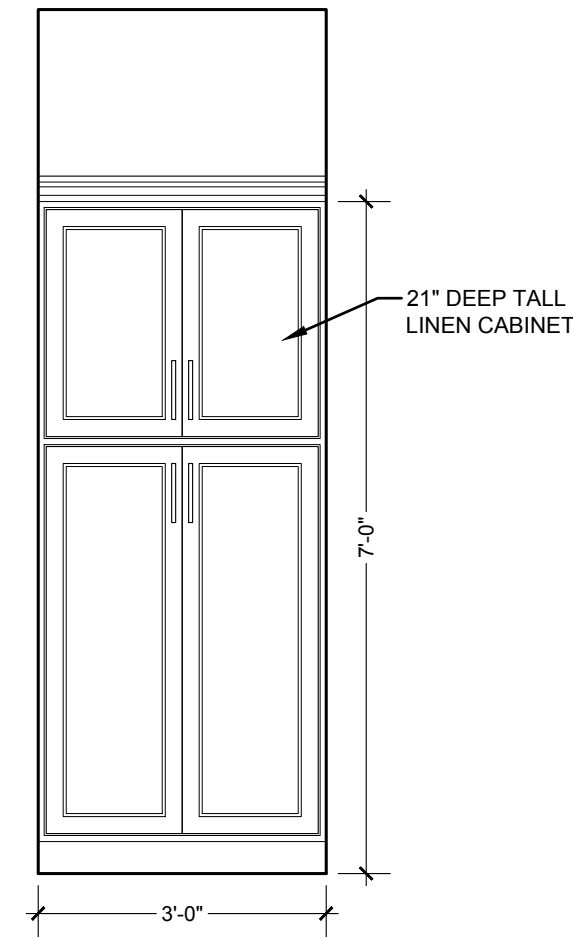
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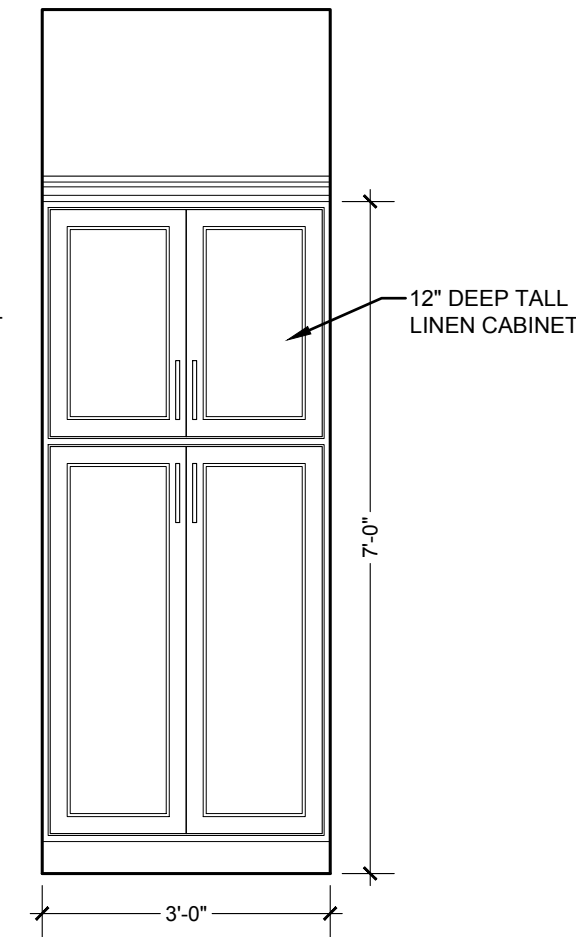
**1 RECESSED TALL CABINET  
AT LIVING ROOM WEST WALL**  
1/2" = 1'- 0"



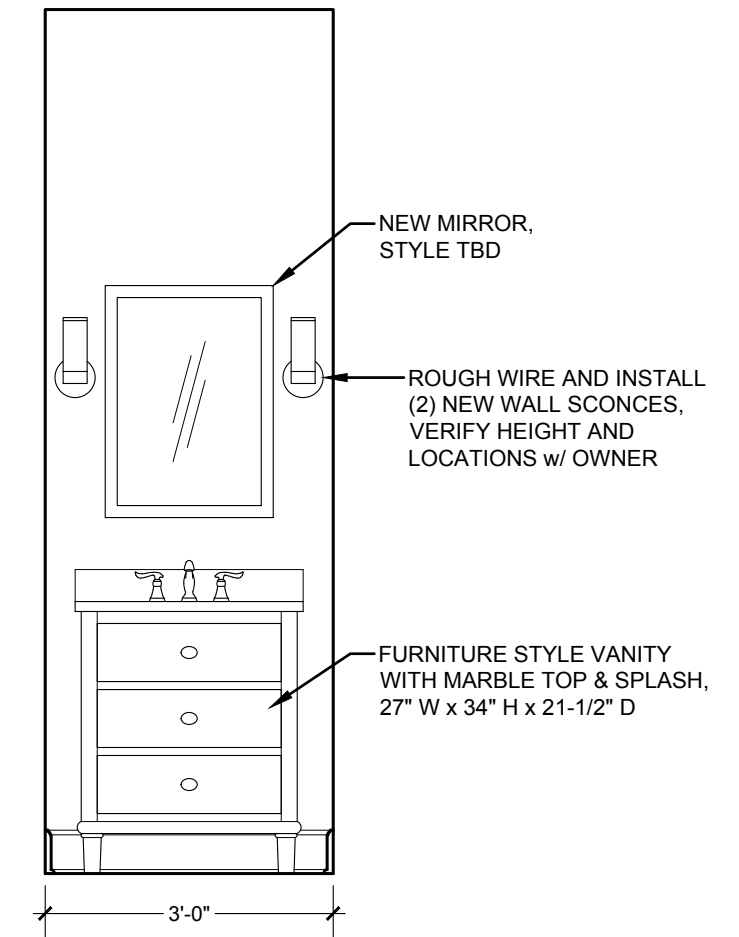
**2 RECESSED TALL CABINET  
AT FAMILY ROOM NORTH WALL**  
1/2" = 1'- 0"



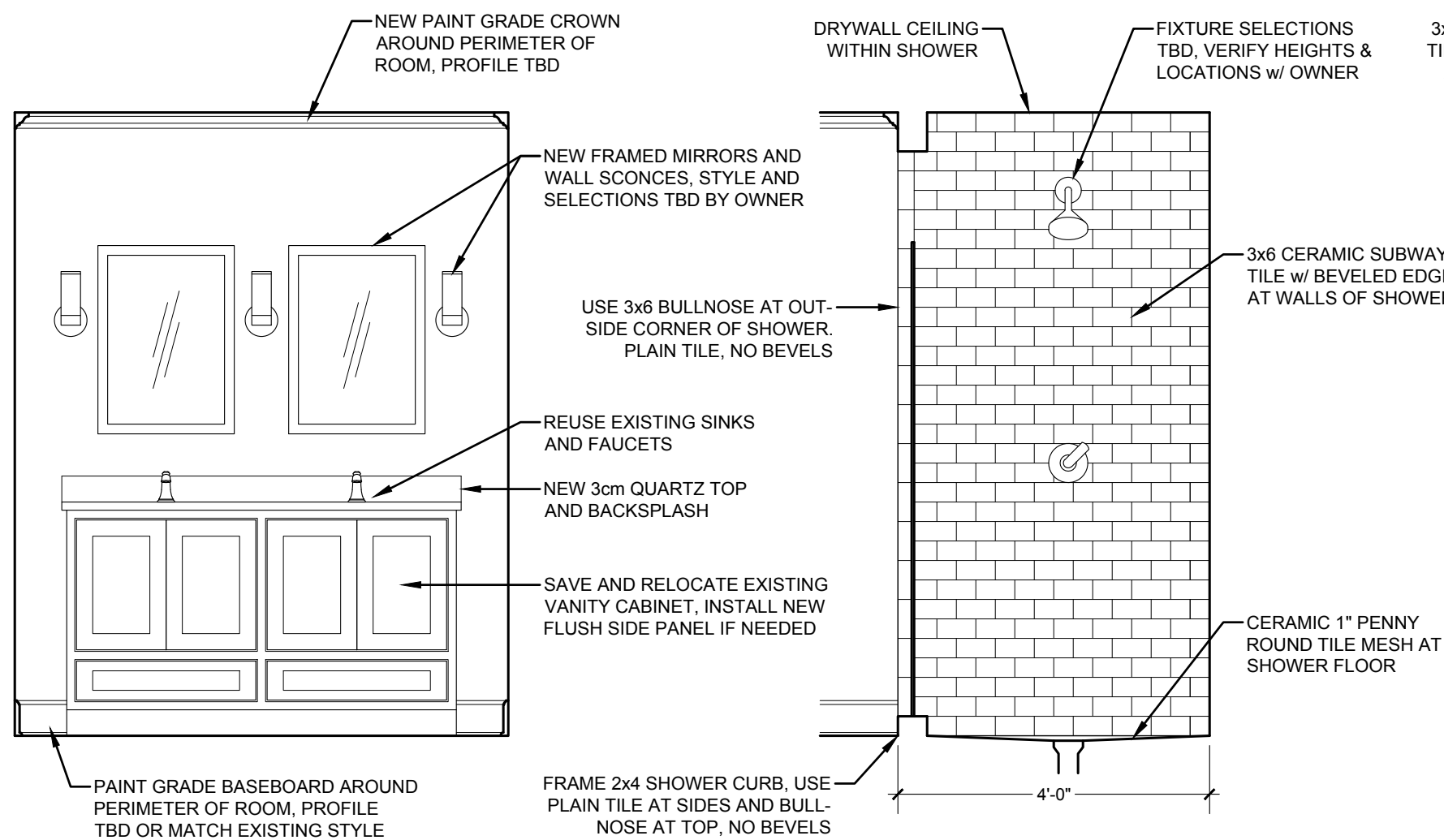
**3 POWDER ROOM  
VESTIBULE W. ELEV.**  
1/2" = 1'- 0"



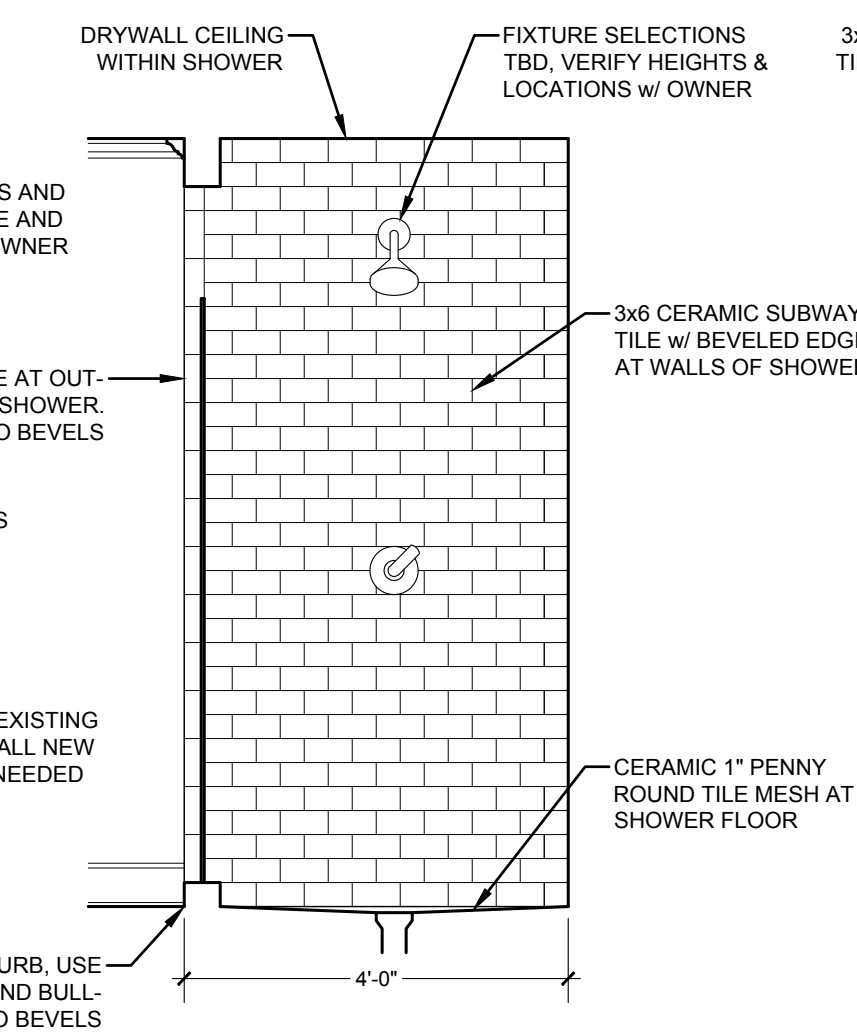
**4 POWDER ROOM  
VESTIBULE E. ELEV.**  
1/2" = 1'- 0"



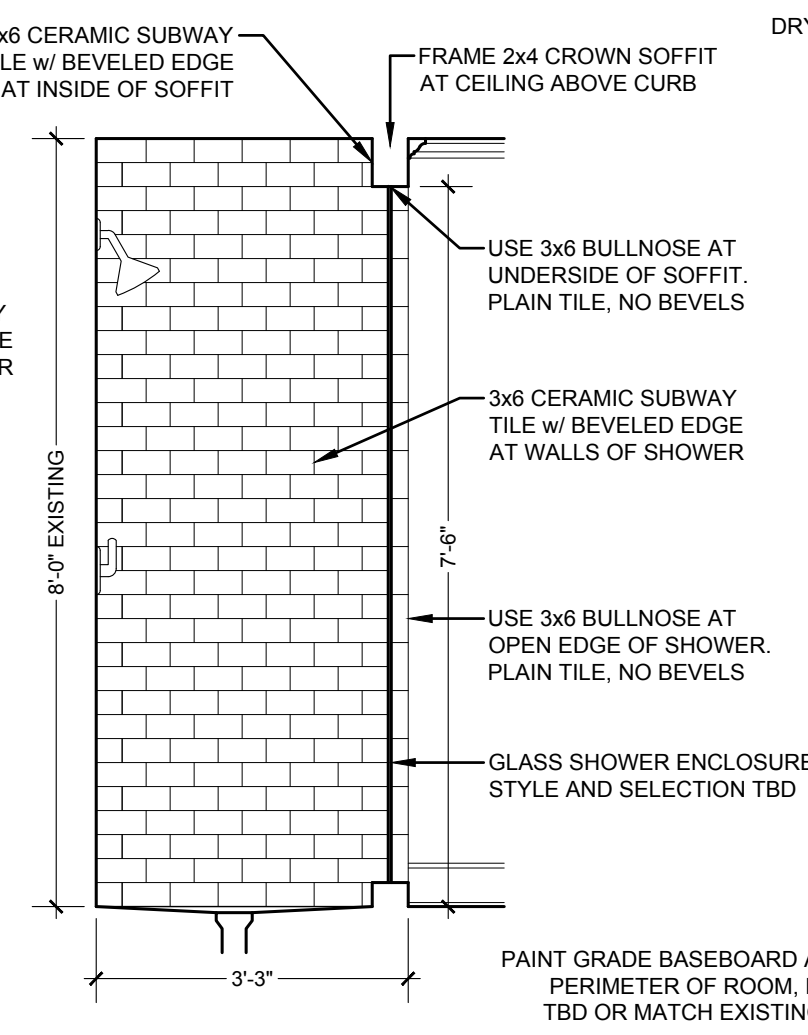
**5 POWDER ROOM  
WEST ELEVATION**  
1/2" = 1'- 0"



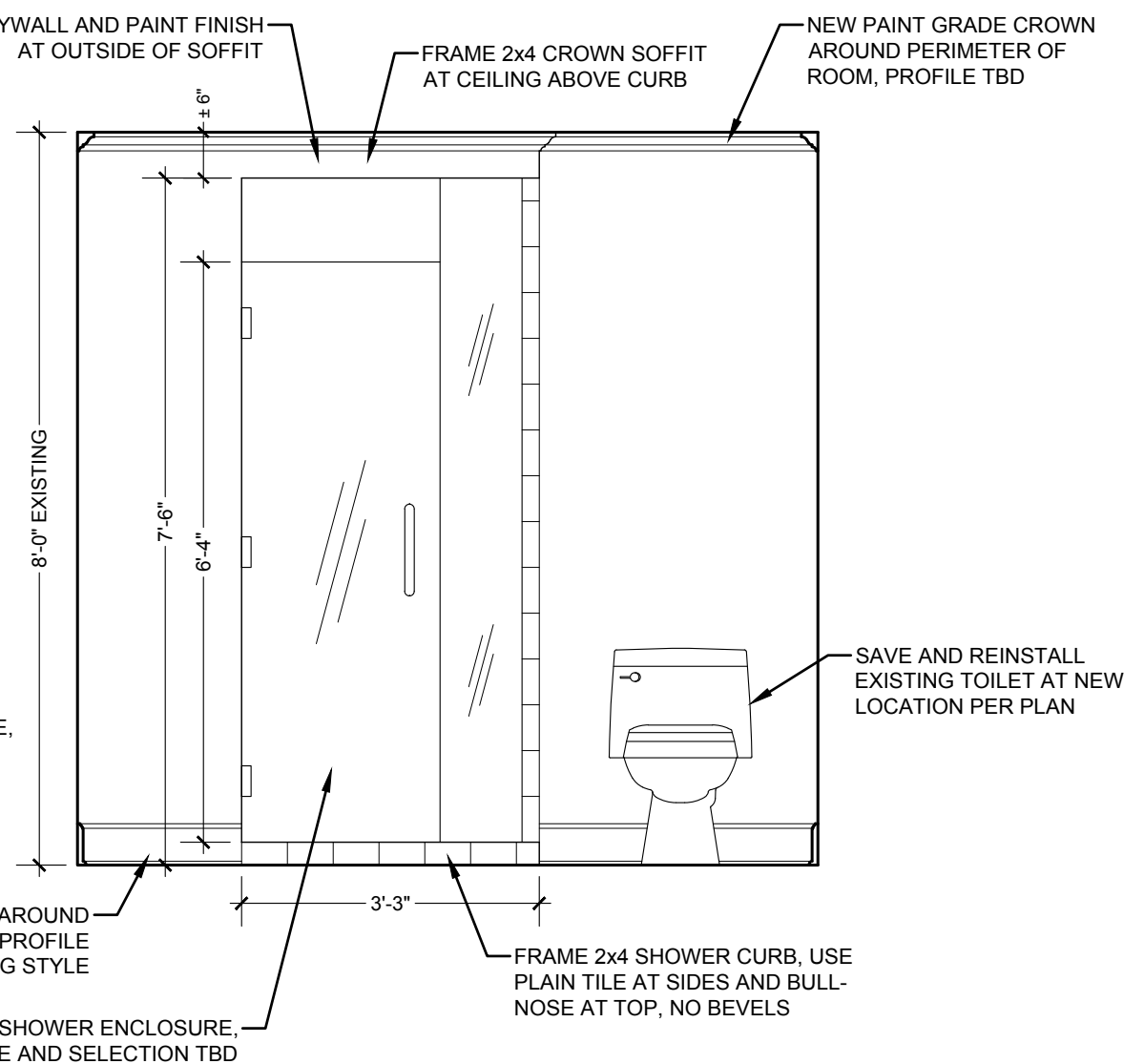
**6 UPPER BATH EAST ELEVATION**  
1/2" = 1'- 0"



**7 UPPER BATH  
SHOWER SOUTH ELEVATION**  
1/2" = 1'- 0"



**8 UPPER BATH  
SHOWER WEST ELEVATION**  
1/2" = 1'- 0"



**9 UPPER BATH WEST ELEVATION**  
1/2" = 1'- 0"

PRELIMINARY	
BID SET - JANUARY 3, 2018	
CONSTRUCTION SET - MARCH 17, 2018	
1	2
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**LOBERG REMODEL**  
2837 E. PARK PLACE  
MILWAUKEE, WI 53211

W156 N11238 PILGRIM RD.  
GERMANTOWN, WI 53022  
PHONE: (414) 797-0488



DRAWN BY: C.D.  
MAR. 17, 2018

WINDOW SCHEDULE																		
ROOM NAME	WINDOW	---- WINDOW ----								---- EXTERIOR FINISH ----				---- INTERIOR FINISH ----				HARDWARE
		TYPE	MODEL	ROUGH OP.	MASONRY OP.	HEAD HEIGHT	OPERATION	GLASS TYPE	* SCREEN	MATERIAL	TRIM STYLE	FINISH	GRILLES	MATERIAL	FINISH	JAMB SIZE	INTERIOR CASING	
DINETTE	A	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	B	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	C	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2420	2'-6 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	D	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2820	2'-10 <sup>8</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
DINETTE	E	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG WUDH 2820	2'-10 <sup>3</sup> / <sub>8</sub> " x 4'-1 <sup>1</sup> / <sub>2</sub> "	N/A	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	6-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
KITCHEN	F	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	** ± 2'-8" x 3'-8"	** ± 3'-0" x 4'-0"	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	MARVIN BRICK MOLD	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
KITCHEN	G	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	** ± 2'-8" x 3'-8"	** ± 3'-0" x 4'-0"	7'-0" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	MARVIN BRICK MOLD	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE
MASTER BEDROOM	H	DOUBLE HUNG	MARVIN <b>WOOD</b> ULTIMATE DOUBLE HUNG	*** ± 2'-10 <sup>3</sup> / <sub>8</sub> " x 4'-9 <sup>1</sup> / <sub>2</sub> "	N/A	6'-6" A.F.F.	OPERABLE	STANDARD LoE2 IG	* FULL SCREEN	PRE-PRIMED PINE WOOD	NONE	PAINT FINISH TO MATCH EXISTING	NONE	WOOD	PRE-FINISH WHITE	*** ± 4-9/16"	PAINT GRADE TO MATCH EXISTING	SATIN TAUPE

\* ALL INTEGRITY SCREENS ARE TO BE CHARCOAL FIBERGLASS MESH WITH PRE-PRIMED **WOOD** FRAMES, PAINT FINISH TO MATCH EXISTING HOUSE.

\*\* KITCHEN WINDOWS ARE TO BE CUSTOM SIZE TO FIT EXISTING JAMB AND MASONRY OPENING. FIELD VERIFY SIZES BEFORE ORDERING.

\*\*\* MASTER BEDROOM WINDOW IS TO BE CUSTOM SIZE TO FIT EXISTING JAMB AND WIDTH OF EXISTING DOOR OPENING. FIELD VERIFY SIZE BEFORE ORDERING.

1	PRELIMINARY
2	BID SET - JANUARY 3, 2018
3	CONSTRUCTION SET - MARCH 17, 2018

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