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St Ann Center for Intergenerational Care 2450 North Avenue

Request for Minor Modification of Detailed Plan Development File Number - 171611

February 13, 2018

Purpose

In March 2013, a Detailed Planned Development (DPD) was established for St. Ann Center for Intergenerational Care at 2450 West North Avenue (File NO. 121324), and was subsequently amended to approve changes to the building elevations in November 2014 as File No. 140969. A minor modification to the DPD was approved in November 2016 to allow for signage on the site (File No. 160609). St Ann Center for Intergenerational Care requests a Minor Modification of the existing DPD zoning for the property bordered by N. 25th Street, W. Meinecke Avenue, N. 24th Street, and North Avenue to permit a small building expansion to accommodate a pool on the northeast portion of the building, as well as a band shell on the northwest corner of the site. The mission of St. Ann Center for Intergenerational Care is to provide community-based health and educational services for children and frail adults and to serve as a resource and support for caregivers. St Ann Center is an intergenerational day care center providing programs and services to children, the frail elderly, and adults with disabilities. This proposed project will continue to develop the original vision for St Ann.

This Statement of Owner's Intent, together with the accompanying plan sheets and related materials, identified below, constitute and support the request for the minor modification of detailed development plan for the property.

II. Overall Development Concept

Existing Conditions

The project site consists of two city blocks bounded by North Avenue to the South, N. 24th Street to the East, N. 25th Street to the West, West Meinecke Avenue to the North, West Medford Avenue to the Northeast and is divided by N. 24th Place. The subject property consists of 27 parcels which range in size from 0.046-acres to 2.38-acres and together make up the approximately 7.43 acre piece of land. Historically, the subject property parcels were primarily occupied by residences with the exception of various store fronts and auto sales and service/repair uses which were present along West North Avenue (southern extent of the subject property). The former structures associated with the subject property were demolished between the 1950's and 1995, with the majority of the demolition activities occurring in the mid 1990's.





The City of Milwaukee has completed a Historic Land Use Investigation (June 4, 2012) for the site, and Sigma Environmental Services, Inc. (Sigma) of Milwaukee, Wisconsin has completed an AAI Phase I Environmental Site Assessment (ESA) of the Park West "D" property. Construction started in 2014. Unfortunately, despite having a AAI Phase 1 completed for the site, it was soon discovered that the soil contained more contamination than anticipated, at the expense of over \$1 million dollars to remediate the site. The St Ann Board of Directors elected at that time not to build the pool and locker rooms. Interior portions of the building were "white-boxed", and have been gradually completed as funds became available. The new facility opened in September 2015 at an investment of \$20 million dollars. In the State of Wisconsin's 2017 budget, dollars were allocated to complete the pool, the band shell and remaining interior portions of the project.

Proposed Development

The proposed project is a minor modification to the original detailed plan development. While not yet constructed, the pool was originally designed and approved as part of this plan. A small, approximately 1,450 square foot building addition is requested to accommodate the locker rooms adjacent to the pool. The band shell and pool support expansion were identified as future developments.

The new band shell shall consist of:

- 1,200 SF stage building
- 1,160 SF of stage
- Roof structure extending 25 feet beyond the stage floor.

The hard surface deck in front of the stage will allow for wheelchairs and other folding chairs to be assembled as needed. There will be no permanent seating. The extension of the roof is to protect the elderly and others from sun, wind and rain. There will be no permanent audio/visual (speakers or screens) attached to the building. The lighting provided will be for general setup and maintenance. Individual performances will be required to bring their own sound system and lighting.

The exterior of the building will be a combination of decorative split faced CMU and cement board lap siding. The roof will be a pitched system with dimensional fiberglass shingles. The materials are consistent with the main building, and will match in color and texture. Anchorage for temporary signage on each side of the band shell facing the main building shall be provided. The signage shall not exceed 48 SF each, and will be used for programs and performances at the band shell.

The Pool, Locker Room and Support Addition

The pool's primary use shall be for St Ann's Clients, as a therapy pool. The pool shall also be used by the childcare, to teach the children how to swim. The main body of the pool and volume will be a continuation of the interior intergenerational park, a two story volume supported by wood laminated columns and beams. The exterior of the building will be a combination of decorative split faced CMU, masonry brick and EIFS. The roof will be a pitched system with dimensional fiberglass shingles, aluminum gutters and downspouts. The window and door systems will be aluminum with clear, insulated glazing utilizing "Low E" technology. The pool and support addition will continue the original design intent.





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Information / Refreshment Kiosk

A small 75 SF wood structure will be added along the new West walk. Refreshments will consist of water, soda and snacks. No Alcohol will be served. This structure will mainly be used when the band shell is active.

The site improvements

A new walkway will wrap around the band shell and connect the main building from both the East and West sides. When the band shell is not being utilized, this walkway will be used for clients as part of their therapy. Landscaped areas between the public walk and the band shell structure as well as between the property lines and the structure will be added. This area will include lawn, planting areas and trees. Lighting will be provided along the walkway. Temporary banners, not more than 4 SF each shall be hung from the lighting to reinforce the Franciscan values of St Ann's. Additional parking is not being planned.

The existing Storm water bio-infiltration swales were originally designed to accommodate the proposed projects.

The attached pictures are of the current facility to give the commission an understanding of the character and materials we propose to continue to use for this project.

All other aspects of the DPD remain unchanged.





LOCATION OF POOL AND SUPPORT SPACES













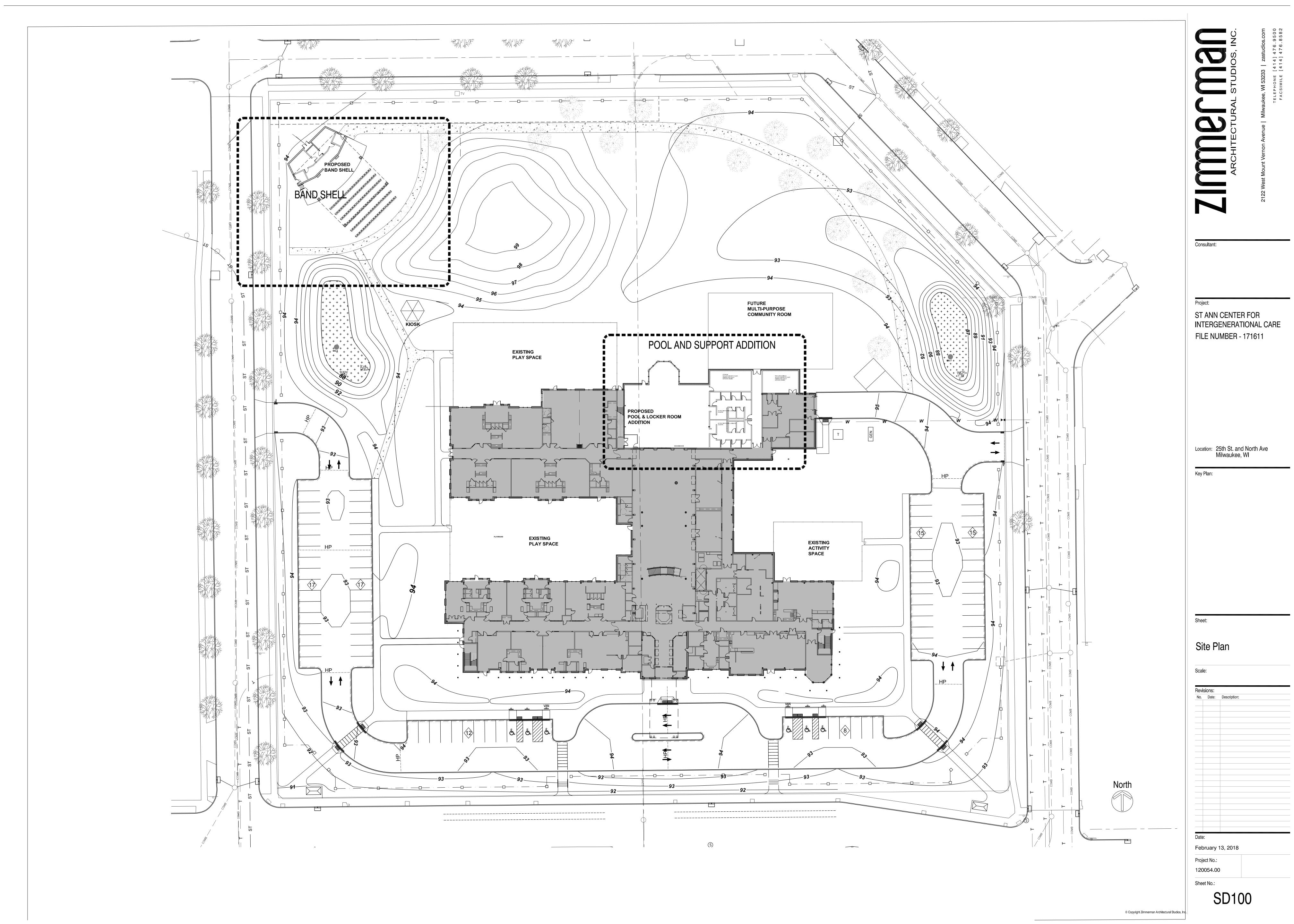












Consultant:

ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, Wl

Key Plan:

Landscape Details Schedules & Notes

Revisions:

No. Date: Description: Wrap trunk of tree if required (See specifications).

February 13, 2018 Project No.: 120054.00

Sheet No.:

Seeding Notes & Mixes

General Notes

"Landscaping."

discrepancies are found.

Landscape Notes

or existing building foundations.

the project site immediately.

1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances,

including (but not limited to) select portions of City of Milwaukee Municipal Code Ch. 295-405

1.02 See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes.

Landscape dwgs. for landscape plans, site amenities, details, schedules, notes. See Architectural

dwgs. for all construction. See Electrical drawings for all power, circuiting, lighting & access control.

See Civil dwgs. for all grading, stormwater management, site utilities & erosion control. See

1.03 Contractor shall provide shop drawings and material submittals of **all** hardscape & landscape

including (but not limited to) ornamental fencing & all access control equipment.

prior to proceeding. Coordinate with local public utility locating entity as needed.

with the City of Milwaukee. Owner, LA & contractor to coordinate.

healthy plant growth. Remove all debris greater than 1" diameter.

fertilizer, rototilled into the top 6" of blended topsoil in beds.

not shown individually, refer to the spacing shown in the plant schedule.

landscape fabric or weed barrier is to be installed.

2.12 All bed edging shall be shovel-cut unless otherwise noted.

"ProSlide", or approved equal.

existing site and grading conditions prior to construction.

sizes & plant sources to be used on the project.

1.06 Contractor to verify hardscape layout prior to construction. Contact Landscape Architect if

1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.

1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall

1.09 Any work done in the public right-of-way shall require an encroachment & maintenance agreement

2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area

2.02 All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.

2.03 Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant

2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the

2.05 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is

2.07 Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify

2.08 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3

remaining soil. Plant Starter Mix to be provided by Liesener Soils, Cedarburg WI, or approved equal.

perennials! All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no

2.09 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter

2.10 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Groundcover beds

do not receive a cover of shredded bark mulch. Do not allow mulch to touch stems or leaves of

2.11 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants

2.13 Stone mulch areas to contain 2-3" of decorative stone installed over poly weed barrier. Stone shall be

Stone mulch shall be edged with 3/16" x 4" alum. mill-finish edging, Permaloc "CleanLine" or

2.15 Contractor shall be responsible for providing base bid comprehensive landscape establishment,

maintenance and warranty care for one year after installation. Include an add-alternate cost to

continue maintenance through year two. Prior to beginning installation, the contractor shall submit a

2.14 Contractor shall provide positive drainage away from all structures for a minimum of 10'.

12-mo. calendar for review/approval including all anticipated maintenance activities.

Mississippi washed @ min. 1" dia, or approved equal. Coordinate final material selection with LA.

Landscape Architect if drainage or moisture problems are encountered while planting.

completed by the Landscape Architect. Untagged materials will be assumed to be deficient.

2.06 All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All lawn areas

shall have min. 6". Suitable existing soil may be used & mixed if previously approved. Contractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Remove excessive clay, gravel & stones detrimental to

ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Landscape Architect reserves

the right to reject any substandard planting material. Such rejected material shall be removed from

keys. Forward a material list to the Landscape Architect prior to construction identifying species,

and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all

construction elements shown in plan set for Landscape Architect review prior to construction,

1.04 Contractor to provide samples for Landscape Architect's approval on all colors, finishes & materials

prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.

1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above-

and below-grade utilities, both public & private, prior to commencement of site construction. If

unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect

3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.

3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.

3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.

3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.

3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.

3.06 No seeding shall occur if the wind exceeds 12 MPH.

3.07 Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others (see 3.09); installation coordination will be required. In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect.

3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.

3.09 Contractor is responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. If necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.

3.10 Seed mix substitutions will be considered only if submitted for approval prior to seven days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications. In addition, non-Bluegrass seeded areas shall be overseeded with an Annual Rye cover crop @ 5 lbs per AC in spring/summer or 15 lbs per AC in fall:

"Deluxe 50 Mix" shall be supplied by Reinders, Sussex WI, 262-786-3300. Apply @ 5 lbs per 1000 GSF. Install where 'Seeded Turf' is noted. Also apply "General 30 Mix" @ 2 lbs per 1000 GSF. All other turf shall be sodded, see specs.

3.11 Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for all seeded areas for the following durations not less than one year after establishment:

- Bluegrass areas: 12 months

Preliminary Plant Schedule

8' Long hardwood stake placed on windward and .

leeward side of tree. Galvanized wire with rubber

Remove excess soil from top of ball to natural -

Remove wire baskets or cut top and fold down in -

the pit after positioned and backfilled halfway.

2-4" depth of woody mulch: Shredded hardwood

bark, aged or similar mulch. Keep mulch 6"

hose (typical) Alternate: Nylon strapping

surface of rootball-if needed.

Cut and remove all poly ties

Backfill: Use approved backfill per

specification. Water thoroughly to

eliminate air pockets. Do not tamp!

Soil under rootball undisturbed to

support root ball and reduce settling.

back from trunk.

Symbol	Qty Prop.	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
[Qty. 03] Shad	e Trees					
Ace Cel	<u>-</u>	Acer x. freemanii 'Celebration'	Celebration Upright Maple	3" Cal.	B/B	As Shown	
Ace Mar		Acer x. freemanii 'Marmo'	Marmo Maple	3" Cal.	B/B	As Shown	
Ace Sac		Acer saccharum	Sugar Maple	3" Cal.	B/B	As Shown	
Gle Sky		Gleditsia tri. 'Skyline'	Skyline Honeylocust	3" Cal.	B/B	As Shown	
Til Gle		Tilia x. flavens 'Glenleven'	Glenleven Linden	3" Cal.	B/B	As Shown	
[Qty. 24	l] Orna	mental Trees					
Ame Col	<u>-</u>	Amelanchier x. 'Cole's Select'	Cole's Select Serviceberry	8' Ht.	B/B	As Shown	Heavy Three
Mal Adi		Malus 'Adirondack'	Adirondack Upright Crab	2.5" Cal.	B/B	As Shown	<u> </u>
Mal Fir		Malus sargentii 'Firebird'	Firebird Crabapple	5-6' Ht.	B/B	As Shown	Single St
Syr Ivo		Syringa ret. 'Ivory Silk'	Ivory Silk Jap. Tree Lilac	2.5" Cal.	B/B	As Shown	Single St
Pyr Aut		Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Ornamental Pear	2.5" Cal.	B/B	As Shown	Single St
[Qty. TI	BD] Lar	ge Shrubs					
Thu Tec		Thuja occ. 'Technito'	Dwarf Techny Arborvitae	5' Ht.	B/B	As Shown	
Vib Red		Viburnum dentatum 'JN Select'	Red Feather Arrowwood Viburnum	48" Ht.	B/B	72" o.c.	
Vib Moh		Viburnum lantana 'Mohican'	Wayfaringtree Viburnum	48" Ht.	B/B	As Shown	
[Qty. 50)0sf] De	eciduous Shrubs					
Cot Api	-	Cotoneaster apiculatus	Cranberry Cotoneaster	12-15" Ht.	2 Gal.	48" o.c.	
Die Lon		Diervilla lonicera 'Jewell'	Jewell Dwfbush Honeysuckle	18-24" Ht.	2 Gal.	54" o.c.	
Hyd Gra		Hydrangea arb. 'Grandiflora'	Snowhi l l Hydrangea	18-24" Ht.	2 Gal.	48" o.c.	
Hyd Lit		Hydrangea pan. 'Little Lamb'	Little Lamb PeeGee Hydrangea	24-30" Ht.	5 Gal.	48-60" o.c.	
Phy Cen		Physocarpus 'Center Glow'	Center Glow Ninebark	30-36" Ht.	5 Gal.	60" o.c.	
Rhu Gro		Rhus aromatica 'Gro Low'	Gro Low Sumac	12-15" Ht.	2 Gal.	48" o.c.	
Rib Gre		Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	18-24" Ht.	2 Gal.	42-48" o.c.	
Ros SPP		Various Rose species as desired by Sr. Edna		15-18" Ht.	2 Gal.	30-36" o.c.	Reblooming
Spi Fri		Spiraea fritschiana	Fritsch Spirea	15-18" Ht.	2 Gal.	42" o.c.	
Syr Pal		Syringa meyeri 'Palibin'	Palibin Dwf. Lilac	30-36" Ht.	7 Gal.	54-60" o.c.	
Vib Spi		Viburnum carlesii 'Spiced Bouquet'	Spiced Bouquet Comp. Kspice Vib.	30-36" Ht.	7 Gal.	60" o.c.	
Vib Com		Viburnum opulus 'Compactum'	Compact European Cranb. Vib.	18-24" Ht.	2 Gal.	48" o.c.	
[Qty. 25	0sf] Ev	vergreen Shrubs				'	
Jun Kal		Juniperus chinensis 'Kallay'	Kallay Compact Juniper	24" sprd.	7 Gal.	54-60" o.c.	
Jun Buf		Juniperus sabina 'Buffalo'	Buffalo Juniper	24" sprd.	7 Gal.	48" o.c.	
[Qty. 10	00sf] Pe	erennials & Grasses					
Alc Mol		Alchemilla mollis	Lady's Mantle	1 Gal.	Cont.	24" o.c.	
Hem Spp		50/50 blend of Hemerocallis 'H	appy Returns" & 'Rosy Returns'	4.5"	Cont.	18-24" o.c.	In drifts of
Hem Hyp		Hemerocallis 'Hyperion'	Hyperion Daylily	1 Gal.	Cont.	24" o.c.	
Hos Big		Hosta 'Big Daddy'	Big Daddy Hosta	1 Gal.	Cont.	30" o.c.	
Hos Roy		Hosta 'Royal Standard'	Royal Standard Hosta	1 Gal.	Cont.	24-30" o.c.	
Mis Mor		Miscanthus 'Morning Light'	Morning Light Maidenhair Grass	1 Gal.	Cont.	30" o.c.	
Nep Wal		Nepeta 'Walker's Low'	Walker's Low Catmint	4.5"	Cont.	18" o.c.	
Per Lit		Perovskia atr. 'Little Spire'	Little Spire Russian Sage	4.5"	Cont.	24" o.c.	
Sed Aut		Sedum 'Autumn Joy'	Autumn Joy Sedum	1 Gal.	Cont.	24" o.c.	
Spo Het		Sporobolus heterolepsis	Prairie Dropseed	1 Gal.	Cont.	18-24" o.c.	

Finished grade -Approved backfill, thoroughly mixed prior to installation. —Native grade or certified 3x DIA. OF ROOTBALL compacted grade. NOTES: -See planting specifications prior to

installation of plants.

Shrub Planting Detail

Tree Planting Detail

Prune tree as required- methods

vary depending on species and

time of year. (See specification)

Plant tree at 1"-2" above level of

finish grade. Allow for settling.

Rootball - Remove burlap and

twine from top $\frac{1}{3}$ rootball. If

synthetic matr'l - remove

completely once in place.

Notes: -See planting

specifications prior to installation

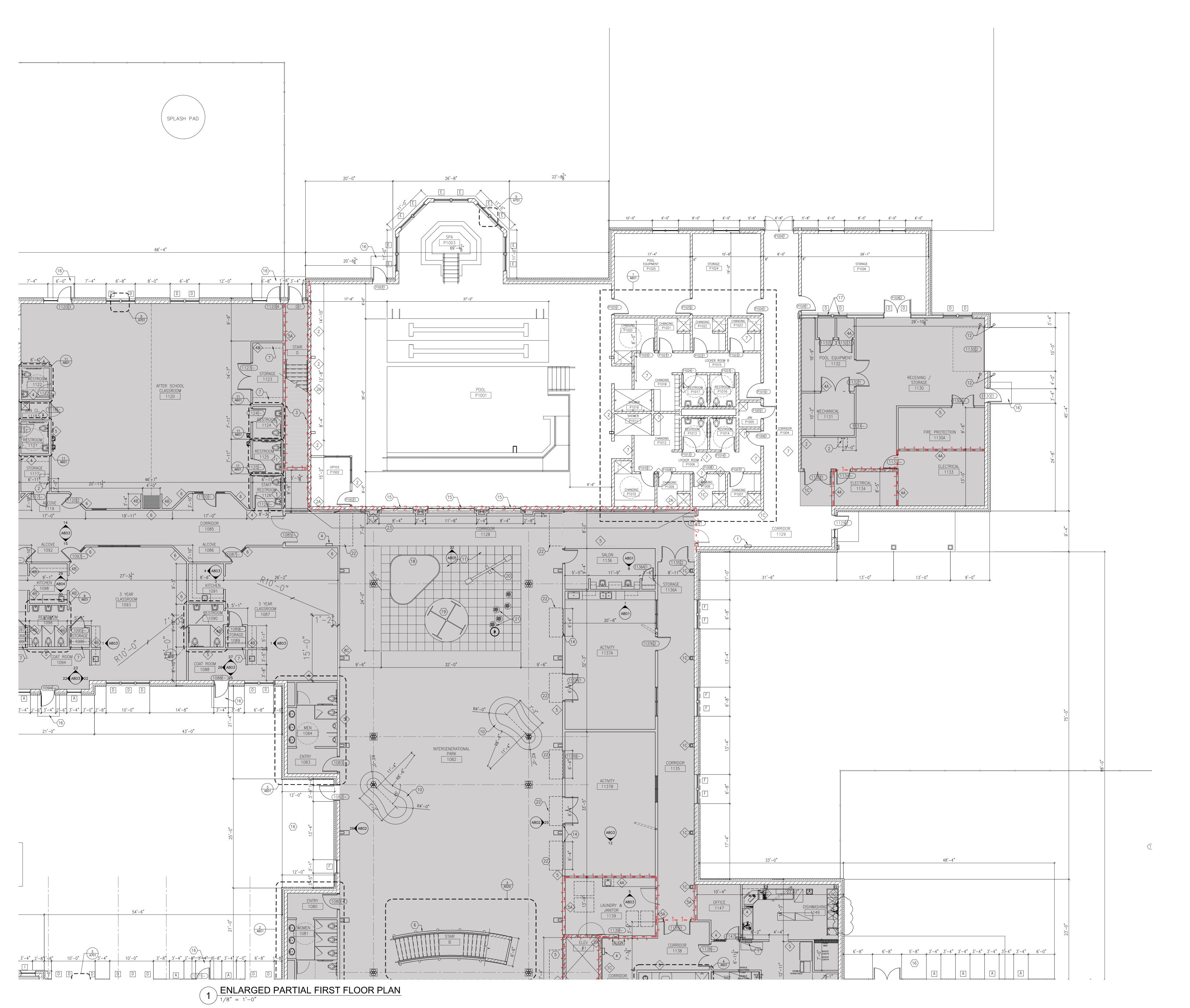
Remove transit guard.

— 4" soil saucer.

Existing soil.

of plants.

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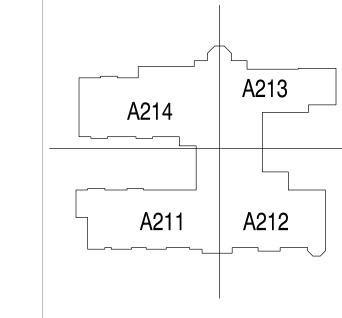
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ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, WI

Key Plan:



Sheet:

Partial First Floor

Scale

1/8"=1'-0"

Revisions:

No. Date: Description:

Date:
February 13, 2018
Project No.:

Sheet No.:

120054.00

A200



WEST ELEVATION

1/8" = 1'-0"

POOL ADDITION FIBERGLASS SHINGLES TO MATCH EXISTING PREFINISHED ALUMINUM COPING COLOR AND SIZE TO MATCH EXISTING. WINDOWS TO BE DARK BRONZE ANODIZED TO MATCH EXISTING SPLIT FACED CMU BASE (COLOR AND TEXTURE) TO MATCH EXITING BUILDING

1 NORTH ELEVATION
1/8" = 1'-0"

SPLIT FACED CMU BASE (COLOR AND TEXTURE) TO MATCH EXITING BUILDING windows to be dark bronze anodized to match existing POOL ORIGINAL DESIGN AS APPROVED IN 2013

SPLIT FACED CMU BASE (COLOR AND TEXTURE) TO MATCH EXITING BUILDING

PREFINISHED ALUMINUM COPING COLOR AND SIZE TO MATCH EXISTING.

CEMENT PLANK SIDING TO MATCH EXISTING _____

PAINTED HOLLOW METAL FRAME AND DOOR

LOCKER ROOMS AND SUPPORT SPACES

FIBERGLASS SHINGLES TO MATCH EXISTING _____

Consultant:

ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, WI

Key Plan:

Exterior Elevations

Scale: 1/8"=1'-0" Revisions:

No. Date: Description:

February 13, 2018

Project No.: 120054.00

> Sheet No.: A400

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Consultant:

Project:

PREF

ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, WI

Key Plan:

Sheet:
BAND SHELL

PLAN

Scale:

Revisions:

No. Date: Description:

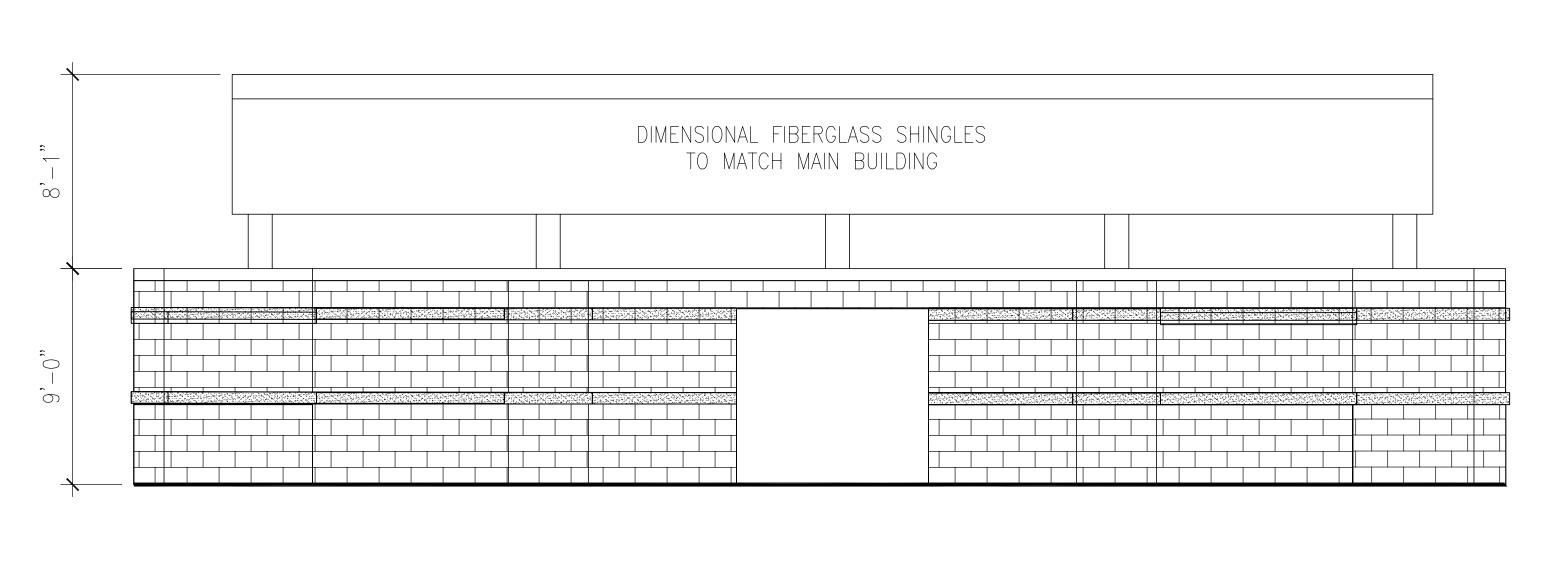
Date:
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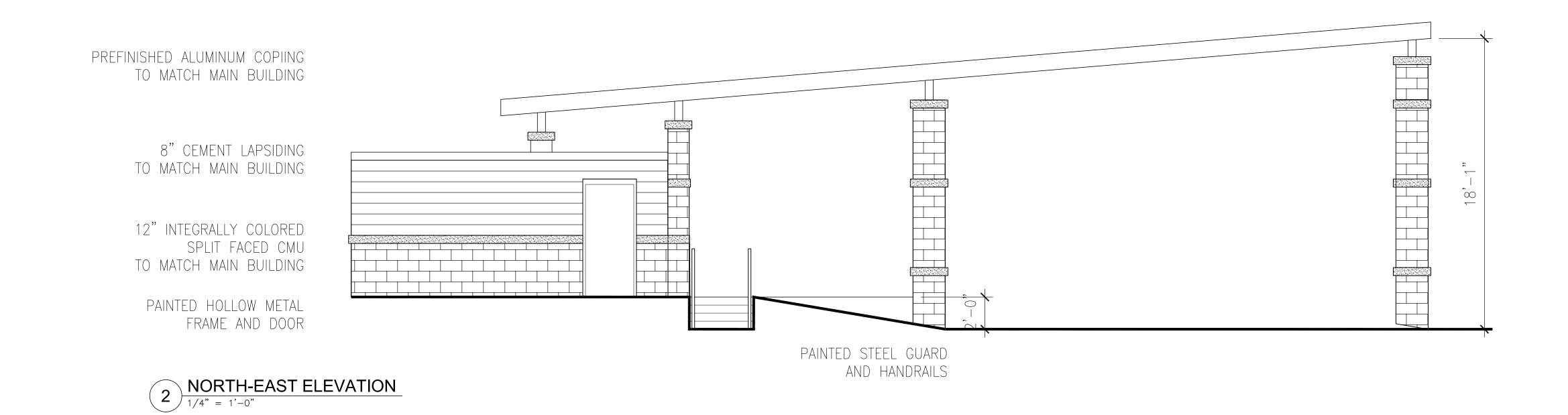
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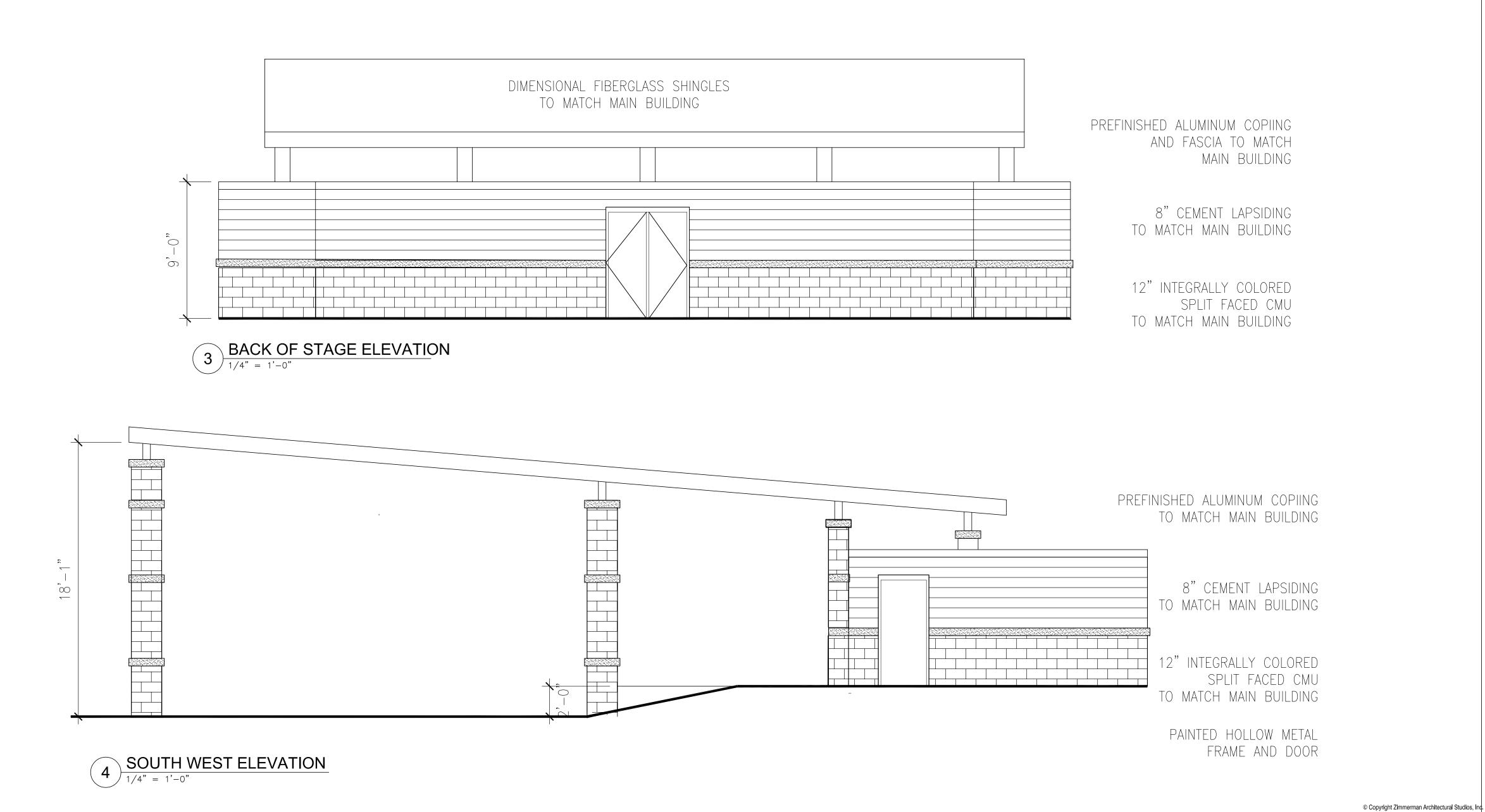
ST-1

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1 FRONT OF STAGE ELEVATION 1/4" = 1'-0"





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ST ANN CENTER FOR INTERGENERATIONAL CARE FILE NUMBER - 171611

Location: 25th St. and North Ave Milwaukee, WI

Key Plan:

Sheet:
BAND SHELL

ELEVATIONS

Scale:

Revisions:

No. Date: Description:

te: bruary 13, 2018

February 13, 2018
Project No.:
120054.00

Sheet No.:

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