

# WGEMA CAMPUS WGEMAS BUILDING

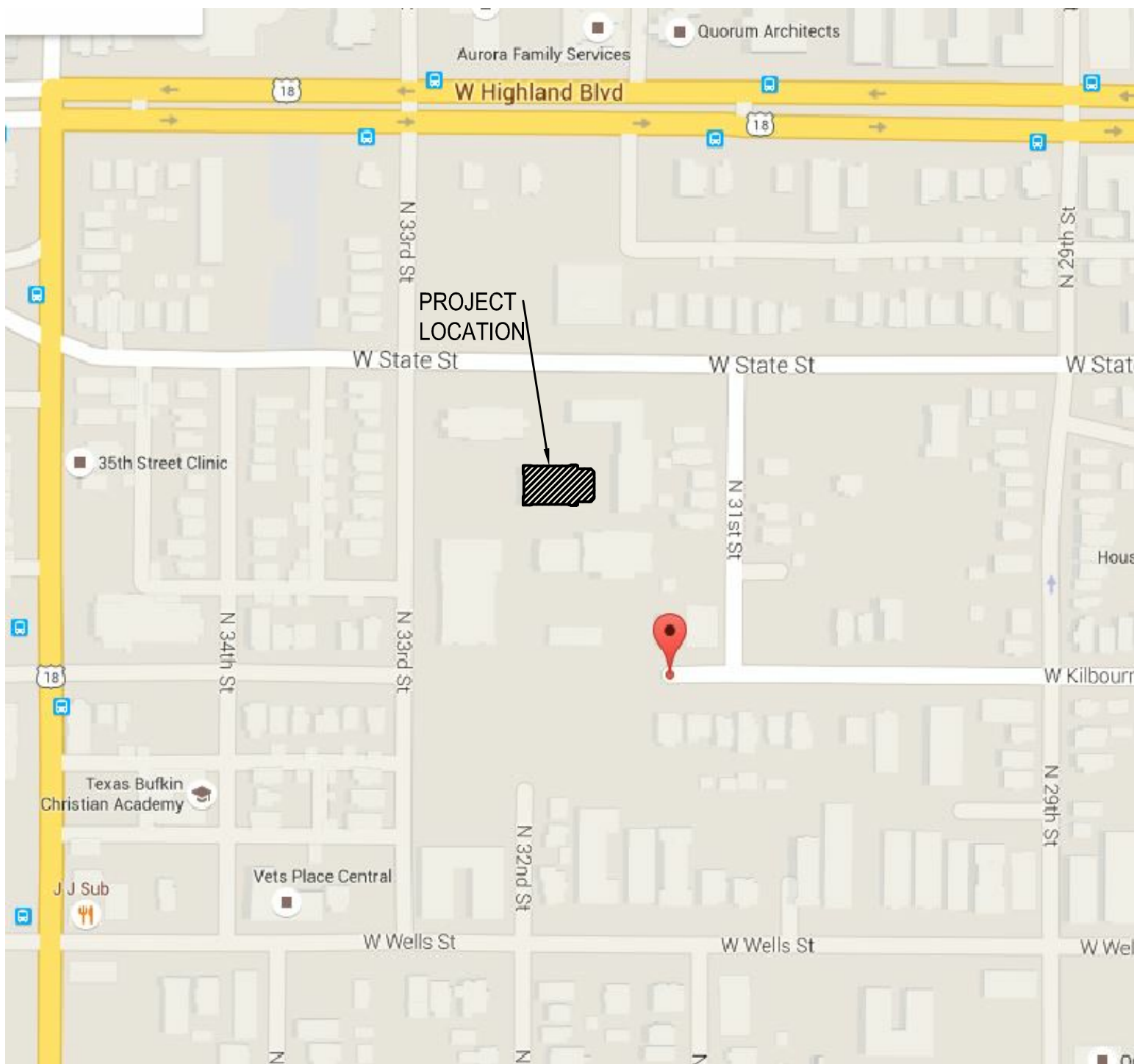
3136 WEST KILBOURN AVENUE  
MILWAUKEE, WISCONSIN 53203

## EXTERIOR STABILIZATION

DATE: DECEMBER 12, 2017

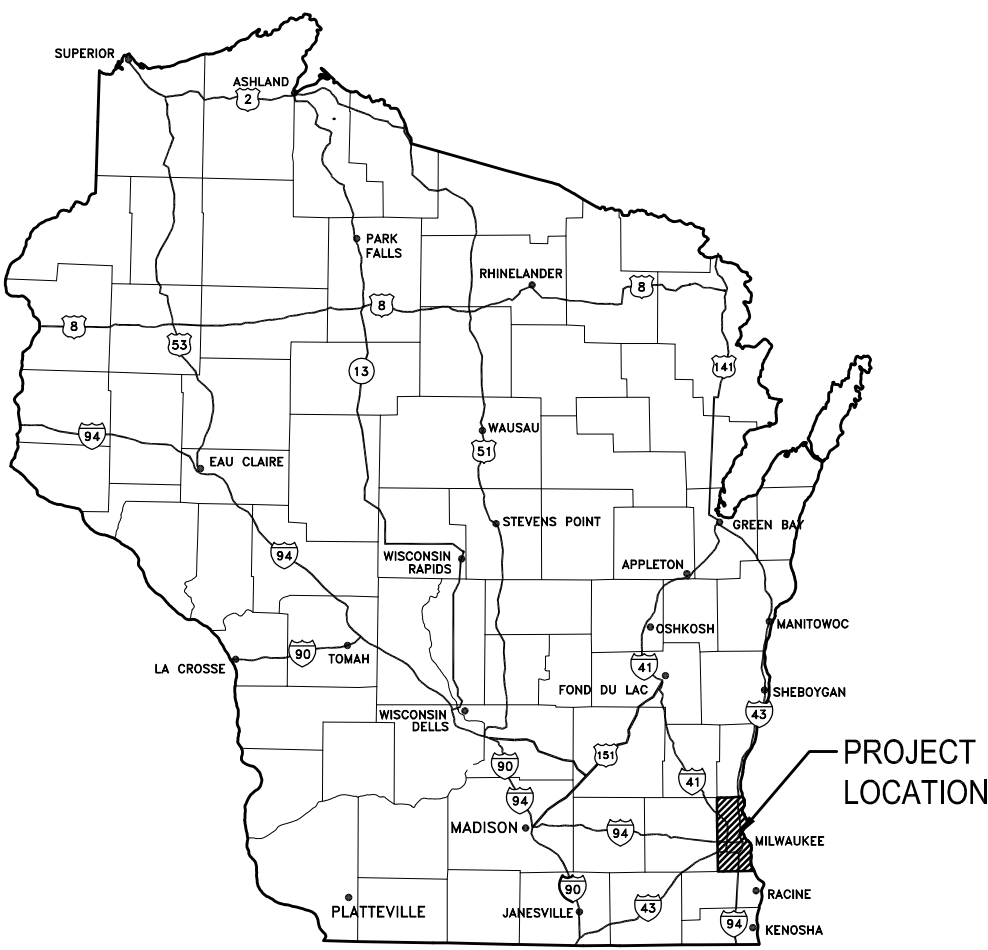
PROJECT NUMBER: 15014.04

LOCATION MAP:



CONTACT INFORMATION:

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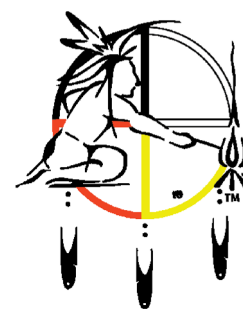
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**ARCHITECTURAL**  
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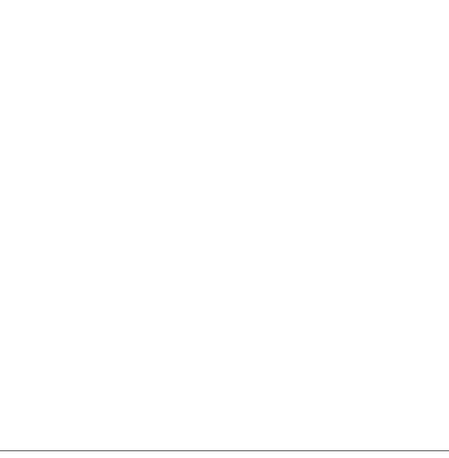


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**WGEMA CAMPUS  
WGEMAS BUILDING**  
EXTERIOR STABILIZATION

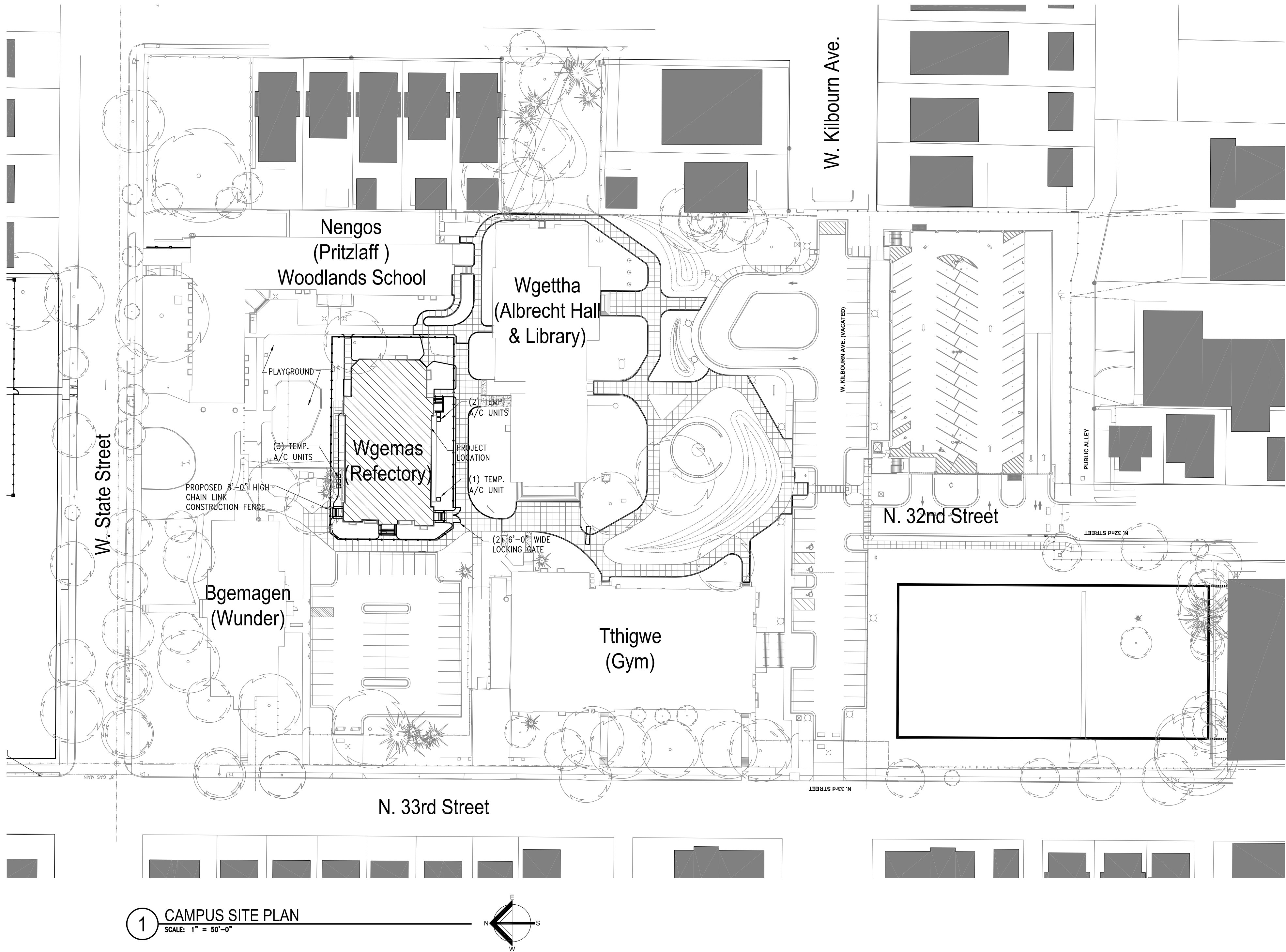




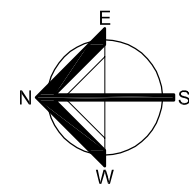


Dec 12, 2017 - 10:53am  
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1 CAMPUS SITE PLAN  
SCALE: 1" = 50'-0"



## GENERAL NOTES

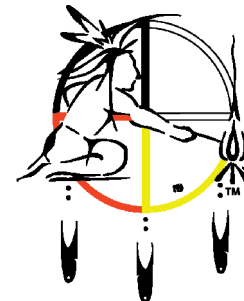
- COORDINATE CONSTRUCTION ACCESS POINT TO PROJECT AREA WITH OWNER / CONSTRUCTION MANAGER.
- COORDINATE STAGING AREA, CONTRACTOR PARKING, DUMPSTER LOCATIONS AND MATERIAL STAGING WITH OWNER / CONSTRUCTION MANAGER.
- CONTRACTORS TO MAINTAIN PUBLIC VEHICLE AND PEDESTRIAN ACCESS TO ALL SURROUNDING BUILDINGS.
- ALL AREAS ENCLOSED BY PERIMETER CONSTRUCTION FENCING TO BE CLEARLY MARKED AS HARD HAT ZONES.
- PROVIDE TEMPORARY "CONTRACTOR ENTRY" SIGNAGE AT A LOCATION TO BE DETERMINED BY OWNER ALONG WITH TEMPORARY DIRECTIONAL SIGNAGE TO DIRECT THE PUBLIC SAFELY THRU THE SITE AND CONSTRUCTION DELIVERIES TO THE PROPER ENTRY POINTS.
- THE LEAD CONTRACTOR SHALL PROVIDE A NEAT APPEARING PROTECTIVE FENCE IN THE PROJECT STAGING AREA AS INDICATED ON THE DRAWING, CONSTRUCTED OF STANDARD GALVANIZED CHAIN LINK FENCE POSTS OF SUFFICIENT LENGTH FOR LINE POSTS AND SPACED NOT TO EXCEED 8'-0" APART. CORNER POSTS AND GATE POSTS ARE TO BE GALVANIZED STEEL PIPE OF NOT LESS THAN 2 1/2" O.D. AND SHALL BE PROPERLY BRACED. AN 8'-0" HIGH CHAIN LINK FENCE SHALL BE SECURELY FASTENED TO THE SUPPORTS. PLASTIC FENCING IS NOT ACCEPTABLE. PROVIDE GATES, PROPERLY CONSTRUCTED AND BRACED, COMPLETE WITH HINGES, HASPS, AND PADLOCKS IN NUMBER AND LOCATION REQUIRED FOR PROPER CONTROL, DELIVERY AND DISTRIBUTION OF MATERIAL AND EQUIPMENT. GATE POSTS SHALL BE ADEQUATELY BACK TIED AND ANCHORED TO INSURE A RIGID INSTALLATION. ALL PROTECTIVE FENCING SHALL BE MAINTAINED IN AN UPRIGHT, ORDERLY FASHION THROUGHOUT THE CONSTRUCTION SCHEDULE. IN AREAS WHERE EXISTING TREES ARE TO BE PROTECTED, THE AREA INSIDE THE PROTECTIVE FENCING SHALL NOT BE USED FOR ANY PURPOSE RELATED TO CONSTRUCTION ACTIVITIES, SUCH AS MATERIAL STORAGE, VEHICLE PARKING, PORTABLE TOILETS, OR OTHER DISRUPTIVE ACTIVITIES THAT WOULD RESULT IN DAMAGE OF ANY KIND TO THE SITE INSIDE THE FENCE.

## LEGEND

—X—X— CONSTRUCTION FENCE



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12/12/2017

Sheet Name:  
CAMPUS SITE PLAN

Date: 12/12/2017

Drawn By: JPB/CGH

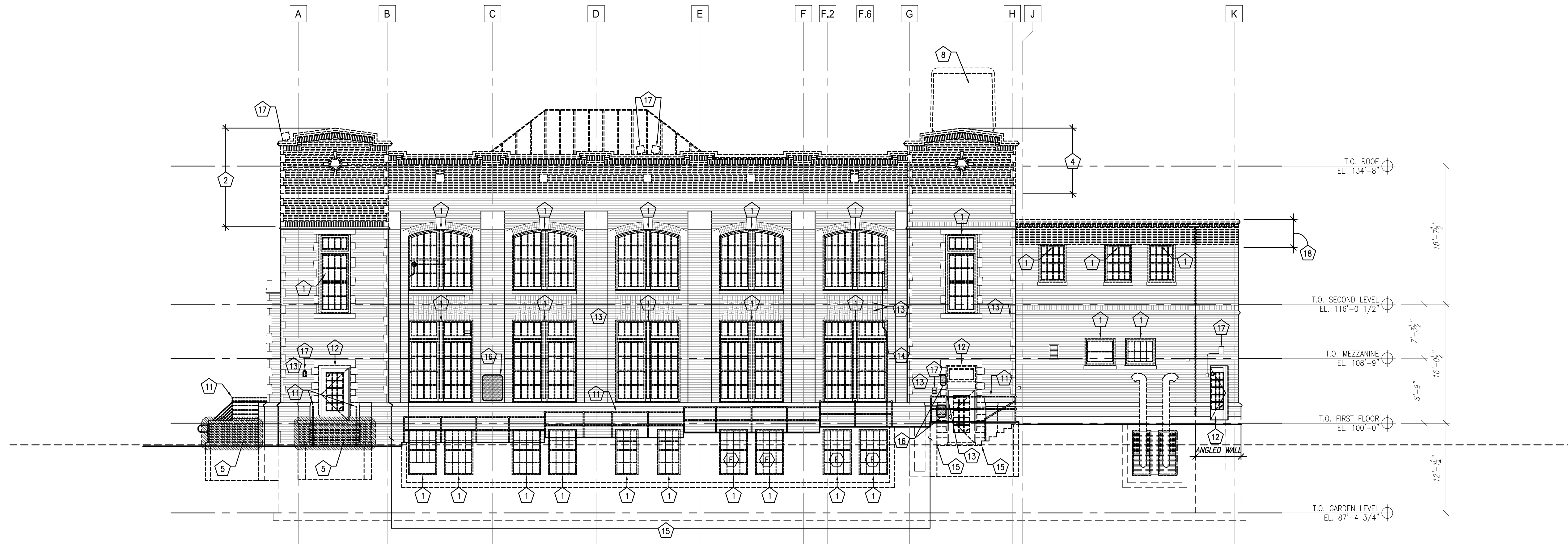
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Sheet No.

**C1.0**



Dec 12, 2017 - 1:54pm  
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1 SOUTH BUILDING ELEVATION - DEMOLITION  
SCALE: 1/8" = 1'-0"

## DEMOLITION NOTES

- 1 REMOVE WOOD WINDOW.
- 2 DISMANTLE CORNER PARAPET AND WALL FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. EVALUATE BACKUP MASONRY AND EMBEDDED STEEL FOR POTENTIAL REPAIR/STRUCTURAL REINFORCING.
- 3 DISMANTLE BRICK ARCH.
- 4 DISMANTLE EXISTING PARAPET DOWN TO LIMESTONE BANDING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. EVALUATE STEEL FOR POTENTIAL STRUCTURAL REINFORCING ONCE EXPOSED AND CLEANED.
- 5 DISMANTLE CONCRETE STAIR, METAL HANDRAILS, MASONRY SIDE WALLS AND ALL RELATED FOOTINGS. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. SEVERELY SPALLED LIMESTONE SHALL NOT BE REUSED.
- 6 DISMANTLE CONCRETE RAMP, METAL HANDRAILS AND ALL RELATED FOOTINGS.
- 7 DEMOLISH BRICK SHED ADDITION IN ITS ENTIRETY. REMOVE FOOTINGS AND FOUNDATIONS BACK TO THE EXISTING BUILDINGS. PROVIDE TEMPORARY SUPPORT AT OPENING IN EXISTING MASONRY WALL AS NEEDED.
- 8 DEMOLISH CHIMNEY IN ITS ENTIRETY.
- 9 REMOVE METAL DOOR AND FRAME AND LIMESTONE SURROUND TO ALIGN NEW DOOR OPENING WITH EXISTING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED.
- 10 NOT USED.
- 11 REMOVE METAL GUARDRAILS AND HANDRAILS TO BE REPLACED.
- 12 REMOVE CORRODED STEEL DOOR FRAME AND DOOR TO BE REPLACED.
- 13 REMOVE ALL NON-ESSENTIAL HARDWARE AND ANCHOR BOLTS FROM MASONRY SURFACES. REPLACE DAMAGED BRICK.
- 14 REMOVE ELECTRICAL CONDUIT AND ASSOCIATED WIRES BACK TO SOURCE. REPLACE DAMAGED BRICK. SEE ELECTRICAL.
- 15 REMOVE PLANT OVERGROWTH FROM BUILDING FACADE AND WINDOW WELLS.
- 16 REMOVE REMNANTS OF PREVIOUSLY REMOVED VINES THAT ARE STILL ATTACHED TO THE BUILDING FACADE.
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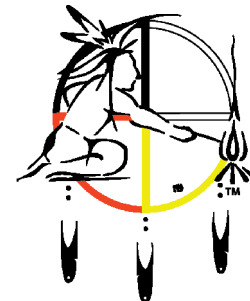
## LEGEND

-  AREA OF RECONSTRUCTION
-  VINES TO BE REMOVED





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Sheet Name:  
NORTH BUILDING  
ELEVATION - DEMOLITION

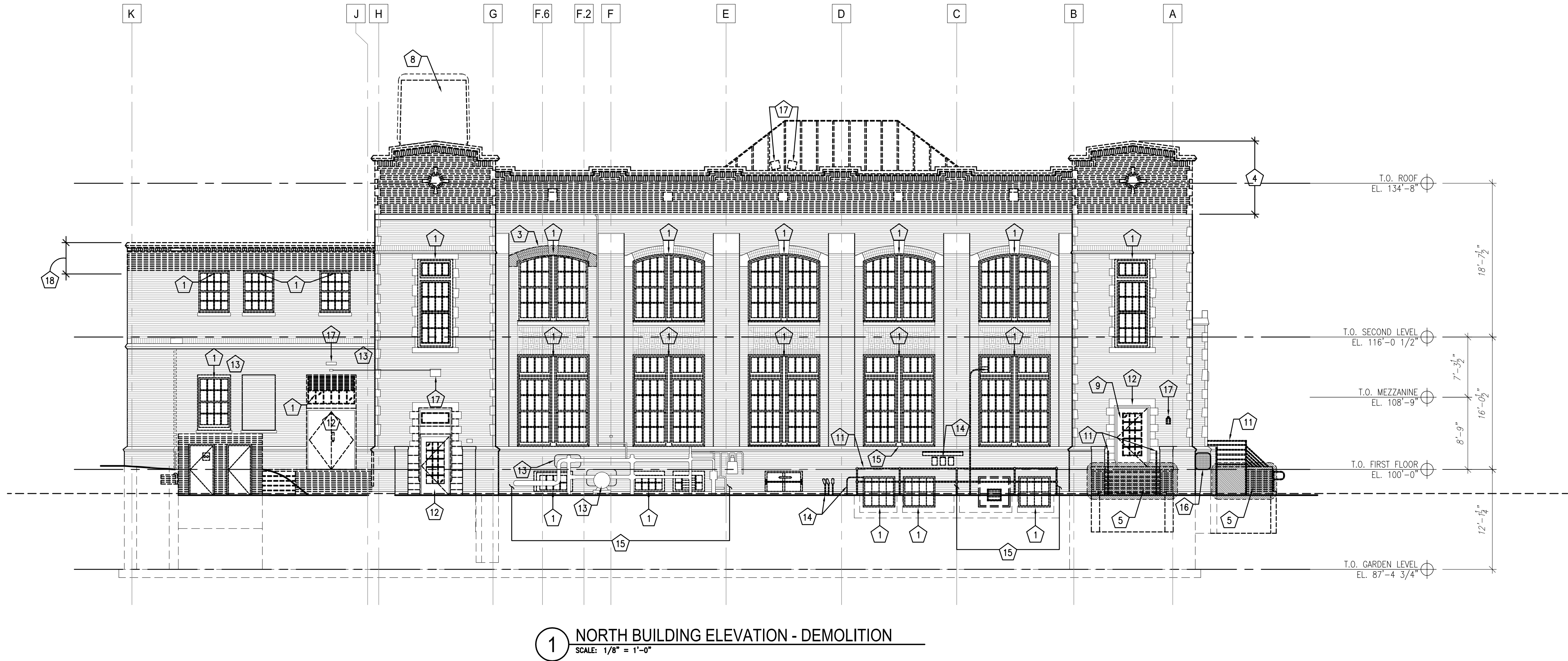
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Project No.: 15014.04

Sheet No.

**D3.1**



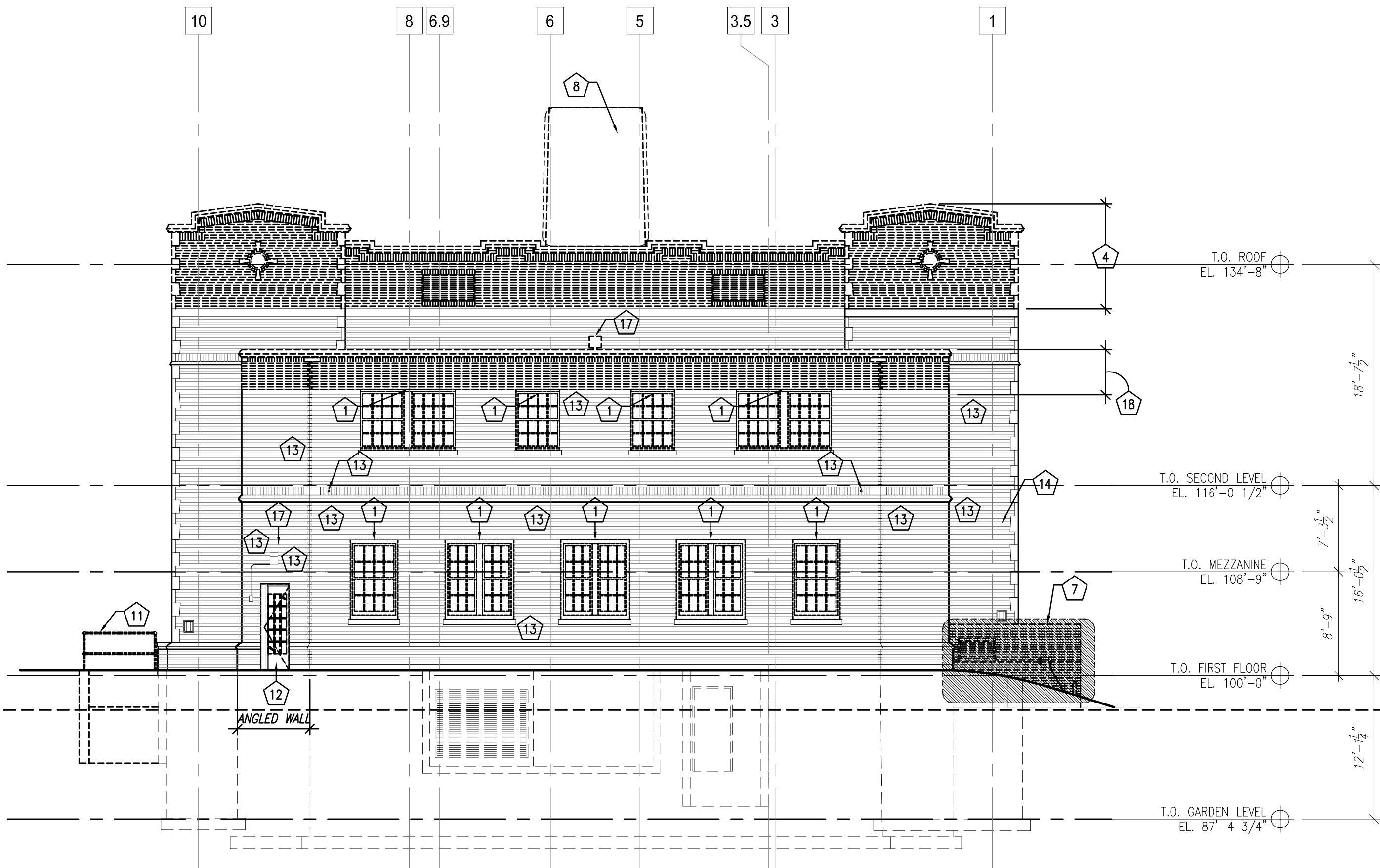
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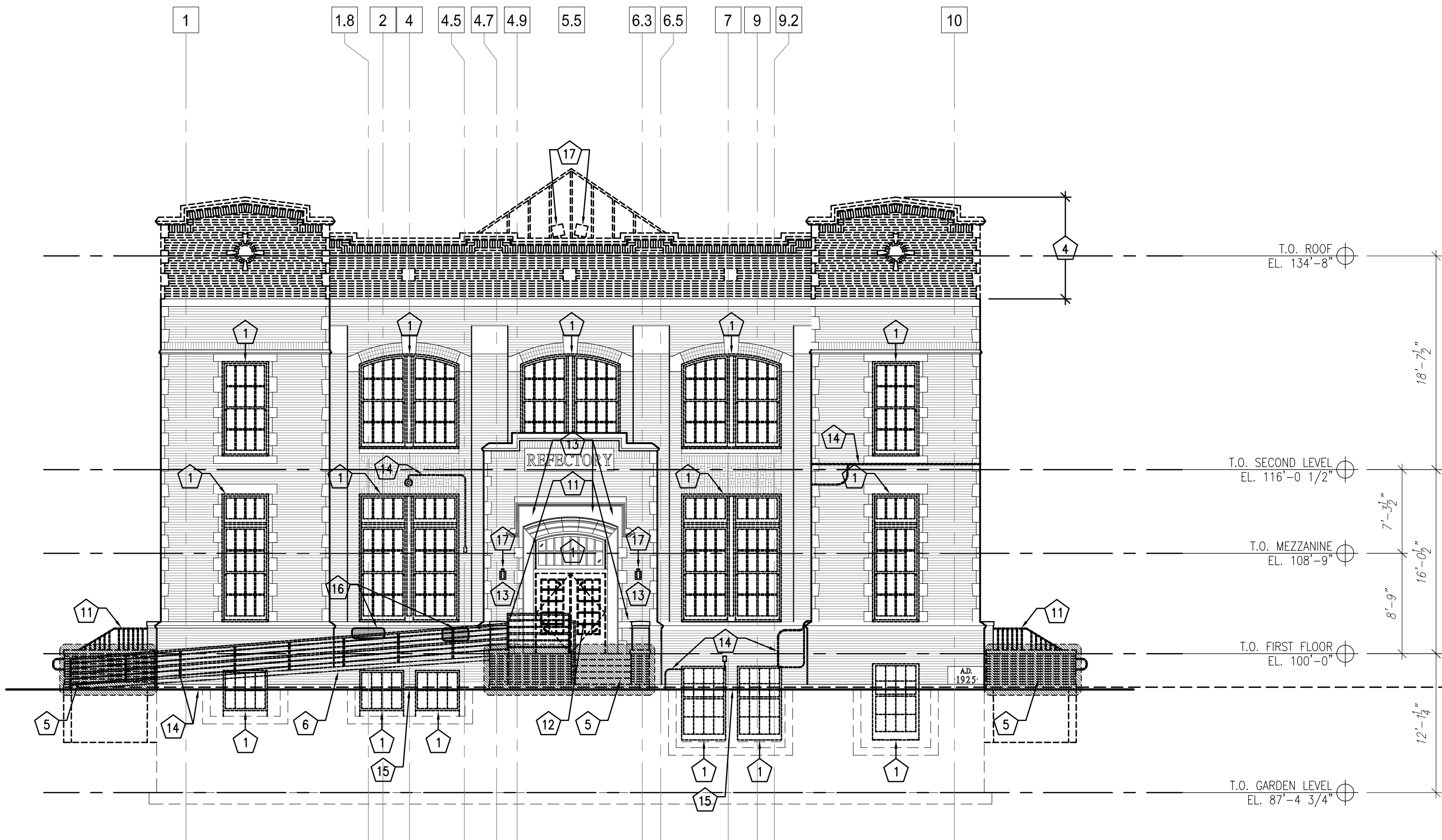
#### LEGEND

- AREA OF RECONSTRUCTION
- VINES TO BE REMOVED





1 EAST BUILDING ELEVATION - DEMOLITION  
SCALE: 1/8" = 1'-0"



2 WEST BUILDING ELEVATION - DEMOLITION  
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

- 1

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- 2

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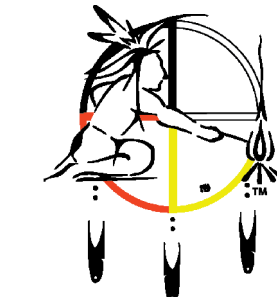
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LEGEND

- AREA OF RECONSTRUCTION
- VINES TO BE REMOVED



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Sheet Name:  
EAST AND WEST  
BUILDING ELEVATIONS -  
DEMOLITION

Date: 12/12/2017

Drawn By: ECR/JPB

Project No.: 15014.04

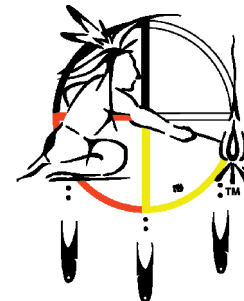
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D3.2





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Sheet Name:  
ROOF PLAN

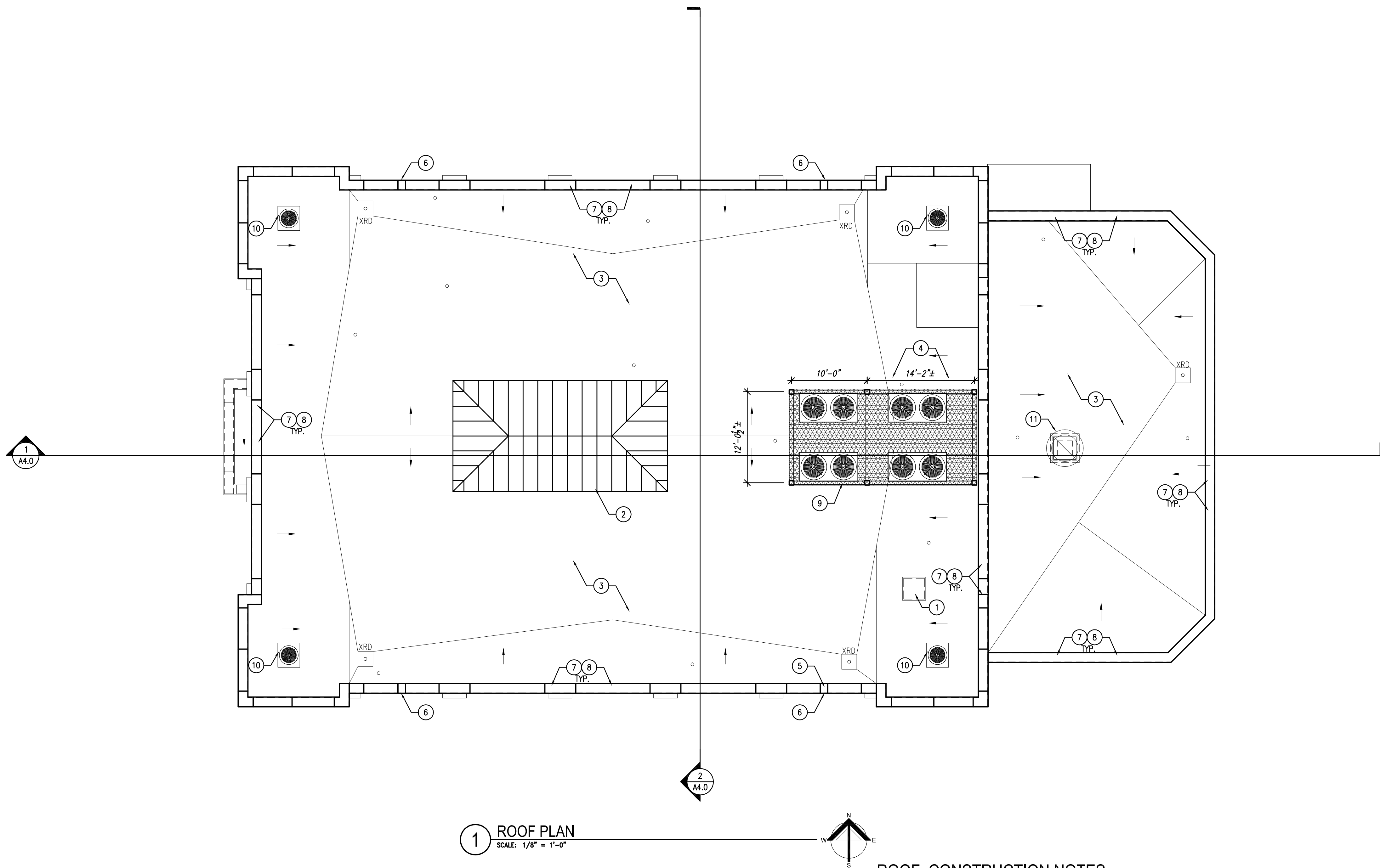
Date: 12/12/2017

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Project No.: 15014.04

Sheet No.

**A1.0**



**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

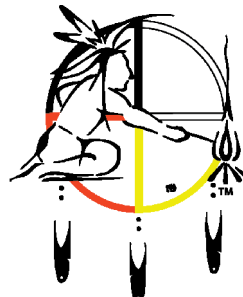
#### ROOF CONSTRUCTION NOTES

- 1 ROOF ACCESS HATCH
- 2 REPLACE GLASS AND STEEL SKYLIGHT WITH NEW POLYCARBONATE GLAZED, ALUMINUM-FRAMED SKYLIGHT SYSTEM ON AN INSULATED CURB. QUADWALL HONEYCOMB 2-PANEL GLAZED SYSTEM AS BASIS OF DESIGN.
- 3 REMOVE EXISTING ROOFING AND INSULATION. INSTALL NEW TAPERED RIGID INSULATION (MIN. R-32) AND ROOF MEMBRANE. PITCH MINIMUM 1/8" PER FOOT TO ROOF DRAIN LOCATIONS IN THE PROPOSED CONFIGURATION SHOWN ON THE PLAN. PROVIDE NEW 2 PIECE COUNTER-FLASHING AT ALL PARAPET AND MASONRY WALLS A MINIMUM OF 1'-0" ABOVE FINISHED ROOF SURFACE. PROVIDE NEW FLASHING AT ALL NEW ROOF TOP EQUIPMENT AND PENETRATIONS.
- 4 FILL-IN ROOF OPENING WHERE CHIMNEY AND VENTILATION SHAFTS WERE REMOVED. NEW ROOF CONSTRUCTION TO MATCH ADJACENT.
- 5 RE-OPEN PREVIOUS SCUPPER LOCATION.
- 6 NEW DECORATIVE COPPER SCUPPER TO MATCH EXISTING.
- 7 REBUILD MASONRY PARAPET AND LIMESTONE COPING.
- 8 FINISH ALL SKY JOINTS AT COPINGS AND TRIM WITH APPROPRIATE SEALANT (I.E. SONNEBORN NP-1 COLORED TO MATCH THE STONE, FINISHED WITH SAND.)
- 9 (4) NEW 25-TON CONDENSING UNITS ON PLATFORM ELEVATED ABOVE THE ROOF.
- 10 NEW RESIDENTIAL-TYPE ROOF-MOUNTED CONDENSING UNIT.
- 11 NEW KITCHEN HOOD EXHAUST.





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Sheet Name:  
**SOUTH BUILDING ELEVATION**

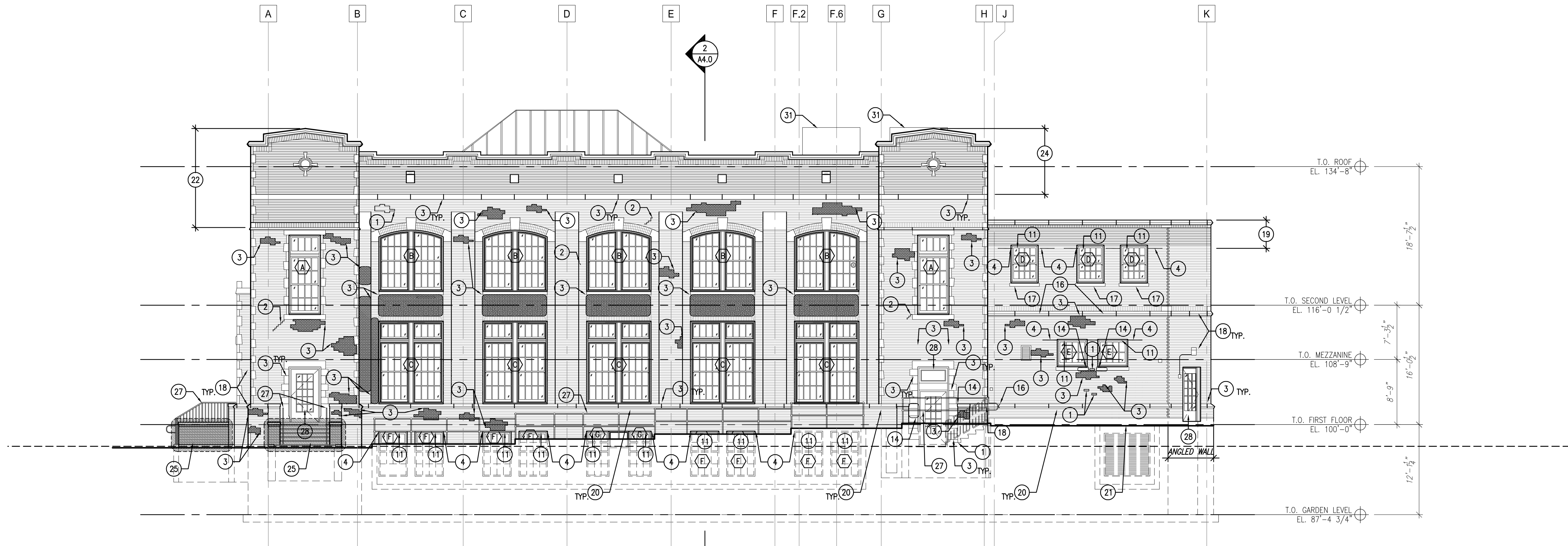
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**A3.0**



**1 SOUTH BUILDING ELEVATION**  
SCALE: 1/8" = 1'-0"

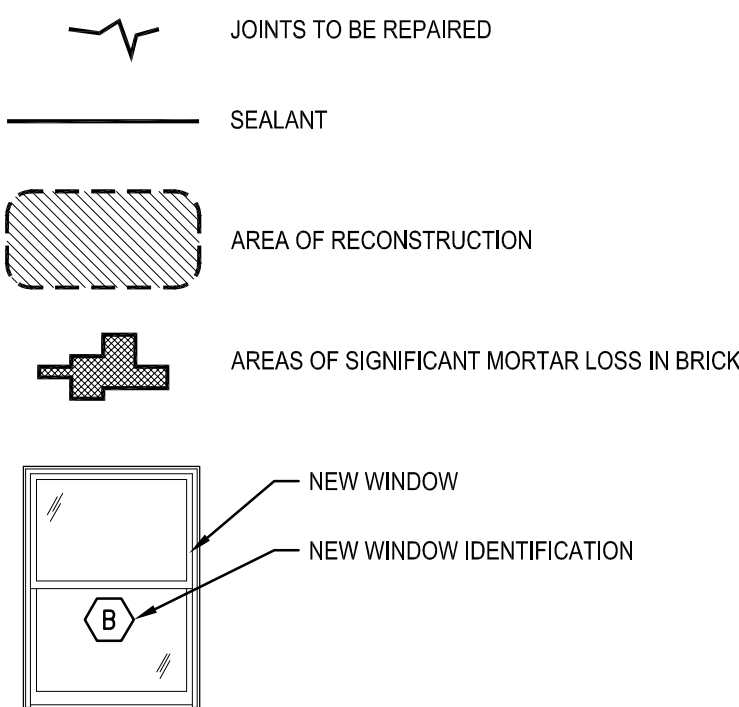
## GENERAL NOTES

- FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURVEY OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.
- STONE TYPES: ALL ORNAMENTAL STONework ARE COMPRISED OF INDIANA LIMESTONE.
- MASK OFF ALL NON-MASONRY SURFACES THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.
- SEALANT: REMOVE ALL SEALANT FROM MASONRY WALL FACES.
- MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. BID TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES ABOVE.
- REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.
- PROVIDE MOCK-UP SAMPLES ON THE BUILDING OF ALL RESTORATION TREATMENTS FOR ARCHITECT APPROVAL PRIOR TO IMPLEMENTATION, REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.
- TYPES OF STONE REPAIR
  - EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SEE SHEET A4.0.
  - DUTCHMAN (TO REPAIR LARGE CHIPS AND HOLES). SEE SHEET A4.0.
  - RESTORATION MORTAR PATCH (TO REPAIR FACE DAMAGE, SPALLING OR OTHER STONE DECOMPOSITION, AS WELL AS DETAILED ORNAMENTAL WORK). SEE SHEET A4.0.
  - SMALL SURFACE CRACKS MAY BE RESTORED WITH LIME INJECTION MORTARS OR EPOXY INJECTION MORTARS TO MATCH ADJACENT STONE.
- TYPES OF BRICK REPAIR
  - REPLACE ALL SPALLED BRICK.
  - REPLACE ALL FRACTURED BRICK.
  - USE MATCHING SALVAGED BRICK UNITS.
- INDIANA LIMESTONE TRIM:
  - MORTAR JOINTS: 100% CUT AND REPOINTING.
  - SPALLING: PATCH AREAS OF SPALLING WITH CUSTOM MATCHED NATURAL STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR EPOXY).
  - HAIRLINE CRACKS: REPAIR WITH CUSTOM COLORED DISPERSED LIME INJECTION.
- EFFLORESCENCE AND SUB-FLORESCENCE: NEUTRALIZE SALTS. THIS IS A PARTICULAR ISSUE AT DOWNSPOUTS, THE FOUNDATION AND BETWEEN GRADE AND THE FIRST FLOOR WINDOW SILL.
- SKY JOINTS AT COPING AND TRIM: FINISH ALL JOINTS WITH APPROPRIATE SEALANT (EXAMPLE: SONNEBORN NP-1 COLORED TO MATCH THE STONE FINISHED WITH SAND). FOR A LONGER TERM FIX CONSIDER LEAD JOINTS.
- MORTAR JOINTS: 100% CUT AND REPOINT. MORTAR IS SEVERELY DETERIORATED. LARGE VOIDS ARE EVIDENT BEHIND THE CURRENT FACE MORTAR.
- INSTALL A SOFT JOINT AT WALL FACE JUNCTIONS WITH PAVED SURFACES (SONNEBORN NP-1)
- CLEANING: RECOMMEND CLEANING ALL MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER: TESTING IS VITAL TO EXECUTE ON SITE PRIOR TO ESTABLISHING THE PROPER MATERIALS AND TECHNIQUES TO NOT DAMAGE OR ETCH THE MASONRY.
- NPS/SHPO AND CITY COA REVIEW: BRICK REPLACEMENT UNITS WILL NEED TO MATCH THE EXISTING BRICK, MORTAR WILL NEED TO MATCH THE EXISTING APPEARANCE, COMPOSITION AND COLOR OF THE ORIGINAL MORTAR, TO ENSURE THE BEST MARRIAGE BETWEEN THE TWO MATERIALS AND OVERALL APPEARANCE.

## CONSTRUCTION NOTES

- REPLACE SPALLED OR MISSING BRICK.
- REPAIR CRACKING AND / OR STEP CRACKING IN BRICK OR LIMESTONE. REPLACE FRACTURED BRICK. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- GRIND AND RE-POINT ALL MORTAR JOINTS AT BRICK AND LIMESTONE UNITS. HATCHED AREAS DENOTE AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK FACADE.
- REMOVE SEALANT FROM JOINT AND REPLACE WITH NEW.
- NOT USED.
- NOT USED.
- NOT USED.
- REMOVE PAINT THAT HAS BEEN SPLATTERED OR RESIDUAL ON FACADE.
- NOT USED.
- REFURBISH CORRODED CONTINUOUS STEEL LINTEL IN PLACE. REMOVE CORROSION AND EXISTING PAINT. PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.
- REPLACE EXISTING STEEL LINTEL WITH NEW GALVANIZED LINTEL TO MATCH EXISTING.
- NOT USED.
- NOT USED.
- REPAIR SPALLING LIMESTONE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REPAIR CRACK IN LIMESTONE BANDING. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REPAIR CRACK IN LIMESTONE CORNICE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REMOVE RUST STAINS FROM LIMESTONE SILL.
- CLEAN MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER.
- RECONSTRUCT EXISTING PARAPET DOWN TO HEAD OF SECOND FLOOR WINDOWS. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE.
- RESET ANY LOOSE BRICKS UNDER LIMESTONE SILL PRIOR TO TUCKPOINTING.
- REPAIR CORRODED METAL HVAC GRILLE. REMOVE CORROSION FROM ENTIRE METAL UNIT (SODA BLASTING, ETC.). PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.
- RECONSTRUCT CORNER FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS.
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- RECONSTRUCT CONCRETE STAIR AND MASONRY SIDE WALLS IN PREVIOUS CONFIGURATION.
- NOT USED.
- REPLACE CORRODED GUARDRAILS AND HANDRAILS TO MATCH EXISTING. PRIME AND PAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.
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- REBUILD CONCRETE STAIR AND MASONRY SIDE WALLS IN HISTORIC CONFIGURATION, SIMILAR TO THE ENTRIES AT THE NORTHWEST AND SOUTHWEST CORNERS.
- REBUILD PORTION OF EXTERIOR WALL WHERE SHED WAS REMOVED. BRICK AND MORTAR REPLACEMENT TO MATCH EXISTING PER GENERAL NOTE #16.
- NEW 25-TON CONDENSING UNIT ON PLATFORM ELEVATED ABOVE THE ROOF.
- REBUILD EXISTING LOADING DOCK WITH NEW CONCRETE STAIR AND RETAINING WALL. INSTALL METAL GUARDRAIL AND HANDRAIL.
- EXISTING HISTORIC TRANSOM WINDOW TO REMAIN: CLEAN, PREP, REPAINT AND RE-PUTTY EXISTING GLAZING.

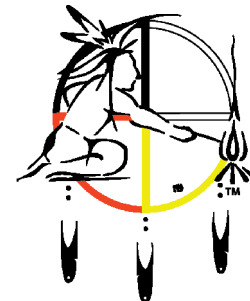
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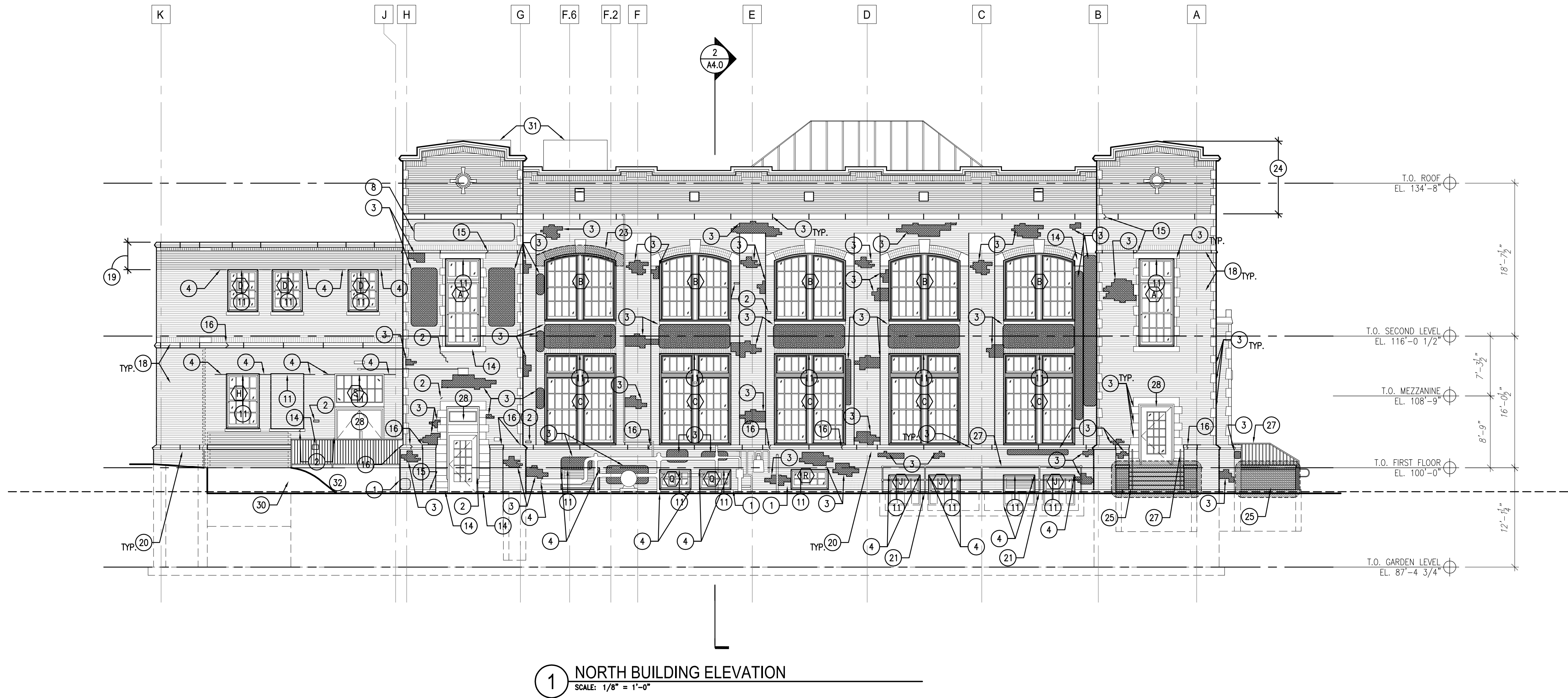


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**FOREST COUNTY  
POTAWATOMI**

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QUORUM ARCHITECTS, INC.



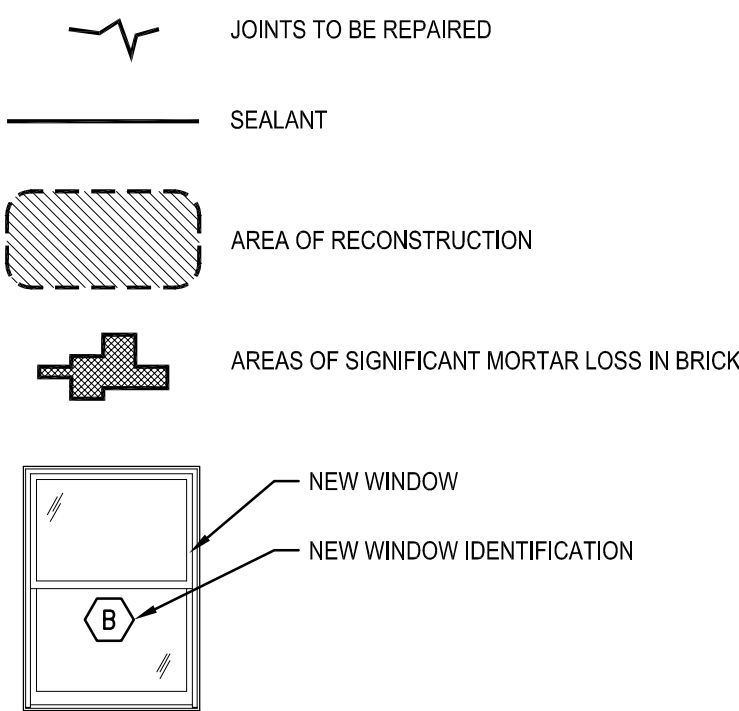
## GENERAL NOTES

- FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURVEY OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.
- STONE TYPES: ALL ORNAMENTAL STONWORK ARE COMPRISED OF INDIANA LIMESTONE.
- MASK OFF ALL NON-MASONRY SURFACES THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.
- SEALANT: REMOVE ALL SEALANT FROM MASONRY WALL FACES.
- MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. BID TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES ABOVE.
- REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.
- PROVIDE MOCK-UP SAMPLES ON THE BUILDING OF ALL RESTORATION TREATMENTS FOR ARCHITECT APPROVAL PRIOR TO IMPLEMENTATION, REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.
- TYPES OF STONE REPAIR
  - EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SEE SHEET A4.0.
  - DUTCHMAN (TO REPAIR LARGE CHIPS AND HOLES). SEE SHEET A4.0.
  - RESTORATION MORTAR PATCH (TO REPAIR FACE DAMAGE, SPALLING OR OTHER STONE DECOMPOSITION, AS WELL AS DETAILED ORNAMENTAL WORK). SEE SHEET A4.0.
  - SMALL SURFACE CRACKS MAY BE RESTORED WITH LIME INJECTION MORTARS OR EPOXY INJECTION MORTARS TO MATCH ADJACENT STONE.
- TYPES OF BRICK REPAIR
  - REPLACE ALL SPALLED BRICK.
  - REPLACE ALL FRACTURED BRICK.
  - USE MATCHING SALVAGED BRICK UNITS.
- INDIANA LIMESTONE TRIM:
  - MORTAR JOINTS: 100% CUT AND REPOINTING.
  - SPALLING: PATCH AREAS OF SPALLING WITH CUSTOM MATCHED NATURAL STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR EPOXY).
  - HAIRLINE CRACKS: REPAIR WITH CUSTOM COLORED DISPERSED LIME INJECTION.
- EFFLORESCENCE AND SUB-FLORESCENCE: NEUTRALIZE SALTS. THIS IS A PARTICULAR ISSUE AT DOWNSPOUTS, THE FOUNDATION AND BETWEEN GRADE AND THE FIRST FLOOR WINDOW SILL.
- SKY JOINTS AT COPING AND TRIM: FINISH ALL JOINTS WITH APPROPRIATE SEALANT (EXAMPLE: SONNEBORN NP-1 COLORED TO MATCH THE STONE FINISHED WITH SAND). FOR A LONGER TERM FIX CONSIDER LEAD JOINTS.
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- GRIND AND RE-POINT ALL MORTAR JOINTS AT BRICK AND LIMESTONE UNITS. HATCHED AREAS DENOTE AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK FACADE.
- REMOVE SEALANT FROM JOINT AND REPLACE WITH NEW.
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- NOT USED.
- NOT USED.
- REMOVE PAINT THAT HAS BEEN SPLATTERED OR RESIDUAL ON FACADE.
- NOT USED.
- REFURBISH CORRODED CONTINUOUS STEEL LINTEL IN PLACE. REMOVE CORROSION AND EXISTING PAINT. PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.
- REPLACE EXISTING STEEL LINTEL WITH NEW GALVANIZED LINTEL TO MATCH EXISTING.
- NOT USED.
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- REPAIR SPALLING LIMESTONE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REPAIR CRACK IN LIMESTONE BANDING. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REPAIR CRACK IN LIMESTONE CORNICE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
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- EXISTING HISTORIC TRANSOM WINDOW TO REMAIN: CLEAN, PREP, REPAINT AND RE-PUTTY EXISTING GLAZING.

## LEGEND



Revisions:  
ISSUED FOR HPC REVIEW  
12/12/2017

**Wgema Campus  
Wgemas Building**

3136 WEST KILBOURN AVENUE  
Milwaukee, Wisconsin 53208

Sheet Name:  
NORTH BUILDING ELEVATION

Date: 12/12/2017

Drawn By: ECR/JPB

Project No.: 15014.04

Sheet No.

**A3.1**





**PRELIMINARY**  
NOT FOR  
CONSTRUCTION  
QUORUM ARCHITECTS, INC.



- |   |  |   |
|---|--|---|
| 1. FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURFACE OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.               | 8. TYPES OF STONE REPAIR   | D. EFFLORESCENCE AND SUB-EFFLORESCENCE: NEUTRALIZE SALTS. THIS IS A PARTICULAR ISSUE AT DOWNSPOUTS. THE FOUNDATION AND BETWEEN GRADE AND THE FIRST FLOOR WINDOW SILL.   |
| 2. STONE TYPES: ALL ORNAMENTAL STONESTOCK ARE COMPRISED OF INDIANA LIMESTONE.   | A. EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SEE SHEET AA.0.   | E. SKY JOINTS AT COPING AND TRIM: FINISH ALL JOINTS WITH APPROPRIATE SEALANT (EXAMPLE: SONNEBORN NP-1 COLORED TO MATCH THE STONE FINISHED WITH SAND). FOR A LONGER TERM FIX CONSIDER LEAD JOINTS.                               |
| 3. MASK OFF ALL NON-MASONRY SURFACES THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.   | B. DUTCHMAN (TO REPAIR LARGE CHIPS AND HOLES), SEE SHEET AA.0.   | 12. MORTAR JOINTS: 100% CUT AND REPOINT. MORTAR IS SEVERELY DETERIORATED. LARGE VOIDS ARE EVIDENT BEHIND THE CURRENT FACE MORTAR.   |
| 4. SEALANT: REMOVE ALL SEALANT FROM MASONRY WALL FACES.   | C. RESTORATION MORTAR PATCH (TO REPAIR FACE DAMAGE, SPALLING OR OTHER STONE DECOMPOSITION, AS WELL AS DETAILED ORNAMENTAL WORK), SEE SHEET AA.0. | 14. INSTALL A SOFT JOINT AT WALL FACE JUNCTIONS WITH PAVED SURFACES (SONNEBORN NP-1)  |
| 5. MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES ABOVE. | D. SMALL SURFACE CRACKS MAY BE RESTORED WITH LIME INJECTION MORTARS OR EPOXY INJECTION MORTARS TO MATCH ADJACENT STONE.                          | 15. CLEANING: RECOMMEND CLEANING ALL MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER: TESTING IS VITAL TO EXECUTE ON SITE PRIOR TO ESTABLISHING THE PROPER MATERIALS AND TECHNIQUES TO NOT DAMAGE OR ETCH THE MASONRY. |
| 6. REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.  | 10. TYPES OF BRICK REPAIR  | 16. NPS/SHPO AND CITY COA REVIEW: BRICK REPLACEMENT UNITS WILL NEED TO MATCH THE EXISTING BRICK, MORTAR WILL NEED   |
| 7. PROVIDE MOCK-UP SAMPLES ON THE BUILDING OF ALL RESTORATION TREATMENTS FOR ARCHITECT APPROVAL. PRIOR TO IMPLEMENTATION, REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.                       | A. REPLACE ALL SPALLED BRICK.  |   |
|   | B. REPLACE ALL FRACTURED BRICK.  |   |
|   | C. USE MATCHING SALVAGED BRICK UNITS.  |   |
|   | 11. INDIANA LIMESTONE TRIM:  |   |
|   | A. MORTAR JOINTS: 100% CUT AND REPOINTING.   |   |
|   | B. SPALLING: PATCH AREAS OF SPALLING WITH CUSTOM MATCHED NATURAL STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR EPOXY).            |   |
|   | C. HARLINE CRACKS: REPAIR WITH CUSTOM COLORED DISPERSED LIME INJECTION.  |   |

## CONSTRUCTION NOTES

- |      |  |      |   |      |  |
|------|--|------|---|------|--|
| (1)  | REPLACE SPALLED OR MISSING BRICK.  | (11) | REPLACE EXISTING STEEL LINTEL WITH NEW GALVANIZED LINTEL TO MATCH EXISTING.   | (21) | REPAIR CORRODED METAL HVAC GRILLE. REMOVE CORROSION FROM ENTIRE METAL UNIT (SODA BLASTING, ETC.). PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.                                     |
| (2)  | REPAIR CRACKING AND / OR STEP CRACKING IN BRICK OR LIMESTONE. REPLACE FRACTURED BRICK. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.     | (12) | NOT USED.   | (22) | RECONSTRUCT CORNER FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS.   |
| (3)  | GRIND AND RE-POINT ALL MORTAR JOINTS AT BRICK AND LIMESTONE UNITS. HATCHED AREAS DENOTE AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK FACADE.            | (13) | NOT USED.   | (23) | RECONSTRUCT BRICK ARCH.  |
| (4)  | REMOVE SEALANT FROM JOINT AND REPLACE WITH NEW.  | (14) | REPAIR SPALLING LIMESTONE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.  | (24) | RECONSTRUCT EXISTING PARAPET DOWN TO LIMESTONE BANDING. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE. |
| (5)  | NOT USED.  | (15) | REPAIR CRACK IN LIMESTONE BANDING. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.  | (25) | RECONSTRUCT CONCRETE STAIR AND MASONRY SIDE WALLS IN PREVIOUS CONFIGURATION.   |
| (6)  | NOT USED.  | (16) | REPAIR CRACK IN LIMESTONE CORNICE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.  | (26) | NOT USED.  |
| (7)  | NOT USED.  | (17) | REMOVE RUST STAINS FROM LIMESTONE SILL.   | (27) | REPLACE CORRODED GUARDRAILS AND HANDRAILS TO MATCH EXISTING. PRIME AND PAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.  |
| (8)  | REMOVE PAINT THAT HAS BEEN SPATTERED OR RESIDUAL ON FACADE.  | (18) | CLEAN MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER.   | (28) | REPLACE CORRODED STEEL DOOR AND FRAME AS SCHEDULED.  |
| (9)  | NOT USED.  | (19) | RECONSTRUCT EXISTING PARAPET DOWN TO HEAD OF SECOND FLOOR WINDOWS. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE. | (29) | REBUILD CONCRETE STAIR AND MASONRY SIDE WALLS IN HISTORIC CONFIGURATION, SIMILAR TO THE ENTRIES AT THE NORTHWEST AND SOUTHWEST CORNERS.  |
| (10) | REFURBISH CORRODED CONTINUOUS STEEL LINTEL IN PLACE. REMOVE CORROSION AND EXISTING PAINT. PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT. | (20) | RESET ANY LOOSE BRICKS UNDER LIMESTONE SILL PRIOR TO TUCKPOINTING.  |      |  |



### LEGEND

- 
- Diagram illustrating symbols for window repair areas:
- Joints to be repaired (jagged line)
  - Sealant (horizontal line)
  - Area of reconstruction (hatched rectangle)
  - Areas of significant mortar loss in brick (cross-hatched shape)
  - New window (window frame with label 'B')
  - New window identification (arrow pointing to label 'B')

Sheet Name:  
EAST AND WEST  
BUILDING ELEVATIONS

ate: 12/12/2017

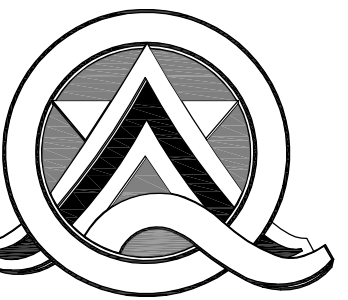
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Project No.: 15014.04

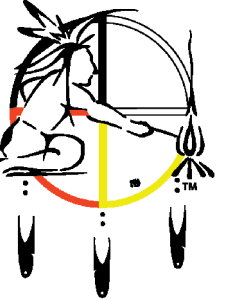
Sheet No.

## A3.2





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**FOREST COUNTY  
POTAWATOMI**

**PRELIMINARY**  
NOT FOR  
CONSTRUCTION  
QUORUM ARCHITECTS, INC.

**Wgema Campus  
Wgemas Building**

3136 WEST KILBOURN AVENUE  
Milwaukee, Wisconsin 53208

Revisions:  
ISSUED FOR HPC REVIEW  
12/12/2017

Sheet Name:  
BUILDING SECTIONS  
AND DETAILS

Date: 12/12/2017

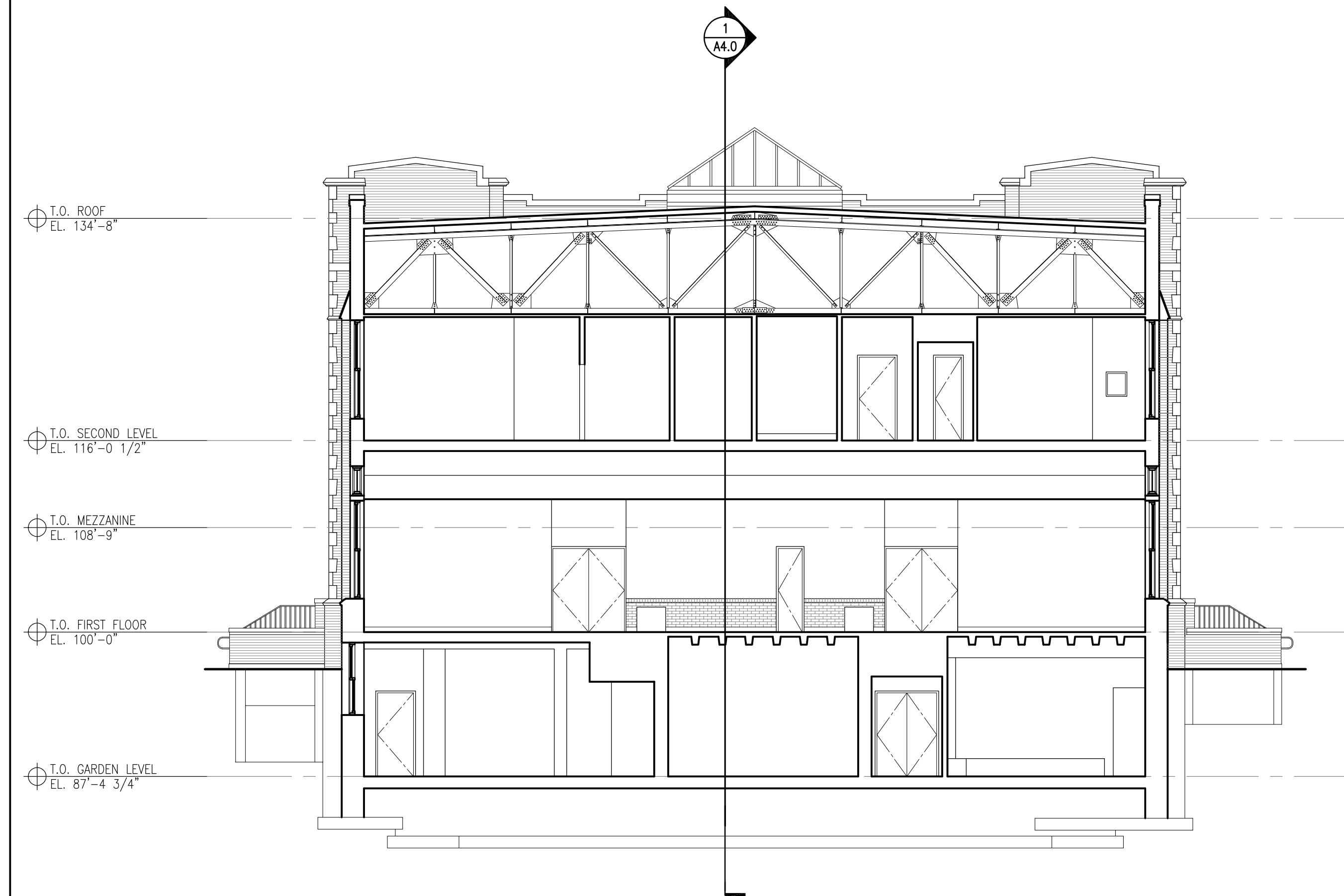
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Project No.: 15014.04

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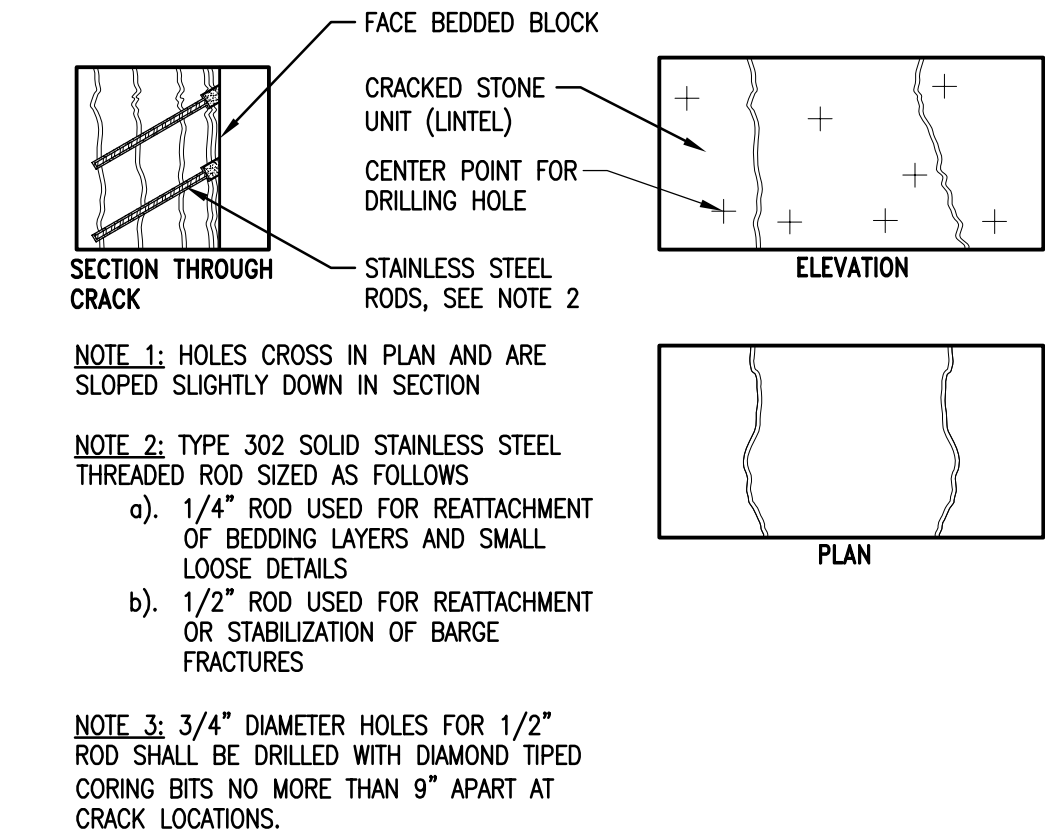
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Dec. 12, 2017 - 12:30pm  
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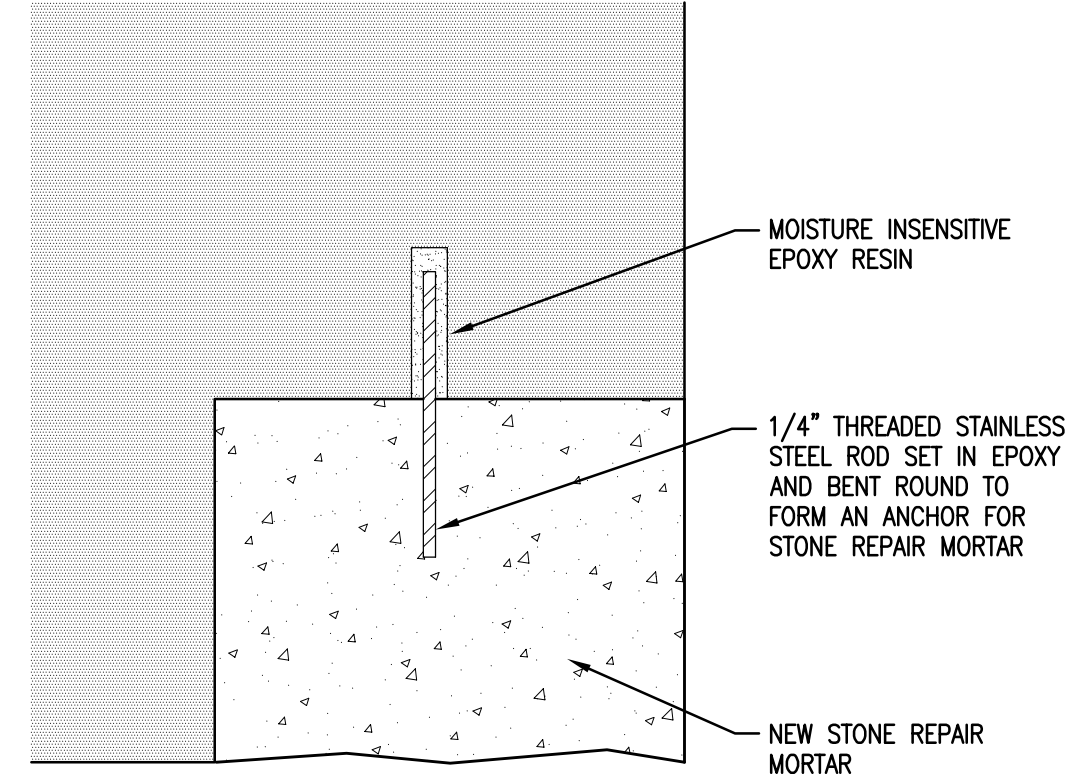


**2 EXISTING BUILDING SECTION**  
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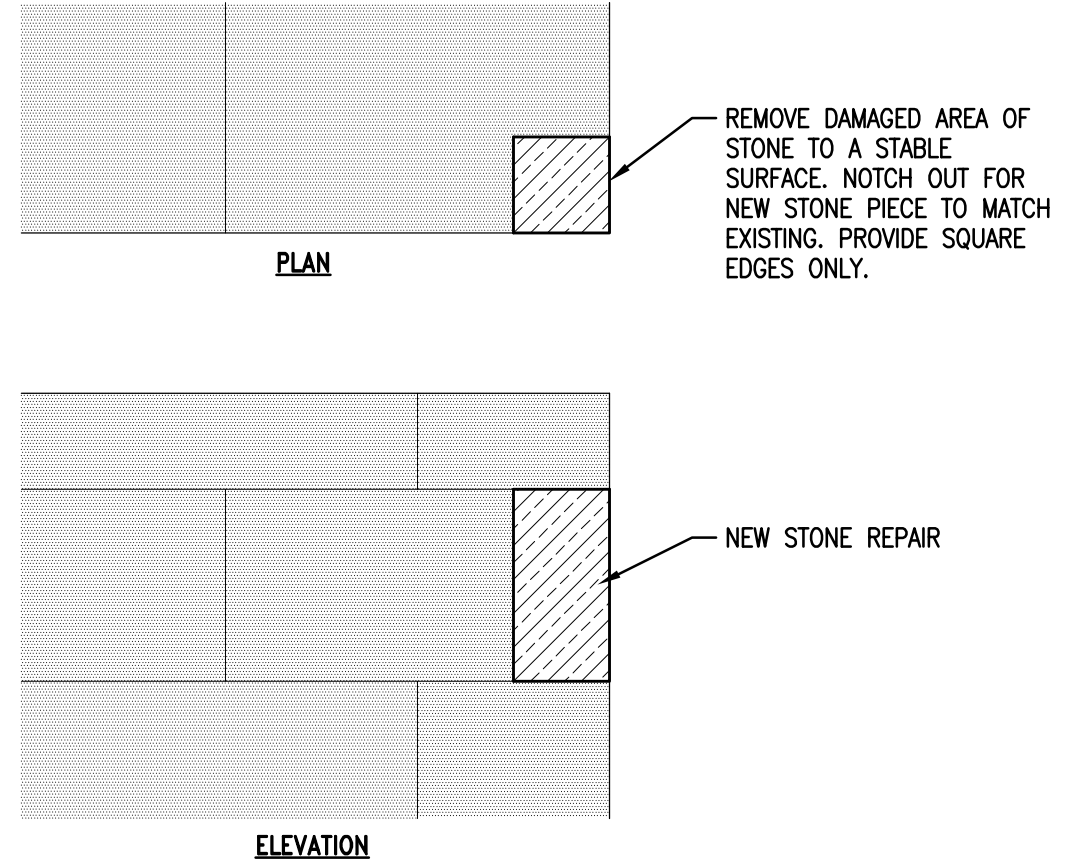
**1 EXISTING BUILDING SECTION**  
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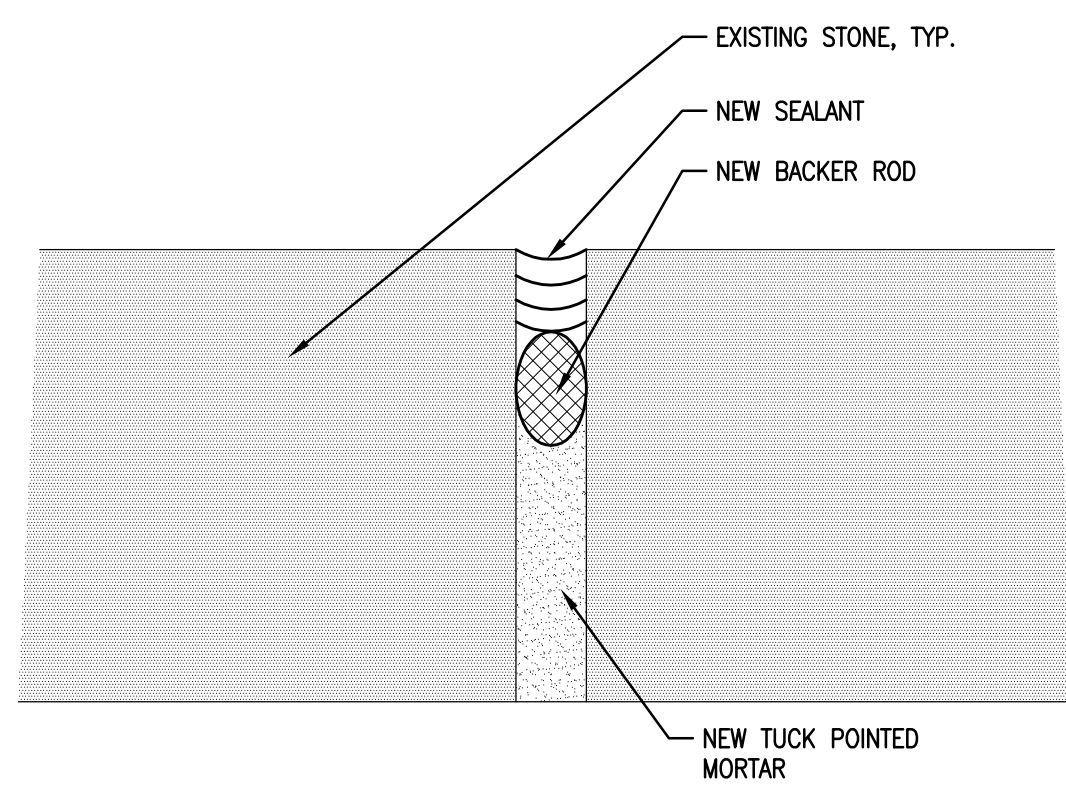
**3 STONE REPAIR DETAIL: EPOXY INJECTION**  
SCALE: 1" = 1'-0"



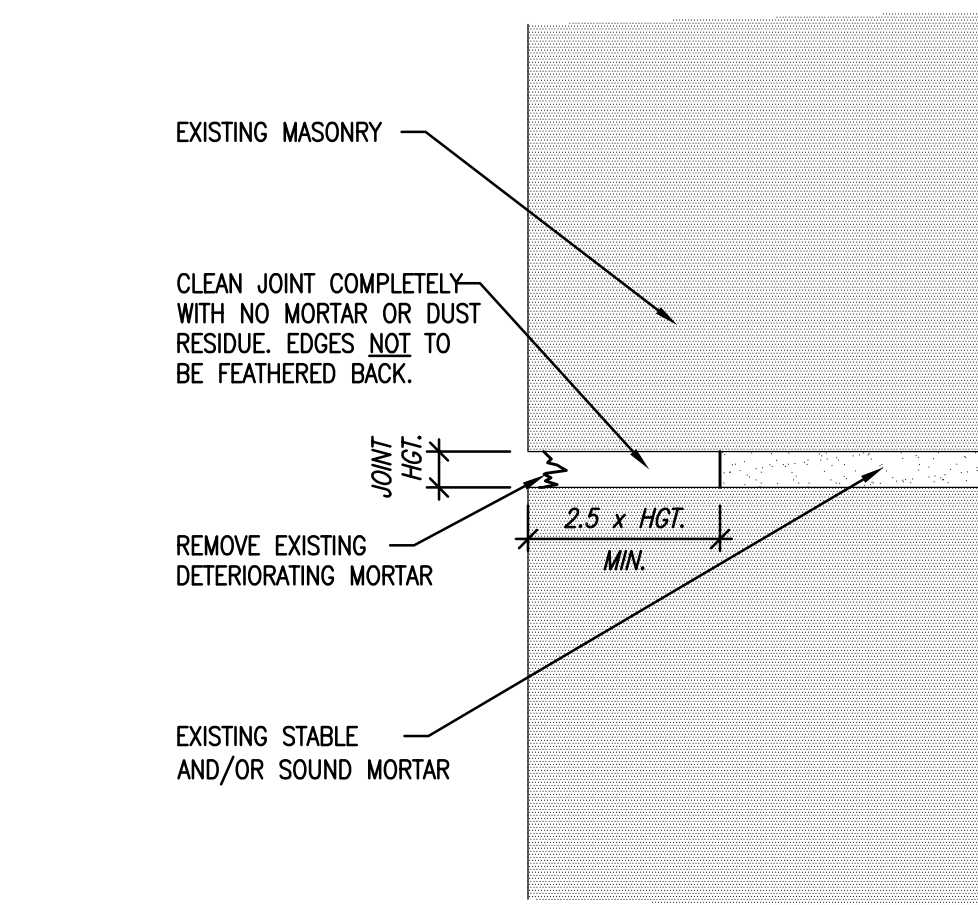
**4 STONE PATCH DETAIL**  
SCALE: 3" = 1'-0"



**5 STONE REPAIR DETAIL: DUTCHMAN**  
SCALE: 1" = 1'



**6 NEW SEALANT DETAIL @ SKY/CAP JOINTS**  
SCALE: 1" = 1"



**7 MORTAR REMOVAL DETAIL**  
SCALE: 1" = 1"





NOT FOR  
CONSTRUCTION  
QUORUM ARCHITECTS, INC.

3136 WEST KILBOURN AVENUE  
Milwaukee, Wisconsin 53208

ISSUED FOR HPC REVIEW  
12/12/2017

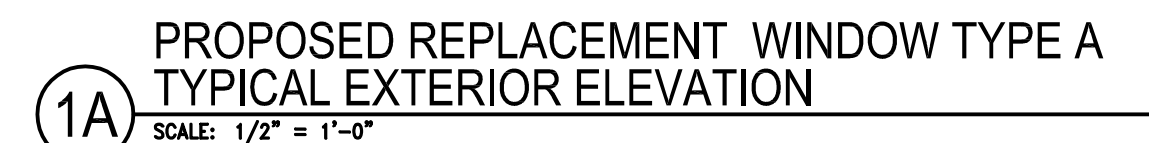
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WINDOW DETAILS -  
WINDOW TYPE A

ate: 12/12/2017

Drawn By: MWK

Project No.: 15014.04

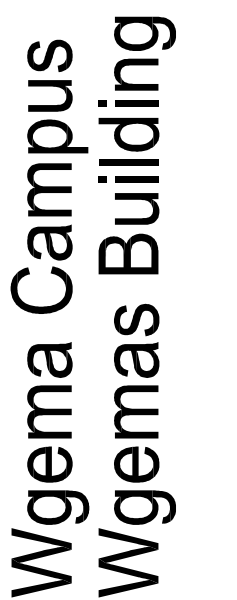
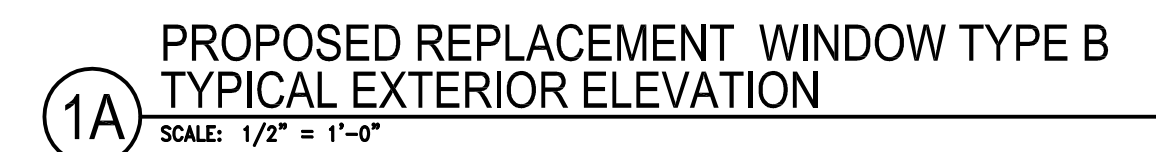
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3136 WEST KILBOURN AVENUE  
Milwaukee, Wisconsin 53208

ISSUED FOR HPC REVIEW  
12/12/2017

Sheet Name:  
WINDOW DETAILS -  
WINDOW TYPE B

Date: 12/12/2017

Drawn By: MWK

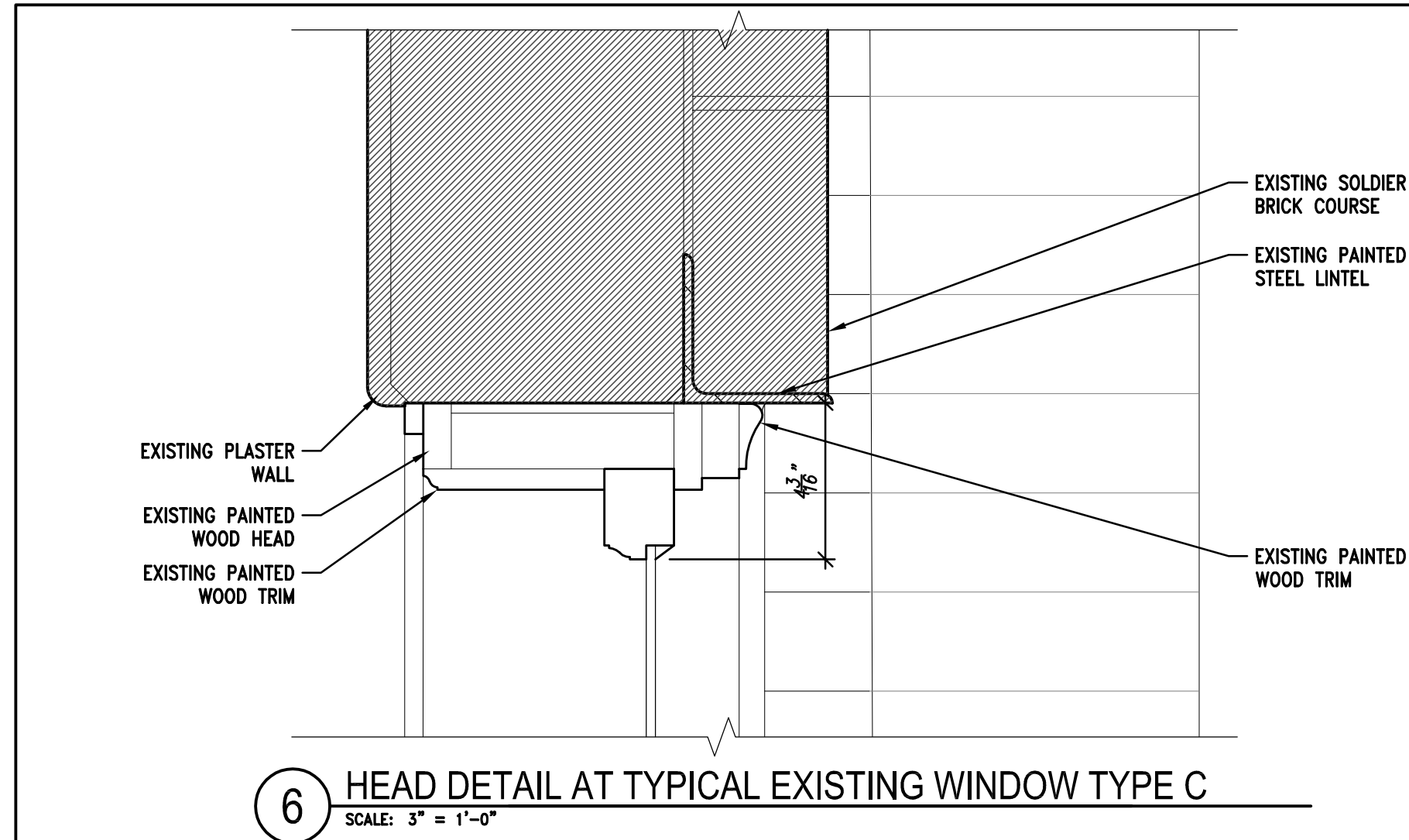
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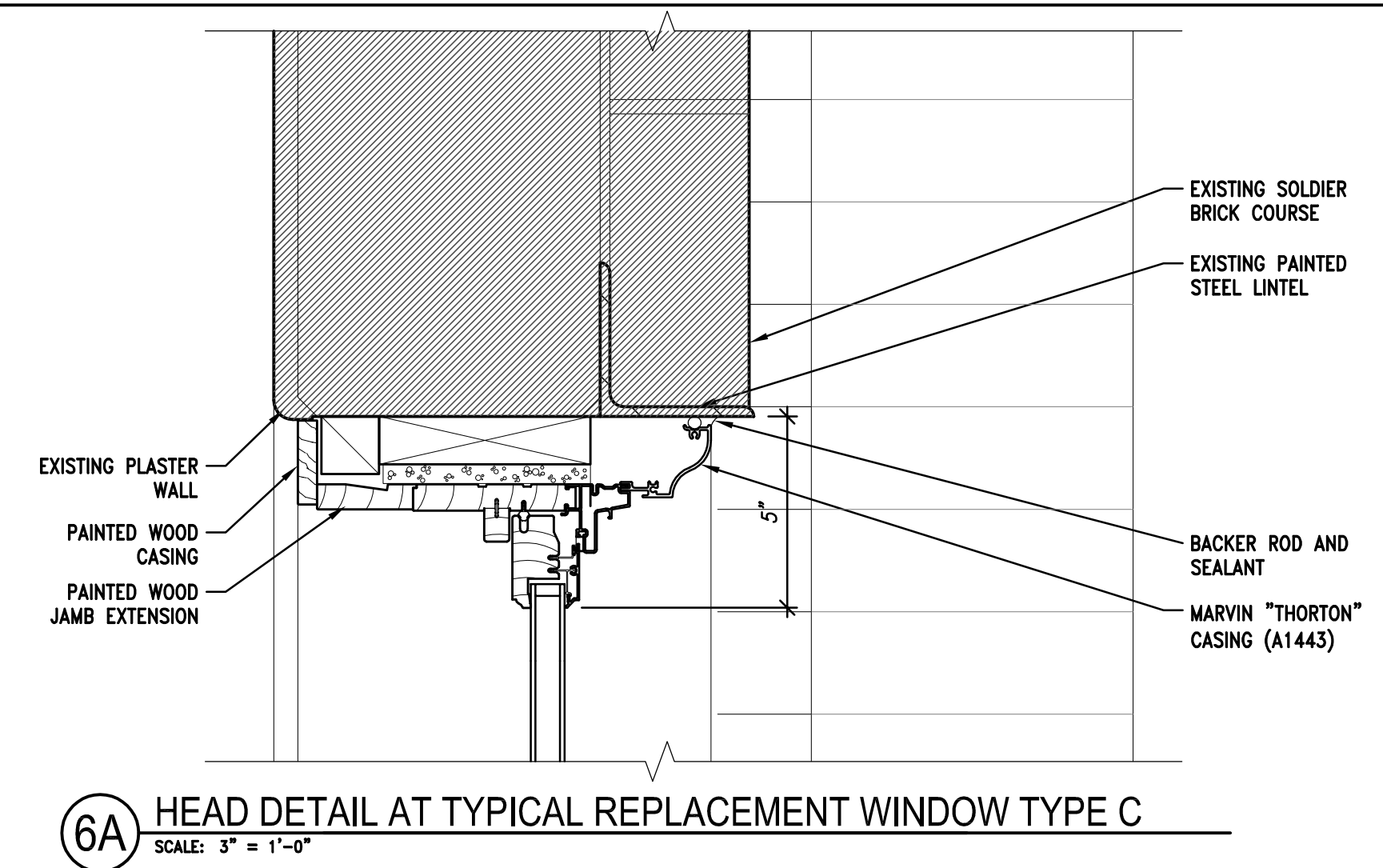
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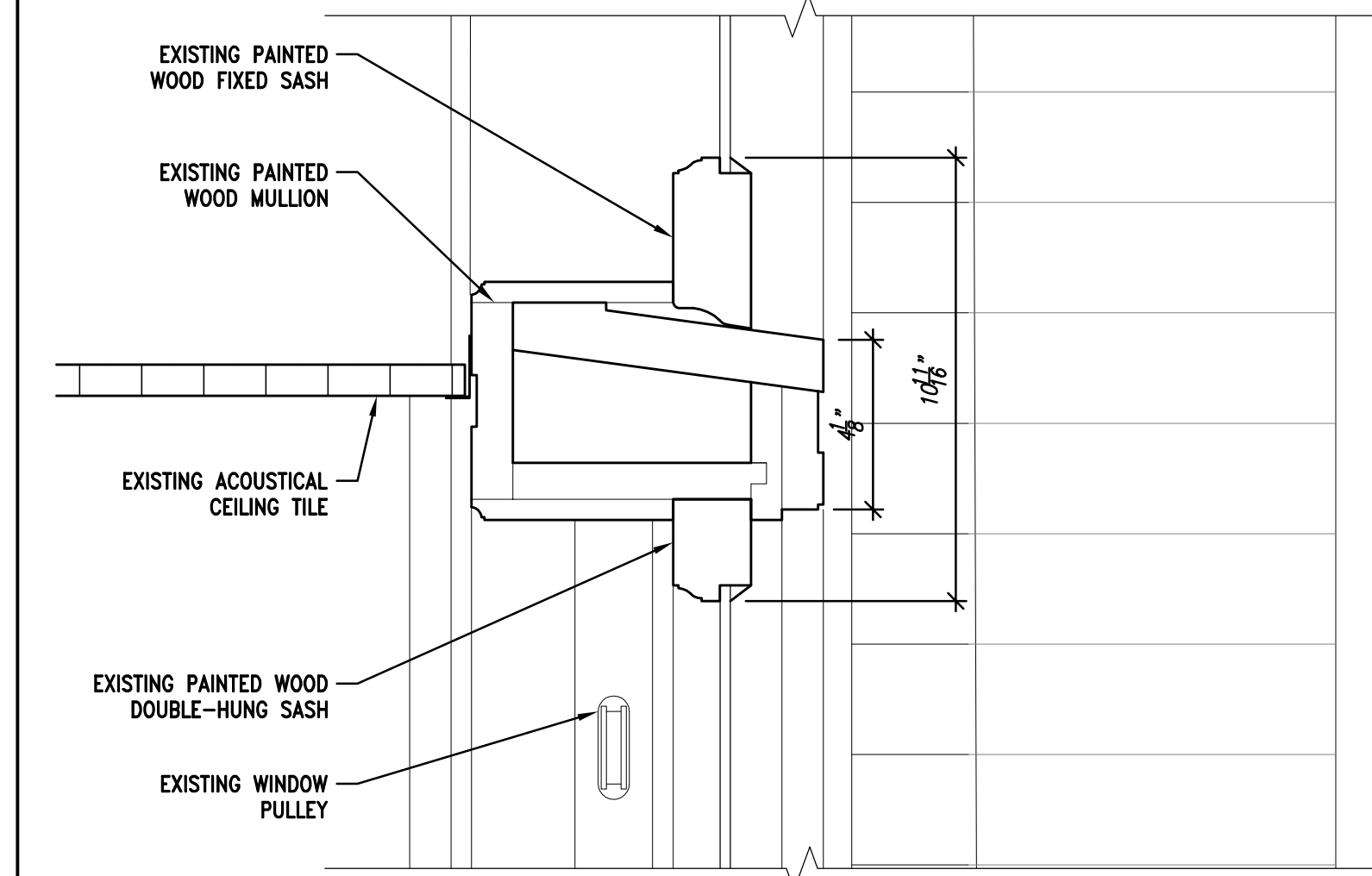
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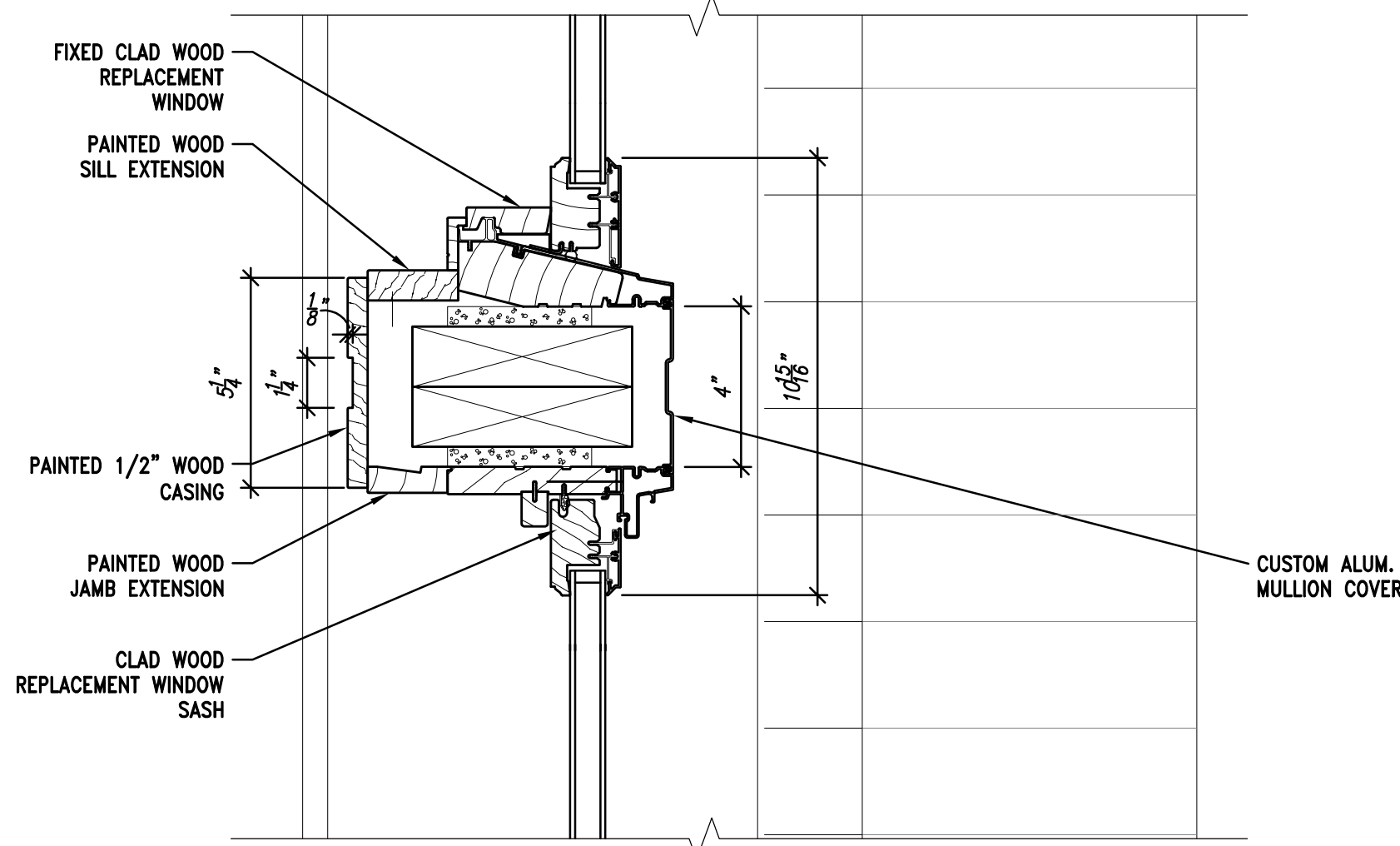
6 HEAD DETAIL AT TYPICAL EXISTING WINDOW TYPE C  
SCALE: 3" = 1'-0"



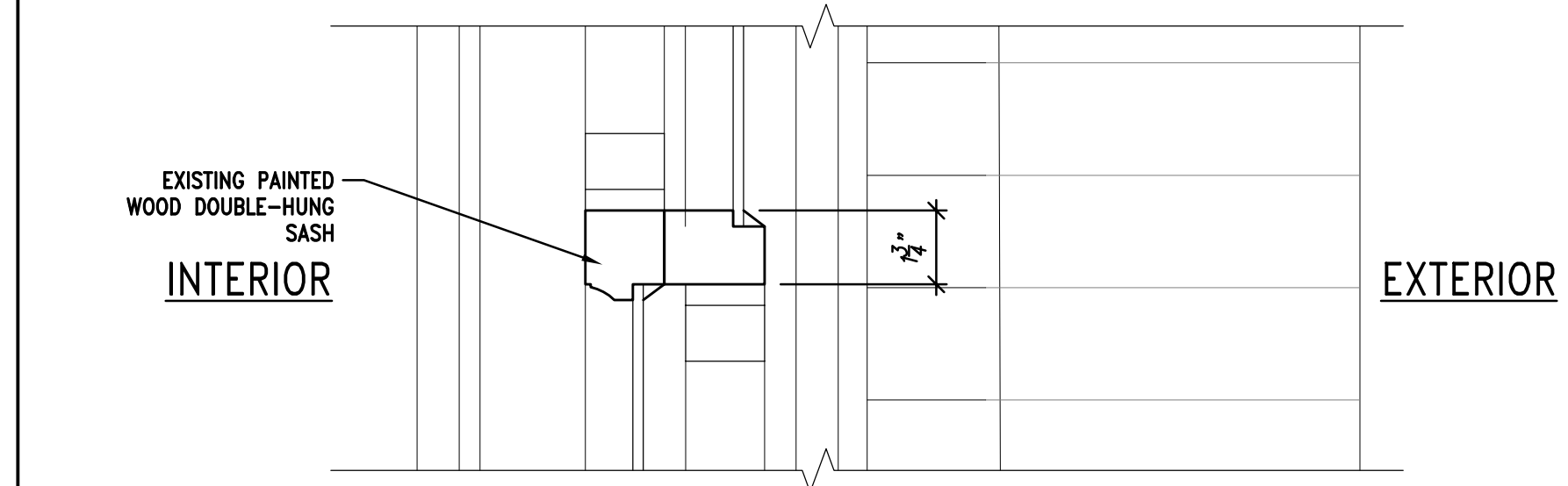
6A HEAD DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE C  
SCALE: 3" = 1'-0"



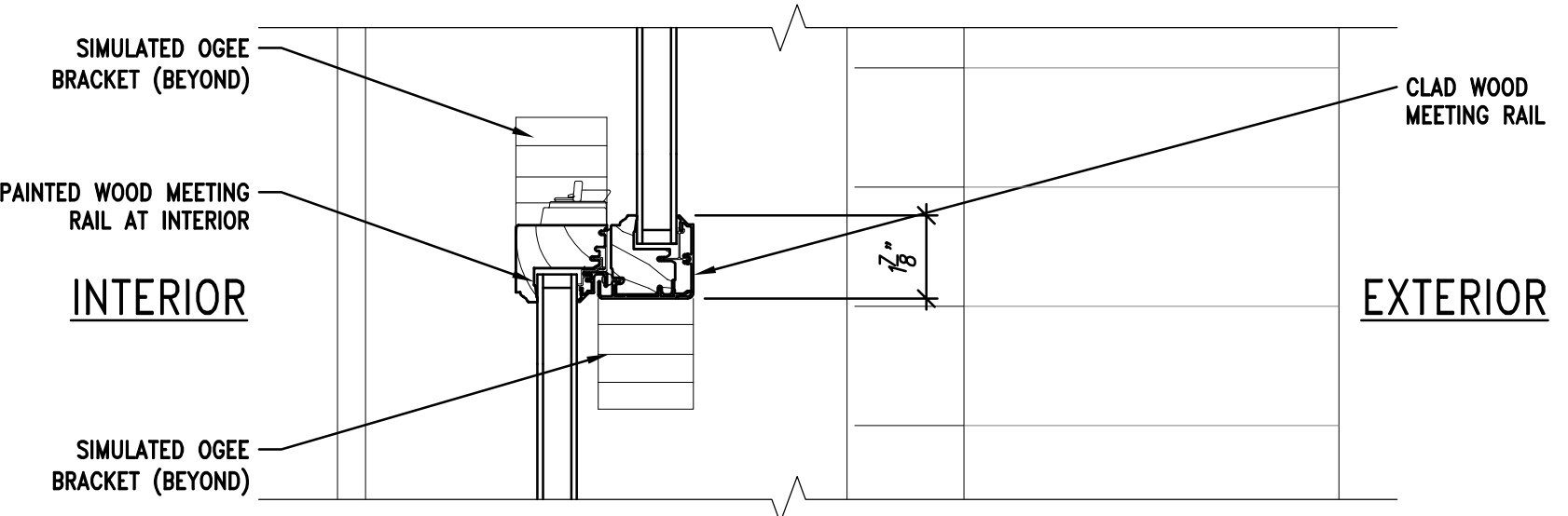
5 TRANSOM DETAIL AT TYPICAL EXISTING WINDOW TYPE C  
SCALE: 3" = 1'-0"



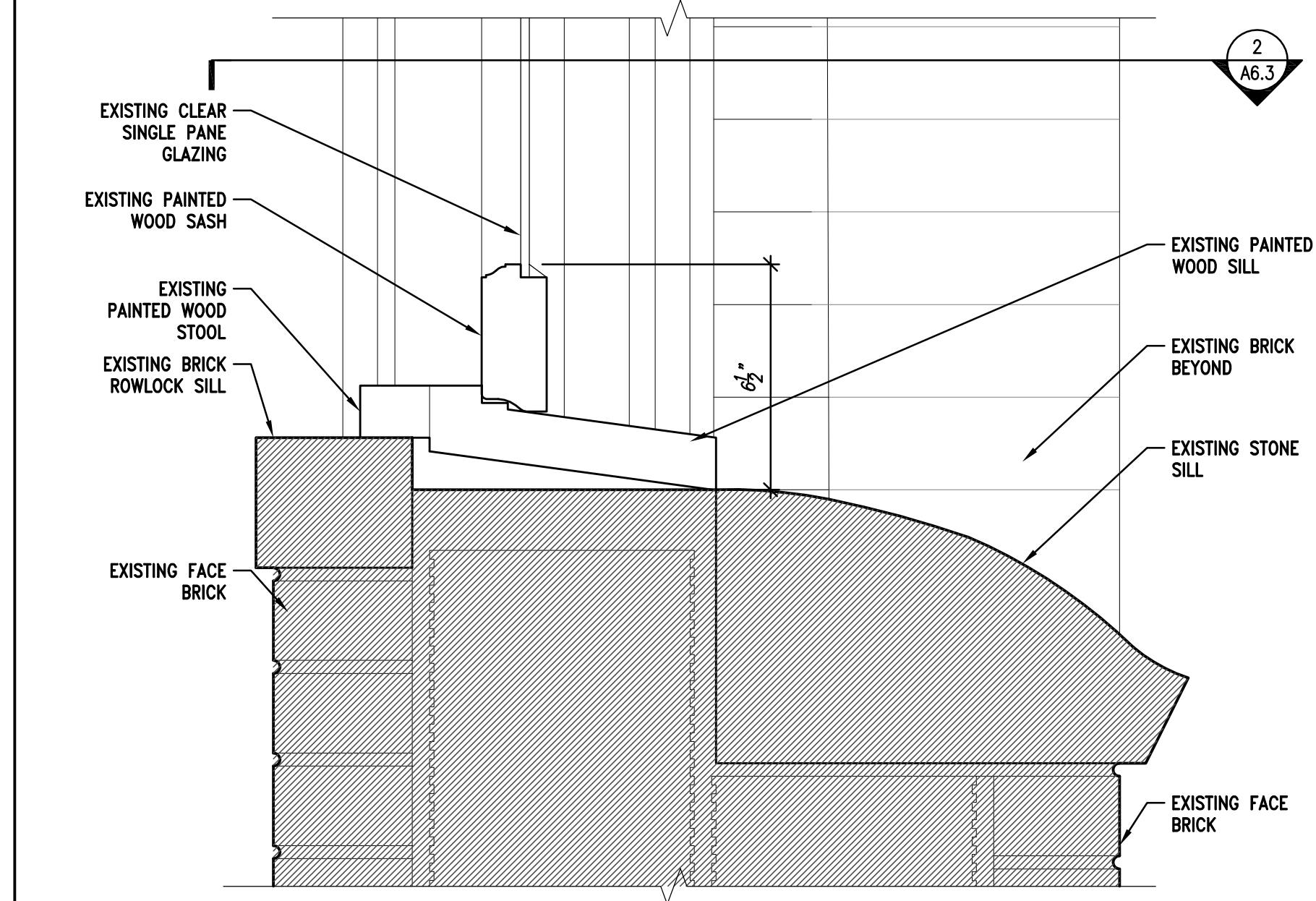
5A TRANSOM DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE C  
SCALE: 3" = 1'-0"



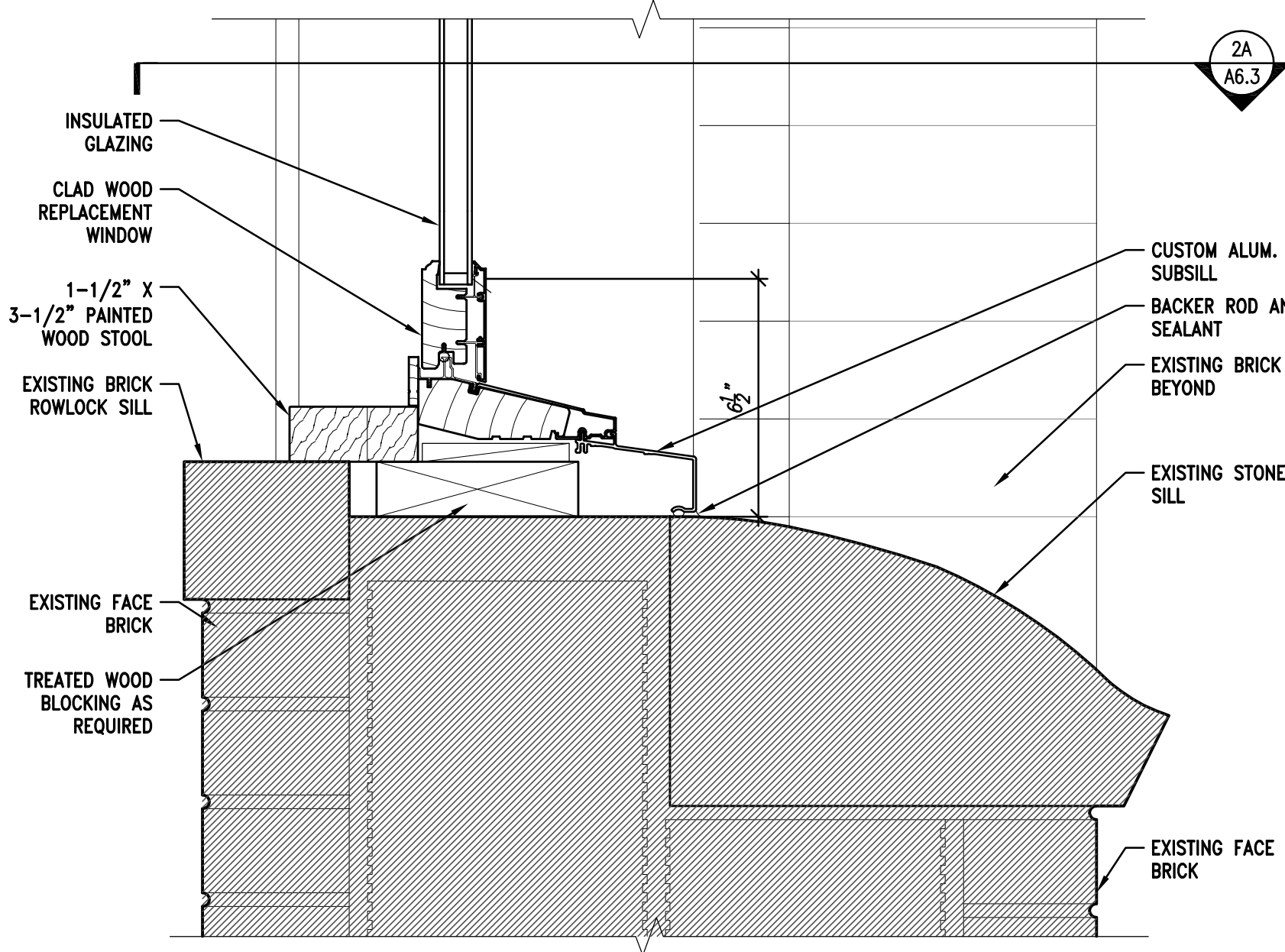
4 DOUBLE-HUNG MEETING RAIL AT EXISTING WINDOW TYPE C  
SCALE: 3" = 1'-0"



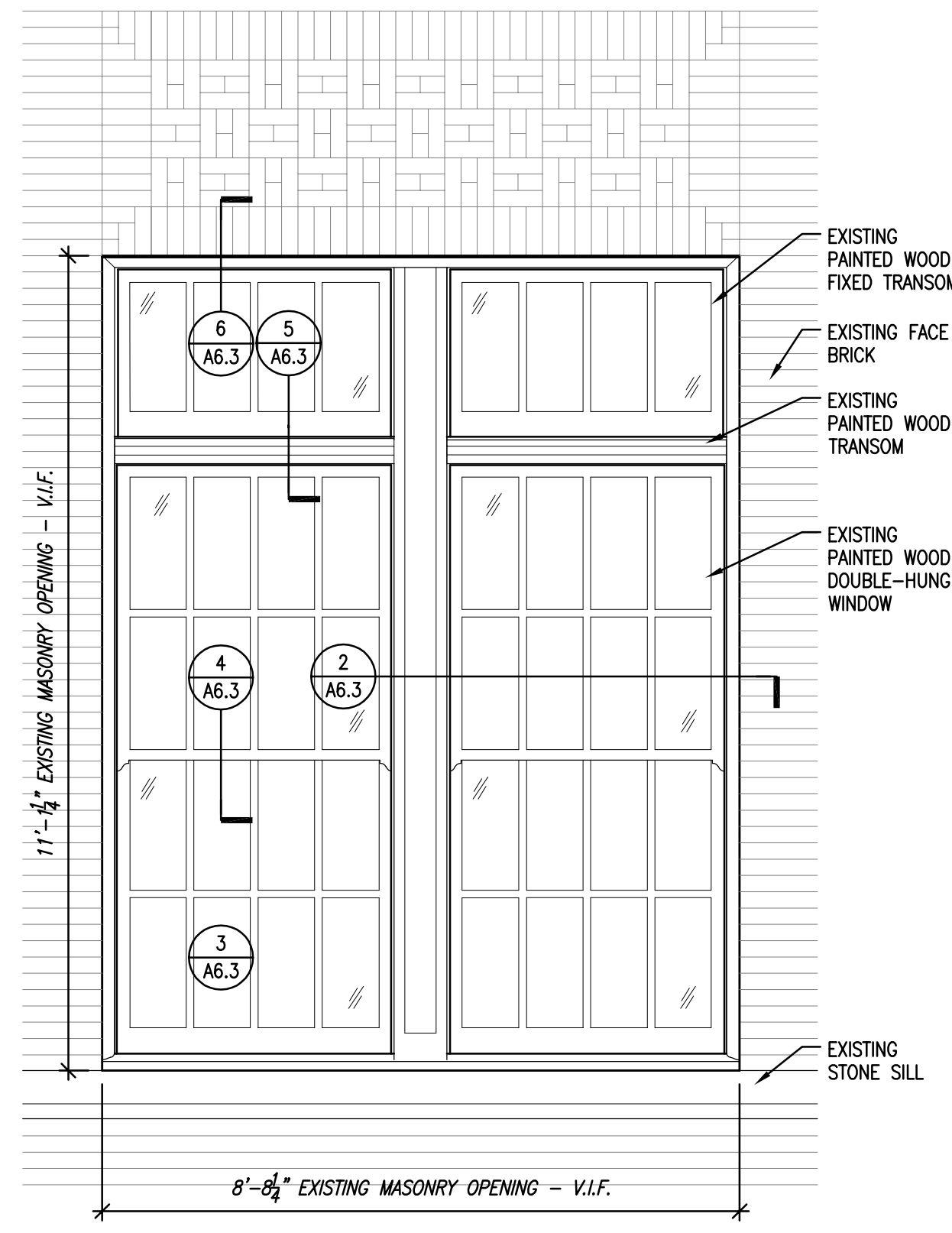
4A DOUBLE-HUNG MEETING RAIL @ REPLACEMENT WINDOW TYPE C  
SCALE: 3" = 1'-0"



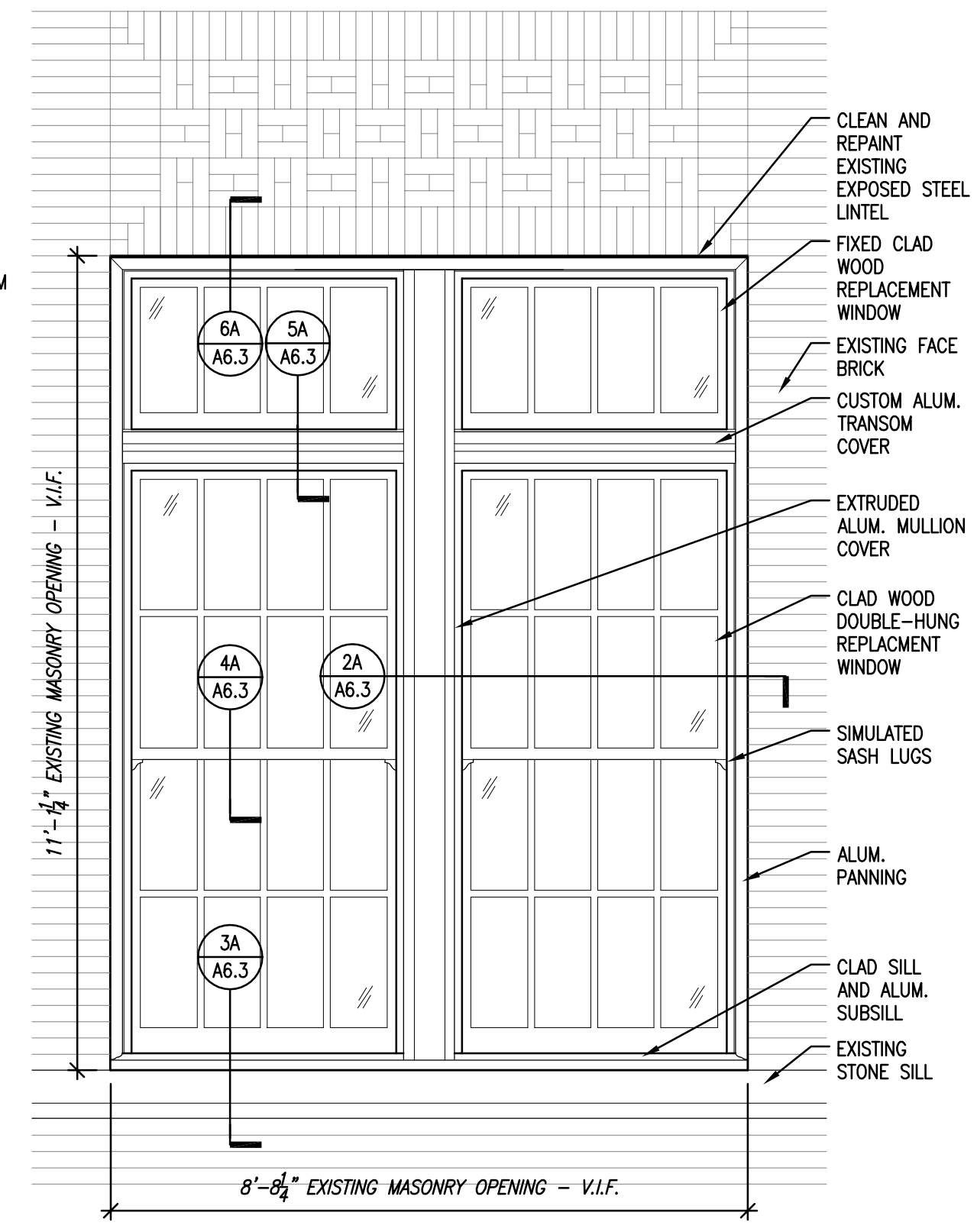
3 SILL DETAIL AT TYPICAL EXISTING WINDOW TYPE C  
SCALE: 3" = 1'-0"



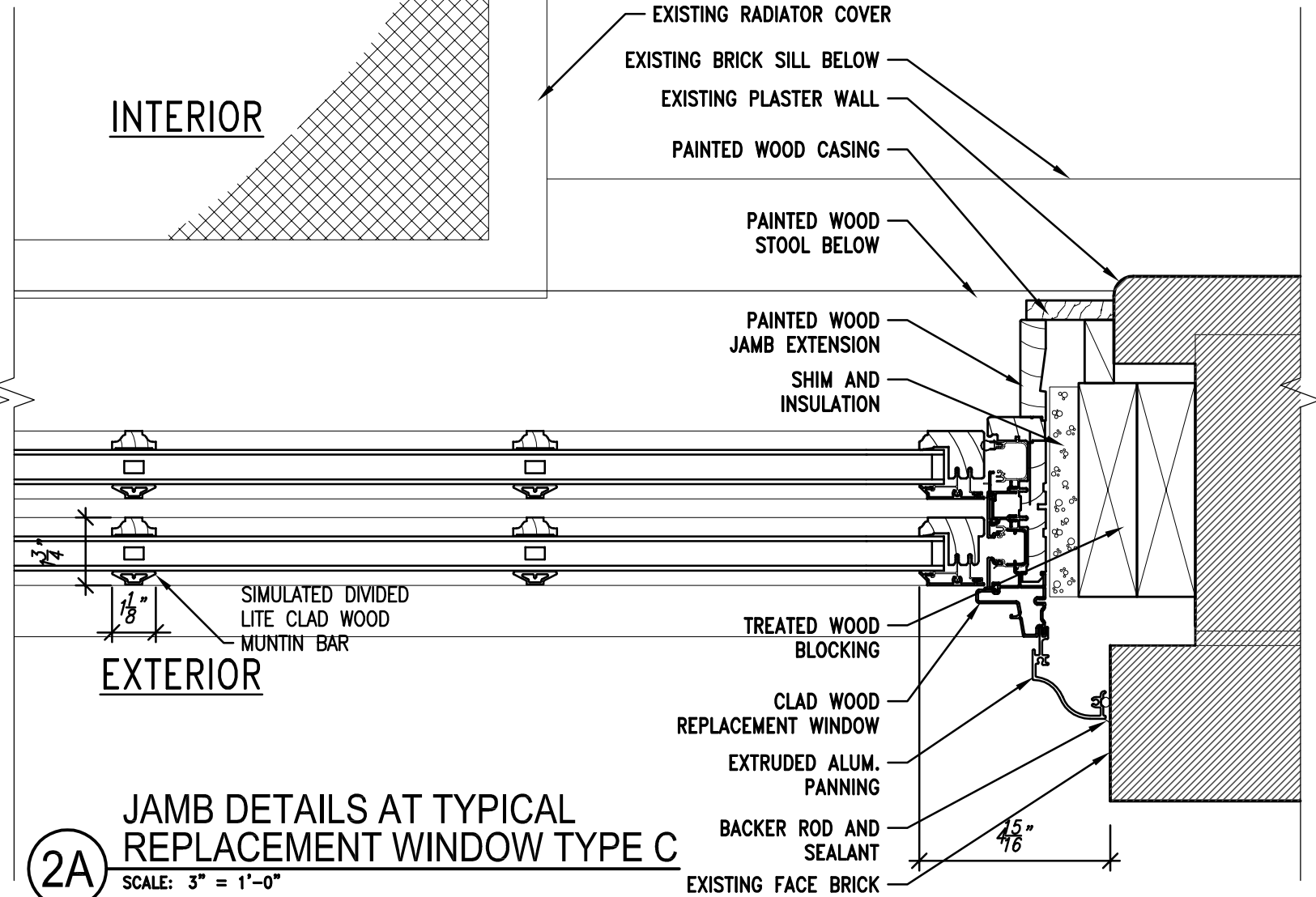
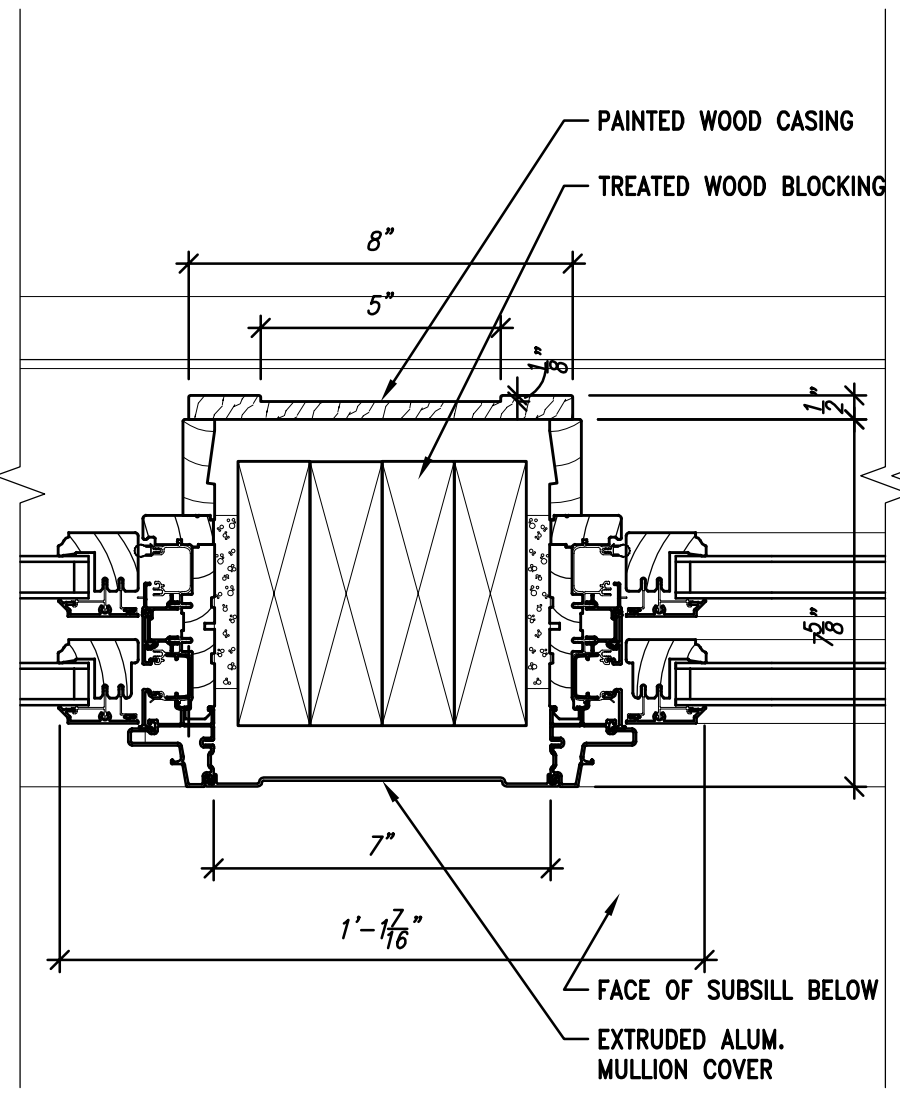
3A SILL DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE C  
SCALE: 3" = 1'-0"



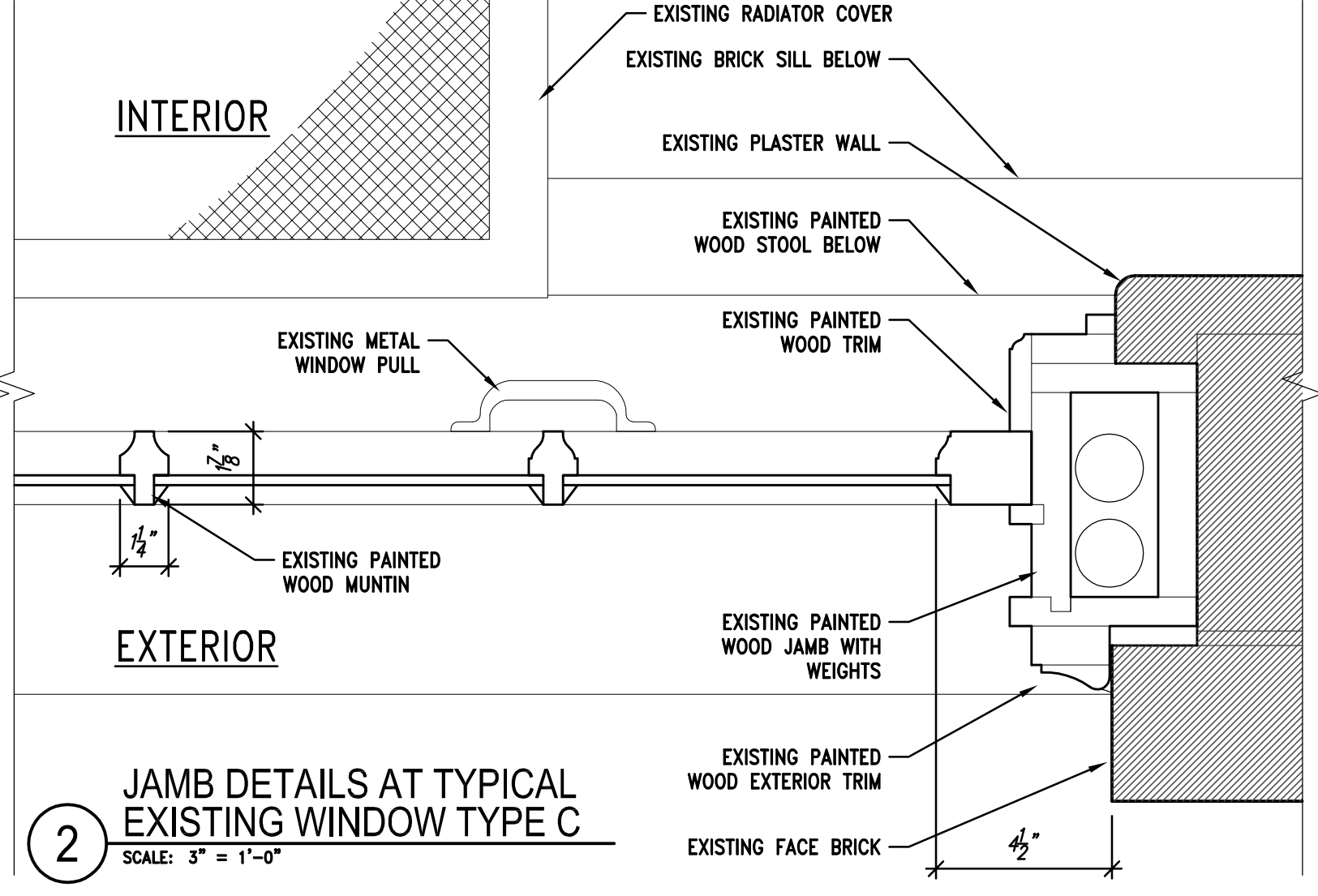
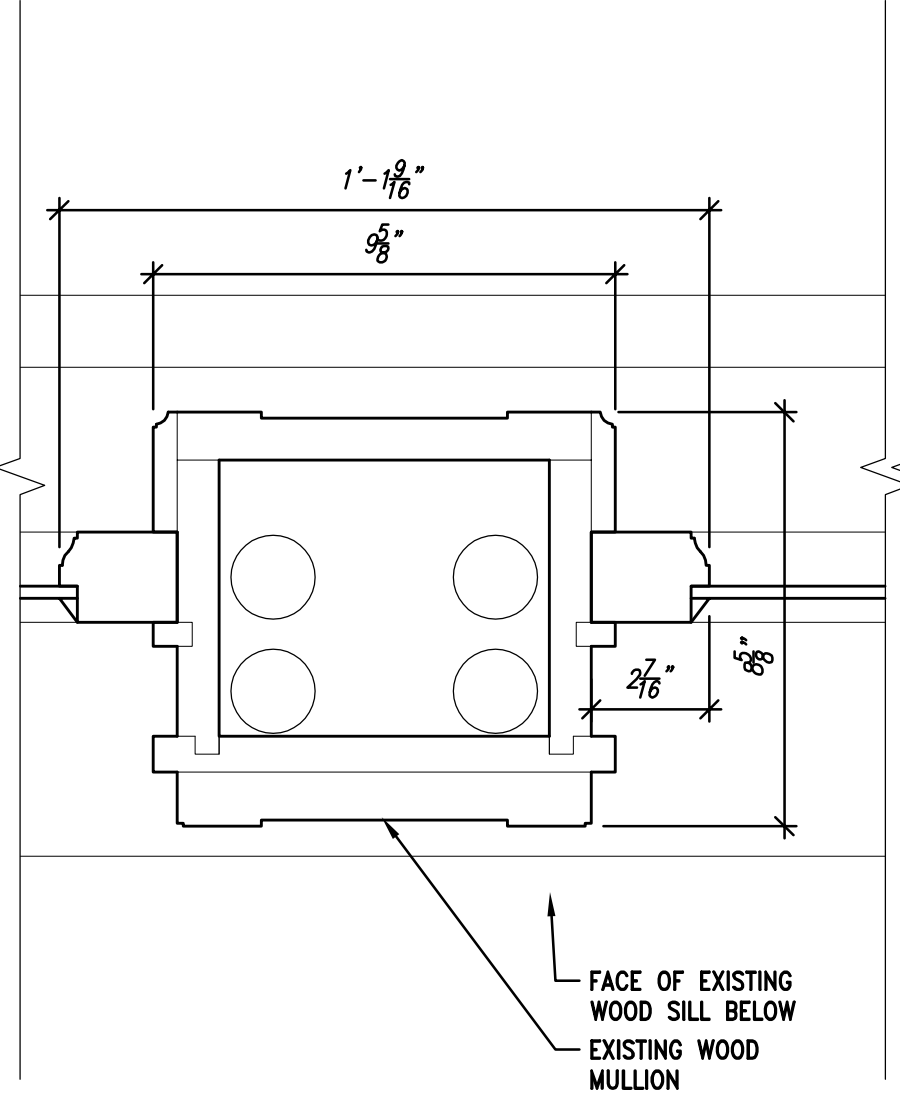
1 EXISTING WINDOW TYPE C  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



1A PROPOSED REPLACEMENT WINDOW TYPE C  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"

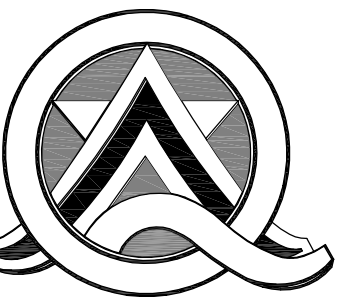


2A JAMB DETAILS AT TYPICAL REPLACEMENT WINDOW TYPE C  
SCALE: 3" = 1'-0"

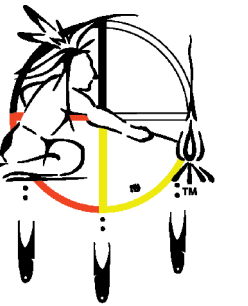


2 JAMB DETAILS AT TYPICAL EXISTING WINDOW TYPE C  
SCALE: 3" = 1'-0"





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12/12/2017

Sheet Name:  
WINDOW DETAILS -  
WINDOW TYPE D

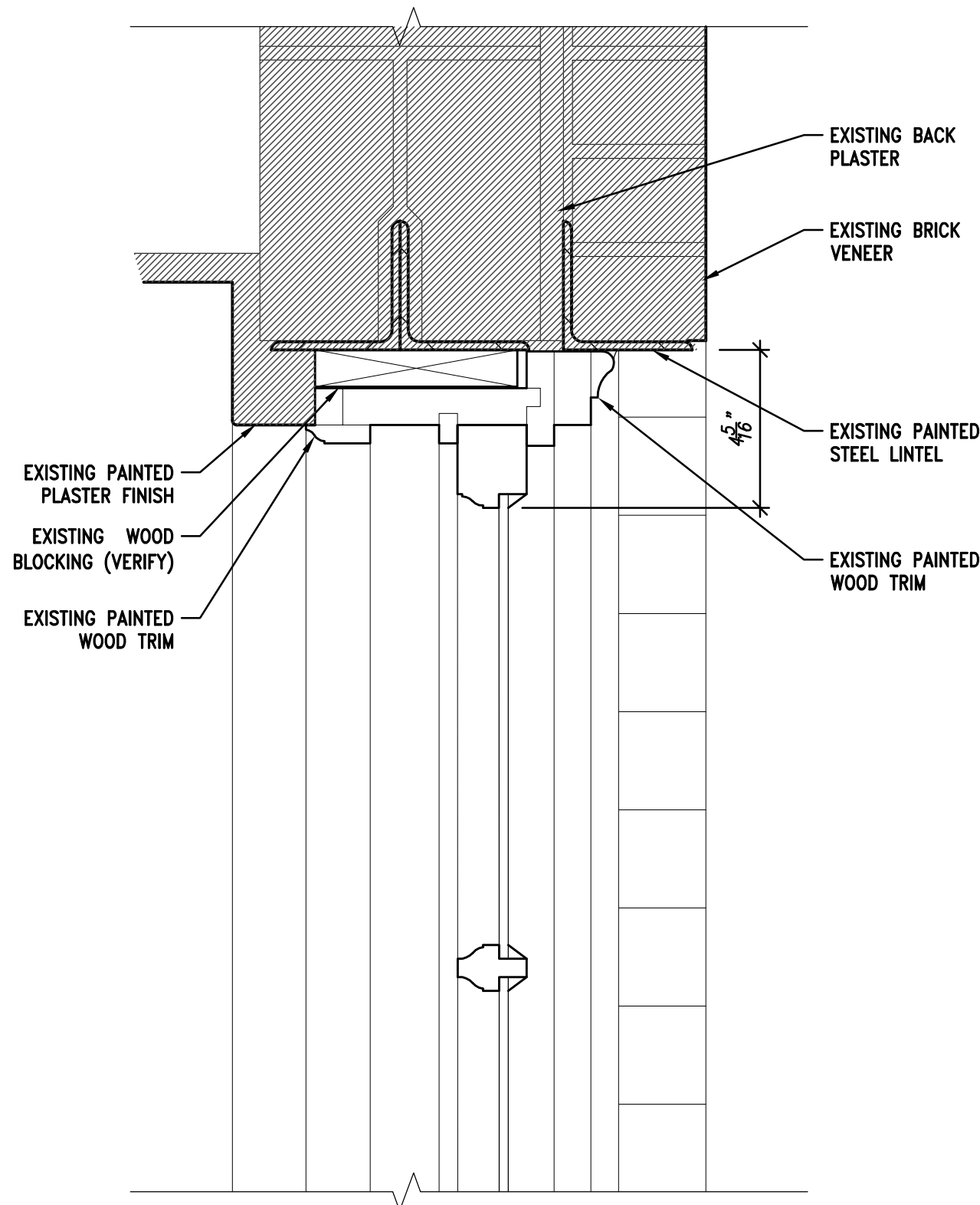
Date: 12/12/2017

Drawn By: MWK

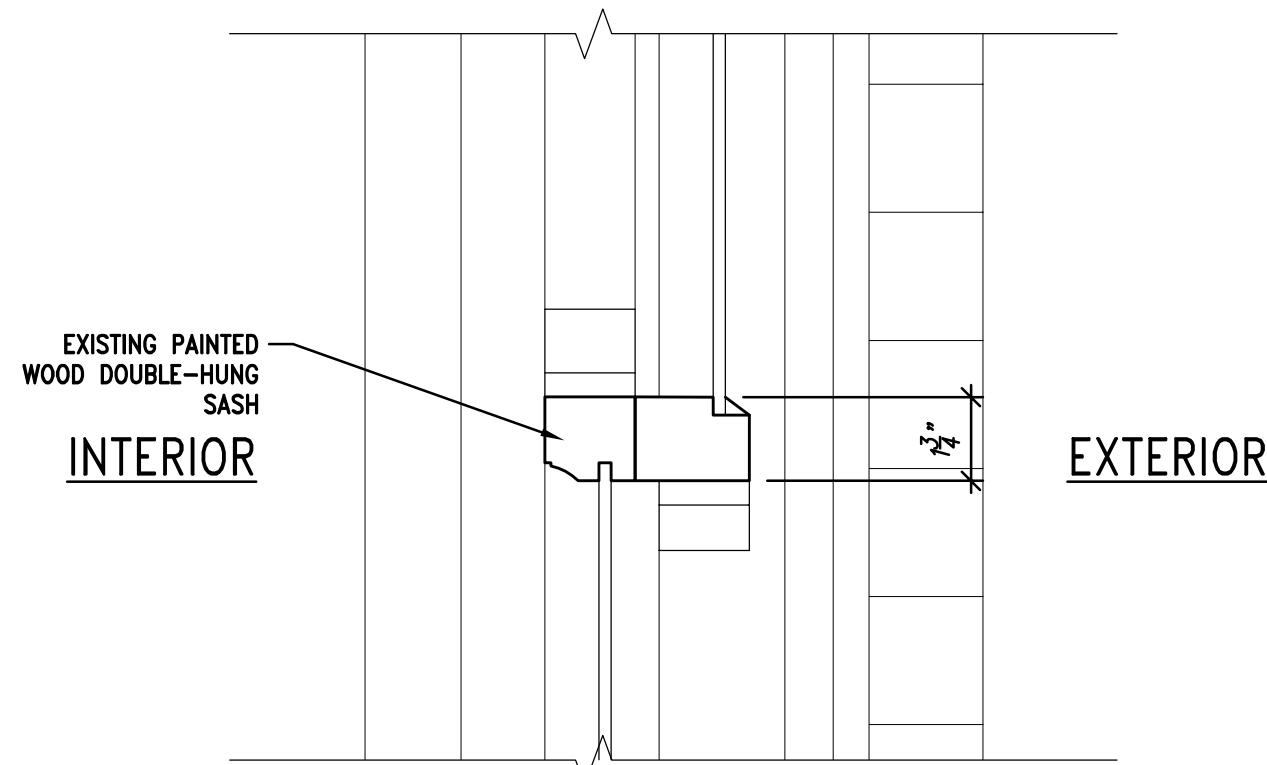
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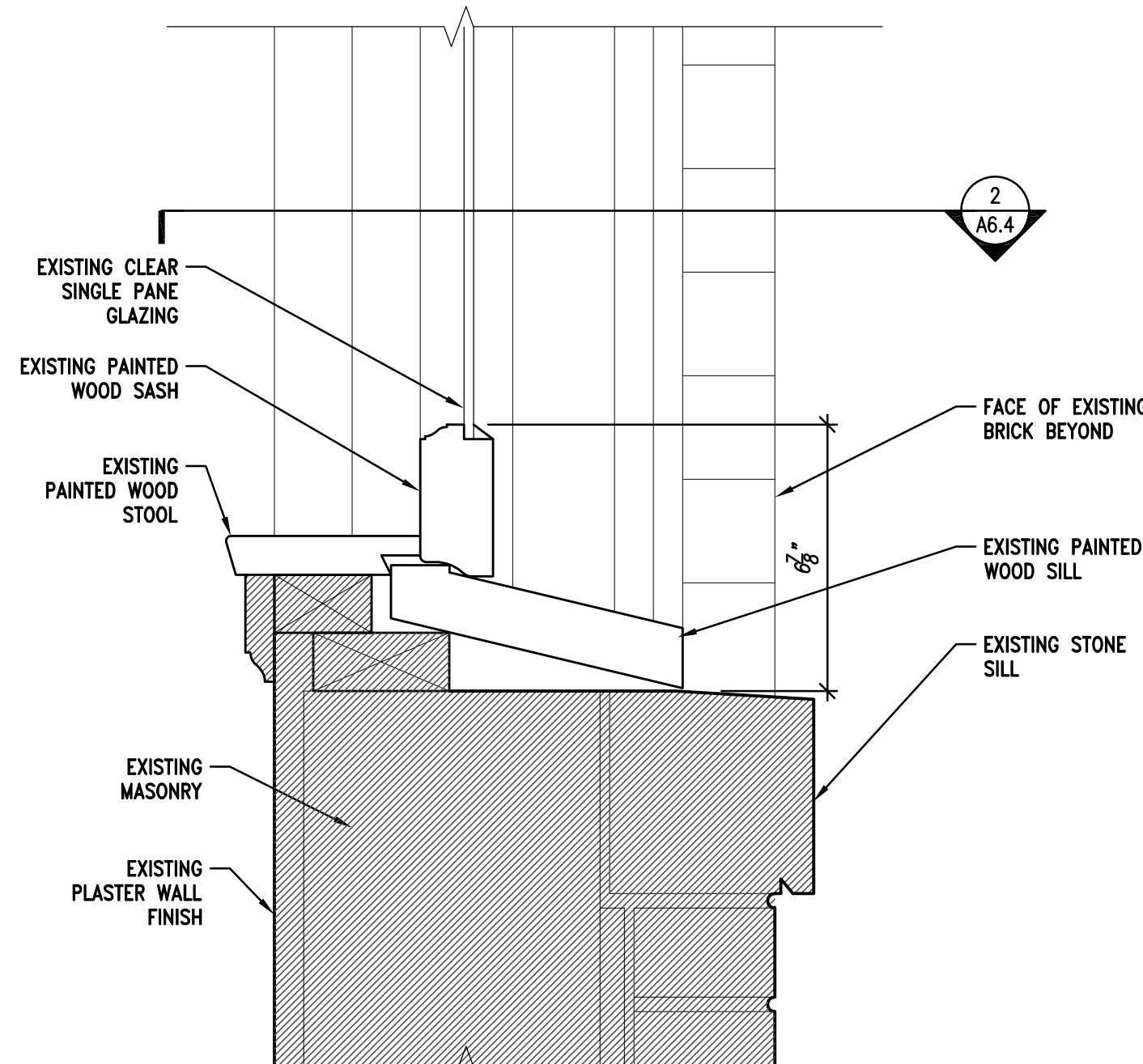
**A6.4**



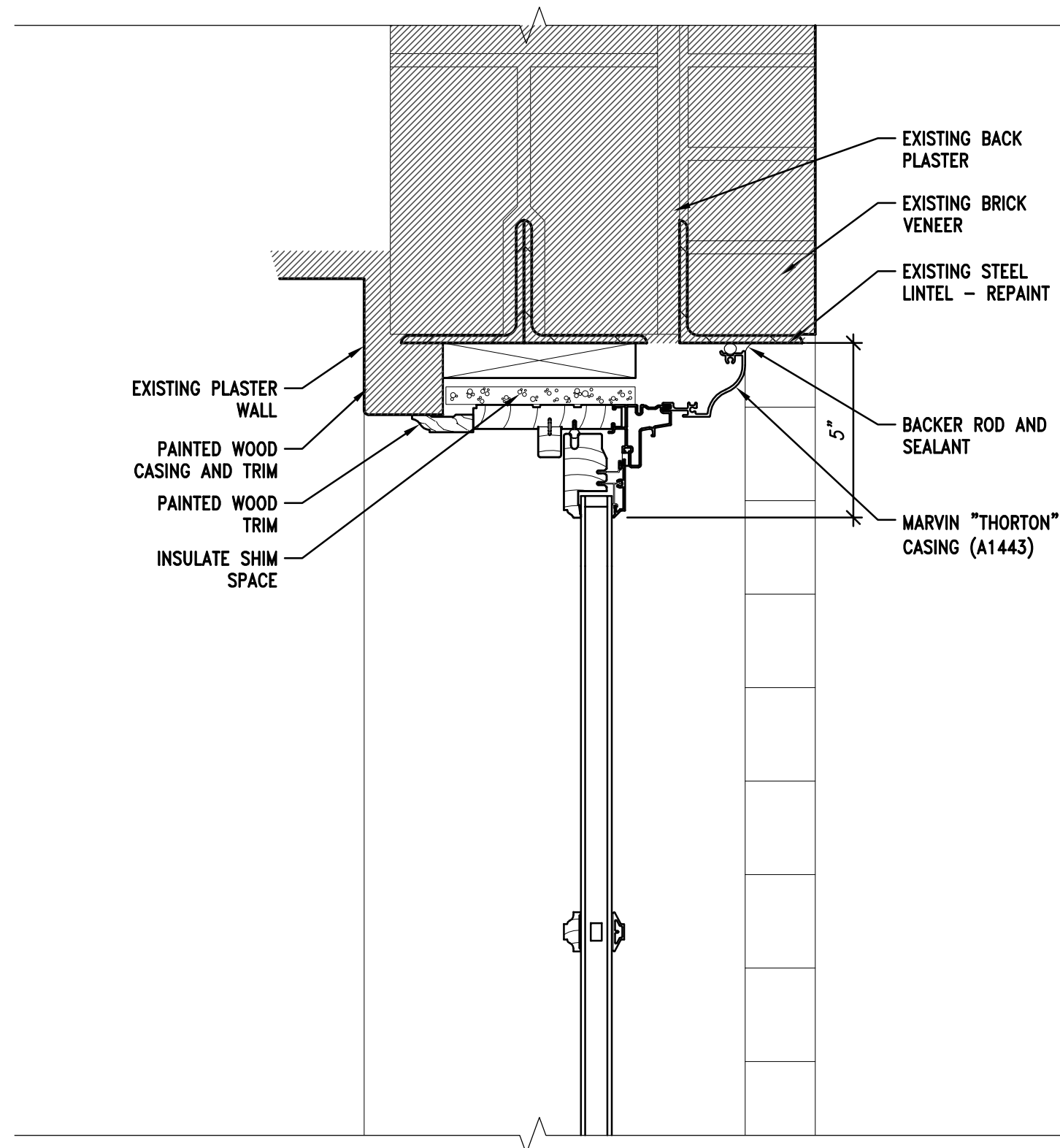
**5** HEAD DETAIL AT TYPICAL EXISTING WINDOW TYPE D  
SCALE: 3" = 1'-0"



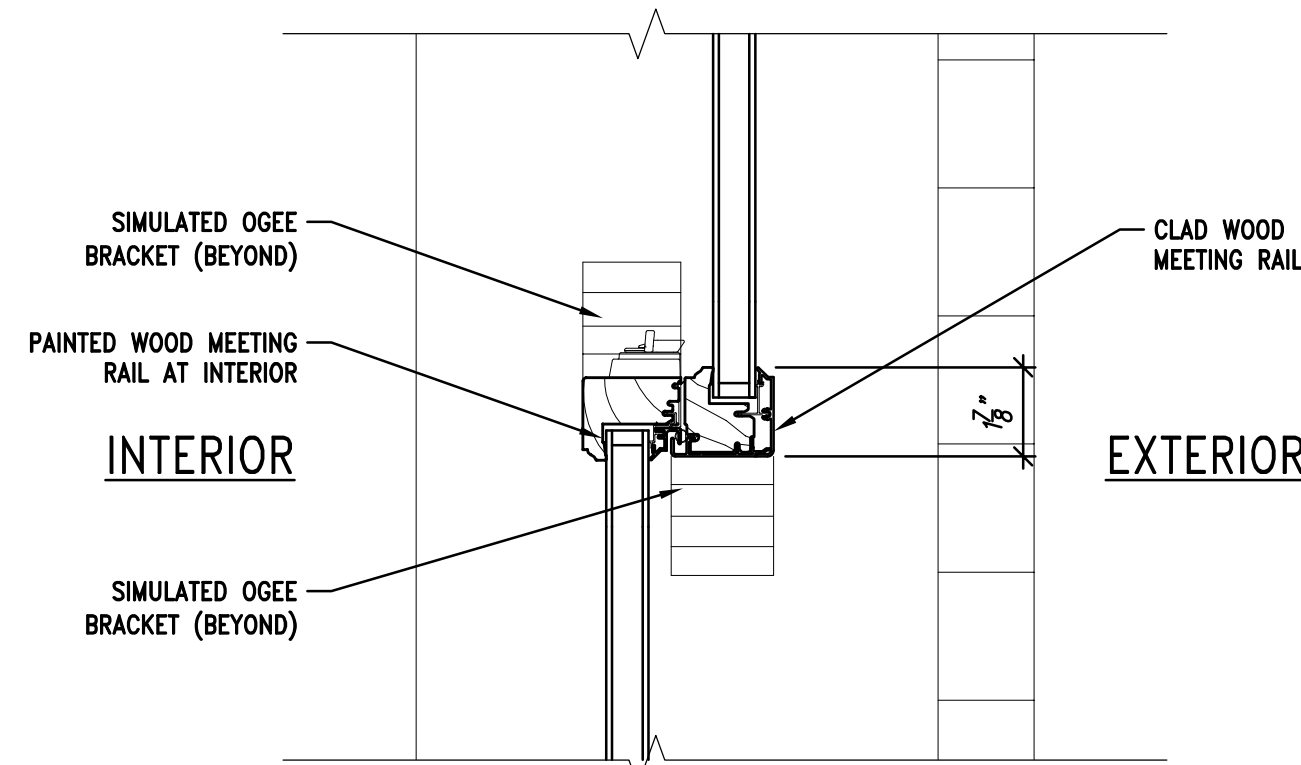
**4** DOUBLE-HUNG MEETING RAIL AT EXISTING WINDOW TYPE D  
SCALE: 3" = 1'-0"



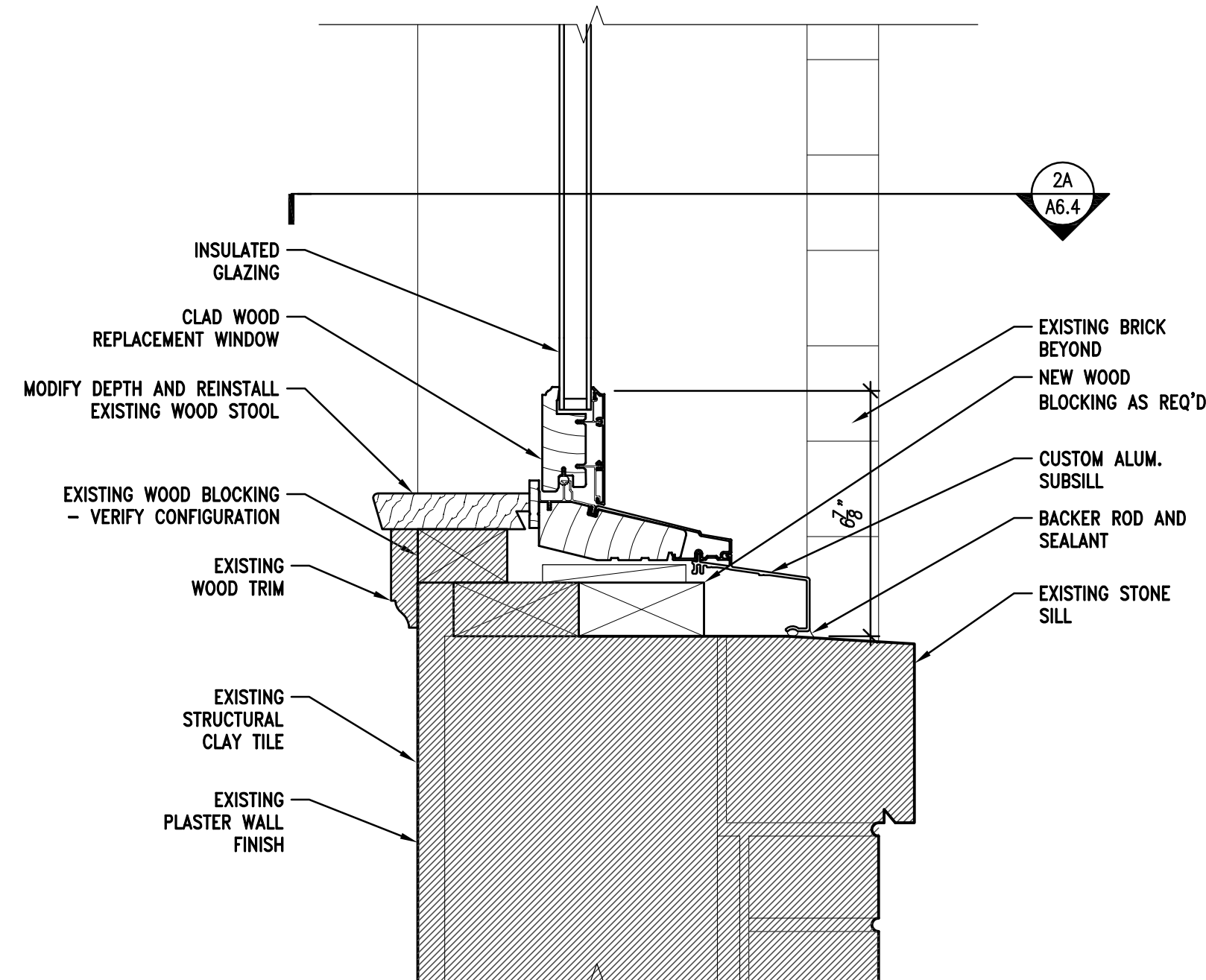
**3** SILL DETAIL AT TYPICAL EXISTING WINDOW TYPE D  
SCALE: 3" = 1'-0"



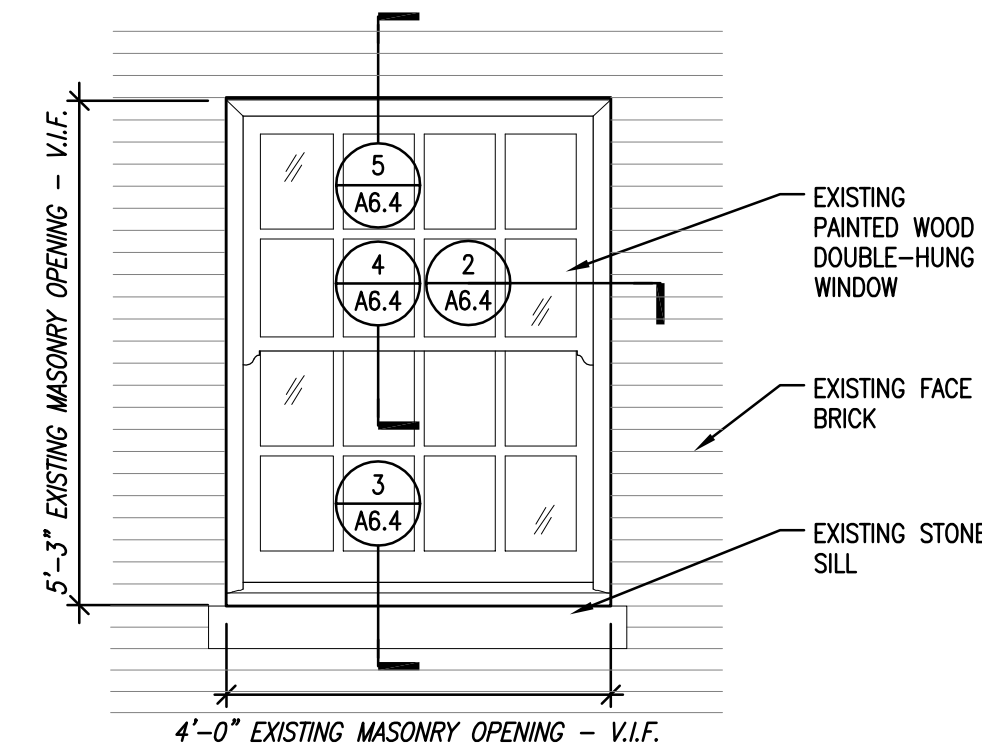
**5A** HEAD DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE D  
SCALE: 3" = 1'-0"



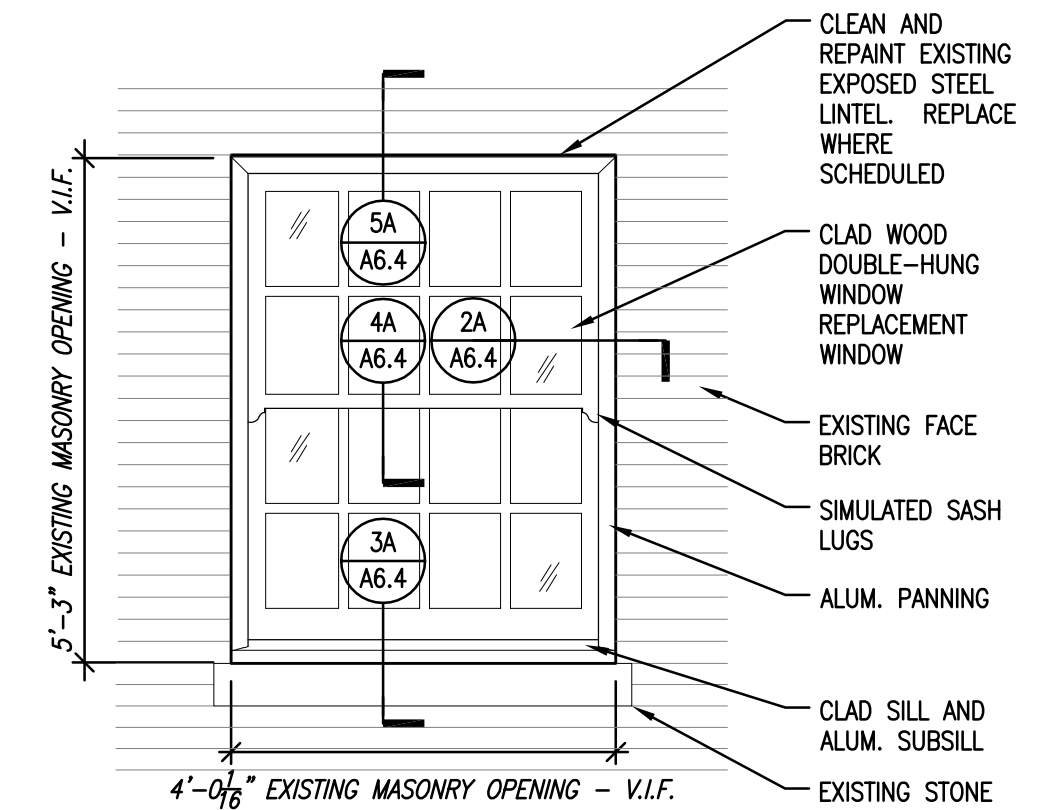
**4A** DOUBLE-HUNG MEETING RAIL @ REPLACEMENT WINDOW TYPE D  
SCALE: 3" = 1'-0"



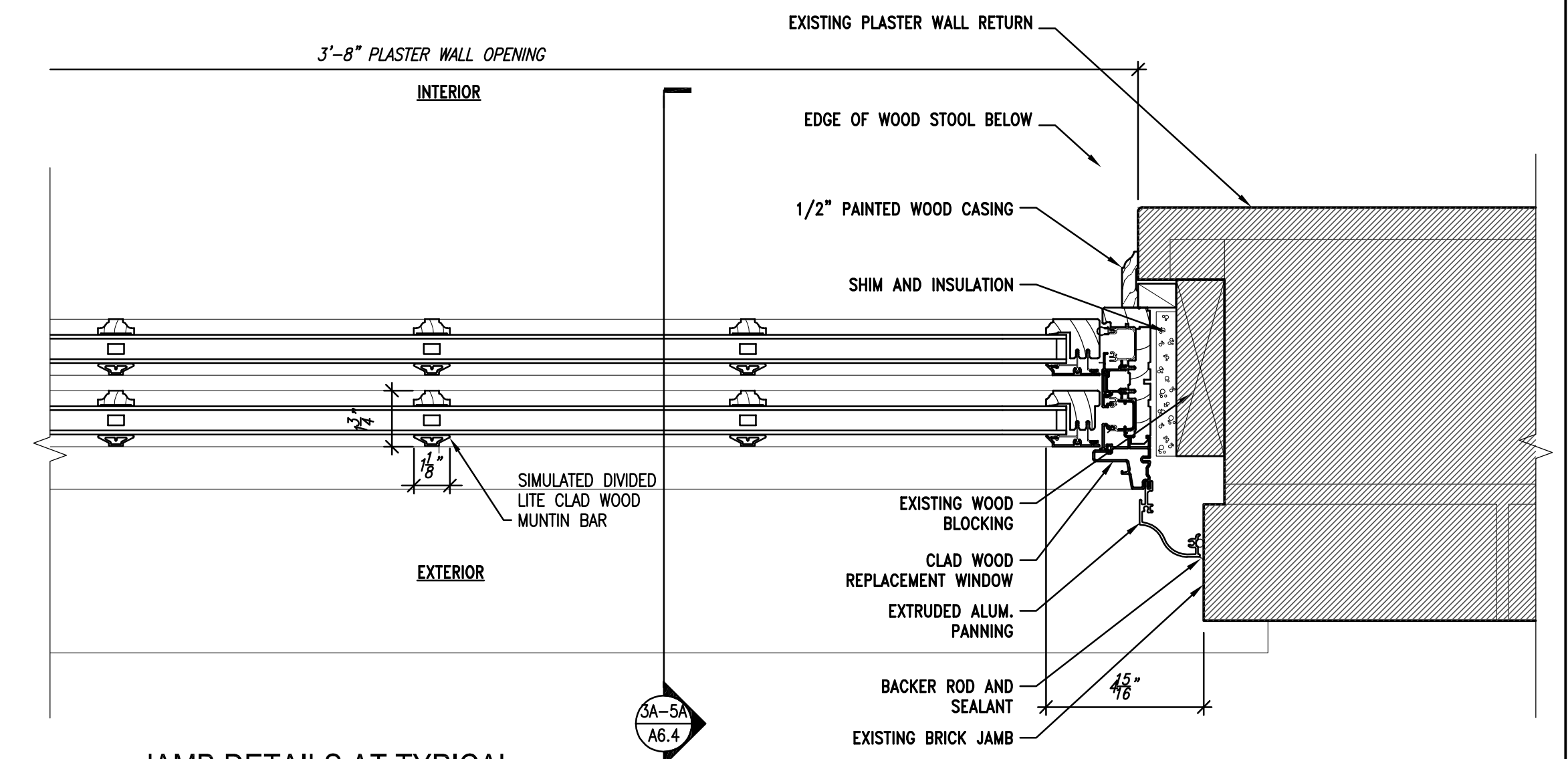
**3A** SILL DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE D  
SCALE: 3" = 1'-0"



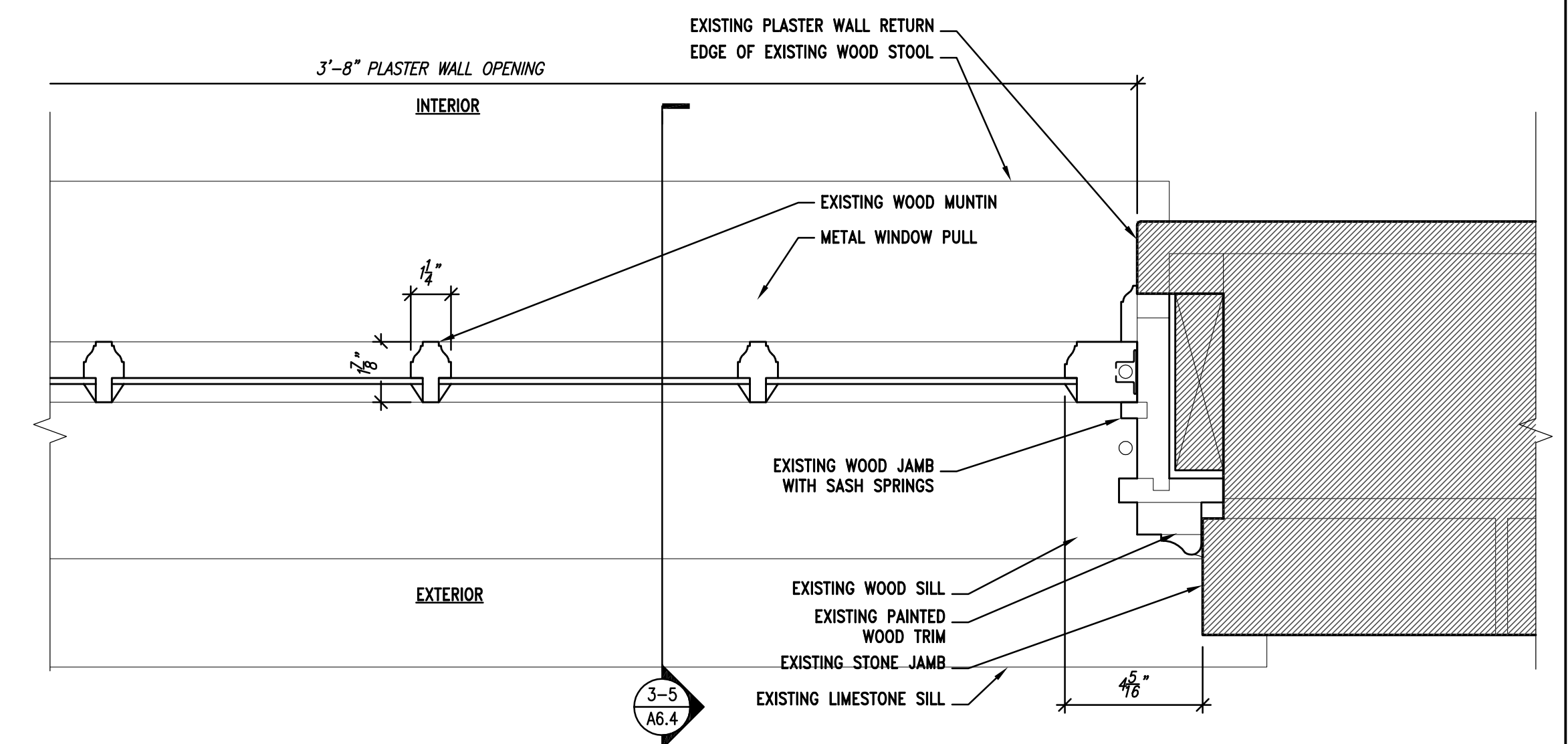
**1** EXISTING WINDOW TYPE D  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



**1A** PROPOSED REPLACEMENT WINDOW TYPE D  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



**2A** JAMB DETAILS AT TYPICAL  
REPLACEMENT WINDOW TYPE D  
SCALE: 3" = 1'-0"

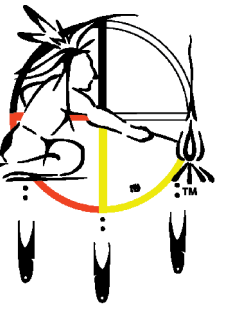


**2** JAMB DETAILS AT TYPICAL  
EXISTING WINDOW TYPE D  
SCALE: 3" = 1'-0"





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Sheet Name:  
WINDOW DETAILS -  
WINDOW TYPE F

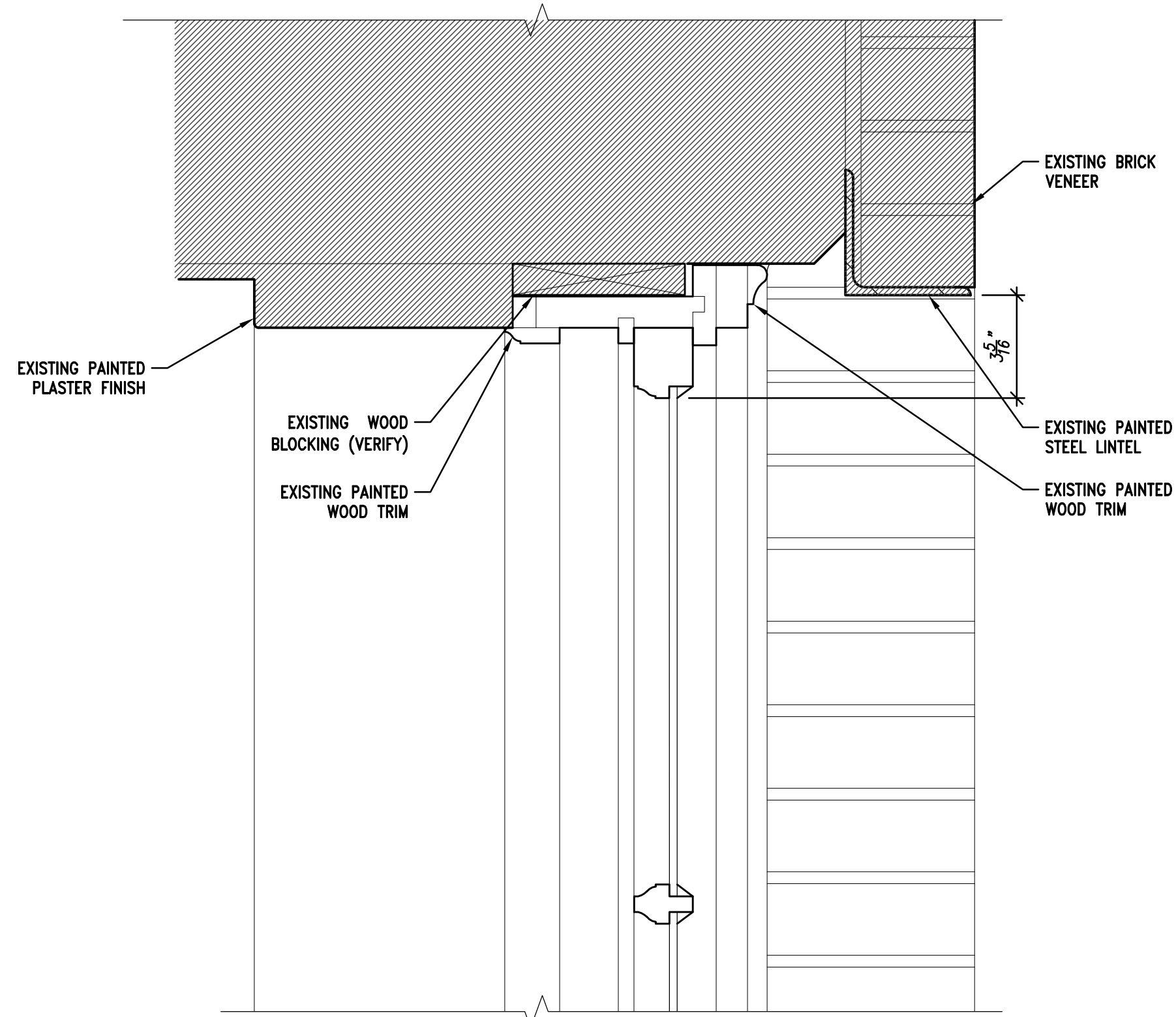
Date: 12/12/2017

Drawn By: MWK

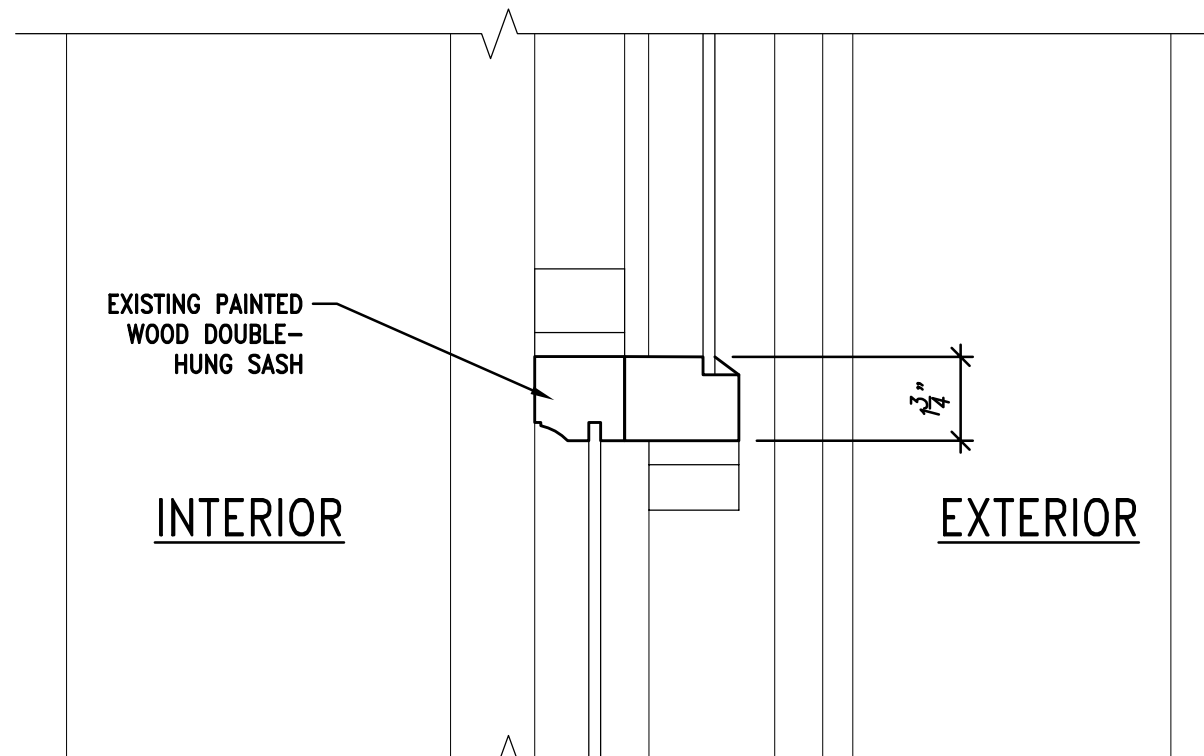
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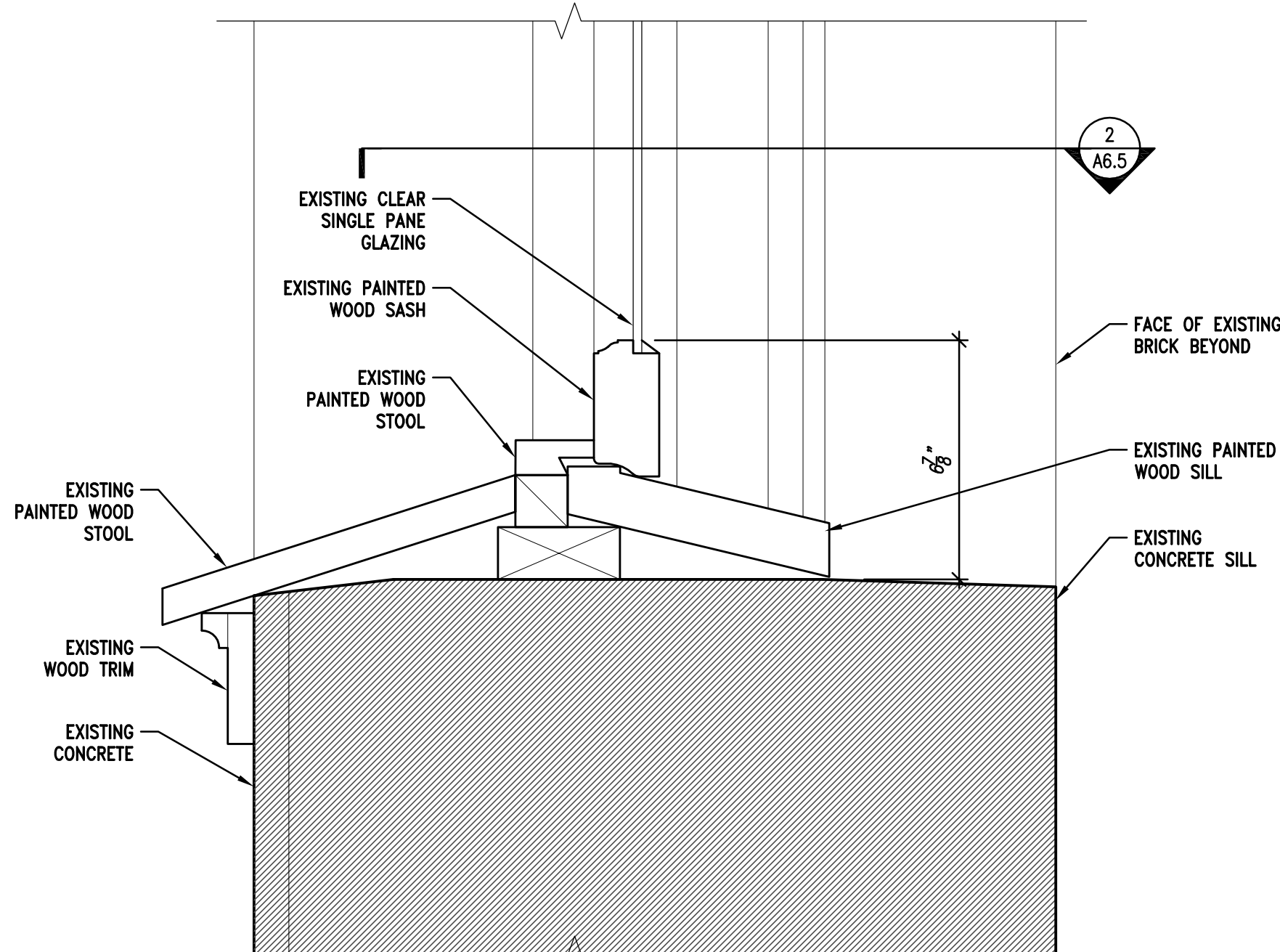
**A6.5**



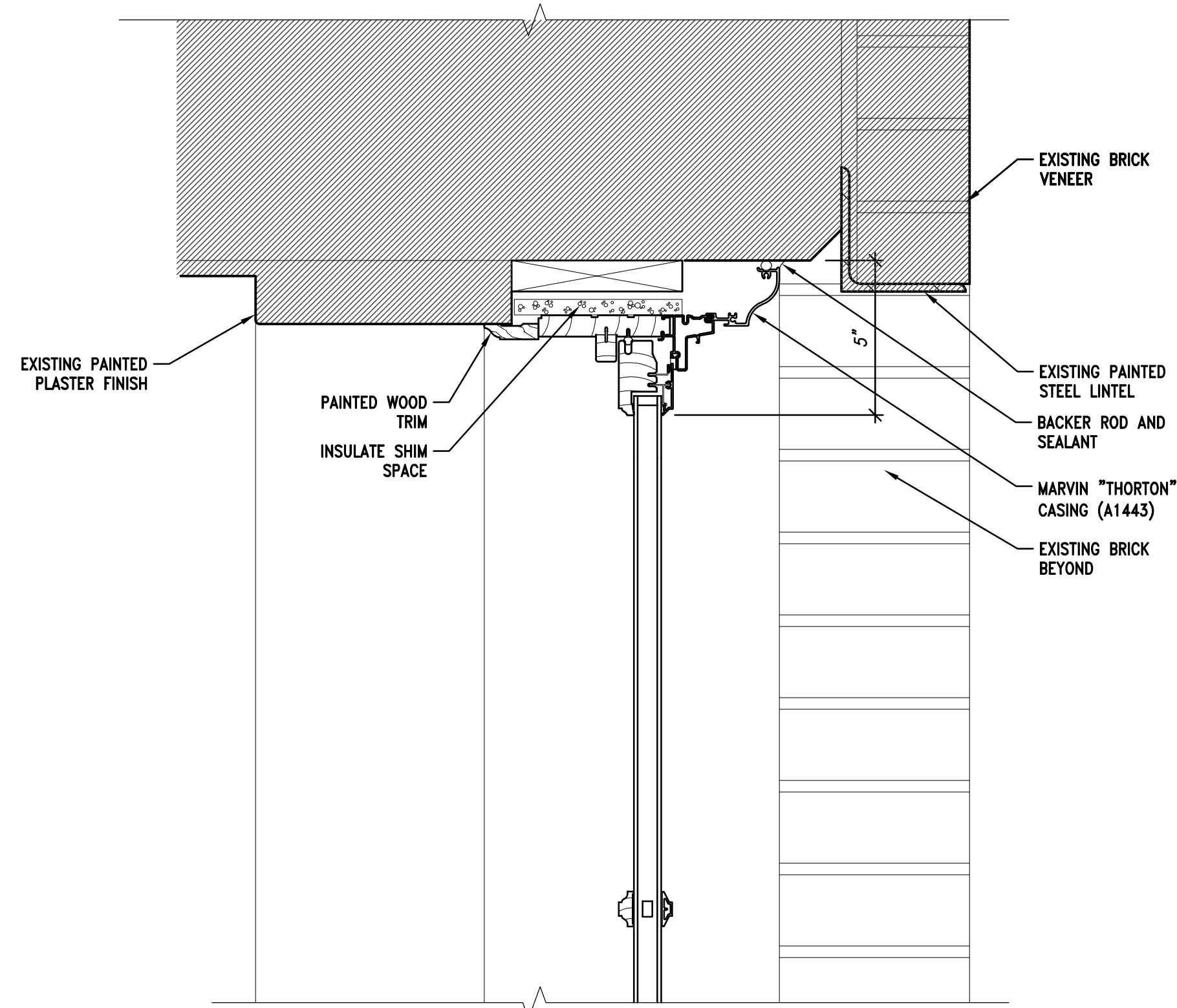
**5** HEAD DETAIL AT TYPICAL EXISTING WINDOW TYPE F  
SCALE: 3" = 1'-0"



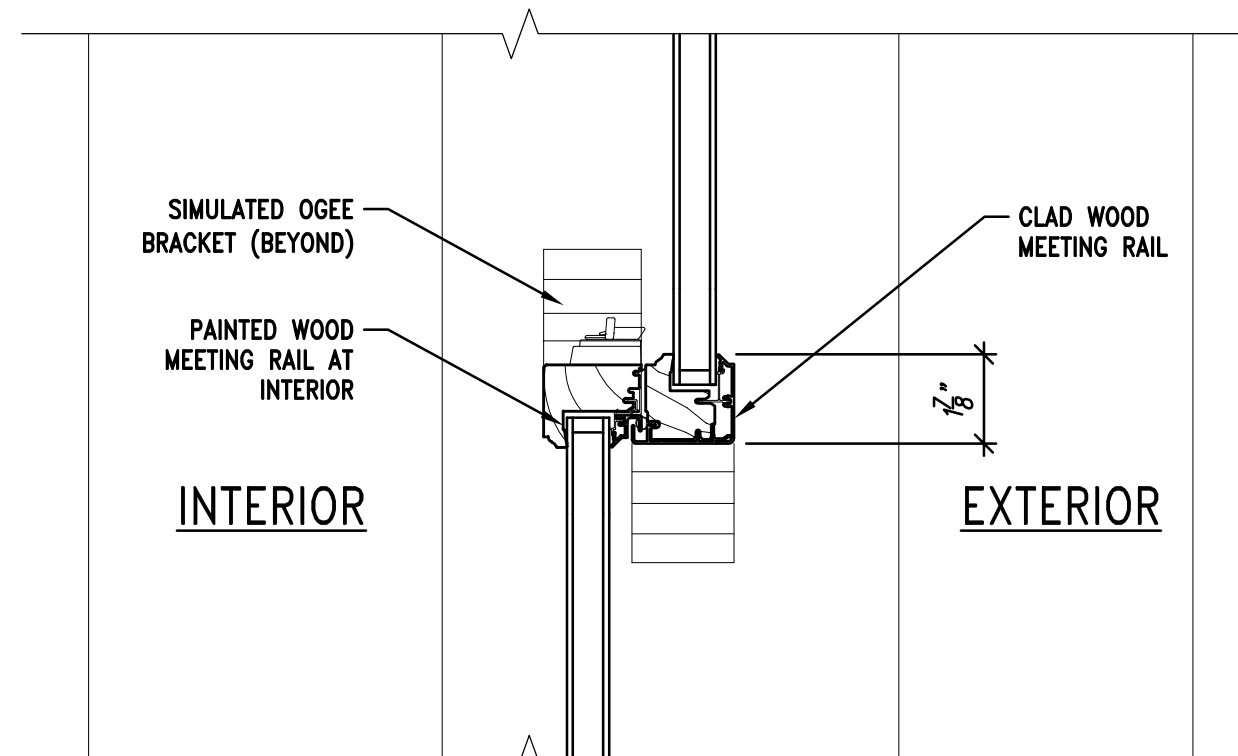
**4** DOUBLE-HUNG MEETING RAIL AT EXISTING WINDOW TYPE F  
SCALE: 3" = 1'-0"



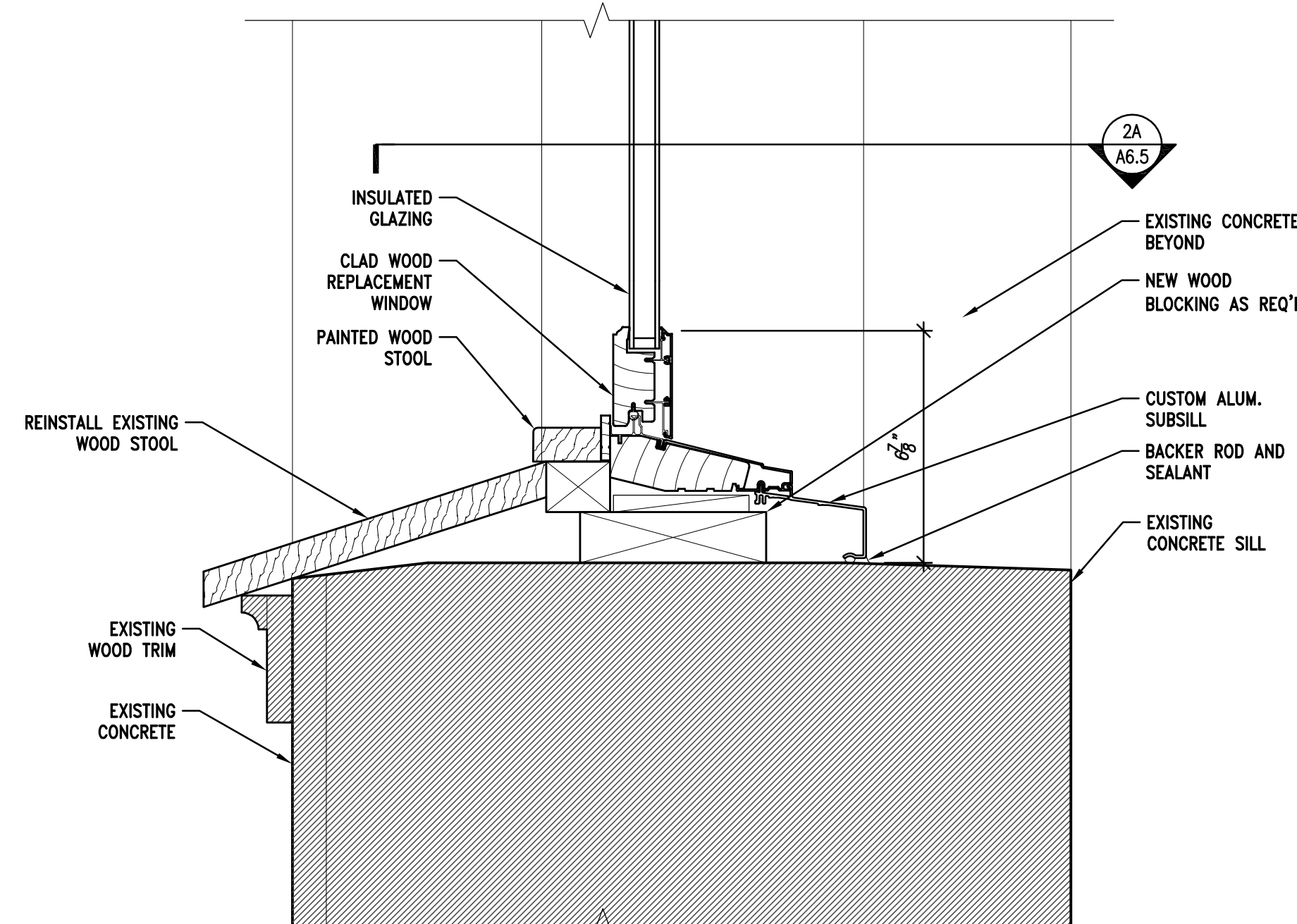
**3** SILL DETAIL AT TYPICAL EXISTING WINDOW TYPE F  
SCALE: 3" = 1'-0"



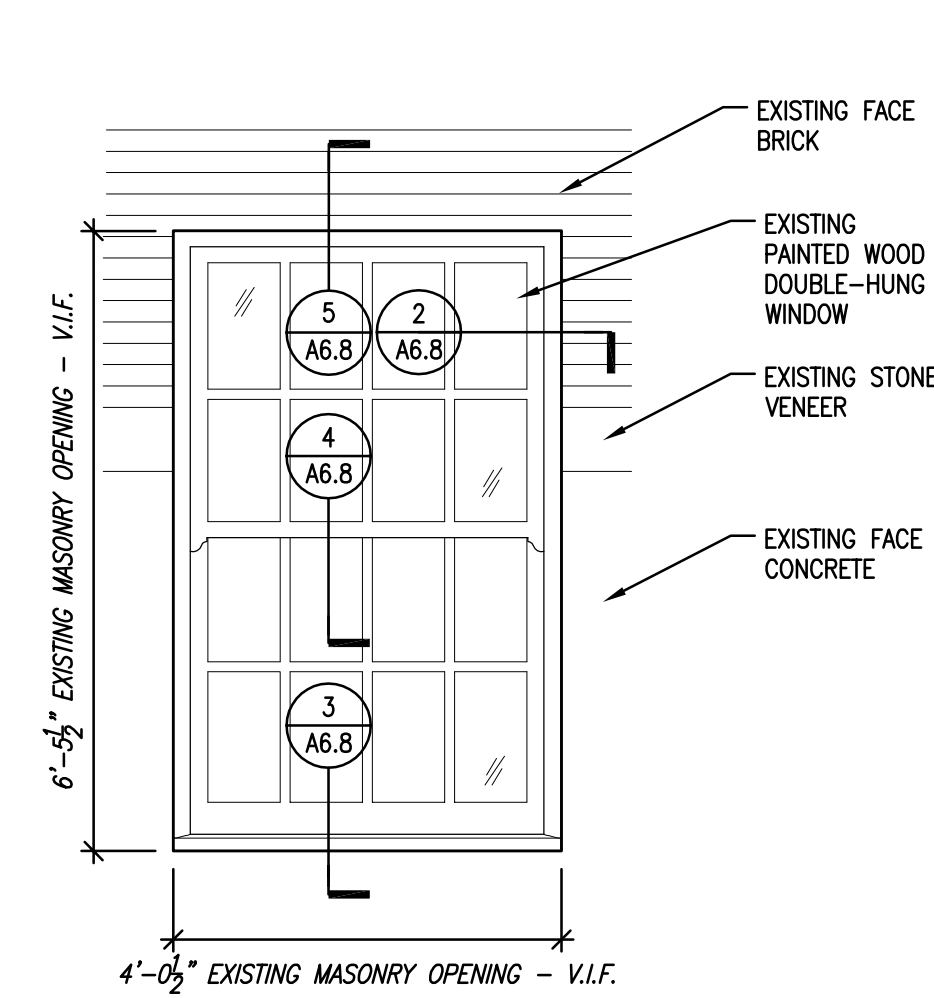
**5A** HEAD DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE F  
SCALE: 3" = 1'-0"



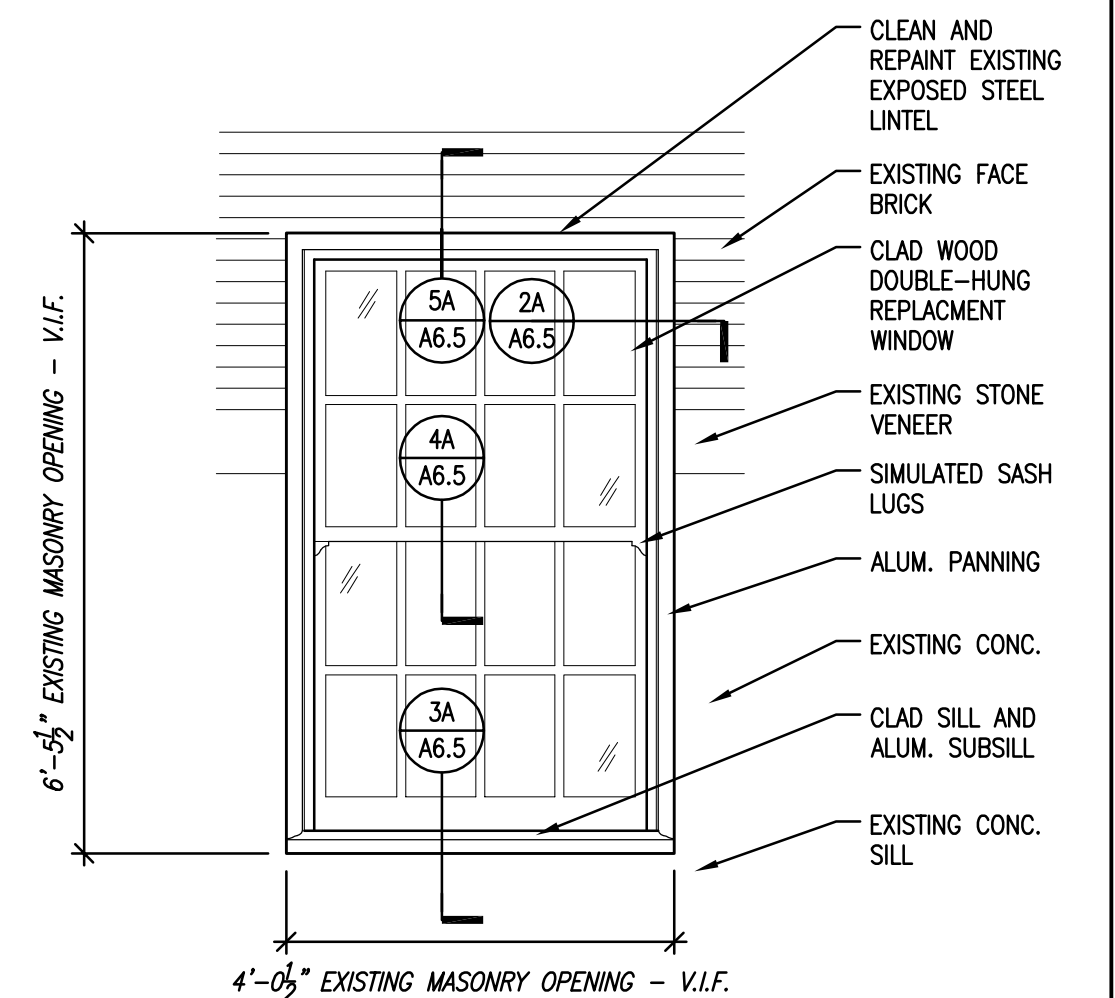
**4A** DOUBLE-HUNG MEETING RAIL @ REPLACEMENT WINDOW TYPE F  
SCALE: 3" = 1'-0"



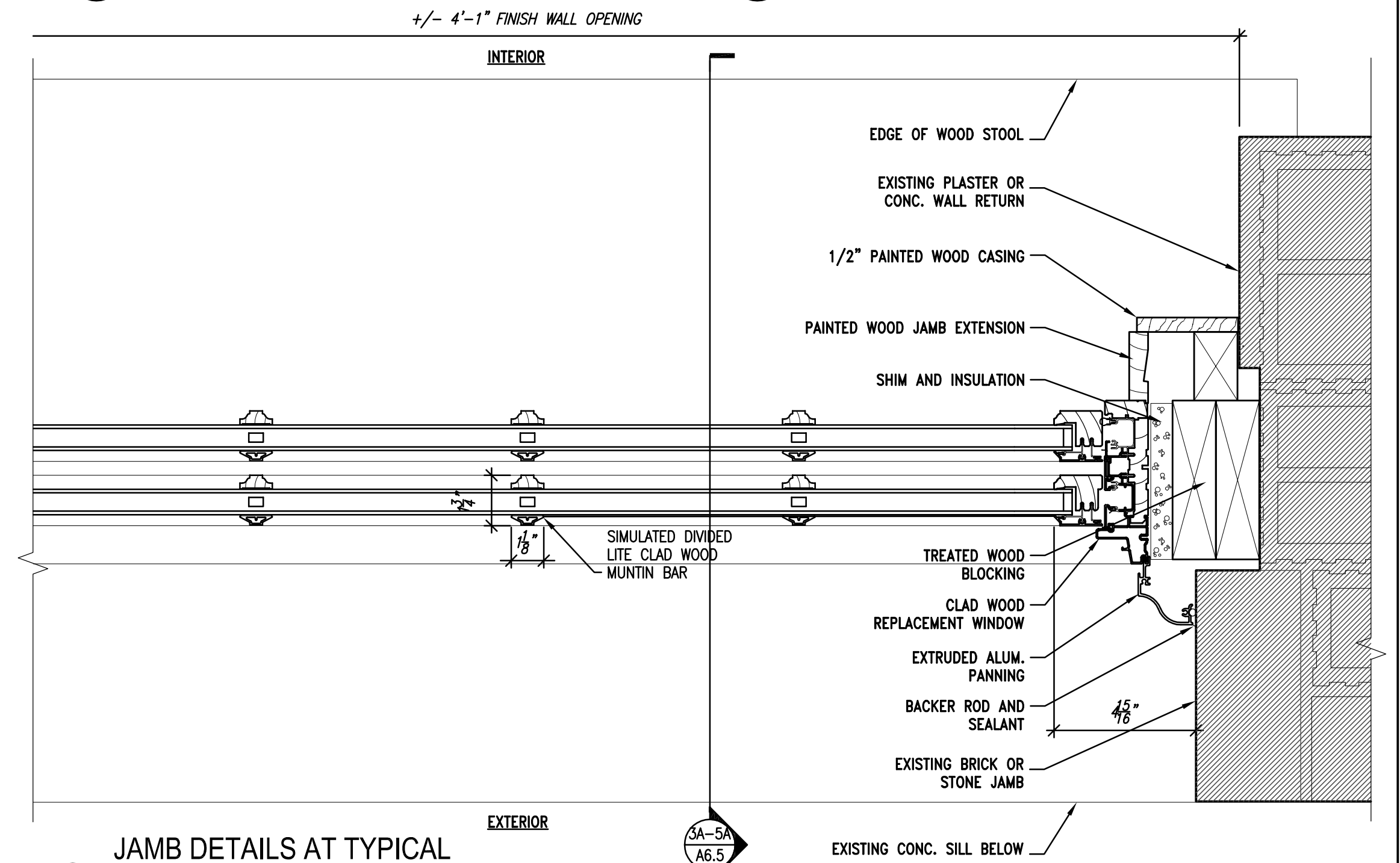
**3A** SILL DETAIL AT TYPICAL REPLACEMENT WINDOW TYPE F  
SCALE: 3" = 1'-0"



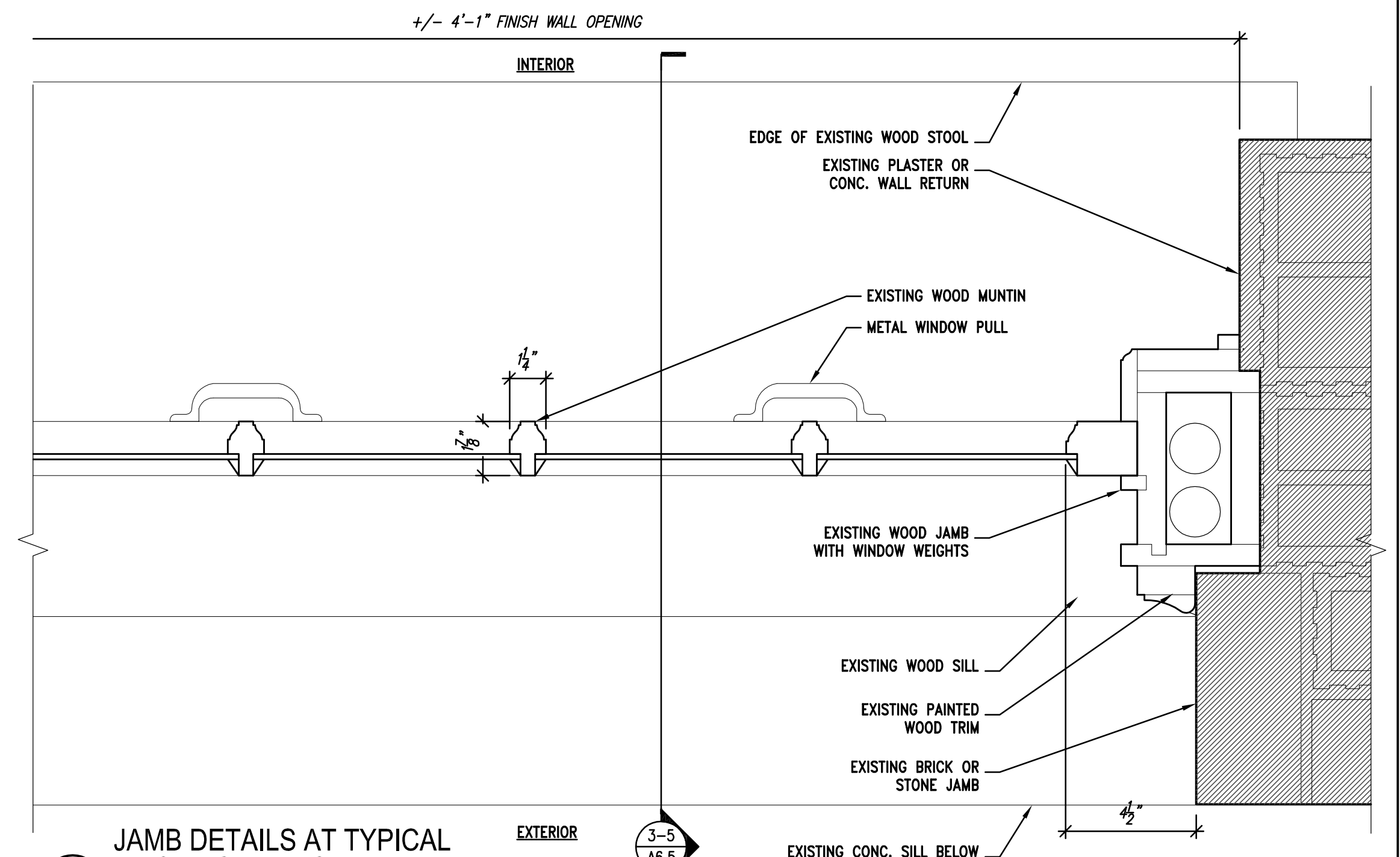
**1** EXISTING WINDOW TYPE F  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



**1A** PROPOSED REPLACEMENT WINDOW TYPE F  
TYPICAL EXTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



**2A** JAMB DETAILS AT TYPICAL  
REPLACEMENT WINDOW TYPE F  
SCALE: 3" = 1'-0"



**2** JAMB DETAILS AT TYPICAL  
EXISTING WINDOW TYPE F  
SCALE: 3" = 1'-0"





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WINDOW DETAILS -  
WINDOW TYPE L

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## A6.6

