# WGEMAS CAMPUS WGEMAS BUILDING

3136 WEST KILBOURN AVENUE MILWAUKEE, WISCONSIN 53203

EXTERIOR STABILIZATION

DATE: DECEMBER 12, 2017

**PROJECT** 

W State St

Vets Place Central

LOCATION

Aurora Family Services

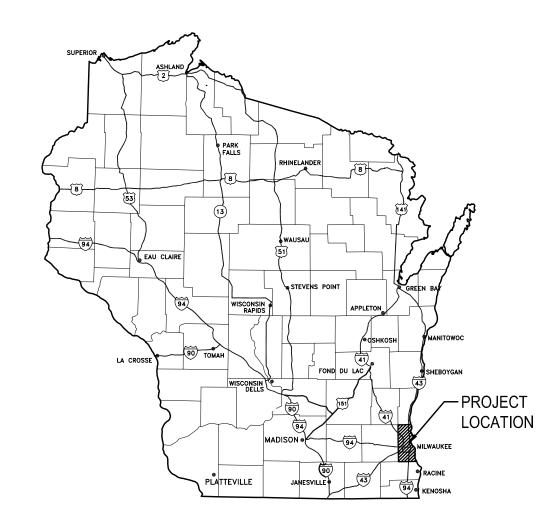
■ Quorum Architects

W State St

CONTACT INFORMATION:

## ARCHITECTURAL

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PROJECT NUMBER: 15014.04

#### ARCHITECTURAL

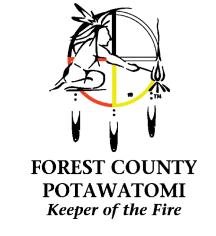
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# PRELIMINARY NOT FOR CONSTRUCTION QUORUM ARCHITECTS, INC.

WGEMA CAMPUS WGEMAS BUILDING

**EXTERIOR STABILIZATION** 

Project No.: 15014.04 Date: 12/12/2017

: 12, 2017 — 10:40am 5 Projects\15014—00 Wgema Campus\15014—04 Wgemas\CDs\Bid Package 1\15014—04

Dec 12, Q:\15 Pro

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LOCATION MAP:

■ 35th Street Clinic

Texas Bufkin Christian Academy

#### PROJECT REQUIREMENTS / NOTES

<u>LEED CERTIFICATION REQUIREMENTS:</u>
THE BUILDING IS A LEED CORE & SHELL. ALTHOUGH THE WORK UNDER THIS CONTRACT IS NOT SUBJECT TO LEED CONTRACT INTERIORS, ALL WORK MUST ADHERE TO LEASE CONDITIONS AS DEFINED UNDER THE LEED CORE & SHELL.

**SUBMITTAL PROCEDURES:** 

SUBMIT FIVE (5) COPIES OF ALL SUBMITTALS TO THE ARCHITECTS. THE ARCHITECT WILL RETAIN ONE (1) COPY, FORWARD (2) COPIES TO WISCONSIN HISTORICAL SOCIETY (DOES NOT PERTAIN TO ALL SUBMITTALS), AND RETURN TWO (2) COPIES TO THE GENERAL CONTRACTOR.

THE MAJOR GOALS OF THE MASONRY

RESTORATION ARE: RETURN THE APPEARANCE OF THE MASONRY TO A "RESTORED" CONDITION WITHOUT COMPLETELY REMOVING THE PATINA OF AGE OR ALTERING THE BRICK/STONE NATURAL COLORATION.

 REPAIR DAMAGED AND DETERIORATED AREAS UTILIZING THE TECHNIQUES SPECIFIED BY THE PROJECT ARCHITECT AND WORKING WITH THEM TO TROUBLESHOOT UNFORESEEN CONDITIONS.

 RESTORE THE MASONRY UTILIZING TRADITIONAL MASONRY TECHNIQUES INCLUDING MATERIALS SYMPATHETIC: APPROPRIATE, AND COMPATIBLE TO THE ORIGINAL HISTORIC BUILDING COMPONENTS AND MATERIALS. MODERN TREATMENTS AND REPAIRS WILL BE CONCEALED SUCH AS THE USE OF MODERN SEALANTS, FLASHING, ETC

MASONRY CONTRACTOR SELECTION CRITERIA AND PRE-QUALIFICATIONS:

PLEASE RESPOND TO THE FOLLOWING POINTS. THIS WILL HELP IN OUR UNDERSTANDING YOUR EXPERIENCE, STRENGTHS, CLIENT SATISFACTION, AND COMPETITIVENESS. SUB-CONTRACTORS INCLUDED IN YOUR BID SHALL MEET ALL PRE-QUALIFICATION REQUIREMENTS NAMED HEREIN WITH THE EXCEPTION OF "MATERIALS," (SEE SPECS AND DRAWINGS) AND "MOCK-UP."

1. EXPERIENCE: PROVIDE A LIST OF SIMILAR BUILDING TYPES WITH RESTORATION COMPONENTS. THAT YOUR FIRM HAS COMPLETED WITHIN THE LAST FIVE YEARS THAT ARE SIMILAR TO THIS PROJECT. INCLUDE NAME OF THE BUILDING, ADDRESS AND CLIENT CONTACT WITH PHONE NUMBER, PROJECT ARCHITECT'S NAME WITH PHONE NUMBER. LIST YOUR EXPERIENCE WITH HISTORIC STRUCTURES IN TERMS OF RESTORATION/RENOVATION. IN PARTICULAR. PROVIDE DETAILED INFORMATION ON PROJECTS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES, STATE REGISTER OF HISTORIC PLACES, OTHER BUILDINGS WITH LOCAL DESIGNATIONS. HISTORIC TAX CREDIT PROJECTS, ETC.

PROVIDE A CURRENT UNDER-CONSTRUCTION PROJECT NAME AND ADDRESS THAT IS BEING EXECUTED BY YOUR FIRM THAT THE OWNERS COULD TOUR WITH A REPRESENTATIVE FROM YOUR FIRM IF THEY SO DESIRE.

2. MATERIALS: MORTAR ANALYSIS HAS BEEN EXECUTED, OR IS CURRENTLY IN PROCESS. A MATCHING HISTORICALLY APPROPRIATE MORTAR WILL BE THE STANDARD FOR ALL MORTARS FOR THIS SCOPE OF WORK. DEMONSTRATE PAST PROJECT EXPERIENCE WITH TRADITIONAL LIME-BASED MORTARS. DEMONSTRATE EXPERIENCE WITH VARIED MORTAR TOOLING CAPABILITIES BEYOND THE STANDARD RAKED OR FLUSH JOINT.

NOTE: ALL REPOINTING WORK SHALL BE PERFORMED BY A CRAFTSPERSON THAT IS FAMILIAR WITH HISTORIC LIME MORTAR FORMULATIONS, CURING CONDITIONS, AND PERFORMANCE CHARACTERISTICS. WORK SHALL BE PERFORMED BY A FIRM HAVING NOT LESS THAN FIVE YEARS SUCCESSFUL EXPERIENCE IN COMPARABLE MASONRY RESTORATION PROJECTS AND EMPLOYING PERSONNEL SKILLED IN THE RESTORATION PROCESS AND OPERATIONS INDICATED. ONLY SKILLED JOURNEYMAN MASONS WHO ARE FAMILIAR AND EXPERIENCED WITH THE MATERIALS AND METHODS SPECIFIED AND ARE FAMILIAR WITH THE DESIGN REQUIREMENTS SHALL BE USED FOR MASONRY RESTORATION. ONE SKILLED JOURNEYMAN MASON, TRAINED EXTENSIVELY IN LIKE-TYPE PROJECTS, SHALL BE PRESENT AT ALL TIMES DURING THE MOCK-UP AND

ALL SUBSEQUENT MASONRY RESTORATION

AND SHALL PERSONALLY DIRECT THE WORK.

HOLLOW CORE

3. MOCK-UP: AS PART OF THE PRE-QUALIFICATION PROCESS, A MOCK-UP SHALL BE REQUIRED ON THE ACTUAL REFECTORY MASONRY. COMPLETE A 3'-0" X 3'-0" MASONRY RESTORATION MOCK-UP TO DEMONSTRATE YOUR INTERPRETATION OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS (MORTAR, TOOLING PROFILE, QUALITY, CLEANING ETC...). TWO MOCK-UPS ARE REQUIRED.

MOCK-UP ONE: JOINT PREPARATION / MORTAR REMOVAL.

MOCK-UP TWO: MORTAR INSTALLATION AND TOOLING. MOCK-UPS WILL BE EXECUTED AT LOCATIONS TO BE SPECIFIED BY THE OWNER, BUT MUST BE IN CLOSE PROXIMITY TO A CLEANED PORTION OF THE EXISTING MASONRY. THE MOCK-UP SHALL ACT AS A REPRESENTATION OF THE QUALITY OF THE CONTRACTOR'S FINISHED WORK. THE APPROVED MOCK-UP SHALL ESTABLISH THE STANDARD OF QUALITY FOR THE PROJECT AND WILL BE A FACTOR IN FINAL CONTRACTOR SELECTION.

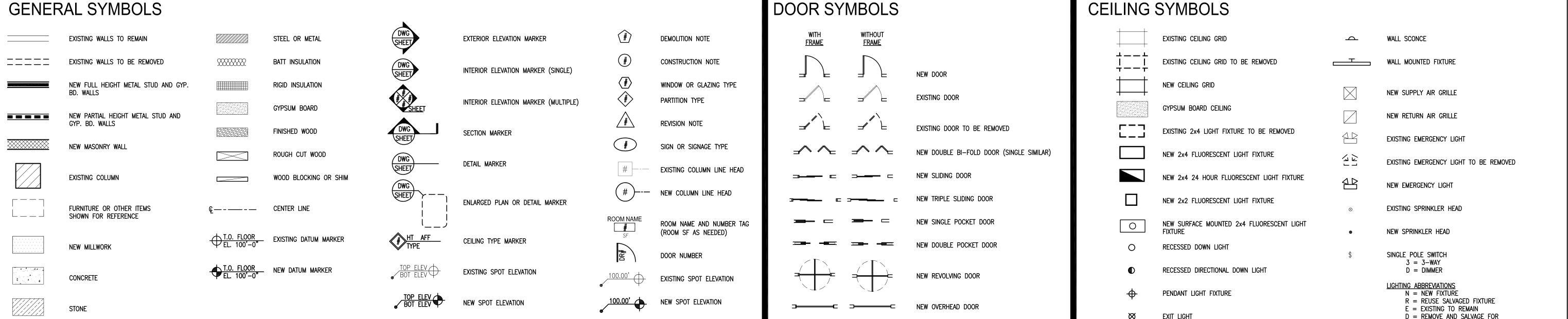
UPON MOCK-UP COMPLETION, APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO PROTECT THE MORTAR FROM EXPOSURE TO SUN, WIND, RAIN, AND FROST TO ENABLE SLOW CURING (I.E. CARBONATION) TO TAKE PLACE.

THE "APPROVED" SAMPLE CAN ONLY BE USED FOR COLOR MATCHING AFTER CURING IN THE WALL FOR A MINIMUM OF SEVEN (BUT PREFERABLY FOURTEEN) DAYS. CONTACT THE GENERAL CONTRACTOR, OR IN ABSENCE OF A GENERAL CONTRACTOR CONTACT THE OWNER'S REPRESENTATIVE, TO SCHEDULE THE MOCK-UP. ALL MOCK-UPS SHALL BE COMPLETED ON OR BY THE DATE SPECIFIED BY GREENFIRE MANAGEMENT SERVICES. MOCK-UPS WILL BE EVALUATED BY THE OWNER'S REPRESENTATIVE AND ARCHITECT, AND CITY OF MILWAUKEE HISTORIC PRESERVATION COMMISSION REPRESENTATIVE.





Fax: 414.265.9465



CONT

CONTINUOUS, CONTINUE

BOTTOM OF FOOTING

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STONE STONE	<b>3</b> 501 EEE. 1		NEW OVERHEAD DOOR	⊠ EXIT LIGHT	E = EXISTING TO REMAIN D = REMOVE AND SALVAGE FOR
ABBREVIATIONS					
APPROX APPROXIMATE CFCI CONTRACTOR FURNISHED DB ARCH ARCHITECT(URAL) CONTRACTOR INSTALLED DBL ASB ASBESTOS CFOI CONTRACTOR FURNISHED DEMO OWNER INSTALLED DEPT ASSY ASSEMBLY CG CORNER GUARD DEP ATTEN ATTENUATION CH COAT HOOK DF AUTO AUTOMATIC CI CAST IRON DIA AUX AUXILIARY CIP CAST IN PLACE DIAG AV AUDIO VISUAL CIR CIRCLE	CONTRACTOR  CONTRACTOR  CORDINATE  EC  EC  ELECTRICAL CONTRACT(OR)  FHOM  CORRIDOR  EDF  ELECTRIC DRINKING  FIN  COARPET  FOUNTAIN  COAT RACK  EF  EXHAUST FAN  COURSE  EG  EG  EXHAUST GRILLE  CERAMIC TILE  CERAMIC TILE  CERTER  COUNTERSINK  EJ  EXP. JOINT  COPPER  ELEV  ELEVATION  CONDENSING UNIT  ELEC  CUBIC FOOT (FEET)  CUBIC YARD  CABINET UNIT HEATER  CYLINDER  ENGR  ENGR  ENGR  ENGR  ENGR  ENGR  ENGR  EQUIP  ENCLOSE, ENCLOSURE  FOUNTING  COLD WATER  EQ  EQUAL  EQ  EQUAL  EQ  EQUAL  EQ  EQUAL  FR  EQ  EQUAL  EQUIP  EQUIP  EQUIPMENT  FRI  DOUBLE  EST  ESTIMATE(D)  ENGR  ENGR	FINISH  FINISH  FINISH  FINISH  FIXTURE  FLOOR LINE  R FLOOR  FLOOR  FLOOR  HM  HOLLOW METAL  HOR  HOR HORIZONTAL  HOR  HORSE POWER  HOUR  FLUORESCENT  HR  HOUR  FACE OF(ITEM)  FACE OF CONCRETE  FACE OF FINISH  FACE OF MASONRY  FACE OF MASONRY  FIREPROOF(ING), FIRE  PROTECTION  FIRE RATED  M FRAME  FOUL SIZE  FOOT OR FEET  FOOT OR FEET  FOOT OR FEET  FULL SIZE  FOOTING  RN  FURNITURE, FURNISH  FULL SIZE  FOOTING  RN  FURNITURE, FURNISH  FULL SIZE  FOUL SIZE  FOOTING  RN  FURNITURE, FURNISH  FULL SIZE  FOOTING  RN  FURNITURE  FURNITURE	LBL LABEL NAT NATURAL PT LDR LEADER NIC NOT IN CONTRACT PC LF LINEAR FOOT NRC NOISE REDUCTION PF LH LEFT HAND COEFFICIENT PF LIN LINEAR, LINEAL NO NUMBER PF LKR LOCKER NOM NOMINAL PF LLK LIVE LOAD NTS NOT TO SCALE PF LLH LONG LEG HORIZONTAL LLY LONG LEG VERTICAL PF LTT LIGHT O/ OVER LTT LIGHT O/ OVER LTWT LIGHTWEIGHT OA OVERALL  S'AND LVL LEVEL OBS OBSCURE PS LVR LOUVER OC ON CENTER PT LW LIGHTWEIGHT OD OUTSIDE PT LWC LIGHTWEIGHT OD OUTSIDE PT LWC LIGHTWEIGHT OD OUTSIDE PT ACACTOR  MAINT MAINTENANCE OFOI OWNER FURNISHED CONTRACTOR INSTALLED PT MAS MASONRY OWNER INSTALLED PT MAT MAINTENANCE OFOI OWNER FURNISHED PT MAS MASONRY OWNER INSTALLED PT MAY MAXIMUM OFF OFOI OWNER INSTALLED PT MAY MAXIMUM OFF OFFICE PT MC MECHANICAL CONTRACTOR OFS OVERFLOW SCUPPER MC MECHANICAL CONTRACTOR OFS OVERFLOW SCUPPER MC MECHANICAL COPP OPPOSITE HAND MC MEDICINE CABINET OPNG OPPOINING R MECH MECHANICAL OPP OPPOSITE RA	TO PAINT RO ROUGH OPENING SOUCH SO	TITE SEATING US URINAL SCREEN UTIL STEEL UTIL UTILITY  STOR STORAGE  STRUCT STRUCTURE, STRUCTURAL V VENT  SUSP SUSPENDED VAV VARIABLE AIR VOLUME  SW SWITCH BOARD VCP VITREOUS CLAY PIPE  SWILK SIDEWALK VCT VINYL COMPOSITION TILE  SYM SYMETRICAL VEST VESTIBULE  SYM SYMETRICAL VEST VESTIBULE  SYN SYNTHETIC VG VERTICAL GRAIN  SYS SYSTEM VP VAPOR PROOF  VT VINYL TILE  VTR VENT THROUGH ROOF  VT VINYL TILE  VTR VENT THROUGH ROOF  VINYL WALL COVERING  WEST  WEMP TEMPORARY  EEL TELEPHONE W WEST  EEMP TEMPORARY  EER TERRAZZO WC WATER CLOSET  WEMP TEMPORARY  W/ WITH  EER TERRAZZO WC WATER CLOSET  WE WOOD  WOOD  WOOD  WOOD  WE WATER CLOSET  WH WATER HEATER  HK THICK  WH WATER HEATER  HK THICK  WH WATER HEATER  HLD THRESHOLD  WI WROUGHT IRON  HRM THERMAL  W/O WITHOUT  KB TACK BOARD  WP WATERPROOF(ING)  LT TOILET  WR WATER RESISTANT  I.O. TOP OF _(ITEM)_ WS WORK STATION
AVG AVERAGE CIRC CIRCUMFERENCE DISP AWP ACOUSTICAL WALL PANEL CJ CONTROL JOINT DIV CKBD CHALKBOARD DL CKT CIRCUIT DN BD BOARD CL CENTER LINE DO	DISPENSER EXP EXPAND(ED), EXPANSION GAI DIVISION EXT EXTERIOR GAI DEAD LOAD DOWN GC DOOR OPENING FA FIRE ALARM GE	LV GALVANIZED GRAB BAR GENERAL CONTRACTOR JAN JANITOR N GENERAL JB JUNCTION BOX		BR RUBBER SM SMOOTH TO CP REFLECTED CEILING PLAN SM SHEET METAL CD ROOF DRAIN SND SANITARY NAPKIN TO CDWD REDWOOD DISPENSER TO	OB TOP OF BEAM WSCT WAINSCOT OC TOP OF CONCRETE OR WT WEIGHT CURB WWF WELDED WIRE FABRIC OF TOP OF FOOTING WWM WELDED WIRE MESH OM TOP OF MASONRY AE
BG BUMPER GUARD CLG CEILING DP BH BULKHEAD CLKG CAULKING DPR BITUM BITUMINOUS CLO CLOSET DR BJ BUTT JOINT CLR CLEAR DS	DOWNEDOUT	RC GLASS FIBER REINFORCED JST JOIST CONCRETE JT JOINT RG GLASS FIBER REINFORCED GYPSUM KB KNOX BOX	MID MIDDLE PCC PRECAST CONCRETE RE MIN MINIMUM PED PEDESTAL RE MIR MIRROR PERP PERPENDICULAR RE MISC MISCELLANEOUS PERF PERFORATED RE	EF REFERENCE RECEPTACLE TO	OP TOP OF PAVEMENT OS TOP OF STEEL YRD YARDS OW TOP OF WALL PD TOILET PAPER DISPENSER XFMR TRANSFORMER  Date:
BLDG BUILDING CMU CONCRETE MASONRY UNIT DSP BLK BLOCK CNTR COUNTER DT BLKG BLOCKING CO CASED OPENING DTL BM BEAM COL COLUMN DW	DRY STANDPIPE FCO FLOOR CLEAN OUT GL DRAIN TILE FCU FAN COIL UNIT GL DETAIL(ED) FD FLOOR DRAIN GN DISHWASHER FDN FOUNDATION GR	GALVANIZED IRON KD KNOCKED DOWN GLASS, GLAZING, GLAZE(D) KIT KITCHEN D GROUND KO KNOCK OUT D GRADE KS KNEE SPACE B GYPSUM WALLBOARD	MKB MARKER BOARD PRIM PERIMETER RE	REFRIGERATOR STATE OF THE STATE	S TUBE STEEL V TELEVISION YP TYPICAL Project
BRG BEARING CONC. CONCRETE DWR BRK BRICK COND CONDENSATE B.O. BOTTOM OF(ITEM) CONF CONFERENCE BO BY OTHERS CONN CONNECTION E	DRAWER FEC FIRE EXTINGUISHER GYI CABINET GYI FF FINISH FLOOR EAST FFE FINISHED FLOOR ELEVATION	P GYPSUM P. BD GYPSUM BOARD L LONG, LENGTH LAB LABORATORY LAM LAMINATE(D)	MTL METAL PL PROPERTY LINE RE MULT MULTIPLE PLBG PLUMBING RF MWS MIRROR WITH SHELF PLAM PLASTIC LAMINATE RO PLAS PLASTER RF	EV         REVISE(D), REVISION         S&P         SHELF & POLE         U           FG         ROOFING         ST         STREET         U           IGH         ROUGH         STA         STATION           IH         RIGHT HAND         STC         SOUND TRANSMISSION         U	ICR UNDER COUNT REFRIG.  IL UNDERWRITERS  LABORATORY  INF UNFINISHED
BOC BACK OF CURB CONST CONSTRUCTION EX	EXISTING FG FINISH GRADE HB	HOSE BIB LAV LAVATORY '	PLAST PLASTIC RI	I ROUGH IN COEFFICIENT U  NA BOOM STD STANDARD U	INO UNLESS NOTED OTHERWISE  IR URINAL

NORTH

PLYWD

PLYWOOD

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evisions: ISSUED FOR HPC REVIEW 12/12/2017

neet Name: GENERAL PROJECT NOTES, ABBREVIATIONS AND SYMBOLS

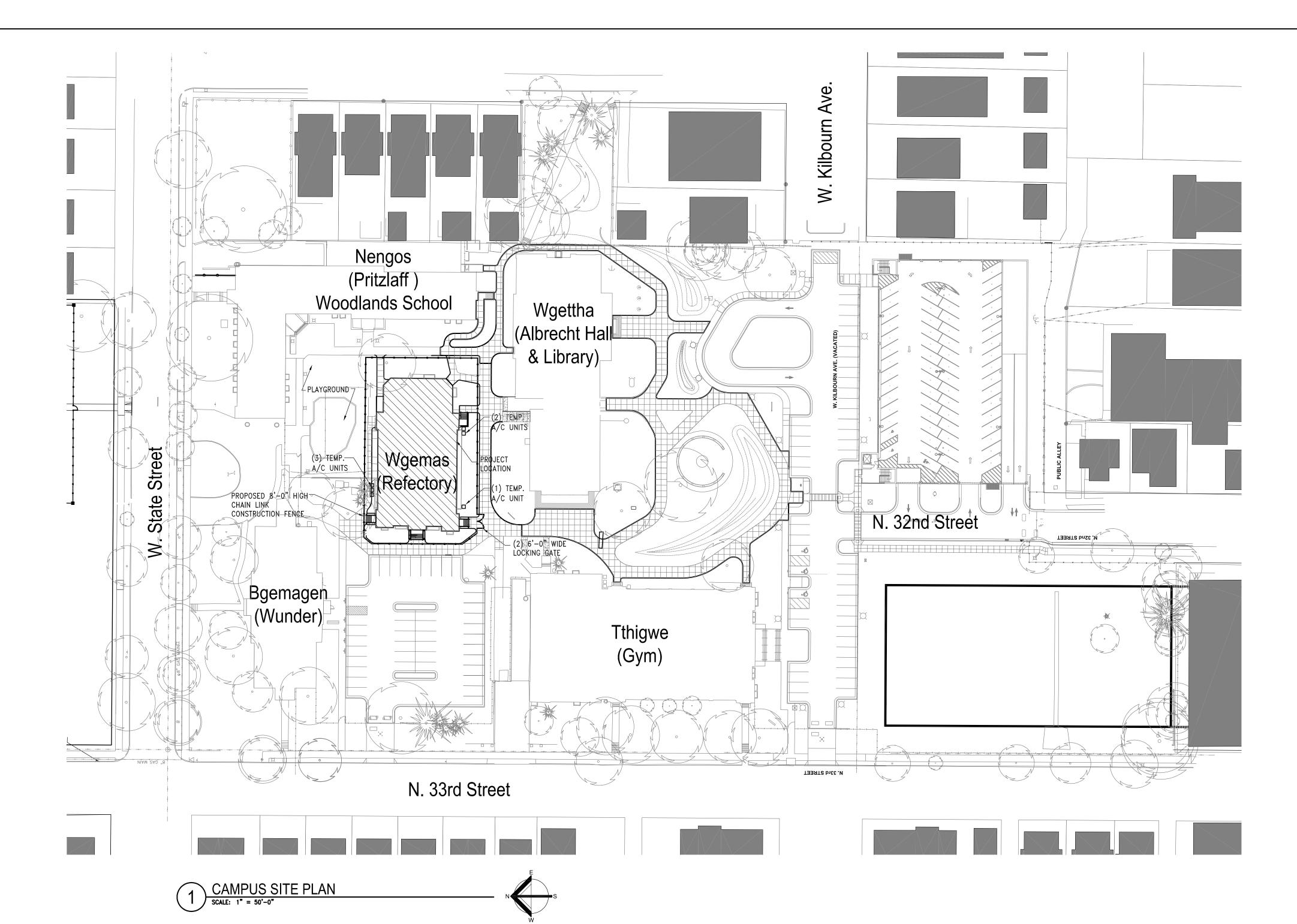
ite: 12/12/2017 rawn By: JPB/CGH

roject No.: 15014.04

STD

STANDARD

URINAL



## **GENERAL NOTES**

- COORDINATE CONSTRUCTION ACCESS POINT TO PROJECT AREA WITH OWNER / CONSTRUCTION MANAGER.
- 2. COORDINATE STAGING AREA, CONTRACTOR PARKING, DUMPSTER LOCATIONS AND MATERIAL STAGING WITH OWNER / CONSTRUCTION MANAGER.
- 3. CONTRACTORS TO MAINTAIN PUBLIC VEHICLE AND PEDESTRIAN ACCESS TO ALL SURROUNDING BUILDINGS.
- 4. ALL AREAS ENCLOSED BY PERIMETER CONSTRUCTION FENCING TO BE CLEARLY MARKED AS HARD HAT ZONES.
- 5. PROVIDE TEMPORARY "CONTRACTOR ENTRY" SIGNAGE AT A LOCATION TO BE DETERMINED BY OWNER ALONG WITH TEMPORARY DIRECTIONAL SIGNAGE TO DIRECT THE PUBLIC SAFELY THRU THE SITE AND CONSTRUCTION DELIVERIES TO THE PROPER ENTRY POINTS
- 6. THE LEAD CONTRACTOR SHALL PROVIDE A NEAT APPEARING PROTECTIVE FENCE IN THE PROJECT STAGING AREA AS INDICATED ON THE DRAWING, CONSTRUCTED OF STANDARD GALVANIZED CHAIN LINK FENCE POSTS OF SUFFICIENT LENGTH FOR LINE POSTS AND SPACED NOT TO EXCEED 8'-0" APART. CORNER POSTS AND GATE POSTS ARE TO BE GALVANIZED STEEL PIPE OF NOT LESS THAN 2 1/2" O.D. AND SHALL BE PROPERLY BRACED. AN 8'-0" HIGH CHAIN LINK FENCE SHALL BE SECURELY FASTENED TO THE SUPPORTS. PLASTIC FENCING IS NOT ACCEPTABLE. PROVIDE GATES, PROPERLY CONSTRUCTED AND BRACED, COMPLETE WITH HINGES, HASPS, AND PADLOCKS IN NUMBER AND LOCATION REQUIRED FOR PROPER CONTROL, DELIVERY AND DISTRIBUTION OF MATERIAL AND EQUIPMENT. GATE POSTS SHALL BE ADEQUATELY BACK TIED AND ANCHORED TO INSURE A RIGID INSTALLATION. ALL PROTECTIVE FENCING SHALL BE MAINTAINED IN AN UPRIGHT, ORDERLY FASHION THROUGHOUT THE CONSTRUCTION SCHEDULE. IN AREAS WHERE EXISTING TREES ARE TO BE PROTECTED, THE AREA INSIDE THE PROTECTIVE FENCING SHALL NOT BE USED FOR ANY PURPOSE RELATED TO CONSTRUCTION ACTIVITIES, SUCH AS MATERIAL STORAGE, VEHICLE PARKING, PORTABLE TOILETS, OR OTHER DISRUPTIVE ACTIVITIES THAT WOULD RESULT IN DAMAGE OF ANY KIND TO THE SITE INSIDE THE FENCE.

### LEGEND

**—X——X—** CONSTRUCTION FENCE





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Wgema Campus Wgemas Building

Revisions:

ISSUED FOR HPC REVIEW
12/12/2017

Sheet Name:
CAMPUS SITE PLAN

Date: 12/12/2017

Drawn By: JPB/CGH

Project No.: 15014.04

Sheet No.

C1.0

2017 — 10:55am jects/15014—00 Wgema Campus/15014—04 Wgemas/CDs/Bid Package 1/15014—04—C1—0.dwc

SOUTH BUILDING ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"

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FOREST COUNTY **POTAWATOMI** 

**LEGEND** 

12/12/2017 Drawn By: ECR/JPB

Project No.: 15014.04 Sheet No.

**DEMOLITION NOTES** 

1) REMOVE WOOD WINDOW. 2) DISMANILE CORNER PARAPET AND WALL FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. EVALUATE BACKUP MASONEY AND EMPEDDED OFFEL OFFEL PARAPET AND EMPEDDED OFFEL PARAPET AND EMPEDDED OFFEL PROPERTY. EVALUATE BACKUP MASONRY AND EMBEDDED STEEL FOR POTENTIAL REPAIR/STRUCTURAL REINFORCING.

3 DISMANTLE BRICK ARCH.

- DISMANTLE EXISTING PARAPET DOWN TO LIMESTONE

  BANDING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. EVALUATE STEEL FOR POTENTIAL STRUCTURAL REINFORCING ONCE EXPOSED AND CLEANED.
- DISMANTLE CONCRETE STAIR, METAL HANDRAILS, 5 MASONRY SIDE WALLS AND ALL RELATED FOOTINGS. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. SEVERELY SPALLED LIMESTONE SHALL NOT BE REUSED.
- DISMANTLE CONCRETE RAMP, METAL HANDRAILS 6 AND ALL RELATED FOOTINGS.
- DEMOLISH BRICK SHED ADDITION IN ITS ENTIRETY. REMOVE FOOTINGS AND FOUNDATIONS BACK TO THE EXISTING BUILDINGS. PROVIDE TEMPORARY SUPPORT AT OPENING IN EXISTING MASONRY WALL AS NEEDED.
- 8 DEMOLISH CHIMNEY IN ITS ENTIRETY.
- REMOVE METAL DOOR AND FRAME AND LIMESTONE 9 SURROUND TO ALIGN NEW DOOR OPENING WITH EXISTING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED.

- (10) NOT USED.
- REMOVE CORRODED STEEL DOOR FRAME AND DOOR TO BE REPLACED.
- REMOVE ALL NON-ESSENTIAL HARDWARE AND DISMANTLE EXISTING PARAPET DOWN TO LIMESTONE (13) ANCHOR BOLTS FROM MASONRY SURFACES. REPLACE DAMAGED BRICK.
  - REMOVE ELECTRICAL CONDUIT AND ASSOCIATED WIRES BACK TO SOURCE. REPLACE DAMAGED BRICK. SEE ELECTRICAL.
  - REMOVE PLANT OVERGROWTH FROM BUILDING 15) FACADE AND WINDOW WELLS.
  - REMOVE REMNANTS OF PREVIOUSLY REMOVED VINES THAT ARE STILL ATTACHED TO THE BUILDING FACADE.
  - REMOVE LIGHT FIXTURE. SEE ELECTRICAL FOR 17) NEW FIXTURE.
  - DISMANTLE EXISTING PARAPET DOWN TO HEAD OF SECOND FLOOR WINDOWS. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. EVALUATE STEEL FOR POTENTIAL STRUCTURAL REINFORCING ONCE EXPOSED AND CLEANED.

NORTH BUILDING ELEVATION - DEMOLITION

**PRELIMINARY** 

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FOREST COUNTY

**POTAWATOMI** 

AREA OF RECONSTRUCTION

VINES TO BE REMOVED

**LEGEND** 

Sheet Name: NORTH BUILDING ELEVATION - DEMOLITION

12/12/2017 Drawn By: ECR/JPB

Project No.: 15014.04

Sheet No.

**DEMOLITION NOTES** 

1) REMOVE WOOD WINDOW.

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AS NEEDED. 8 DEMOLISH CHIMNEY IN ITS ENTIRETY. SHALL NOT BE REUSED.



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## ampus uilding $\vec{\omega}$ $\Phi$ 000

ISSUED FOR HPC REVIEW

12/12/2017

AREA OF RECONSTRUCTION

**LEGEND** 

VINES TO BE REMOVED

Sheet Name:

EAST AND WEST BUILDING ELEVATIONS -DEMOLITION

Date: 12/12/2017 Drawn By: ECR/JPB

Project No.: 15014.04

Sheet No.

## **DEMOLITION NOTES**

- 1) REMOVE WOOD WINDOW.
- 2) DISMANILE CURNER PARAPET AND WALL FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. EVALUATE BACKLIP MASONRY AND EMPEROES OFFEL PROPERTY OF THE COPING. EVALUATE BACKUP MASONRY AND EMBEDDED STEEL FOR POTENTIAL REPAIR/STRUCTURAL REINFORCING.
- (3) DISMANTLE BRICK ARCH.
- DISMANTLE EXISTING PARAPET DOWN TO LIMESTONE (13) ANCHOR BOLTS FROM MASONRY SURFACES. (4) BANDING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. EVALUATE STEEL FOR POTENTIAL STRUCTURAL REINFORCING ONCE EXPOSED AND CLEANED.
- DISMANTLE CONCRETE STAIR, METAL HANDRAILS, MASONRY SIDE WALLS AND ALL RELATED FOOTINGS. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. SEVERELY SPALLED LIMESTONE SHALL NOT BE REUSED.
- DISMANTLE CONCRETE RAMP, METAL HANDRAILS 6 AND ALL RELATED FOOTINGS.
- DEMOLISH BRICK SHED ADDITION IN ITS ENTIRETY. 7) REMOVE FOOTINGS AND FOUNDATIONS BACK TO THE EXISTING BUILDINGS. PROVIDE TEMPORARY SUPPORT AT OPENING IN EXISTING MASONRY WALL AS NEEDED.
- 8 DEMOLISH CHIMNEY IN ITS ENTIRETY.

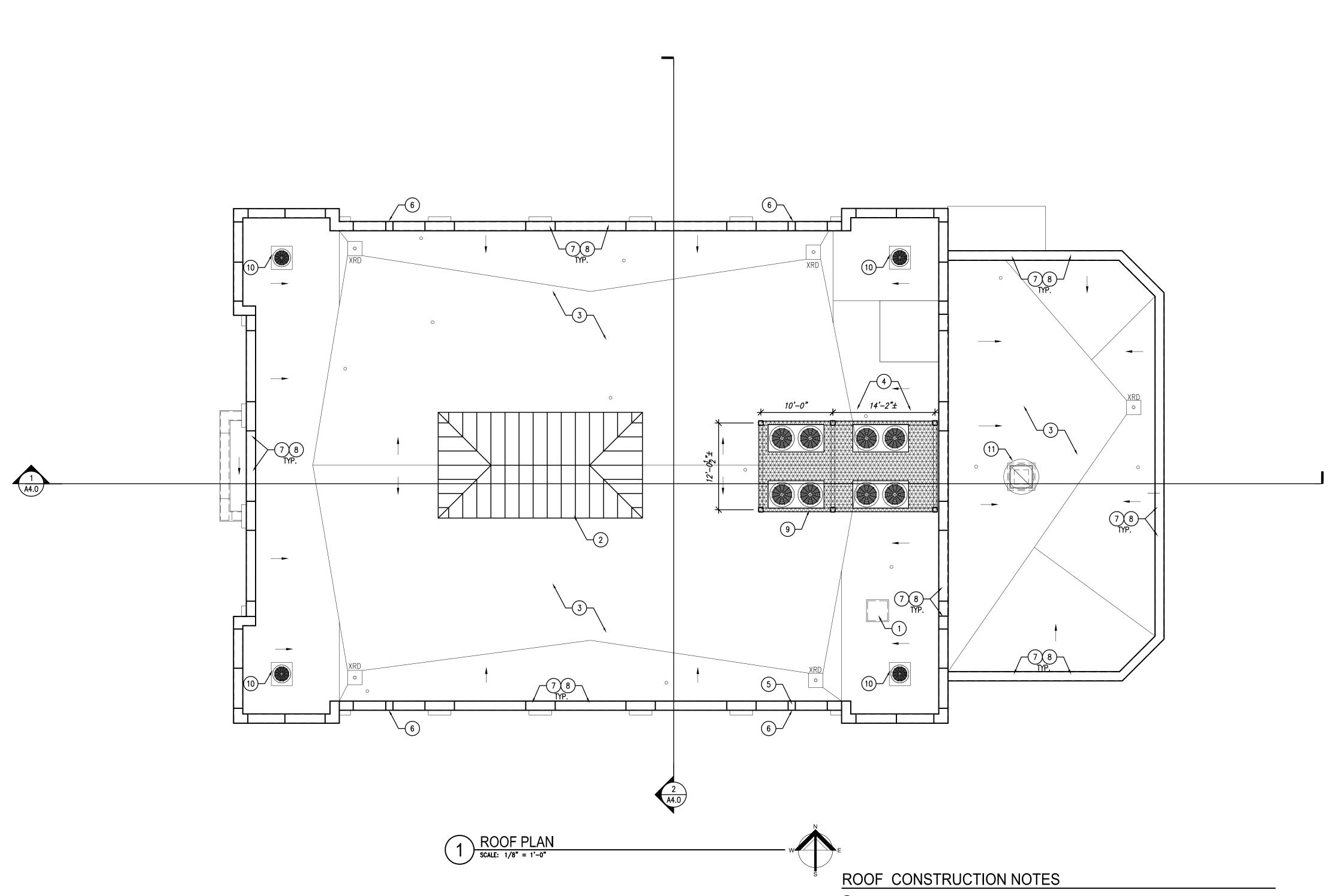
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REMOVE METAL DOOR AND FRAME AND LIMESTONE (9) SURROUND TO ALIGN NEW DOOR OPENING WITH EXISTING. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED.

- (10) NOT USED.
- REMOVE CORRODED STEEL DOOR FRAME AND DOOR TO BE REPLACED.
- REMOVE ALL NON-ESSENTIAL HARDWARE AND

REPLACE DAMAGED BRICK.

- REMOVE ELECTRICAL CONDUIT AND ASSOCIATED WIRES BACK TO SOURCE. REPLACE DAMAGED
- BRICK. SEE ELECTRICAL. REMOVE PLANT OVERGROWTH FROM BUILDING
- 15) FACADE AND WINDOW WELLS.
- REMOVE REMNANTS OF PREVIOUSLY REMOVED VINES THAT ARE STILL ATTACHED TO THE BUILDING FACADE.
- REMOVE LIGHT FIXTURE. SEE ELECTRICAL FOR 17) NEW FIXTURE.
- DISMANTLE EXISTING PARAPET DOWN TO HEAD OF SECOND FLOOR WINDOWS. SALVAGE INTACT MASONRY FOR REUSE AND REBUILDING. PROTECT AND STORE MATERIAL FOR REUSE. SPALLED AND FRACTURED BRICK SHALL NOT BE REUSED. EVALUATE STEEL FOR POTENTIAL STRUCTURAL REINFORCING ONCE EXPOSED AND CLEANED.



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- 1) ROOF ACCESS HATCH
- 2 REPLACE GLASS AND STEEL SKYLIGHT WITH NEW POLYCARBONATE GLAZED, ALUMINUM-FRAMED SKYLIGHT SYSTEM ON AN INSULATED CURB. QUADWALL HONEYCOMB 2-PANEL GLAZED SYSTEM AS BASIS OF DESIGN.
- REMOVE EXISTING ROOFING AND INSULATION. INSTALL NEW TAPERED RIGID INSULATION (MIN. R-32) AND ROOF MEMBRANE. PITCH MINIMUM 1/8" PER FOOT TO ROOF DRAIN LOCATIONS IN THE PROPOSED CONFIGURATION SHOWN ON THE PLAN. PROVIDE NEW 2 PIECE COUNTER-FLASHING AT ALL PARAPET AND MASONRY WALLS A MINIMUM OF 1'-0" ABOVE FINISHED ROOF SURFACE. PROVIDE NEW FLASHING AT ALL NEW ROOF TOP EQUIPMENT AND PENETRATIONS.
- FILL—IN ROOF OPENING WHERE CHIMNEY AND VENTILATION SHAFTS WERE REMOVED. NEW ROOF CONSTRUCTION TO MATCH ADJACENT.
- 5 RE-OPEN PREVIOUS SCUPPER LOCATION.

- 6 NEW DECORATIVE COPPER SCUPPER TO MATCH EXISTING.
- 7 REBUILD MASONRY PARAPET AND LIMESTONE COPING.
- 8 FINISH ALL SKY JOINTS AT COPINGS AND TRIM WITH APPROPRIATE SEALANT (I.E. SONNEBORN NP-1 COLORED TO MATCH THE STONE, FINISHED WITH
- (4) NEW 25-TON CONDENSING UNITS ON PLATFORM ELEVATED ABOVE THE ROOF.
- NEW RESIDENTIAL—TYPE ROOF—MOUNTED CONDENSING UNIT.
- (11) NEW KITCHEN HOOD EXHAUST.

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Revisions: ISSUED FOR HPC REVIEW 12/12/2017

Sheet Name: **ROOF PLAN** 

12/12/2017 Drawn By: ECR/JPB Project No.: 15014.04

Sheet No.



## **PRELIMINARY** CONSTRUCTION QUORUM ARCHITECTS, INC

## Sampus Building ש ש eme 00

Revisions: ISSUED FOR HPC REVIEW 12/12/2017

Sheet Name: SOUTH BUILDING ELEVATION

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Sheet No.

## GENERAL NOTES

- FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURVEY OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.
- 2. STONE TYPES: ALL ORNAMENTAL STONEWORK ARE COMPRISED OF INDIANA
- 3. MASK OFF ALL NON-MASONRY SURFACES THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.
- 4. SEALANT: REMOVE ALL SEALANT FROM MASONRY WALL FACES.
- 5. MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. BID TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES ABOVE.
- 6. REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.
- 7. PROVIDE MOCK-UP SAMPLES ON THE BUILDING OF ALL RESTORATION TREATMENTS FOR ARCHITECT APPROVAL PRIOR TO IMPLEMENTATION, REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.

- 11. INDIANA LIMESTONE TRIM: A. MORTAR JOINTS: 100% CUT AND REPOINTING.

10. TYPES OF BRICK REPAIR

INJECTION.

B. SPALLING: PATCH AREAS OF SPALLING WITH CUSTOM MATCHED NATURAL STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR

AND HOLES). SEE SHEET A4.0.

REPAIR FACE DAMAGE, SPALLING OR

OTHER STONE DECOMPOSITION, AS

WELL AS DETAILED ORNAMENTAL

D. SMALL SURFACE CRACKS MAY BE

RESTORED WITH LIME INJECTION

MORTARS OR EPOXY INJECTION

MORTARS TO MATCH ADJACENT STONE.

WORK). SEE SHEET A4.0.

A. REPLACE ALL SPALLED BRICK.

B. REPLACE ALL FRACTURED BRICK.

C. USE MATCHING SALVAGED BRICK UNITS.

C. RESTORATION MORTAR PATCH (TO

C. HAIRLIŃE CRACKS: REPAIR WITH CUSTOM COLORED DISPERSED LIME

- D. EFFLORESCENCE AND 8. TYPES OF STONE REPAIR SUB-FLORESCENCE: NEUTRALIZE SALTS. THIS IS A PARTICULAR ISSUE AT A. EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SLL BETWEEN GRADE AND THE FIRST FLOOR SHEET A4.0. B. DUTCHMAN (TO REPAIR LARGE CHIPS
  - WINDOW SILL. E. SKY JOINTS AT COPING AND TRIM: FINISH ALL JOINTS WITH APPROPRIATE SEALANT (EXAMPLE: SONNEBORN NP-1 COLORED TO MATCH THE STONE FINISHED WITH SAND). FOR A LONGER TERM FIX CONSIDER LEAD JOINTS.
  - 12. MORTAR JOINTS: 100% CUT AND REPOINT. MORTAR IS SEVERELY DETERIORATED. LARGE VOIDS ARE EVIDENT BEHIND THE CURRENT FACE MORTAR.
  - 14. INSTALL A SOFT JOINT AT WALL FACE JUNCTIONS WITH PAVED SURFACES (SONNEBORN NP-1)
  - 15. CLEANING: RECOMMEND CLEANING ALL MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER: TESTING IS VITAL TO EXECUTE ON SITE PRIOR TO ESTABLISHING THE PROPER MATERIALS AND TECHNIQUES TO NOT DAMAGE OR ETCH THE
  - 16. NPS/SHPO AND CITY COA REVIEW: BRICK REPLACEMENT UNITS WILL NEED TO MATCH THE EXISTING BRICK, MORTAR WILL NEED
- WAS REMOVED. BRICK AND MORTAR REPLACEMENT TO MATCH EXISTING PER GENERAL NOTE #16.
- ELEVATED ABOVE THE ROOF.
- CONCRETE STAIR AND RETAINING WALL. INSTALL METAL GUARDRAIL AND HANDRAIL.
- GLAZING.

### CONSTRUCTION NOTES

- 1) REPLACE SPALLED OR MISSING BRICK.
- REPAIR CRACKING AND / OR STEP CRACKING IN BRICK OR LIMESTONE. REPLACE FRACTURED BRICK. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- GRIND AND RE-POINT ALL MORTAR JOINTS AT BRICK AND LIMESTONE UNITS. HATCHED AREAS DENOTE AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK FACADE.
- REMOVE SEALANT FROM JOINT AND REPLACE WITH NEW.
- 5 NOT USED.
- (6) NOT USED.
- (7) NOT USED.
- 8 REMOVE PAINT THAT HAS BEEN SPLATTERED OR
- RESIDUAL ON FACADE.
- 9 NOT USED.
- 10 REFURBISH CORRODED CONTINUOUS STEEL LINTEL IN PLACE. REMOVE CORROSION AND EXISTING PAINT. PRIME AND REPAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.

- (11) REPLACE EXISTING STEEL LINTEL WITH NEW GALVANIZED LINTEL TO MATCH EXISTING.
- (12) NOT USED.
- (13) NOT USED.
- REPAIR SPALLING LIMESTONE. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- REPAIR CRACK IN LIMESTONE BANDING. SEE GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD."
- REPAIR CRACK IN LIMESTONE CORNICE. SEE 16 GENERAL NOTE #8 FOR SPECIFIC LIMESTONE REPAIR METHOD.
- (17) REMOVE RUST STAINS FROM LIMESTONE SILL.
- (18) CLEAN MASONRY TO REMOVE ATMOSPHERIC SOILING AND ORGANIC MATTER.
- (19) RECONSTRUCT EXISTING PARAPET DOWN TO HEAD OF SECOND FLOOR WINDOWS. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE (28) REPLACE CORRODED STEEL DOOR AND FRAME AS SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE.
- RESET ANY LOOSE BRICKS UNDER LIMESTONE SILL PRIOR TO TUCKPOINTING.

- CORROSION FROM ENTIRE METAL UNIT (SODA BLASTING, ETC.). PRIME AND REPAINT WITH A RUST-INHIBITIVÉ PRIMER AND PAINT.
- (22) RECONSTRUCT CORNER FROM SECOND FLOOR WINDOW HEAD UP TO THE COPING. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS.
- (23) RECONSTRUCT BRICK ARCH.
- 24 RECONSTRUCT EXISTING PARAPET DOWN TO LIMESTONE BANDING. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE.
- 25 RECONSTRUCT CONCRETE STAIR AND MASONRY SIDE
- (27) REPLACE CORRODED GUARDRAILS AND HANDRAILS TO MATCH EXISTING. PRIME AND PAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.
- WALLS IN HISTORIC CONFIGURATION, SIMILAR TO THE ENTRIES AT THE NORTHWEST AND SOUTHWEST

(21) REPAIR CORRODED METAL HVAC GRILLE. REMOVE (30) REBUILD PORTION OF EXTERIOR WALL WHERE SHED

TO MATCH THE EXISTING APPEARANCE.

APPEARANCE.

COMPOSITION AND COLOR OF THE ORIGINAL

BETWEEN THE TWO MATERIALS AND OVERALL

MORTAR, TO ENSURE THE BEST MARRIAGE

NEW 25-TON CONDENSING UNIT ON PLATFORM

REBUILD EXISTING LOADING DOCK WITH NEW

EXISTING HISTORIC TRANSOM WINDOW TO REMAIN: CLEAN, PREP, REPAINT AND RE-PUTTY EXISTING

WALLS IN PREVIOUS CONFIGURATION. (26) NOT USED.

(29) REBUILD CONCRETE STAIR AND MASONRY SIDE

**LEGEND** 

JOINTS TO BE REPAIRED

AREA OF RECONSTRUCTION

NEW WINDOW

AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK

NEW WINDOW IDENTIFICATION

Project No.: 15014.04





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## Sampus Building a a eme 00

Revisions: ISSUED FOR HPC REVIEW 12/12/2017

Sheet Name: NORTH BUILDING ELEVATION

12/12/2017 Drawn By: ECR/JPB

Project No.: 15014.04

## **GENERAL NOTES**

- 1. FIELD CONDITIONS MAY VARY FROM DRAWINGS. REFINED SURVEY OF ACTUAL EXISTING CONDITIONS WILL NEED TO TAKE PLACE ONCE SCAFFOLDING IS ERECTED AND MASONRY CAN BE CLOSELY EVALUATED.
- 2. STONE TYPES: ALL ORNAMENTAL STONEWORK ARE COMPRISED OF INDIANA LIMESTONE. 3. MASK OFF ALL NON-MASONRY SURFACES
- THAT MAY BE DAMAGED DURING ENTIRE RESTORATION PROCESS.
- 4. SEALANT: REMOVE ALL SEALANT FROM MASONRY WALL FACES.
- 5. MASONRY CONTRACTOR TO EVALUATE WITH ARCHITECT 100% OF THE EXISTING MORTAR FOR CUTTING AND REPOINTING OF ALL MASONRY SURFACES. BID TO INCLUDE REPOINTING AS NOTED PER BUILDING GENERAL NOTES ABOVE.
- 6. REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND TECHNIQUES.
- 7. PROVIDE MOCK-UP SAMPLES ON THE FOR ARCHITECT APPROVAL PRIOR TO IMPLEMENTATION, REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS.
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- 8. TYPES OF STONE REPAIR A. EPOXY INJECTION (TO REPAIR LARGE FRACTURES IN MASONRY UNITS), SEE
  - SHEET A4.0. B. DUTCHMAN (TO REPAIR LARGE CHIPS AND HOLES). SEE SHEET A4.0. C. RESTORATION MORTAR PATCH (TO REPAIR FACE DAMAGE, SPALLING OR OTHER STONE DECOMPOSITION, AS WELL AS DETAILED ORNAMENTAL
  - WORK). SEE SHEET A4.0. D. SMALL SURFACE CRACKS MAY BE RESTORED WITH LIME INJECTION MORTARS OR EPOXY INJECTION MORTARS TO MATCH ADJACENT STONE.
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- 11. INDIANA LIMESTONE TRIM: A. MORTAR JOINTS: 100% CUT AND B. SPALLING: PATCH AREAS OF SPALLING STONE RESTORATION MORTAR (LIME PUTTY BASED, NOT SYNTHETIC OR
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  - ELEVATED ABOVE THE ROOF.
  - REBUILD EXISTING LOADING DOCK WITH NEW CONCRETE STAIR AND RETAINING WALL. INSTALL METAL GUARDRAIL AND HANDRAIL.
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MORTAR, TO ENSURE THE BEST MARRIAGE

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Sheet No.

**LEGEND** 

JOINTS TO BE REPAIRED

AREA OF RECONSTRUCTION

NEW WINDOW

AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK

NEW WINDOW IDENTIFICATION



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CONSTRUCTION QUORUM ARCHITECTS, INC.

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SHEET A4.0.

FRACTURES IN MASONRY UNITS), SEE

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- NEW 25-TON CONDENSING UNIT ON PLATFORM リELEVATED ABOVE THE ROOF.
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LEGEND

JOINTS TO BE REPAIRED



AREAS OF SIGNIFICANT MORTAR LOSS IN BRICK



Sheet Name: EAST AND WEST BUILDING ELEVATIONS

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12/12/2017

ISSUED FOR HPC REVIEW

Revisions:

Drawn By: ECR/JPB

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CORROSION FROM ENTIRE METAL UNIT (SODA BLASTING, ETC.). PRIME AND REPAINT WITH A

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(23) RECONSTRUCT BRICK ARCH.

(24) RECONSTRUCT EXISTING PARAPET DOWN TO LIMESTONE BANDING. MATCH CONSTRUCTION OF EXISTING PARAPET. CLEAN, REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE.

RECONSTRUCT CONCRETE STAIR AND MASONRY SIDE WALLS IN PREVIOUS CONFIGURATION.

(26) NOT USED.

27 REPLACE CORRODED GUARDRAILS AND HANDRAILS TO MATCH EXISTING. PRIME AND PAINT WITH A RUST-INHIBITIVE PRIMER AND PAINT.

REPAIR AND PAINT EXPOSED STEEL ELEMENTS. USE SALVAGED BRICK AND LIMESTONE WHERE POSSIBLE. (28) REPLACE CORRODED STEEL DOOR AND FRAME AS SCHEDULED.

(29) REBUILD CONCRETE STAIR AND MASONRY SIDE WALLS IN HISTORIC CONFIGURATION, SIMILAR TO THE ENTRIES AT THE NORTHWEST AND SOUTHWEST CORNERS.

GLAZING.

10. TYPES OF BRICK REPAIR ARCHITECT 100% OF THE EXISTING MORTAR A. REPLACE ALL SPALLED BRICK. B. REPLACE ALL FRACTURED BRICK. C. USE MATCHING SALVAGED BRICK UNITS. GENERAL NOTES ABOVE. 11. INDIANA LIMESTONE TRIM:

6. REFER TO WRITTEN SPECIFICATION FOR SPECIFIC MATERIALS, PRACTICES, AND

BUILDING OF ALL RESTORATION TREATMENTS

CONSTRUCTION NOTES

LIMESTONE REPAIR METHOD.

5) NOT USED.

(6) NOT USED.

8 REMOVE PAINT THAT HAS BEEN SPLATTERED OR RESIDUAL ON FACADE.

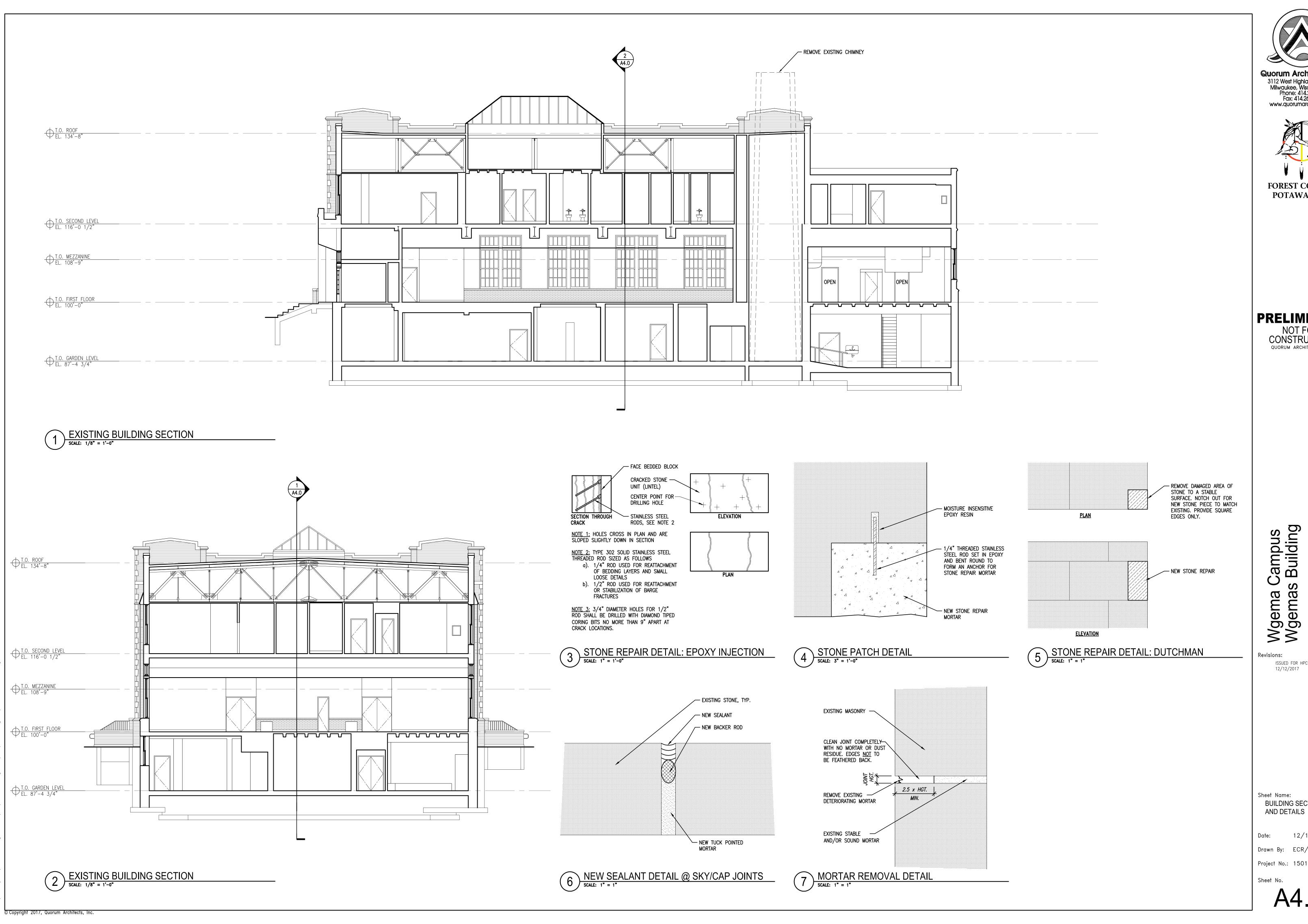
(7) NOT USED.

(9) NOT USED.

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10 REFURBISH CORRODED CONTINUOUS STEEL LINTEL IN PLACE. REMOVE CORROSION AND EXISTING PAINT. PRIME AND REPAINT WITH A

RUST-INHIBITIVE PRIMER AND PAINT. PRIOR TO TUCKPOINTING.







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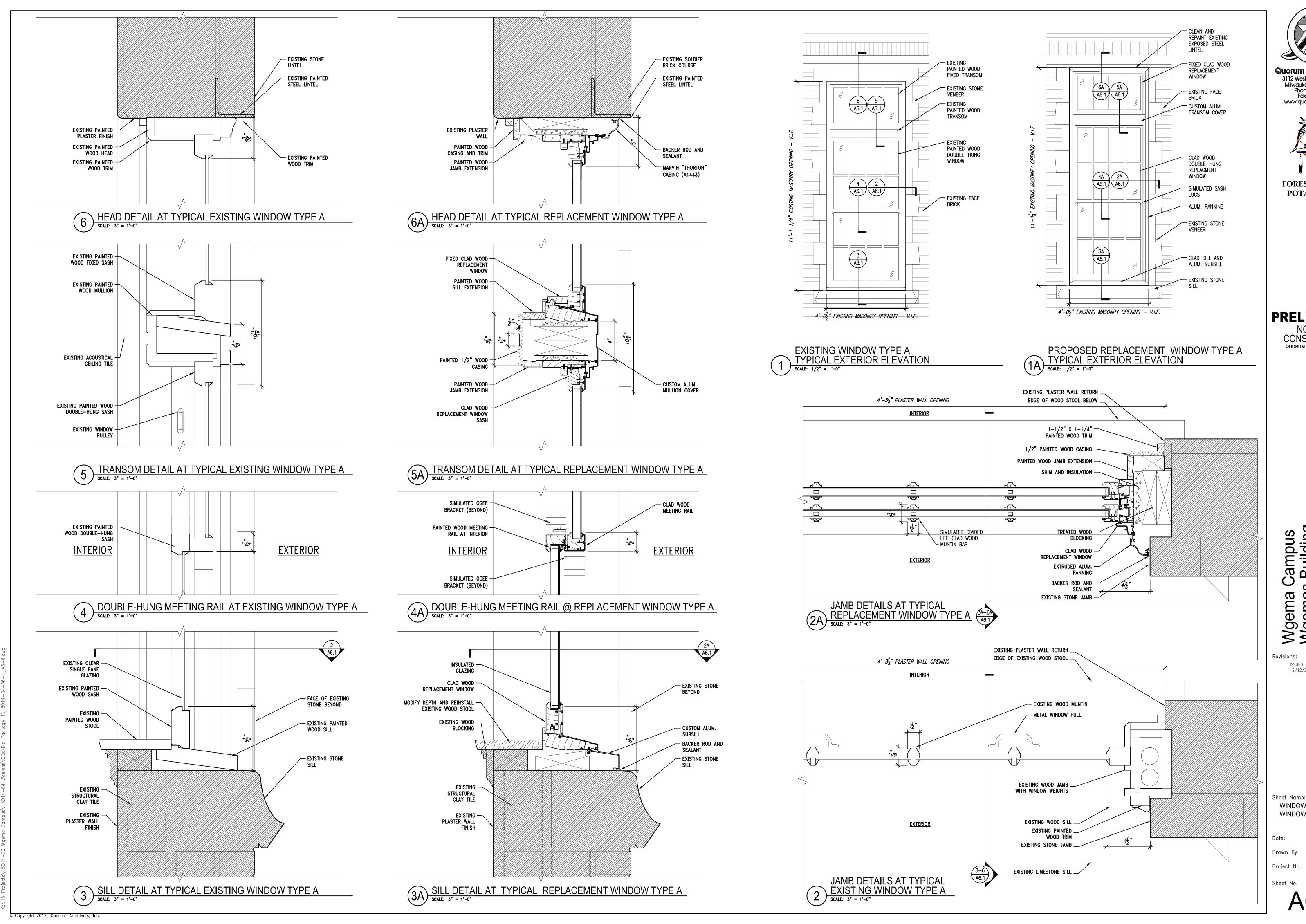
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Sheet Name: BUILDING SECTIONS

12/12/2017 Date: Drawn By: ECR/JPB Project No.: 15014.04

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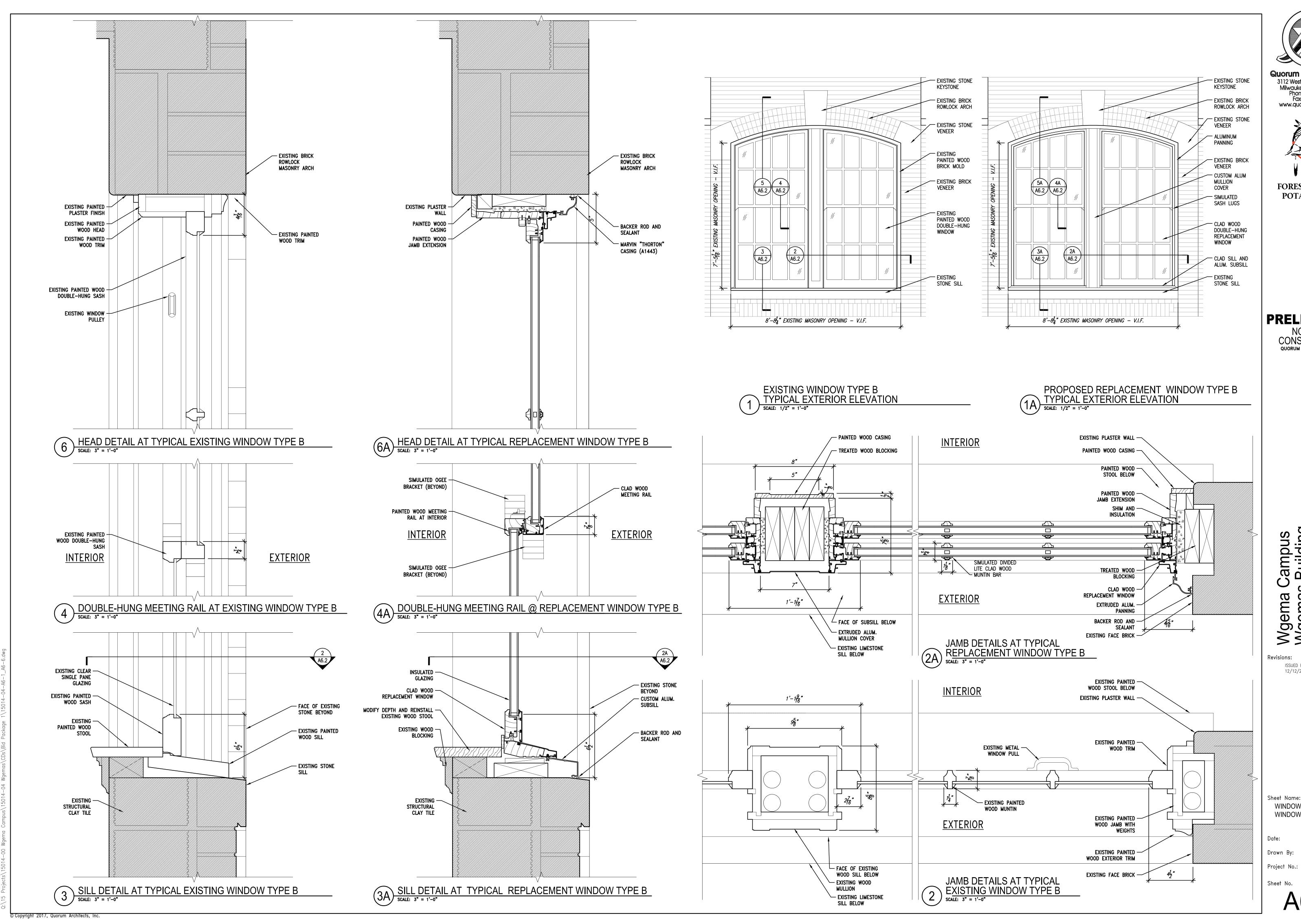
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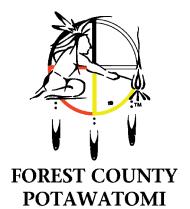
WINDOW DETAILS -WINDOW TYPE A

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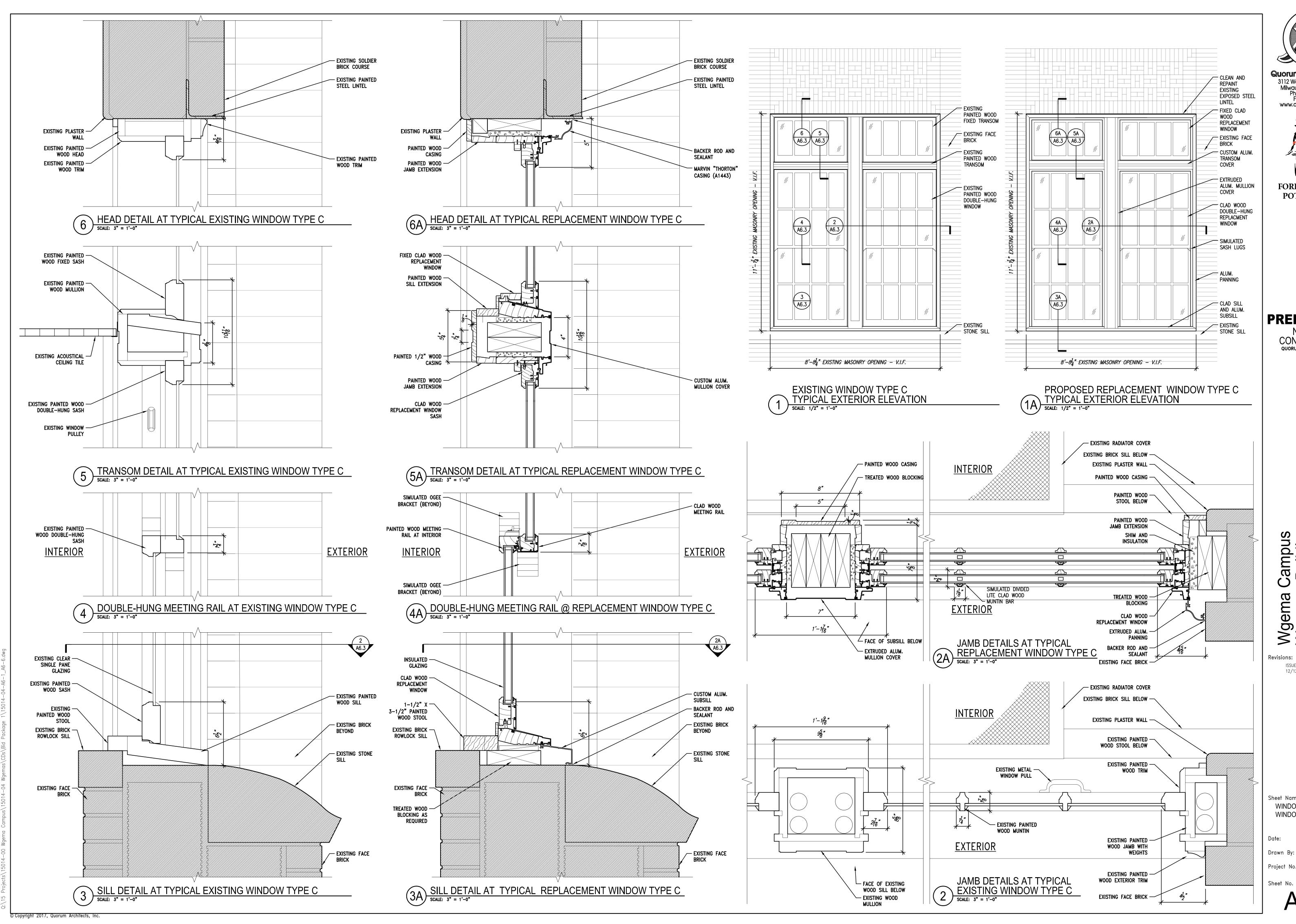
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WINDOW DETAILS -WINDOW TYPE B

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Wgema Campus Wgemas Building

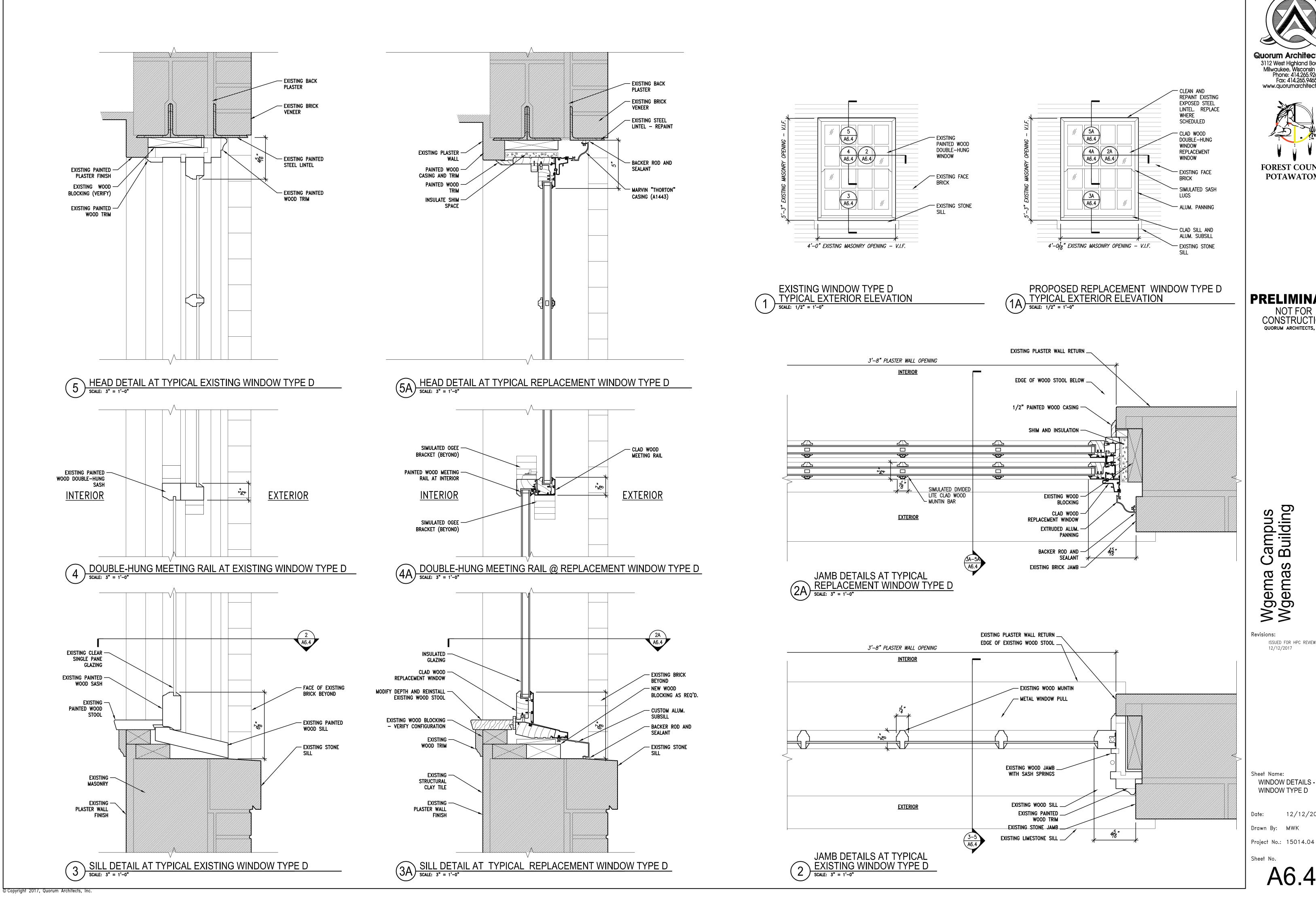
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Sheet Name:
WINDOW DETAILS WINDOW TYPE C

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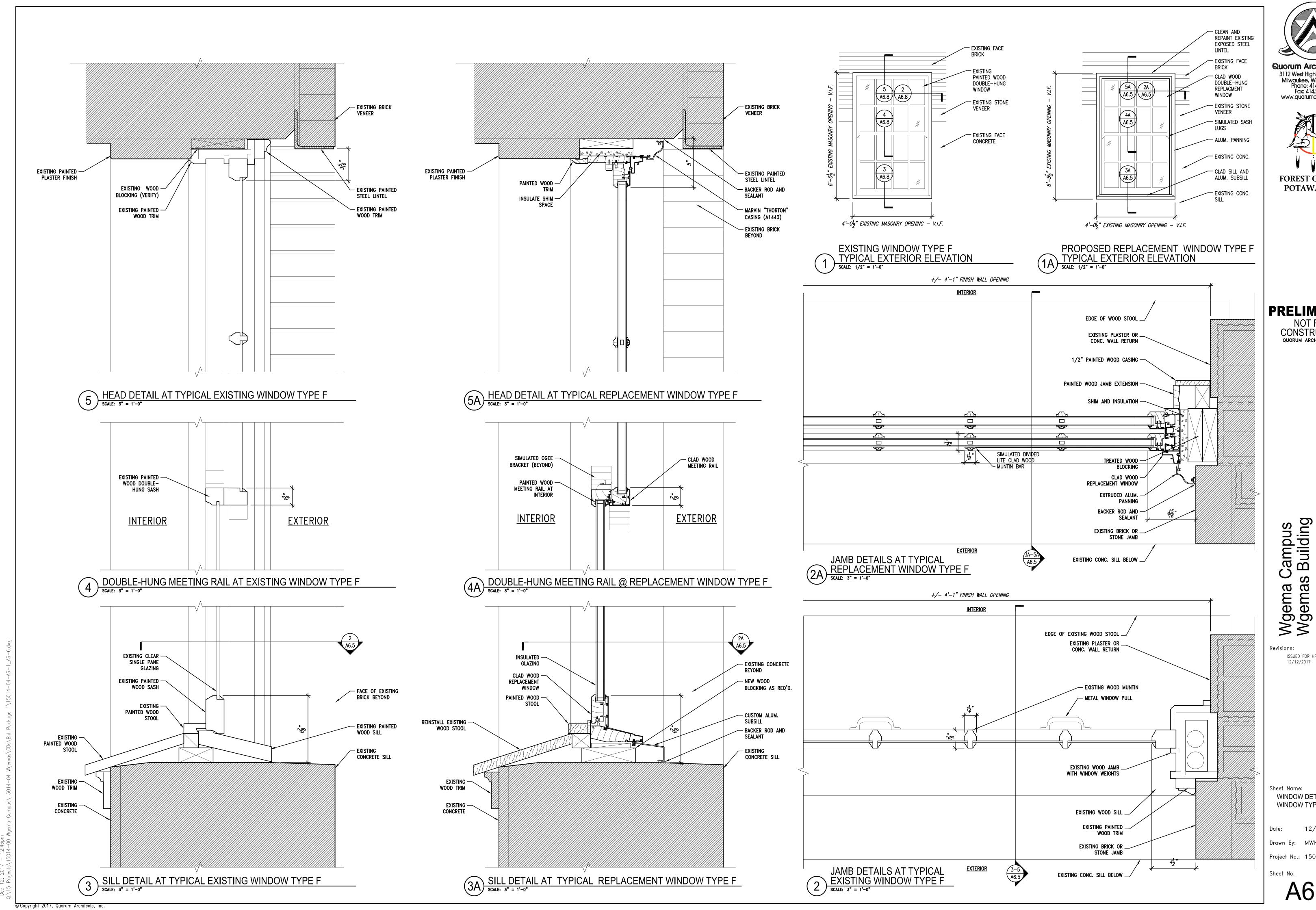
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Sheet Name: WINDOW DETAILS -

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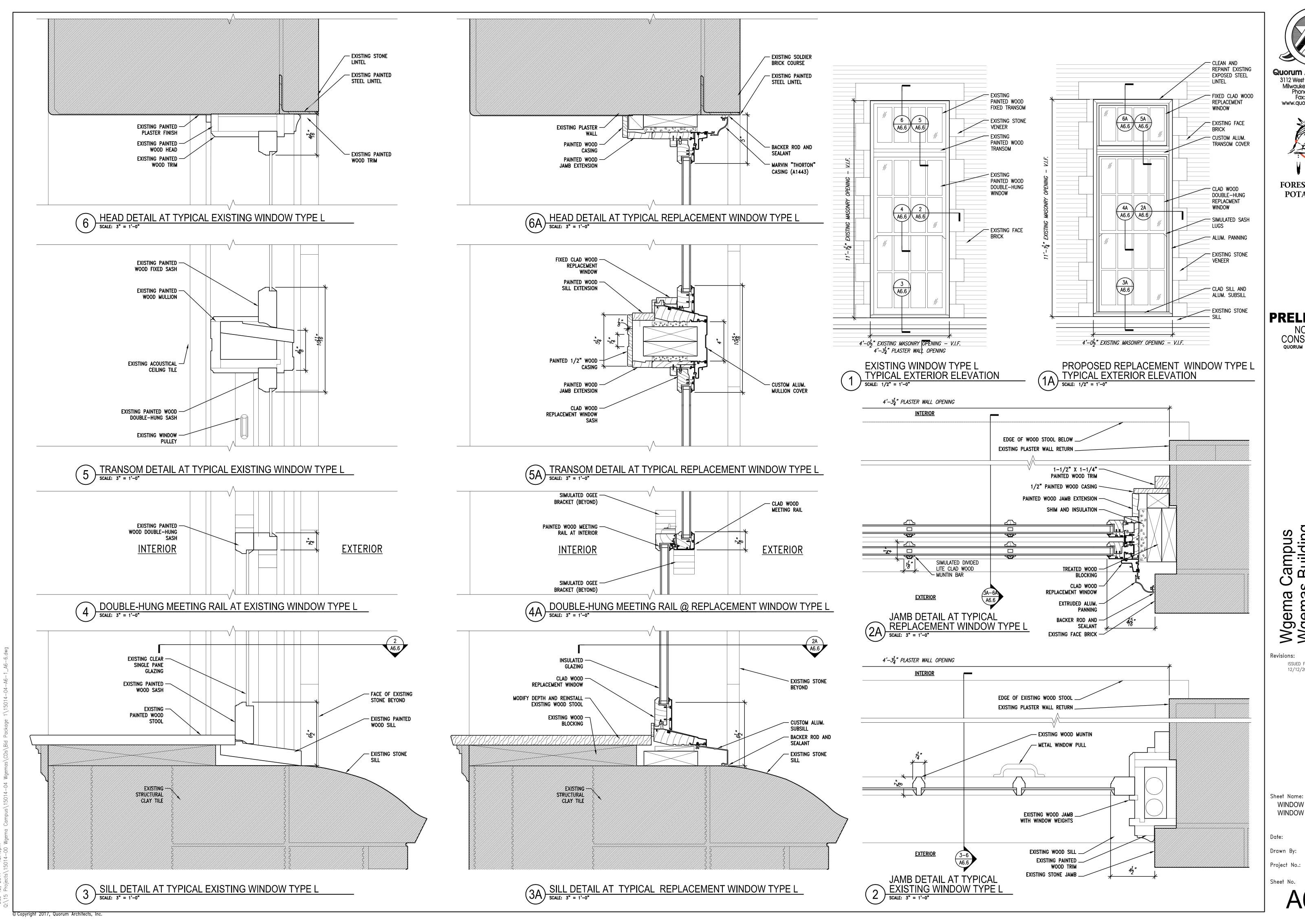
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WINDOW DETAILS -WINDOW TYPE F

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WINDOW DETAILS -WINDOW TYPE L

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Project No.: 15014.04