

The Hills Luxury Commons - Block B MILWAUKEE, WISCONSIN | JUNE 5, 2017





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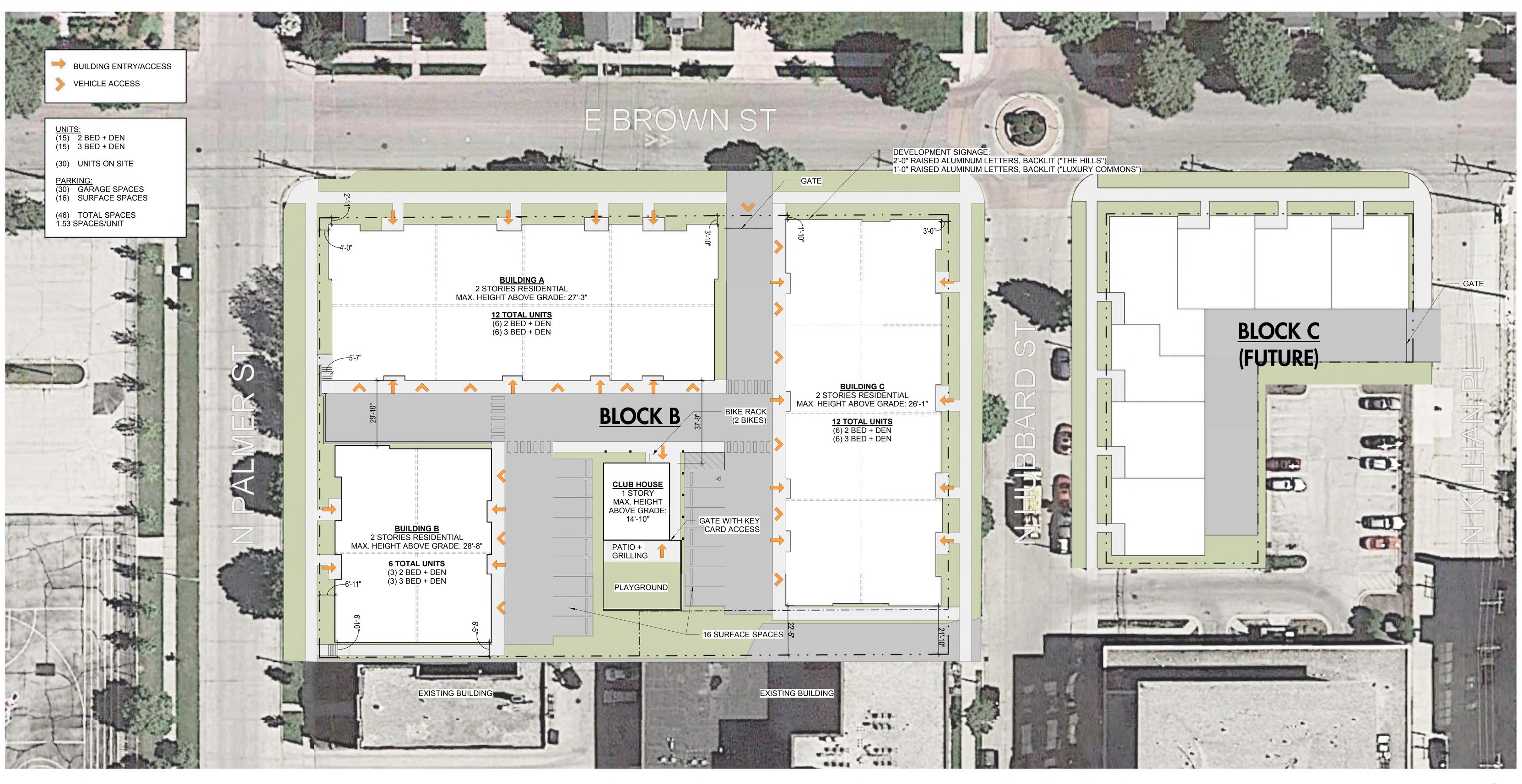
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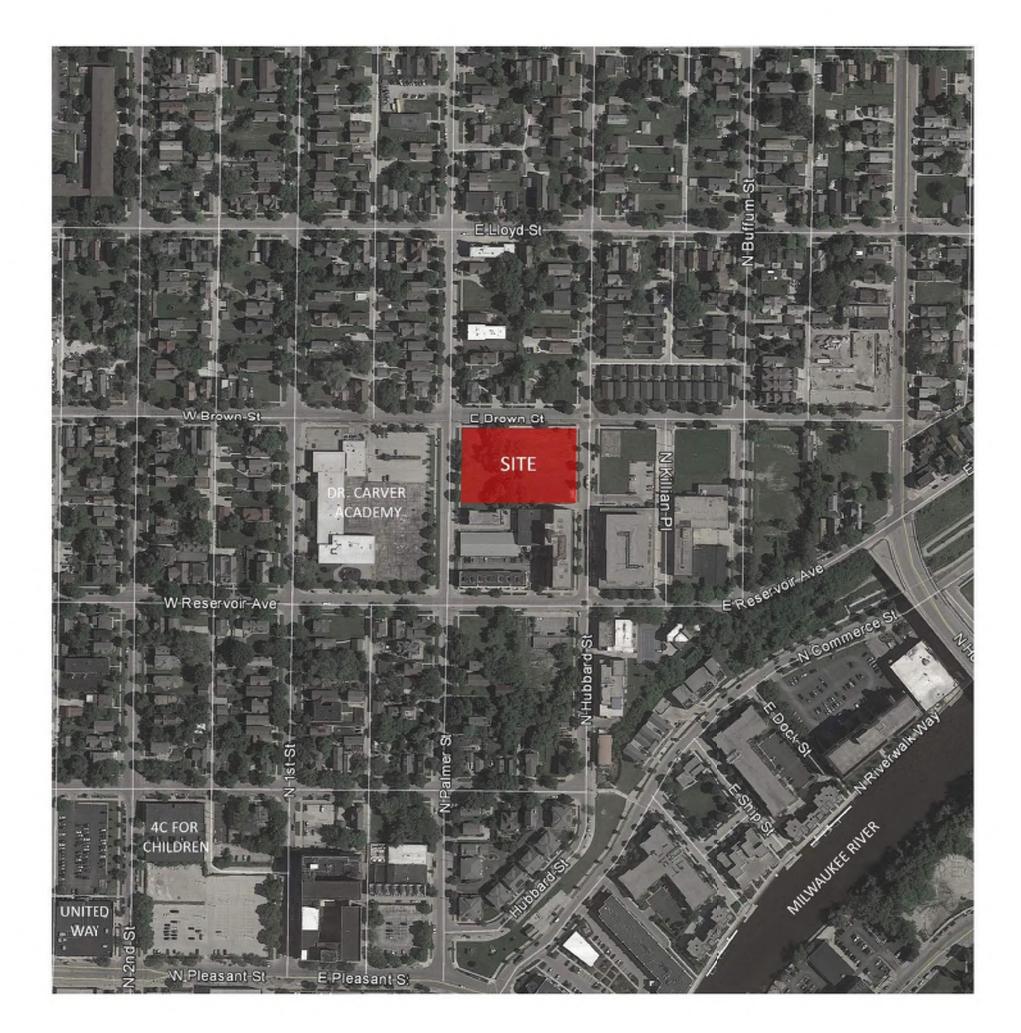
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1 ARCHITECTURAL SITE PLAN SCALE: 1" = 20'-0"







VICINITY MAP

SITE IMAGES









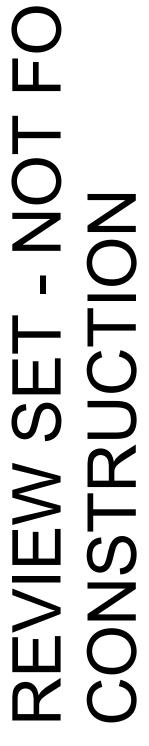


ARCHITECTURAL SITE PLAN, VICINTY MAP + SITE PHOTOS

CHECKED BY

DRAWN BY

Author Checker



REVISION FOR: NO. DESCRIPTION

R

DATE

ISSUED FOR: DPD REVIEW SET

05/19/17

172715.00

Royal Capital Group, LLC. 710 N. Plankington Ave, Suite 300 Milwaukee, WI 53203

PROJECT NUMBER

E. BROWN ST AND N. PALMER ST. MILWAUKEE, WI

THE HILLS LUXURY COMMONS - BLOCK B



GENERAL

1. THE LOCATION OF ALL STRUCTURES. OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES **RESULTING FROM HIS ACTIVITIES.**

2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.

3. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.

4. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.

5. A PRE CONFERENCE WILL BE HELD PRIOR TO CONSTRUCTION START UP.

6. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS AND ERECTING A CONSTRUCTION FENCE AROUND THE PERIMETER OF THE SITE OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MOST RECENT VERSION WITH WISDOT SUPPLEMENT. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

7. ALL DIMENSIONS ARE TO THE EDGE OF FACE OF CURB, PAVEMENT, FACE OF BUILDING **OR PROJECT WORK LIMIT LINE UNLESS** OTHERWISE NOTED.

8. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND **STRUCTURE CONSTRUCTION - 2016 EDITION** HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED

9. WHERE SPECIFIC PORTIONS OF THESE PLANS & SPECIFICATIONS ARE IN CONFLICT WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION, **THESE PLANS & SPECIFICATIONS SHALL** GOVERN.

10. CONSTRUCTION WORK AND STORAGE OF EQUIPMENT OR MATERIALS WILL NOT BE ALLOWED IN WETLAND AREAS.

11. A STREET EXCAVATION PERMIT WILL BE REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. APPLICABLE PERMIT FEES WILL BE DETERMINED UPON RECEIPT OF THE PERMIT APPLICATION. COORDINATE PERMIT APPLICATION WITH XXXXXXXX. CITY OF MILWAUKEE DPW ENGINEERING INSPECTOR, AFTER FINAL PLAN APPROVAL.

12. CITY OF MILWAUKEE PUBLIC WORKS INSPECTION IS NEEDED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. CONTACT XXXXXXXX, INSPECTION SUPERVISOR 72 HOURS PRIOR TO SCHEDULING WORK.

GRADING

HEREIN.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, SIDEWALKS, CONCRETE SLAB, STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.

2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL FOUND WITHIN THE GRADING LIMITS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SEED. MULCH AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS AND PLANS.

3. THE SUB GRADE FOR THE ROAD SHALL BE **PREPARED IN ACCORDANCE WITH SECTION 31** 22 16.15 OF THE CONTRACT SPECIFICATIONS. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.

4. THE BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED.

5. GRADING CONTRACTOR SHALL BE **RESPONSIBLE FOR PROTECTION OF EXISTING** PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.

PAVING

1. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE CRUSHED STONE BASE ON THE ROAD TO THE DEPTHS INDICATED.

2. BASE COURSE IN PROPOSED ASPHALT PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH THE SITE PLAN AND THE TYPICAL PAVEMENT SECTION SHOWN ON THE DETAIL DRAWING. THE CRUSHED STONE SHALL MEET THE REQUIREMENTS OF SECTION 305, 1/4-INCH GRADATION OF THE STANDARD SPECIFICATIONS. THE BASE COURSE SHALL BE COMPACTED USING ROLLERS, VIBRATORY ROLLERS, OR A COMBINATION OF BOTH AS DETAILED IN SECTION 305 OF THE STANDARD SPECIFICATIONS.

3. PRIOR TO PLACING THE ASPHALT PAVEMENT, THE SURFACE OF THE CRUSHED STONE BASE COURSE SHALL BE GRADED TO PROPER ELEVATION AND CROWN AND COMPACTED IN ACCORDANCE WITH SECTION 305.3.2 OF THE STANDARD SPECIFICATIONS.

4. EQUIPMENT UTILIZED IN THE MIXING, TRANSPORT, LAYING AND COMPACTING OF THE ASPHALT BINDER AND SURFACE COURSES SHALL COMPLY WITH SECTION 450 OF THE STANDARD SPECIFICATIONS. SUFFICIENT EQUIPMENT IN GOOD OPERATING CONDITION SHALL BE MAINTAINED AT THE SITE AT ALL TIMES TO PERFORM THE WORK WITH NO DELAYS.

5. ASPHALT LOWER LAYER AND UPPER LAYER SHALL BE INSTALLED IN ACCORDANCE PROJECT SPECIFICATIONS AND WITH SECTIONS 455, 460, AND 465 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.

6. PRIOR TO PLACING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL REMOVE ALL FOREIGN MATTER FROM THE SURFACE OF THE UPPER LAYER AND REPAIR. BY SAW CUTTING, REMOVAL AND REPLACEMENT, ANY DEPRESSION OR SIGNS OF FAILURE AND ALL SURFACE IRREGULARITIES AS DIRECTED BY THE ENGINEER. A TACK COAT SHALL BE APPLIED PRIOR TO PLACEMENT OF THE SURFACE COURSE.

7. TO AVOID HAVING LONGITUDINAL JOINTS IN THE UPPER LAYER, THE UPPER LAYER SHALL BE PLACED WITH PASS WIDTHS SUCH THAT THE LONGITUDINAL JOINTS ARE OFFSET A MINIMUM OF ONE FOOT. JOINTS SHALL BE TACKED PRIOR TO LAYING NEW ASPHALT.

SIDEWALK AND MISCELLANEOUS

1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH CONTRACT SPECIFICATION 32 16 00.

2. ALL SURPLUS EXCAVATED MATERIAL SHALL **BE COORDINATED WITH THE GENERAL** CONTRACTOR FOR ITS TEMPORARY LOCATION.

SANITARY AND WATER SERVICES

1. ALL SANITARY AND WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND CITY OF MILWAUKEE STANDARDS. REFERENCES ARE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003 EDITION: ADDENDUM NO. 1 AND NO. 2, 2004), **REGULATIONS OF THE DEPARTMENT OF** SAFETY AND PROFESSIONAL SERVICES (DSPS) (SPS 382) FOR PRIVATE DEVELOPMENT WORK.

2. ALL PIPE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING: SEE CONTRACT SPECIFICATIONS FOR DETAILS.

A. SANITARY LATERAL-FOR PVC PIPE, ASTM D3034, S

B. HYDRANT LEADS - SE FOR PVC PIPE, AWWA C-900, (DR-18).

C. WATER SERVICE - SI FOR PVC PIPE, AWWA C-900, (DR-18).

3. ALL SANITARY PIPE JOINT (SHALL BE PUSH-ON RUBBER WATER FITTINGS SHALL CON **SPECIFICATION SECTION 33** FITTINGS SHALL BE MEGA-LU

4. WATER VALVES SHALL BE SERIES 2500, CLOW F-6100, M **KENNEDY KEN-SEAL OR M&H** WEDGE GATE VALVES WITH S BOLTS, MEETING THE REQUIR AWWA C-509 AND IN ACCORD SECTION 33 10 00.

5. BACKFILL MATERIAL FOR W SHALL BE CRUSHED STONE B (CONTRACT SPECIFICATION UNDER PAVED SURFACES OR (STANDARD SPEC SECTION 8. LANDSCAPED AREAS.

6. HYDRANTS SHALL BE EITH MEDALLION, MUELLER CENTU WATEREOUS PACER, OR KEN MEETING THE REQUIREMENT AND IN ACCORDANCE WITH S OF CONTRACT SPECIFICATION SHALL HAVE BRONZE ON BRO BRONZE UPPER VALVE PLATE FLANGE, OIL OR GREASE RES INCH VALVE OPENING, TWO 2 NOZZLES AND ONE 4-1/2 INCH NOZZLE. STAINLESS STEEL B USED UNDERGROUND.

7. IF APPLICABLE, SHELL-TYPE MULTIPLE CUTTING TEETH SH FOR TAPPING SERVICE CONN FOLLOWS:

A. CORPORATION STOP LOCATED CLOSER THAN ON PIPE JOINTS. INSERTIONS ON SIDES OF THE MAIN SHALL BE MIN. OF ONE (1) FOOT.

B. TEFLON TAPE SHALL THE CORPORATION STOP TH TO INSTALLATION.

8. CONTRACTOR SHALL INST WITH ALL NON-METALLIC WA ACCORDANCE WITH SECTION SPECIFICATIONS. THIS INCLU LATERALS, SERVICES AND BC

UTILITY CONTACTS: CITY OF MILWAUKEE (WATER

CITY OF MILWAUKEE (INSPEC SUPERVISOR)

CITY OF MILWAUKEE (DPW EN INSPECTOR)

CITY OF MILWAUKEE (CITY EN

WE ENERGIES EMERGENCY CONTACT 1-800-261-5325

SURVEY NOTES:

- (NGVD) OF 1929.

FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C001B - GENERAL NOTES AND LEGEND BLOCK B.DWG

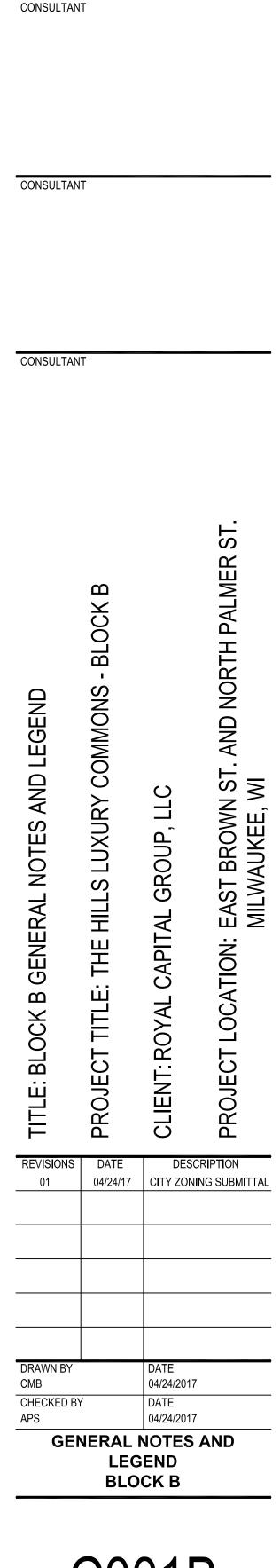
CTION 33 30 00	HATCH	NG PATTERNS	<u>L</u>	EGEND				
R 35.		PROPOSED HMA PAVEMENT	EXISTING	PROPOSE	ED			
TON 33 10 00 ASS 235				.	SECTION CORNER FOUND	EXISTING	PROPOSED	
		PROPOSED CONCRETE SIDEWALK		9			· ######	EROSION MATTING
ION 33 10 00				ð	IRON STAKE FOUND			ERUSION MATTING
SS 235		REMOVE EXISTING ASPHALTIC PAVEMENT		0	REBAR PLACED			WETLAND IMPACT
INECTIONS		7		$\underline{\land}$	SURVEY NAIL		_XXXX_	SAW CUT LINE
SKET. ALL		REMOVE EXISTING CONCRETE PAVEMENT/SIDEWAL	K		WOOD STAKE		_	CATCH CURB
RM TO 0. OFFSET		<u>र र</u>		(263.56')	RECORDED AS DATA			REJECT CURB
OR EQUAL.				, ,			-00	PERIMETER SILT FENCE
HER AFC LLER 2360-20,				263.51'	MEASURED DATA			
SILIENT					SOIL BORING			STRAW BALES
INLESS STEEL IENTS OF		STAGING AND STOCKPILE AREA	© MH	\bigcirc	SANITARY MANHOLE		\mathbf{X}	INLET PROTECTION
CE WITH			© MH	\bigcirc	STORM MANHOLE		lej	STRAW BALE/SILT FENCE INLET
ER UTILITIES					STORM INLET			PROTECTION
KFILL	000000	Pool			STORM CATCH BASIN		(\cdot)	CANOPY / SHADE TREE
TION 33 10 00) OIL	0000000	STABILIZED CONSTRUCTION ENTRANCE		\bigtriangledown		er and the second secon	Er and	SHRUB
5) UNDER					APRON ENDWALL			TREE CONIFEROUS, DECIDUOUS
CLOW			\bigcirc	tê)	HYDRANT			TREE REMOVAL
NN,	ABBREVI	ATIONS	\otimes WV	\bigotimes	WATER VALVE			
DY GUARDIAN, F AWWA C-502	AGG -	AGGREGATE	$\oslash \lor \sqcup \lor$	\oslash	CURB STOP WATER VALVE	W	— W —	BURIED WATER MAIN
FION 33 10 00 HYDRANTS		BACK OF CURB BITUMINOUS/ASPHALT		\checkmark	Y CONNECTION	-SAN-	-SAN	SANITARY SEWER
E SEAT,	CE ·	COMMERCIAL ENTRANCE		\bowtie		—SS—	—SS—	STORM SEWER
REAK AWAY /OIR, 5-1/2		CAST IRON PIPE CLEANOUT			POST INDICATOR VALVE	—RD—	—RD—	ROOF DRAIN
INCH HOSE MPER		CONCRETE CORRUGATED METAL PIPE			TRAFFIC SIGNAL	—0H—	—OH—	OVERHEAD WIRES
S SHALL BE	CSP ·	CONCRETE SEWER PIPE			TRAFFIC CONTROL BOX			
		CITY UNDERGROUND CONDUIT DIAMETER		-×-	LIGHT POLE	-CATV-	-CATV	BURIED CABLE TV LINES
JTTER WITH BE USED		DUCTILE IRON PIPE ELECTRICAL MANHOLE DRAIN		ф	ELECTRICAL OUTLET	—— E ——	—— E ——	BURIED ELECTRIC
FIONS, AS	EXTG ·	EXISTING				$$ \top	—T—	BURIED TELEPHONE
HALL NOT BE		EDGE OF PAVEMENT FRAME AND COVER		<u> </u>	UTILITY POLE	—FO—	—FO—	FIBER OPTIC
1) FOOT FROM		FACE OF CURB FACE TO FACE		ſ	GUY WIRE / DEAD MAN	—G —	—G —	BURIED GAS MAIN
POSITE	F/G	FINISHED GRADE		E	ELECTRIC PEDESTAL	-COMB-		
		FLARED END SECTION INVERT		X	ELECTRIC METER		-COMB	COMBINED SEWER
PLACED ON ADS PRIOR		LENGTH OF CURVE LINEAR FT		E	ELECTRIC MANHOLE	-823	-823	CONTOUR
AD2 PRIOR	LT ·	LEFT				×821.25	×821.25	SPOT ELEVATION
TRACER WIRE	_	NATURAL GAS OVERHEAD UTILITY		T	TELEPHONE PEDESTAL		-CAUTION	CAUTION
UTILITIES IN 10 00 OF	-	POINT OF CURVATURE POLYETHYLENE PIPE		\bigcirc	TELEPHONE MANHOLE		- V V N	PROPERTY LINE
S ALL	PI ·	POINT OF INTERSECTION		\$	SPRINKLER HEAD			
S.		PROPERTY LINE POINT OF TANGENCY		0	BOLLARD			UTILITY EASEMENT
		POLYVINYL CHLORIDE PIPE POINT OF VERTICAL INTERSECTION	•	•	SIGN	· ·		SETBACK LINE
	R	RADIUS		-				EDGE OF WATER
		REINFORCED CONCRETE PIPE TOP OF CASTING ELEVATION		RAMP	HANDICAP RAMP			WETLAND BOUNDARY
	ROW	RIGHT OF WAY		Ġ	HANDICAP STALL			100 YEAR FLOOD BOUNDARY
	SAN	RIGHT SANITARY SEWER	~~~~		EDGE OF TREES			
EWER)		STORM SEWER SUMP DISCHARGE		Р	PROPERTY LINE	TW 900.00	IW 900.00	TOP OF WALL ELEVATION
1	T/C	TOP OF CURB		С		BW 899.00	BW 899.00	BOTTOM OF WALL ELEVATION
EERING	UD -	TOP OF WALL UNDERDRAIN		Ŭ	CENTER LINE	۵		CONTROL POINT
	VC ·	VERTICAL CURVE WISCONSIN DEPARTMENT OF		-A-A-A-	PIPE, ABANDON			
EER)		NATURAL RESOURCES	- A - A - A -		PIPE, PREVIOUSLY ABANDONED	NOTE:		
			-	- X- X- X-	PIPE, REMOVE		NDARD LEGEND	. NOT ALL OF ON THIS LEGEND
					PIPE OVER 24" (SHOWN ACTUAL SIZE)		N THESE CONTR	

1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.

2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM

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C501B-505B	-	CONSTRUCTION DETAILS



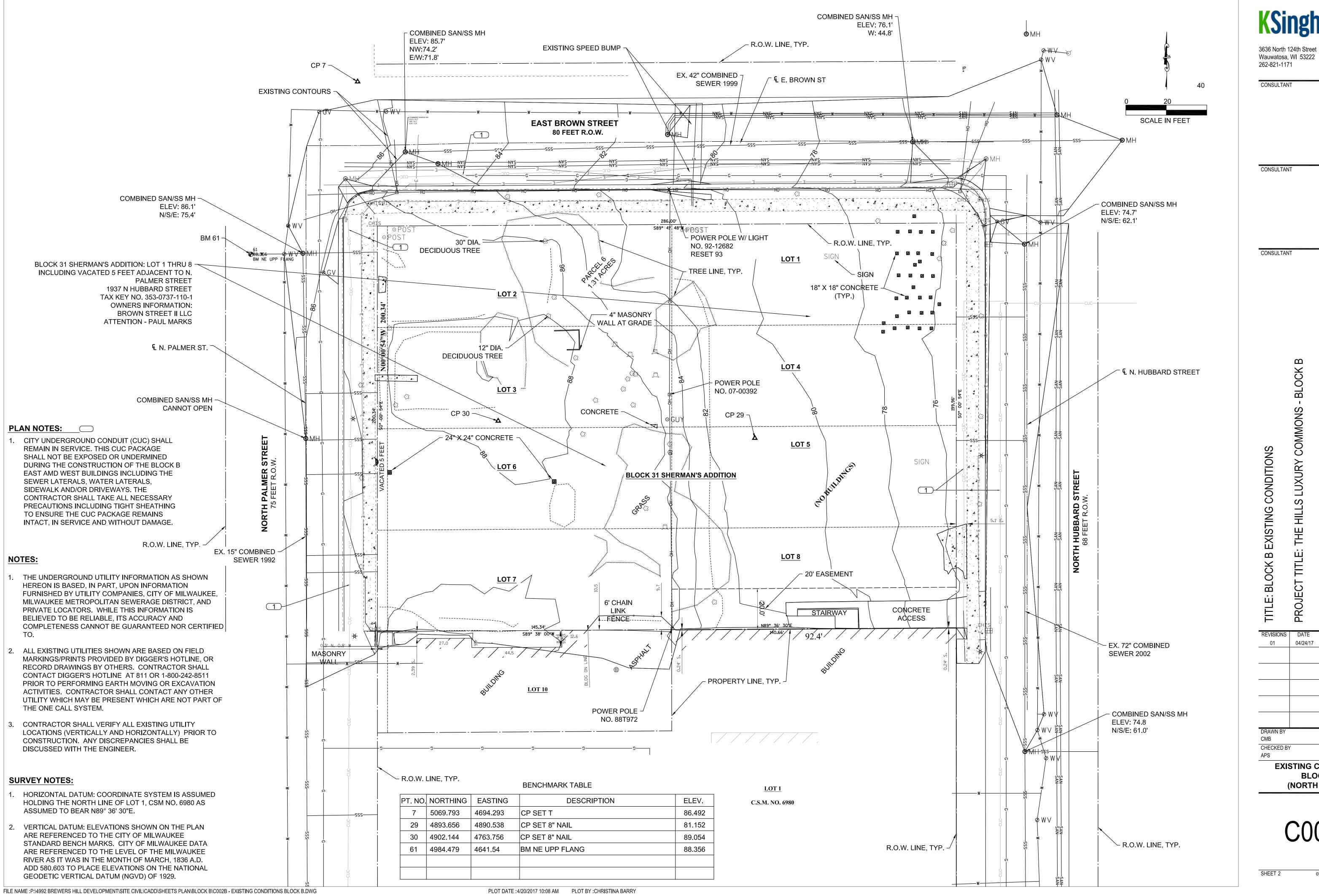
Singh Engineers Scientists

3636 North 124th Street

Wauwatosa, WI 53222

262-821-1171

SHEET 1



THING	EASTING	DESCRIPTION	ELEV.
9.793	4694.293	CP SET T	86.492
3.656	4890.538	CP SET 8" NAIL	81.152
2.144	4763.756	CP SET 8" NAIL	89.054
1.479	4641.54	BM NE UPP FLANG	88.356

262-821-117 CONSULTAN	T		
TITLE: BLOCK B EXISTING CONDITIONS	PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B	CLIENT: ROYAL CAPITAL GROUP, LLC	PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI
01	04/24/17		IG SUBMITTAL
	STING C BLO	DATE 04/24/2017 DATE 04/24/2017 CK B BLOCK	
SHEET 2	CO()2E	3 SHEET 13

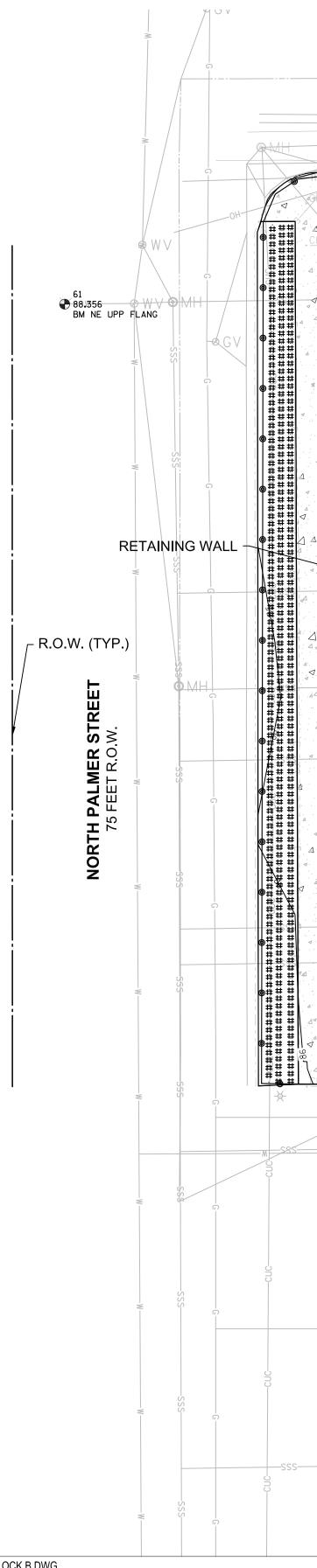
Engineers Scientists Consultants

EROSION CONTROL NOTES

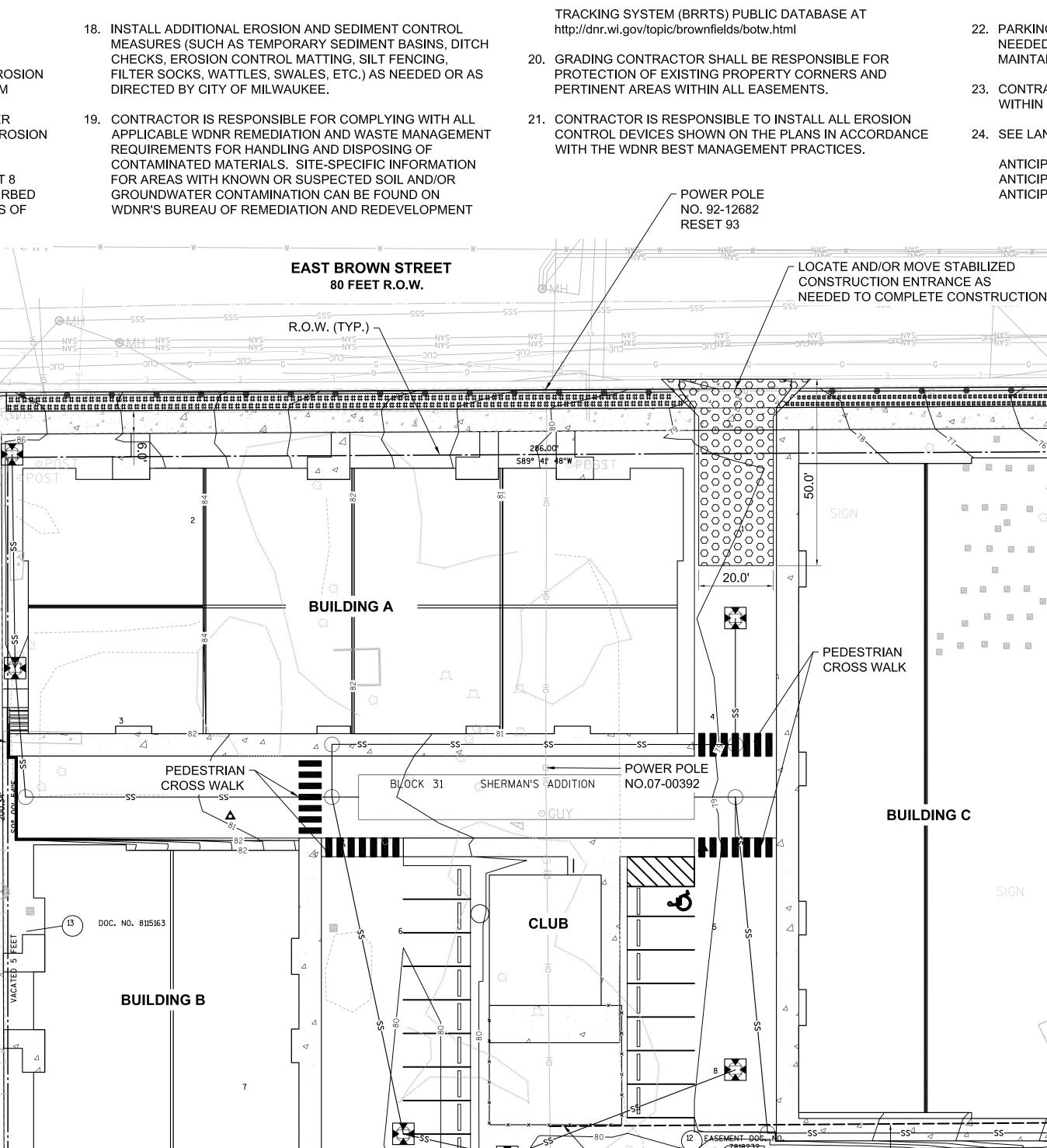
- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND EMPLOY **EROSION CONTROL METHODS AS SHOWN IN THE** DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS WHICH CAN BE FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const standards.html
- 2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5" OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND ALL SEDIMENT CONTROL STRUCTURES. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH DAY. ALL RECORDS OF THE INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE KEPT BY THE OWNER'S REPRESENTATIVE RESPONSIBLE FOR **EROSION CONTROL INSPECTIONS.**
- 4. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- 5. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES.
- 6. ALL OFF-SITE SEDIMENT DEPOSITS FROM THIS PROJECT OCCURRING AS RESULT OF A STORM EVENT SHALL BE CLEANED UP BY END OF NEXT WORKING DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY END OF THE WORK DAY.
- CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
- 7.1. INSTALL SILT FENCE.
- 7.2. INSTALL INLET PROTECTION ON EXISTING STORM INLETS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT. 7.3.
- STRIP TOPSOIL, REMOVE AND/OR STOCKPILE. 7.4.
- INSTALL UNDERGROUND STORAGE CHAMBERS PRIOR 7.5. TO MASS SITE GRADING.
- PERFORM ROUGH GRADING. 7.6.
- 7.7. INSTALL UTILITIES. INSTALL INLET PROTECTION. 7.8.
- 7.9. CONSTRUCT BUILDINGS
- 7.10. INSTALL PAVEMENTS.
- 7.11. REMOVE ACCUMULATED SEDIMENT FROM SITE. 7.12. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
- 8. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
- 9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER; STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- 10. RESTORATION OF ALL DISTURBED AREAS WITH SLOPES GREATER THAN 20% SHALL BE COMPLETED WITHIN 30 DAYS AFTER BEGINNING CONSTRUCTION ON SAID AREA.
- 11. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY CITY OF MILWAUKEE/OWNER/ OR ENGINEER. SEPARATE SWEPT MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- 12. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD #1068 DUST CONTROL FOR CONSTRUCTION SITES.
- 13. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
- 14. IF DEWATERING IS NEEDED, CONTRACTOR SHALL PROVIDE FOR SEDIMENT REMOVAL ACCORDING TO WDNR TECHNICAL STANDARD #1061. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS, GRIT CHAMBERS, SAND FILTERS, UPSLOPE CHAMBERS, HYDRO-CYCLONES, SWIRL CONCENTRATORS, OR OTHER APPROPRIATE CONTROLS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- 15. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING, LIMIT PUMPING RATES, OR THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE

RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD #1061 DEWATERING.

- 16. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS 1 TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WISDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD #1052 NON-CHANNEL EROSION MAT.
- 17. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.







7818232

/ N89° 36' 30"E

140.66

LOT 1

C111

PROPOSED FENCE

POWER POLE NO. 88T972

SEE CONSTRUCTION DETAILS

- PROPERTY LINE, TYP. LEGEND SEED AND EROSION MAT STABILIZED CONSTRUCTION ENTRANCE SILT FENCE ~ R.O.W. (TYP.) INLET PROTECTION, TYPE D C.S.M. NO. 6980

S89° 38' (

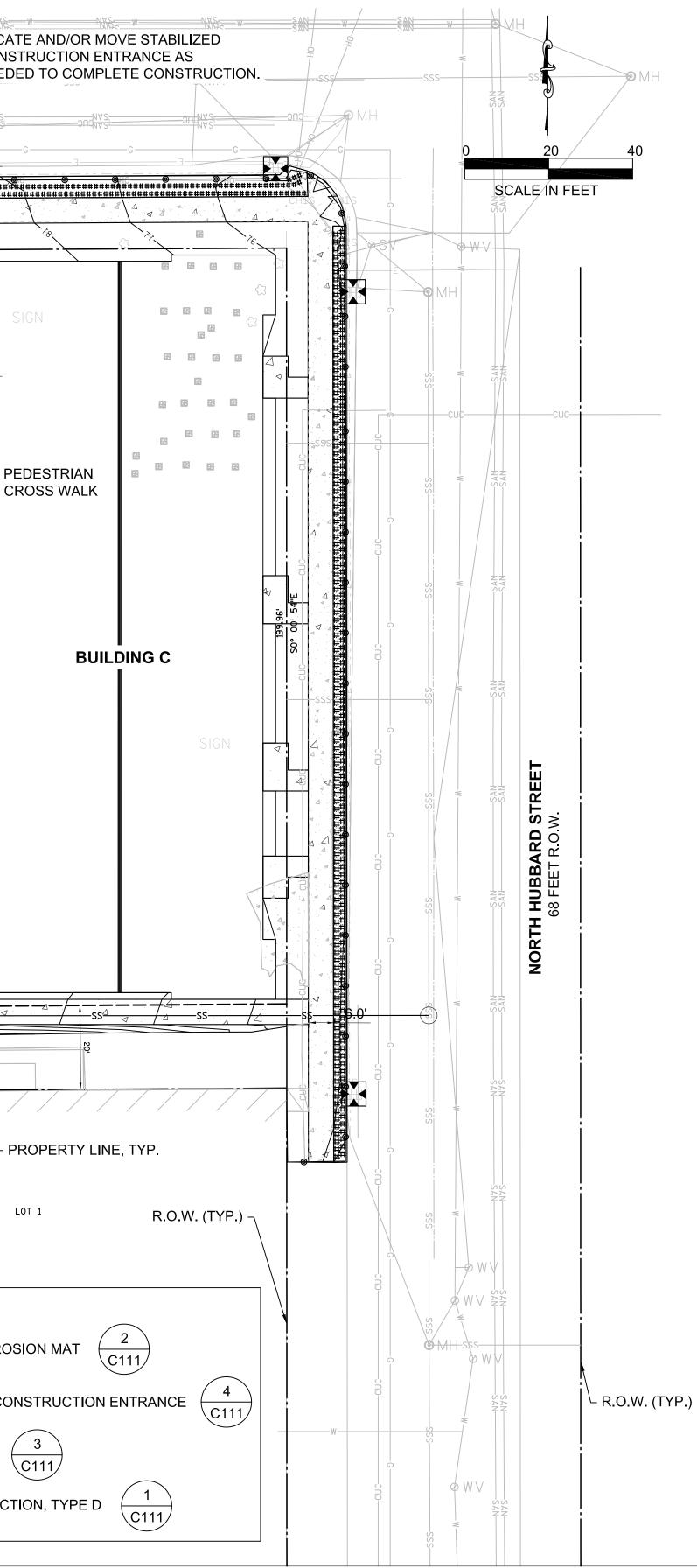
SEE CONSTRUCTION DETAIL

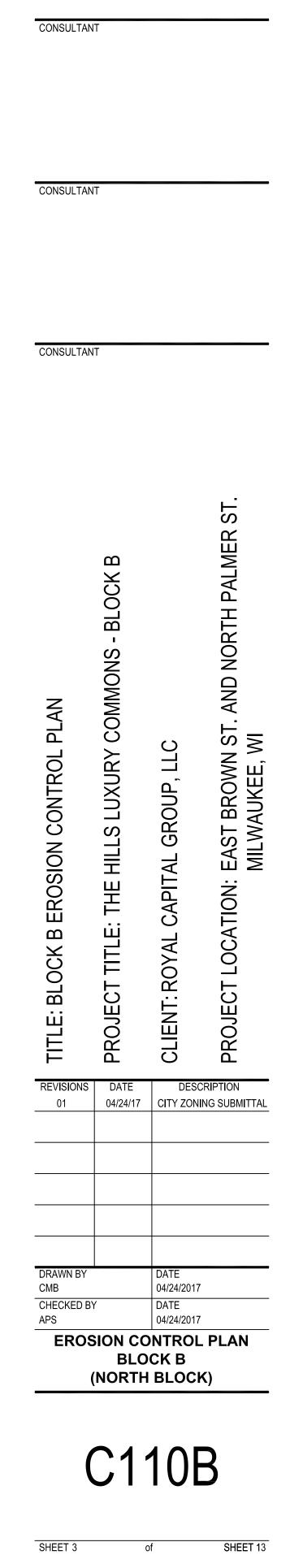
10

- RETAINÍNG WALL

- 22. PARKING LOTS AND DRIVES SHALL BE CLEANED DAILY AS NEEDED. STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- 23. CONTRACTOR SHALL SEED & MULCH ALL DISTURBED AREAS WITHIN 7 DAYS.
- 24. SEE LANDSCAPING PLAN FOR RESTORATION.

ANTICIPATED START OF CONSTRUCTION: XX ANTICIPATED CONSTRUCTION DURATION: XX MONTHS ANTICIPATED END OF CONSTRUCTION: XX

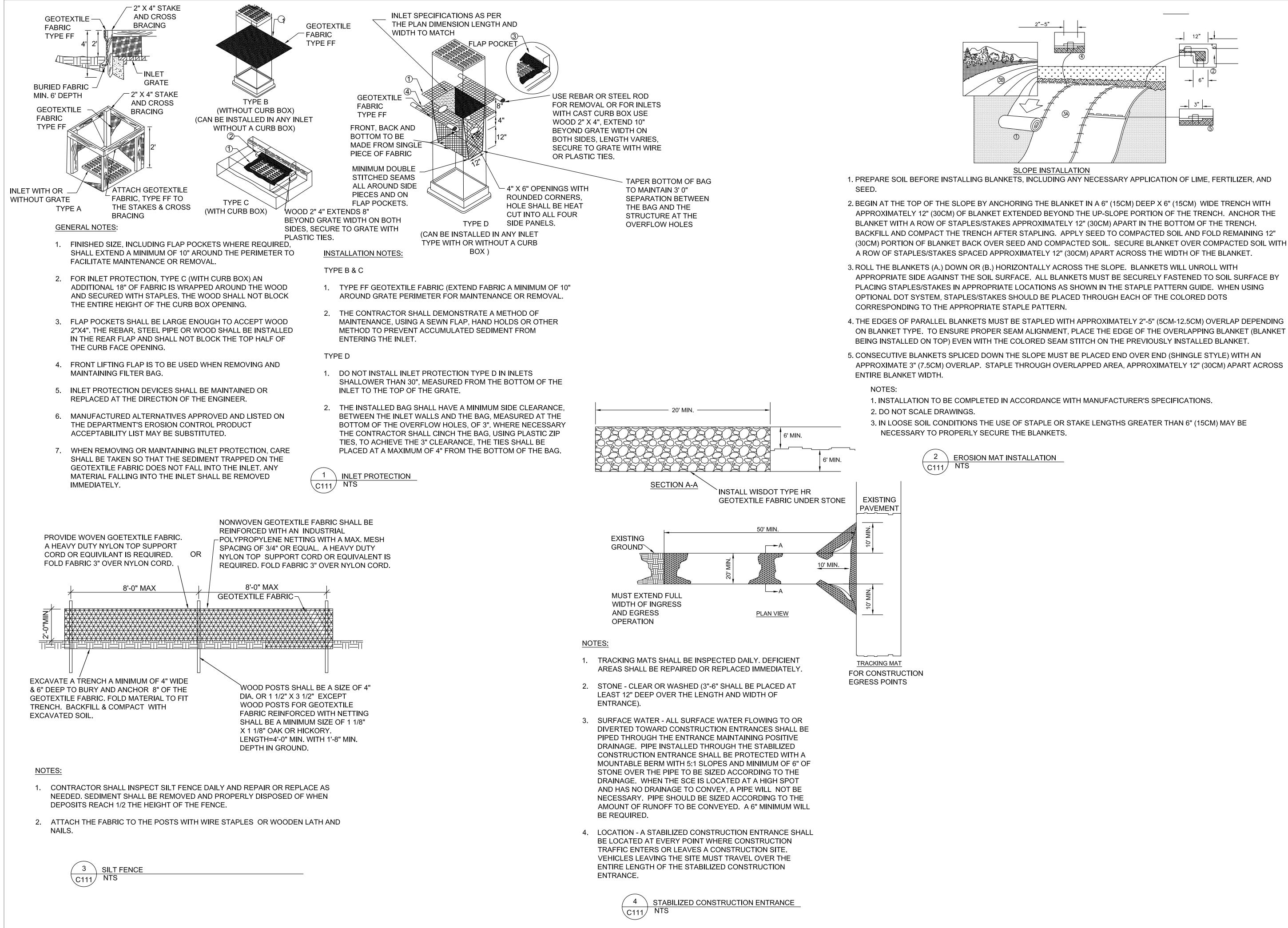




3636 North 124th Street

Wauwatosa, WI 53222

262-821-1171



CONSULTAN	124th Street WI 53222 1	Enginee Scientis Consult	ers sts rants
CONSULTAN	T		
TITLE: BLOCK B EROSION CONTROL DETAILS	PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B		PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI
01 DRAWN BY CMB CHECKED BY APS		DATE 04/24/2017 DATE 04/24/2017	
	BLO	trol di ck b block)

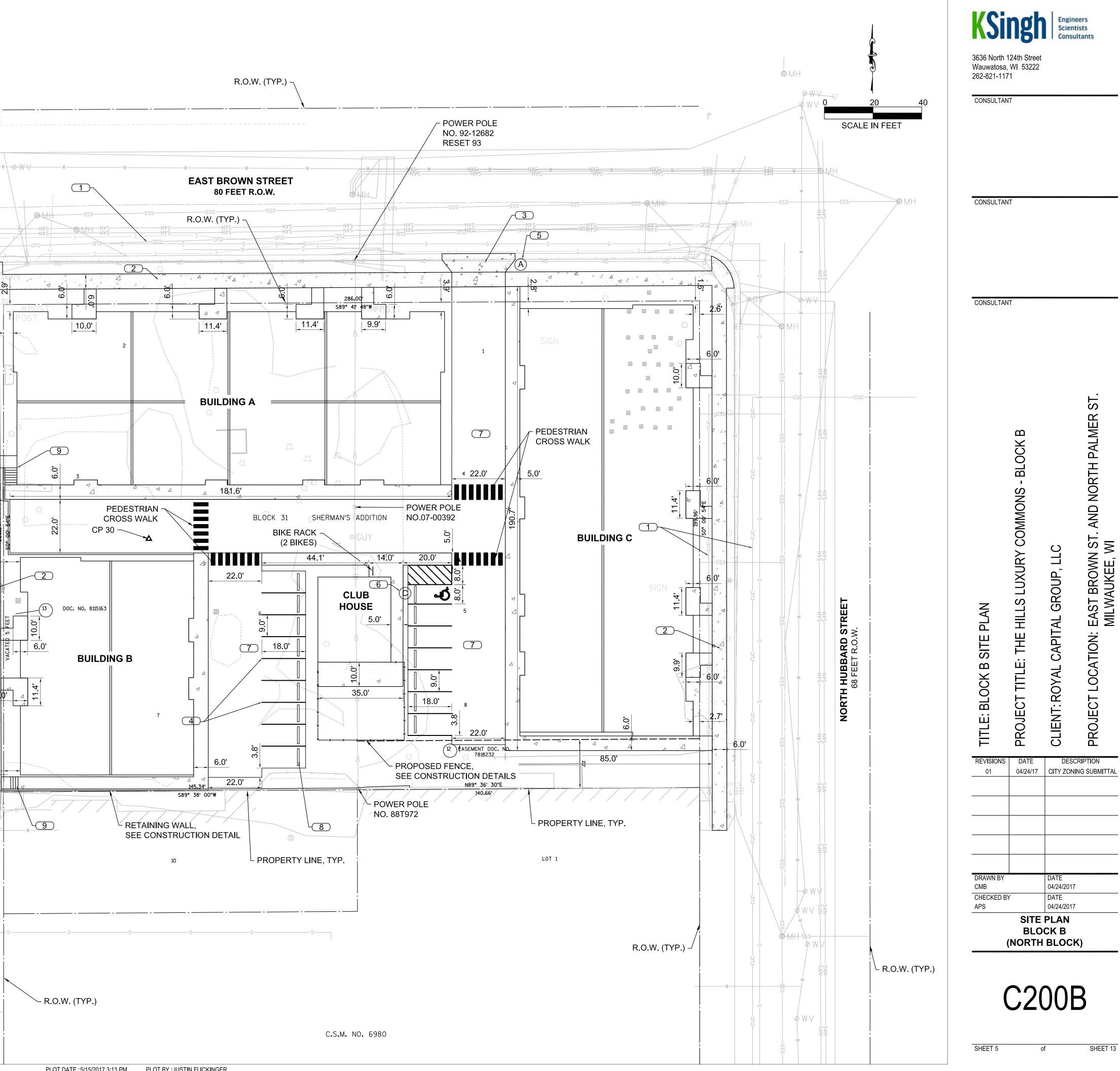
SHEET 4

GENERAL NOTES:

- 1. ALL DIMENSIONS AND CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
- 2. CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
- 3. REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

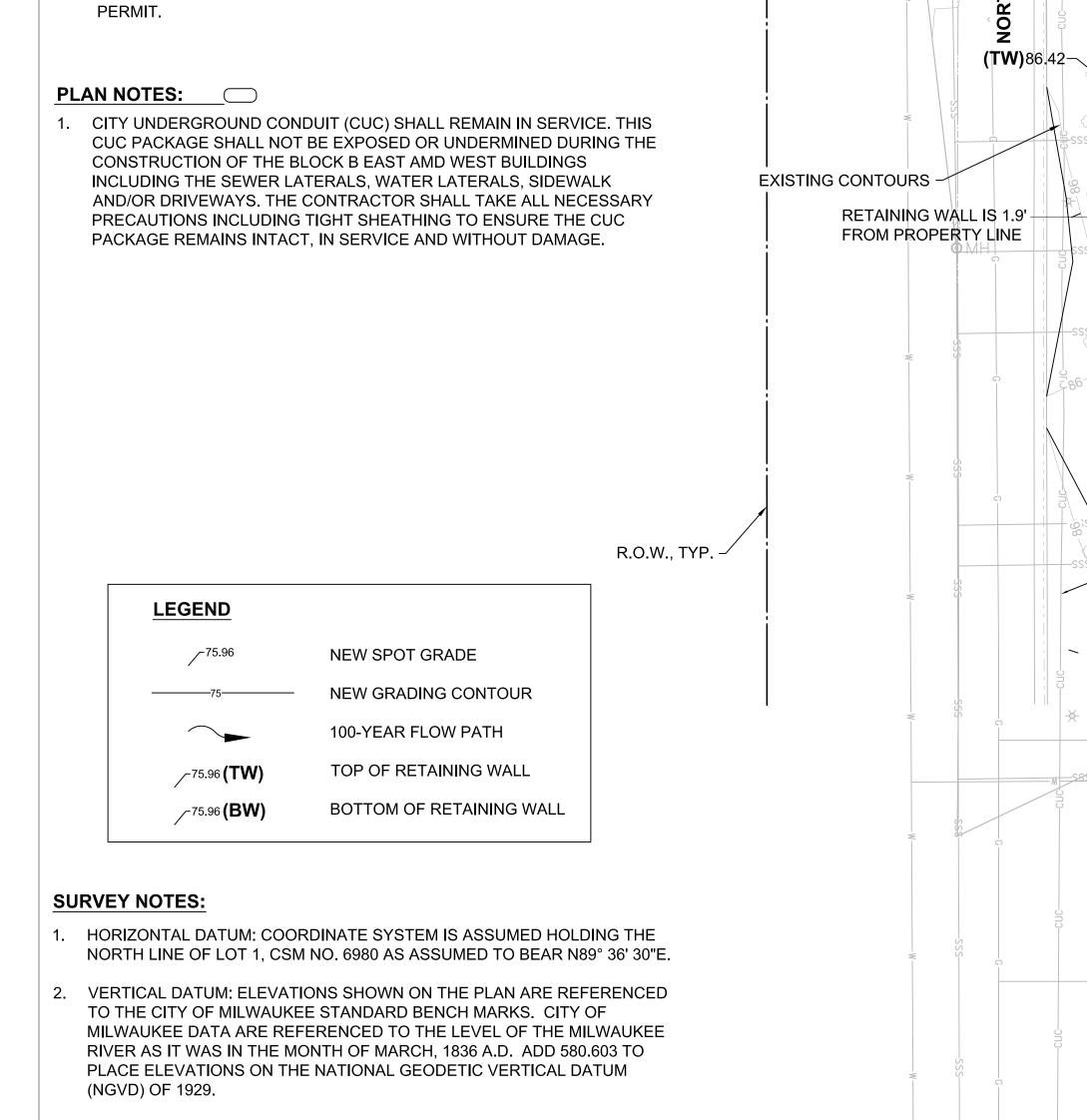
BUILDING USE & HEIGHT: BUILDING A USE = MULTIFAMILY RESIDENTIAL BUILDING A HEIGHT = 2 STORIES, 27'-3" ABOVE GRADE AT HIGHEST PO	INT		CP 7 -
BUILDING B USE = MULTIFAMILY RESIDENTIAL BUILDING B HEIGHT = 2 STORIES, 28'-8" ABOVE GRADE AT HIGHEST PO	INT		X
BUILDING C USE = MULTIFAMILY RESIDENTIAL BUILDING C HEIGHT = 2 STORIES, 26'-1" ABOVE GRADE AT HIGHEST PO	INT		A GWV
CLUB HOUSE BUILDING USE: RESIDENTIAL AMENITY CLUB HOUSE BUILDING HEIGHT: 1 STORY, 14'-10" ABOVE GRADE AT HIGHEST POINT		M	
BUILDING AREA: BUILDING A - FIRST FLOOR AREA: 12,208 S.F. BUILDING B - FIRST FLOOR AREA: 6,166 S.F. BUILDING C - FIRST FLOOR AREA: 12,208 S.F. CLUB HOUSE - FIRST FLOOR AREA: 1,050 S.F.		M	
TOTAL FIRST FLOOR AREA: 31,632 S.F.			
SITE DATA: TOTAL AREA OF LOTS = 57,243 S.F. = 1.31 ACRES TOTAL DISTURBED AREA (PROJECT LIMITS) = 67,799 S.F. = 1.56 ACRES IMPERVIOUS AREA BEFORE CONSTRUCTION = 5,184 S.F. = 0.12 ACRES IMPERVIOUS AFTER CONSTRUCTION = 55,145 S.F. = 1.27 ACRES IMPERVIOUS INCREASE = 49,961 S.F. = 1.15 ACRES R.O.W		61 88J356 BM NE UPP FLANG	→ → → → → → → → → → → → → → → → → → →
GREEN SPACE: LOT:			
AREA = 57,243 S.F. GREEN SPACE = 6,847 S.F.			
14% GREEN SPACE PARKING DATA: TOTAL SURFACE PARKING SPACES = 15		W	SSS G G G
HANDICAP ACCESSIBLE PARKING SPACES = 1 PARCEL ADDRESS:	RETAI	NING WALL —	
1937 N. HUBBARD MILWAUKEE, WI 53202		W	
ZONING: CURRENTLY: PLANNED DEVELOPMENT (PD)			
PROPOSED: PLANNED DEVELOPMENT (PD)			
PLAN NOTES:	, ,	NORTH PALMER STREET 75 FEET R.O.W.	
2. 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501B.			
3. 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 4, SHEET C501B.		X	
4. PAVEMENT MARKING 4-INCH WHITE, TYP.			SSS SSS
5. R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C504B.		W	SSS SS SS SS SS SS SS SS SS SS SS SS SS
6. R7-8A RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C505B.			4 6.9
 HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 2, SHEET C501B. 	SIGN KEY:	~	
8. CONCRETE WHEEL STOP, SEE DETAIL 3, SHEET C501B.	A STOP		
9. CONCRETE STEPS, SEE DETAIL 5, SHEET C501B.	R1-1 30'' X 30	0"	555 G
LEGEND			
	ENTER R5-1	2	- cnc
	30"X30	" ×	
	C R7-8A		
URVEY NOTES:	12"X18		
. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING	THE NORTH LINE OF L	_OT 1,	
CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.		<u>. </u>	
MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MAR TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DAT	ARE REFERENCED TO CH, 1836 A.D. ADD 58	O THE	-SSS - G

FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C200B - SITE PLAN BLOCK B.DWG



GENERAL NOTES:

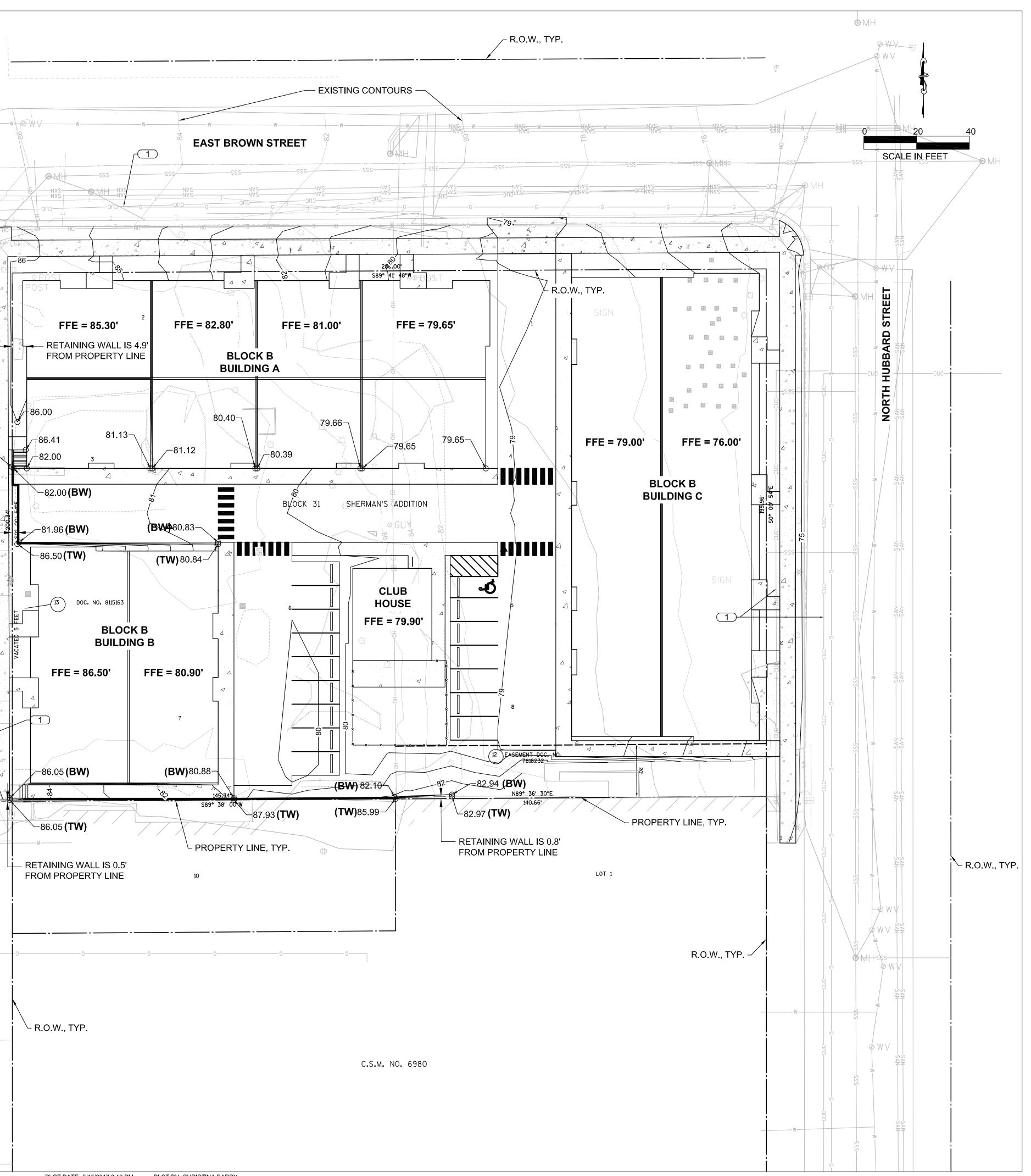
- 1. SEE DEMOLITION PLANS FOR EXISTING LOT DEMOLITION.
- 2. GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
- 3. ALL GRADES SHOWN ARE FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
- 5. ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO PROPOSED GRADING BY THE CONTRACTOR, UNLESS A GRADE MATCH IS INDICATED AT A SPECIFIC UTILITY.
- 6. FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
- 7. UTILITY OWNERS SHALL BE CONTACTED PRIOR TO ADJUSTMENTS.
- 8. UTILITY OWNERS SHALL HAVE THE OPTION OF PERFORMING THE WORK THEMSELVES OR HAVING THE CONTRACTOR PERFORM THE WORK.
- 9. THE CONTRACTOR SHALL PAY ALL FEES, PERMITS, AND DEPOSITS FOR THE ADJUSTMENT WORK.
- 10. ALL ADJUSTMENT WORK SHALL BE TO THE SPECIFICATIONS OF THE UTILITY OWNER AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
- 11. PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.
- 12. A GRADING AND DRAINAGE RECORD DRAWING PREPARED TO CITY OF MILWAUKEE STANDARDS IS REQUIRED PRIOR TO OCCUPANCY PERMIT.



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	PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
	7	5069.793	4694.293	CP SET T	86.492
	29	4893.656	4890.538	CP SET 8" NAIL	81.152
	30	4902.144	4763.756	CP SET 8" NAIL	89.054
	61	4984.479	4641.54	BM NE UPP FLANG	88.356

BENCHMARK TABLE

FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C300B - GRADING PLAN BLOCK B.DWG



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61 88.356 BM NE UPP FLANG

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TITLE: BLOCK B GRADING PLAN PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B CUIENT: ROYAL CAPITAL GROUP, LLC PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWALIKEF WI	CONSULTE: THE HILLS LUXURY COMMONS - BLOCK B YAL CAPITAL GROUP, LLC OCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWALIKEE WI				
CK B GRADING PLAN ITLE: THE HILLS LUXURY COMMONS - BLOCK B YAL CAPITAL GROUP, LLC OCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWALIKFE WI	TITLE: BLOCK B GRADING PLAN PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B CLIENT: ROYAL CAPITAL GROUP, LLC CLIENT: ROYAL CAPITAL GROUP, LLC PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MIL WALIKFE WI	CONSULTAN	Т		
CK B GRADING PLAN ITLE: THE HILLS LUXURY COMMONS - BLOCK B YAL CAPITAL GROUP, LLC OCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWALIKFE WI	TITLE: BLOCK B GRADING PLAN PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK B CLIENT: ROYAL CAPITAL GROUP, LLC CLIENT: ROYAL CAPITAL GROUP, LLC PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWALIKEF WI	CONSULTAN	Т		
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CMB 04/24/2017 CHECKED BY DATE	CMB04/24/2017CHECKED BY APSDATE 04/24/2017GRADING PLAN BLOCK B (NORTH BLOCK)	(53	UUI	0

Scientists Consultants

GENERAL NOTES:

- 1. PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- 2. SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- 3. CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- 4. CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE.
- 5. ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- 6. MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- 7. SEE SHEET C500 FOR STORM SEWER PLAN. SEE CONSTRUCTION DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- 8. SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- 9. WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- 10. CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- 11. SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- 12. SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- 13. A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- 14. A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- 15. PER DSPS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- 16. NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- 17. CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- 18. GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- 19. PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.

LEGEND	
	NEW SANITARY SEWER
ss	NEW STORM SEWER
w	NEW WATER SERVICE
G	NEW GAS SERVICE
1	

SURVEY NOTES:

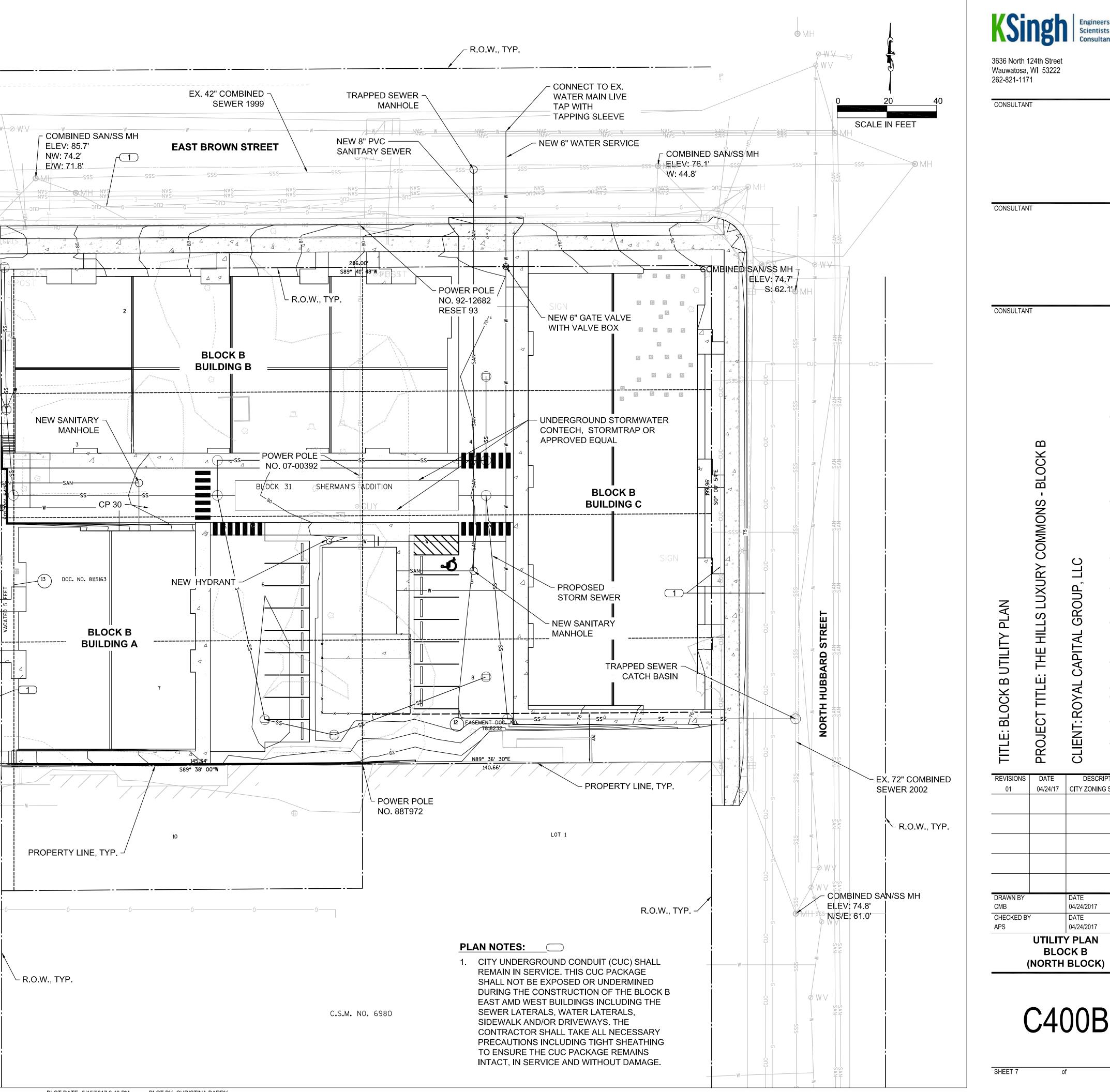
- 1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- 2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C400B - UTILITY PLAN BLOCK B.DWG

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E: 75.4' NEW 6" GATE VALVE					X
WITH VALVE BOX					
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TRAPPED SEWER ¬ MANHOLE	\setminus				
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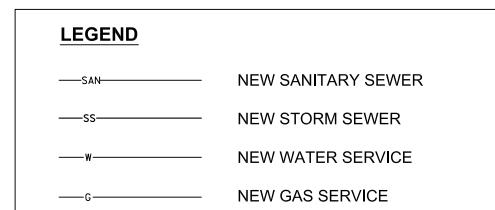
04/24/2017 UTILITY PLAN **BLOCK B** (NORTH BLOCK)

|--|

- 1. PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- 2. SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- 3. CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- 4. ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- 5. MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- 6. SEE SHEET C400 FOR SANITARY AND WATER PLAN. SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- 7. CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- 8. SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- 9. NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- 10. ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS III-A UNLESS SPECIFIED HEREIN. REFER TO WISDOT STANDARD SPECIFICATIONS, 2016 EDITION, SECTION 608.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS III-A UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET NEW 57 L.F. - CPP STORM SEWER FROM TOP OF PIPE TO TOP OF SUBGRADE. FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, CITY OF MILWAUKEE, AND OWNER.
- 11. CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

PLAN NOTES:

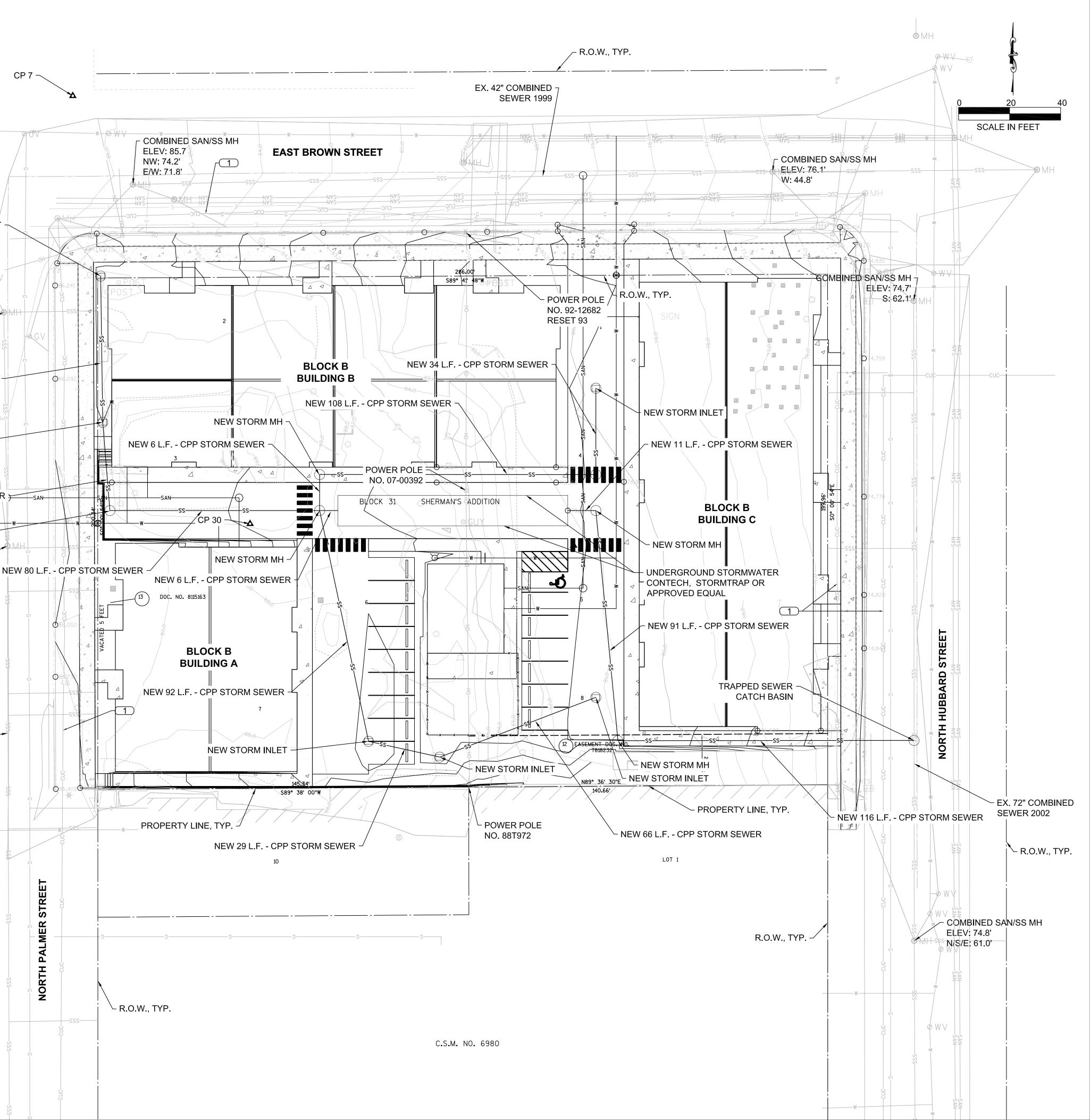
1. CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AMD WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.



SURVEY NOTES:

- 1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- 2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.





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NEW STORM INLET

 $_{\nabla}$ R.O.W., TYP.

COMBINED SAN/SS MH

NEW STORM INLET

NEW 35 L.F. - CPP STORM SEWER

NEW STORM MH -

CAN'T OPEN

COMBINED SAN/SS MH

EX. 15" COMBINED

SEWER 1992

ELEV: 86.1'

S: 75.1'

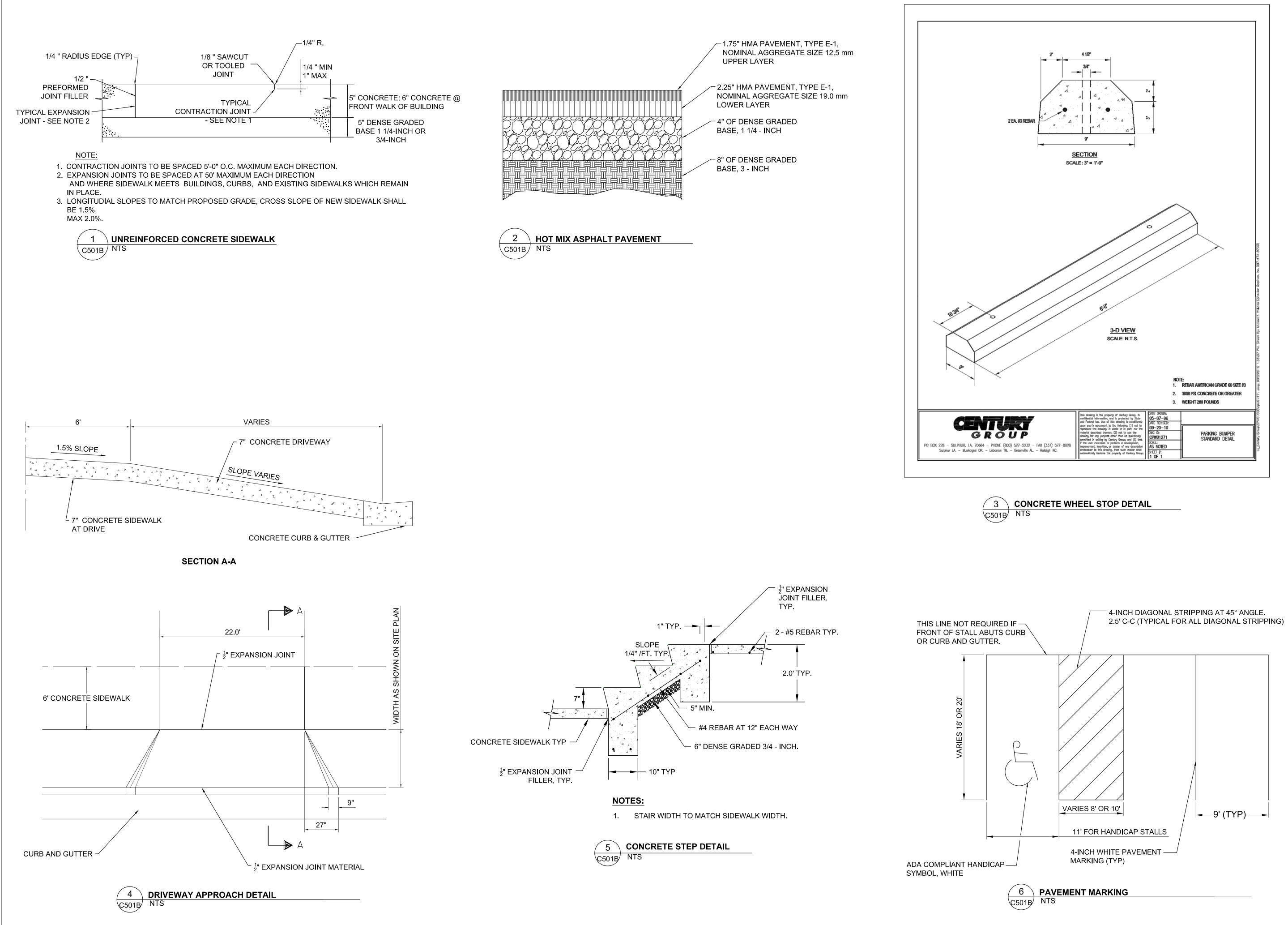
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SHEET 8

SHEET 13

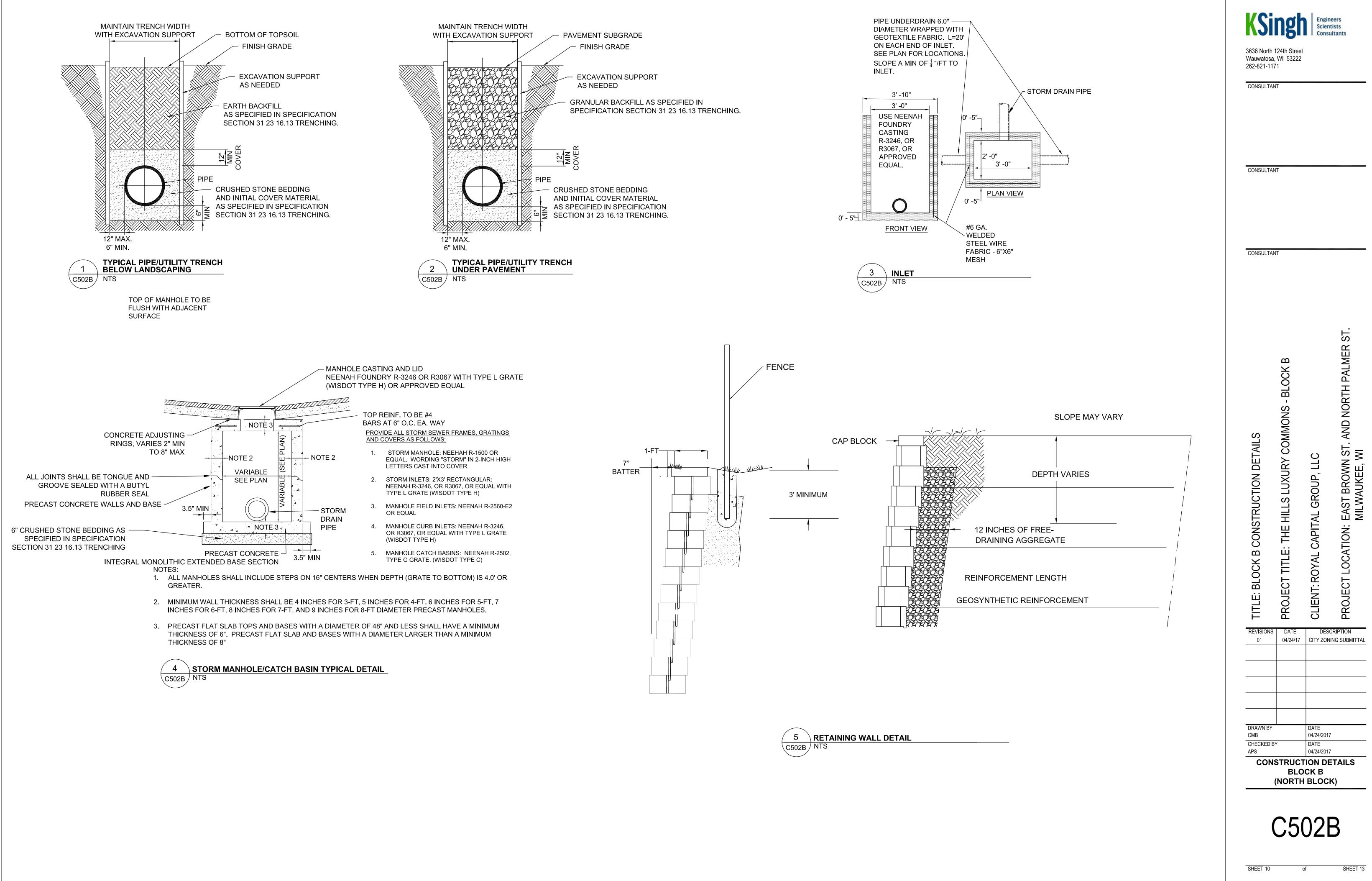
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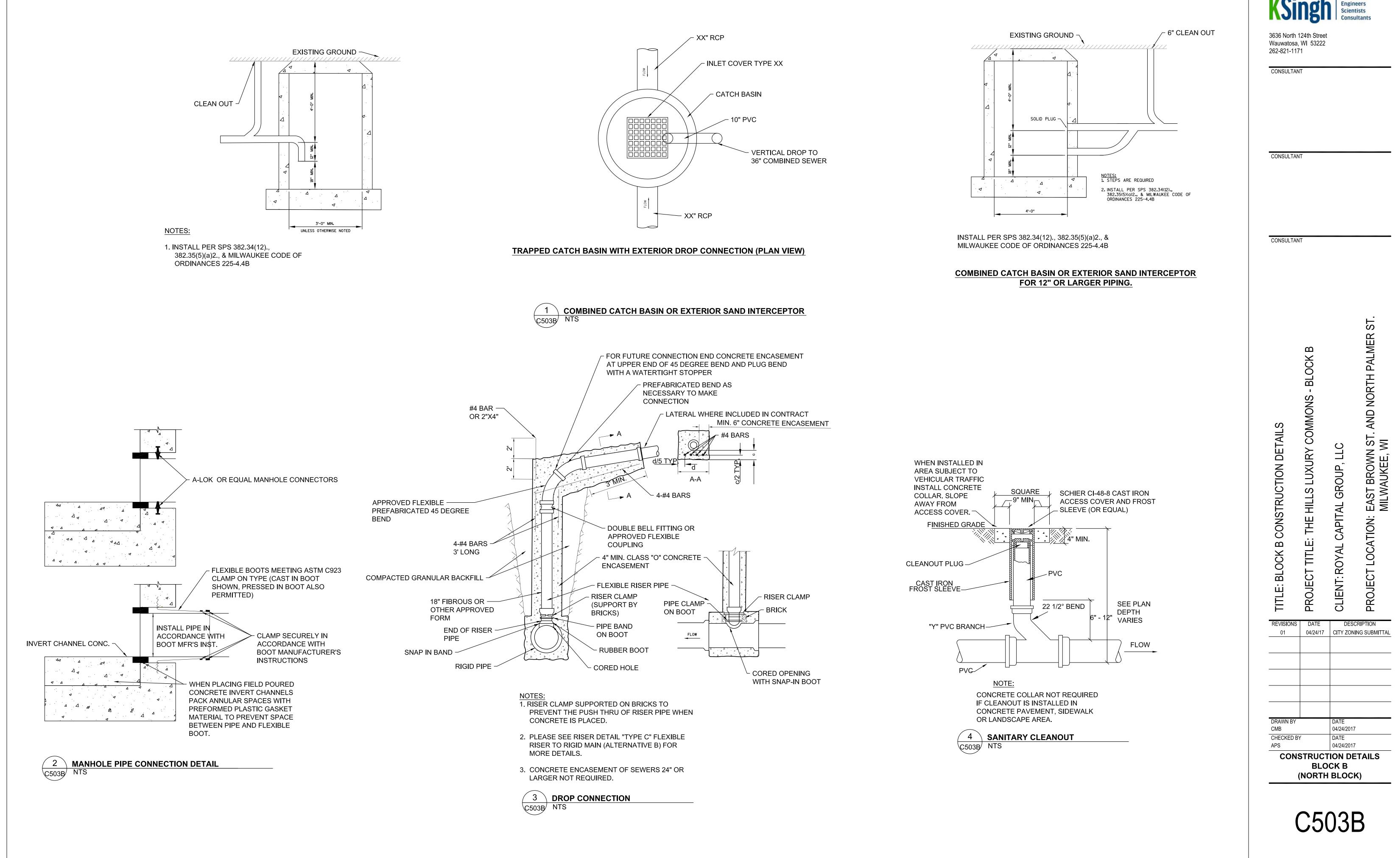


FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C501-505B - CONSTRUCTION DETAILS BLOCK B.DWG

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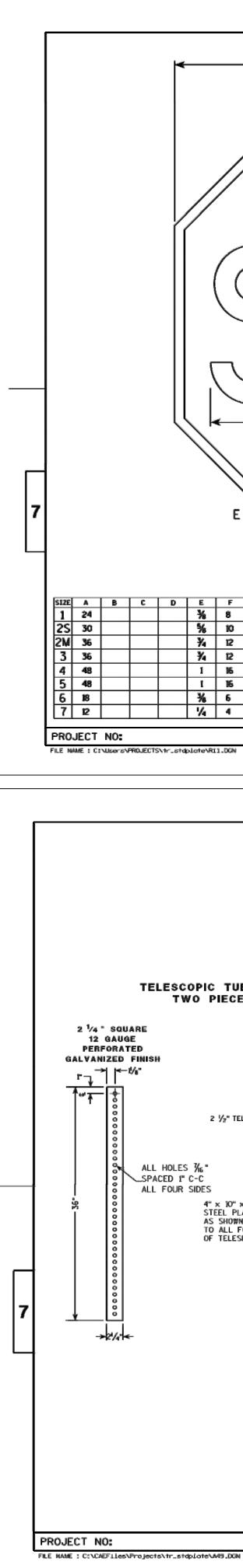
SHEET 9



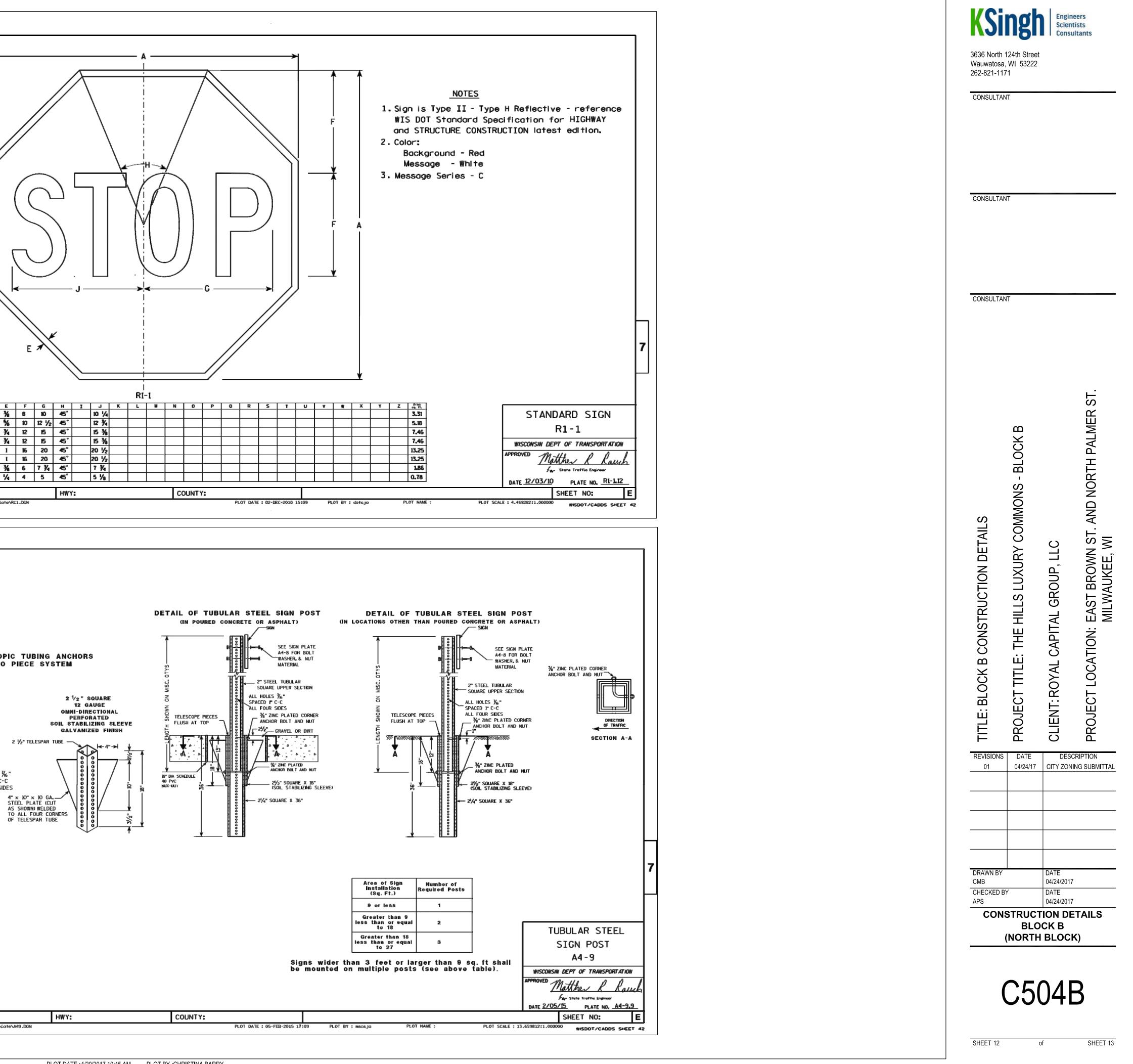


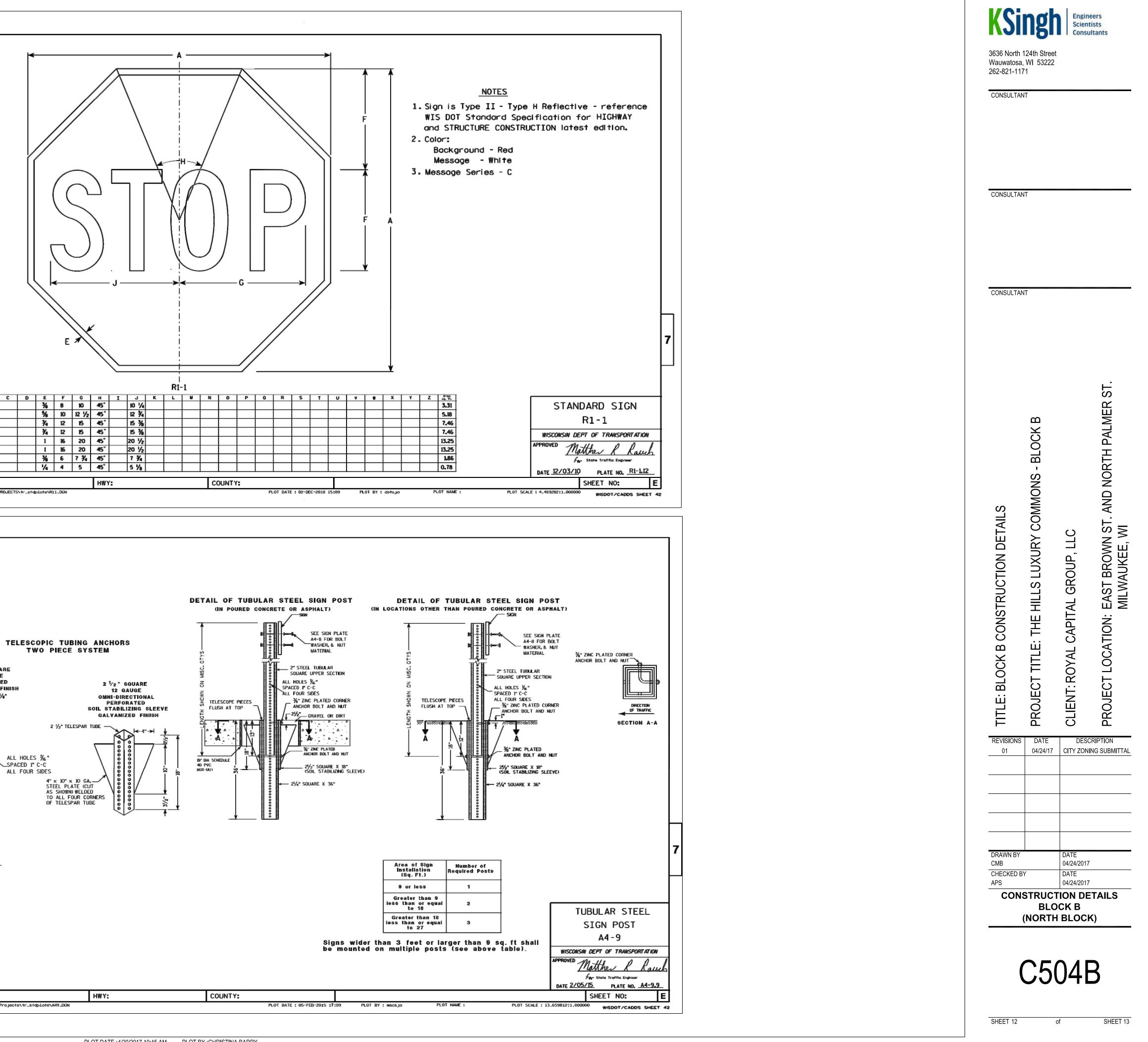
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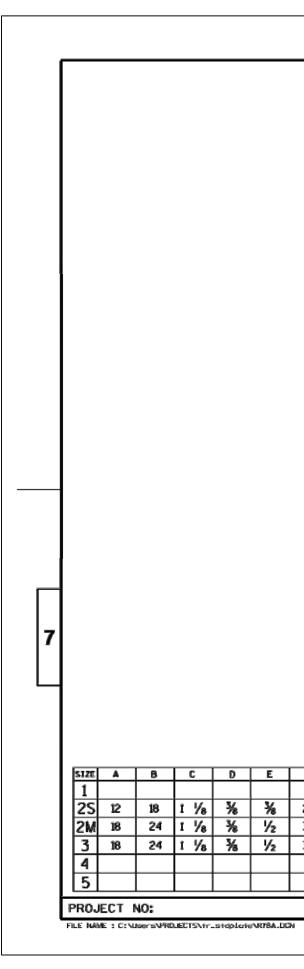
SHEET 11



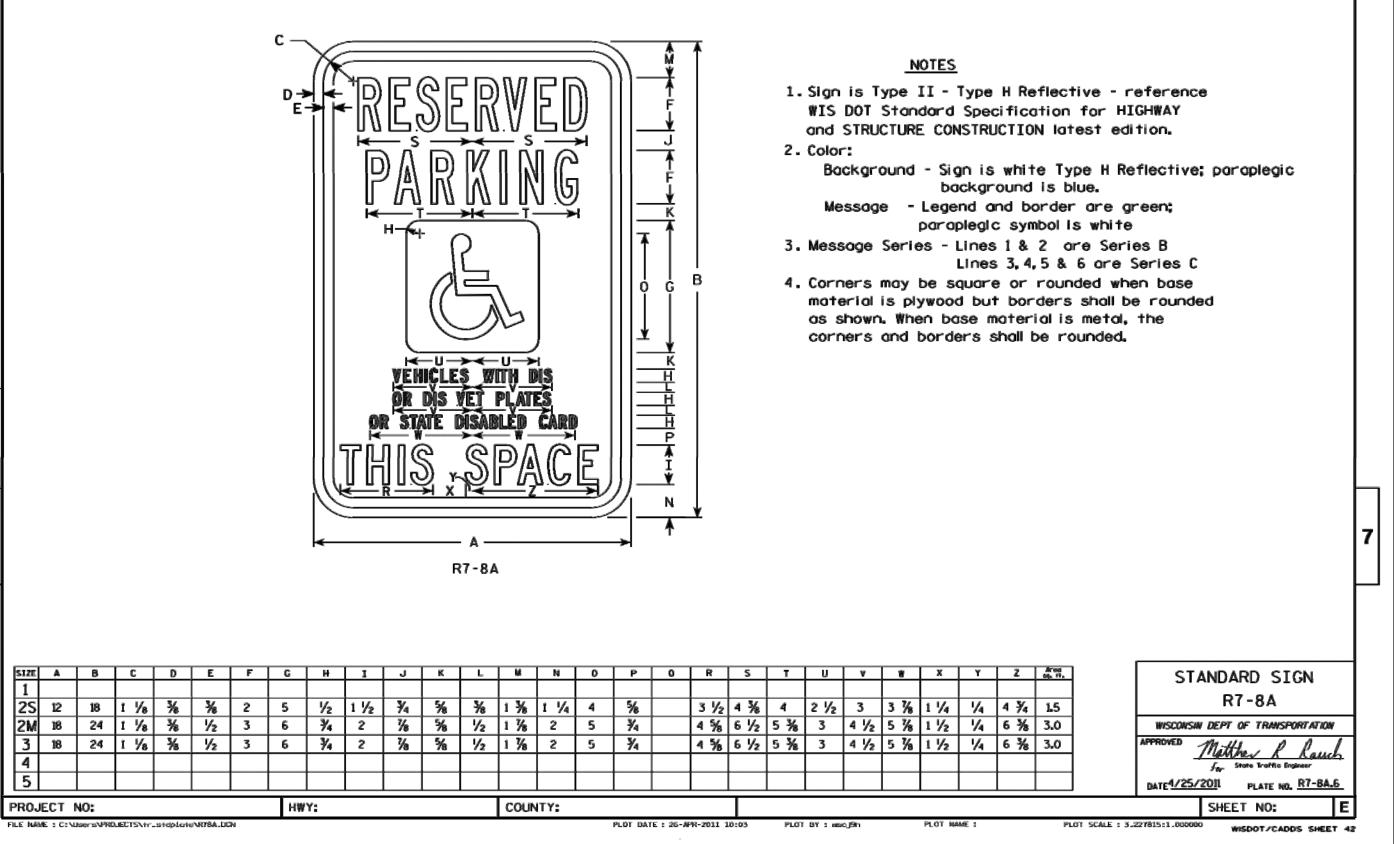
1 SIGN PLATES AND SIGN POSTS C504B NTS







FILE NAME :P:\4992 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C501-505B - CONSTRUCTION DETAILS BLOCK B.DWG



1 SIGN PLATE C505B NTS

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SHEET 13

of



SHADE TREES (DECIDUOUS)

ABM Autumn Blaze Maple

SHL Skyline Honeylocust

ORNAMENTAL TREES (DECIDUOUS)

- RJFC Red Jewel Flowering Crabapple RJFC-s Red Jewel Flowering Crabapple
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

HCJ Hetzi Columnar Juniper (upright)

EVERGREEN SHURBS

- GVB Green Velvet Boxwood KCPJ Kallay Compact Pfitzer Juniper
- TIY Taunton Intermediate Yew

DECIDUOUS SHRUBS

DF Dwarf Fothergilla Incrediball Hydrangea IH ESH Endless Summer Hydrangea UH Unique Hydrangea Frau Dagmar Hastrup Rugosa Rose FDHR Pink Pavement Series Rose PPSR MKL Miss Kim Dwarf Lilac MV Mohican Viburnum

ORNAMENTAL GRASSES

KFRG Karl Foerster Feather Reed Grass

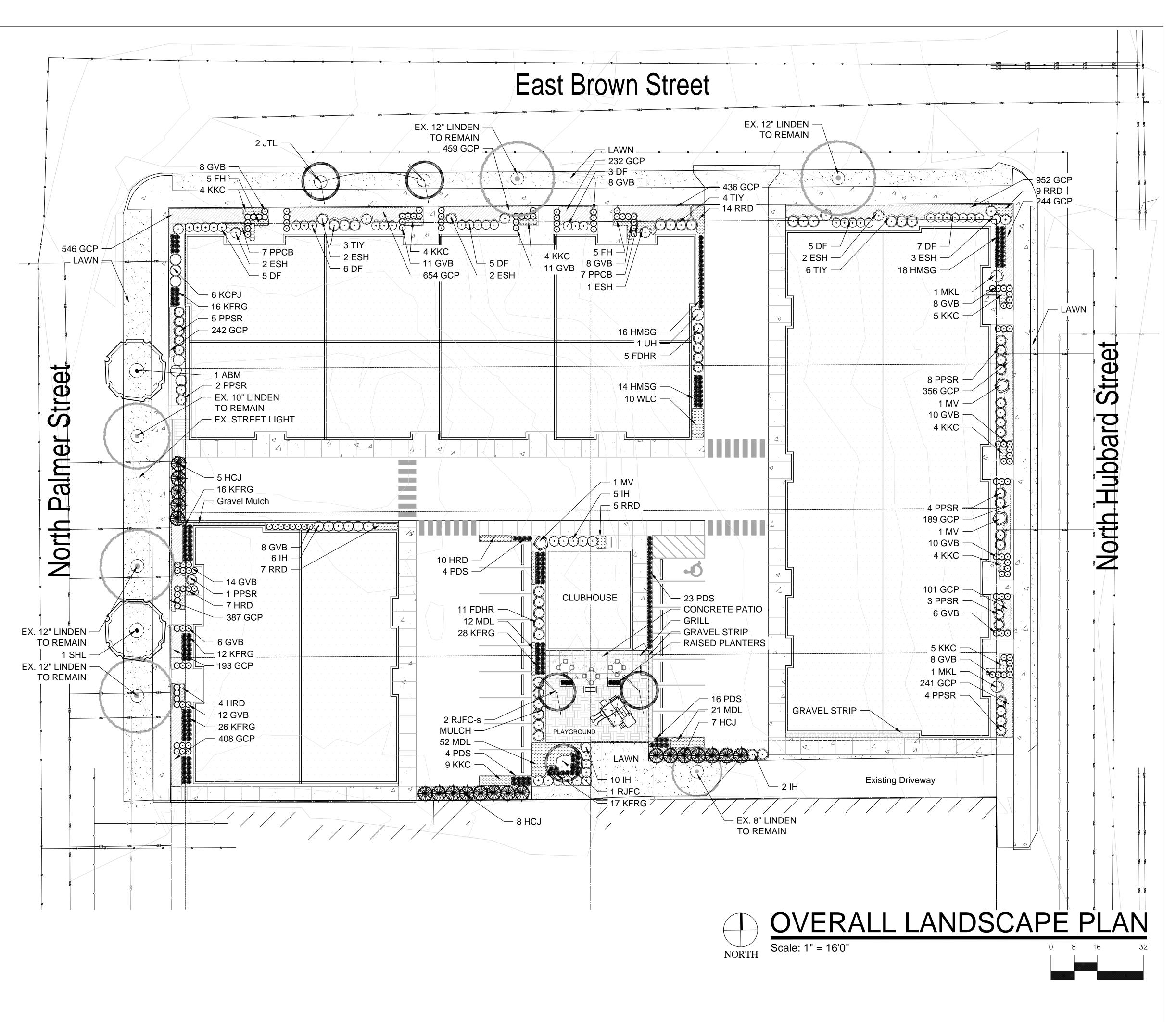
HMSG Heavy Metal Switch Grass PDS Prairie Dropseed

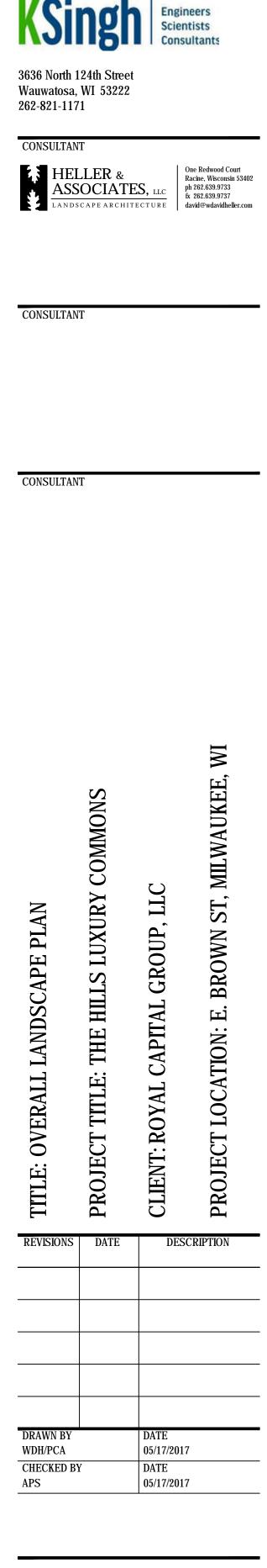
HERBACEOUS PERENNIALS

- HRD Happy Returns Daylilly
- RRD Rosy Returns Daylilly
- MDL Catherine Woodbury Daylilly (Soft Pink) MDL Hyperion Daylilly (Lemon Yellow)
- MDL Summer Wine Daylilly (Maroon)
- PPCB Palace Purple Coralbells
- FH Francee Hosta
- KKC Dwarf Catmint
- WLC Walker's Low Catmint

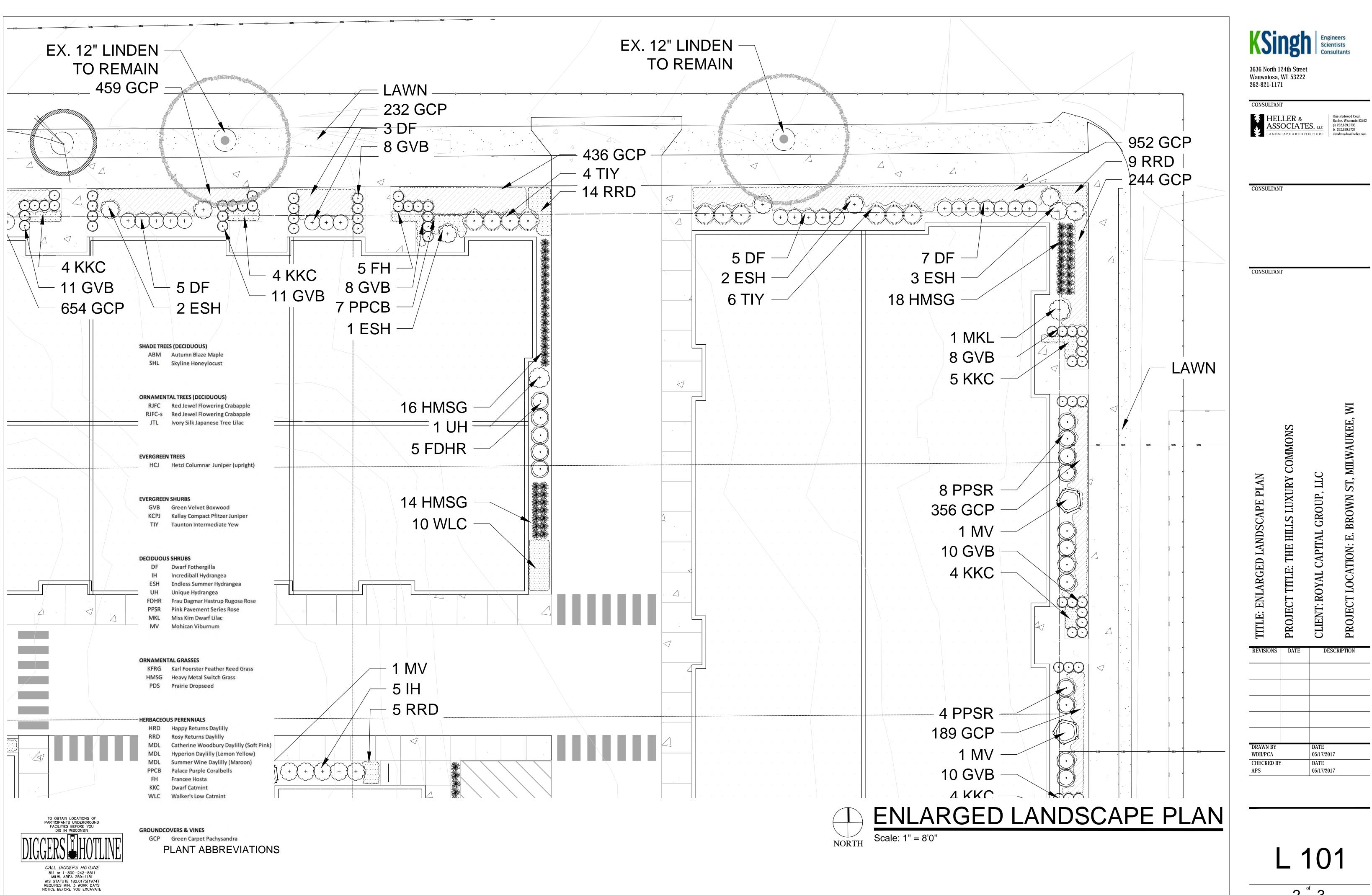
GROUNDCOVERS & VINES

GCP Green Carpet Pachysandra PLANT ABBREVIATIONS





L 100



FILE NAME :C:\USERS\W. DAVID\DOCUMENTS\H&A 2017\K SINGH ENGINEERING\BREWERS HILL BLOCK B\LANDSCAPE CAD FILES 20170417\KSA BREWERS HILL BLOCK B LPLAN 20170530.DWG

2^{of} 3

1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.

2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies General Contractor.

3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.

4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.

5. Topspoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{3}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.

7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting) details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a ⁵⁰/₅₀ mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{2}{3}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diamter of shrub at planting.

9. Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

³/₄ CY Peat Moss or Mushroom Compost

- $\frac{3}{4}$ CY blended/pulverized Topsoil
- $\frac{1}{4}$ CY composted manure

In roto-tilled beds only, also include in above mixture:

2 Ibs Starter Fertilizer

12. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

No bare spots larger than one (1) square foot

No more than 10% of the total area with bare areas larger than one (1) square foot

A uniform coverage through all turf areas

13. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

14. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

15. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.



Seed Composition (LAWN AREAS): Cedar Creek Premium Blue Tag (Ph: 888-313-6807) 10% Mid Atlantic Kentucky Bluegrass

20% Merit Kentucky Bluegrass 20% Boreal Red Fescue

20% Pennant Fine Perennial Ryegrass TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUN

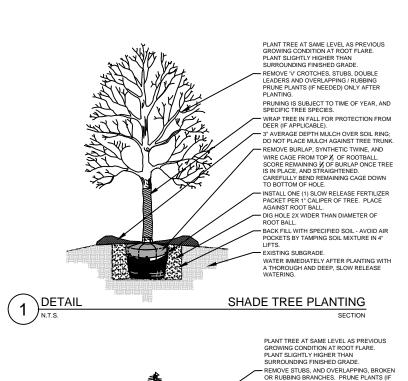
10% Atlantis Kentucky Bluegrass 10% Dragon Kentucky Bluegrass 10% Palmer III Fine Perennial Ryegrass Seed at rate of 3# per 1000 SF

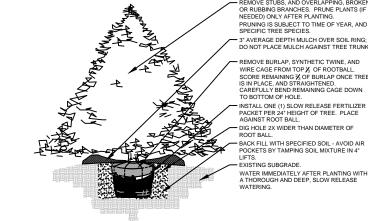
FACILITIES BEFORE YOU DIG IN WISCONSI CALL DIGGERS HOTLINE 811 or 1-800-242-851 MILW. AREA 259-118 WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS

NOTICE BEFORE YOU EXCAVAT

FILE NAME :C:\USERS\W. DAVID\DOCUMENTS\H&A 2017\K SINGH ENGINEERING\BREWERS HILL BLOCK B\LANDSCAPE CAD FILES 20170417\KSA BREWERS HILL BLOCK B LPLAN 20170530.DWG

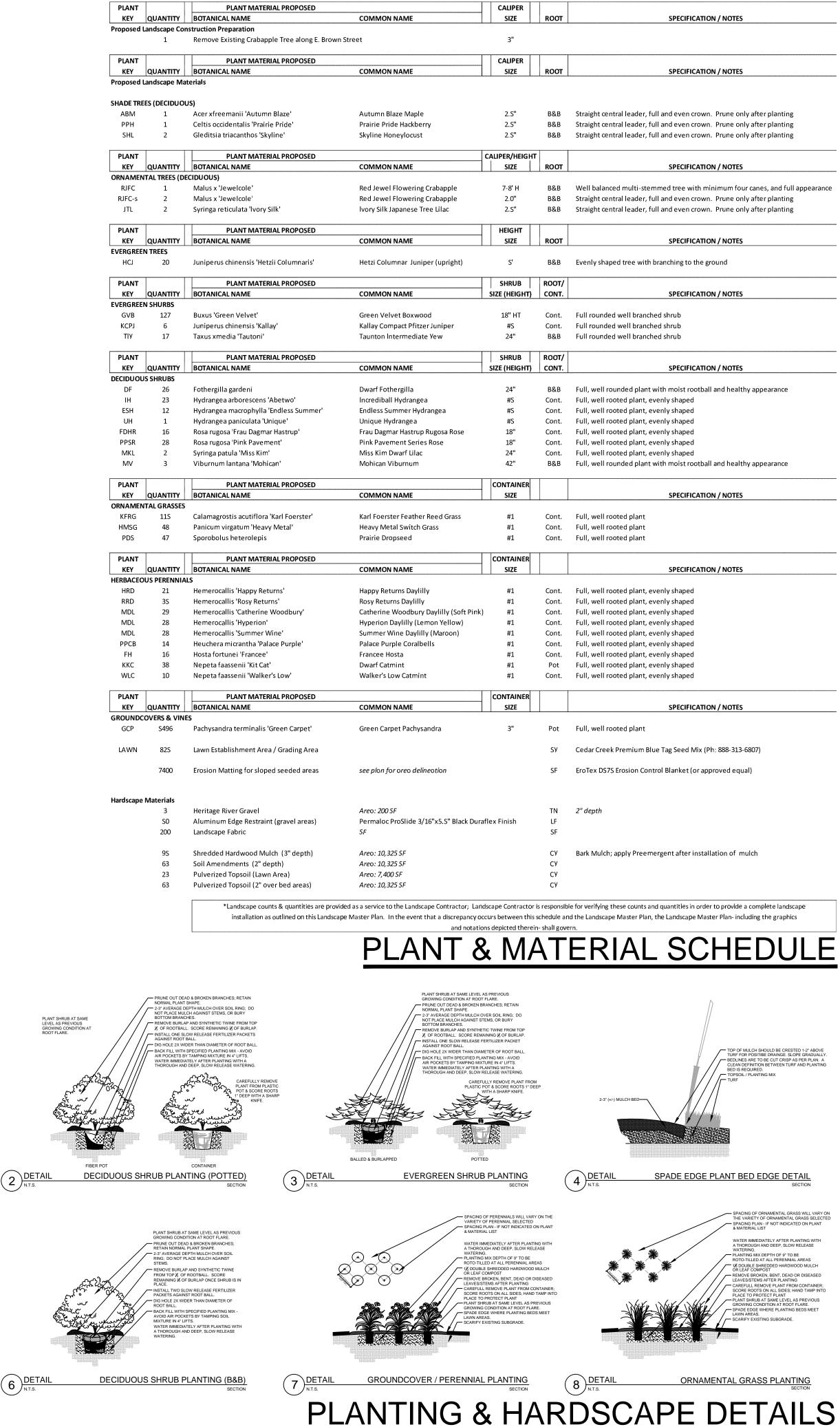
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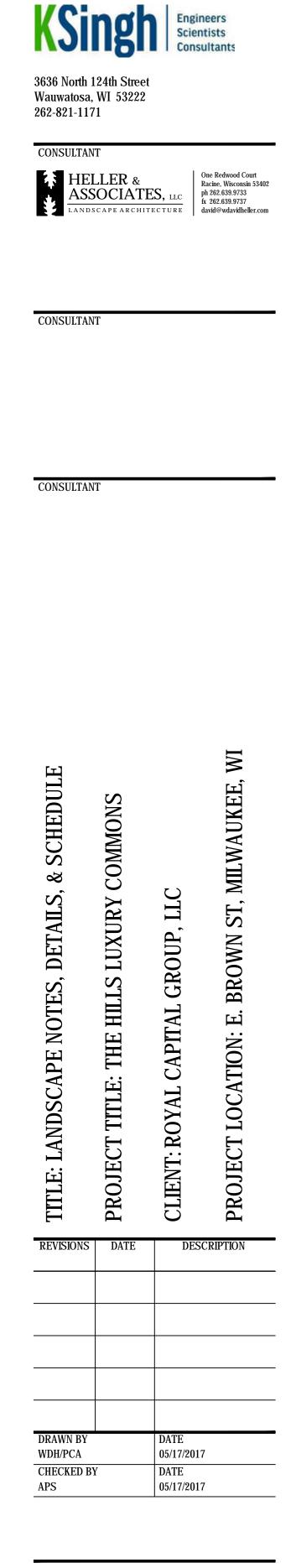




(5) DETAI EVERGREEN TREE PLANTING

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	соммо
Proposed		nstruction Preparation	
	1	Remove Existing Crabapple Tree along E. Brown	n Street
PLANT		PLANT MATERIAL PROPOSED	COMMM
KEY Proposed	QUANTITY	BOTANICAL NAME terials	соммо
SHADE TRE ABM	ES (DECIDUOI	JS) Acer xfreemanii 'Autumn Blaze'	Autumn
РРН	1	Celtis occidentalis 'Prairie Pride'	Prairie F
SHL	2	Gleditsia triacanthos 'Skyline'	Skyline
PLANT		PLANT MATERIAL PROPOSED	
KEY			COMMO
RIFC	ITAL TREES (DI	Malus x 'Jewelcole'	Red Jew
RJFC-s	2	Malus x 'Jewelcole'	Red Jew
JTL	2	Syringa reticulata 'Ivory Silk'	lvory Sil
PLANT		PLANT MATERIAL PROPOSED	
KEY	QUANTITY	BOTANICAL NAME	сомма
EVERGREE HCJ	N TREES 20	luning and shing and a light in Columnatic	Untri Co
ΠCJ	20	Juniperus chinensis 'Hetzii Columnaris'	Hetzi Co
PLANT		PLANT MATERIAL PROPOSED	
KEY	QUANTITY	BOTANICAL NAME	COMMO
GVB	127	Buxus 'Green Velvet'	Green V
КСРЈ	6	Juniperus chinensis 'Kallay'	Kallay C
тіу	17	Taxus xmedia 'Tautoni'	Taunton
PLANT		PLANT MATERIAL PROPOSED	
KEY	QUANTITY	BOTANICAL NAME	сомма
DECIDUOL	JS SHRUBS		
DF	26	Fothergilla gardeni	Dwarf F
IH ESH	23 12	Hydrangea arborescens 'Abetwo' Hydrangea macrophylla 'Endless Summer'	Incredib Endless
UH	1	Hydrangea paniculata 'Unique'	Unique
FDHR	16	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dag
PPSR	28	Rosa rugosa 'Pink Pavement'	Pink Pav
MKL	2	Syringa patula 'Miss Kim'	Miss Kir
MV	3	Viburnum lantana 'Mohican'	Mohicar
PLANT		PLANT MATERIAL PROPOSED	
KEY	QUANTITY	BOTANICAL NAME	СОММО
KFRG	11S	Calamagrostis acutiflora 'Karl Foerster'	Karl Foe
HMSG	48	Panicum virgatum 'Heavy Metal'	Heavy N
PDS	47	Sporobolus heterolepis	Prairie [
PLANT		PLANT MATERIAL PROPOSED	
KEY	QUANTITY	BOTANICAL NAME	соммо
	US PERENNIA		
HRD RRD	21 3S	Hemerocallis 'Happy Returns' Hemerocallis 'Rosy Returns'	Happy R Rosy Re
MDL	55 29	Hemerocallis 'Catherine Woodbury'	Catherir
MDL	28	Hemerocallis 'Hyperion'	Hyperio
MDL	28	Hemerocallis 'Summer Wine'	Summer
PPCB	14	Heuchera micrantha 'Palace Purple'	Palace P
FH KKC	16 38	Hosta fortunei 'Francee' Nepeta faassenii 'Kit Cat'	Francee Dwarf C
WLC	10	Nepeta faassenii 'Walker's Low'	Walker's
DIANT			
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	сомма
GROUNDC	OVERS & VIN	ES	
GCP	S496	Pachysandra terminalis 'Green Carpet'	Green C
LAWN	82S	Lawn Establishment Area / Grading Area	
	7400	Erosion Matting for sloped seeded areas	see nlon
	7400	Liosion matting for sloped seeded dieds	see plon
Hardscape	Materials		
	3	Heritage River Gravel	Areo: 20
	S0	Aluminum Edge Restraint (gravel areas)	Permalo
	200	Landscape Fabric	SF
	9S	Shredded Hardwood Mulch (3" depth)	Areo: 10
	63	Soil Amendments (2" depth)	Areo: 10
	23	Pulverized Topsoil (Lawn Area)	Areo: 7,4
	63	Pulverized Topsoil (2" over bed areas)	Areo: 10
		*Landscape counts & quantities are prov	ided as a service





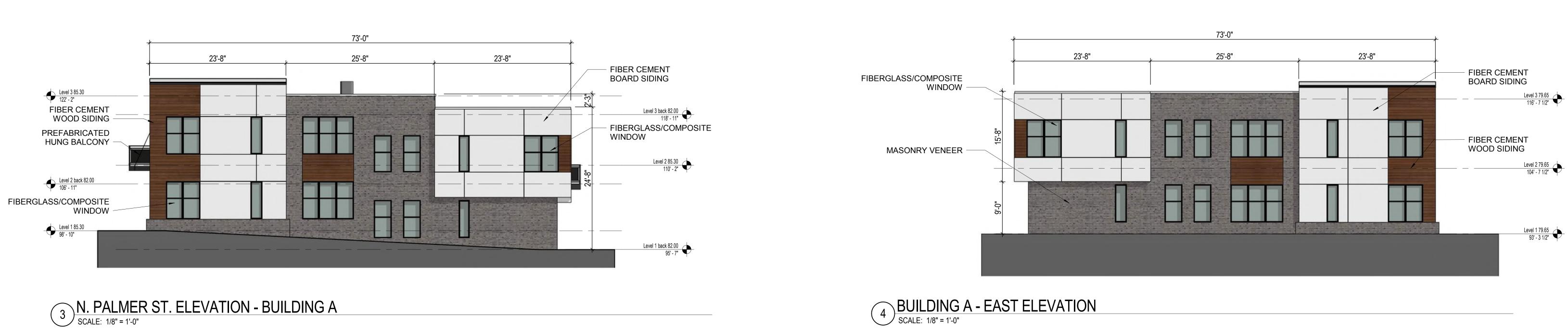
L 102 3 3

_____ MASONRY VENEER PREFABRICATED HUNG BALCONY FIBER CEMENT BOARD SIDING --FIBER CEMENT WOOD SIDING FIBERGLASS/COMPOSITE WINDOW

1 E. BROWN ST. ELEVATION - BUILDING A SCALE: 1/8" = 1'-0"



2 BUILDING A - SOUTH ELEVATION SCALE: 1/8" = 1'-0"



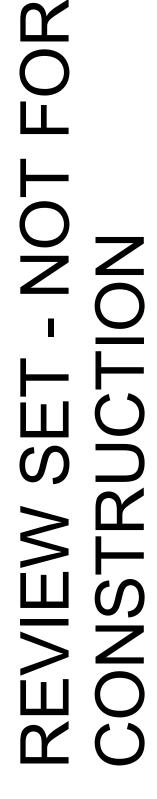




BUILDING A ELEVATIONS

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Author Checker



06/02/17

172715.00

REVISION FOR: NO. DESCRIPTION

DPD REVIEW SET

ISSUED FOR:

DATE

Royal Capital Group, LLC.

Milwaukee, WI 53203

PROJECT NUMBER

710 N. Plankington Ave, Suite 300

COMMONS - BLOCK B E. BROWN ST AND N. PALMER ST. MILWAUKEE, WI

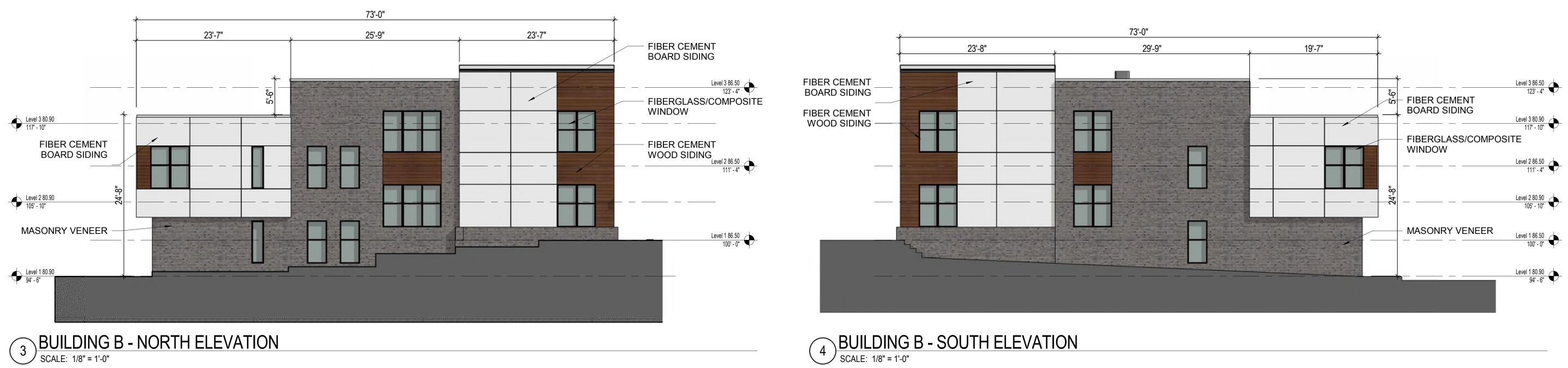
THE HILLS LUXURY

gberg Anderson ARCHITECTS





2 BUILDING B - WEST ELEVATION SCALE: 1/8" = 1'-0"





BUILDING B ELEVATIONS

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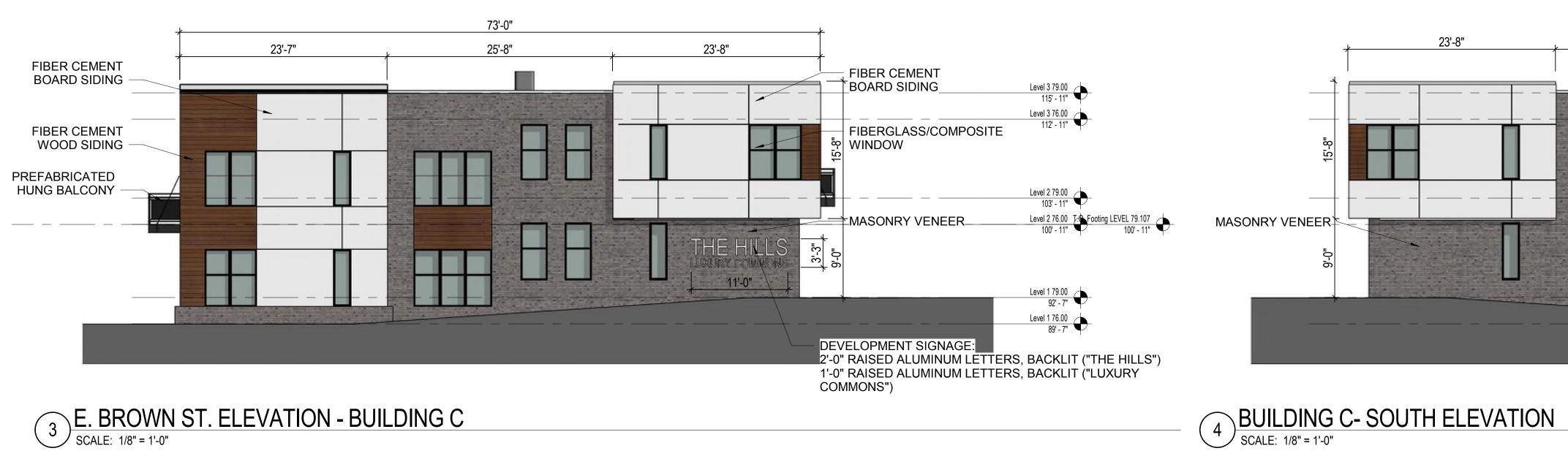
THE HILLS LUXURY



N. HUBBARD ST. ELEVATION - BUILDING C SCALE: 1/8" = 1'-0"



2 BUILDING C - WEST ELEVATION SCALE: 1/8" = 1'-0"



25'-8"

	FIBER CEMENT <u>BOARD SIDING</u> <u>Level 3 79.00</u> <u>115' - 11"</u> <u>Level 3 76.00</u> <u>112' - 11"</u>
	FIBERGLASS/COMPOSITE WINDOW



BUILDING C ELEVATIONS

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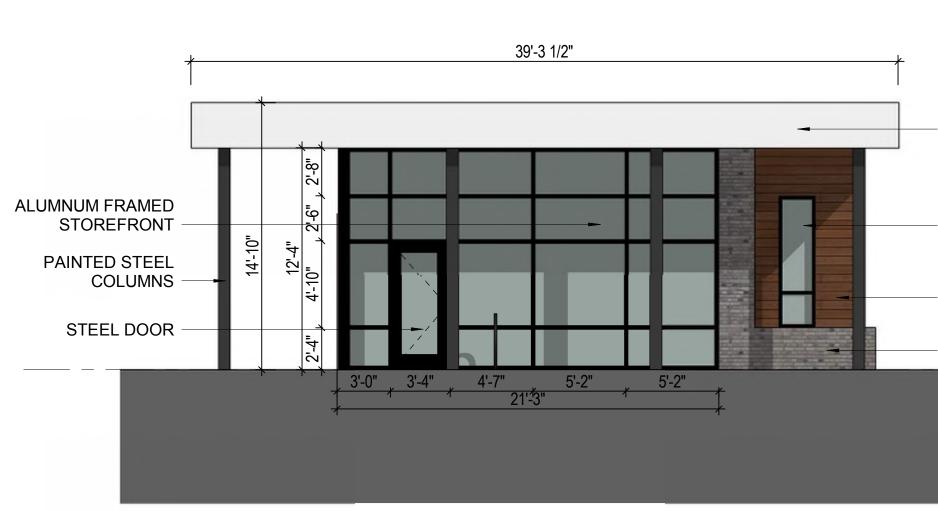
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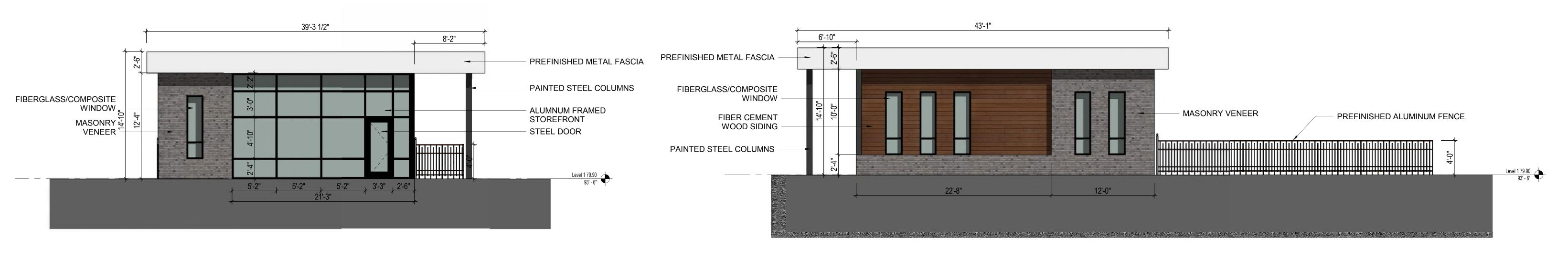
THE HILLS LUXURY COMMONS - BLOCK B E. BROWN ST AND N. PALMER ST. MILWAUKEE, WI

Royal Capital Group, LLC. 710 N. Plankington Ave, Suite 300 Milwaukee, WI 53203





1 CLUB HOUSE NORTH ELEVATION SCALE: 3/16" = 1'-0"



3 CLUB HOUSE SOUTH ELEVATION SCALE: 3/16" = 1'-0"

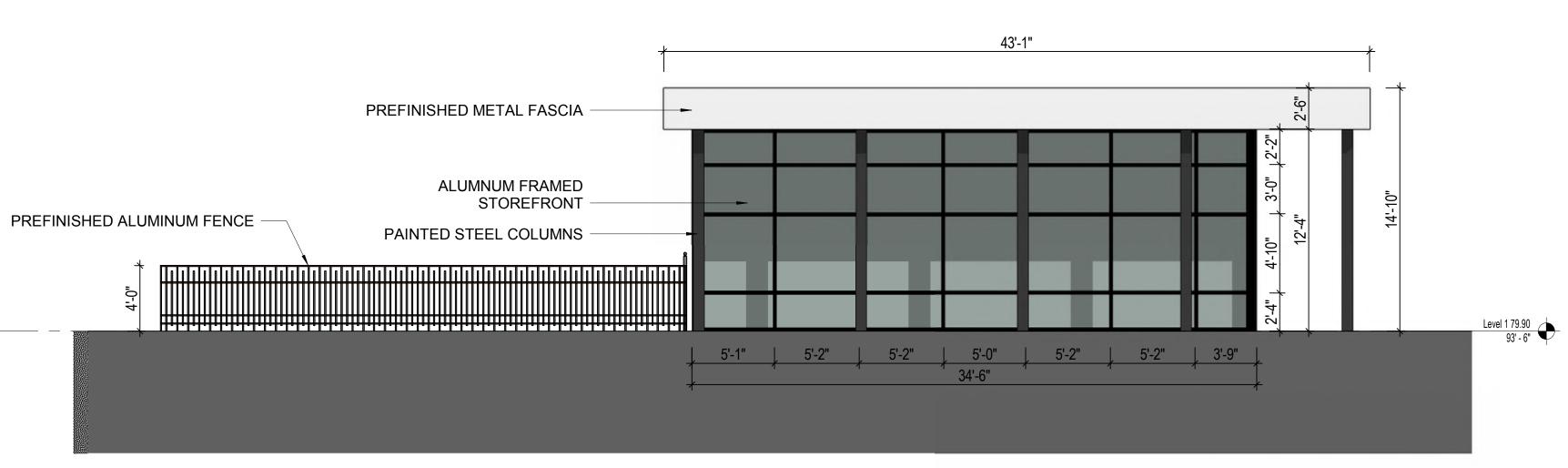
- PREFINISHED METAL FASCIA

FIBERGLASS/COMPOSITE
 WINDOW

FIBER CEMENT WOOD SIDING

MASONRY VENEER

Level 1 79.90 93' - 6"



2 CLUB HOUSE WEST ELEVATION SCALE: 3/16" = 1'-0"

4 CLUB HOUSE EAST ELEVATION SCALE: 3/16" = 1'-0"



CLUB HOUSE ELEVATIONS

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DATE

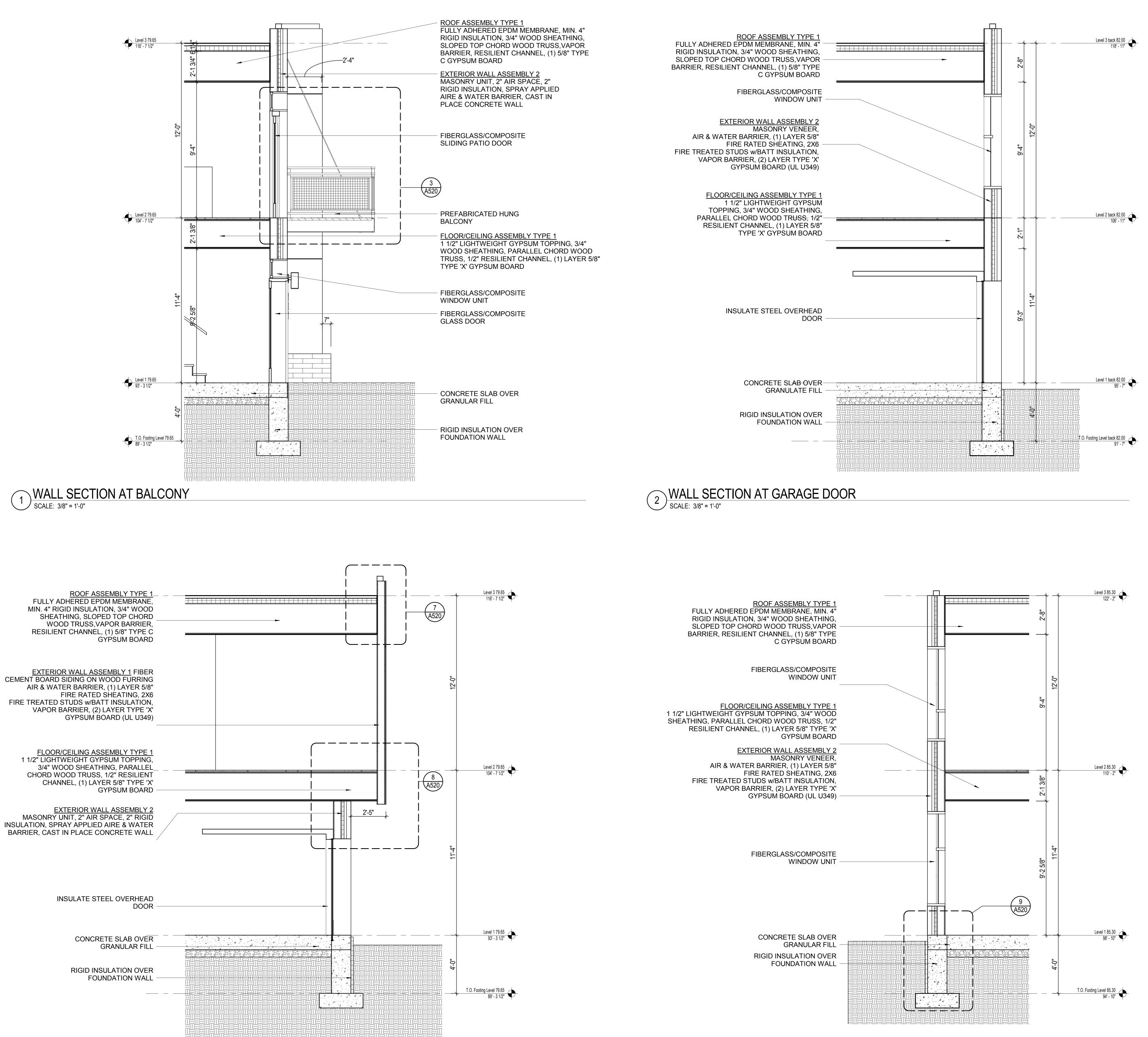
COMMONS - BLOCK B E. BROWN ST AND N. PALMER ST. MILWAUKEE, WI

710 N. Plankington Ave, Suite 300 Milwaukee, WI 53203

Royal Capital Group, LLC.

PROJECT NUMBER

THE HILLS LUXURY



3 WALL SECTION AT GARAGE - BEDROOM SCALE: 3/8" = 1'-0"

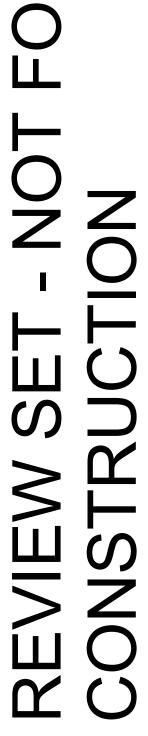
WALL SECTION AT MASONRY WALL SCALE: 3/8" = 1'-0"



WALL SECTIONS

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05/19/17

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Milwaukee, WI 53203 PROJECT NUMBER

COMMONS - BLOCK B MILWAUKEE, WI

THE HILLS LUXURY E. BROWN ST AND N. PALMER ST.

Royal Capital Group, LLC. 710 N. Plankington Ave, Suite 300

172715.00







SCALE:

MILWAUKEE | MADISON | TUSCON | CHICAGO Engberg Anderson Project No. 172715.00





PERSPECTIVE VIEW AT CORNER OF E. BROWN ST. AND N. HUBBARD ST. SCALE:

MILWAUKEE | MADISON | TUSCON | CHICAGO Engberg Anderson Project No. 172715.00

Engberg







SON SITE AXON FROM NORTHWEST SCALE:

MILWAUKEE | MADISON | TUSCON | CHICAGO Engberg Anderson Project No. 172715.00







SON SITE AXON FROM SOUTHWEST SCALE:

MILWAUKEE | MADISON | TUSCON | CHICAGO Engberg Anderson Project No. 172715.00

