



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 133 W. PITTSBURGH AV. South Second Street Historic District
Description of work This building was not locally designated at the time construction was permitted. Applicant proposes now to retain the location of one existing garage door and create a recessed entrance to its immediate west. Above the garage door, the design is altered to install two windows to match all other windows to be installed on the building and located horizontally and vertically in alignment with all other windows on this facade.
Date issued 12:00:00 AM PTS ID 114228 COA: alley facade alterations

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

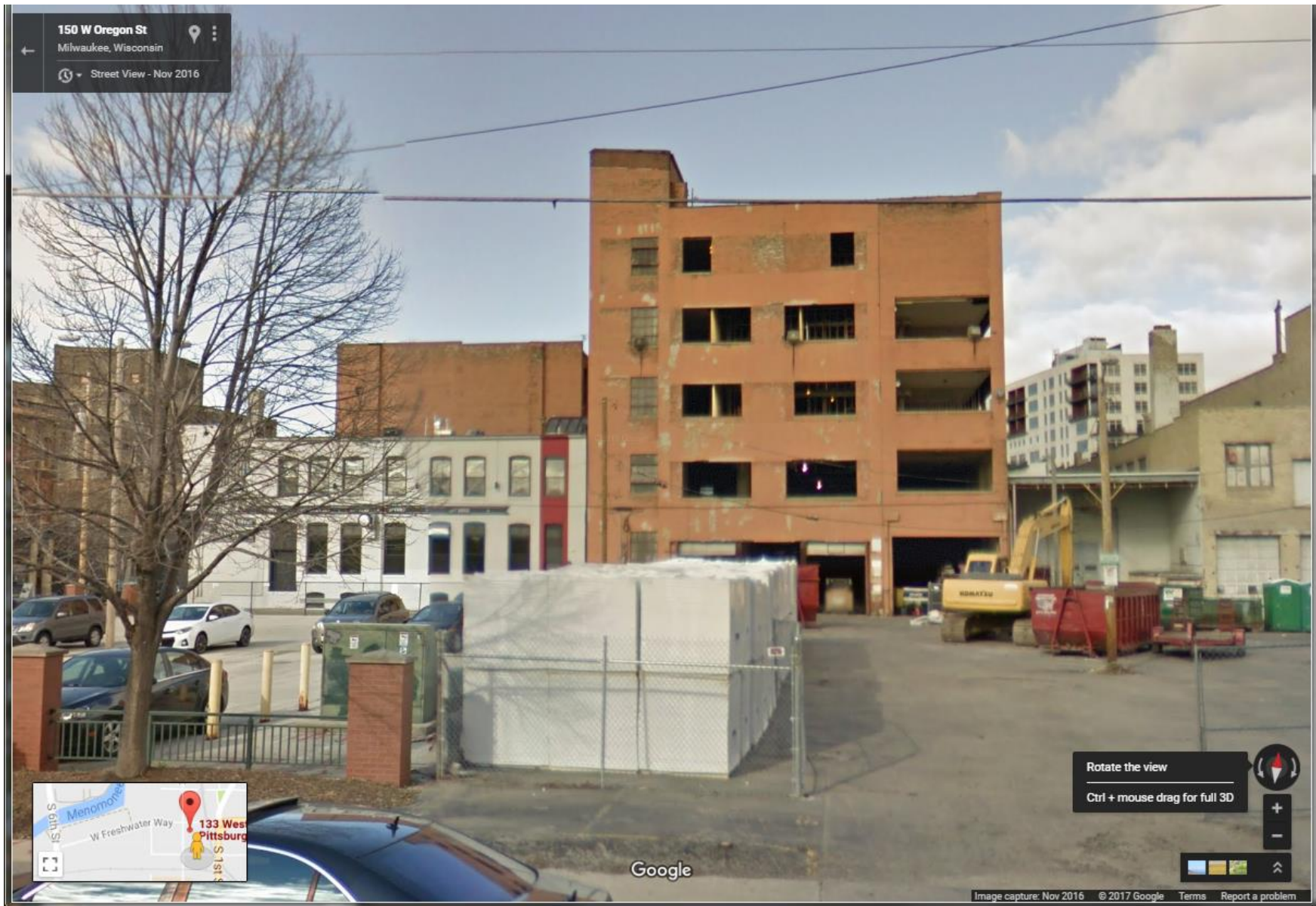
Finish and sizes of windows to be installed must match other windows to be installed in other locations on building. The relocated recessed entry shall have finishes matching those previously approved or matching the windows. Details to be as shown in attached drawings.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Tim Askin of the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: Tim.Askin@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Jose Perez, Contractor, Inspector John Cunningham (286-2538)



Existing conditions, November 2016

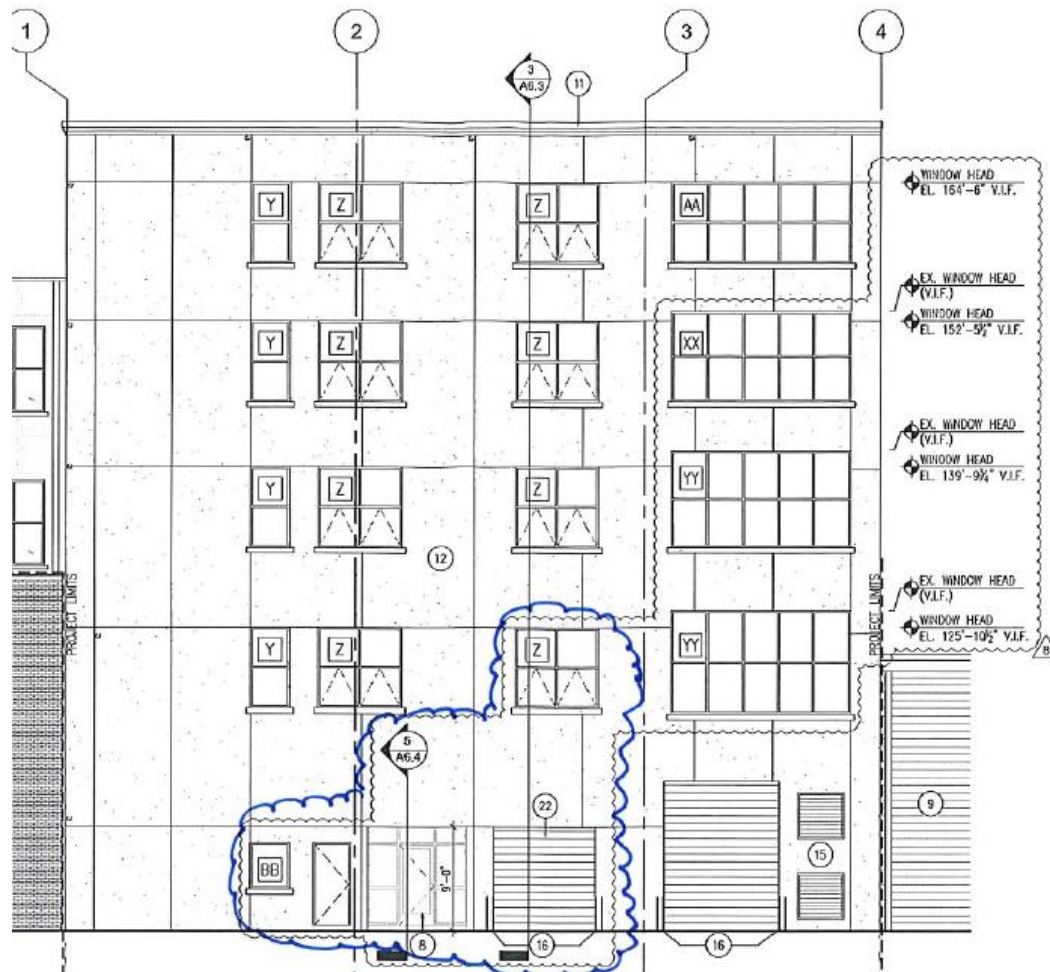


Detail photo of project area, provided by applicant



- ELEVATION KEYED NOTES:
SCOPE: PACKAGE 2 - SHELL & CORE RECONSTRUCTION
- 1 PARTED BRICK - COLOR T.B.D.
 - 2 NEW BRONZE ANODIZED STOREFRONT GLAZING SYSTEM.
 - 3 OPERABLE AWNING-STYLE STOREFRONT WINDOW COMPONENT.
 - 4 ALUMINUM SPANDREL PANEL TO MATCH ALUMINUM STOREFRONT.
 - 5 NEW PREFINISHED ALUMINUM GUTTER/DOWNSPOUT.
 - 6 NEW MASONRY WALL INFILL - REUSE EXISTING MASONRY AS NECESSARY.
 - 7 NEW BUILDING EXPANSION JOINT - SEE STRUCTURAL DRAWINGS.
 - 8 NEW ACCESSIBLE ENTRANCE.
 - 9 BUILDING NOT IN PROJECT SCOPE.
 - 10 EXTERIOR LIGHTING FIXTURE - SEE LIGHTING PLANS.
 - 11 NEW PREFIN. ALUM. CORNING & MASONRY PARAPET TO MATCH EXISTING DESIGN. SEE STRUCT. DRAWINGS.
 - 12 INTEGRALLY COLORED EIFS SYSTEM ON METAL FURRING OVER EXISTING MASONRY - COLOR T.B.D.
 - 13 NEW EXTERIOR DOOR TO FUTURE SKY BRIDGE FROM FUTURE PARKING STRUCTURE.
 - 14 NEW CONCRETE HEAD/SILL DRAINING AT RIBBON WINDOWS.
 - 15 NEW 48" X 48" VEECH LOWERS. SEE MECH. DRAWINGS.
 - 16 NEW 26" X 8" CONCRETE FILLED BOLLARD PAINTED SAFETY YELLOW.

Original proposal, now **withdrawn**.



Revised, approved proposal.

ELEVATION KEYED NOTES:
SCOPE PACKAGE 2 - SHELL & CORE RECONSTRUCTION

- ① PAINTED BRICK - COLOR T.B.D.
- ② NEW BRONZE ANODIZED STOREFRONT GLAZING SYSTEM.
- ③ OPERABLE AWNING-STYLE STOREFRONT WINDOW COMPONENT.
- ④ ALUMINUM SPANDREL PANEL TO MATCH ALUMINUM STOREFRONT.
- ⑤ NEW PREFINISHED ALUMINUM GUTTER/DOWNSPOUT.
- ⑥ NEW MASONRY WALL INFILL - REUSE EXISTING MASONRY AS NECESSARY.
- ⑦ NEW BUILDING EXPANSION JOINT - SEE STRUCTURAL DRAWINGS.
- ⑧ NEW ACCESSIBLE ENTRANCE.
- ⑨ BUILDING NOT IN PROJECT SCOPE.
- ⑩ EXTERIOR LIGHTING FIXTURE - SEE LIGHTING PLANS.
- ⑪ NEW PREFIN. ALUM. COPING & MASONRY PARAPET TO MATCH EXISTING DESIGN. SEE STRUCT. DRAWINGS.
- ⑫ INTEGRALLY COLORED EIFS SYSTEM ON METAL FURRING OVER EXISTING MASONRY - COLOR T.B.D.
- ⑬ NEW EXTERIOR DOOR TO FUTURE SKY BRIDGE FROM FUTURE PARKING STRUCTURE.
- ⑭ NEW CONCRETE HEAD/SILL BANDING AT RIBBON WINDOWS.
- ⑮ NEW 48" X 48" MECH. LOUVERS. SEE MECH. DRAWINGS.
- ⑯ NEW 36" h x 6" dia CONCRETE FILLED BOLLARD PAINTED SAFETY YELLOW.
- ⑰ NEW MASONRY INFILL TO MATCH EXISTING.
- ⑱ NEW PRECAST CONCRETE SILL.
- ⑲ EXTEND EXISTING PARAPET WALL EAST TO FACE OF ADJACENT WALL. TOOTH IN MASONRY TO ADJOINING WALL. FLASHING, COPING, AND ROOFING MEMBRANE AS NECESSARY TO PROVIDE A WATER-TIGHT ASSEMBLY.
- ⑳ NEW 2'-7 1/2" x 11'-6 1/2" MECH. LOUVER (V.I.F.). SEE MECH. DRAWINGS.
- ㉑ NEW 42" x 50" MECH. LOUVER 36" MIN. ABOVE ADJACENT ROOF. SEE MECH. DRAWINGS.
- ㉒ NEW 8000# VEHICLE ELEVATOR WITH SINGLE SECTION GATE. REFER TO FLOOR PLAN.