



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

801-803, 805, & 807-809 N. CASS ST. Cass & Wells Historic District

Description of work

This COA addresses and authorizes initial construction at the above site. Specifically authorized actions follow in this paragraph with restrictions and work requiring additional approvals below. Begin construction of connector addition between 801-803 N Cass to 807-809 N Cass on vacant lot at 805 N Cass and enclose the space. Begin site work, foundations/footings, and framing of structure and roofing. Demolition of 2nd story north balcony on 801-803 building. Demolition of oriel window on south side of 807-809 building. Remove aluminum and vinyl siding from existing buildings. Remove windows and door from Cass facade of 807-809 building and temporarily seal openings. Remove northernmost door on Cass facade of 801-803 building and temporarily seal opening. Remove gutters and downspouts from either building as needed and optionally return to original locations.

Date issued

2/28/2017

PTS ID 114185 COA

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Roofing for new construction may be any code-permissible flat roof type that is not visible from the Cass elevation (hidden behind parapet) or constructed according to the provided roof plan.

Addition shall project no more than 2'0" past the front of the nearest portion of the 801-803 building and must be recessed behind the front of the 807-809 building at least 6".

Exterior materials (brick, wood, etc.), finishes, doors, windows, signage and light fixtures are not approved at this time; they must be approved by a separate COA Gutters and downspouts must be separately approved for re-installation.

No architectural detail (except north balcony fixtures) may be removed from the 801-803 building. Bay window on north side of 801-803 building must be retained and all architectural detail on it, including all areas below the top of the current gutters.

Details on connection between new structure and 801-803 building must be provided in another COA before physical attachment to the Cass Street facade can begin. There are several moldings, a belt course, and corbels that must be incorporated sensitively (see page 6).

Landscaping, including pavers and planters, must be separately approved, although clearance of existing landscaping can begin.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Tim Askin of the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: Tim.Askin@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor, Inspector John Cunningham (286-2538)



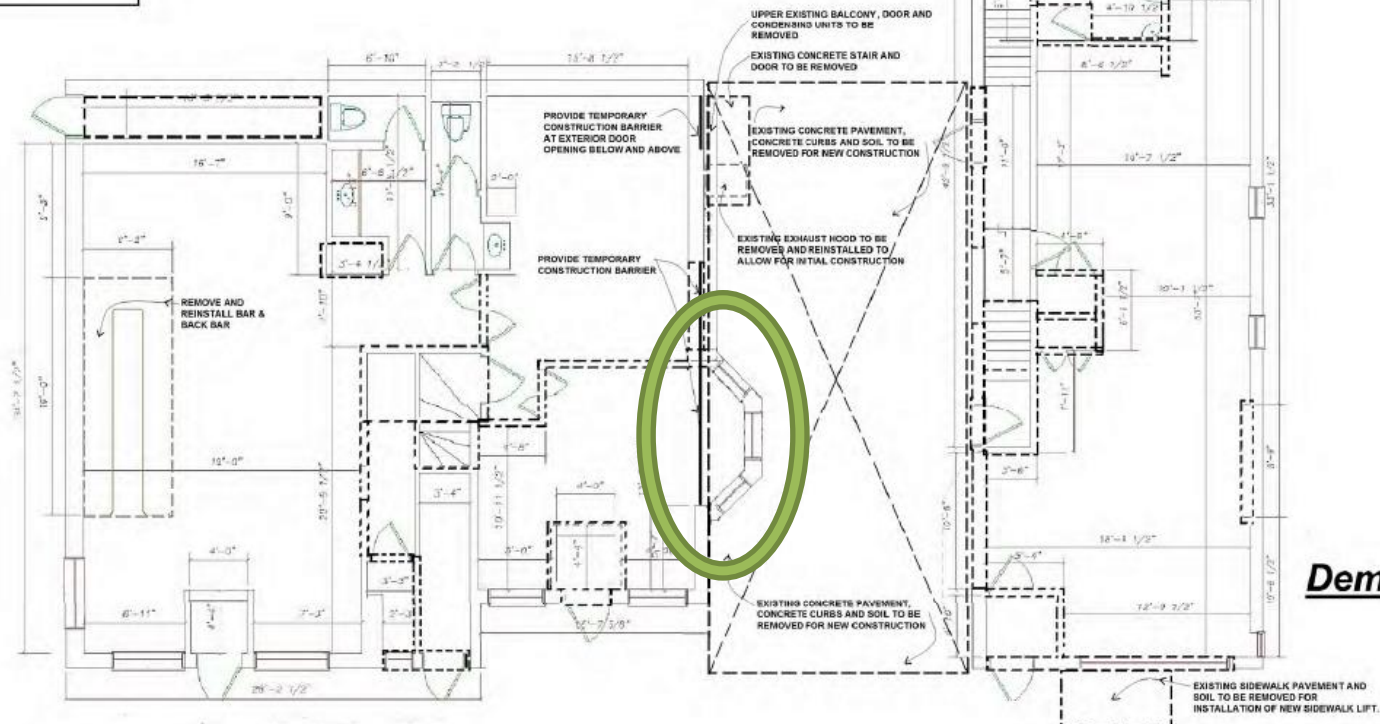
Perspective sketch of proposal. Only framing, foundations, and selective demolition is permitted at this time.

General Notes

1. COMPLY WITH ALL GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATION AUTHORITIES HAVING JURISDICTION. COMPLY WITH ANSVASSE A10.6 AND NFPA 281.
2. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT SELECTIVE DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH CURRENT OPERATIONS, ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED FACILITIES.
3. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION OR AS INDICATED.
4. DEFINITIONS:
 - A. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF SITE UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
 - B. REMOVE AND SALVAGE: CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER.
 - C. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION. PREPARE FOR REUSE AND REINSTALL WHERE INDICATED.
 - D. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

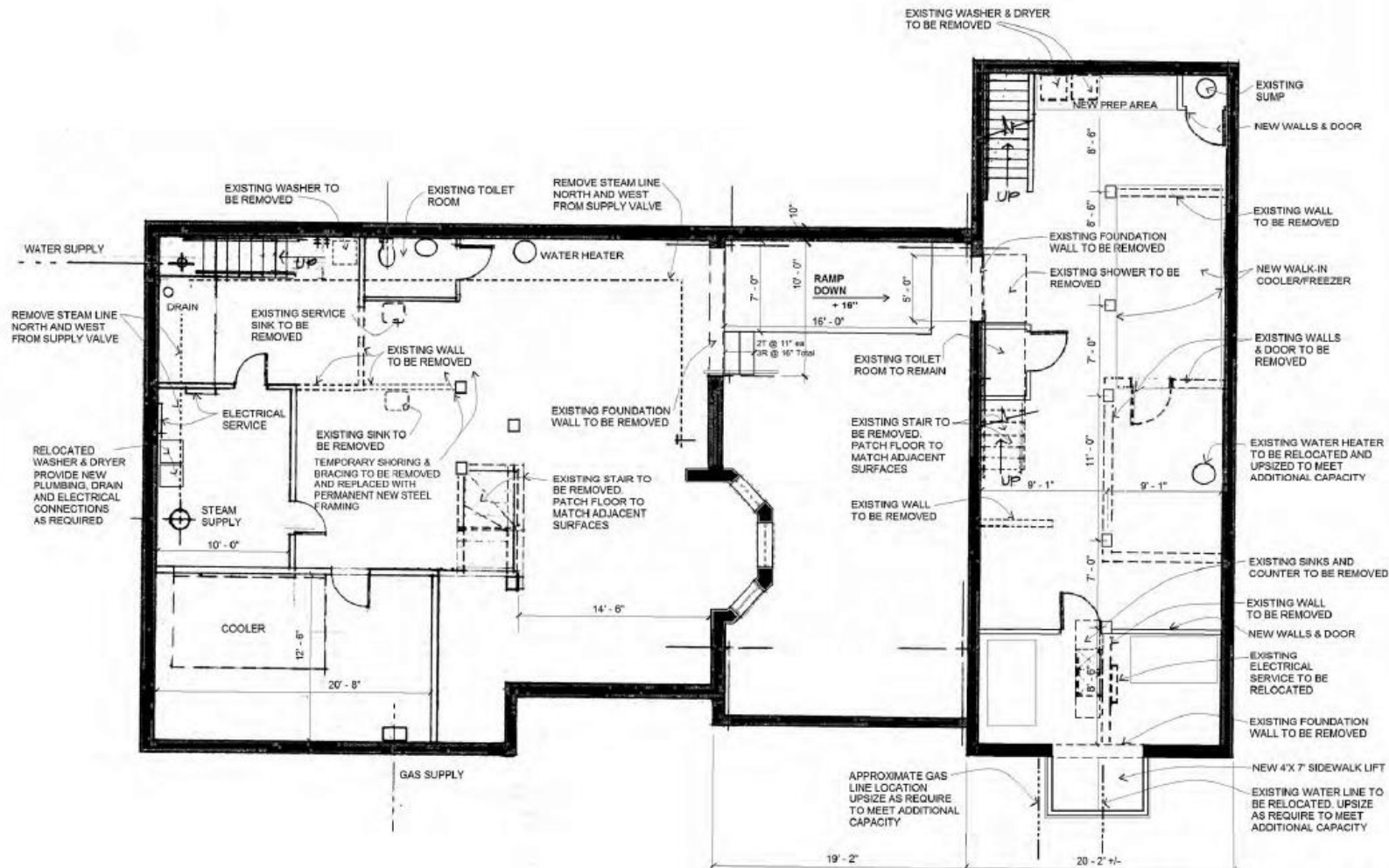
Legend

- EXISTING CONSTRUCTION TO BE REMOVED THAT INTERFERES WITH NEW PLANNED CONSTRUCTION. REFER AND COORDINATE WITH FLOOR PLANS FOR NEW CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN.



Demo Plan

Demolition Plan. Circled bay window must be retained.



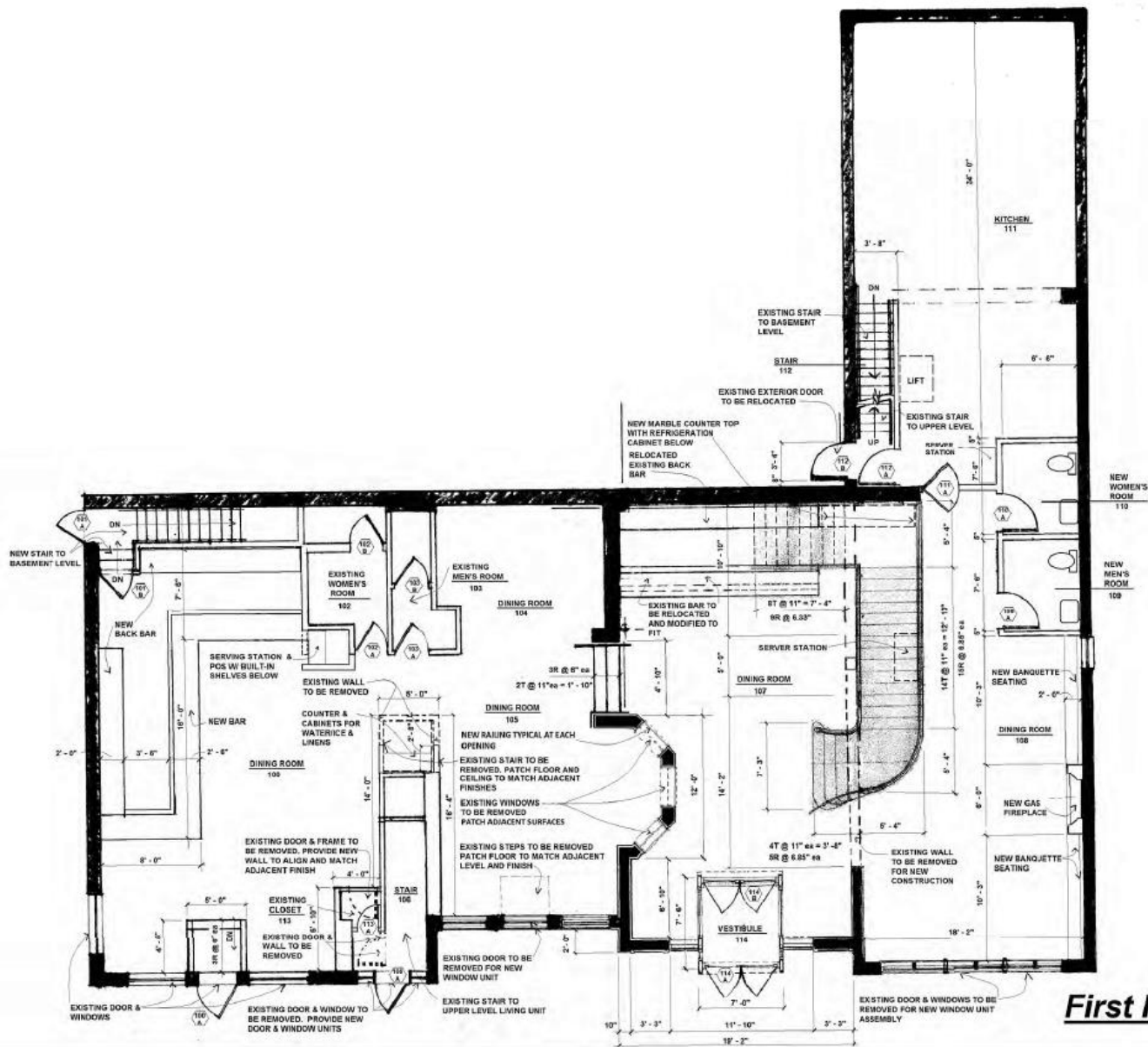
Basement Floor Plan

1/8" = 1'-0"

Buckley's Addition
and Interior
Remodeling

Basement Floor Plan

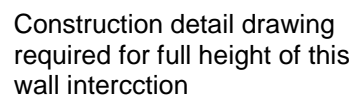
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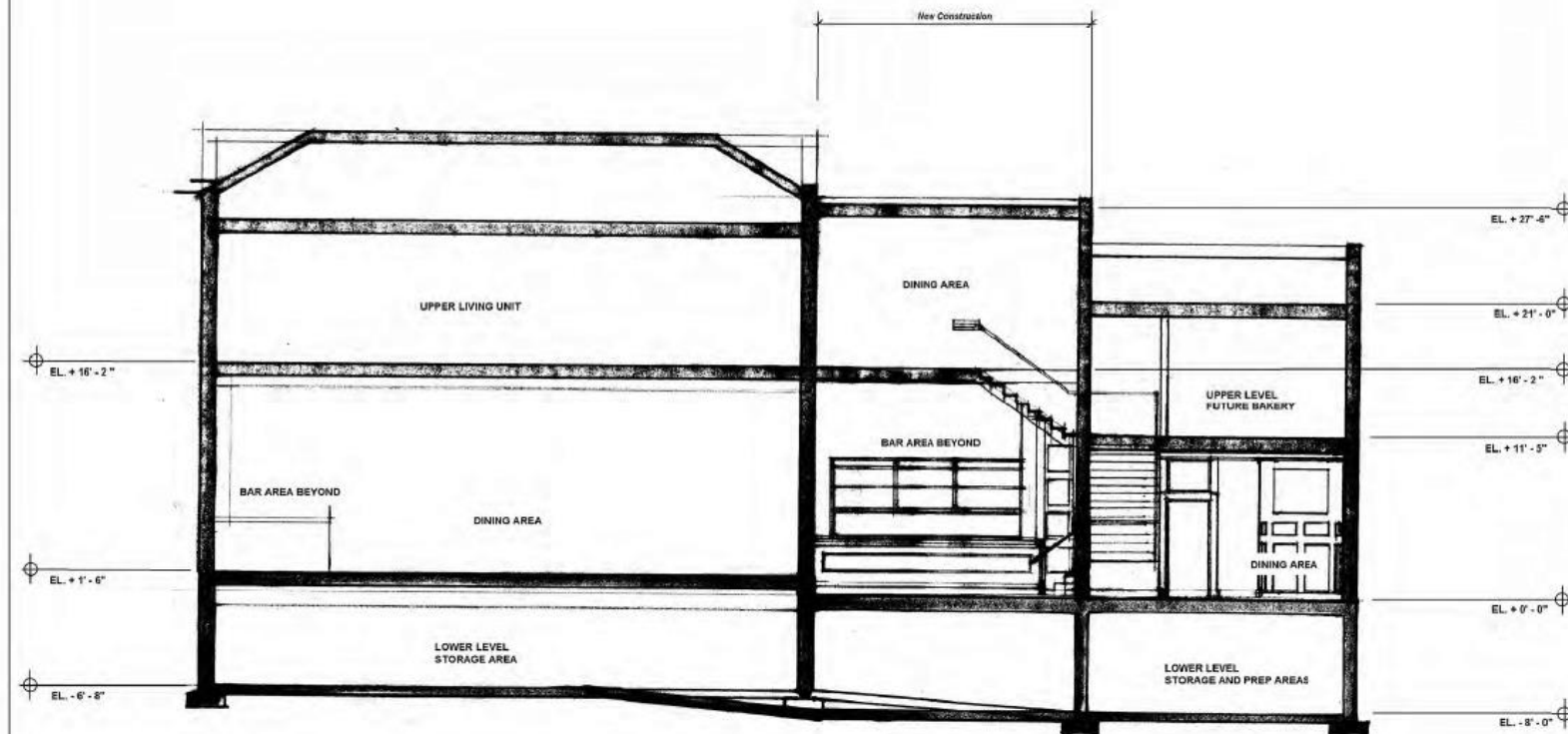
Buckley's Addition
and Interior
Remodeling

First Floor Plan

Sheet No.



Sheet No.



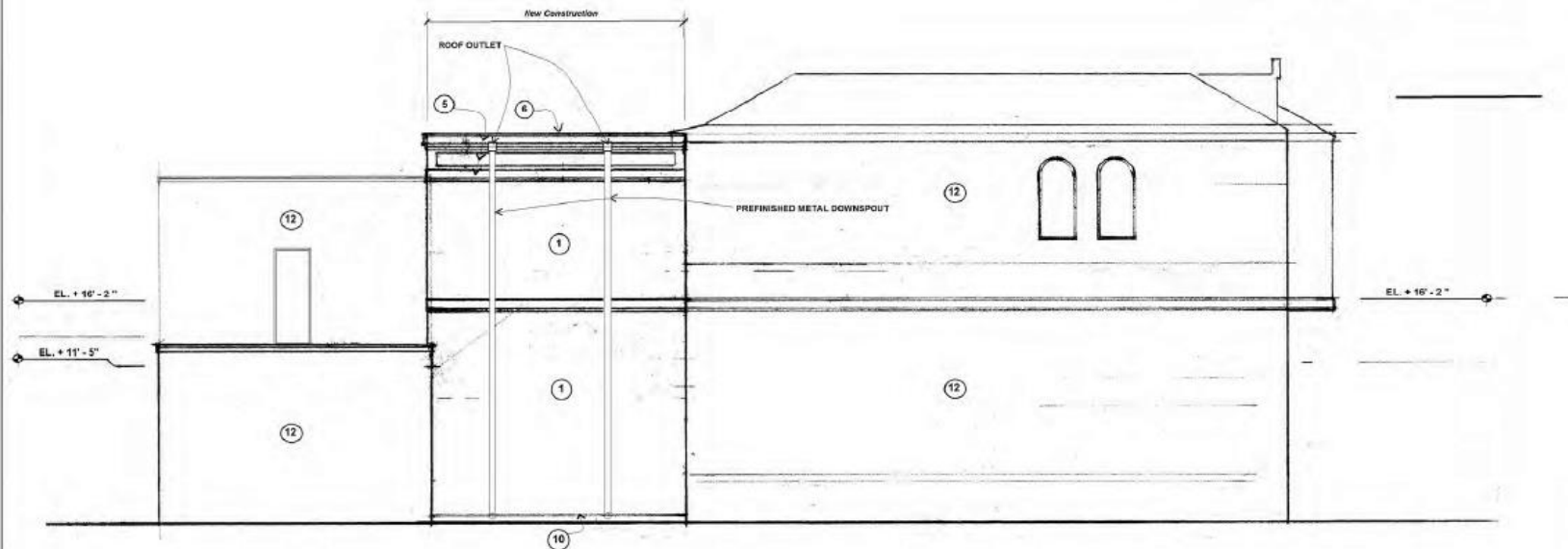
Buckley's Addition
and Interior
Remodeling

Building Section

Sheet No.
A3-01

Keyed Elevation Notes:

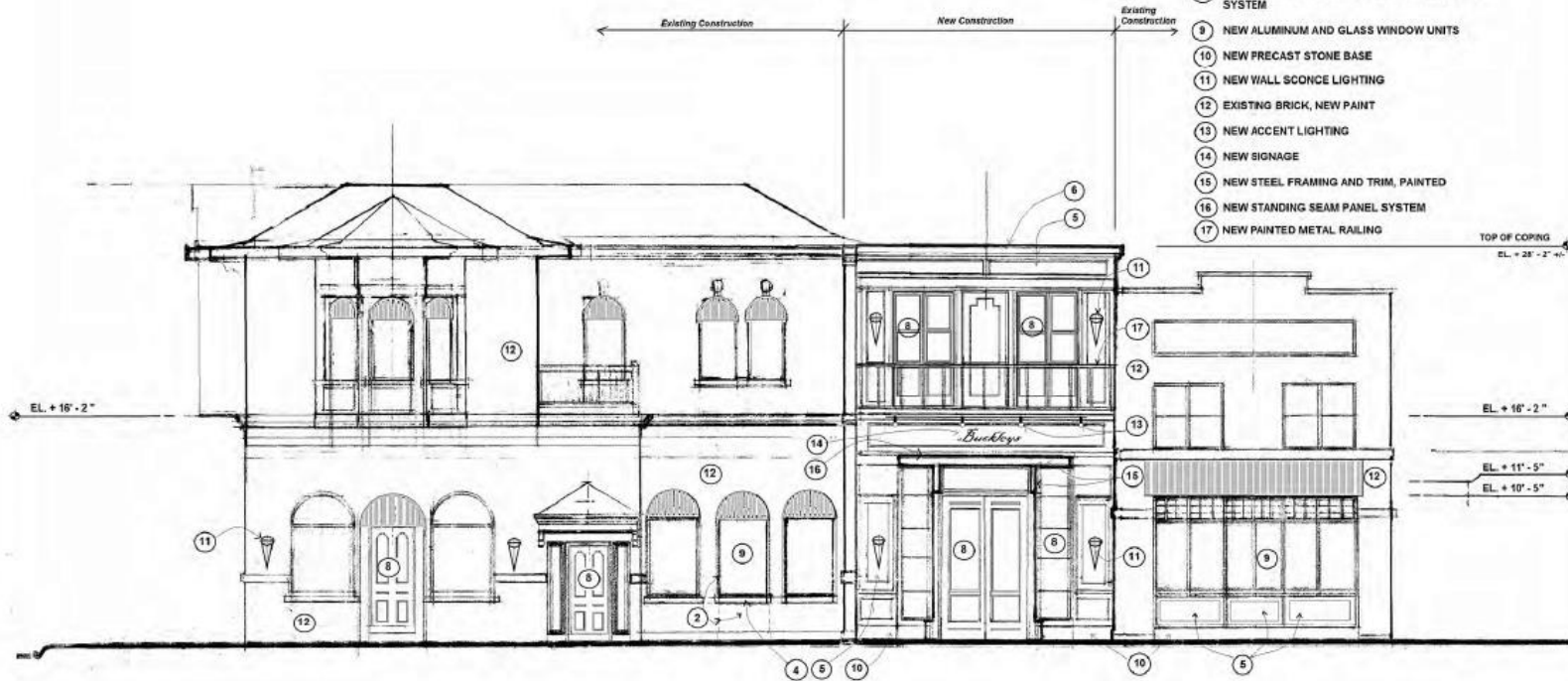
- ① NEW SMOOTH FACE MASONRY WITH PAINTED FINISH
- ② PATCH BRICK TO MATCH WHERE DOOR HAS BEEN REMOVED
- ③ NEW PAINTED WOOD PANEL AND TRIM WHERE DOOR HAS BEEN REMOVED
- ④ NEW PRECAST CONCRETE SILL
- ⑤ NEW PAINTED WOOD PANEL AND TRIM
- ⑥ NEW PREFINISHED SHEET METAL COPING
- ⑦ NEW ALUMINUM AND GLASS WINDOW UNIT
- ⑧ NEW ALUMINUM AND GLASS WINDOW AND DOOR SYSTEM
- ⑨ NEW ALUMINUM AND GLASS WINDOW UNITS
- ⑩ NEW PRECAST STONE BASE
- ⑪ NEW WALL SCONCE LIGHTING
- ⑫ EXISTING BRICK, NEW PAINT



West Elevation
1/8" = 1'-0"

Keyed Elevation Notes:

- ① NEW SMOOTH FACE MASONRY WITH PAINTED FINISH
- ② PATCH BRICK TO MATCH WHERE DOOR HAS BEEN REMOVED
- ③ NEW PAINTED WOOD PANEL AND TRIM WHERE DOOR HAS BEEN REMOVED
- ④ NEW PRECAST CONCRETE SILL
- ⑤ NEW PAINTED WOOD PANEL AND TRIM
- ⑥ NEW PREFINISHED SHEET METAL COPING
- ⑦ NEW ALUMINUM AND GLASS WINDOW UNIT
- ⑧ NEW ALUMINUM AND GLASS WINDOW AND DOOR SYSTEM
- ⑨ NEW ALUMINUM AND GLASS WINDOW UNITS
- ⑩ NEW PRECAST STONE BASE
- ⑪ NEW WALL SCONCE LIGHTING
- ⑫ EXISTING BRICK, NEW PAINT
- ⑬ NEW ACCENT LIGHTING
- ⑭ NEW SIGNAGE
- ⑮ NEW STEEL FRAMING AND TRIM, PAINTED
- ⑯ NEW STANDING SEAM PANEL SYSTEM
- ⑰ NEW PAINTED METAL RAILING



East Elevation

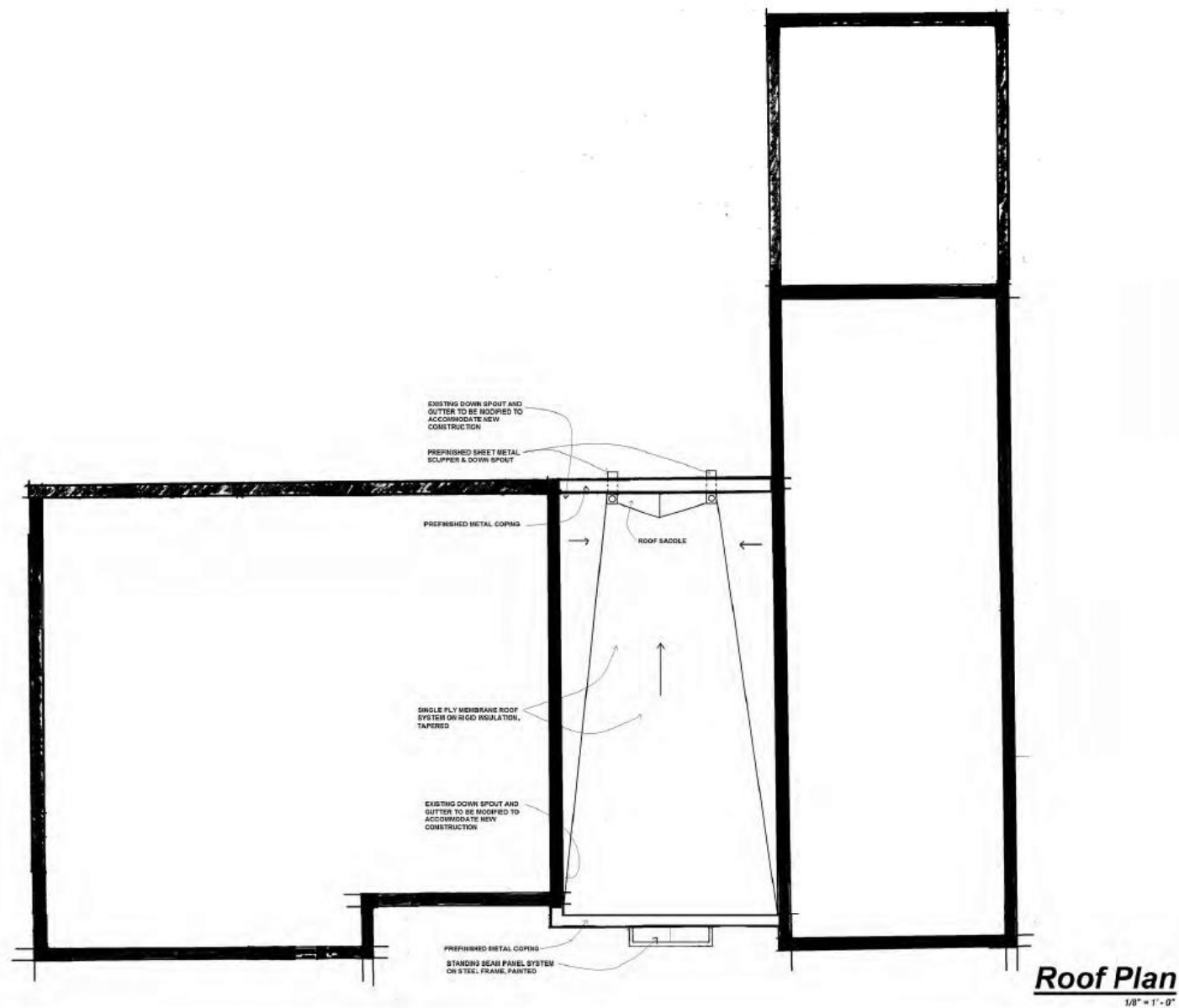
1/8" = 1'-0"

Buckley's Addition
and Interior
Remodeling

East Elevation

Sheet No.

Proposed Cass Street elevation. No exterior finishes of any kind are approved in this certificate.



Roof plan, optional as shown.



Existing conditions, Cass elevation