



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

801 - 809 N. Cass Street. Mil. WI.

2. NAME AND ADDRESS OF OWNER:

Name(s): Mike & Pam Buckley

Address: 801 N. Cass Street

City: Milwaukee State: WI. ZIP: 53202

Email: pbuckley19@gmail.com

Telephone number (area code & number) Daytime: 414-704-6412 Evening: 414-704-6412

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Paul Gondek

Address: 9355 N. Regent Rd.

City: Milwaukee State: WI. ZIP Code: 53217

Email: pgondek@savills-studley.com

Telephone number (area code & number) Daytime: 414-345-0739 Evening: 414-345-0739

4. ATTACHMENTS: (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)

A. REQUIRED FOR MAJOR PROJECTS:

- ☒ Photographs of affected areas & all sides of the building (annotated photos recommended)
- ☒ Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")
A digital copy of the photos and drawings is also requested.
- ☒ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION ALSO REQUIRES:

- ☒ Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")
- ☒ Site Plan showing location of project and adjoining structures and fences

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED AND SIGNED.

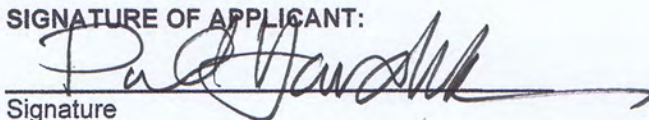
5. **DESCRIPTION OF PROJECT:**

Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached.

The Buckley family proposes to remodel and expand the existing Buckley's Restaurant @ 801-803 North Cass Street. The project will expand the current restaurant to the north to encompass the existing drive @ 805 North Cass Street and the residential building @ 807-809 North Cass Street. The expanded restaurant will include 2 bars, a new expanded kitchen, a bakery and new dining facilities. Dining will be experienced in multiple settings inside and outside along the sidewalk during tolerant weather. A new second floor balcony area will provide a space for additional dining and special events with windows and doors that open to the street to create a breezeway feel. The design elements for the new addition and renovation reflect the historic nature of the adjacent buildings but yet set it apart to visually look like a separate distinct building. All major features of the existing historic buildings will remain intact. The existing bay window on the north side of 801/803 N. Cass Street will project into the new addition to create a special dining setting on the first floor. The addition is set back from both the existing buildings to reinforce their importance along the street.

Please refer to the attached drawings, renderings and schedules for additional information, details and specifications.

6. **SIGNATURE OF APPLICANT:**


Signature

Paul Gondek
Please print or type name

Date 12 / 12 / 16

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI 53202

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Or click the **SUBMIT** button to automatically email this form for submission.

SUBMIT