

2625 S. Greeley Street, Ste 203 Milwaukee, WI 53207

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Project Description:

HellermannTyton Corporation, a world leader in manufacturing cable management identification and connectivity solutions for automotive, electrical and datacom markets, is proposing a First Amendment to the Detailed Planned Development (DPD, FN151449) for the property at 6701 West Good Hope Road. Hellermann Tyton has been located at this site for 4 years, and has previously expanded its facilities at the site to meet its needs for growth. HellermannTyton currently employs a total of 305 people at this facility. We surpassed our original estimate by 103 people given as part of the previous addition Minor Modification (FNs 131372 and 140197). HellermannTyton anticipates the expansion will create a minimum of 125 new manufacturing and technical jobs for the Milwaukee area in the next 5 years. Currently, there is approximately 10,774 square feet of office on the north end of the site, 191,237 square feet of factory behind the office space, and 241 surface parking spaces on the site. The existing building (including the original building and Phase II addition) is 2 stories with similar architecture (etc) that is proposed for the office and factory addition. The purpose of this Amendment is to implement Phase III of HellermannTyton's masterplan to construct an office addition, parking structure and factory addition.

Proposal:

The office addition is a 20,520 sf footprint approximately 200' long x 80' wide with a 40' x 80' dog-leg at the middle (west end) of the site, with two floor levels totaling 41,040 sf. The office addition is attached to the existing 191,237 sf factory and will be a steel framed structure with composite concrete floors. This will provide office support space for factory operations. Building materials will consist of precast concrete, metal panel wall systems, aluminum curtainwall and entrance systems with gray tinted glazing.

This amendment also includes construction of a parking structure along the west face of the addition in the center of the site, and will be attached to the proposed factory and new office addition. The 3-level parking structure has a 32,581 sf footprint approximately 266' long x 122' wide 45' high will accommodate 339 cars, and will be constructed with precast concrete with a single helix two-way traffic configuration. The structure is an un-heated, open air design with precast spandrel and wall panels. The construction of the structure may be phased over a period of years to allow for at grade surface parking until the parking garage is erected.

The factory addition will be located on the southeast end of the site, and consists of a 106,488 sf Phase III production facility approximately 401' long x 266' wide building x 33' high (to match the height of the existing structure, which is 191,237 sq ft) precast concrete building.

Setbacks:

The Phase III factory and office additions will connect to the south façade of the existing (Phase II) facility. The additions will be approximately 41' from the east property boundary, 132' from the south property boundary, and 88' from the west property boundary. The proposed south parking lot is 60 feet from the south property boundary and the building exceeds the minimum 100 foot zoning setback from the south property boundary by 32 feet as depicted on Sheet A001 (Site Plan) and as described in a legal description located on a Play of Survey prepared by Capitol Survey Enterprises (CSE) Inc dated January 15, 2016 as follows:



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corner of said Northeast ¼ Section; thence 89°06′56″ E along the North line of said Northeast ¼ of Section 22, a distance of 664.95 feet; thence S 00°19′42″ E, 1,326.34 feet; thence S 89°16′28″ W, 665.50 feet; thence N 00°18′14″ W, 1,324.50 feet along the West line of said Northeast ¼ Section to the Point of Beginning. EXCEPTING therefrom the Northerly 80 feet previously dedicated for roadway purposes.

Design and Building Materials:

The proposed building materials for the Phase III factory addition and parking structure shall closely match the existing building. Exterior walls will consist of precast concrete panels that are a match to the color, finish and rustication of the precast panels belonging to the existing facility. The proposed office building addition materials will consist of aluminum framed curtainwall and windows that are similar in appearance to the original building facade along Good Hope Road. The exterior walls will consist of metal panel and precast concrete with a higher degree of articulation than the factory building to identify this as an office building as seen from the Good Hope Road access drive. Attached to this Amendment to Detailed Planned Development are photographs of the context of the site, as well as lot statistics as required.

Other

A chain-link security fence is proposed along the south, east and west property lines. This fence is an extension of the existing fencing that secures the dock and parking areas for safety and is not intended as a screening element. The fence will be constructed of galvanized posts and wire mesh and will be 7 feet in height.

Plan of Operation:

The intended use of the Phase III factory addition is an expanded production facility for manufacture of cable care management products with additional support office spaces for HellermannTyton Corporation. The size of the building is based upon the owner's needs for manufacturing systems that help customers better manage and identify wire, cable and components. The truck traffic for this process is minimal with an average of 25 shipments per day. The delivery of material is consistent with the delivery rate. HellermannTyton runs a standard first, second and third shift, and operates on weekends as well. The parking structure will be constructed to accommodate parking needs of employees and visitors.

Owners Statement of Intent:

In accordance with District Standards 295-907.

Uses: Zoned Planned Development (PD) The permitted Uses include Industrial Light Manufacturing, General Office, and Parking structure - accessory use. The proposed use includes the design and manufacture of cable care management products that include injection molded fasteners, mounts, clamps and cable ties produced from nylons and polymer plastics.

Design Standards: The structures will harmonize with the existing site and structures consistent with previous plan submittals and modifications. The design of the buildings will promote the creativity and variety of HellermannTyton while maintaining a consistent manufacturing facility appearance consistent with its previous plan submittals and modifications.

Density: There are no residential uses on this property. Refer to Site Statistics at the end of this document.

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Space Between Structures: The buildings are comprised of a construction type that allows for an unlimited area building without spaces between. The parking garage is designed as an open-air structure to provide code required fresh air without the need of mechanical ventilation and will have open space on its sides as required by the International Building Code (IBC).

Setbacks: The setback restrictions along the southern boundary will be 100 feet including an access roadway, landscaping, stormwater detention basin and berms. The south edge of the factory addition is 132 feet from the south property line. The side setbacks will be a minimum of 25 feet. The western perimeter of the site will be used for utility right-of-way, access drives and parking and landscaping. A portion of the western perimeter includes delineated wetlands that will remain. The eastern perimeter of the site abuts Brady Corporation and includes a utility easement, landscaped turf grass, asphalt paved fire department access road and a modular block retaining wall approximately 3-5' in height due to the existing grade differences.

Screening: Along the south boundary, landscaping and berms shall be constructed as a natural, attractive screen and buffer for adjoining residential properties. The earthwork of the berms will include regrading of existing rolling berms that were also used as top soil stockpiles as part of the previous project. The berms will be 5 feet higher than the residential properties to the south. A double row of spruce will be planted along the south edge of the surface parking lot on the south side of the site to prevent headlights from going into the adjacent residences. Existing loading docks will remain in place and become screened by the office addition. A new loading dock to serve the factory addition faces west and will be screened from the residential properties with plantings along the property line and a second line of plantings in the open area between the storm water detention pond and the pavement. Along the west boundary a mixture of adjoining landscaped turf grass, native tree plantings and natural wetlands adjoin Uihlein Soccer Park. Along the east boundary, landscaped turf grass and an attractive modular concrete block retaining wall approximately 3-5 feet in height to match the existing retaining wall will accommodate grade differences. (Refer to attached Landscaping Plan and Site Grading Plan).

Open Spaces: With the exception of wetlands, all open spaces on the site will be landscaped and maintained to complement the structures on the site.

The existing stormwater detention pond will remain in its original location with minor grading around the perimeter. The stormwater collected from the roofs of all buildings and impervious surfaces shall be directed via storm pipe to the detention pond as depicted on Sheet C1.0 (Site Grading Plan).

Wetland areas including Fresh (Wet) Meadow along the south and west property line and Hardwood Swamp were delineated on the previous Detailed Plan Development submittal and are being revised through an individual permit in accordance with the DNR. A combination of avoidance, minimization, filling and wetland credits are being pursued.

Circulation, Parking and Loading: Vehicular access will be provided to the site from the existing Good Hope Road entrance. With the exception of employee parking, all access to the site shall be through security access gates with intercom system. Site lighting will provide safe access to the building while maintaining the light on the property with cut off fixtures and arrangement of fixtures to limit lighting spread. Existing loading docks will

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serve the existing facility and remain in place. A new loading dock will serve the Phase III factory addition and be accessed directly from the main driveway.

The proposed plan includes additional asphalt paved parking lot and concrete dock areas will support the additional employee parking and increased plant output of manufactured products. Internal sidewalks, curbs and paved areas will provide safe access within the site. The asphalt paved Fire Apparatus Access Lane will be extended from the existing asphalt drive south where it will turn east and route around the Phase III addition and turn north along the east property boundary. The access lane will be 20' wide as it runs north adjacent to the existing facility and Phase III addition and connect to the existing access lane. The access lane will necessitate the construction of a modular block retaining wall approximately 3-5' in height due to the existing grade differences at the east boundary.

Landscaping: All landscaping vegetation shall meet ANSI Standard 260.1. All graded areas consist of landscaped turf low mow buffalo grass with native trees and shrubs, native planting areas, native/nativar landscaped islands, building plantings. All new and existing plantings shall be maintained and replaced when necessary by a local landscaping company under contract with the Owner for landscape maintenance. (Refer to attached Landscaping Plan).

Site Statistics:

	Planned Development		Amendment to DPD			
	Existing Quantity	(Alt Units)	Proposed Quantity	(% of Proposed)		
Gross Land Area =	828,472 sf	(19.02 AC)	828,344 sf	(19.02 AC)		
Buildings: Existing =	191,237 sf	(10.745%)	191,237 sf	(23.083%)		
New (Phase III) =			159,589 sf	<u>(19.263%)</u>		
Total =	191,237 sf	(23.083%)	350,826 sf	(42.353%)		
Parking/Sidewalks: Existing =	173,532 sf	(20.946%)	173,532 sf	(20.946%)		
New (Phase III)			70,038 sf	<u>(+8.455%)</u>		
Total =	173,532 sf	(20.946%)	243,570 sf	(29.404%)		
Landscaped: Existing =	436,617 sf	(52.711%)	436,617 sf	(52.711%)		
New (Phase III) =			<u>-202,769 sf</u>	<u>(-24.479%)</u>		
Total =	436,617 sf	(52.711%)	233,948 sf	(28.243%)		
Parking Stalls:Existing =	241 surface stalls		241 surface stalls			
New (Phase III)		_	322 parking stalls			
Total=	241 surface stalls		563 stalls, of which 318 are surface and 245 will be structured in final phase.			
Floor Area Ratio (FAR)						
Floor Area Building: Existing	191,237 sf					
3 0	=	0.230831				
Land Area: Existing	828,472 sf					
New (Phase III) Floor Area Bu	uilding		350,826 sf	0.423526		
Land Area			828,344 sf	0.420020		
Parking/Sidewalks Existing = New (Phase III) =	173,532 sf		173,532 sf 70,038 sf			
Building: Existing	191,237 sf		191,237 sf			
New (Phase III)			159,589 sf			
Land Coverage Total	364,769 sf	(44.029%)	594,396 sf	(71.757%)		

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Sincerely,

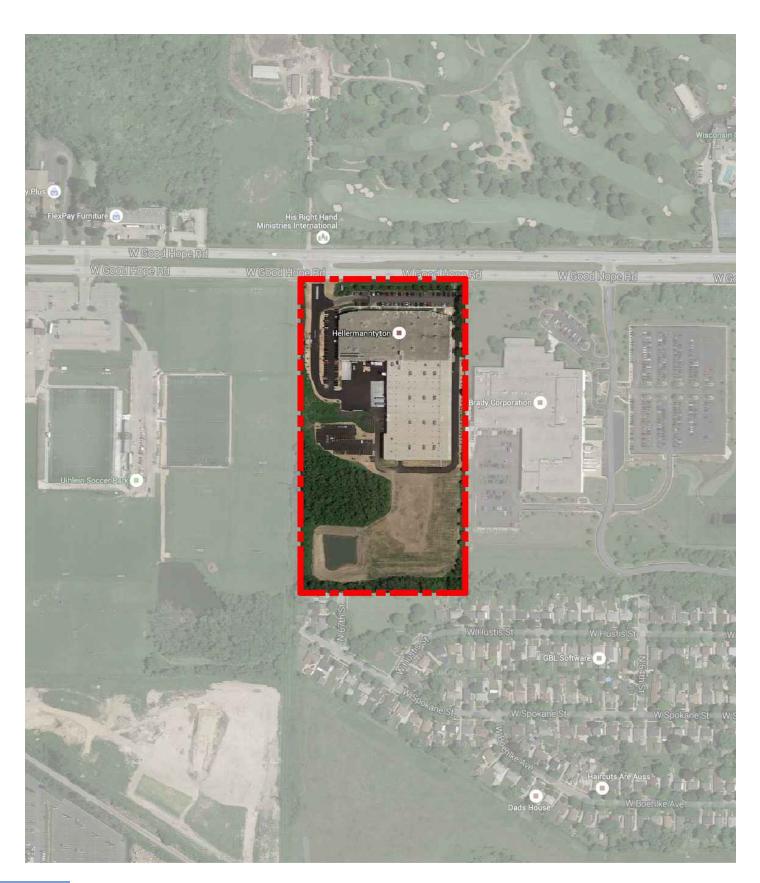
Craig Eide, AIA

Foundation Architects, LLC

Attachments:

Photo Exhibits, 19 Pages, 8.5x11 (One Set Color and in Digital Format)
Plat of Survey with Topography 1 of 1, 1 page 24x36
Site Grading, Site Paving and Utility Plans C1.0, C2.0 & C3.0, 3 Pages 24x36
Landscaping Plans L001, L002 & L003, 3 Pages, 24x36
Site Plan A001, 1 Page, 24x36
Exterior Elevations Factory A400-F, 1 page, 24x36

Exterior Elevations Parking Garage A400-P, 1 page, 24x36 Exterior Elevations Office A400-O, 1 page, 24x36





PROJECT NAME AND LOCATION

HellermannTyton Corporation Good Hope Road Facility Addition Phase 3 6701 West Good Hope Road, Milwaukee, Wisconsin 53224 SHEET TITLE VICINITY MAP

PROJECT NUMBER 15012

DATE 01-29-2016





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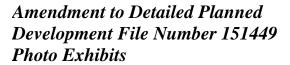
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Looking Southeast - View of north and west façades of existing 2000 facility.



Looking Northeast – View of south façade of existing 2000 facility (2014 addition at right side of photo).



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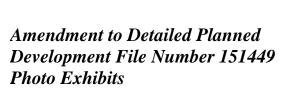
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Looking East – View of west façade of existing 2014 addition (2000 facility at left side of photo).



Looking North – View of south façade of existing 2014 addition (2000 facility beyond at left side of photo).





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Looking North – View of east façade of existing 2014 addition along east property boundary.

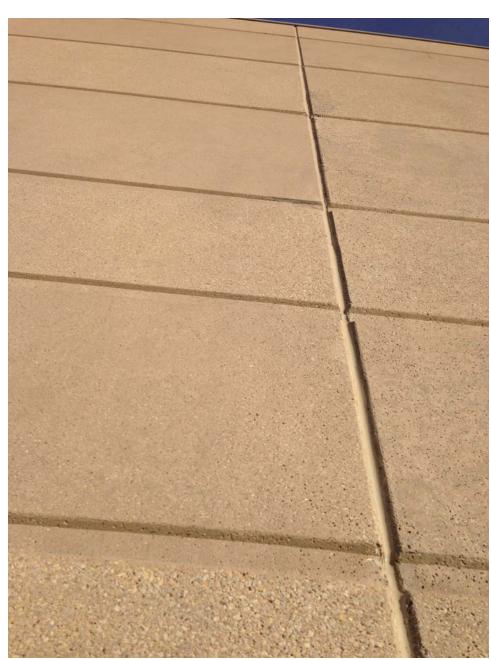


Looking Southwest - View of east façade of existing 2000 facility and 2014 addition.



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Exterior Material Detail - Precast Concrete Panels with Horizontal Reveals



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Exterior Material detail - West Façade of existing 2000 facility.



Looking Northeast from Roof of existing 2000 facility – View of north parking lot.



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Looking Northwest from Roof of existing 2000 facility - View of north parking lot.



Looking Northeast from Roof of existing 2000 facility – View of north parking lot.



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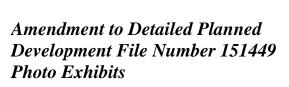
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Looking Northwest from Roof of existing 2000 facility – View of visitor parking and entry drive.



Looking Northwest from Roof of existing 2000 facility – View of entry drive and west parking lot.





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Looking Southwest from Roof of existing 2000 facility - View of entry drive and west parking lot.



Looking South from Roof of existing 2000 facility – View of entry drive and shipping docks.



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Looking Southeast from Roof of existing 2000 facility - View of shipping docks and 2014 addition.



Looking Northwest from Roof of existing 2014 addition – View of 2000 facility, shipping docks and wetland.



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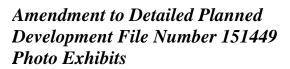
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Looking Northwest from Roof of existing 2014 addition – View of southwest parking lot.



Looking Southwest from Roof of existing 2014 addition – View of wooded wetlands.





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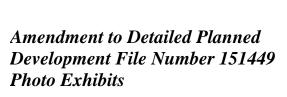
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Looking Southwest from Roof of existing 2014 addition – View of fire apparatus access drive and proposed location of future addition.



Looking North – View of proposed location of future addition (south façade of existing 2014 addition beyond).





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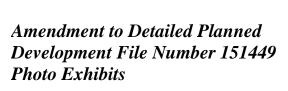
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Looking Northeast - View of adjacent Brady property boundary to the east.



Looking East – View of adjacent Brady property boundary (at SE corner of site).



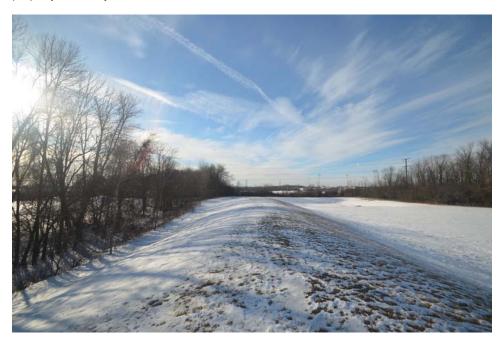
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Looking Southwest toward adjacent residential neighborhood from topsoil stockpile along south property boundary.



Looking West toward adjacent Uihlein Soccer Park and existing detention pond from topsoil stockpile along south property boundary.



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Looking West – View of existing detention pond (wetland area at the right edge of photo).



Looking Northeast – View of existing detention pond and wooded wetland area beyond.



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Looking East – View of location of proposed addition.



Looking North – View of south façade of existing 2014 addition from location of proposed addition.



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Looking Northeast – View toward adjacent Brady property from location of proposed addition.



Looking East – View toward adjacent Brady property from location of proposed addition.



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Amendment to Detailed Planned Development File Number 151449 Photo Exhibits

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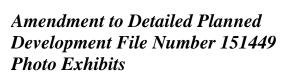
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Looking Southeast – View toward adjacent Brady property from location of proposed addition.



Looking South – View toward adjacent south residential neighborhood from location of proposed addition.





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Looking Southwest – View toward existing detention pond from location of proposed addition.



Looking West – View toward wooded wetland from location of proposed addition.

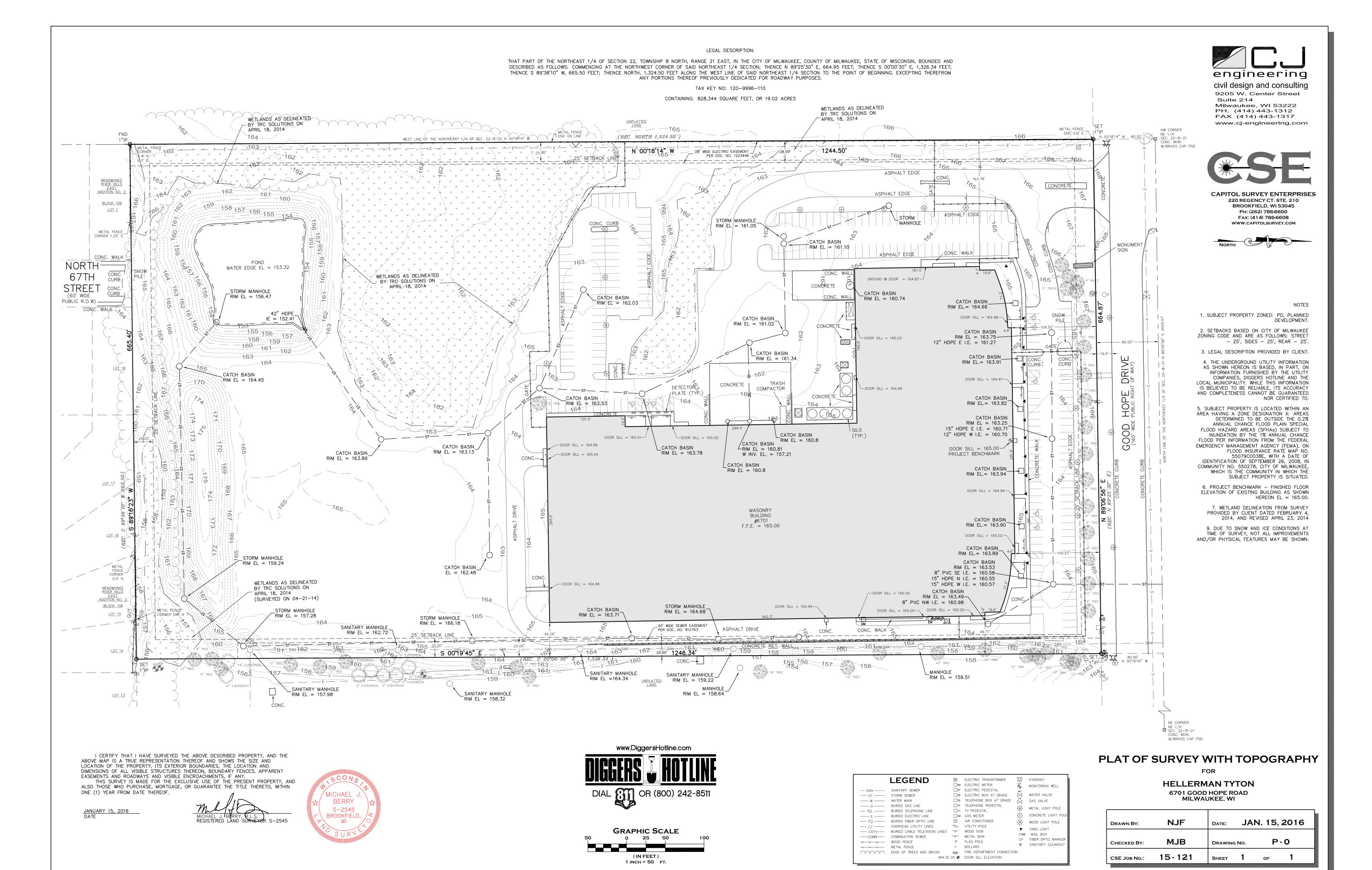


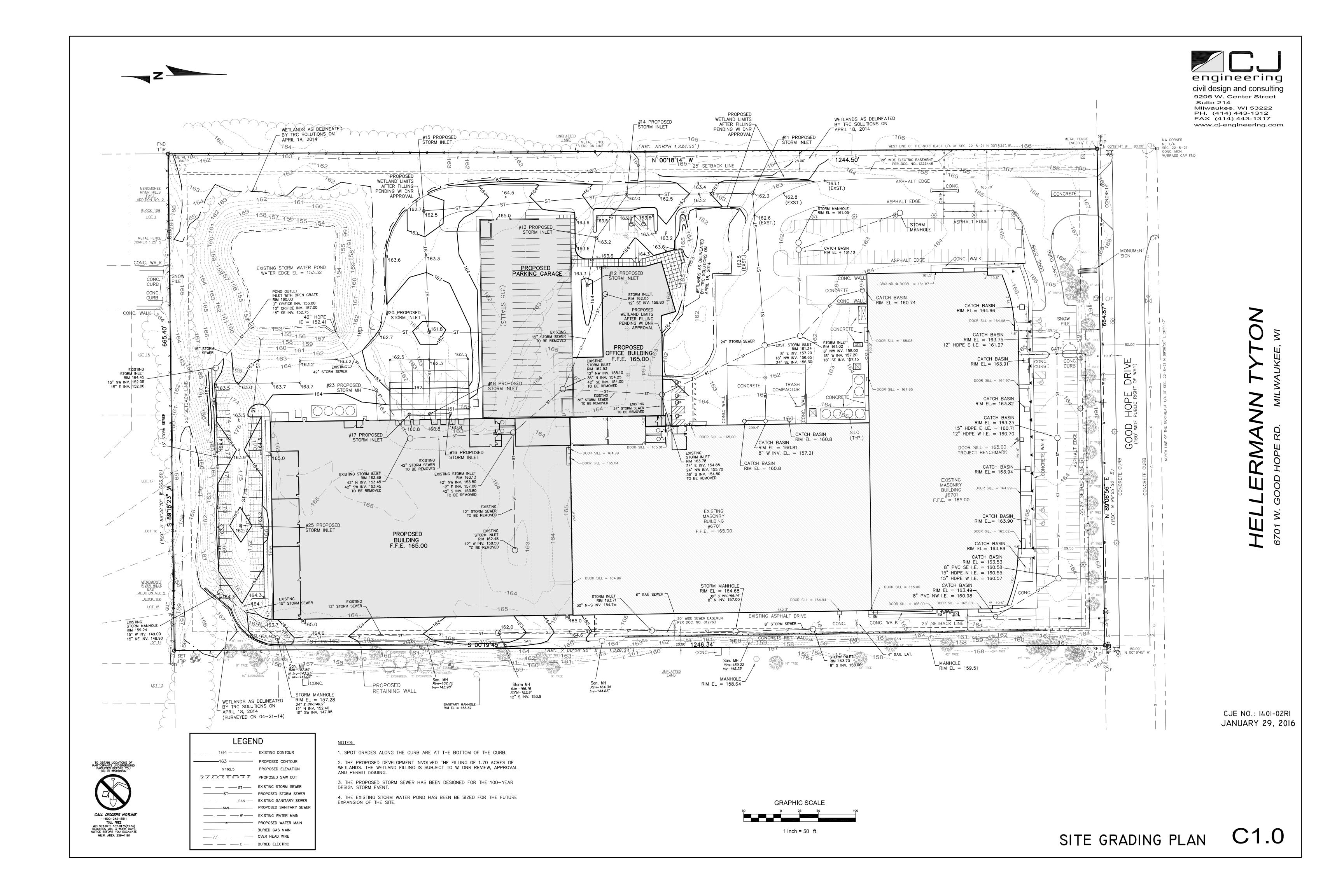
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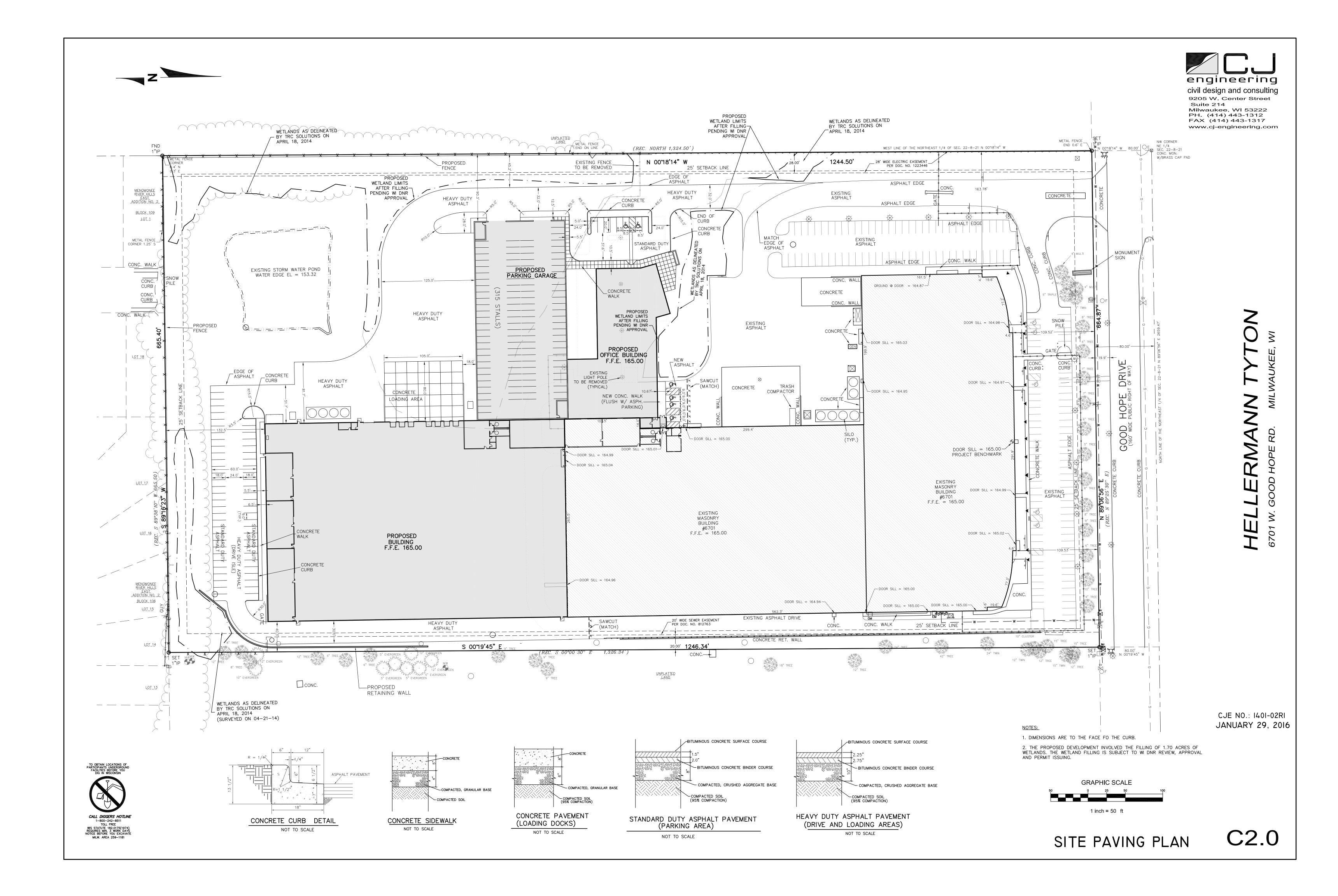
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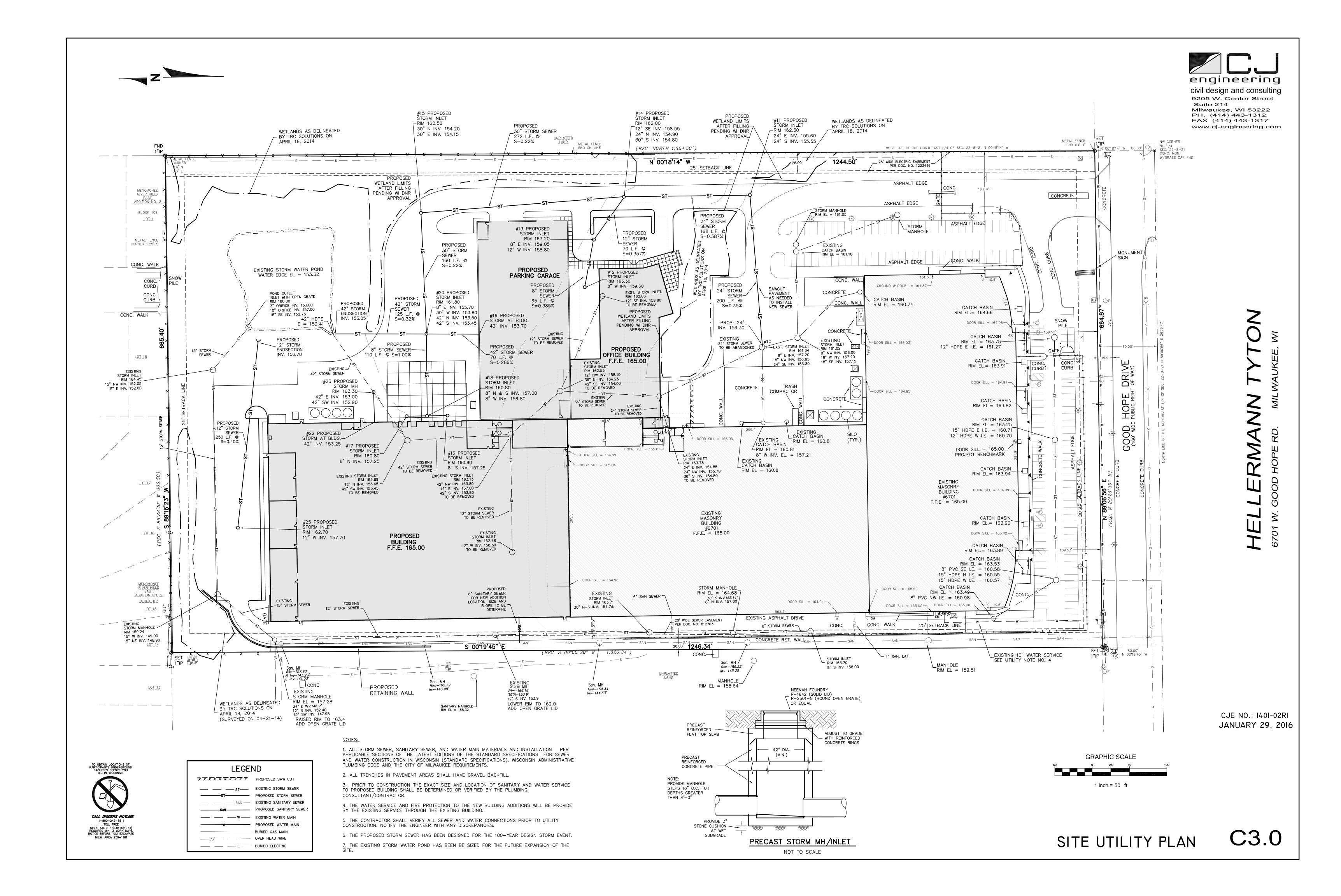


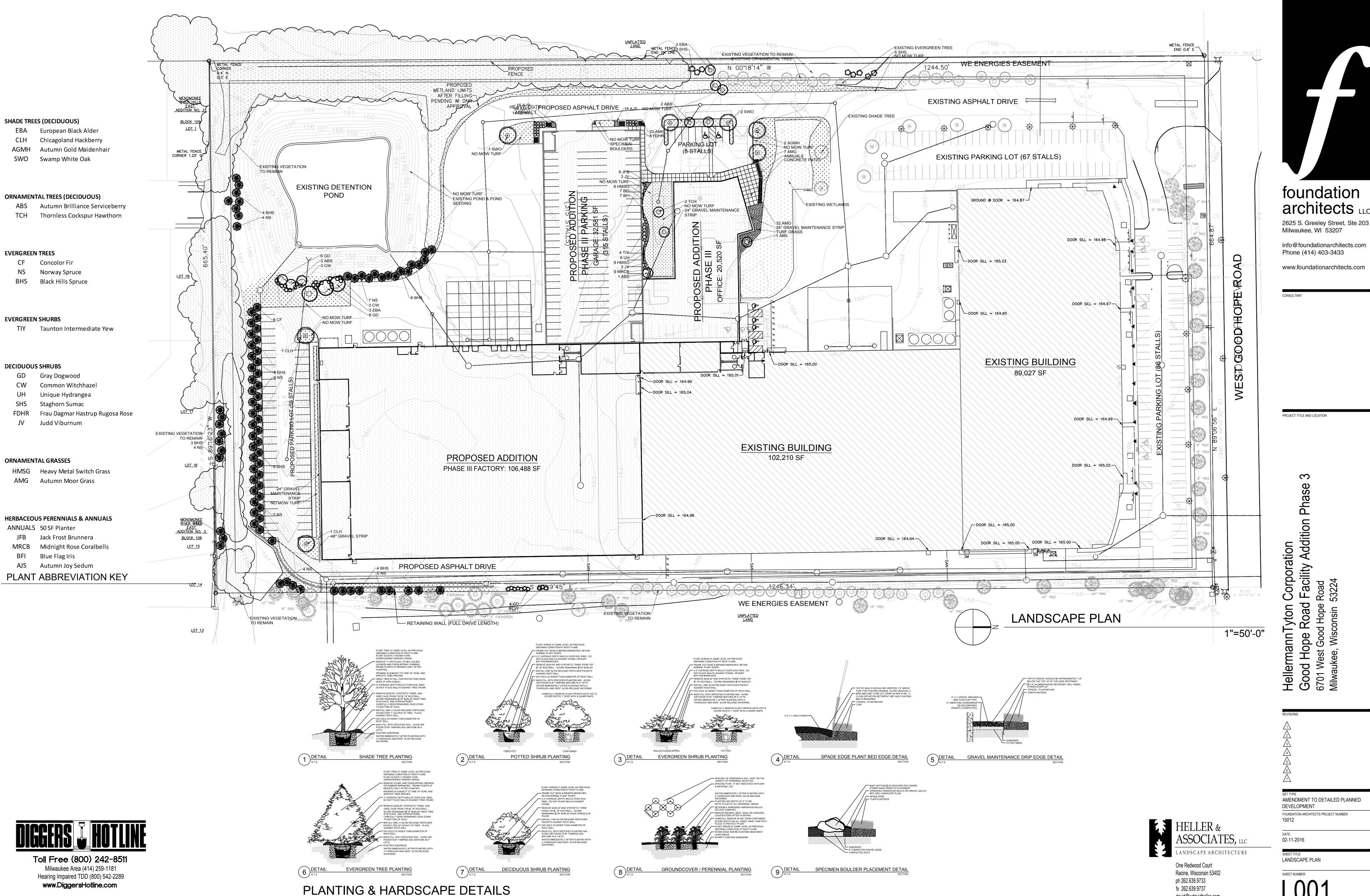
 $\label{looking Northwest-View from location of proposed addition.}$









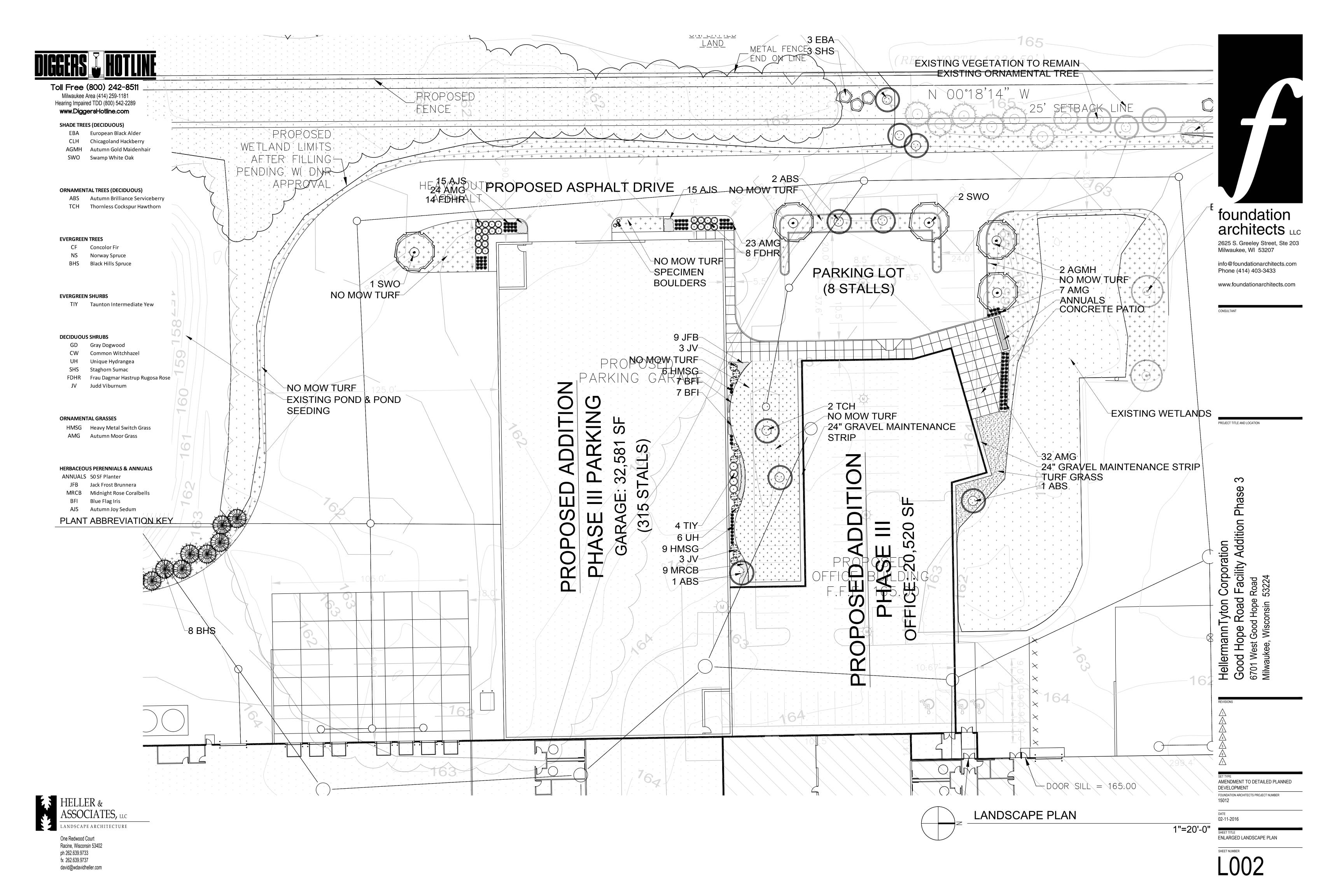


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AMENDMENT TO DETAILED PLANNED

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PLANT		PLANT MATERIAL PROPOSED		С	CALIPER					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE		ROOT	SPECIFICATION / NOTES		
Proposed	Landscape Mat	terials								
SHADE TRE	ES (DECIDUOL	JS)								
EBA	6	Alnus glutinosa	European Black Alder		8-9'		B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance		
CLH	2	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry		2.5"		B&B	Straight central leader, full and even crown. Prune only after planting		
AGMH	2	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair		2.5"		B&B	Straight central leader, full and even crown. Prune only after planting		
SWO	3	Quercus bicolor	Swamp White Oak		2.5"		B&B	Straight central leader, full and even crown. Prune only after planting		
PLANT		PLANT MATERIAL PROPOSED			CALIPER					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE		ROOT	SPECIFICATION / NOTES		
	ITAL TREES (DE									
ABS	7	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry		7-8'		B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance		
TCH	2	Crataegus crus-gali 'Inermis'	Thornless Cockspur Hawthorn		7-8'		B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance		
PLANT		PLANT MATERIAL PROPOSED		C	ALIPER					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE		ROOT	SPECIFICATION / NOTES		
EVERGREE		Altino	Compalantin		CI		D.O.D.	Essalus han a decrea with hand this area the annual d		
CF NS	8 43	Abies concolor Picea abies	Concolor Fir Norway Spruce		6' 6'		B&B B&B	Evenly shaped tree with branching to the ground Evenly shaped tree with branching to the ground		
BHS	37	Picea densata 'glauca'	Black Hills Spruce		6'		B&B	Evenly shaped tree with branching to the ground		
PLANT		PLANT MATERIAL PROPOSED		│ 	SHRUB		ROOT/			
KEY EVERGREE	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE		CONT.	SPECIFICATION / NOTES		
TIY	N SHUKBS 4	Taxus xmedia 'Tautoni'	Taunton Intermediate Yew		24"		В&В	Full rounded well branched shrub		
		ravas vincara radionii	radinon intermediate rew		2.		bab	Tall Tourided Well Stationed Shirab		
PLANT		PLANT MATERIAL PROPOSED			SHRUB		ROOT/			
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE		CONT.	SPECIFICATION / NOTES		
GD GD	IS SHRUBS 18	Cornus racemosa	Gray Dogwood		48"		Cont.	Full, well rooted plant, evenly shaped		
CW	9	Hamamelis virginiana	Common Witchhazel		40 42"		B&B	Full, well rounded plant with moist rootball and healthy appearance		
UH	6	Hydrangea paniculata 'Unique'	Unique Hydrangea		#5		Cont.	Full, well rooted plant, evenly shaped		
SHS	8	Rhus typhina	Staghorn Sumac		48"		Cont.	Full, well rooted plant, evenly shaped		
FDHR	22	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rugosa Rose		18" 42"		Cont.	Full, well rooted plant, evenly shaped		
٦V	6	Vibunrum xjuddi	Judd Viburnum		42		B&B	Full, well rounded plant with moist rootball and healthy appearance		
PLANT		PLANT MATERIAL PROPOSED		СО	NTAINER					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE			SPECIFICATION / NOTES		
	ITAL GRASSES									
HMSG	15 96	Panicum virgatum 'Heavy Metal' Sesleria autumnalis	Heavy Metal Switch Grass Autumn Moor Grass		#1 #1		Cont.	Full, well rooted plant Full, well rooted plant		
AMG	86	Sesieria auturinans	Autumn Moor Grass		#1		Cont.	Full, well rooted plant		
PLANT		PLANT MATERIAL PROPOSED		СО	NTAINER					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME		SIZE			SPECIFICATION / NOTES		
HERBACEC ANNUALS		LS & ANNUALS	50 SF Planter		3"		Dot	Full well rested plant evenly shaped (FOSF Planter)		
JFB	350 9	Annuals Brunnera macrophylla 'Jack Frost'	Jack Frost Brunnera		5 #1		Pot Cont.	Full, well rooted plant, evenly shaped (50 SF Planter) Full, well rooted plant, evenly shaped		
MRCB	9	Heuchera 'Midnight Rose'	Midnight Rose Coralbells		#1		Cont.	Full, well rooted plant, evenly shaped		
BFI	14	Iris virginica shrevei	Blue Flag Iris		#1		Cont.	Full, well rooted plant, evenly shaped		
SLA	30	Sedum spectable 'Autumn Joy'	Autumn Joy Sedum		#1		Cont.	Full, well rooted plant, evenly shaped		
LAWN / SE	EDING									
LAWN	90	Lawn Establishment Area / Grading Area					SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)		
	38645	Erosion Matting for sloped seeded areas	see plan for area delineation				SF	EroTex DS75 Erosion Control Blanket (or approved equal)		
LMMM	4205	No-Mow Turf Mix	see plan for area delineation				SY	Cedar Creek Low-Grow-No-Mow Meadow Mix (Ph: 888-313-6807)		
			,,					,		
11	B.O. at a set all a									
нагоѕсаре	Materials 1	Specimen Granite Boulders	see plan for location		18-24"		EA			
	2	Specimen Granite Boulders	see plan for location		24-30"		EA			
	17	Heritage River Gravel Mulch (1.0-1.5" pieces)	1,200 SF	cı =-			TN	2" depth		
	360 1192	Aluminum Edge Restraint (gravel areas) Landscape Fabric	Permaloc ProSlide 3/16"x5.5" Black Dur	rafiex Fi	nisn		LF SF			
	1132	Landscape rasine	3,				51			
	63	Shredded Hardwood Mulch (3" depth)	6,750 SF				CY	Bark Mulch; apply Preemergent after installation of mulch		
	42	Soil Amendments (2" depth)	6,750 SF				CY			
	120 42	Pulverized Topsoil (Lawn Area) Pulverized Topsoil (2" over bed areas)	38,750 SF 6,750 SF				CY CY			
	*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these						e for verifying these counts and quantities in order to provide a complete landscape			
		installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan- including the graphics and notations depicted therein- shall govern.								
		Sood Compositions								
		Seed Compositions: Cedar Creek Premium Blue Tag (Ph: 888-313-6807): Seed at rate of 3# per 1000 SF								
				10% Mid Atlantic Kentucky Bluegrass 10% Atlantis Kentucky Bluegrass						
		10% Mid Atlantic Kentucky Bluegrass	10% Atlantis Kentucky Bluegrass							
		20% Merit Kentucky Bluegrass	10% Dragon Kentucky Bluegrass							
		20% Merit Kentucky Bluegrass 20% Boreal Red Fescue	· -							
		20% Merit Kentucky Bluegrass	10% Dragon Kentucky Bluegrass							
		20% Merit Kentucky Bluegrass 20% Boreal Red Fescue	10% Dragon Kentucky Bluegrass 10% Palmer III Fine Perennial Ryegrass				Seed at ra	ate of 1/2-1# per 1000 SF		

20% Ambrose Chewing Fescue

20% Warwick Hard Fescue

10% Kentucky Bluegrass 98/95

PLANT & MATERIAL SCHEDULE

30% Boreal Red Fescue BT

20% Pennant II Fine Rye BT



Toll Free (800) 242-8511 Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com

- 1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- 2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or
- 3. All plantings shall comply with standards as described in American Standard of Nursery Stock Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- 4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to
- 5. Topspoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- 6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{3}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- 7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- 8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50 50 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{2}{3}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diamter of shrub at planting.
- 9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- 10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- 11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

3/4 CY Peat Moss or Mushroom Compost

3/4 CY blended/pulverized Topsoil $\frac{1}{4}$ CY composted manure

In roto-tilled beds only, also include in above mixture:

2 lbs Starter Fertilizer

- 12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones ½" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this
- 13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

No bare spots larger than one (1) square foot No more than 10% of the total area with bare areas larger than one (1) square foot

A uniform coverage through all turf areas

14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.

- 15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- 16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- 17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- 18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES



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PROJECT TITLE AND LOCATION

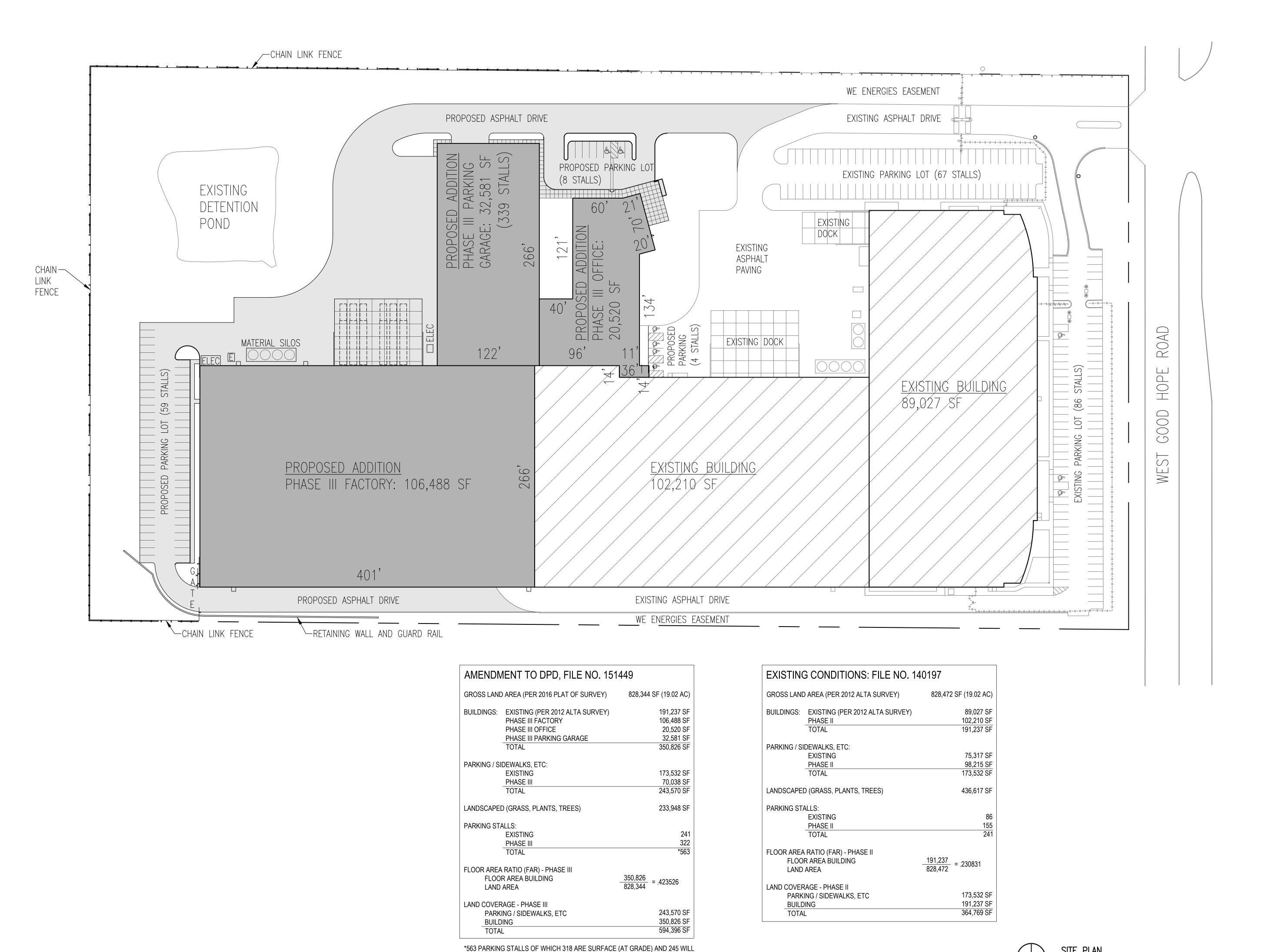
HellermannTyton Corporation
Good Hope Road Facility Addition Phase
6701 West Good Hope Road
Milwaukee, Wisconsin 53224

DEVELOPMENT 15012

AMENDMENT TO DETAILED PLANNED

02-11-2016

LANDSCAPE NOTES & SCHEDULES



BE STRUCTURED IN A PARKING GARAGE (ABOVE GRADE) IN FINAL PHASE.

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HellermannTyton Corporation Good Hope Road Facility Addition Phase 6701 West Good Hope Road Milwaukee, Wisconsin 53224

AMENDMENT TO DETAILED PLANNED DEVELOPMENT FOUNDATION ARCHITECTS PROJECT NUMBER

01-29-2016

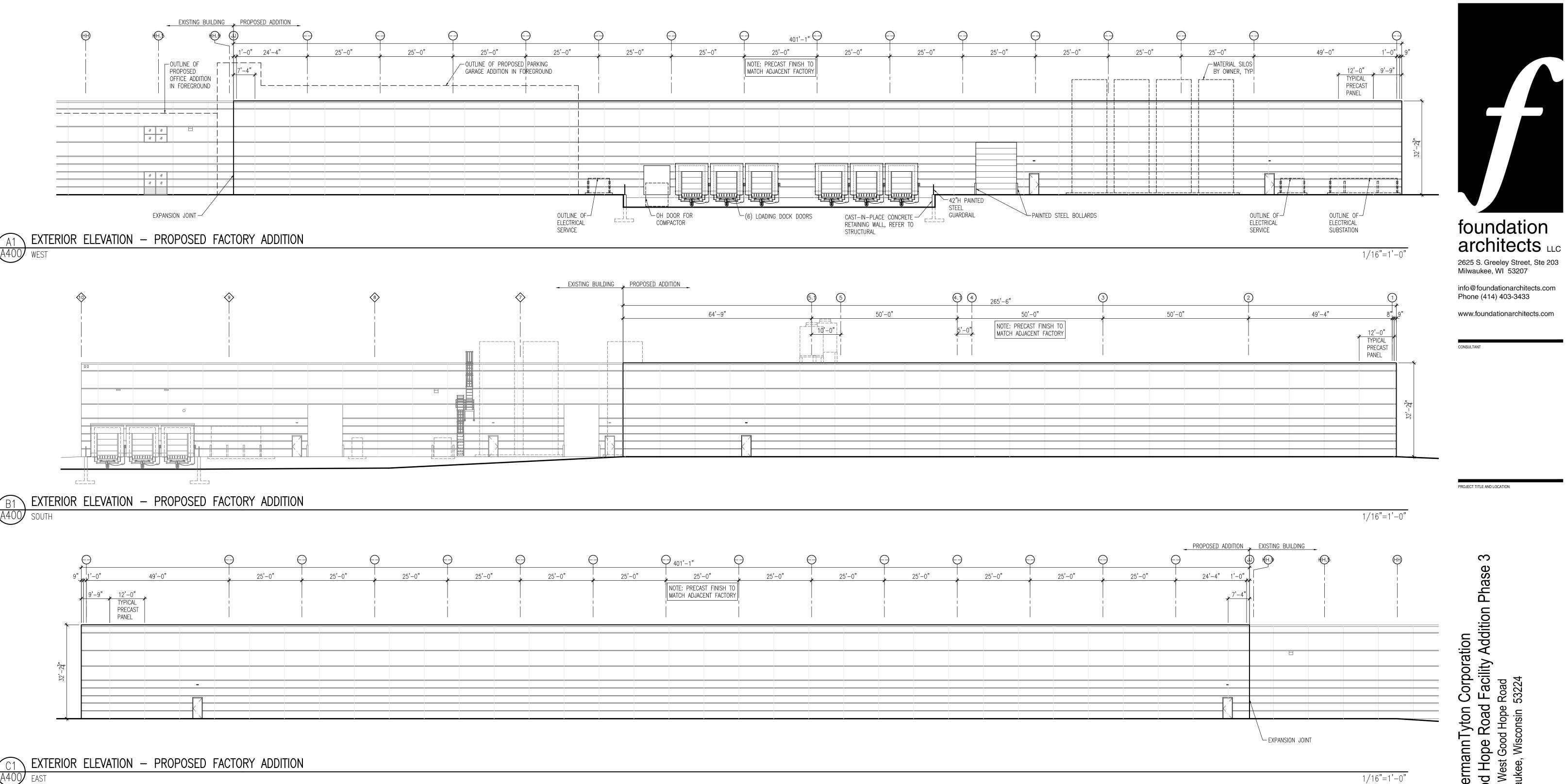
SITE PLAN

1"=50'-0"

15012

SHEET NUMBER A001

SITE PLAN



Hellermann Tyton Corporation
Good Hope Road Facility Addition Phase 3
6701 West Good Hope Road
Milwaukee, Wisconsin 53224

AMENDMENT TO DETAILED PLANNED DEVELOPMENT

DATE 01-29-2016

15012

SHEET TITLE
EXTERIOR ELEVATIONS - FACTORY



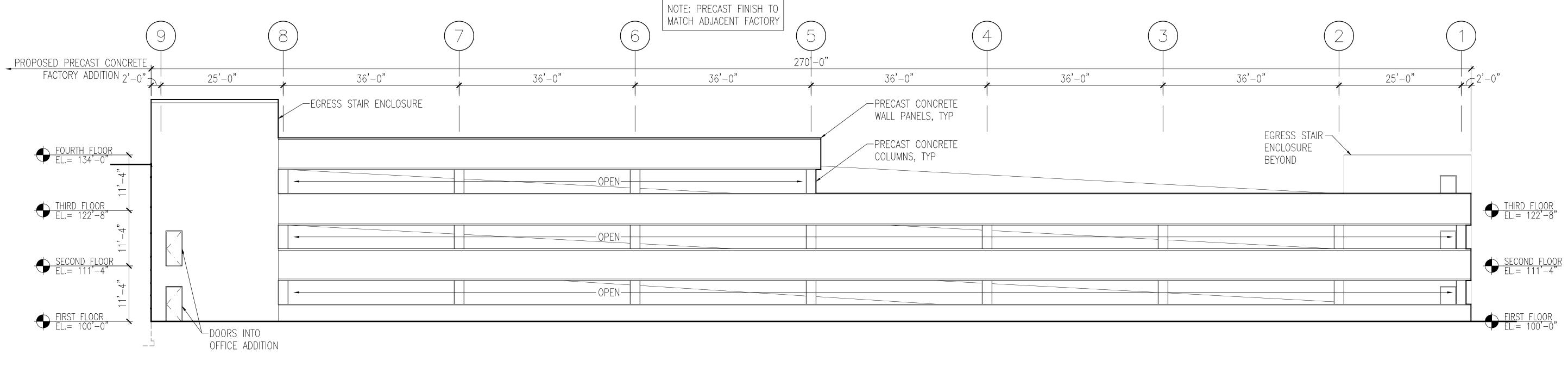
AMENDMENT TO DETAILED PLANNED DEVELOPMENT

FOUNDATION ARCHITECTS PROJECT NUMBER 15012

DATE 01-29-2016

SHEET TITLE
EXTERIOR ELEVATIONS - PARKING
GARAGE
SHEET NUMBER

A400-P



NOTE: PRECAST FINISH TO MATCH ADJACENT FACTORY

36'-0"

PRECAST CONCRETE — WALL PANELS, TYP

PRECAST CONCRETE — COLUMNS, TYP

36'-0"

36'-0"

36'-0"

EXTERIOR ELEVATION — PROPOSED PARKING GARAGE ADDITION B1 EXTER

25'-0"

36'-0"

— FUTURE EGRESS STAIR ENCLOSURE EXPANSION

EXTERIOR ELEVATION — PROPOSED PARKING GARAGE ADDITION

SOUTH

THIRD FLOOR EL.= 122'-8"

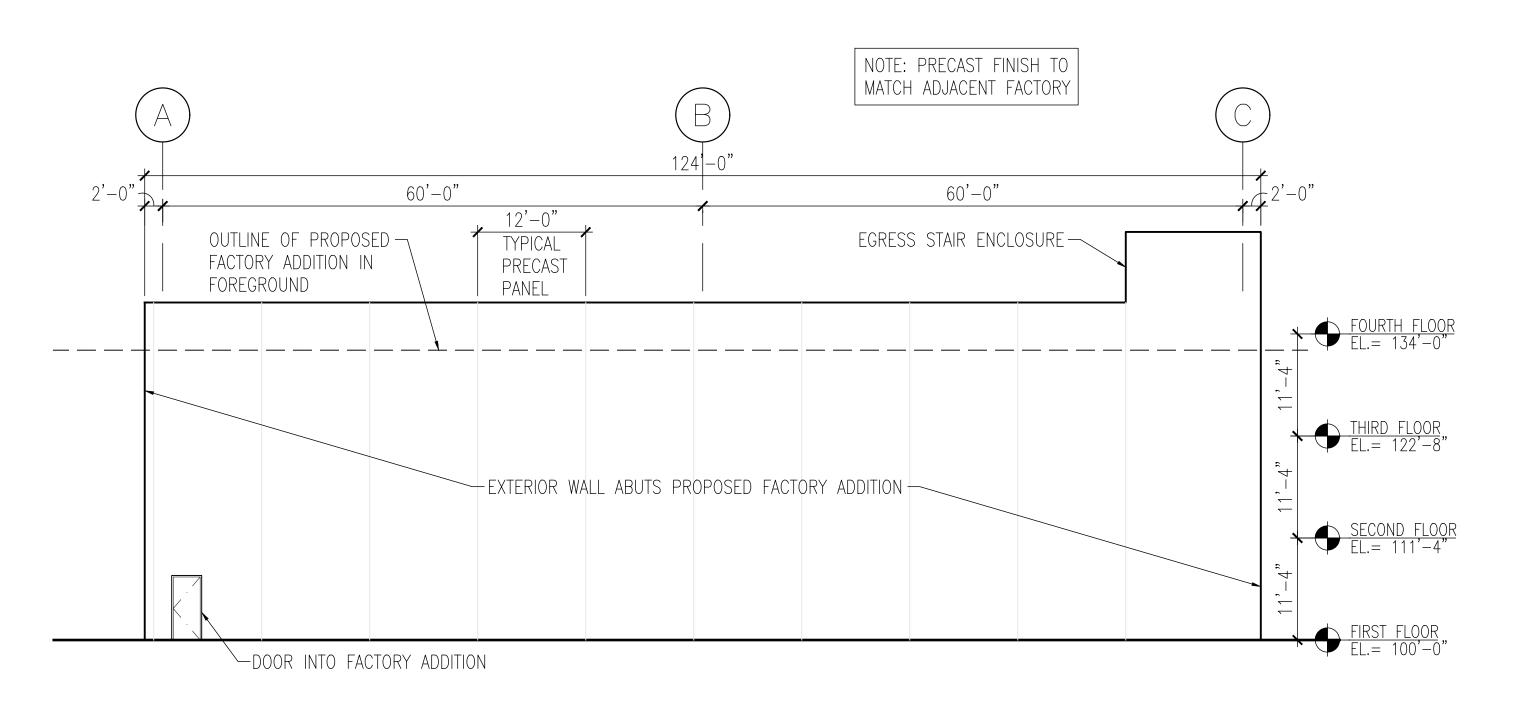
SECOND FLOOR EL.= 111'-4"

PROPOSED PRECAST CONCRETE 2'-0" FACTORY ADDITION

25'-0"

36'-0"

EGRESS STAIR ——— ENCLOSURE BEYOND



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EXTERIOR ELEVATION — PROPOSED PARKING GARAGE ADDITION

3/32"=1'-0"

NOTE: PRECAST FINISH TO MATCH ADJACENT FACTORY 60'-0" 60'-0" -EGRESS STAIR ENCLOSURE BEYOND FUTURE EGRESS STAIR — ENCLOSURE EXPANSION PRECAST CONCRETE — WALL PANELS, TYP FOURTH FLOOR EL.= 134'-0" PRECAST CONCRETE COLUMNS, TYP CLEAR ANODIZED ALUMINUM WINDOW SYSTEM -OPEN-SPANDREL
GLAZING, TYP OPEN OPEN WHEEL STOP CURB PARKING GARAGE ENTRANCE AND EXIT LANES

HellermannTyton Corporation
Good Hope Road Facility Addition Phase 3
6701 West Good Hope Road
Milwaukee, Wisconsin 53224 AMENDMENT TO DETAILED PLANNED
DEVELOPMENT
FOUNDATION ARCHITECTS PROJECT NUMBER
15012 DATE 01-29-2016 SHEET TITLE
EXTERIOR ELEVATIONS - PARKING
GARAGE
SHEET NUMBER

A401-P

PROJECT TITLE AND LOCATION

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1/8"=1'-0"

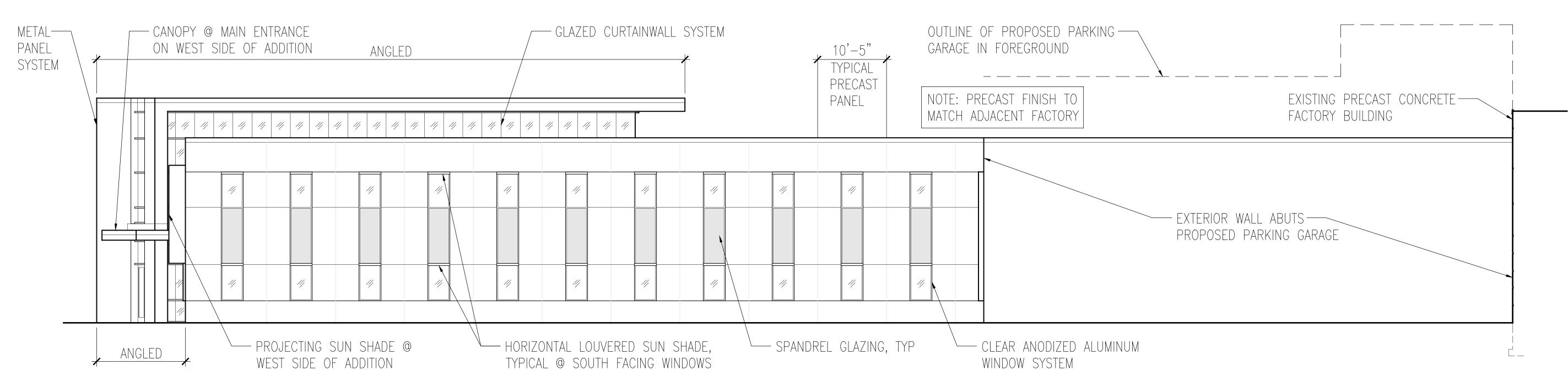
HellermannTyton Corporation
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AMENDMENT TO DETAILED PLANNED DEVELOPMENT

DATE 01-29-2016

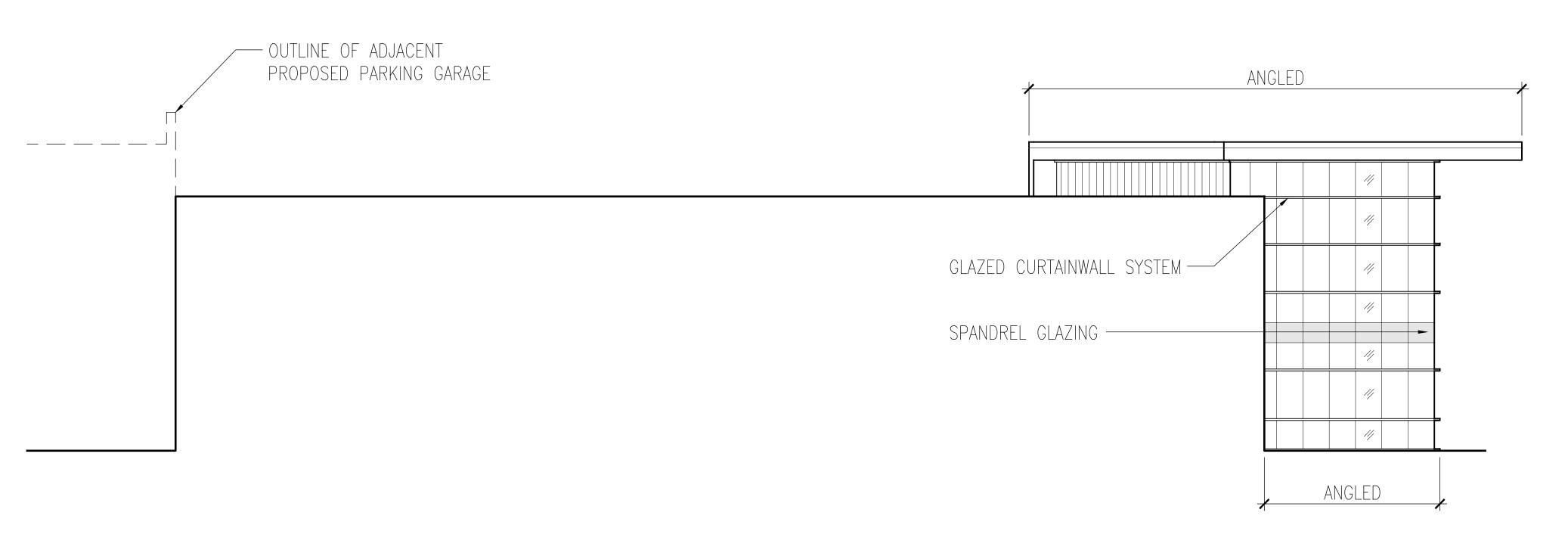
SHEET TITLE
EXTERIOR ELEVATIONS - OFFICE A400-O

1/8"=1'-0"

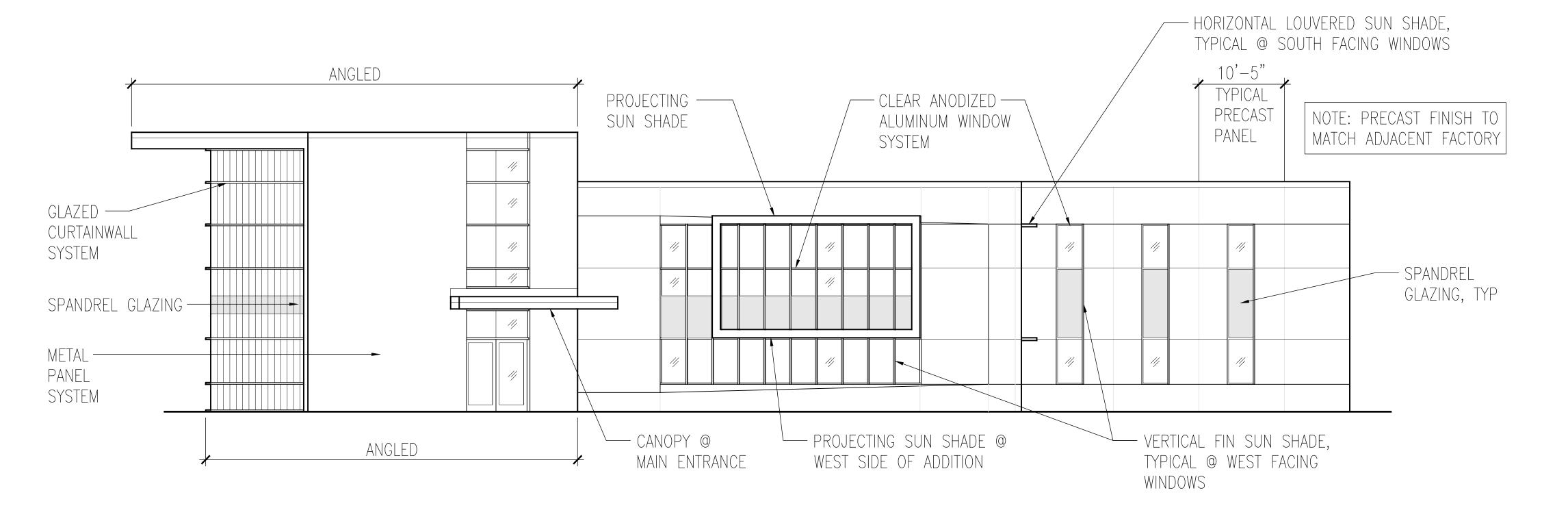


EXTERIOR ELEVATION — PROPOSED OFFICE ADDITION

B1 EXTER



EXTERIOR ELEVATION — PROPOSED OFFICE ADDITION 1/8"=1'-0"



EXTERIOR ELEVATION — PROPOSED OFFICE ADDITION

WEST

A401-O 1/8"=1'-0"

HellermannTyton Corporation Good Hope Road Facility Addition Phase 3 6701 West Good Hope Road Milwaukee, Wisconsin 53224

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SET TYPE
AMENDMENT TO DETAILED PLANNED
DEVELOPMENT
FOUNDATION ARCHITECTS PROJECT NUMBER
15012

DATE 01-29-2016

SHEET TITLE
EXTERIOR ELEVATIONS - OFFICE