

ARCHITECTURE - MASTER PLANNING - INTERIOR DESIGN

ARCHITECTS+PLANNERS, S.C.

32nd & HAMPTON
MILWAUKEE, WI

CONTINUUM ARCHITECTS + PLANNERS, S.C.
PROJECT # 080101

OWNER:
CommonBond Communities
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

CONSULTING ARCHITECT:
CONTINUUM ARCHITECTS + PLANNERS, S.C.

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MILWAUKEE, WI 53204
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CONSULTING CIVIL ENGINEER:
Graef, Anhalt, Schloemer & Associates, Inc.

One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, Wisconsin 53214

CONSULTING STRUCTURAL ENGINEER:
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125 South 84th Street, Suite 401
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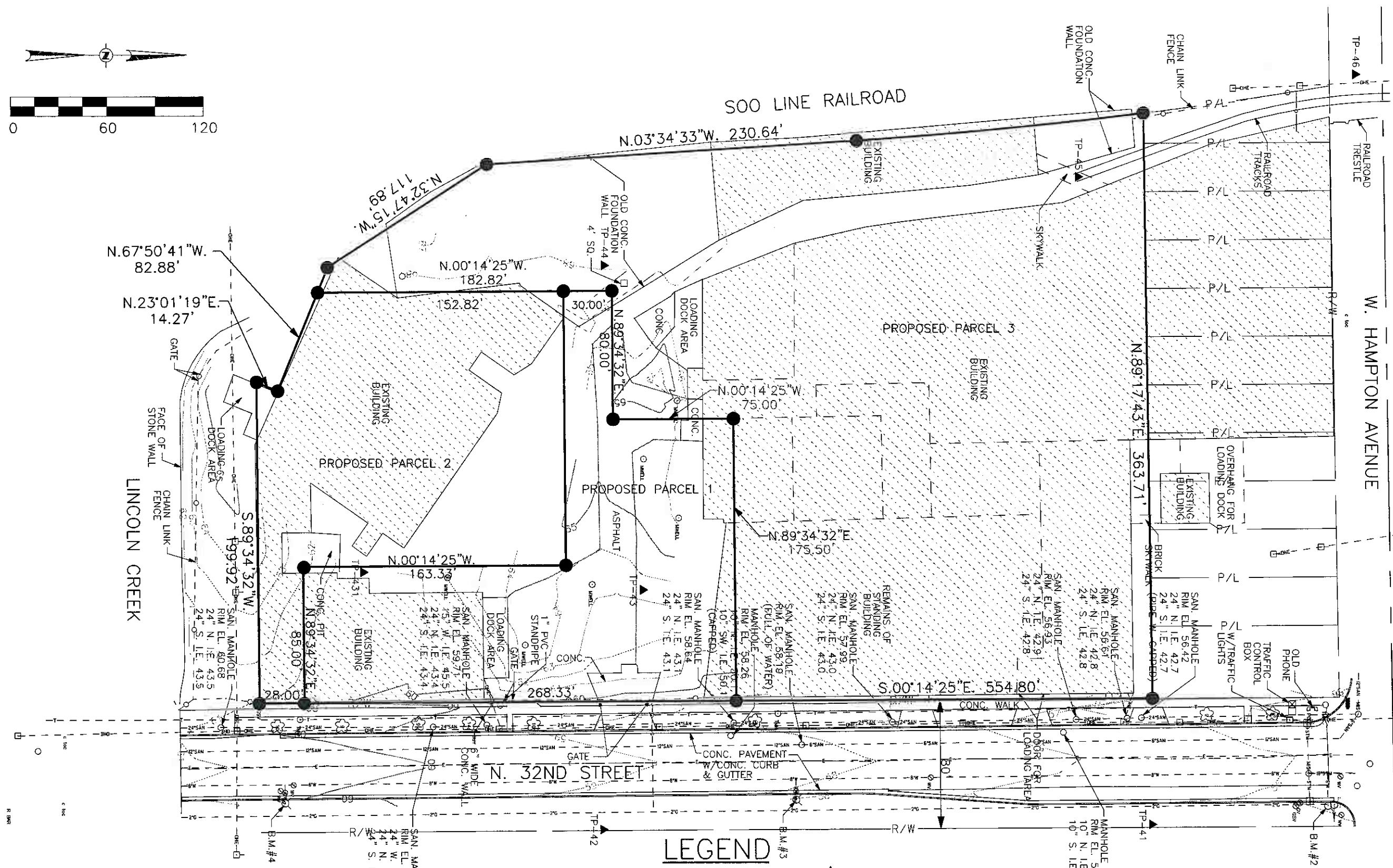
DETAILED PLAN DEVELOPMENT SUBMITTAL



10		
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DPD-1

MISSIONS CREEK HOUSING CAP PROJECT
40, 550101-
CONTRACT 02

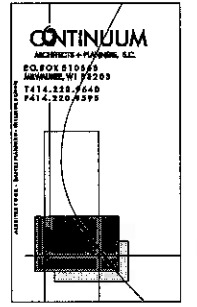


LEGEND

- ONE --- OVERHEAD ELECTRIC
- EPSAN --- SANITARY SEWER
- 8" --- WATER MAIN
- 6" --- BURIED GAS MAIN
- E --- BURIED ELECTRIC
- F --- FENCE
- R/W --- RIGHT-OF-WAY
- C --- EXISTING CONTOUR
- ▲ TP-431 TRAVERSE POINT
- ⊕ DECIDUOUS TREE
- ⊞ POWER POLE
- ⊙ HYDRANT
- ⊙ WV WATER VALVE
- ⊙ MWELL MONITORING WELL
- ⊙ MANHOLE
- ▨ EXISTING BLDG.

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

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BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

**GRAEF
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and Associates Inc.
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125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
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FAX 259-0037

REVISION	DATE	BY	CHK

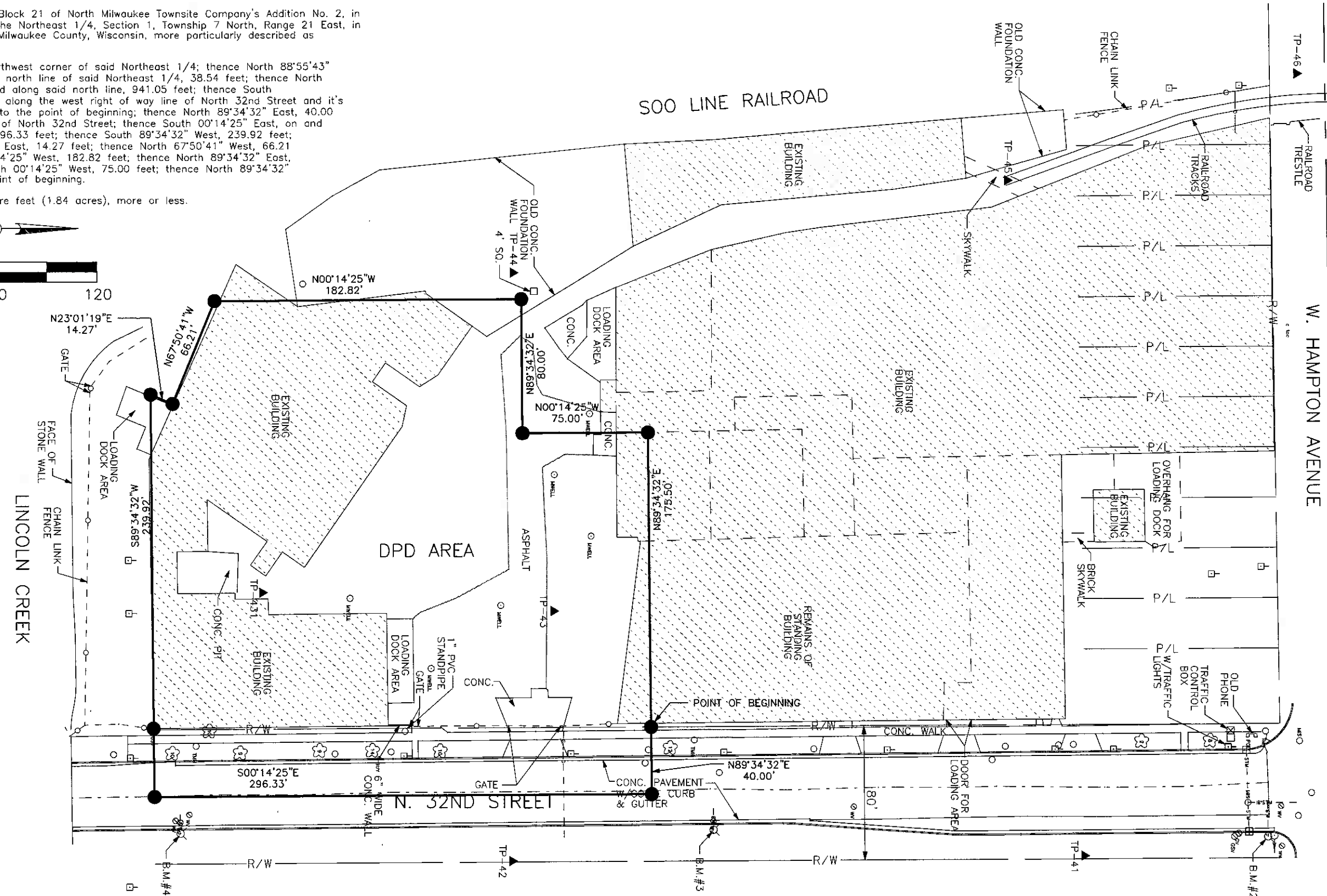
BISHOPS CREEK HOUSING EXISTING SITE SURVEY

PROJECT #: 080101
DATE: JUNE 23, 2008
ISSUE: DPD SUBMITTAL
DPD-2
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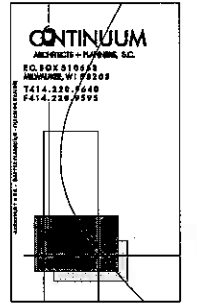
That part of Lot B of Block 21 of North Milwaukee Townsite Company's Addition No. 2, in the Northwest 1/4 of the Northeast 1/4, Section 1, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, more particularly described as follows:

Commencing at the northwest corner of said Northeast 1/4; thence North 88°55'43" East, on and along the north line of said Northeast 1/4, 38.54 feet; thence North 89°17' 43" East, on and along said north line, 941.05 feet; thence South 00°14'25" East, on and along the west right of way line of North 32nd Street and its extension, 407.69 feet to the point of beginning; thence North 89°34'32" East, 40.00 feet to the center line of North 32nd Street; thence South 00°14'25" East, on and along said centerline, 296.33 feet; thence South 89°34'32" West, 239.92 feet; thence North 23°01'19" East, 14.27 feet; thence North 67°50'41" West, 66.21 feet; thence North 00°14'25" West, 182.82 feet; thence North 89°34'32" East, 80.00 feet; thence North 00°14'25" West, 75.00 feet; thence North 89°34'32" East, 175.50 to the point of beginning.

Containing 80,023 square feet (1.84 acres), more or less.



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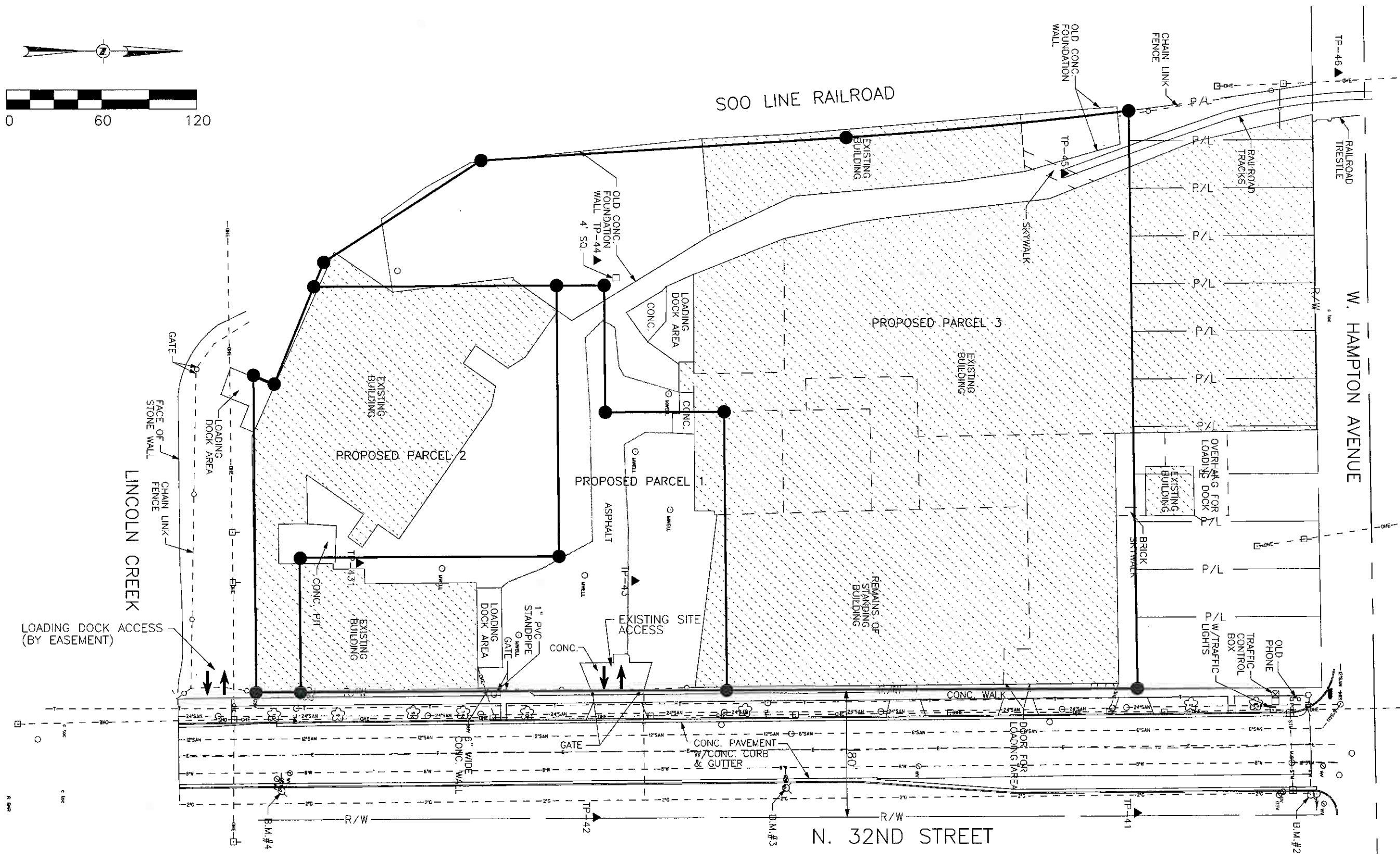
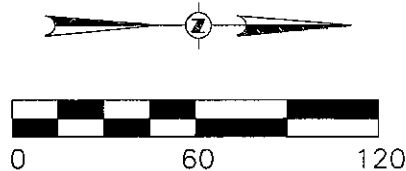
BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900



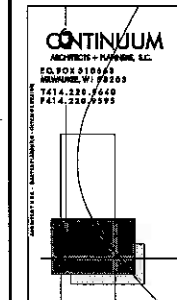
REVISION	DATE	BY	CHK

BISHOPS CREEK HOUSING
PROPOSED PROJECT
BOUNDARY DESCRIPTION

PROJECT #: 080101
DATE: JUNE 23, 2008
SCALE: DPD SUBMITTAL
DPD-3
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BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
228 Kellogg Boulevard
West St. Paul, MN 55102-1900



One Henry Creek Corporate Center
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FAX 229-0937

REVISIONS	DATE	ISSUE

BISHOPS CREEK HOUSING EXISTING FACILITIES SITE PLAN

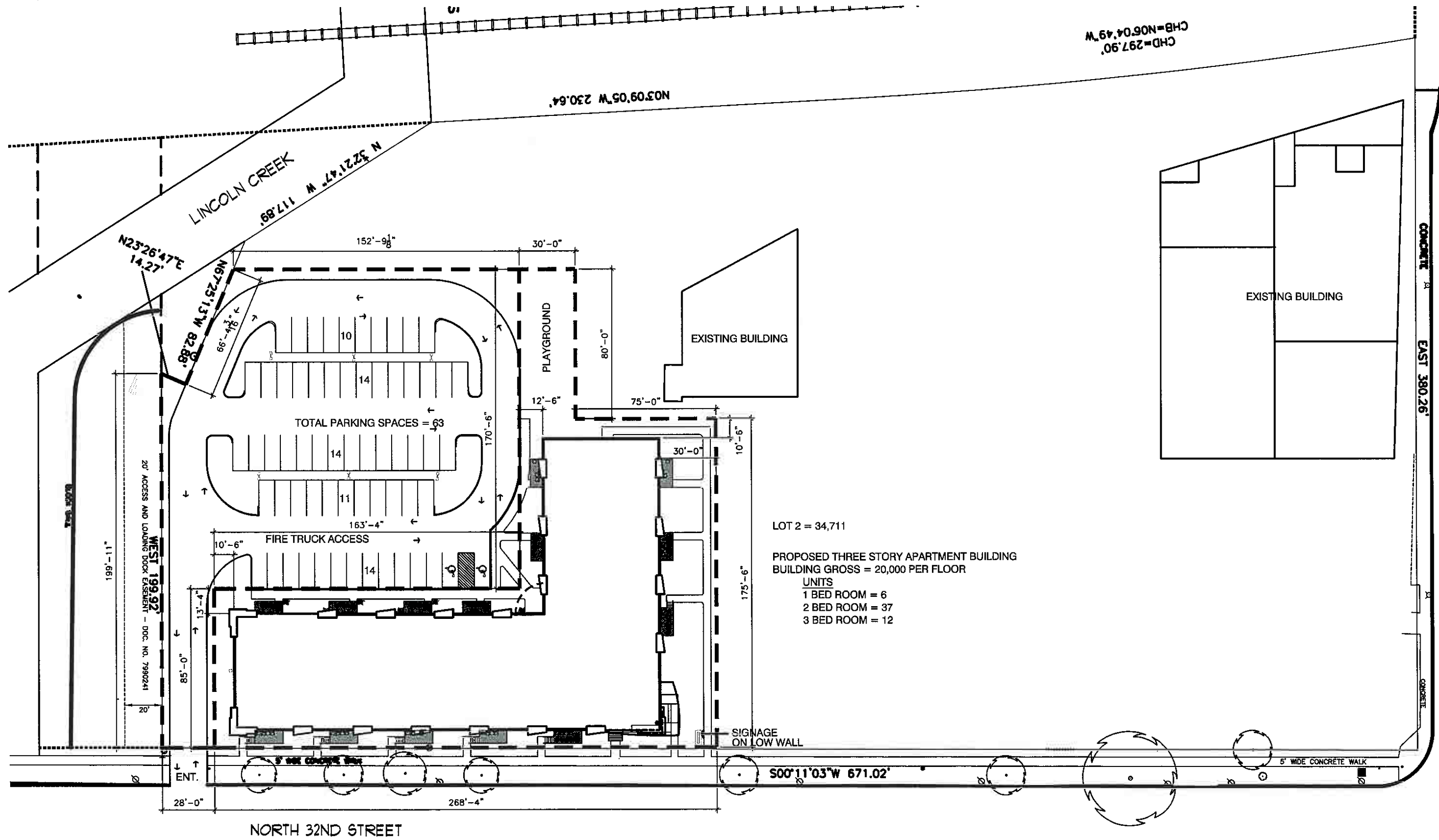
PROJECT # : 080101

DATE : JUNE 23, 2008

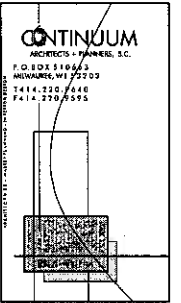
ISSUE : DPD SUBMITTAL

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SITE PLAN 1:50'



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

ISSUE	DATE	REMARKS

BISHOPS CREEK HOUSING PROPOSED ARCHITECTURAL SITE PLAN

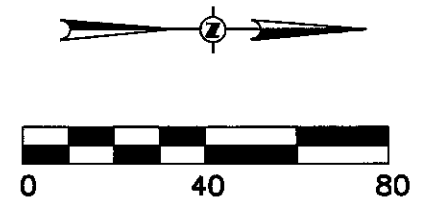
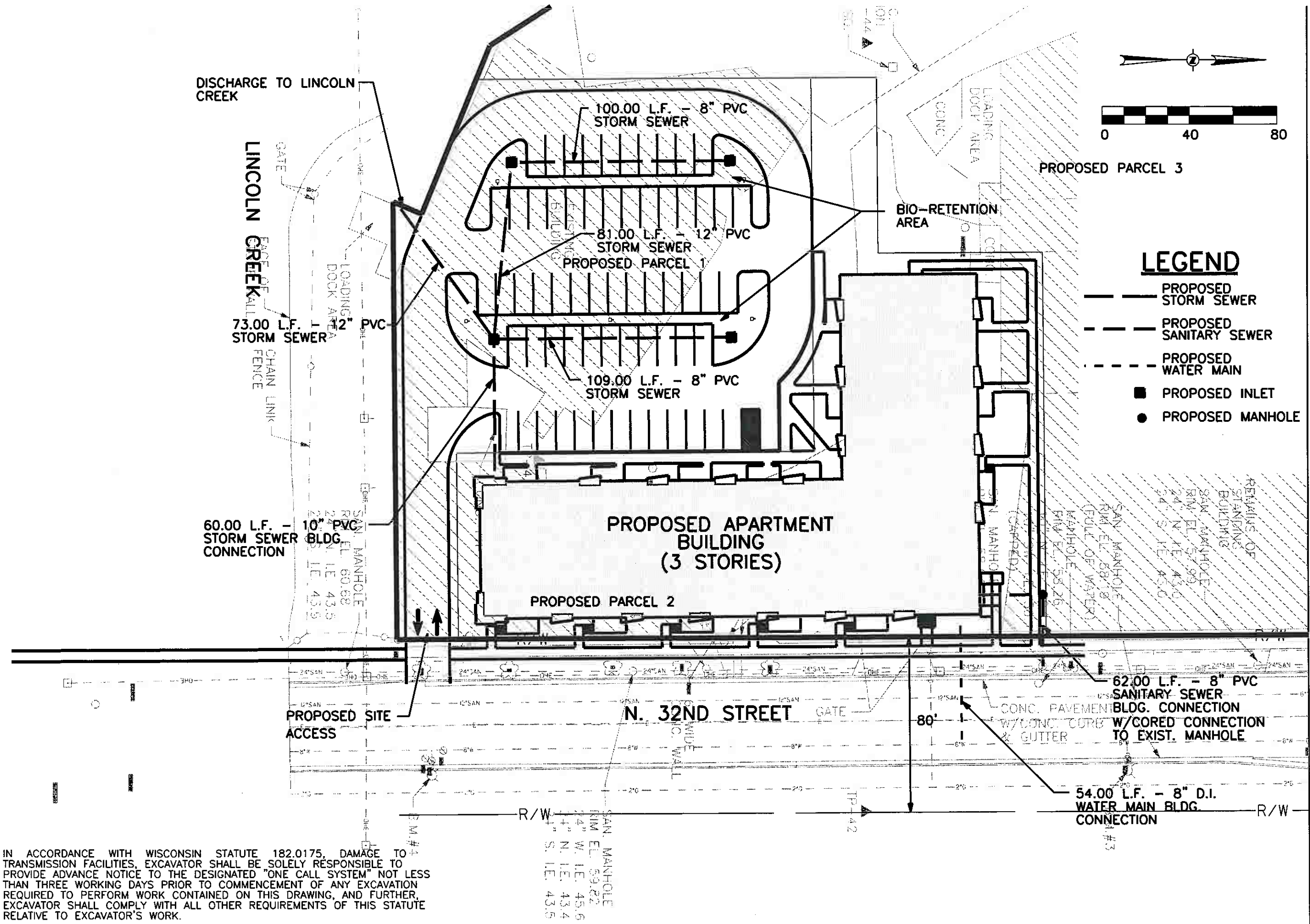
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ISSUE : DPD SUBMITTAL

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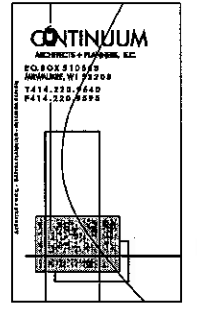
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PROPOSED PARCEL 3

LEGEND

- PROPOSED STORM SEWER
- - - PROPOSED SANITARY SEWER
- - - PROPOSED WATER MAIN
- PROPOSED INLET
- PROPOSED MANHOLE



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
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REVISIONS	
DATE	DESCRIPTION

BISHOPS CREEK HOUSING
PROPOSED UTILITY PLAN

PROJECT # : 080101
DATE : JUNE 23, 2008
ISSUE : DPD SUBMITTAL
DPD-6
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NOTE

ALL ELEVATIONS BASED ON THE CITY OF MILWAUKEE DATUM AND CAN BE CONVERTED TO MEAN SEA LEVEL, 1929 ADJUSTMENT, BY ADDING 580.60.

100 YR. FLOODPLAIN ELEV: 60

LINCOLN CREEK

FACE OF CHAIN LINK FENCE

LOADING DOCK AREA

GATE

63 PARKING SPACES

PLAYGROUND AREA

PROPOSED PARCEL 3

PROPOSED PARCEL 2

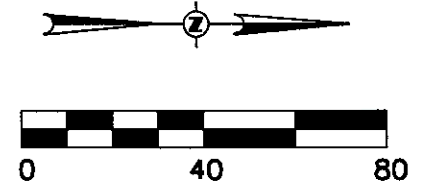
PROPOSED APARTMENT BUILDING
F.F. = 63.00

PROPOSED PARCEL 1

N. 32ND STREET

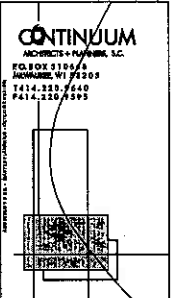
R/W

R/W



LEGEND

- 64 — EXISTING CONTOUR
- 64 --- PROPOSED CONTOUR



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West St. Paul, MN 55102-1900



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BISHOPS CREEK HOUSING
PROPOSED GRADING PLAN

PROJECT #: 080101
DATE: JUNE 23, 2008
ISSUE: DPD SUBMITTAL

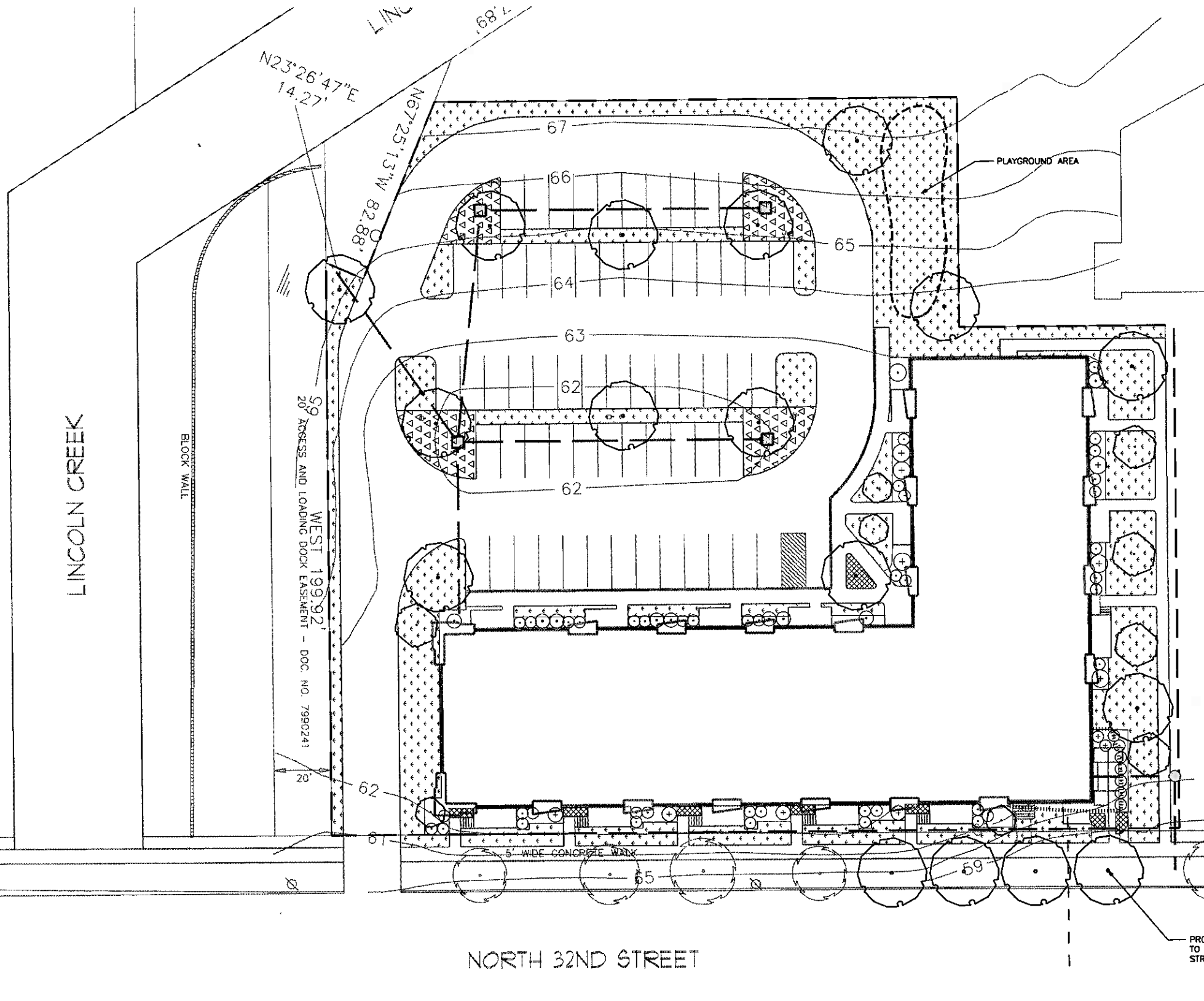
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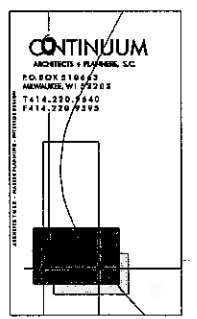
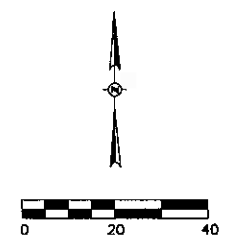
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LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE
- PROPOSED SHADE TREE
- ⊕ PROPOSED EVERGREEN TREE
- ⊙ PROPOSED ORNAMENTAL TREE
- ⊖ PROPOSED DECIDUOUS SHRUB
- ⊕ PROPOSED EVERGREEN SHRUB
- ⊙ PROPOSED ORNAMENTAL GRASS
- ⊖ PROPOSED ALUMINUM EDGER
- ▨ PROPOSED PERENNIALS
- ⬢ PROPOSED NO MOW SEED MIX
- ⬢ PROPOSED BIOINFILTRATION SWALE MIX



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Valley Boulevard
West St. Paul, MN 55102-1900

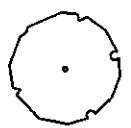
**GRAEF
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414-259-1508
FAX 259-9037

REMARKS		
ISSUE	DATE	

**BISHOPS CREEK HOUSING
PROPOSED PLANTING PLAN**

PROJECT #: 080101
DATE: JUNE 23, 2008
ISSUE: DPD SUBMITTAL

DPD-8
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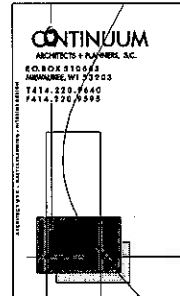


PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
SHADE TREES					
ARR	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5" BB	as shown	45'h x 35'w
AFA	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5" BB	as shown	50'h x 40'w
BNG	Betula nigra	River Birch	2.5" BB	as shown	40'h x 30'w
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5" BB	as shown	60'h x 50'w
GDO	Gymnocladus dioica	Kentucky Coffeetree	2.5" BB	as shown	50'h x 50'w
QBC	Quercus bicolor	Swamp White Oak	2.5" BB	as shown	50'h x 50'w
QMC	Quercus macrocarpa	Bur Oak	3.5" BB	as shown	60'h x 80'w
ULT	Ulmus x 'Triumph'	Triumph Elm			55'h x 45'w
EVERGREEN TREES					
PPG	Picea pungens	Green Colorado Spruce	6'-8'-10' BB	as shown	60'h x 20'w
ORNAMENTAL TREES					
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10'-12'clump BB	as shown	20'h x 15'w
CPP	Crataegus phaenopyrum	Washington Hawthorn	10'-12'clump BB	as shown	30'h x 25'w
MPF	Malus 'Prairie Fire'	Prairie Fire Crabapple	6'-8' BB	as shown	20'h x 20'w
PMK	Prunus maackii	Amur Chokecherry	10'-12'clump BB	as shown	25'h x 25'w
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	10'-12'clump BB	as shown	25'h x 20'w
DECIDUOUS SHRUBS					
BTT	Berberis thunbergii 'Thornless'	Thornless Barberry	24" BB	5'	3'-5'h x 4'-6'w
DVL	Diervilla lonicera	Dwarf Bush honeysuckle	5 gal.	4'	4'h x 4'w
HAA	Hydrangea Arborescens 'Annabelle'	Annabelle Hydrangea	30" cont	4'	5'h x 5'w
HAW	Hydrangea Arborescens 'White Dome'	White Dome Hydrangea	30" cont	5'	4'-6'h x 4'-5'w
PON	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	24" cont.	4'	5'h x 5'w
RRB	Rosa rugosa 'Belle Poitevine'	Belle Poitevine Rugosa Rose	24" cont.	5'	4'-5'h x 4'-5'w
SJF	Spiraea japonica 'Froebeli'	Froebel Spirea	24" cont.	4'	3'-4'h x 4'-5'w
SVH	Spiraea x vanhouttei	Vanhoutte Spirea	36" BB	7'	
VLM	Viburnum latana 'Mohican'	Mohican Viburnum	36" BB	7'	8'-10'h x 10'-12'w
VJD	Viburnum x Judii	Judd Viburnum	48" BB	5'	7'h x 7'w
EVERGREEN SHRUBS					
JCI	Juniperus chinensis 'Iowa'	Iowa Juniper	42" BB	5'	10'-15'h x 4'-5'w
JCK	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Pfizer Juniper	5 gal.	4'	2'-3'h x 5' w
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper	48" BB	5'	5'h x 6'w
TMH	Taxus x media 'Hicksii'	Hicks Yew	36" BB	5'	10'-15'h x 4'-6'w
TMT	Taxus x media 'Tauntonii'	Taunton Spreading Yew	36" BB	4'	3'-4'h x 4'-6'w
PERENNIALS					
CMA	Chrysanthemum maxima 'Alaska'	Alaska Daisy	1 gal.	24"	24'h x 18" w
EPK	Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Coneflower	1 gal.	18"	18'h x 18" w
GFF	Gaillardia 'Fanfare'	Fanfare Blanket Flower	1 gal.	18"	18'h x 18" w
HRR	Hermercallis 'Rosy Returns'	Rosy Returns Daylily	1 gal.	18"	18'h x 18"-20" w
PRL	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	24"	24" w x 25" h
SAJ	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.	24"	18'h x 24" w
ORNAMENTAL GRASSES					
CAK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	5 gal.	36"	5'h x 30" w
MSG	Miscanthus sinensis 'Gracillimus'	Maiden Grass	1 gal.	36"	4'-6'h x 36" w
MSP	Miscanthus sinensis 'Purpureus'	Purple Maiden Grass	5 gal.	36"	4'h x 36" w
MSV	Miscanthus sinensis 'Variegatus'	Variegatus Miscanthus	1 gal.	36"	6'-9'h x 4' w
PVH	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	5 gal.	36"	4'-5'h x 30" w

Swale Seed Mix			PLS	
Apply Seed at a rate of 27.52lbs/Acre			Ounces/Acre	
Botanical Name	Common Name			
Permanent Grasses/Sedges:				
Andropogon gerardii	Big Bluestem		12.00	
Carex comosa	Bristly Sedge		2.00	
Carex cristatella	Crested Oval-Sedge		2.00	
Carex lurida	Bottle Brush Sedge		2.50	
Carex sparganioides v. cephaloidea	Rough Clustered Sedge		3.00	
Carex vulpinoidea	Brown Fox Sedge		3.00	
Elymus virginicus	Virginia Wild Rye		8.00	
Glyceria striata	Fowl Manna Grass		1.00	
Panicum virgatum	Switch Grass		2.00	
Scirpus atrovirens	Dark Green Rush		2.00	
Scirpus cyperinus	Wool Grass		0.50	
Spartina pectinata	Prairie Cord Grass		2.50	
Total			40.50	
Temporary Cover:				
Avena sativa	Common Oat		360.00	
Lolium multiflorum	Annual Rye		28.00	
Total			388.00	
Forbs:				
Alisma spp.	Water Plantain (Various Mix)		1.00	
Asclepias incarnata	Swamp Milkweed		2.00	
Aster novae-angliae	New England Aster		0.50	
Coreopsis tripteris	Tall Coreopsis		2.00	
Eupatorium maculatum	Spotted Joe-Pye Weed		0.25	
Iris virginica	Blue Flag Iris		3.00	
Liatris spicata	Marsh Blazing Star		2.00	
Lobelia cardinalis	Cardinal Flower		0.25	
Lobelia siphilitica	Great Blue Lobelia		0.50	
Sagittaria latifolia	Broad-Leaf Arrowhead		0.75	
Silphium terebinthinaceum	Prairie Dock		1.00	
Verbena hastata	Blue Vervain		1.00	
Zizia aurea	Golden Alexanders		0.75	
Total			15.00	

NO MOW LAWN SEED MIX (As Mfg. By Prairie Nursery)

INSTALL SEED AT 220 LBS./ACRE
A BLEND OF SIX FINE FESCUE VARIETIES
ANNUAL RYE NURSE CROP



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900



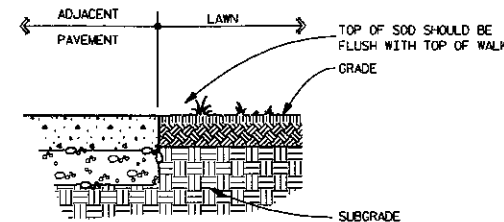
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BISHOPS CREEK HOUSING
PLANTING DETAILS

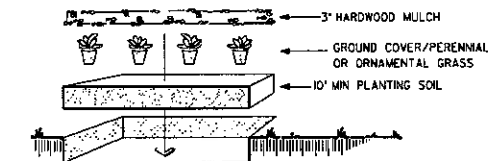
PROJECT # : 080101
DATE : JUNE 23, 2008
ISSUE : DPD SUBMITAL

PLANTING NOTES:

- Contractor shall be responsible for becoming aware of all related existing and proposed conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
- The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Construction Manager for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish all planting and related operations.
- See Specifications and Details for planting methods, requirements, soil testing, materials, execution and plant protection.
- The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting, and other plans. Plants shall be spaced as per plans. Final location and staking of all plant materials shall be accepted by the Landscape Architect in advance of plantings. Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- See details and specifications for plant staking methods, plant pit dimensions, backfill and other related requirements.
- If conflicts arise between size of areas and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
- It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to prior approval of Owner's Representative before installation.
- Form 72 inch, or as otherwise indicated, watering basin around all trees not installed in lawn or paved areas. Fill basins with 4" inch layer of mulch. Maintain 72 inch diameter minimum clear soil area around all trees in manicured turf, mulch soil with 4" of wood mulch. See details.
- The Contractor shall fine grade, rake and be responsible for positive drainage away from all structures and throughout site, with accurately set flow lines. No low spots or ponding of surface water will be accepted in the final work. No rocks or debris will be accepted. Final grade tolerances are +/-0.1 foot maximum.
- All planting beds to be separated from adjacent lawn with shovel cut edge per specifications. Stake per plans for review/acceptance by Landscape Architect, prior to installation. Install per details on "planting detail" sheet.
- Where provided, area takeoffs and plant quantity estimates are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans (plant symbols) take precedence over call-outs and/or "plant list".
- Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, drainage curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- Unless otherwise indicated:
 - All groundcovers, shrubs and flowers shall be placed in straight rows equally.
 - All planting areas including seed and planting beds, shall receive soil amendments per specifications, other drawings, and/or approved methods.
- The Contractor is responsible to "restore" all areas of the site, or adjacent areas, where disturbed. Turf areas disturbed shall be restored with new sod.
- The landscape contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, or other damage to plants. A "planting window" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule. See specifications for more information.
- Mulching material shall be natural shredded hardwood bark mulch, free of soil stones, sticks, debris or other foreign matter. Mulch shall be of fibrous wood nature, 2" min. - 3" max. length. A sample shall be delivered to Landscape Architect for approval at least 24-hours prior to delivery to the site.
- Plant substitutions by the landscape contractor will not be permitted unless it can be verified unequivocally that the plants are not available from nursery sources located a reasonable distance from the project site. If this should happen, any proposed plant substitution will require prior review and approval by the project Landscape Architect and DPRC/Owner.

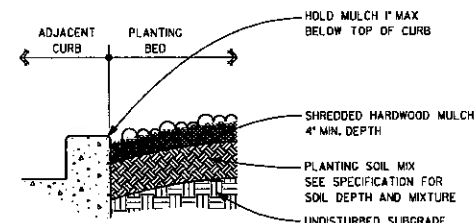


5 LAWN EDGE @ PAVEMENT

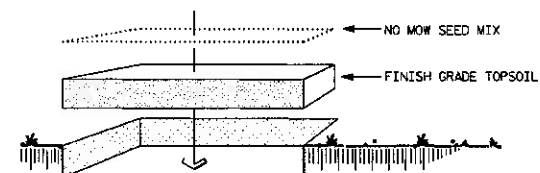


LANDSCAPE CONTRACTOR SHALL IMPORT 6\"/>

6 GROUND COVER/ORN. GRASS PERENNIAL PLANTING DETAIL

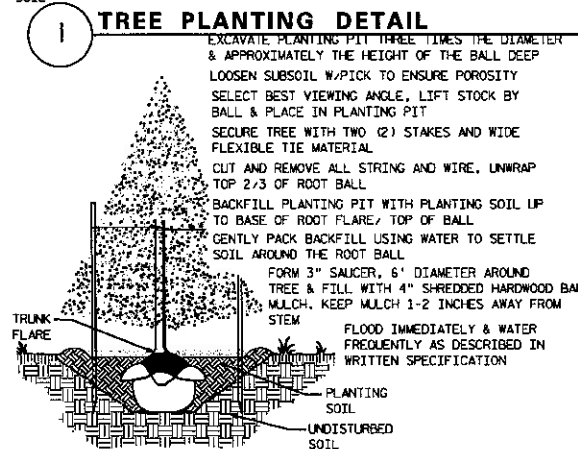
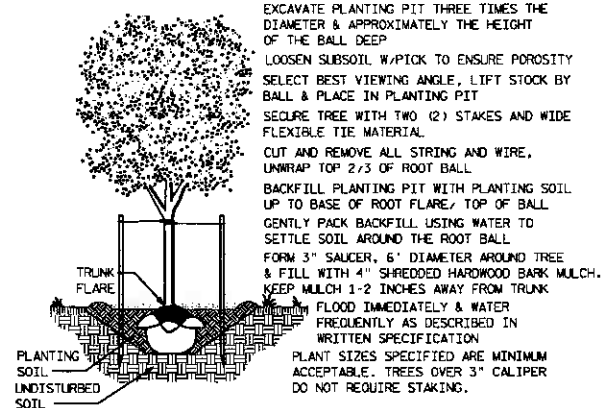


7 MULCH EDGE AT CURB

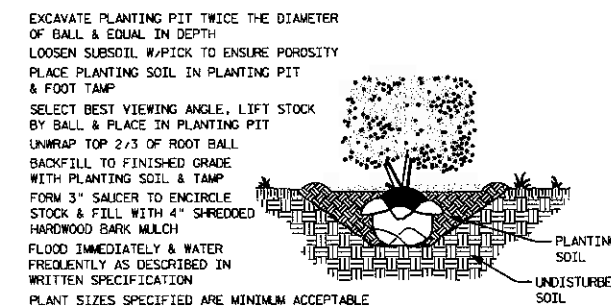


EXISTING TOPSOIL WILL BE STOCKPILED ON SITE FOR DISTRIBUTION OVER INFILTRATION BASIN AND SEDIMENTATION WETLAND BY EARTHWORK CONTRACTOR. LANDSCAPE ARCHITECT TO APPROVE PREPARED SEEDBED BEFORE SEED IS PLANTED. FAILURE TO OBTAIN LANDSCAPE ARCHITECT'S APPROVAL WILL RESULT IN REJECTION OF THE SEEDING WORK. PRIOR TO SPREADING, THE EARTHWORK CONTRACTOR SHALL CLEAN TOPSOIL OF ROOTS/STONES/FOREIGN MATTER. LANDSCAPE CONTRACTOR TO AMEND TOPSOIL W/ SPECIFIED PRODUCTS TO ACHIEVE 6.0 TO 7.0 PH ACTIVITY. LANDSCAPE ARCHITECT SHALL APPROVE FINISHED LAWN GRADE @ UNIFORM NATURAL SLOPES PRIOR TO THE SEWING OF SEED. SEED BLEND & PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION. LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS DESCRIBED IN WRITTEN SPECIFICATION. SEE LANDSCAPE PLAN FOR LOCATION OF VARIOUS SEED MIXES.

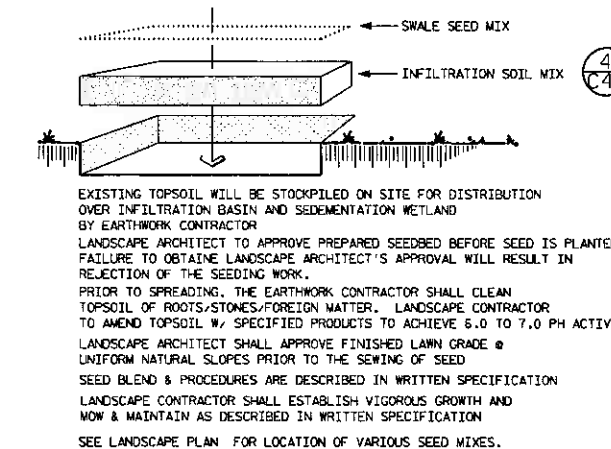
8 NO-MOW SEED MIX - PLANTING DETAIL



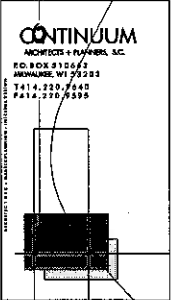
2 EVERGREEN PLANTING DETAIL



3 SHRUB PLANTING DETAIL



4 SWALE SEED MIX - PLANTING DETAIL
FOR ALL AREAS TO BE SEEDD OUTSIDE OF BIORETENTION AREA



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

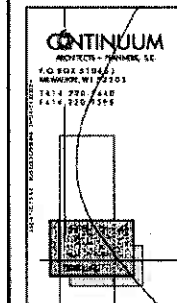


REMARKS	DATE	ISSUE

BISHOPS CREEK HOUSING
PLANTING DETAILS

PROJECT #: 080101
DATE: JUNE 23, 2008
ISSUE: DPD SUBMITTAL

DPD-8B
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BISHOPS CREEK HOUSING
 COMMON BOND COMMUNITIES
 328 Kellogg Boulevard
 West St. Paul, MN 55102-1900

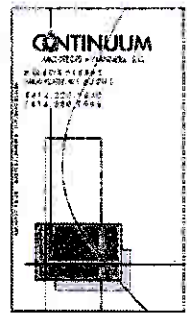
ISSUE	DATE	REMARKS

BISHOPS CREEK HOUSING
 PROPOSED BUILDING EXTERIOR IMAGE

PROJECT # : 080101
 DATE : JUNE 22, 2008
 ISSUE : DPD SUBMITTAL

DPD-9

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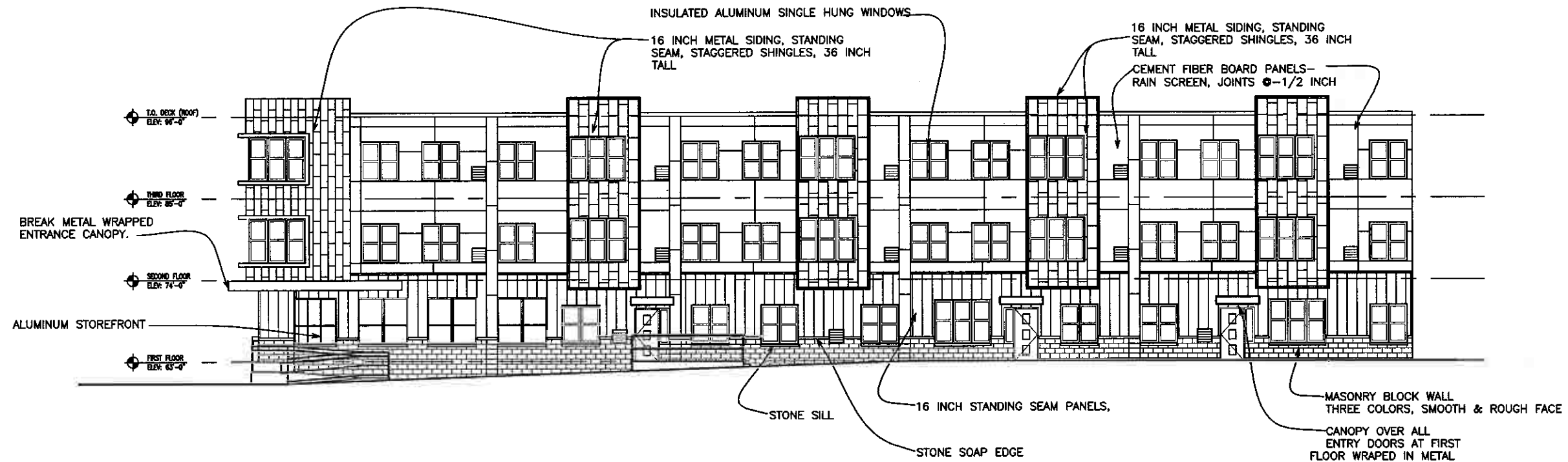
BISHOPS CREEK HOUSING
 COMMON BOND COMMUNITIES
 328 Kellogg Boulevard
 Wood St. Park, MN 55102-1100

ISSUE	DATE	REMARKS

BISHOPS CREEK HOUSING
 PROPOSED BAY STUDY WITH MATERIALS

PROJECT # : 082101
 DATE : JUNE 23, 2003
 DRAWN BY : DND/STRENGTH

DPD-9A



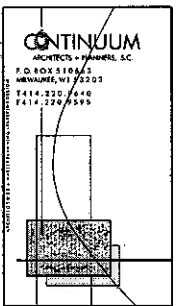
NORTH ELEVATION

1/16"=1'-0"



EAST ELEVATION

1/16"=1'-0"



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kallaggs Boulevard
West St. Paul, MN 55102-1900

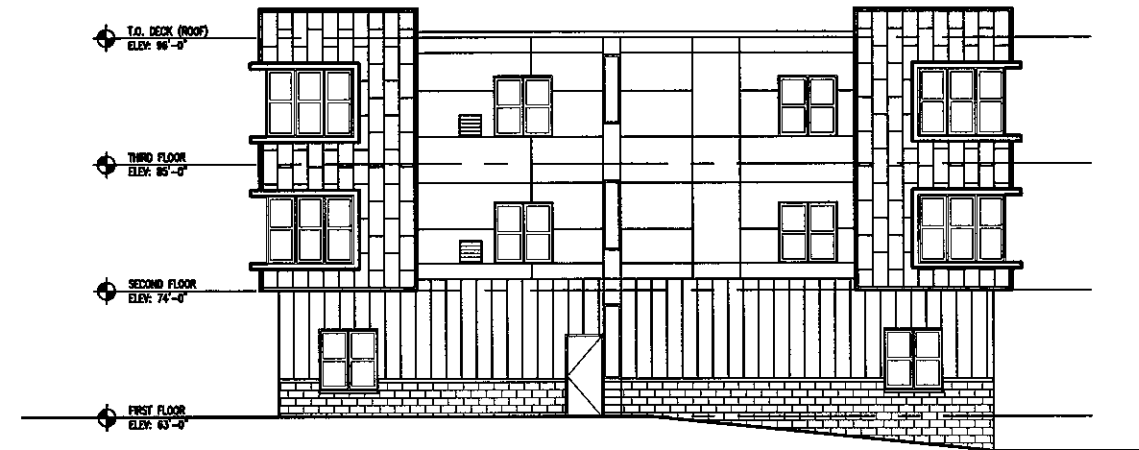
REVISIONS	DATE	ISSUE

BISHOPS CREEK HOUSING
PROPOSED NORTH & EAST FACADE

PROJECT #: 080101
DATE: JUNE 23, 2008
ISSUE: DPO SUBMITTAL

DPD-9B

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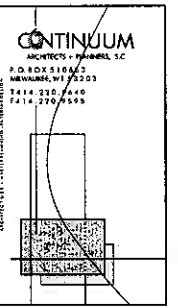
SOUTH ELEVATION

1/16"=1'-0"



SOUTH ELEVATION

1/16"=1'-0"



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

ISSUE	DATE	REMARKS
1		
2		
3		
4		
5		

BISHOPS CREEK HOUSING
PROPOSED SOUTH FACADES 1 & 2

PROJECT # : 080101
DATE : JUNE 23, 2008
ISSUE : DPD SUBMITTAL

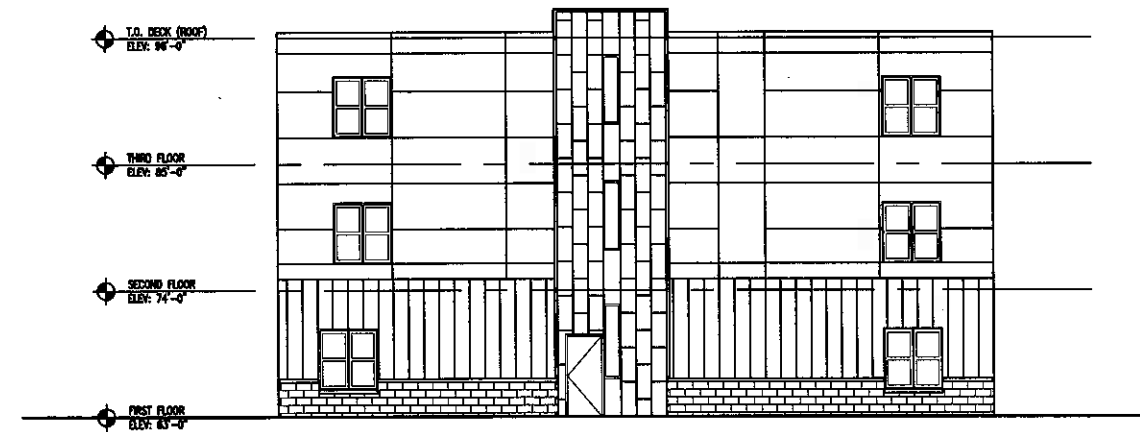
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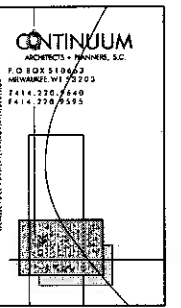
WEST ELEVATION

1/16"=1'-0"



WEST ELEVATION

1/16"=1'-0"



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kellogg Boulevard
West St. Paul, MN 55102-1900

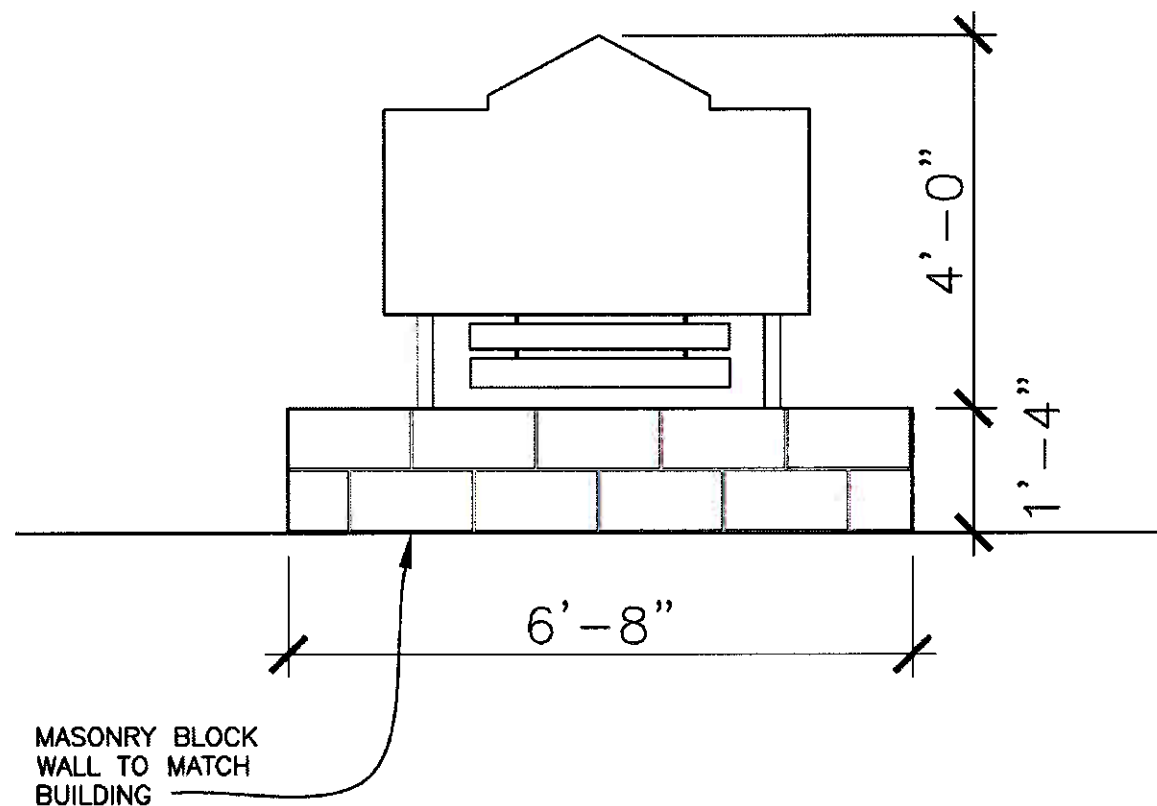
ISSUE	DATE	REMARKS

BISHOPS CREEK HOUSING
PROPOSED WEST FACADES 1 & 2

PROJECT #: 082101
DATE: JUNE 23, 2008
ISSUE: DPD SUBMITTAL

DPD-9D

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SIGNAGE

These instructions and sign sample are to be used as references for type specifications and placement of elements.



Sign Specifications below are based on 7" x 4-1/2" sign (not including bottom hangers) to be proportioned upward

Fonts

The words "CommonBond Communities"; the blue logo, and the white house are artwork to be provided by CommonBond

Site name is 15 pt Univers Black, 60 point letter spacing

Address is 15 pt Univers Bold, 70 letter spacing

Phone number is 17 pt Univers Bold, 100 letter spacing

NOW LEASING is 23 Univers Black, 50 letter spacing

Colors

Blue: (match PMS 286U)
Benjamin Moore 2066-20
Evening Blue

Green (match PMS 577U)
Pratt Lambert 1656
Reed Roseau

Orange (match PMS 124U)

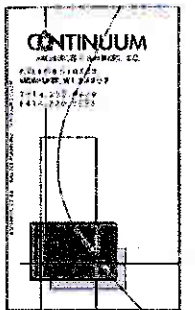
Notes

Sign Dimensions are contingent on local ordinances

Outline border on perimeter may be up to 2"

No "()" on phone number

"white" is to be a bright/contrasting color



BISHOPS CREEK HOUSING
COMMON BOND COMMUNITIES
328 Kelling Boulevard
West St. Paul, MN 55102-1901

REMARKS	DATE	ISSUE
REMARKS	DATE	ISSUE

BISHOPS CREEK HOUSING
PROPOSED SIGNAGE

PROJECT # : 040101
DATE : JUNE 23, 2003
35% - DDC SUBMITTAL

DPD-10

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