



Quorum Architects, Inc.
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HILLS BUILDING RENOVATION

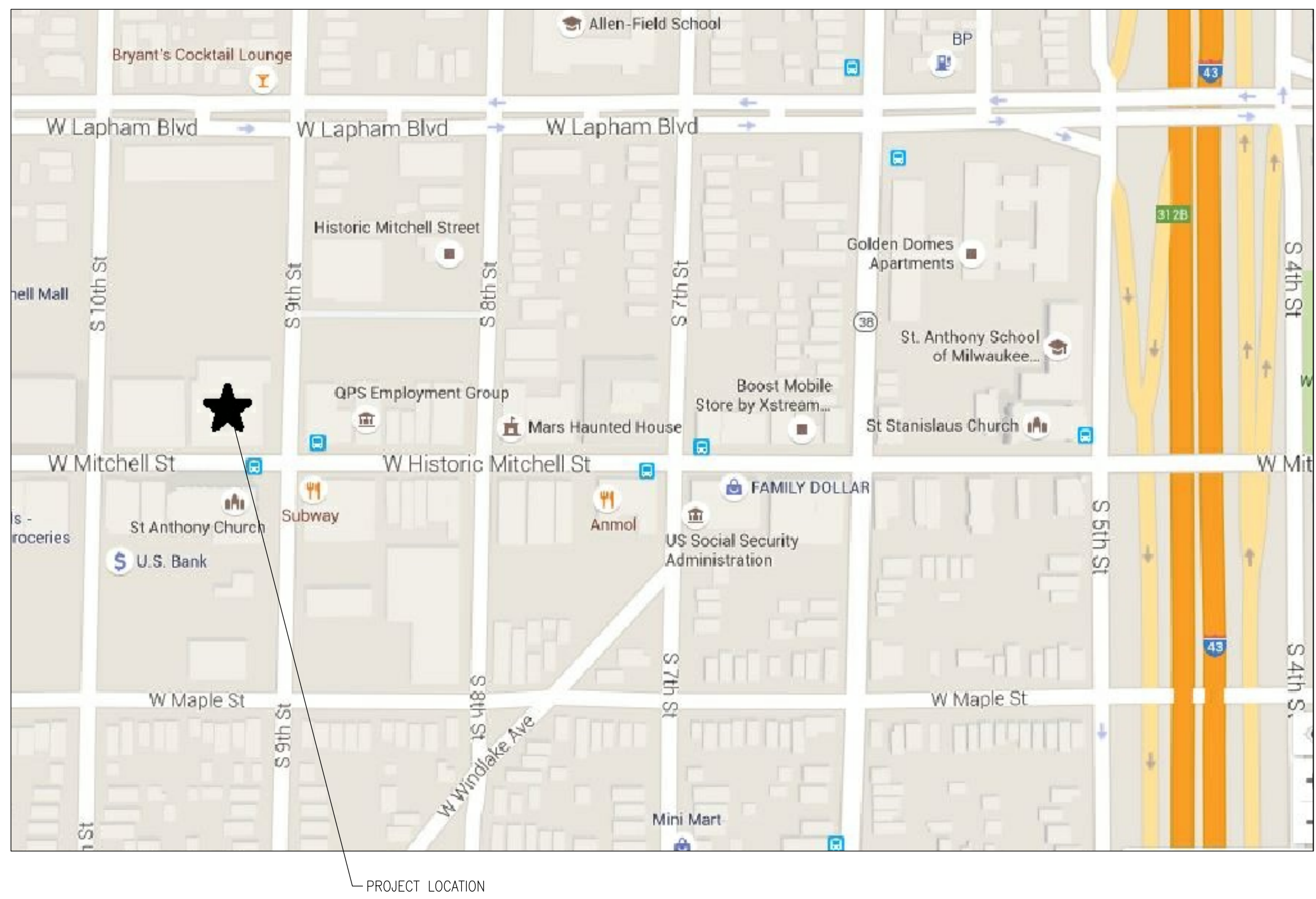
906 W. MITCHELL STREET
MILWAUKEE, WI 53208

City of Milwaukee HPC COA Submission

DATE: JANUARY 12, 2016

PROJECT NUMBER: 10031.04.01

LOCATION MAP:

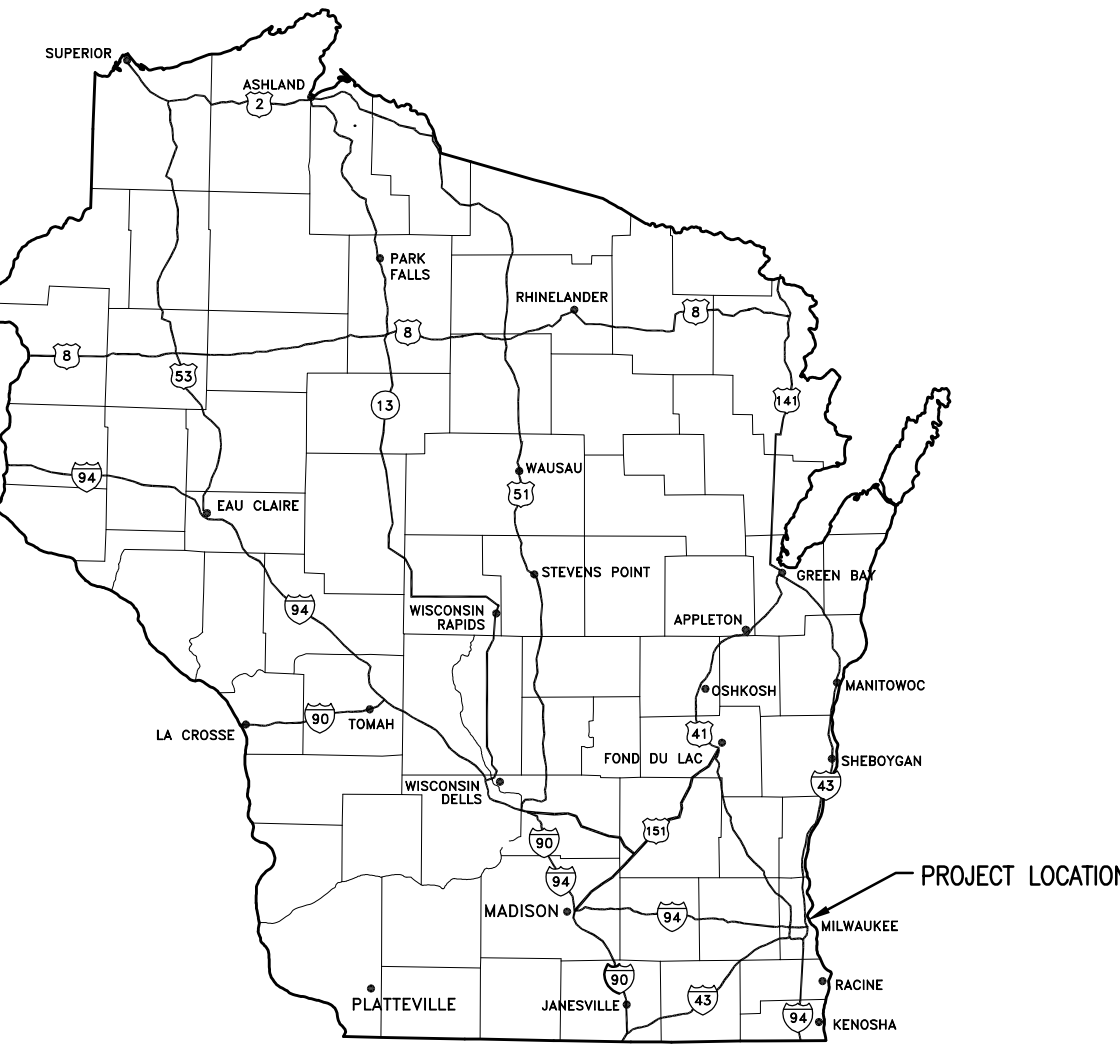


CONTACT INFORMATION:

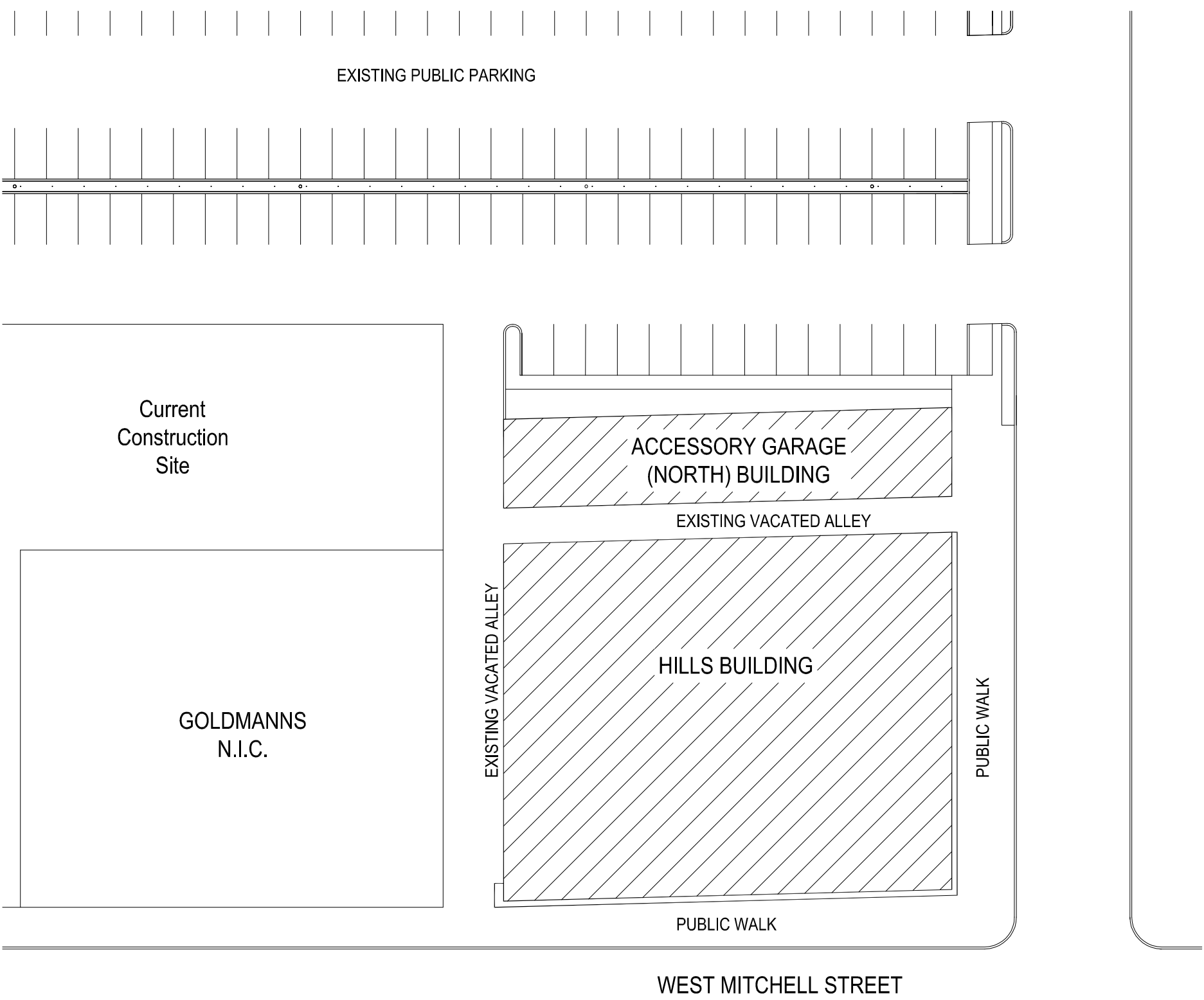
ARCHITECTURAL
QUORUM ARCHITECTS, INC.
3112 West Highland Boulevard
Milwaukee, WI 53208
Phone: (414) 265-9265
Fax: (414) 265-9465
Contact: Mark Knapp
Email: mark@quorumarchitects.com

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1 STATE LOCATION MAP
SCALE: N.T.S.



2 KEY PLAN
SCALE: N.T.S.

HILLS BUILDING RENOVATION

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Project No.: 10031.04.01 Date: 01/12/2016



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Revisions:

Sheet Name:
BASEMENT DEMOLITION
PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

D1.0

GENERAL DEMOLITION NOTES

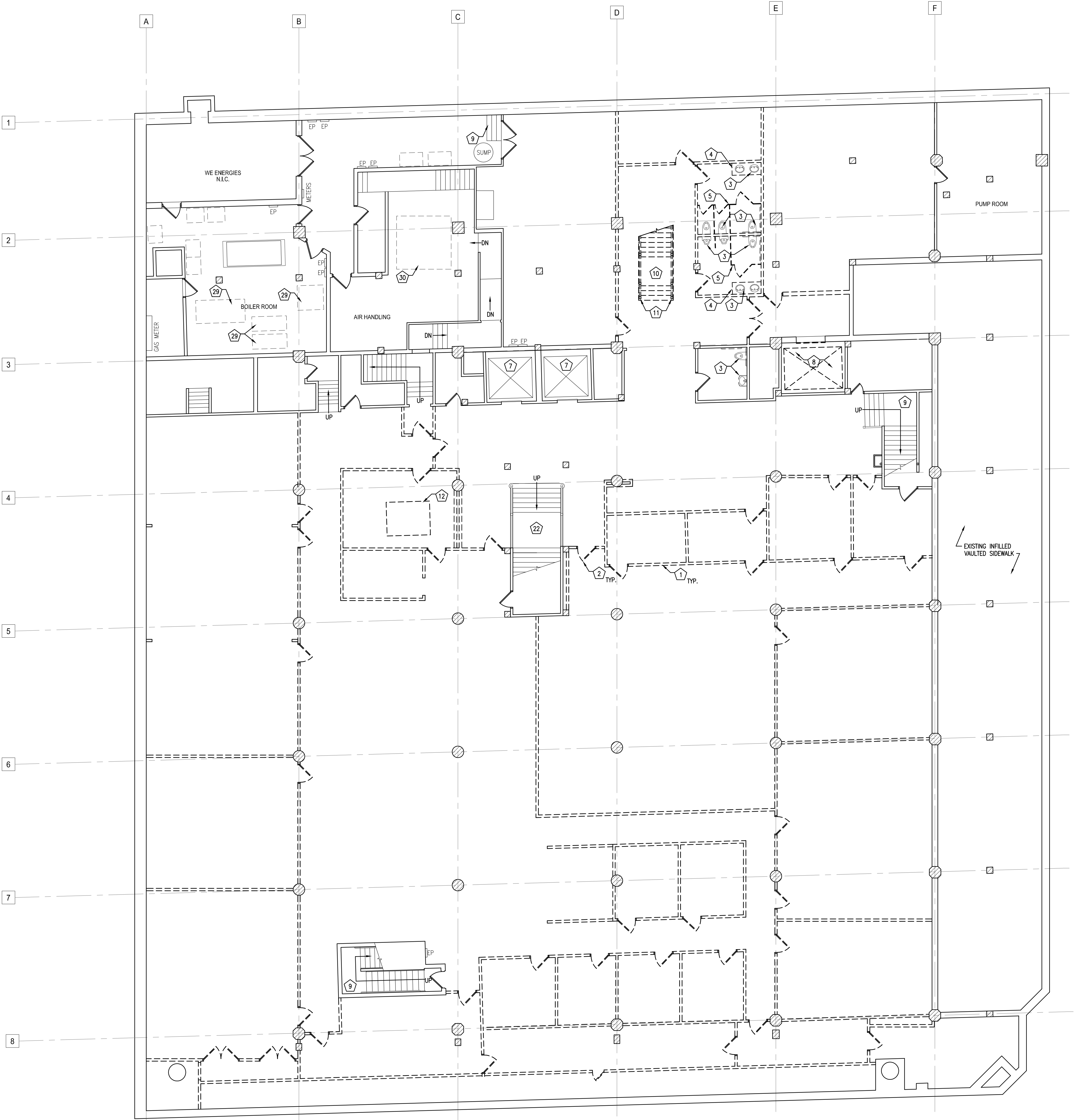
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1 BASEMENT DEMOLITION PLAN
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Revisions:

Sheet Name:
FIRST FLOOR DEMOLITION
PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

D1.1

GENERAL DEMOLITION NOTES

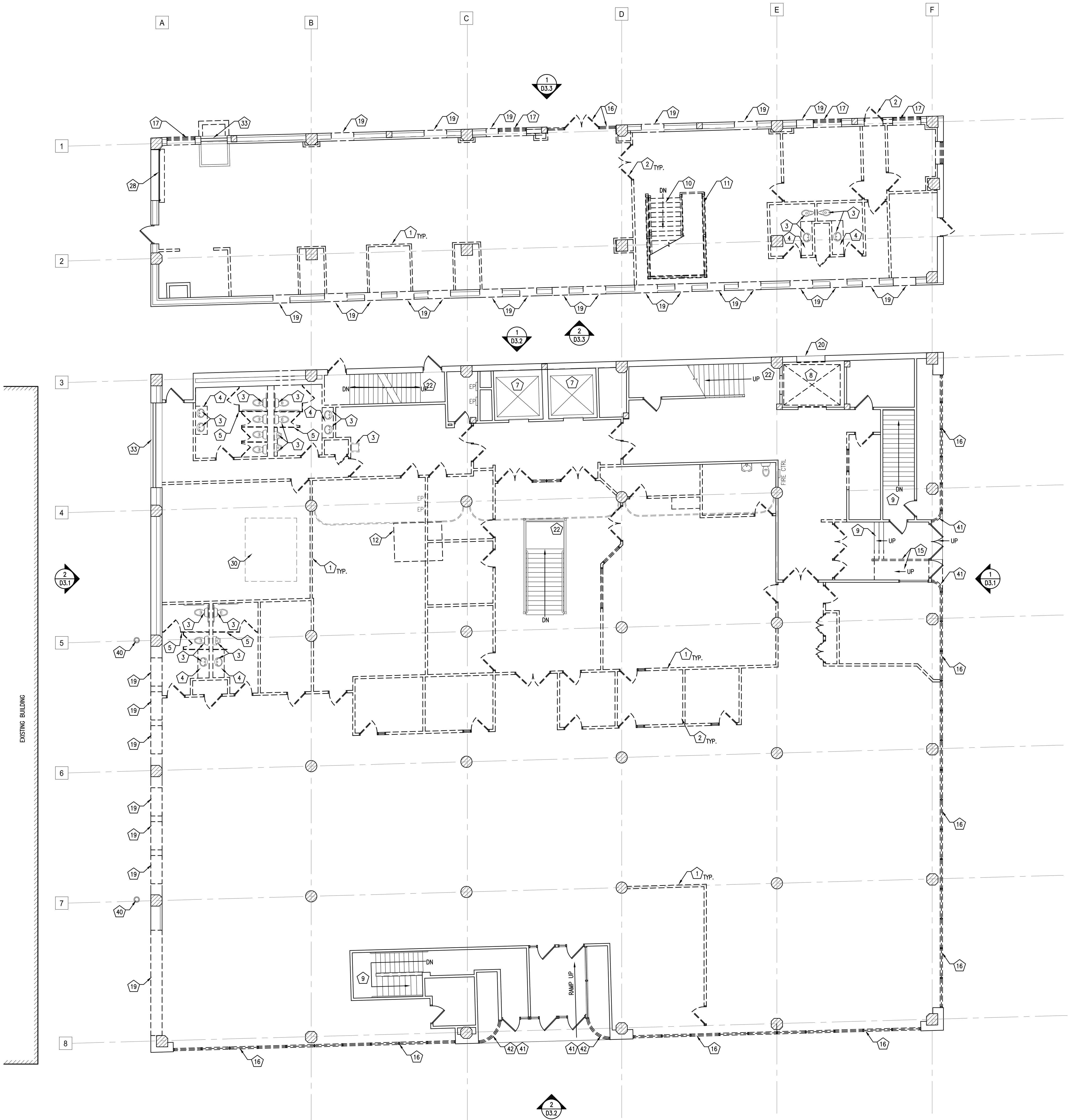
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1 FIRST FLOOR DEMOLITION PLAN
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Revisions:

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MEZZANINE DEMOLITION
PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

D1.1M

GENERAL DEMOLITION NOTES

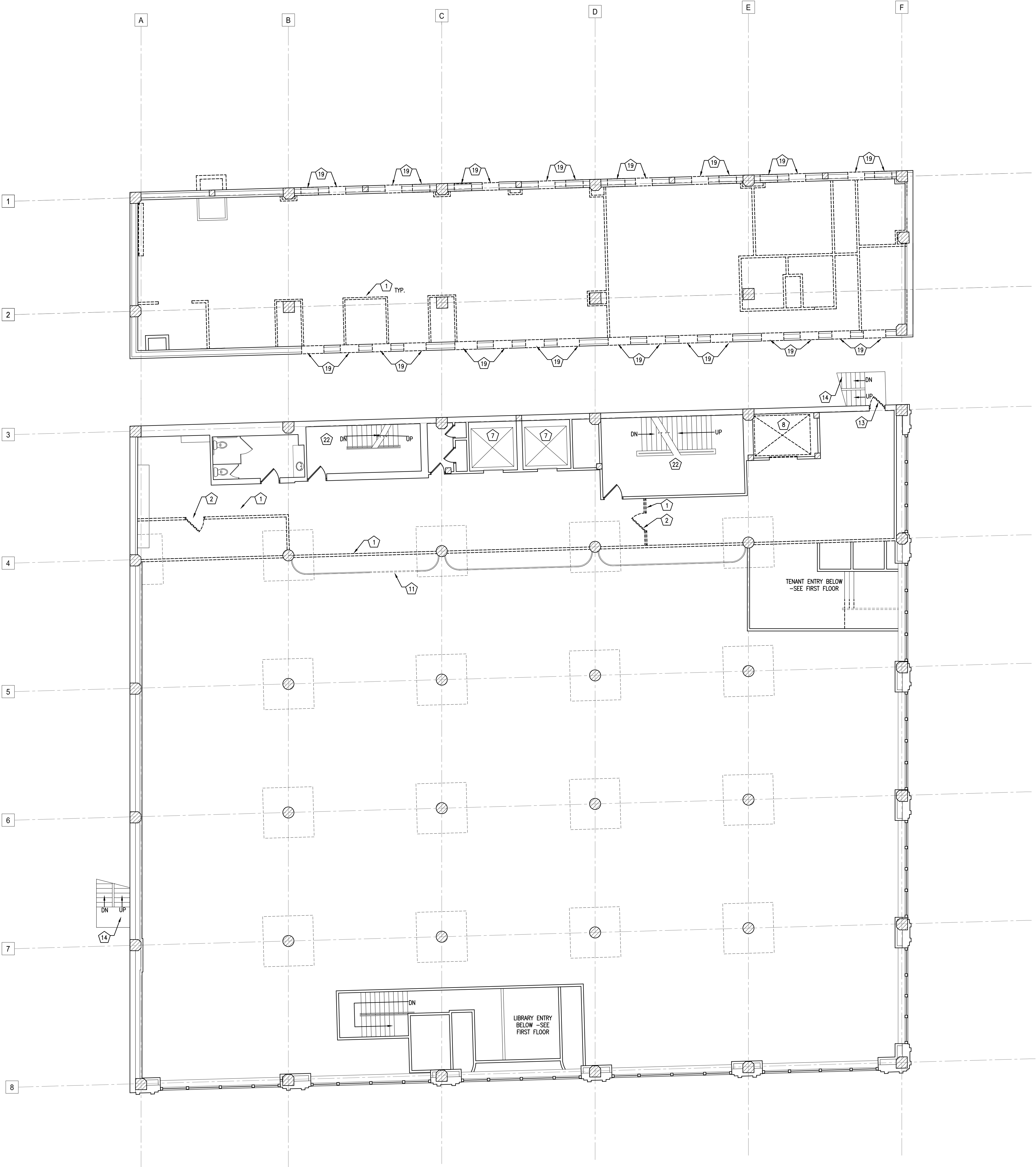
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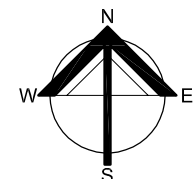
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1 MEZZANINE DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



GENERAL DEMOLITION NOTES

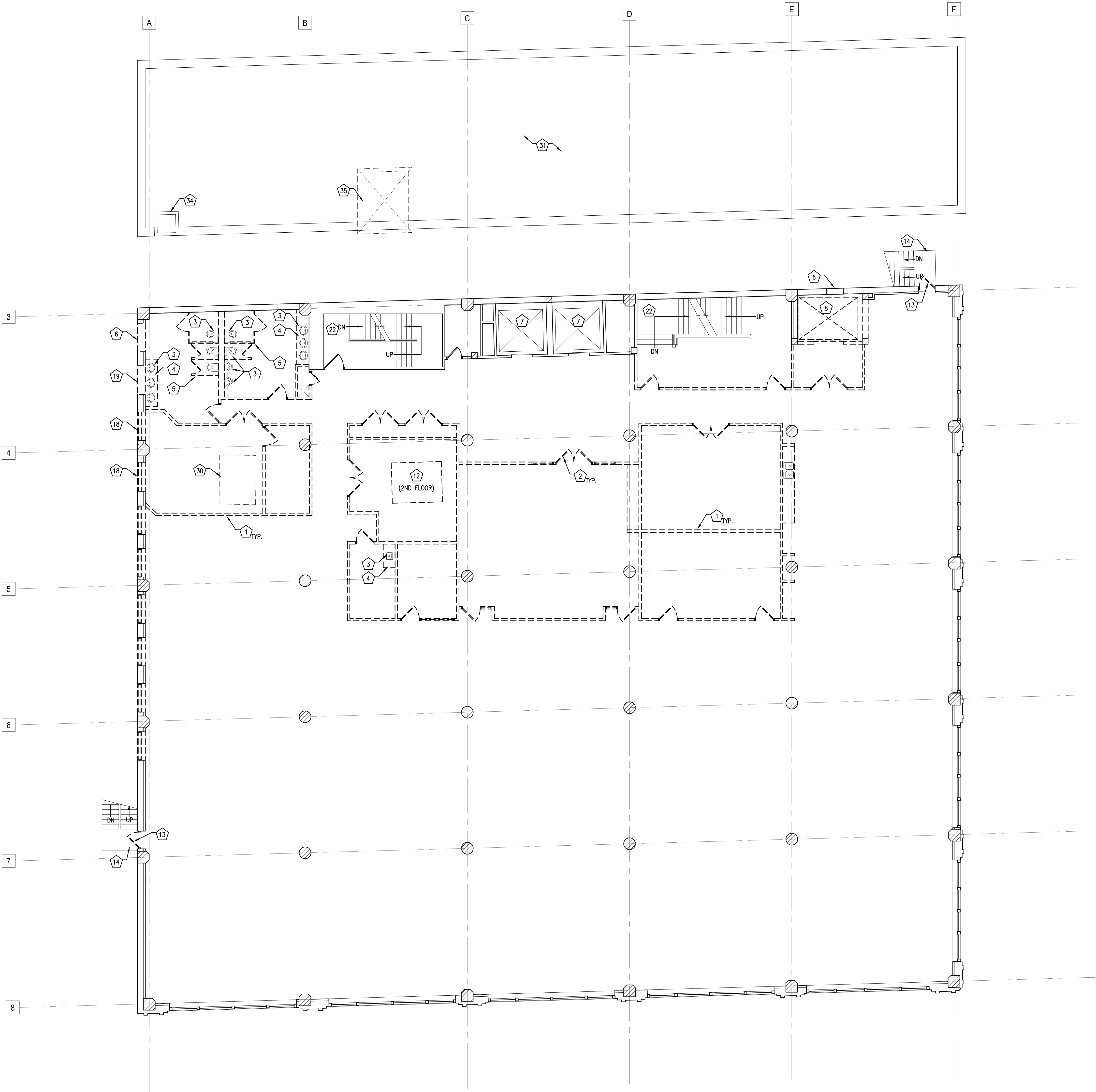
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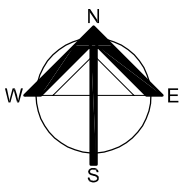
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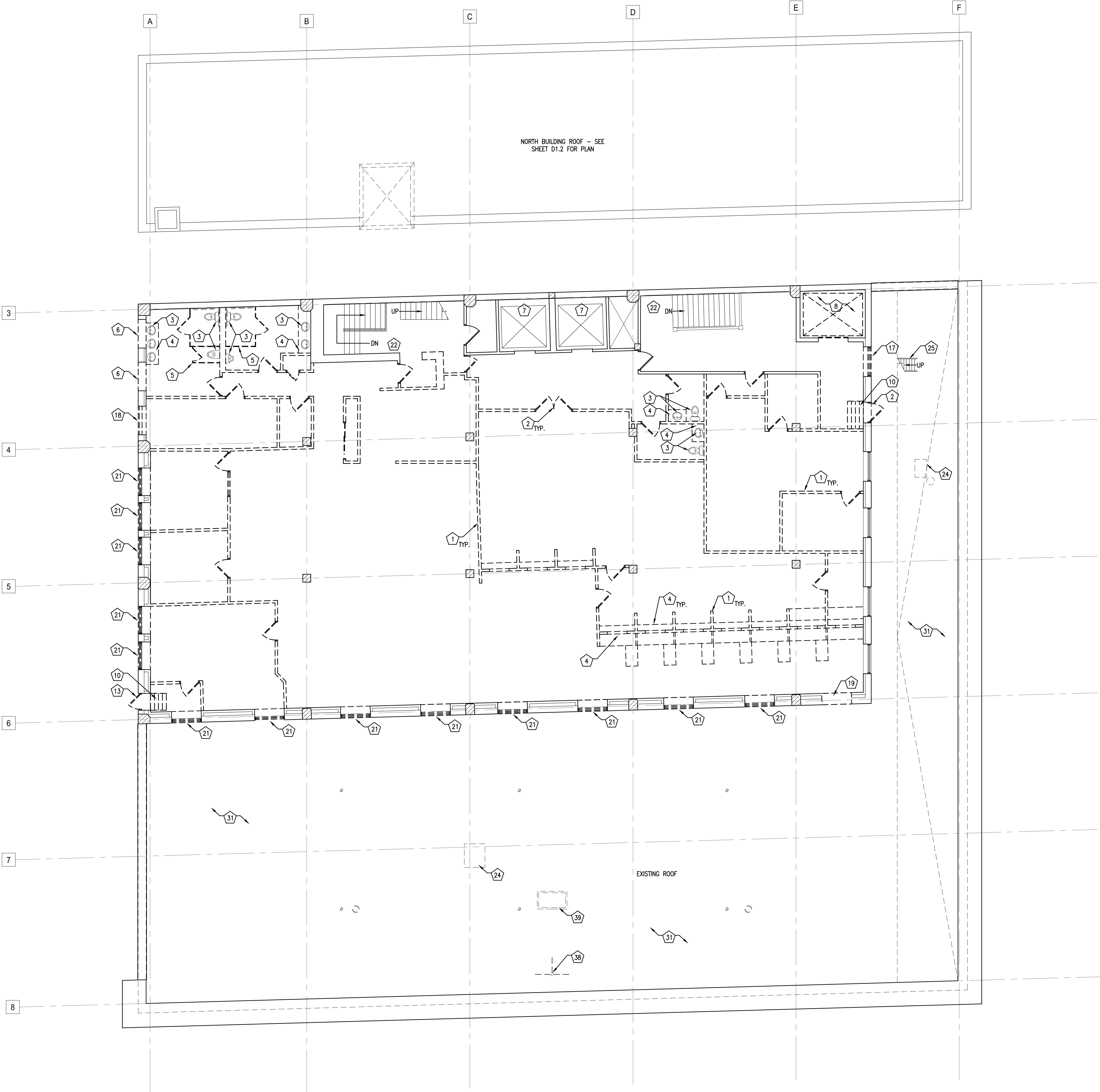
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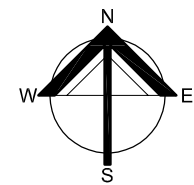
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- REMOVE EXISTING A/C CONDENSER
- EXISTING ROOF ACCESS LADDER TO REMAIN
- EXISTING CHILLERS TO BE REMOVED. STEEL MOUNTING STRUCTURE TO REMAIN
- REMOVE EXISTING STEEL WATER TANKS, PIPING AND MOUNTING STRUCTURE
- REMOVE EXISTING OVERHEAD COILING DOOR. EXISTING OPENING TO REMAIN
- EXISTING BOILER TO BE REMOVED
- EXISTING AIR HANDLING UNIT AND ASSOCIATED DUCTWORK TO BE REMOVED
- REMOVE EXISTING ROOFING DOWN TO SUB-STRUCTURE - PREPARE FOR RE-ROOFING
- EXISTING ELECTRICAL GEAR TO REMAIN
- REUSE OR RECONFIGURE EXISTING WALL LOUVER
- EXISTING CHIMNEY TO REMAIN
- REMOVE EXISTING CHIMNEY
- REMOVE EXISTING ELEVATOR, EQUIPMENT, PENTHOUSE SUBFLOOR AND ACCESS STAIR
- REMOVE EXISTING SHEET METAL GRAVEL STOP - PREPARE FOR INSTALLATION OF NEW PARAPET CAP
- EXISTING FLAGPOLE TO REMAIN
- REMOVE EXISTING ATTIC ACCESS
- EXISTING HARP LIGHT AND POST TO REMAIN
- REMOVE EXISTING CURVED PLEXIGLASS GLAZING. FRAMING TO REMAIN
- REMOVE EXISTING PLYWOOD COVER AT CURVED GLASS GLAZING



1 FIFTH FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



Revisions:

Sheet Name:
FIFTH FLOOR DEMOLITION
PLAN

Date: 01/12/2016

Drawn By: CLR/EJL

Project No.: 10031.04

Sheet No.

D1.5

GENERAL DEMOLITION NOTES

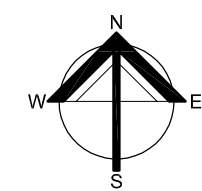
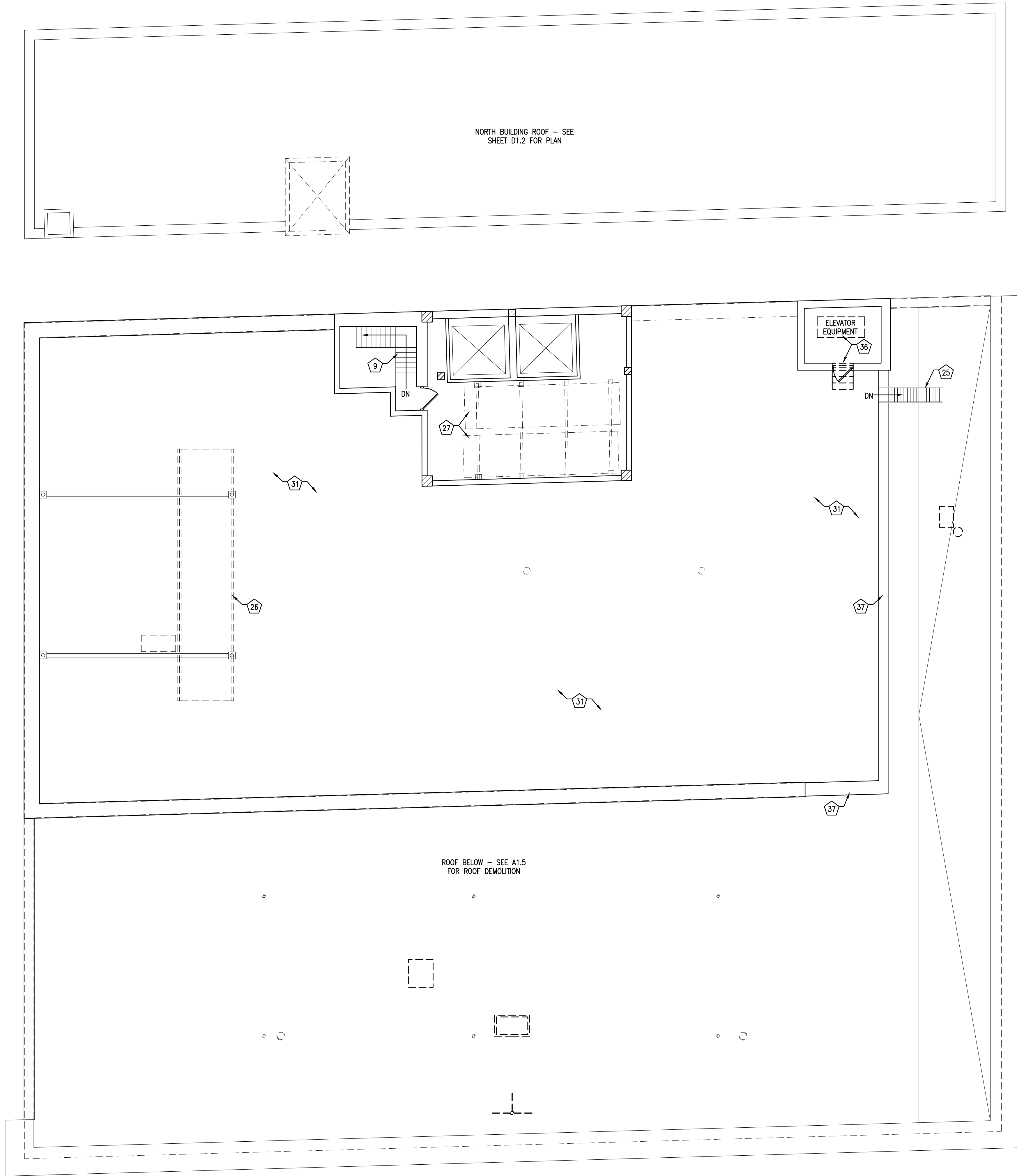
- REMOVE ALL EXISTING FLOOR COVERING
- REMOVE ALL EXISTING SUSPENDED CEILINGS
- REMOVE ALL EXISTING ABOVE-CEILING MECHANICAL DUCTWORK.
- REMOVE ALL EXISTING ABOVE-CEILING ELECTRICAL CONDUIT.
- REMOVE ALL EXISTING ABOVE-CEILING PLUMBING LATERALS - WASTE & SUPPLY.
- REMOVE ALL EXISTING WINDOW TREATMENTS.
- ALL CONCRETE COLUMNS TO REMAIN EXPOSED.

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOORS TO REMAIN
- EXISTING DOOR TO BE REMOVED

DEMOLITION NOTES

- REMOVE EXISTING WALLS AND ALL ASSOCIATED ELECTRICAL.
- REMOVE EXISTING NON-HISTORIC DOOR, FRAME AND HARDWARE.
- REMOVE EXISTING NON-HISTORIC PLUMBING FIXTURES AND CAP AS REQUIRED.
- REMOVE EXISTING NON-HISTORIC MILLWORK.
- REMOVE EXISTING NON-HISTORIC TOILET PARTITIONS.
- REMOVE EXISTING MASONRY INFILL AT HISTORIC WINDOW OPENING. MAINTAIN EXISTING SILLS AND MASONRY WALL BELOW WHERE PRESENT. PREP OPENING FOR NEW WINDOW/DOOR. SEE PLANS AND ELEVATIONS.
- EXISTING ELEVATOR TO REMAIN.
- EXISTING FREIGHT ELEVATOR TO BE REMOVED.
- EXISTING STAIR TO REMAIN.
- EXISTING STAIR TO BE REMOVED.
- VERIFY CONDITION OF EXISTING DECORATIVE HANDRAIL.
- REMOVE EXISTING FLOOR STRUCTURE AS REQUIRED FOR NEW PASSENGER ELEVATOR.
- REMOVE EXISTING HOLLOW METAL DOORS TO FIRE ESCAPE.
- REMOVE EXISTING FIRE ESCAPE TO THE EXTENT INDICATED. CUT ALL MOUNTING BRACKETS FLUSH WITH MOUNTING PLATE OF FACE OF MASONRY WHERE EMBEDDED. - SEE ELEVATIONS.
- REMOVE EXISTING ENTRY RAMP AND GUARDRAIL.
- REMOVE EXISTING ALUMINUM STOREFRONT - SEE ELEVATIONS FOR EXTENTS.
- REMOVE EXISTING ALUMINUM WINDOWS.
- REMOVE EXISTING LOUVER AND ADJACENT MASONRY FOR INSTALLATION OF NEW WINDOW - SEE ELEVATIONS.
- REMOVE PORTION OF EXISTING MASONRY WALL AND PREP FOR NEW WINDOW/DOOR/LOUVER. SEE PLANS AND ELEVATIONS.
- REMOVE EXISTING OVERHEAD COILING DOOR AND PREPARE FOR MASONRY INFILL.
- REMOVE EXISTING WINDOW AND ADJACENT MASONRY FOR INSTALLATION OF NEW WINDOW - SEE ELEVATIONS.
- EXISTING HISTORIC STAIR TO REMAIN. REPAIR AS REQUIRED.
- REMOVE EXISTING ROOFING AND WOOD FRAMED ATTIC DOWN TO CONCRETE DECK - SEE BUILDING SECTION.
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- EXISTING CHILLERS TO BE REMOVED. STEEL MOUNTING STRUCTURE TO REMAIN.
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- EXISTING HARP LIGHT AND POST TO REMAIN.
- REMOVE EXISTING CURVED PLEXIGLASS GLAZING. FRAMING TO REMAIN.
- REMOVE EXISTING PLYWOOD COVER AT CURVED GLASS GLAZING.





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Revisions:
NPS PART 2 - AMENDMENT #1
10/09/2015

Sheet Name:
EAST AND WEST
DEMOLITION ELEVATIONS

Date: 01/12/2016
Drawn By: AJD
Project No.: 10031.04

Sheet No.

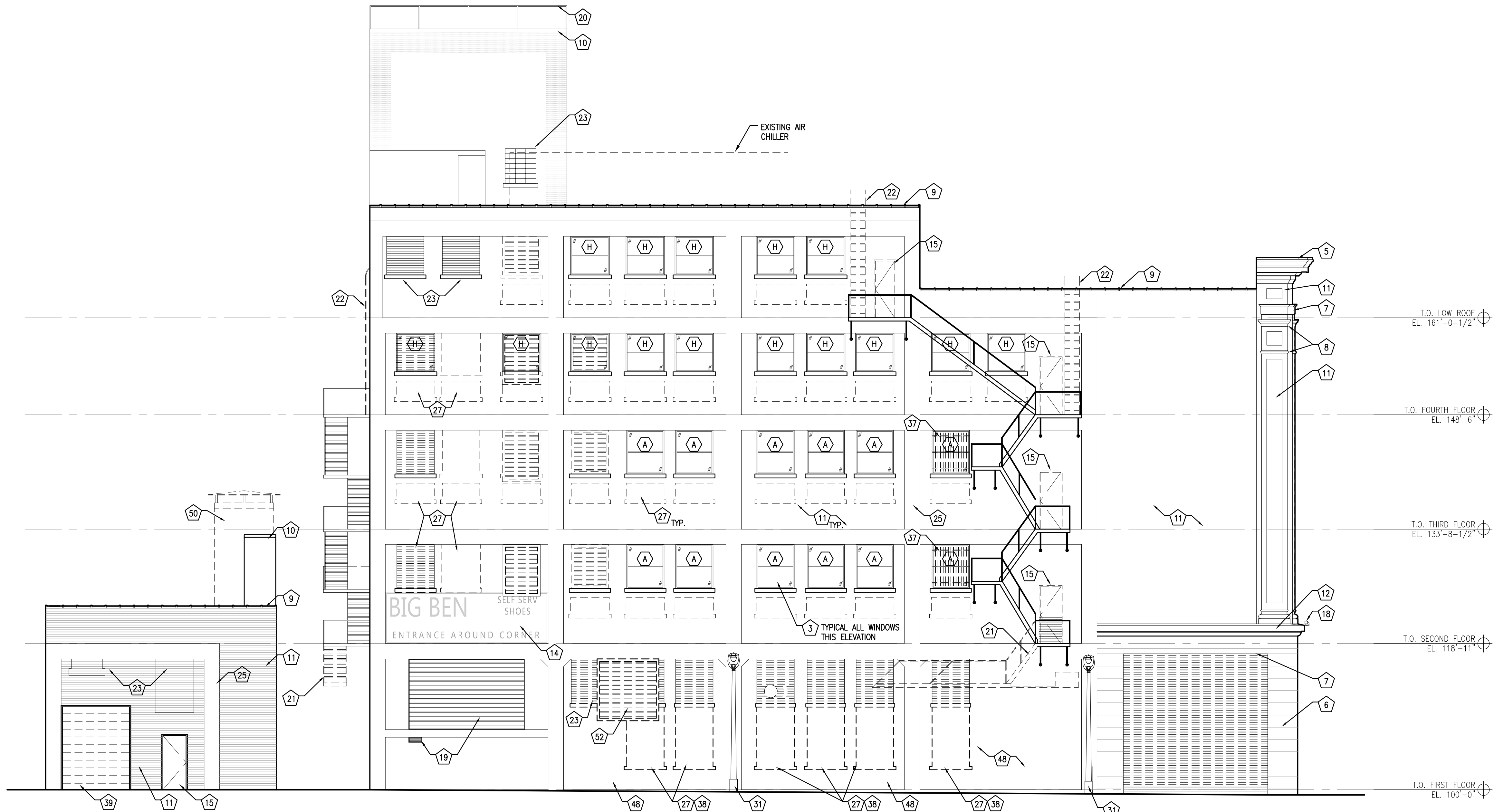
D3.1

ELEVATION DEMOLITION NOTES

- EXISTING NON-HISTORIC WOOD WINDOWS TO REMAIN. REPAIR FRAME AS REQUIRED.
- EXISTING WOOD STOREFRONT ENTRY TO REMAIN.
- REMOVE EXISTING NON-HISTORIC WINDOW SASHES, JAMBES, SILLS AND CASINGS. PREP OPENING FOR NEW WINDOWS.
- EXISTING NON-HISTORIC STEEL SAFETY BARS TO REMAIN.
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- EXISTING LIMESTONE PILASTER TO REMAIN.
- EXISTING LIMESTONE BELT TO REMAIN.
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- EXISTING METAL COPING CAP/ROOF EDGE.
- EXISTING UN-PAINTED BRICK MASONRY.
- EXISTING UN-PAINTED STONE SILL.
- EXISTING SIGNAGE TO REMAIN.
- EXISTING PAINTED SIGNAGE TO REMAIN.
- REMOVE EXISTING NON-HISTORIC HOLLOW METAL DOOR AND FRAME.
- EXISTING NON-HISTORIC HOLLOW METAL DOOR AND FRAME TO REMAIN.
- EXISTING NON-HISTORIC TERRAZZO STEP AND RAMP TO REMAIN.
- EXISTING SECURITY CAMERA(S) LOCATION.
- EXISTING MECHANICAL DUCT TO REMAIN.
- EXISTING STEEL GUARD RAIL TO REMAIN AND BE REPAIRED.
- REMOVE EXISTING STEEL FIRE ESCAPE MOVABLE STAIR RUN TO SECOND FLOOR PLATFORM.
- REMOVE EXISTING STEEL LADDER TO ROOF.
- EXISTING BRICK INFILL AT HISTORIC DOOR/WINDOW OPENING TO REMAIN.
- EXISTING FIRE DEPARTMENT SIAMESE HOSE CONNECTION.
- EXISTING UN-PAINTED EXPOSED CONCRETE STRUCTURE. RUB, ROUTE AND SEAL EXISTING CRACKS AS REQUIRED. PARGE OR RE-PARGE EXISTING AREAS OF SCALED CONCRETE TO MATCH EXISTING.
- CUT EXISTING STONE SILL AND MASONRY WALL BELOW AS REQUIRED FOR NEW DOOR OPENING.
- CUT NEW DOOR/WINDOW OPENING IN EXISTING MASONRY WALL AND PROVIDE NEW STEEL BEAM OR ANGLE LINTEL AS REQUIRED.
- REMOVE EXISTING COILING SHUTTER.
- REMOVE EXISTING MASONRY INFILL AT ORIGINAL WINDOW OPENING. EXISTING SILLS AND LINTELS TO REMAIN.
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- REMOVE EXISTING OVERHEAD GARAGE DOOR. EXISTING OPENING TO REMAIN.
- REMOVE ROOF ACCESS DOOR AND FRAME.
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- REMOVE EXISTING BRICK CHIMNEY TO BELOW ROOF.
- EXISTING PAINTED BRICK. CLEAN AS REQUIRED FOR TUCKPOINTING AND REPAINTING.
- REMOVE EXISTING MECHANICAL GRILLE.



1 EAST DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



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Revisions:

Sheet Name:
NORTH AND SOUTH
DEMOLITION ELEVATIONS

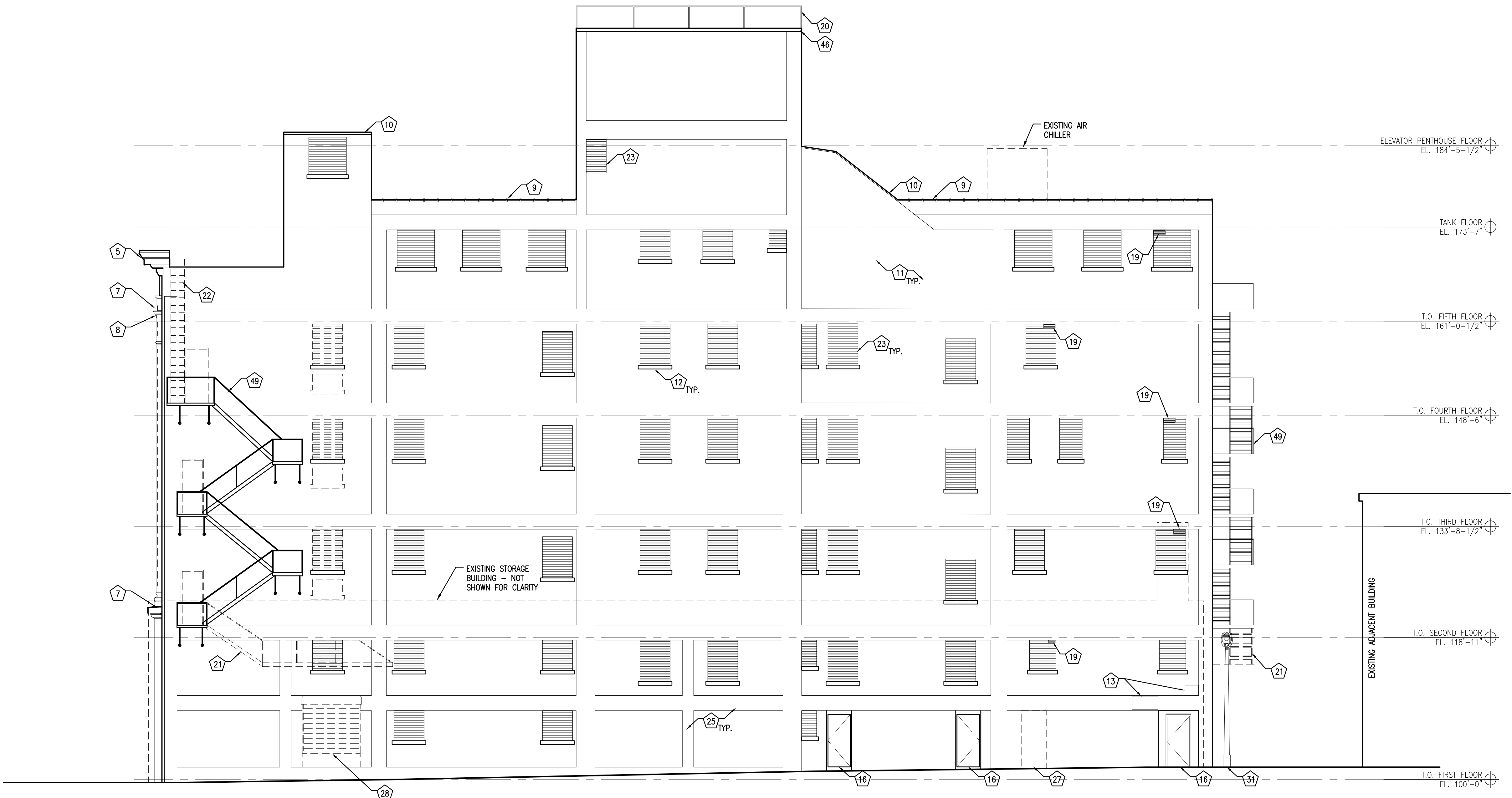
Date: 01/12/2016
Drawn By: AJD
Project No.: 10031.04

Sheet No.

D3.2

ELEVATION DEMOLITION NOTES

- 1 EXISTING NON-HISTORIC WOOD WINDOWS TO REMAIN. REPAIR FRAME AS REQUIRED.
- 2 EXISTING WOOD STOREFRONT ENTRY TO REMAIN.
- 3 REMOVE EXISTING NON-HISTORIC WINDOW SASHES, JAMBS, SILLS AND CASINGS. PREP OPENING FOR NEW WINDOWS.
- 4 EXISTING NON-HISTORIC STEEL SAFETY BARS TO REMAIN.
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- 25 EXISTING UN-PAINTED EXPOSED CONCRETE STRUCTURE. RUB, ROUTE AND SEAL EXISTING CRACKS AS REQUIRED. PARGE OR RE-PARGE EXISTING AREAS OF SCALED CONCRETE TO MATCH EXISTING.
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- 52 REMOVE EXISTING MECHANICAL GRILLE.



1 NORTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



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MILWAUKEE, WI 53208

Revisions:
NPS PART 2 - AMENDMENT #1
10/09/2015

Sheet Name:
NORTH BUILDING AND
PENTHOUSE DEMOLITION
ELEVATIONS

Date: 01/12/2016

Drawn By: AJD

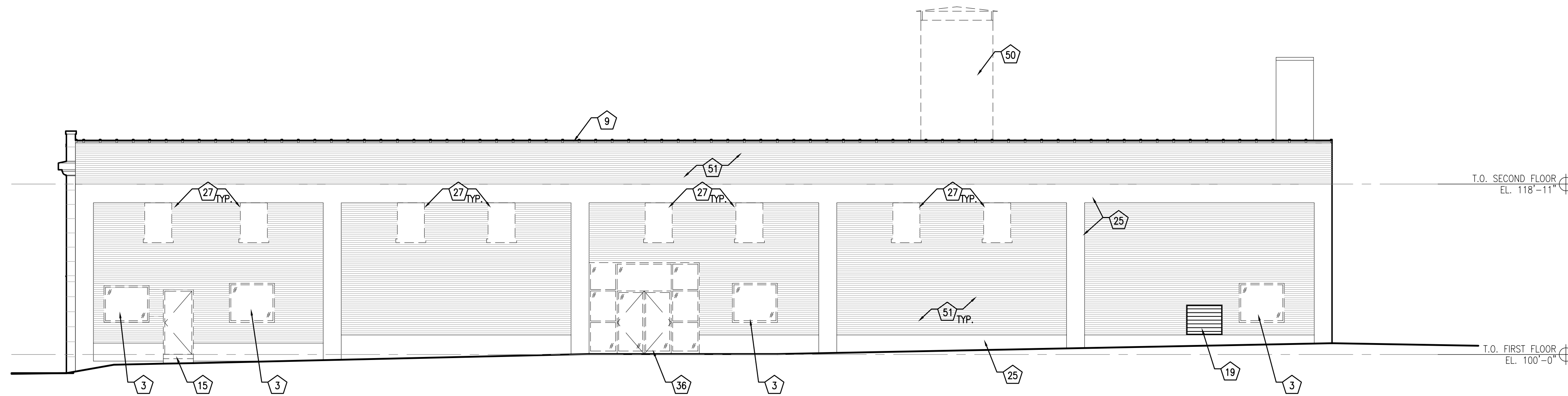
Project No.: 10031.04

Sheet No.

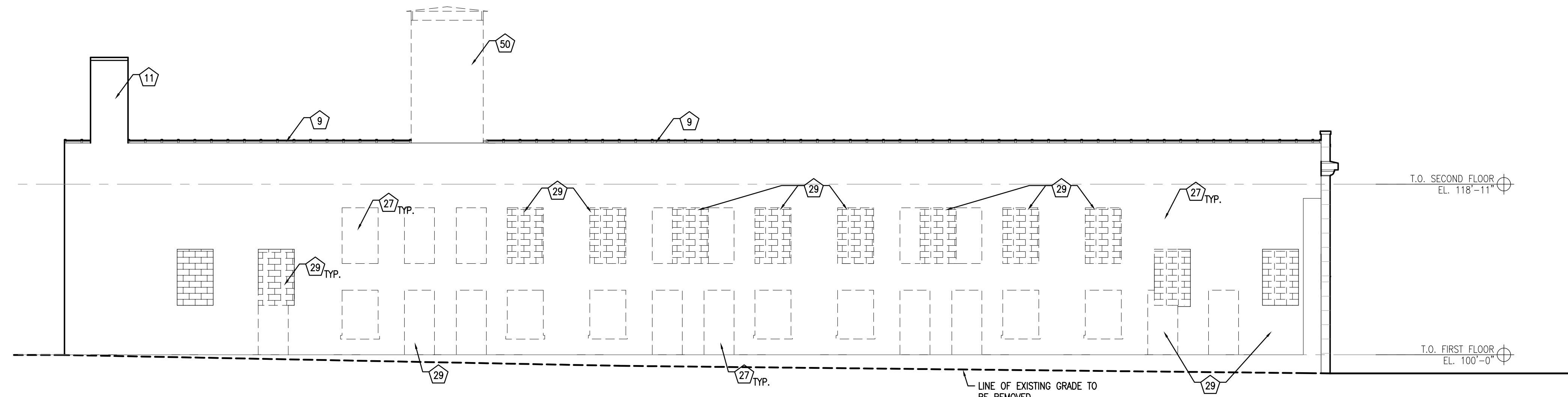
D3.3

ELEVATION DEMOLITION NOTES

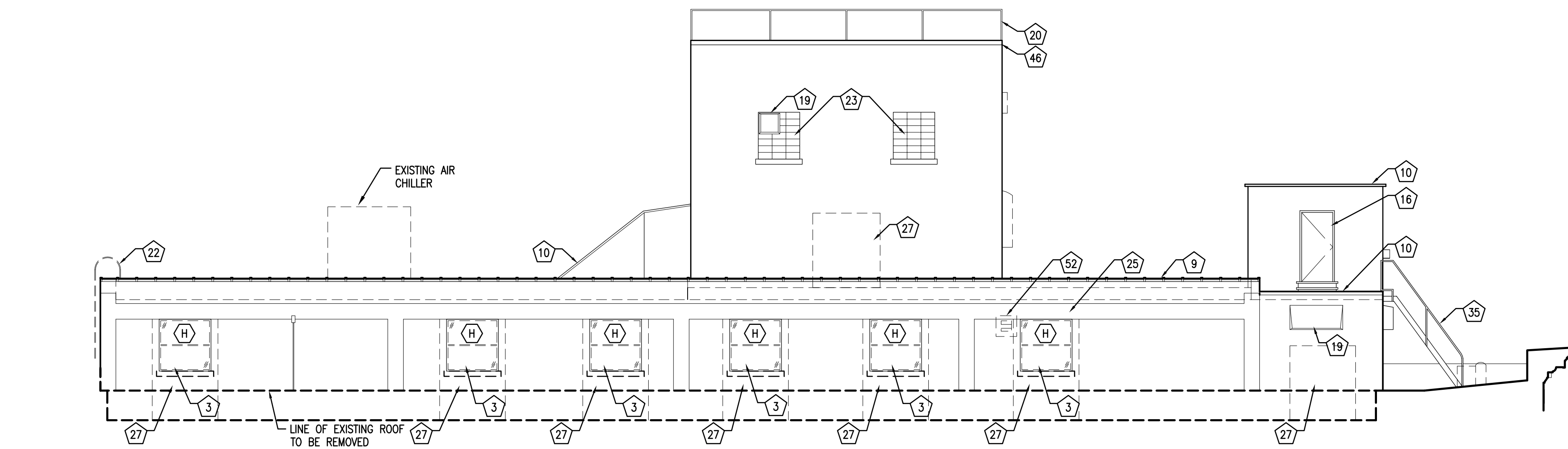
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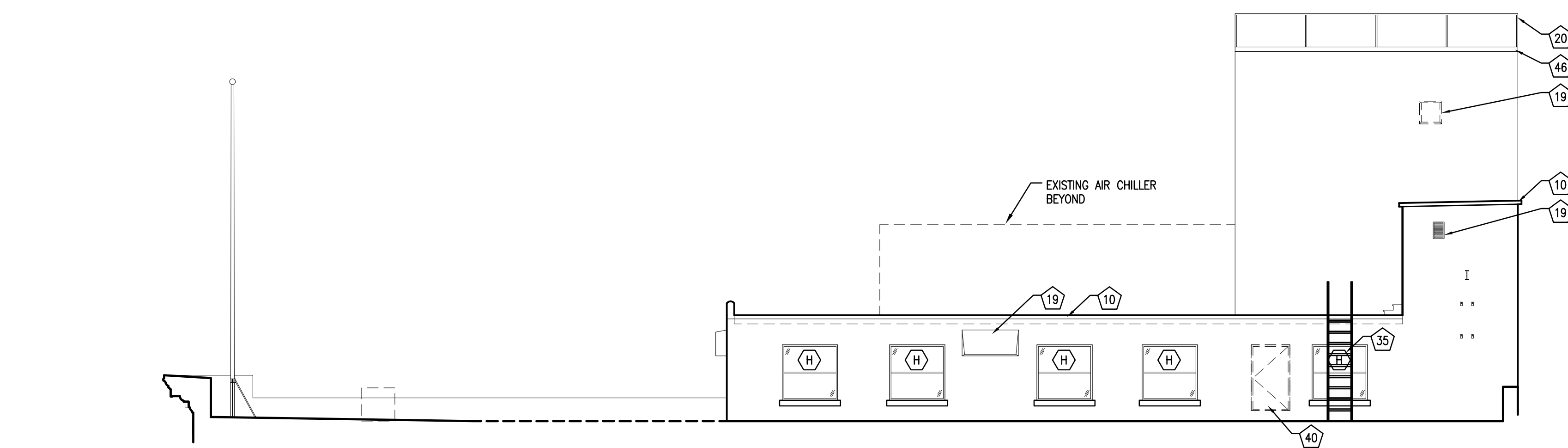
1 NORTH BUILDING
NORTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH BUILDING
SOUTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



3 PENTHOUSE
SOUTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



4 PENTHOUSE
EAST DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



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Revisions:

Sheet Name:

BASEMENT CONSTRUCTION PLAN

Date: 01/12/2016

Drawn By: CLR/EJL

Project No.: 10031.04

Sheet No.

A1.0

CONSTRUCTION NOTES

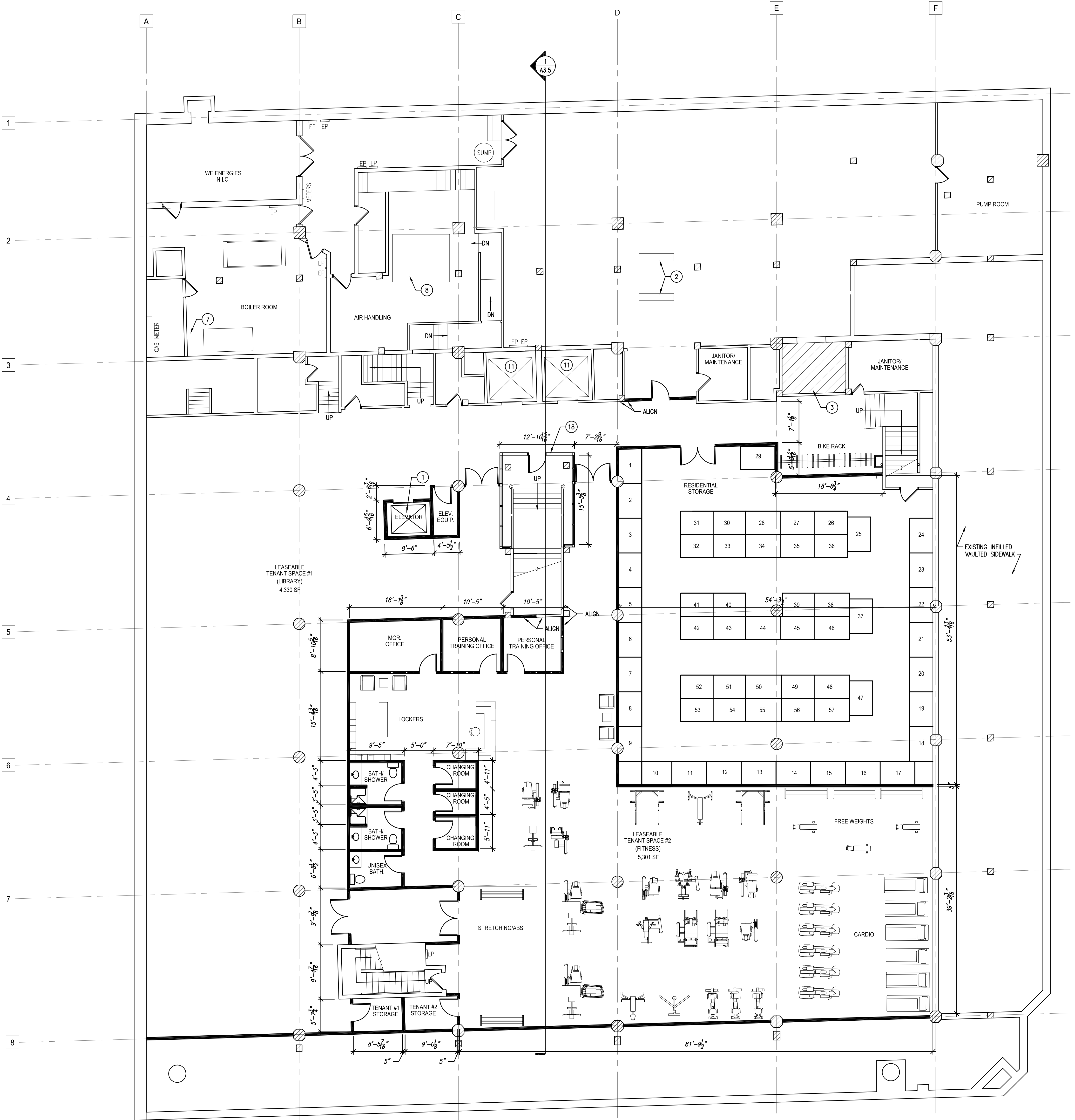
- NEW PASSENGER ELEVATOR - THREE-STOP: BASEMENT, FIRST FLOOR, MEZZANINE.
- PATCH FLOOR AT LOCATION OF REMOVED STAIR.
- INFILL FLOOR OPENING AT REMOVED STAIR/AIR-SHAFT/ELEVATOR TO MATCH EXISTING FLOOR STRUCTURE.
- NEW CONCRETE RAMP.
- REINSTALL SALVAGED HISTORIC RAILING.
- NEW ALUMINUM STOREFRONT TO MATCH EXISTING, WITH INSULATED GLAZING - SEE ELEVATIONS.
- NEW BOILERS TO REPLACE EXISTING IN KIND.
- NEW AIR HANDLING UNIT TO REPLACE EXISTING IN KIND.
- NEW ELEVATOR SHAFT OVERRUN PER NEW PASSENGER ELEVATOR SPECIFICATIONS.
- PROVIDE NEW PUSH BUTTON AUTOMATIC DOOR OPERATOR AT EXISTING DOOR.
- EXISTING PASSENGER ELEVATOR:
 - RECONFIGURE CONTROLS TO LOCK-OUT MEZZANINE LEVEL.
 - EXTEND TRAVEL OF WEST ELEVATOR ONLY TO SIXTH FLOOR ROOF LEVEL.
- NEW ALUMINUM WINDOW - SEE ELEVATIONS
- NEW ENTRY DOOR - SEE ELEVATIONS
- NEW OVERHEAD COILING DOOR - SEE ELEVATIONS
- MASONRY INFILL AT EXISTING OPENING
- DECORATIVE METAL FENCE - SEE ELEVATIONS.
- EXISTING ENTRANCE SYSTEM TO REMAIN.
- NEW ALUMINUM/GLASS ENTRY SYSTEM
- NEW CONCRETE PLAZA DECK OVER WATERPROOFING MEMBRANE ON EXISTING STRUCTURAL DECK.
- NEW CONCRETE STAIR TO NEW PLAZA DECK LEVEL.
- EXISTING DECORATIVE COLUMN CAPITALS TO REMAIN EXPOSED - CLEAN AND REPAIR AS REQUIRED.
- EXISTING DECORATIVE RAILING TO REMAIN - CLEAN AND REPAIR AS REQUIRED.
- EXISTING FIRE ESCAPE TO REMAIN - SEE ELEVATIONS.
- NOT USED.
- EXISTING ALUMINUM CLAD WOOD WINDOWS TO REMAIN - CLEAN AND REPAIR AS REQUIRED.
- NEW WALL LOUVER FOR MECHANICAL ROOM LOCATIONS - SEE ELEVATIONS.
- NEW INTERIOR STAIR TO FIFTH FLOOR ROOF.
- NEW CMU PARAPET WALL ROOF PATIO ENCLOSURE - SEE BUILDING SECTION.
- CONCRETE PAVEMENT & PEDESTAL DECK SYSTEM ON SHEET WATERPROOFING MEMBRANE OVER TAPERED RIGID INSULATION ON EXISTING CONCRETE ROOF DECK - SEE BUILDING SECTION.
- NEW PLANTER BOX AND PATIO DIVIDER.
- EXISTING ROOF ACCESS SHIP'S LADDER TO REMAIN.
- NEW SHEET WATERPROOFING MEMBRANE ROOFING OVER RIGID INSULATION ON EXISTING WOOD-FRAMED ATTIC DECK.
- ROOF ACCESS STAIR.
- EXISTING FLAGPOLE TO REMAIN.
- NEW ATTIC ACCESS DOOR.
- NEW SHEET METAL PARAPET COPING.
- 48" DECORATIVE METAL/GLASS GUARD RAIL.
- NEW CHILLERS ON EXISTING STEEL STRUCTURE.
- EXISTING HARP LIGHT AND POST TO REMAIN.
- INSTALL SALVAGED HARP LIGHT AND POST.
- NEW CURVED GLASS GLAZING.
- NEW PREFINISHED METAL PANEL SIDING OVER EXISTING PARSED MASONRY

GENERAL NOTES

- ALL PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE. ALL WALLS TO BE CONSTRUCTED ON COLUMN CENTERLINES UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED THE CONTRACTOR SHOULD VERIFY WITH QUORUM ARCHITECTS.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND REPORT ANY DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO QUORUM ARCHITECTS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTORS UNFAMILIARITY WITH THE JOB SITE CONDITIONS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTORS SHALL SUBMIT (4) SETS OF SHOP DRAWINGS, SAMPLES, INTERIOR AND EXTERIOR FINISHES, RELEVANT TECHNICAL DATA AND APPLICABLE CUT SHEETS TO THE ARCHITECTS FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
- VOICE AND DATA CABLING BY TENANT.
- FURNITURE IS SHOWN FOR REFERENCE ONLY.
- ALL NEWLY CONSTRUCTED ROOMS OR OFFICES SHALL INCLUDE PROVISIONS FOR ADEQUATE POWER AND VOICE/DATA OUTLETS.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL OBTAIN A COPY OF ANY CITY, STATE OR FEDERAL CODES OR REGULATIONS WHICH HAVE JURISDICTION OVER THIS WORK AND AS CALLED OUT IN THESE PLANS. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTOR'S UNFAMILIARITY WITH THESE REGULATIONS AND CODES.
- ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- ALL CONTRACTORS SHALL SECURE AND PAY FOR ALL REQUIRED APPROVALS, PERMITS, FEES AND LICENSES AS IT APPLIES TO HIS/HER DISCIPLINE PRIOR TO ANY EXECUTION OF WORK.
- THE DESIGN OF THE HEATING/VENTILATION & AIR CONDITIONING, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE HVAC SYSTEM IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
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- FIRE EXTINGUISHERS ARE TO BE PROVIDED AND LOCATED BY GENERAL CONTRACTOR AS REQUIRED BY CODE.

LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS
- NEW PARTIAL HEIGHT WALL
- EXISTING DOORS TO REMAIN
- NEW DOORS
- EXISTING COLUMN
- FURNITURE BY TENANT SHOWN FOR REFERENCE ONLY



1 BASEMENT CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"



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Revisions:

Sheet Name:
FIRST FLOOR
CONSTRUCTION PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

A1.1

CONSTRUCTION NOTES

- NEW PASSENGER ELEVATOR - THREE-STOP: BASEMENT, FIRST FLOOR, MEZZANINE.
- PATCH FLOOR AT LOCATION OF REMOVED STAIR.
- INFILL FLOOR OPENING AT REMOVED STAIR/AIR-SHAFT/ELEVATOR TO MATCH EXISTING FLOOR STRUCTURE.
- NEW CONCRETE RAMP.
- REINSTALL SALVAGED HISTORIC RAILING.
- NEW ALUMINUM STOREFRONT TO MATCH EXISTING, WITH INSULATED GLAZING - SEE ELEVATIONS.
- NEW BOILERS TO REPLACE EXISTING IN KIND.
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- NEW ELEVATOR SHAFT OVRUNN PER NEW PASSENGER ELEVATOR SPECIFICATIONS.
- PROVIDE NEW PUSH BUTTON AUTOMATIC DOOR OPERATOR AT EXISTING DOOR.
- EXISTING PASSENGER ELEVATOR:
 - RECONFIGURE CONTROLS TO LOCK-OUT MEZZANINE LEVEL.
 - EXTEND TRAVEL OF WEST ELEVATOR ONLY TO SIXTH FLOOR ROOF LEVEL.
- NEW ALUMINUM WINDOW - SEE ELEVATIONS
- NEW ENTRY DOOR - SEE ELEVATIONS
- NEW OVERHEAD COILING DOOR - SEE ELEVATIONS
- MASONRY INFILL AT EXISTING OPENING
- DECORATIVE METAL FENCE - SEE ELEVATIONS.
- EXISTING ENTRANCE SYSTEM TO REMAIN.
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- NEW CONCRETE PLAZA DECK OVER WATERPROOFING MEMBRANE ON EXISTING STRUCTURAL DECK.
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- NEW WALL LOUVER FOR MECHANICAL ROOM LOCATIONS - SEE ELEVATIONS.
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- NEW CMU PARAPET WALL ROOF PATIO ENCLOSURE - SEE BUILDING SECTION.
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GENERAL NOTES

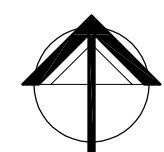
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LEGEND

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| | EXISTING COLUMN |
| | FURNITURE BY TENANT SHOWN FOR REFERENCE ONLY |

1 FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"





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Revisions:

Sheet Name:

MEZZANINE CONSTRUCTION PLAN

Date: 01/12/2016

Drawn By: CLR/EJL

Project No.: 10031.04

Sheet No.

A1.1M

CONSTRUCTION NOTES

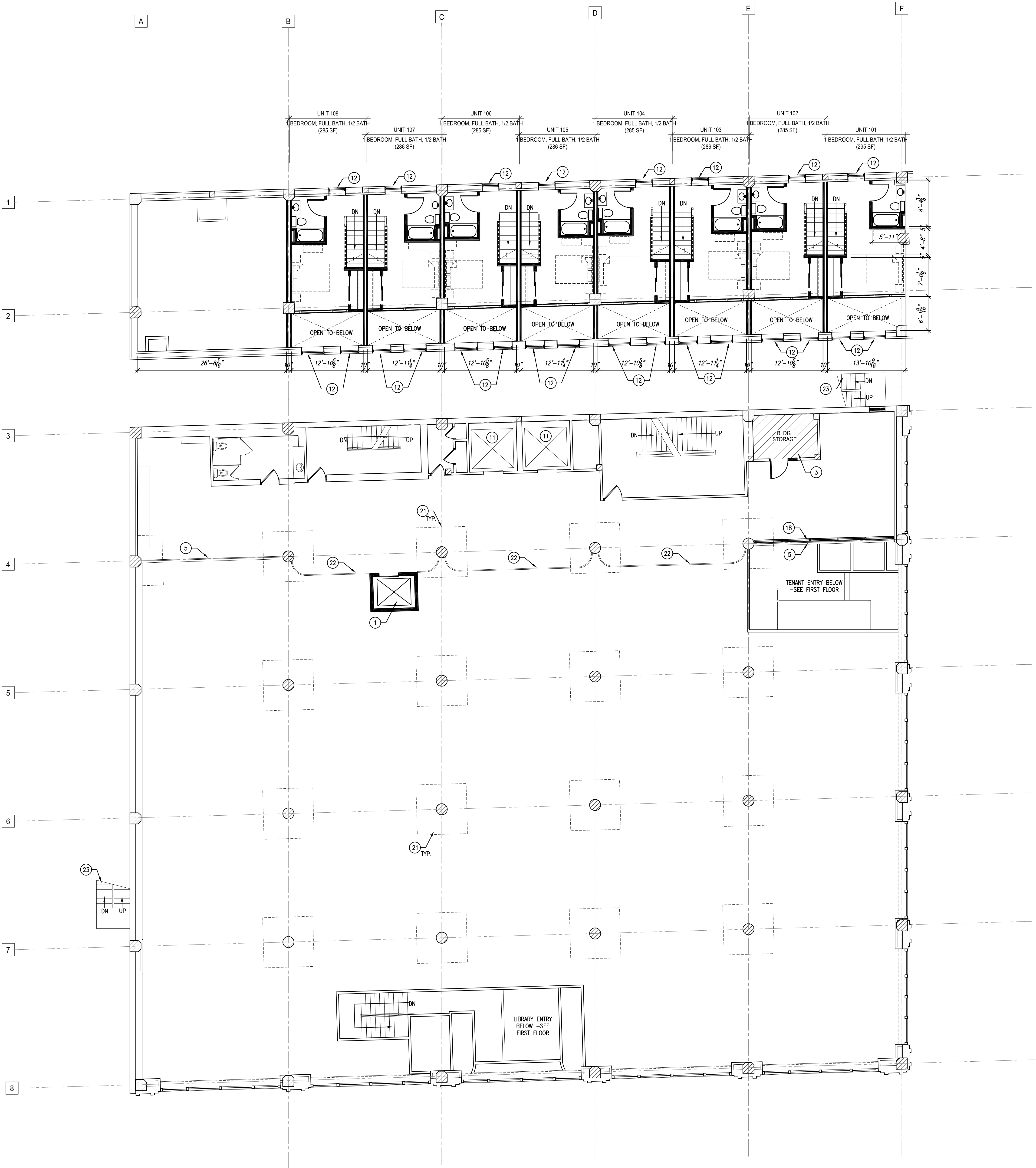
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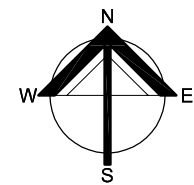
LEGEND

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1 MEZZANINE CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"





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Revisions:

Sheet Name:
SECOND FLOOR
CONSTRUCTION PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

A1.2

CONSTRUCTION NOTES

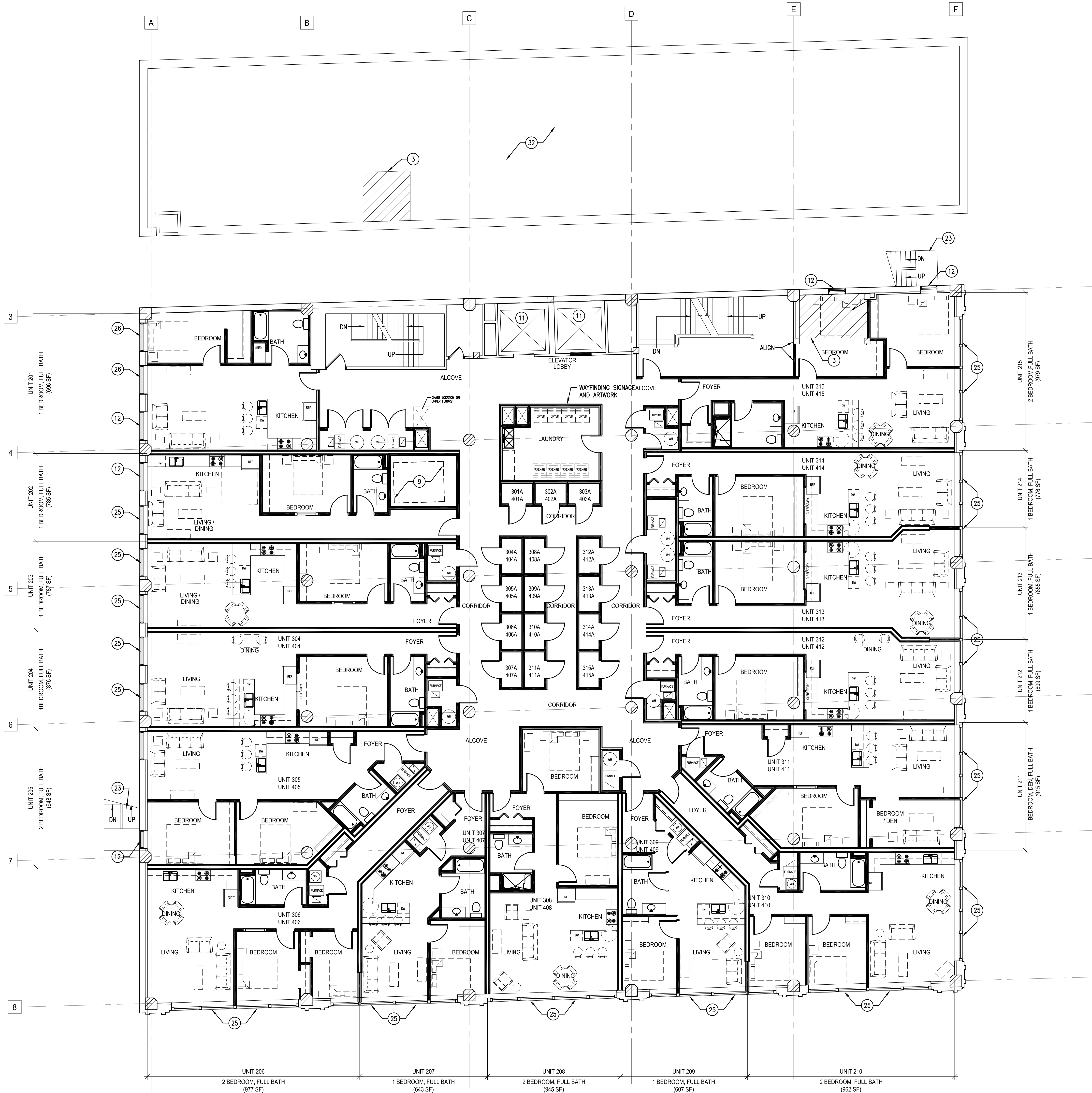
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34. EXISTING FLAGPOLE TO REMAIN.
35. NEW ATTIC ACCESS DOOR.
36. NEW SHEET METAL PARAPET COPING.
37. 48" DECORATIVE METAL/GLASS GUARD RAIL.
38. NEW CHILLERS ON EXISTING STEEL STRUCTURE.
39. EXISTING HARP LIGHT AND POST TO REMAIN.
40. INSTALL SALVAGED HARP LIGHT AND POST.
41. NEW CURVED GLASS GLAZING.
42. NEW PREFINISHED METAL PANEL SIDING OVER EXISTING PARSED MASONRY

GENERAL NOTES

1. ALL PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE. ALL WALLS TO BE CONSTRUCTED ON COLUMN CENTERLINES UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED THE CONTRACTOR SHOULD VERIFY WITH QUORUM ARCHITECTS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND REPORT ANY DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO QUORUM ARCHITECTS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTORS UNFAMILIARITY WITH THE JOB SITE CONDITIONS.
4. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
5. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
6. CONTRACTORS SHALL SUBMIT (4) SETS OF SHOP DRAWINGS, SAMPLES, INTERIOR AND EXTERIOR FINISHES, RELEVANT TECHNICAL DATA AND APPLICABLE CUT SHEETS TO THE ARCHITECTS FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
7. VOICE AND DATA CABLING BY TENANT.
8. FURNITURE IS SHOWN FOR REFERENCE ONLY.
9. ALL NEWLY CONSTRUCTED ROOMS OR OFFICES SHALL INCLUDE PROVISIONS FOR ADEQUATE POWER AND VOICE/DATA OUTLETS.
10. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL OBTAIN A COPY OF ANY CITY, STATE OR FEDERAL CODES OR REGULATIONS WHICH HAVE JURISDICTION OVER THIS WORK AND AS CALLED OUT IN THESE PLANS. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTOR'S UNFAMILIARITY WITH THESE REGULATIONS AND CODES.
11. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
12. ALL CONTRACTORS SHALL SECURE AND PAY FOR ALL REQUIRED APPROVALS, PERMITS, FEES AND LICENSES AS IT APPLIES TO HIS/HER DISCIPLINE PRIOR TO ANY EXECUTION OF WORK.
13. THE DESIGN OF THE HEATING/VENTILATION & AIR CONDITIONING, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE HVAC SYSTEM IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
14. THE DESIGN OF ALL ELECTRICAL WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE ELECTRICAL / LIGHTING WORK, IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. THE DESIGN OF ALL PLUMBING WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE PLUMBING, IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
16. THE DESIGN OF ALL FIRE PROTECTION WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE FIRE PROTECTION SYSTEM, IS THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
17. ALL WORK IS TO BE COMPLETED USING ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF QUESTIONS ARISE AS TO THE SPECIFIC MATERIALS TO BE USED, THE CONTRACTOR MAY PRESENT SUBSTITUTIONS TO THE OWNER AND ARCHITECT FOR THEIR REVIEW AND APPROVAL. ANY SUBSTITUTIONS MUST BE APPROVED BY THE OWNER AND ARCHITECT.
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20. EACH CONTRACTOR SHALL PROVIDE ADEQUATE, NECESSARY AND REQUIRED BARRICADES, FENCES AND SAFETY PRECAUTIONS FOR THE GENERAL PUBLIC'S SAFETY NEAR THE SITE. GENERAL CONTRACTOR SHALL PROVIDE ANY AND ALL TEMPORARY BARRICADES AND DUST BARRIERS AS REQUESTED BY THE OWNER.
21. FIRE EXTINGUISHERS ARE TO BE PROVIDED AND LOCATED BY GENERAL CONTRACTOR AS REQUIRED BY CODE.

LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS
- NEW PARTIAL HEIGHT WALL
- EXISTING DOORS TO REMAIN
- NEW DOORS
- EXISTING COLUMN
- FURNITURE BY TENANT SHOWN FOR REFERENCE ONLY



1 SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"



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HILLS BUILDING RENOVATION

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MILWAUKEE, WI 53208

Revisions:
1 NPS PART 2 - AMENDMENT #1
10/09/2015

Sheet Name:
THIRD AND FOURTH FLOOR
CONSTRUCTION PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

A1.3

CONSTRUCTION NOTES

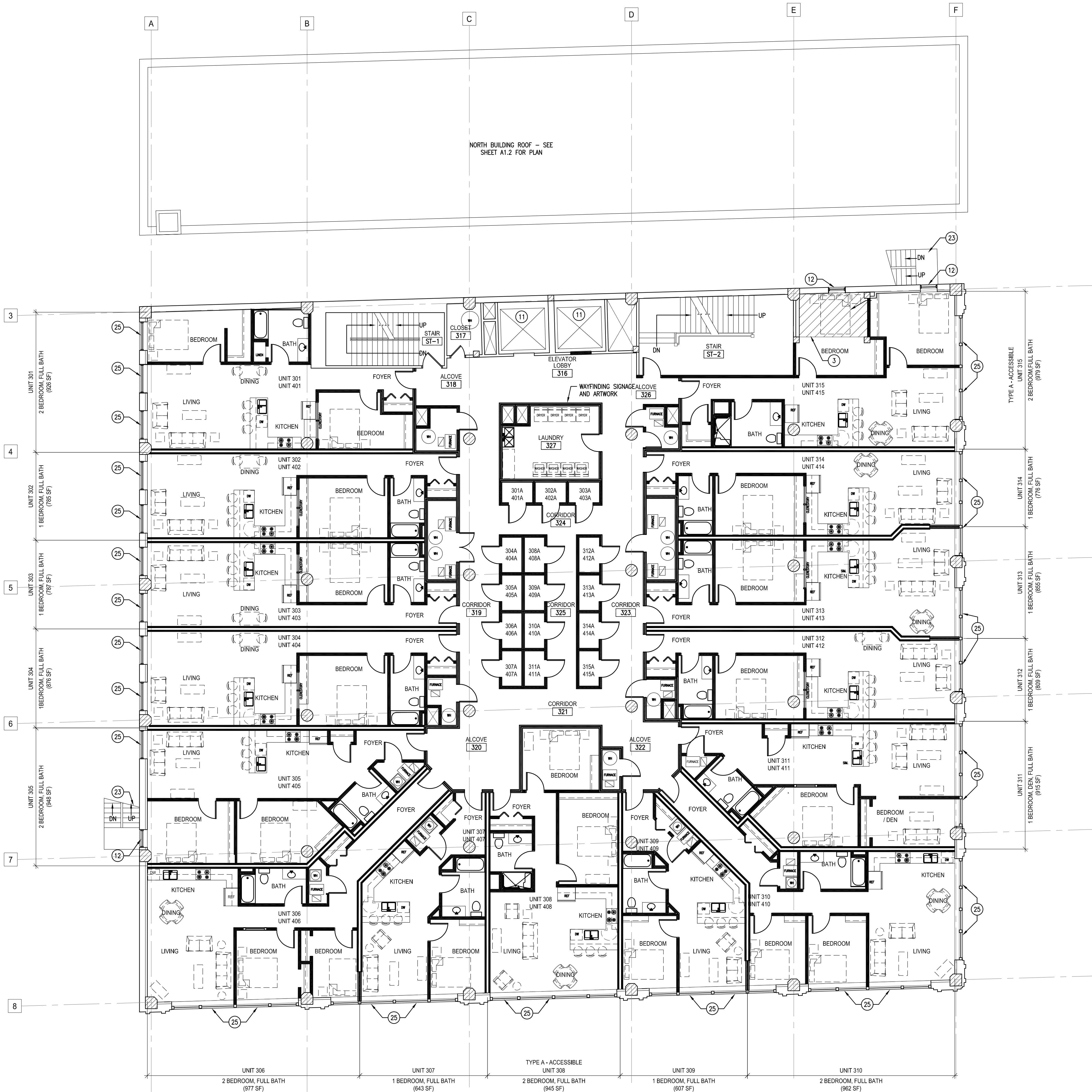
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2. PATCH FLOOR AT LOCATION OF REMOVED STAIR.
3. INFILL FLOOR OPENING AT REMOVED STAIR/AIR-SHAFT/ELEVATOR TO MATCH EXISTING FLOOR STRUCTURE.
4. NEW CONCRETE RAMP.
5. REINSTALL SALVAGED HISTORIC RAILING.
6. NEW ALUMINUM STOREFRONT TO MATCH EXISTING, WITH INSULATED GLAZING - SEE ELEVATIONS.
7. NEW BOILERS TO REPLACE EXISTING IN KIND.
8. NEW AIR HANDLING UNIT TO REPLACE EXISTING IN KIND.
9. NEW ELEVATOR SHAFT OVERRUN PER NEW PASSENGER ELEVATOR SPECIFICATIONS.
10. PROVIDE NEW PUSH BUTTON AUTOMATIC DOOR OPERATOR AT EXISTING DOOR.
11. EXISTING PASSENGER ELEVATOR:
 - RECONFIGURE CONTROLS TO LOCK-OUT MEZZANINE LEVEL.
 - EXTEND TRAVEL OF WEST ELEVATOR ONLY TO SIXTH FLOOR ROOF LEVEL.
12. NEW ALUMINUM WINDOW - SEE ELEVATIONS
13. NEW ENTRY DOOR - SEE ELEVATIONS
14. NEW OVERHEAD COILING DOOR - SEE ELEVATIONS
15. MASONRY INFILL AT EXISTING OPENING
16. DECORATIVE METAL FENCE - SEE ELEVATIONS.
17. EXISTING ENTRANCE SYSTEM TO REMAIN.
18. NEW ALUMINUM/GLASS ENTRY SYSTEM
19. NEW CONCRETE PLAZA DECK OVER WATERPROOFING MEMBRANE ON EXISTING STRUCTURAL DECK.
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21. EXISTING DECORATIVE COLUMN CAPITALS TO REMAIN EXPOSED - CLEAN AND REPAIR AS REQUIRED.
22. EXISTING DECORATIVE RAILING TO REMAIN - CLEAN AND REPAIR AS REQUIRED.
23. EXISTING FIRE ESCAPE TO REMAIN - SEE ELEVATIONS.
24. NOT USED.
25. EXISTING ALUMINUM CLAD WOOD WINDOWS TO REMAIN - CLEAN AND REPAIR AS REQUIRED.
26. NEW WALL LOUVER FOR MECHANICAL ROOM LOCATIONS - SEE ELEVATIONS.
27. NEW INTERIOR STAIR TO FIFTH FLOOR ROOF.
28. NEW CMU PARAPET WALL ROOF PATIO ENCLOSURE - SEE BUILDING SECTION.
29. CONCRETE PAVEMENT & PEDESTAL DECK SYSTEM ON SHEET WATERPROOFING MEMBRANE OVER TAPERED RIGID INSULATION ON EXISTING CONCRETE ROOF DECK - SEE BUILDING SECTION.
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GENERAL NOTES

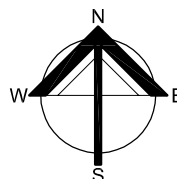
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- EXISTING DOORS TO REMAIN
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- FURNITURE BY TENANT SHOWN FOR REFERENCE ONLY



1 THIRD AND FOURTH FLOOR CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"





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Revisions:

Sheet Name:
FIFTH FLOOR
CONSTRUCTION PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

A1.5

CONSTRUCTION NOTES

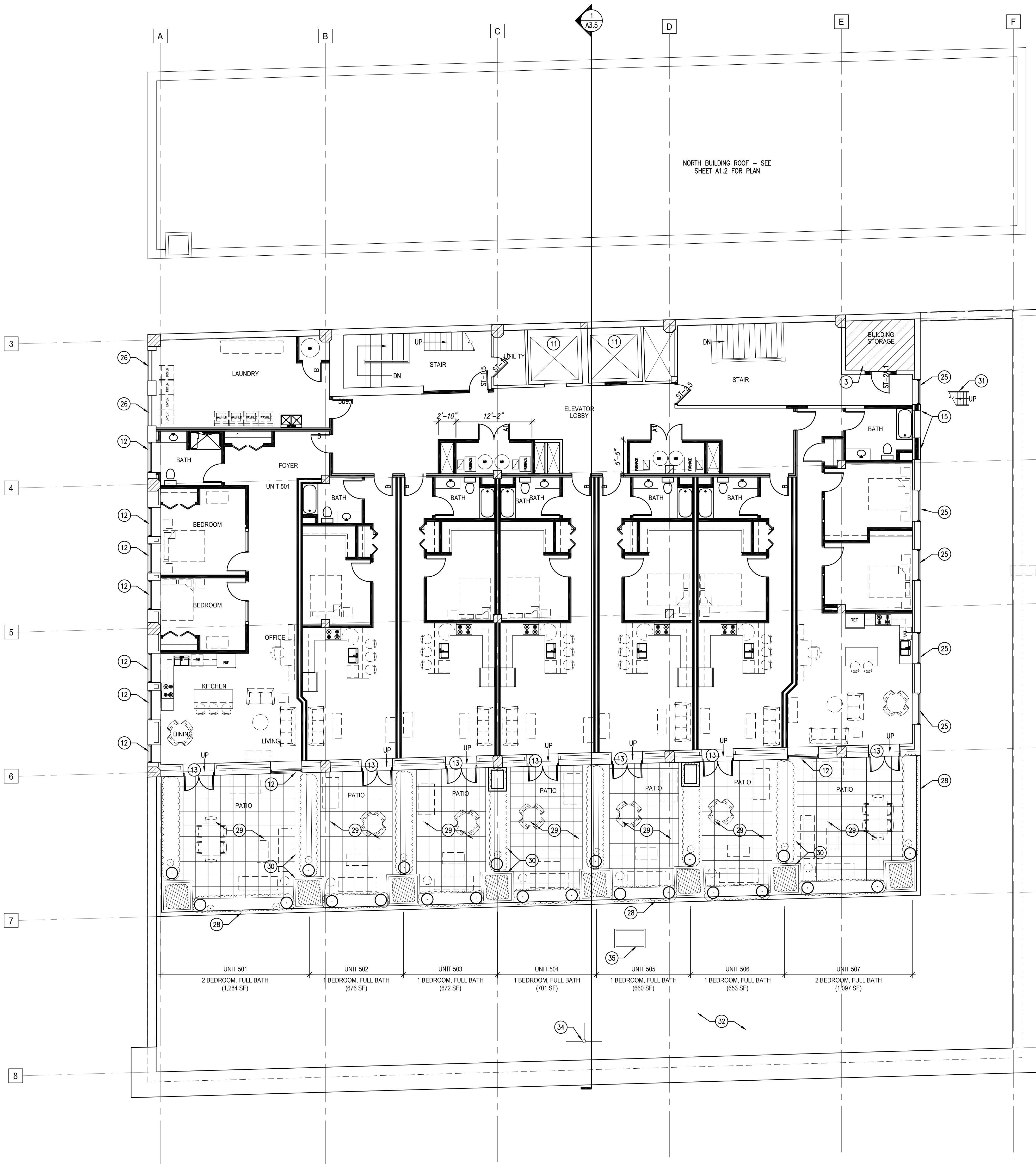
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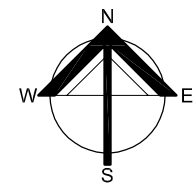
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1 FIFTH FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"





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Revisions:

Sheet Name:
UPPER ROOF
CONSTRUCTION PLAN

Date: 01/12/2016
Drawn By: CLR/EJL
Project No.: 10031.04

Sheet No.

A1.6

CONSTRUCTION NOTES

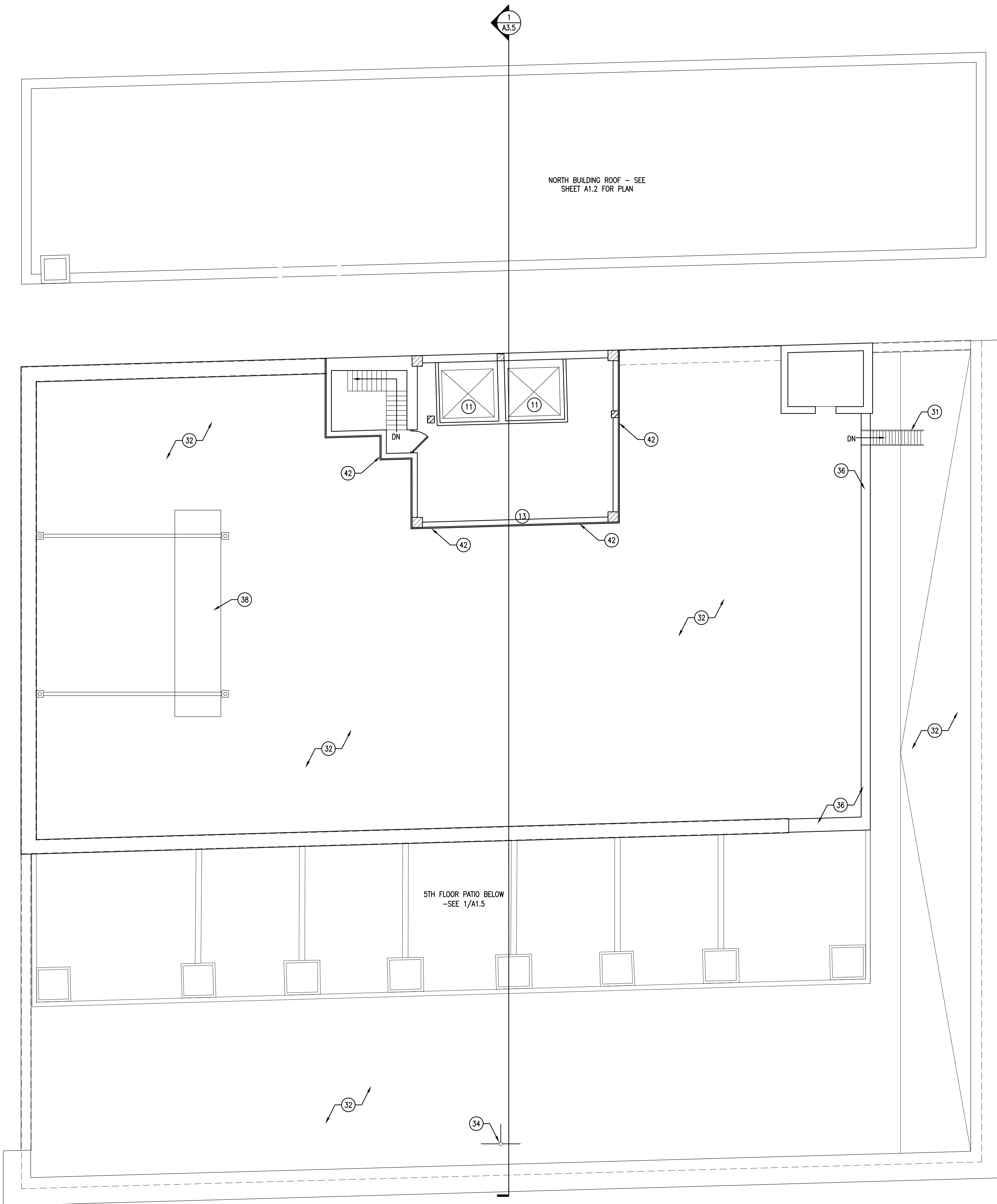
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24. NOT USED.
25. EXISTING ALUMINUM CLAD WOOD WINDOWS TO REMAIN - CLEAN AND REPAIR AS REQUIRED.
26. NEW WALL LOUVER FOR MECHANICAL ROOM LOCATIONS - SEE ELEVATIONS.
27. NEW INTERIOR STAIR TO FIFTH FLOOR ROOF.
28. NEW CMU PARAPET WALL ROOF PATIO ENCLOSURE - SEE BUILDING SECTION.
29. CONCRETE PAVER & PEDESTAL DECK SYSTEM ON SHEET WATERPROOFING MEMBRANE OVER TAPERED RIGID INSULATION ON EXISTING CONCRETE ROOF DECK - SEE BUILDING SECTION.
30. NEW PLANTER BOX AND PATIO DIVIDER.
31. EXISTING ROOF ACCESS SHIP'S LADDER TO REMAIN.
32. NEW SHEET WATERPROOFING MEMBRANE ROOFING WOOD-FRAMED ATTIC DECK.
33. ROOF ACCESS STAIR.
34. EXISTING FLAGPOLE TO REMAIN.
35. NEW ATTIC ACCESS DOOR.
36. NEW SHEET METAL PARAPET COPING.
37. 48" DECORATIVE METAL/GLASS GUARD RAIL.
38. NEW CHILLERS ON EXISTING STEEL STRUCTURE.
39. EXISTING HARP LIGHT AND POST TO REMAIN.
40. INSTALL SALVAGED HARP LIGHT AND POST.
41. NEW CURVED GLASS GLAZING.
42. NEW PREFINISHED METAL PANEL SIDING OVER EXISTING PARSED MASONRY

GENERAL NOTES

1. ALL PARTITIONS TO BE TYPE 1 UNLESS NOTED OTHERWISE. ALL WALLS TO BE CONSTRUCTED ON COLUMN CENTERLINES UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED THE CONTRACTOR SHOULD VERIFY WITH QUORUM ARCHITECTS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND REPORT ANY DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO QUORUM ARCHITECTS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTORS UNFAMILIARITY WITH THE JOB SITE CONDITIONS.
4. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
5. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
6. CONTRACTORS SHALL SUBMIT (4) SETS OF SHOP DRAWINGS, SAMPLES, INTERIOR AND EXTERIOR FINISHES, RELEVANT TECHNICAL DATA AND APPLICABLE CUT SHEETS TO THE ARCHITECTS FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
7. VOICE AND DATA CABLING BY TENANT.
8. FURNITURE IS SHOWN FOR REFERENCE ONLY.
9. ALL NEWLY CONSTRUCTED ROOMS OR OFFICES SHALL INCLUDE PROVISIONS FOR ADEQUATE POWER AND VOICE/DATA OUTLETS.
10. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL OBTAIN A COPY OF ANY CITY, STATE OR FEDERAL CODES OR REGULATIONS WHICH HAVE JURISDICTION OVER THIS WORK AND AS CALLED OUT IN THESE PLANS. NO ALLOWANCES WILL BE MADE DUE TO THE CONTRACTOR'S UNFAMILIARITY WITH THESE REGULATIONS AND CODES.
11. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
12. ALL CONTRACTORS SHALL SECURE AND PAY FOR ALL REQUIRED APPROVALS, PERMITS, FEES AND LICENSES AS IT APPLIES TO HIS/HER DISCIPLINE PRIOR TO ANY EXECUTION OF WORK.
13. THE DESIGN OF THE HEATING/VENTILATION & AIR CONDITIONING, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE HVAC SYSTEM IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
14. THE DESIGN OF ALL ELECTRICAL WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE ELECTRICAL / LIGHTING WORK, IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. THE DESIGN OF ALL PLUMBING WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE PLUMBING, IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
16. THE DESIGN OF ALL FIRE PROTECTION WORK, AS WELL AS ANY DRAWINGS OR SUBMITTALS REQUIRED FOR DESIGN AND INSTALLATION OF THE FIRE PROTECTION SYSTEM, IS THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR. ALL COORDINATION OF THIS WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
17. ALL WORK IS TO BE COMPLETED USING ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF QUESTIONS ARISE AS TO THE SPECIFIC MATERIALS TO BE USED, THE CONTRACTOR MAY PRESENT SUBSTITUTIONS TO THE OWNER AND ARCHITECT FOR THEIR REVIEW AND APPROVAL. ANY SUBSTITUTIONS MUST BE APPROVED BY THE OWNER AND ARCHITECT.
18. WORK INVOLVING SHUTDOWN ON ANY PRESENTLY OPERATING SERVICES SHALL BE DONE AT SUCH A TIME THAT WILL MINIMIZE ANY INCONVENIENCE TO THE OWNER AND TENANTS. THIS CONTRACTOR WILL BE REQUIRED TO DO SUCH WORK AS DIRECTED BY AND VERIFIED WITH OWNER.
19. EACH CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY CONSTRUCTION OR DAMAGE THAT RESULTS FROM THEIR CONTRACTED PORTION OR TRADE. PROVIDE A "LIKE NEW FINISH" AS REQUIRED.
20. EACH CONTRACTOR SHALL PROVIDE ADEQUATE, NECESSARY AND REQUIRED BARRICADES, FENCES AND SAFETY PRECAUTIONS FOR THE GENERAL PUBLIC'S SAFETY NEAR THE SITE. GENERAL CONTRACTOR SHALL PROVIDE ANY AND ALL TEMPORARY BARRICADES AND DUST BARRIERS AS REQUESTED BY THE OWNER.
21. FIRE EXTINGUISHERS ARE TO BE PROVIDED AND LOCATED BY GENERAL CONTRACTOR AS REQUIRED BY CODE.

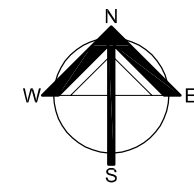
LEGEND

- | | |
|--|---|
| | EXISTING WALLS TO REMAIN |
| | NEW WALLS |
| | NEW PARTIAL HEIGHT WALL |
| | EXISTING DOORS TO REMAIN |
| | NEW DOORS |
| | EXISTING COLUMN |
| | FURNITURE BY TENANT
SHOWN FOR REFERENCE ONLY |



1 UPPER ROOF CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"





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MILWAUKEE, WI 53208

Revisions:
NPS PART 2 - AMENDMENT #1
10/09/2015

Sheet Name:
EAST AND WEST
CONSTRUCTION ELEVATIONS

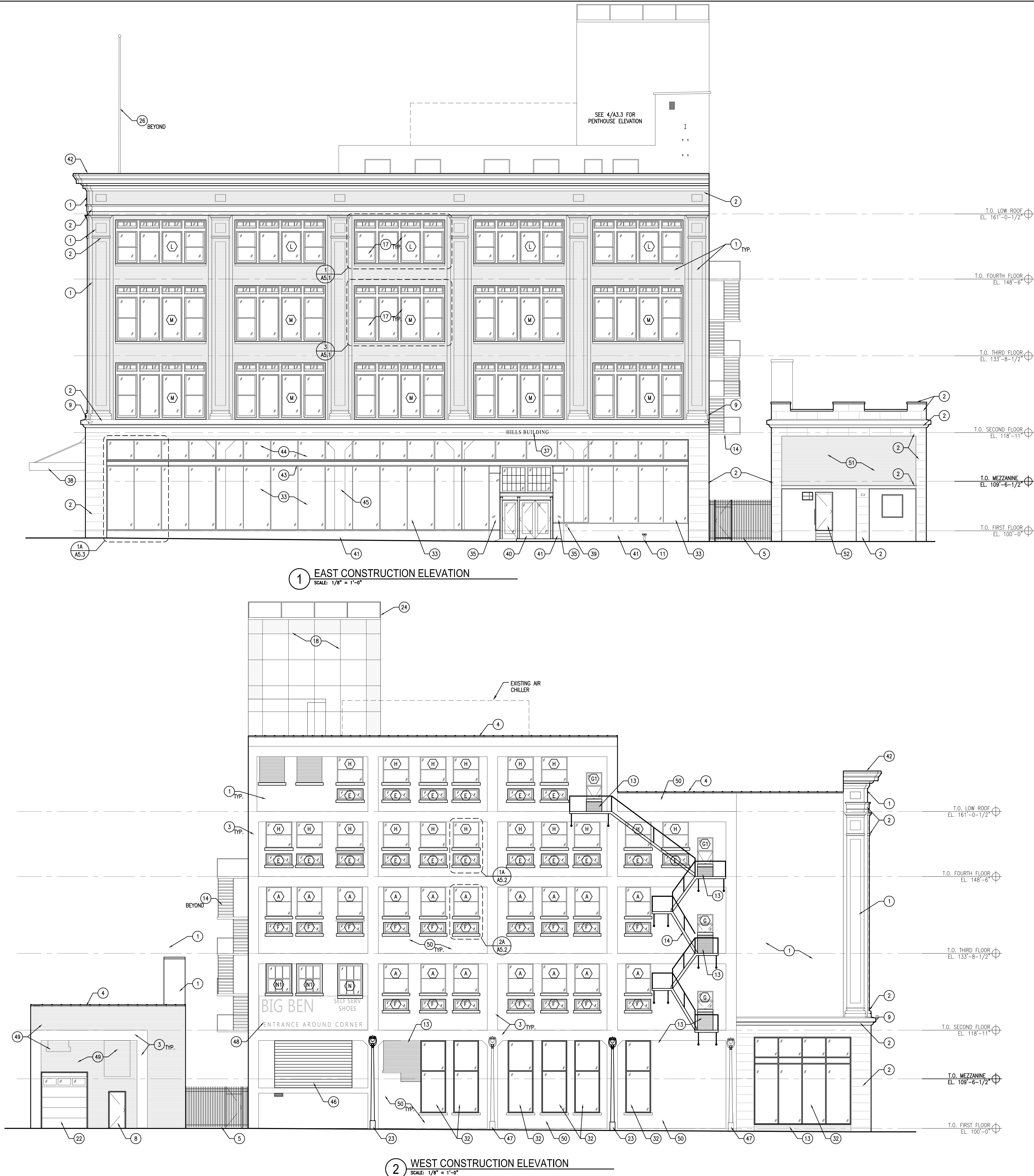
Date: 01/12/2016
Drawn By: AJD
Project No.: 10031.04

Sheet No.

A3.1

ELEVATION CONSTRUCTION NOTES

- CLEAN AND REPOINT EXISTING UNPAINTED FACE BRICK AS REQUIRED.
- CLEAN AND REPOINT EXISTING STONE TRIM AND VENEER AS REQUIRED.
- CLEAN EXISTING EXPOSED CONCRETE STRUCTURE. ROUT AND POINT EXISTING CRACKS AND OLD REPAIRS AS REQUIRED. PATCH SPALLED AREAS AND RUB SURFACE TO MATCH ADJACENT.
- MAINTAIN EXISTING CERAMIC COPING TILE CAP. PATCH MISSING OR DAMAGED TILES TO MATCH.
- NEW 8' DECORATIVE PAINTED METAL FENCE BETWEEN HILLS BUILDING AND NORTH BUILDING WITH SWINGING GATE.
- EXISTING SIGNAGE TO REMAIN.
- NOT USED.
- EXISTING EXTERIOR DOOR TO REMAIN. REPAIR AND MODIFY DOOR HARDWARE AS SCHEDULED.
- EXISTING SECURITY CAMERA LOCATION.
- NEW EXTERIOR ALUMINUM CLAD WOOD DOOR WITH GLAZED LITE AND TRANSOM ABOVE BY WINDOW MANUFACTURER.
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- EXISTING WOOD WINDOW TO REMAIN. REPAIR AND REGLAZE AS REQUIRED.
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- NEW DOUBLE-HUNG ALUMINUM CLAD WOOD WINDOWS IN NEW MASONRY OPENING.
- REPAINT EXISTING CMU INFILL.
- NEW INSULATED STEEL OVERHEAD DOOR AT EXISTING GARAGE DOOR LOCATION.
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- REPAIR OR REPLACE AND PAINT EXISTING METAL GUARDRAIL.
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1 EAST CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"

2 WEST CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



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Revisions:

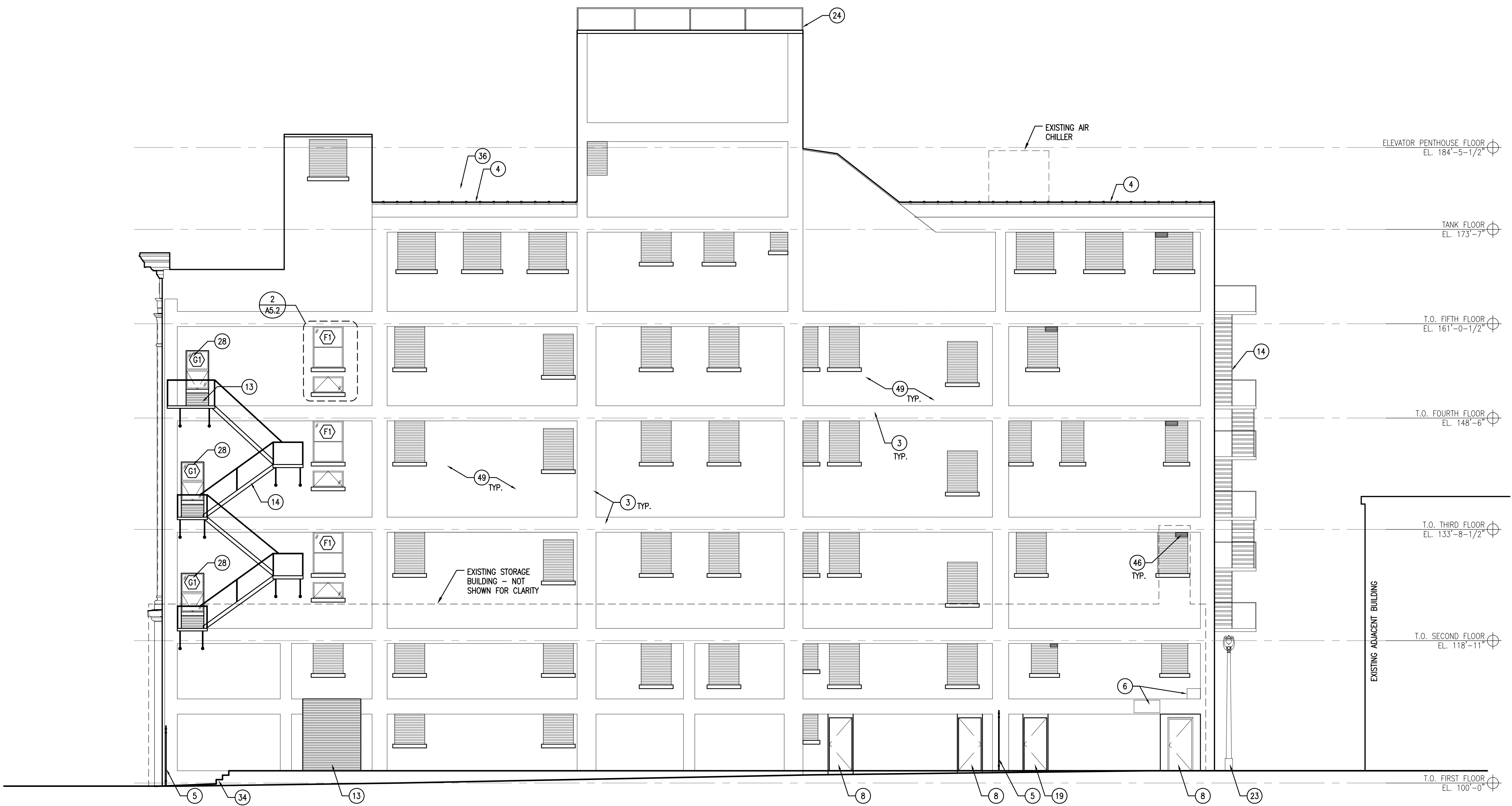
Sheet Name:
NORTH AND SOUTH
CONSTRUCTION ELEVATIONS

Date: 01/12/2016
Drawn By: AJD
Project No.: 10031.04
Sheet No.

A3.2

ELEVATION CONSTRUCTION NOTES

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1 NORTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH CONSTRUCTION ELEVATION
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Revisions:
NPS PART 2 - AMENDMENT #1
10/09/2015

Sheet Name:
NORTH BUILDING AND
PENTHOUSE CONSTRUCTION
ELEVATIONS

Date: 01/12/2016

Drawn By: AJD

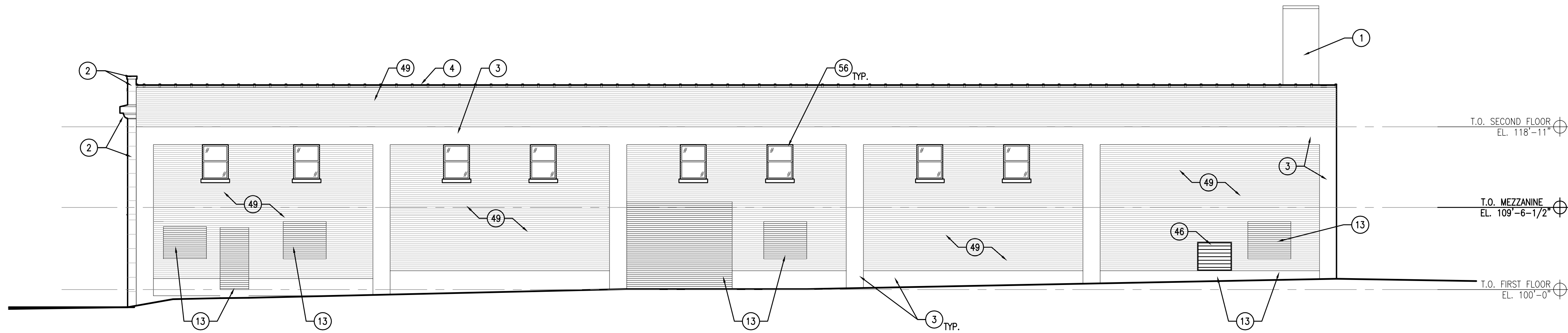
Project No.: 10031.04

Sheet No.

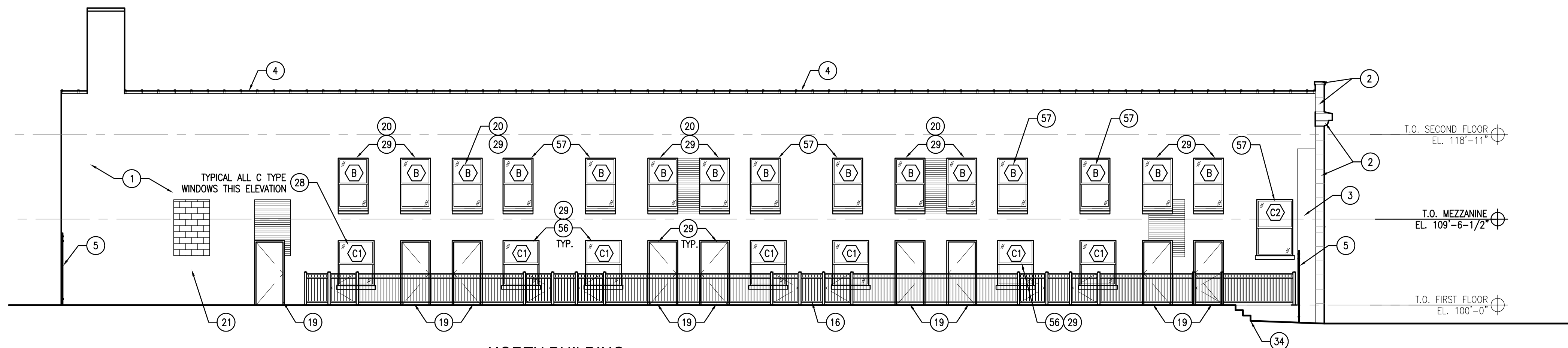
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ELEVATION CONSTRUCTION NOTES

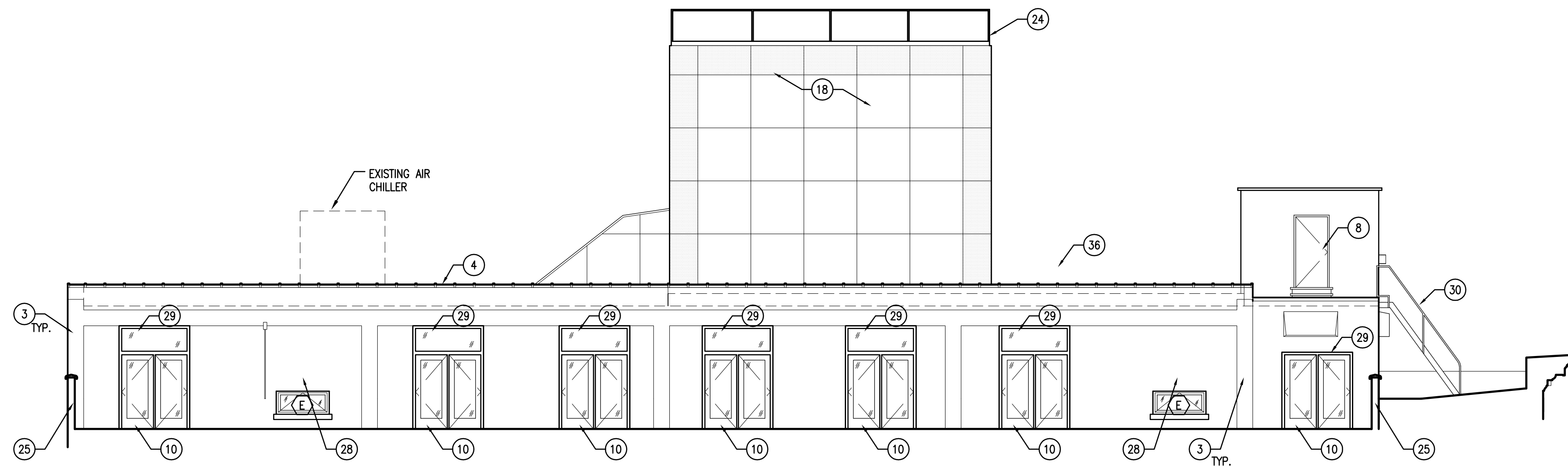
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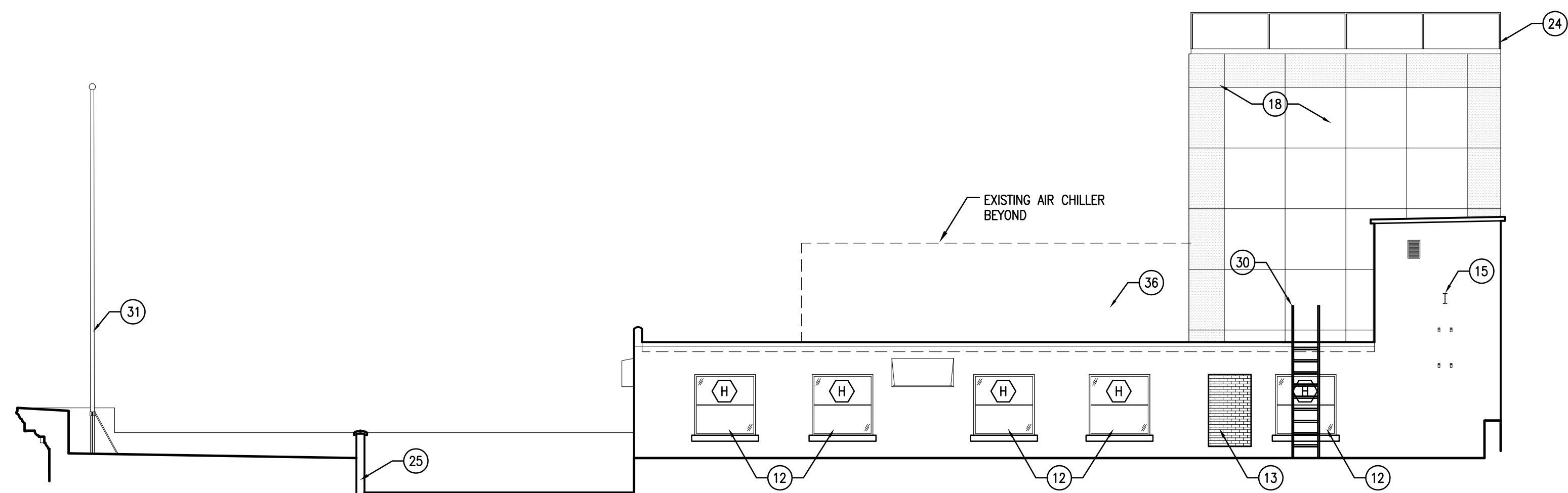
1 NORTH BUILDING
NORTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH BUILDING
SOUTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



3 PENTHOUSE
SOUTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



4 PENTHOUSE
EAST CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



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HILLS BUILDING RENOVATION

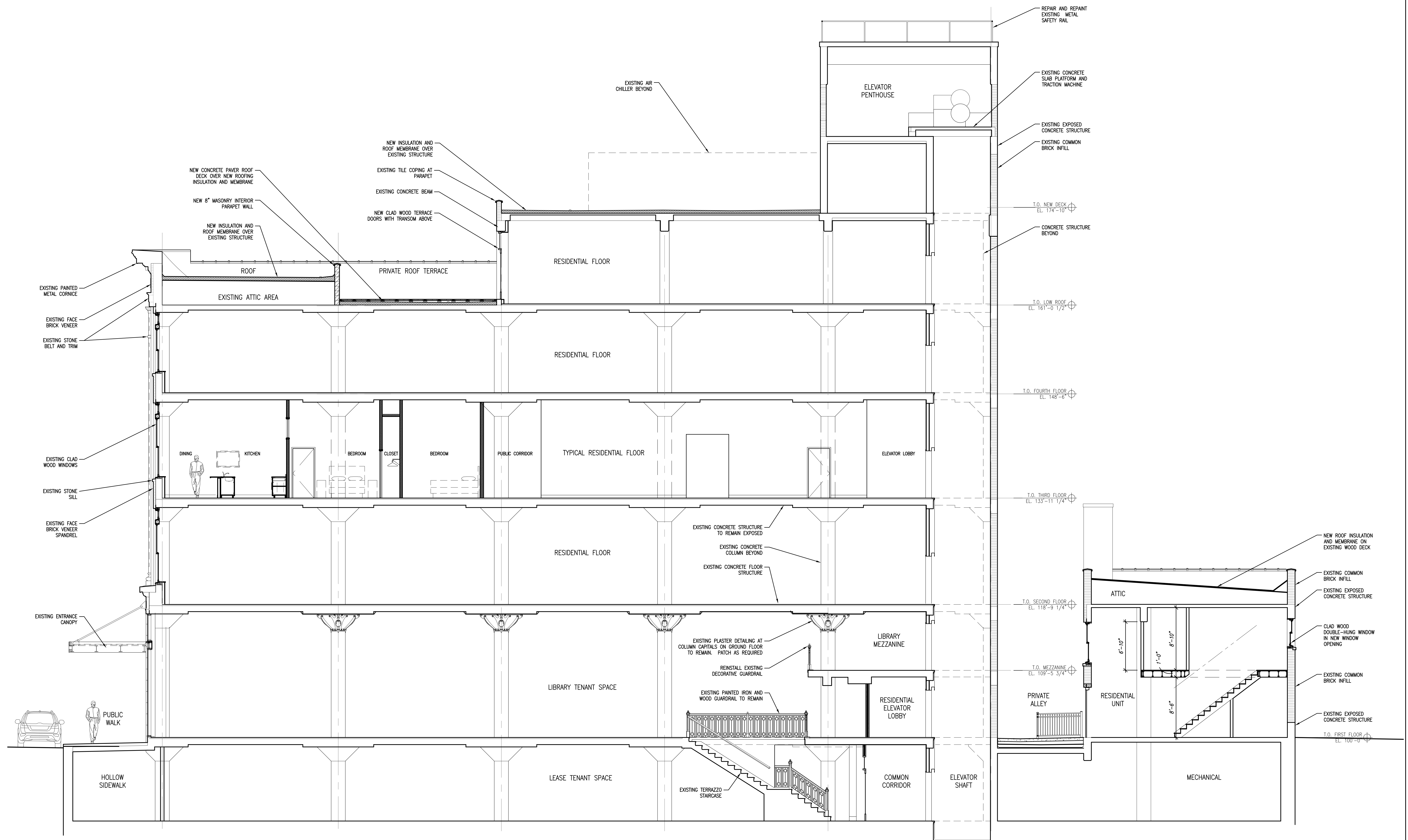
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Revisions:
NPS PART 2 - AMENDMENT #1
10/09/2015

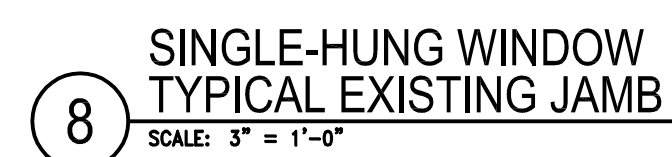
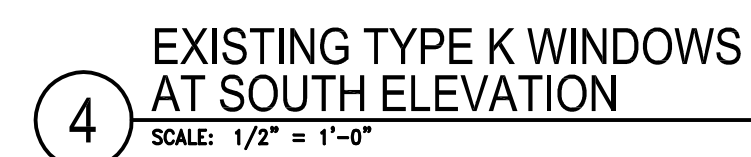
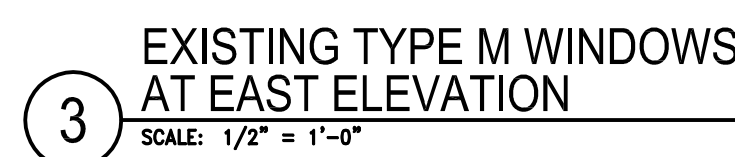
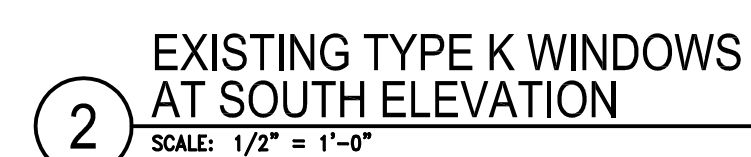
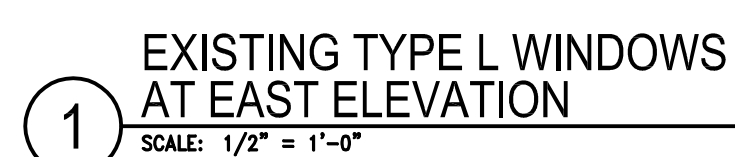
Sheet Name:
BUILDING SECTION

Date: 01/12/2016
Drawn By: MK
Project No.: 10031.04

Sheet No.
A3.5



1 BUILDING SECTION LOOKING WEST
SCALE: 3/16" = 1'-0"



PRELIMINARY
NOT FOR
CONSTRUCTION
QUORUM ARCHITECTS, INC.

906 WEST MITCHELL STREET
MILWAUKEE, WI 53208

Revisions:

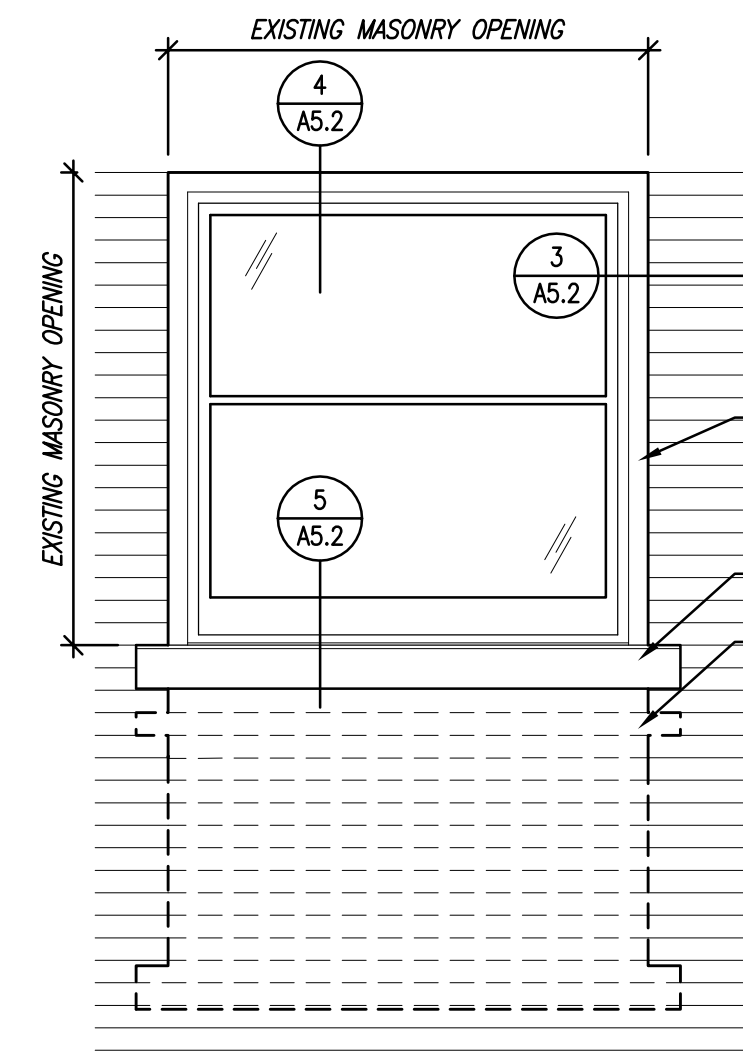
Sheet Name:
TYPICAL EXISTING
WINDOW DETAILS

Date: 01/12/2016
 Drawn By: MWK/TK
 Project No.: 10031.04

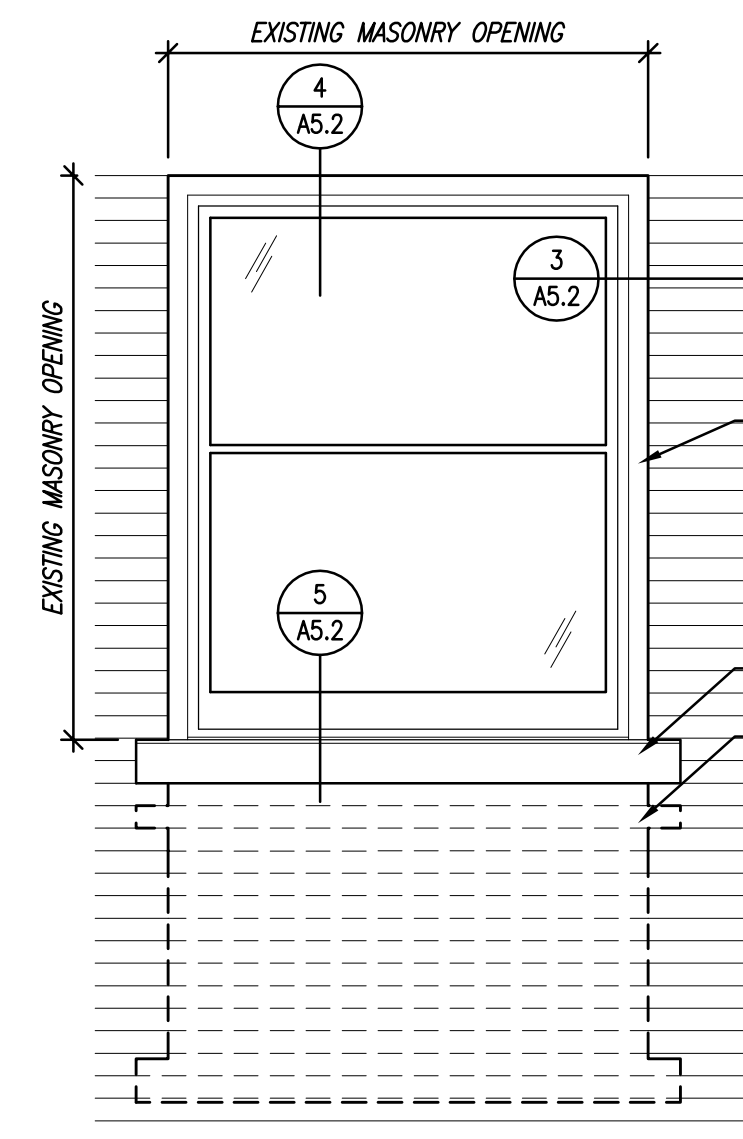
Sheet No.

A5.1

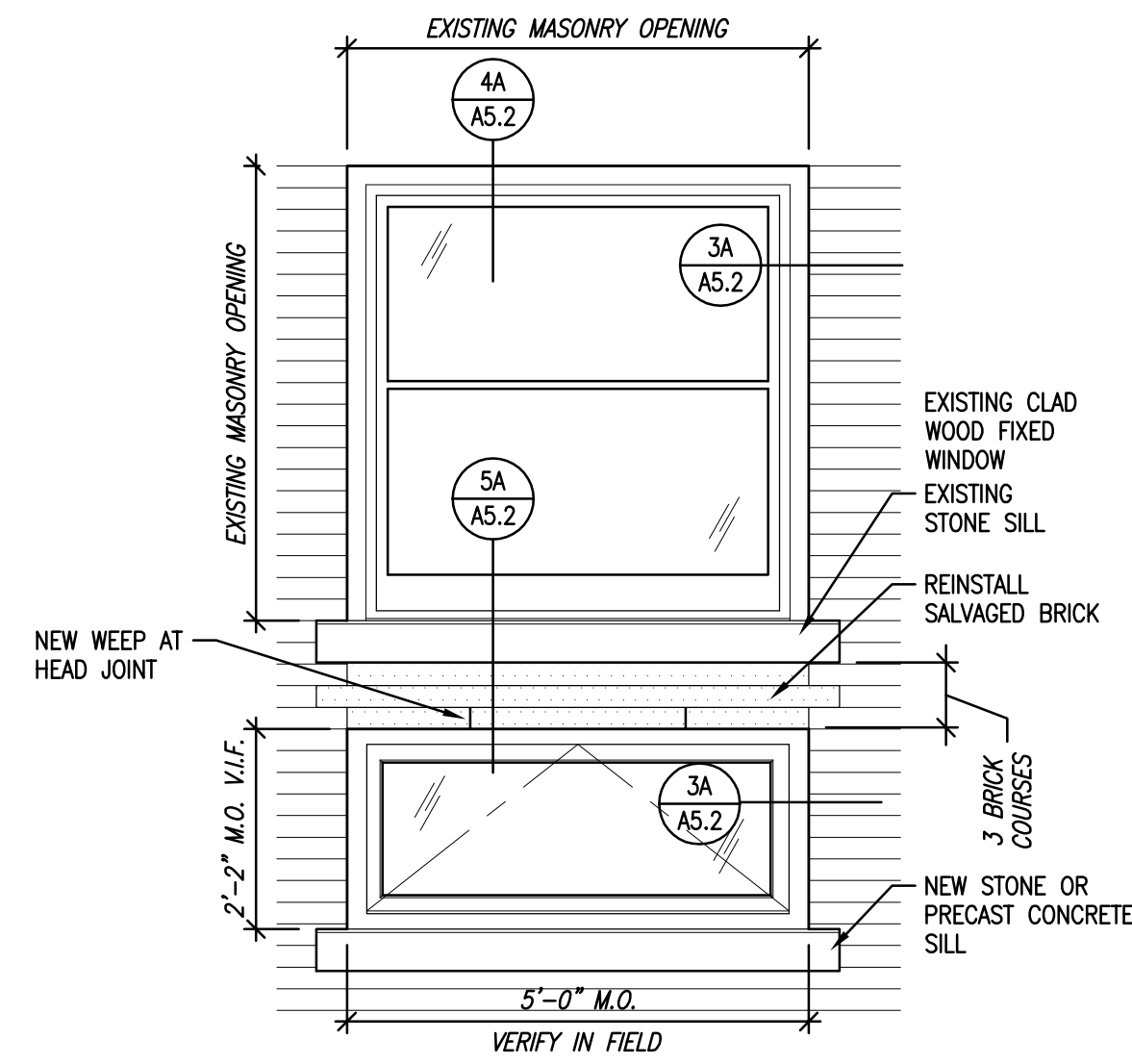
Jan 11, 2016 - 6:04pm
\\10 Projects\10031-04 Hills Bldg\CDs\10031-04-A5-1.dwg



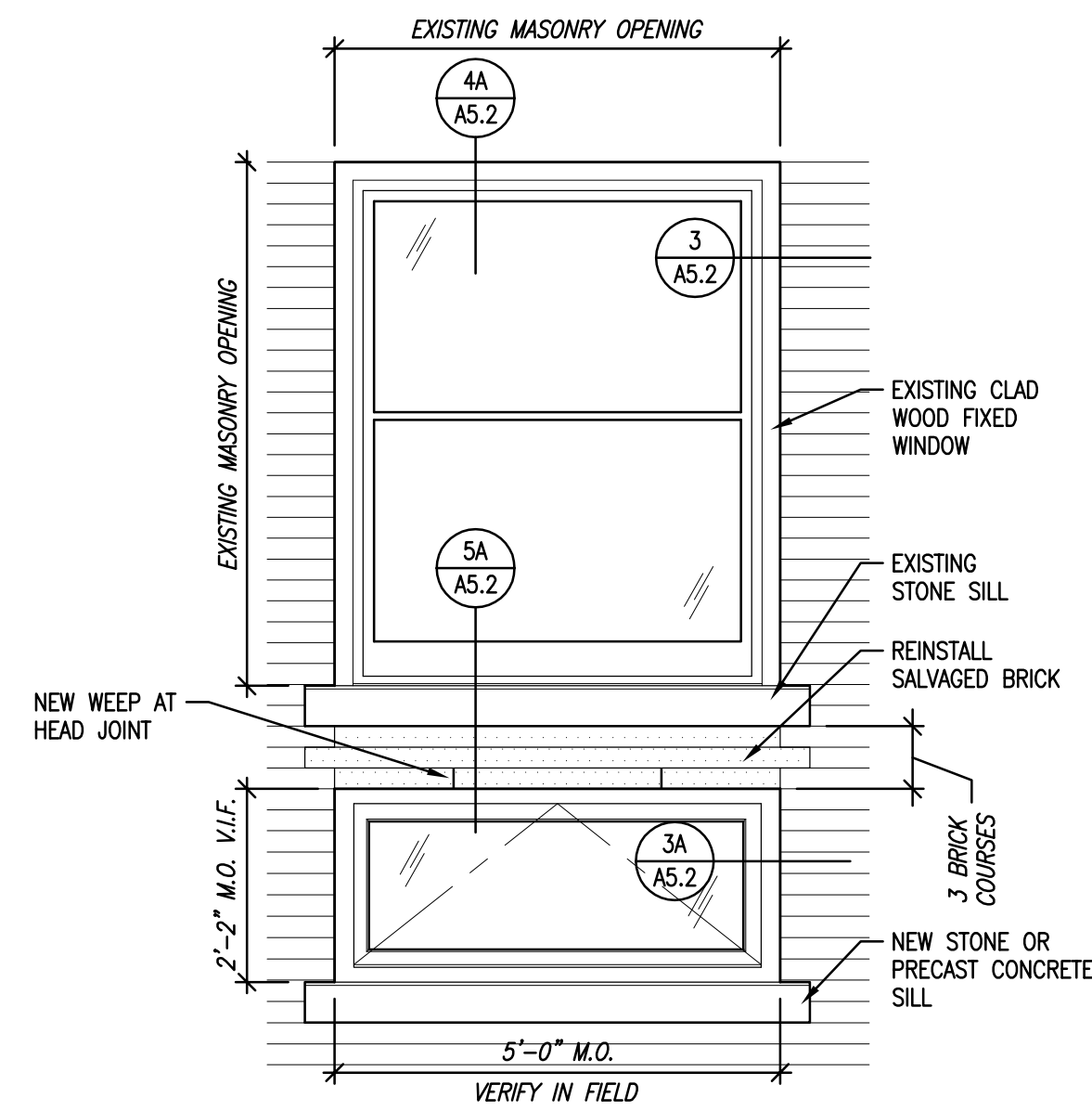
**1 EXISTING TYPE E WINDOWS
AT WEST ELEVATION 4TH & 5TH FLOORS**
SCALE: 1/2" = 1'-0"



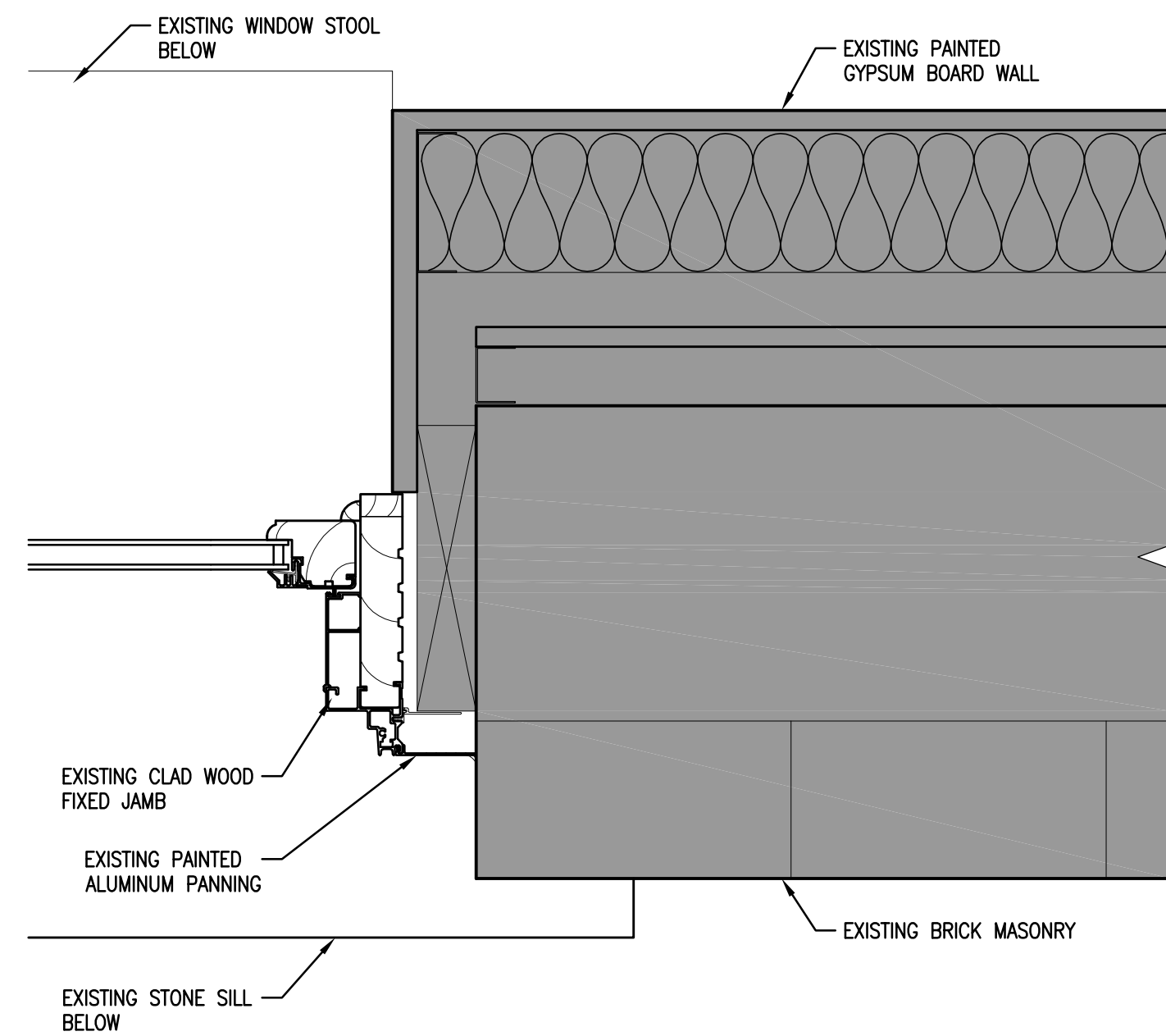
**2 EXISTING TYPE F WINDOWS
AT WEST ELEVATION 2ND & 3RD FLOORS**
SCALE: 1/2" = 1'-0"



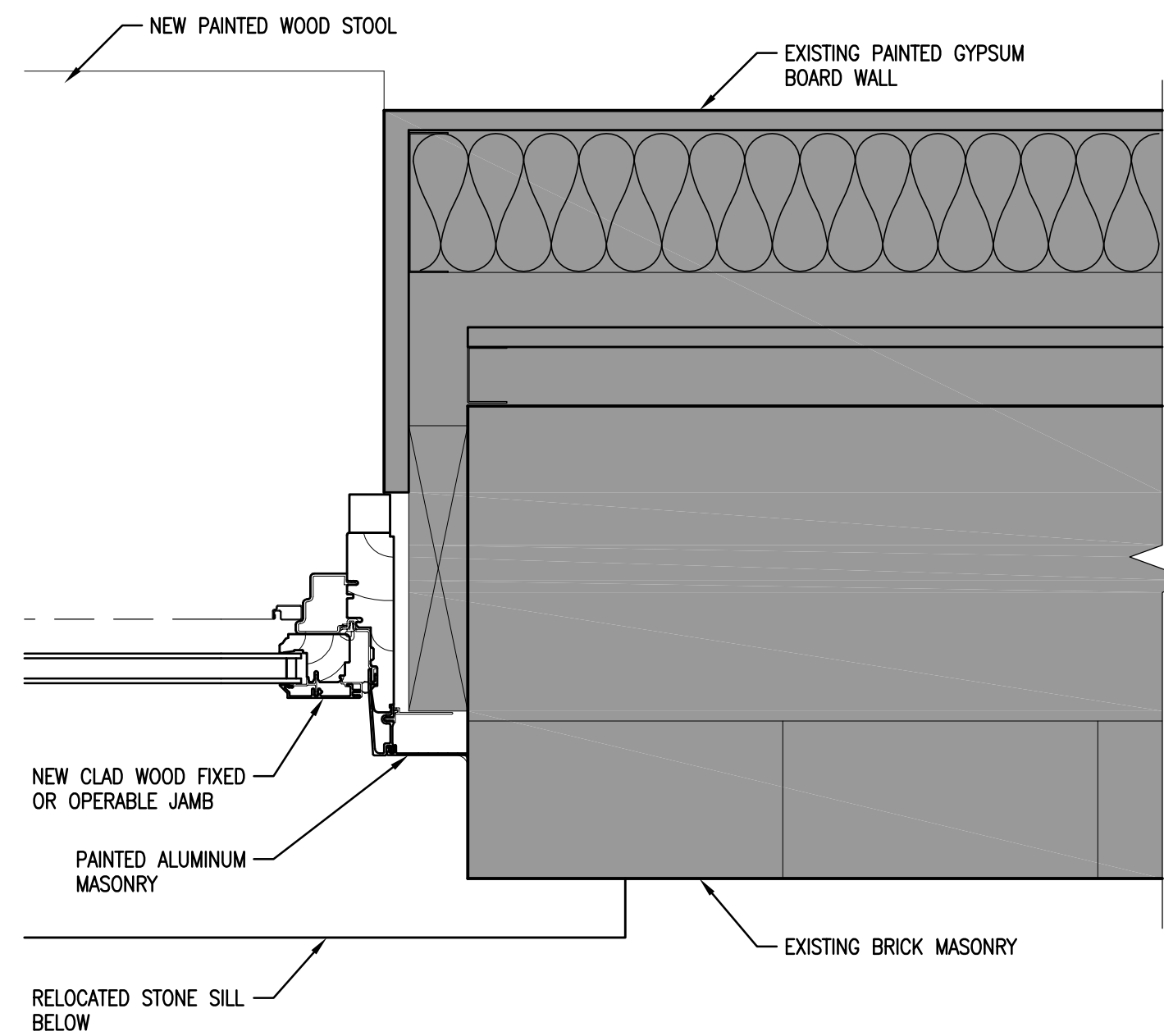
**1A REPLACEMENT TYPE E WINDOWS
AT WEST ELEVATION 4TH & 5TH FLOORS**
SCALE: 1/2" = 1'-0"



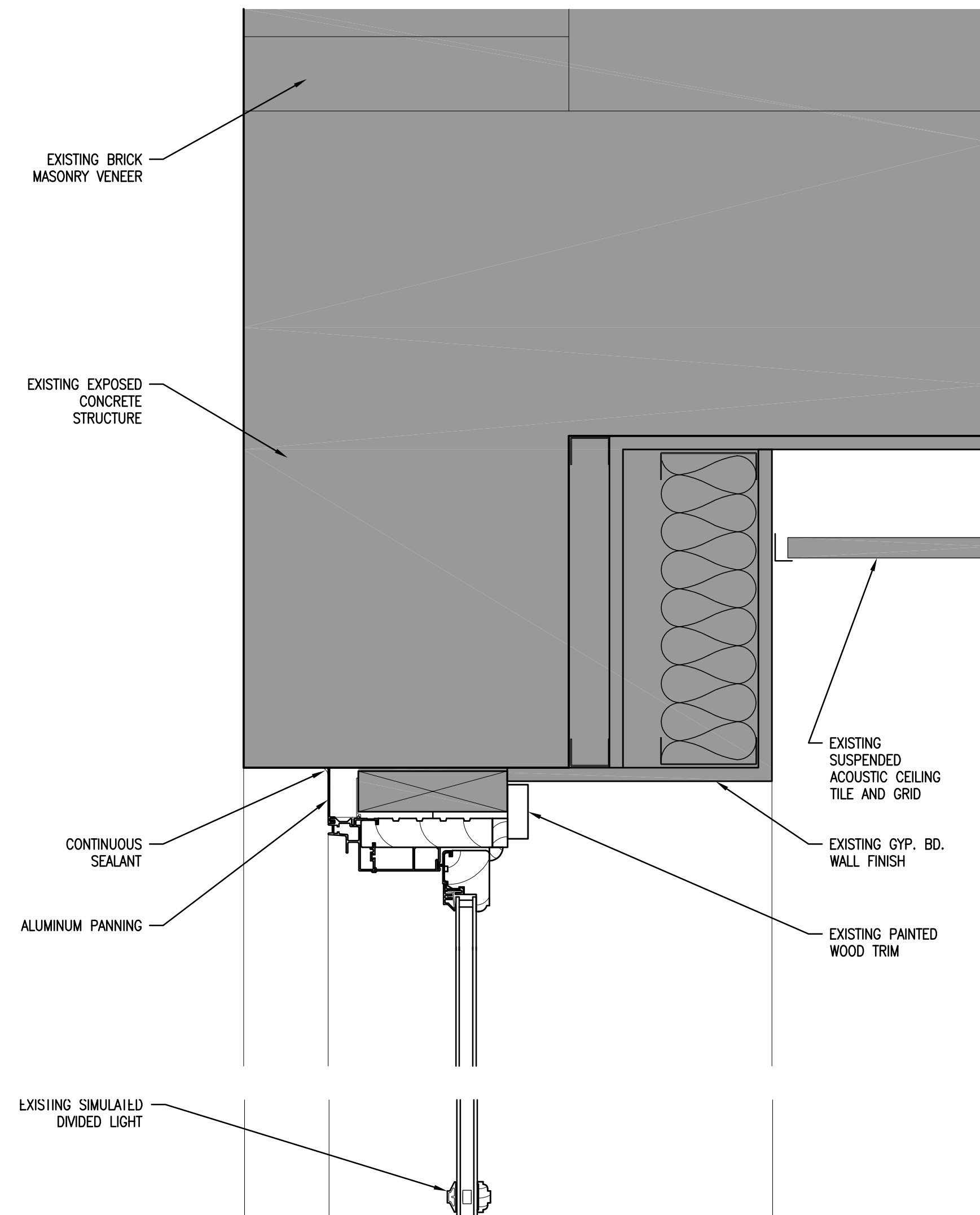
**2A REPLACEMENT TYPE F WINDOWS
AT WEST ELEVATION 2ND & 3RD FLOORS**
SCALE: 1/2" = 1'-0"



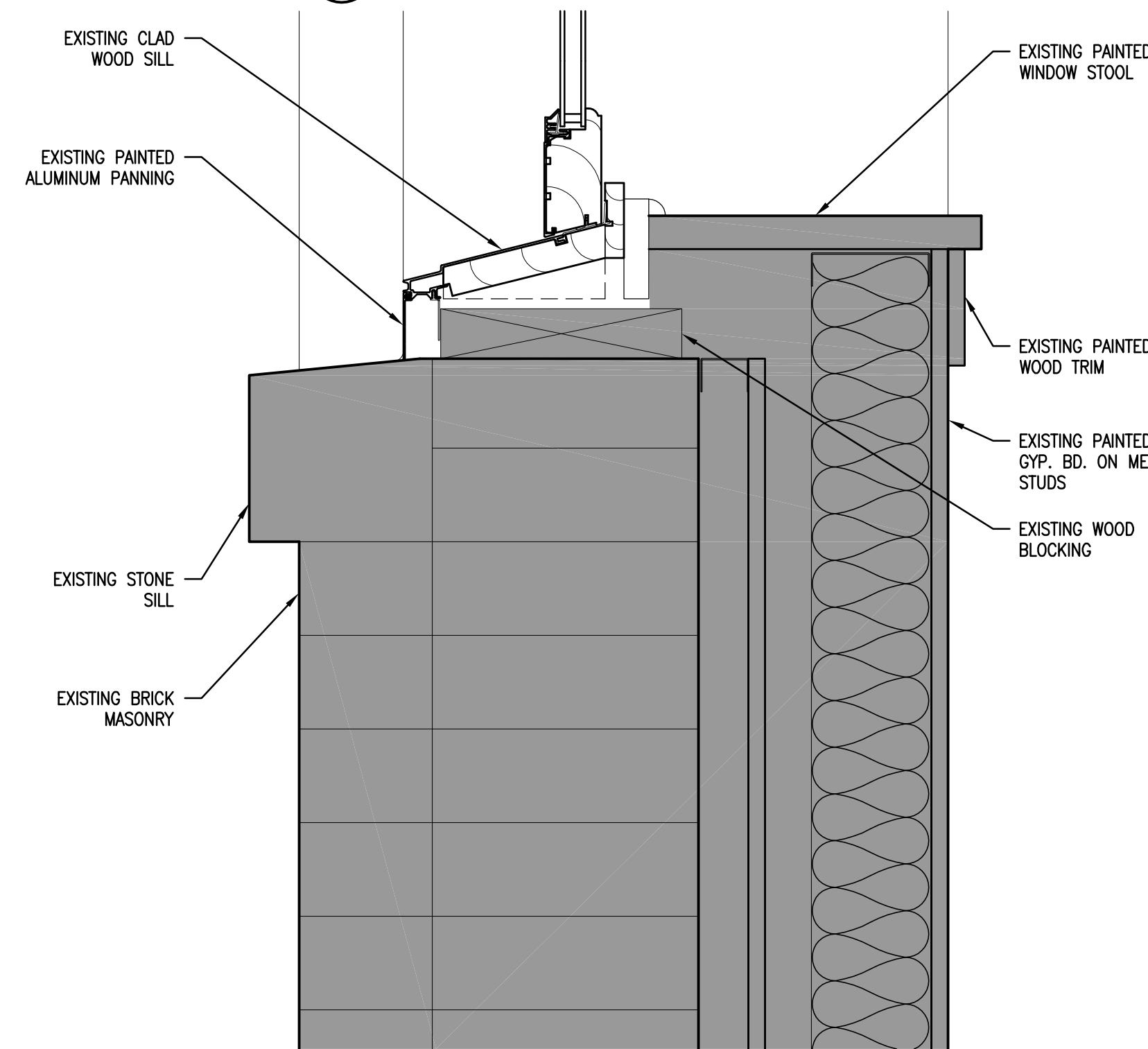
**3 EXISTING TYPE E & F WINDOWS
TYPICAL JAMB**
SCALE: 3" = 1'-0"



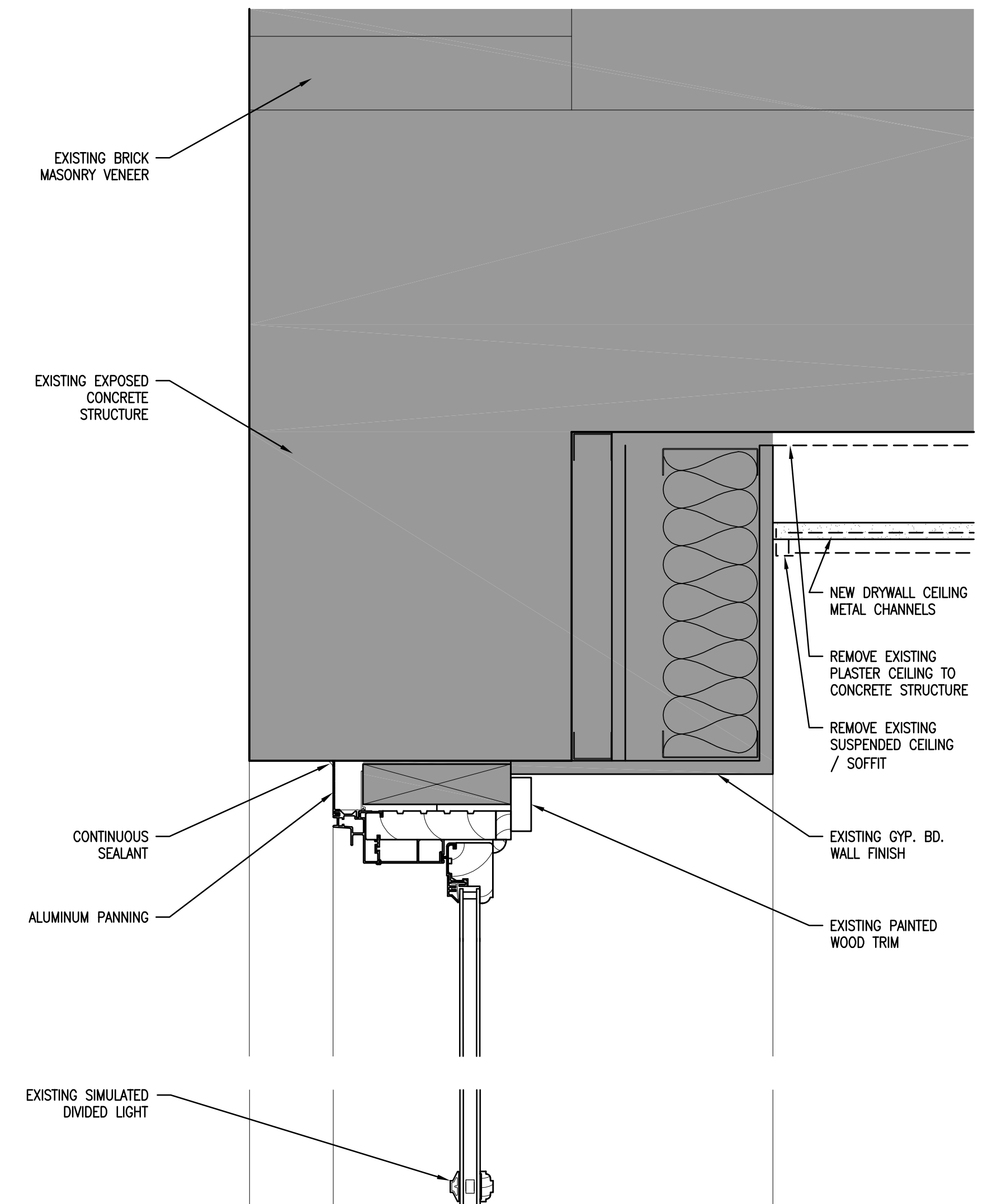
**3A REPLACEMENT TYPE E & F WINDOWS
TYPICAL JAMB**
SCALE: 3" = 1'-0"



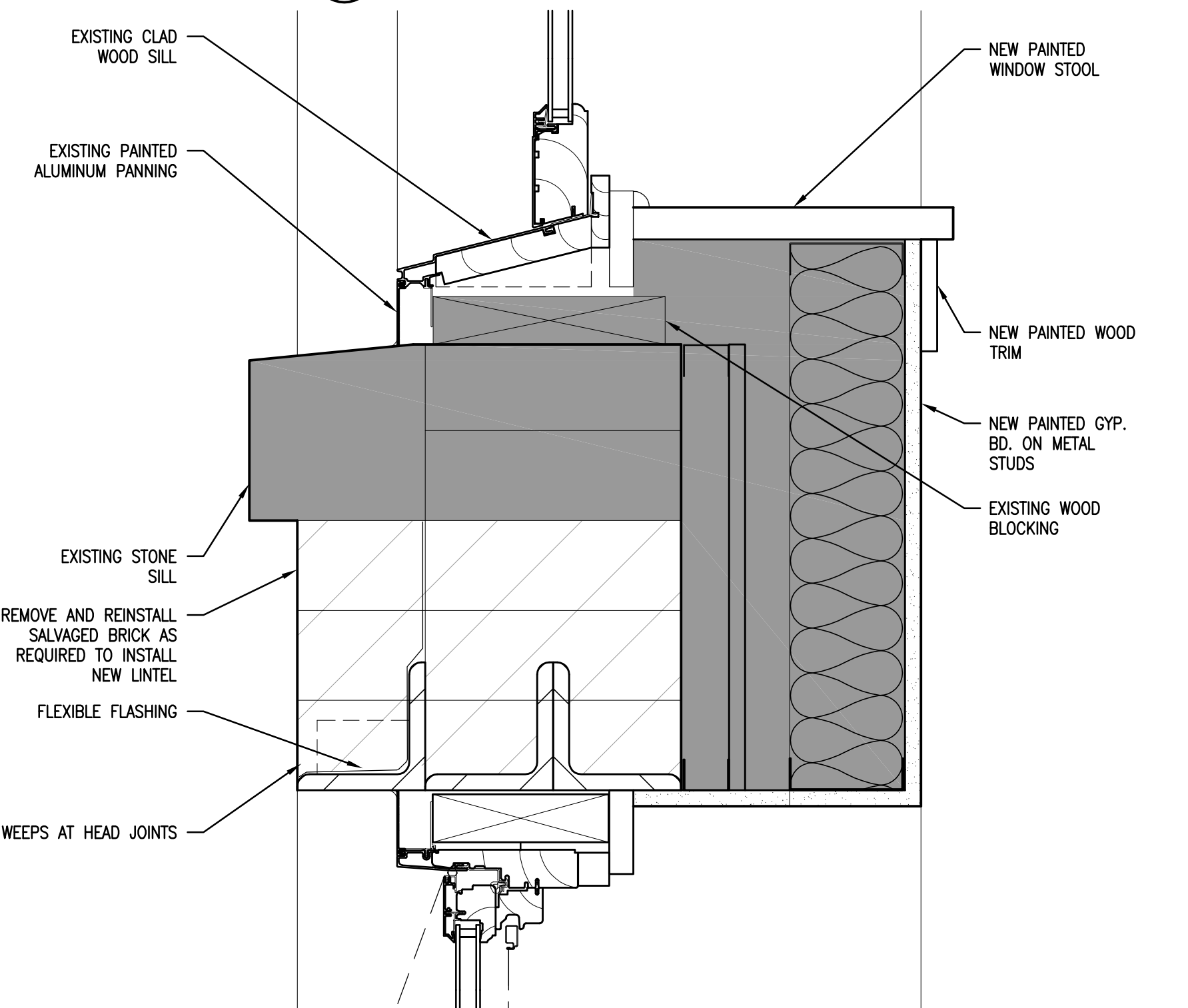
**4 EXISTING TYPE E & F WINDOWS
TYPICAL HEAD AND HORIZONTAL MUNTIN**
SCALE: 3" = 1'-0"



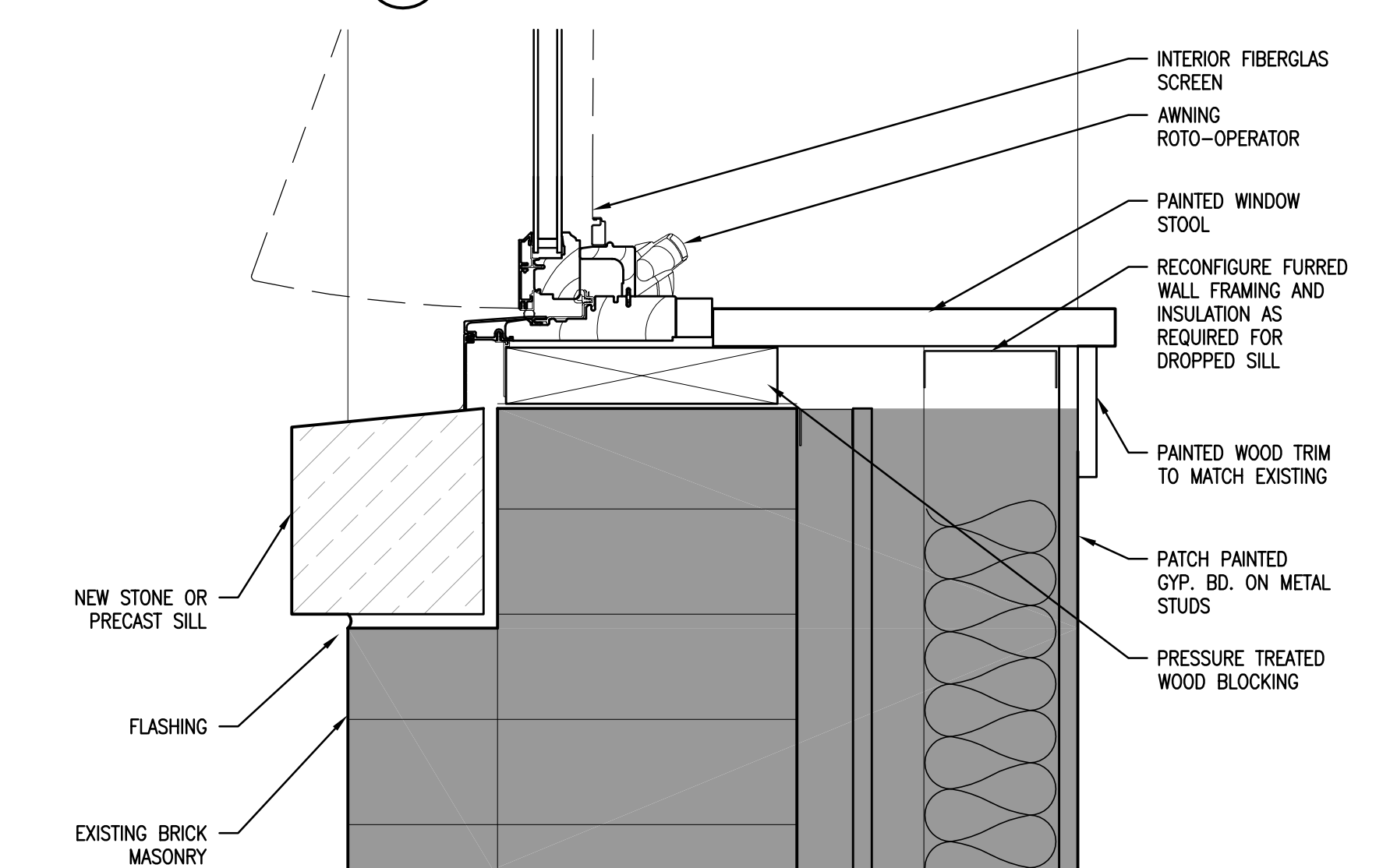
**5 EXISTING TYPE E & F WINDOWS
TYPICAL SILL**
SCALE: 3" = 1'-0"



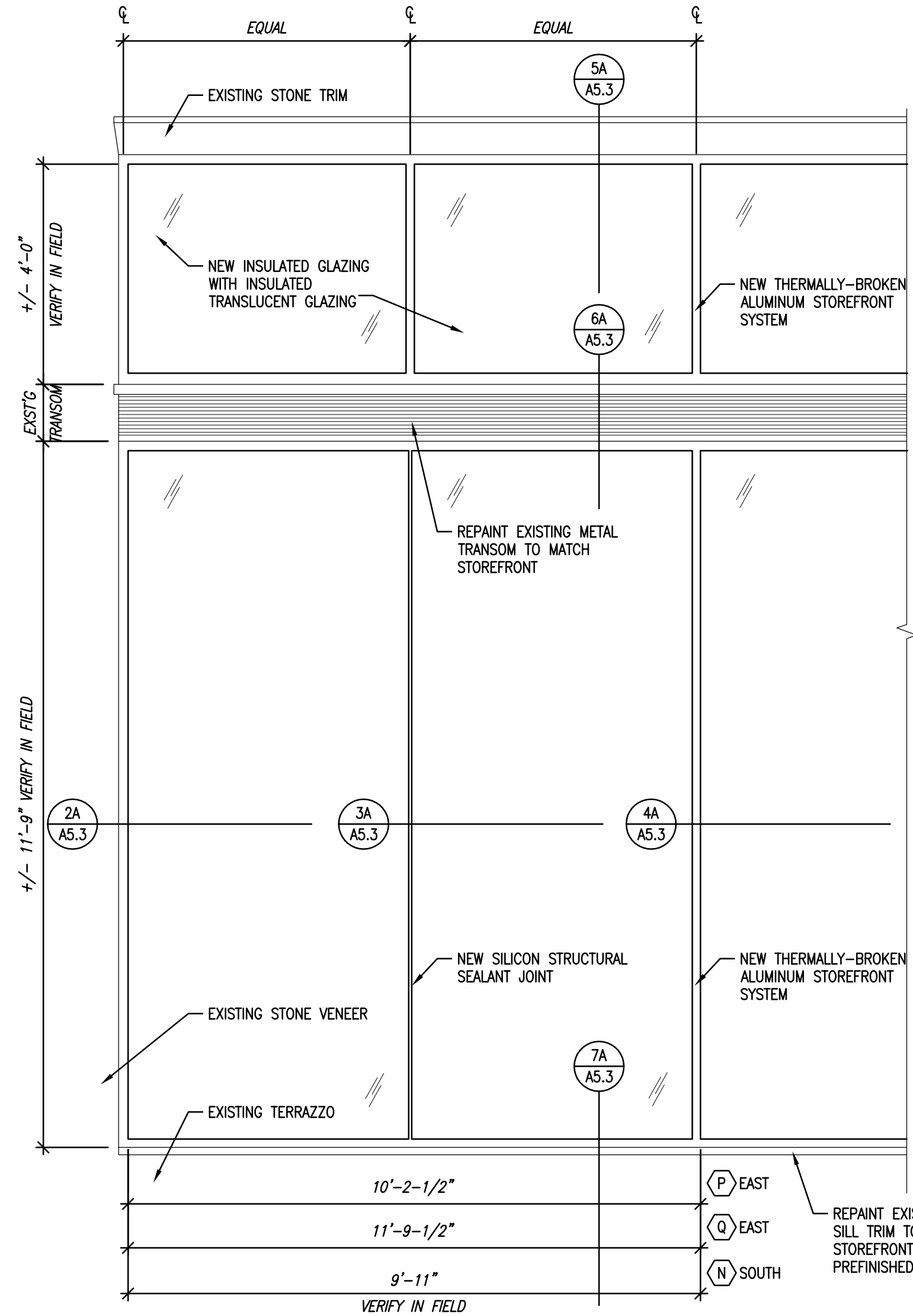
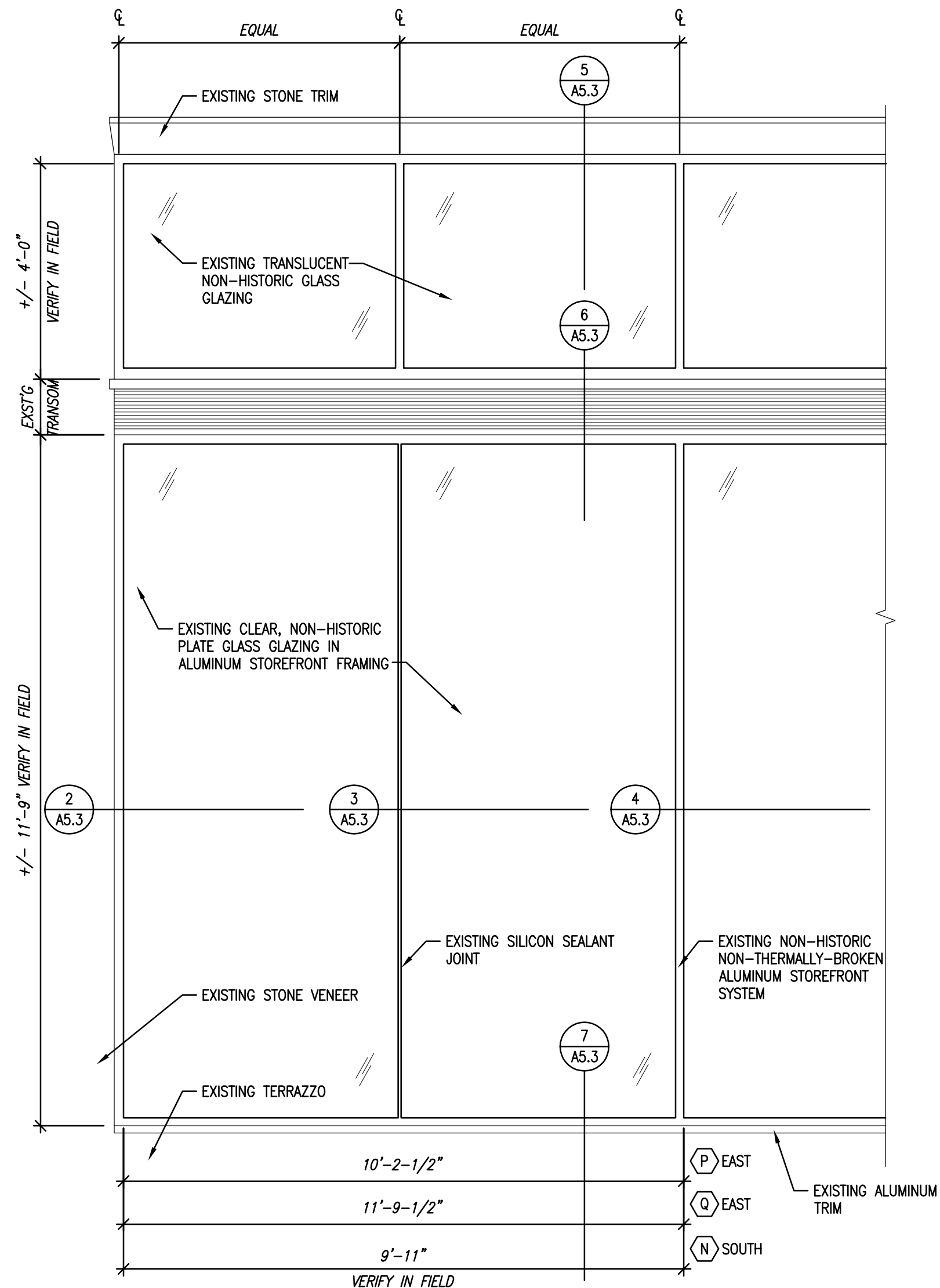
**4A REPLACEMENT TYPE E & F WINDOWS
TYPICAL HEAD AND HORIZONTAL MUNTIN**
SCALE: 3" = 1'-0"



**5A REPLACEMENT TYPE E & F WINDOWS
TYPICAL HORIZONTAL MULLIED UNITS**
SCALE: 3" = 1'-0"



**6A REPLACEMENT TYPE E & F WINDOWS
TYPICAL DROPPED SILL**
SCALE: 3" = 1'-0"



NOTE:
REPLACEMENT STOREFRONT PRODUCT
BASED ON KAWNEER ENCORE 6"
SHEAR BLOCK SYSTEM WITH PAINTED
FLUOROPOLYMER FINISH IN COLOR
TO BE DETERMINED BY ARCHITECT.
CLERESTORY GLAZING TO BE
VERTICAL RUBBED GLASS ON
SURFACE #2 AND LOW-E COATING
AS APPROVED BY SHPO AND NPS
ON SURFACE #3. CLEAR INSULATED
GLAZING TO HAVE LOW-E COATING
ON SURFACE #3. SAMPLES OF
PROPOSED GLAZING UNITS TO BE
SUBMITTED TO SHPO FOR APPROVAL
PRIOR TO ORDERING.

