

# The Marq - A Detailed Planned Development

2040 W. Wisconsin Avenue

Milwaukee, WI 53233

PRA Project #140180-02 | July 14, 2015



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Nicholas D. Kent, Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak

**Project Team**

**Owner:**

**C150 2040 West Wisconsin Avenue LLC**

A subsidiary of Campus Advantage, Inc.

110 Wild Basin Road

Suite 365

Austin, TX 78746

**Architect:**

**Plunkett Raysich Architects, LLP.**

209 S. Water Street

Milwaukee, WI 53204

## **Owner's Statement of Intent**

C150 2040 West Wisconsin Avenue LLC, a Delaware limited liability company, acquired the property at 2040 West Wisconsin Avenue in March of 2014. Now known and marketed as "The Marq," it is a 231 unit apartment community within close proximity of Marquette University's main campus and within five blocks of the academic core. The project sits on 2.05 acres. It was constructed in two phases: Phase One was built in 1956 as a seven story mid-rise medical office building and was converted to a 131-unit, 372-bed apartment building in 2006. Phase Two, which consists of 100 units and 240 beds, was built in 2009 as a five story-midrise apartment building. In total, The Marq consists of 231 units with an average unit size of 908 square feet, providing 235,266 square feet of total residential space. In addition to the apartments, there are 175 residential parking spaces, as well as 2,453 square feet of retail space that is currently 100% occupied. Since acquisition in March of 2014, the property owners have spent over \$1,300,000 in capital improvements to the common area amenities and security of the property. Additions include controlled access entry, a new leasing area, improved social gathering areas, fitness on demand, a game room, lounge areas, a clerk-less convenience store, computer labs and tanning beds, all intended to make the property more attractive to students seeking a high-quality living experience. Although the property is marketed to students of Marquette and UW-Milwaukee, Fair Housing laws require that the property not exclude anyone that wants to lease at the property who meets rental guidelines.

C150 2040 West Wisconsin Avenue LLC is a subsidiary of Campus Advantage, a corporation with its principal offices in Austin, Texas. Campus Advantage was founded in March 2003 and is the 10th largest manager and 13th largest owner of student housing with 43 student housing assets located in 18 states and 32 markets.

The proposed Detailed Planned Development is consistent with the purposes of section 295-907, Milwaukee Ordinances, in that the property demonstrates flexibility in land development and is compatible with its surroundings and consistent with the City's Near West Side Area Comprehensive Plan, adopted March 19, 2004, and amended on March 3, 2009. The Comprehensive Plan is met in the following specific respects:

- Land Use Policy in the Plan encourages "residential above retail on commercial corridors and between intensively developed commercial nodes." The subject property accomplishes that objective.
- Further, the Plan states as policy for Commercial Uses that "street level, pedestrian-oriented commercial uses" and "residential apartments and condominiums above retail" uses are encouraged and that "residential uses along commercial corridors should be multi-story, densely developed, with minimal curb cuts along the commercial corridor." The Marq fully satisfies these policy objectives.
- The Plan directs that "building should be built-out to the street so that, collectively, the buildings on a block work together to define the pedestrian area and the street itself," "face the front façade of the principal building onto a public street" and "provide a clear entrance facing the primary street frontage" with the main entrance shall having a direct connection to the public sidewalk. The subject property satisfies these objectives, as well, with the main entrance directly adjoining the sidewalk along West Wisconsin Avenue.

Because a number of units in the property have four beds and may be occupied by persons not constituting a family, those units fall into the definition of a "rooming house" for purposes of the City of Milwaukee Zoning Ordinance. The current zoning of the property is RO2 (Residential and Office), and rooming houses are permitted as a special use in that zoning district. The property currently has an approved special use permit, but the property owner is seeking Detailed Plan Development approval to eliminate the potential risk that the special use approval would not be available in the future. The uncertainty of approval of the property's continued use can adversely affect the owner's ability to finance or sell the property. All other ancillary elements of the project now or in the future will conform to the requirements of the RO2 Zoning District.

The Marq is a substantial, high-quality asset serving Marquette University well and it is of substantial benefit to the Avenues West Neighborhood in which it is located. The certainty of its continued use as university student housing will encourage its ownership to continue making significant investments in its improvements and maintenance.

## **Detailed Plan Project Description**

1. Gross Land Area (GLA): 97,445sf (per survey dated 5/10/2011)
2. Maximum Area of Land Covered by Principal Buildings: 71,160sf (73% of GLA)
3. Maximum Area of Land for Parking, Drives and Parking Structures: 56,915sf (58% of GLA)
4. Minimum Area of Land for Landscaped Open Space: 17,604sf (18% of GLA)
5. Maximum Dwelling Unit Density and Total Area for Non-residential Users:
  - a. Building Density: Not Restricted per Section 295-505-2
    - i. Maximum Dwelling Unit density:  $97,445\text{sf} / 231 \text{ Dwelling Units} = 422\text{sf} / \text{Dwelling Unit}$
    - ii. 505-2 Dimensional Variance - Granted per BOZA Record 28856 on 4/17/2008
  - b. Area for Non-residential users: 2,500sf
6. Number of Buildings: 2
7. Maximum Dwelling Units per Building:
  - a. South Building: 131 Units
  - b. North Building: 100 Units
8. Bedrooms per Unit:

There are one, two, three and four bedroom units. The units are arranged with one occupant per bedroom.

  - a. The south building has the following occupancy/unit breakdown:  
17 occupants in (17)-1 bedroom units; 82 occupants in (41)-2 bedroom units; 39 occupants in (13)-3 bedroom units; 240 occupants in (60)-4 bedroom units. A total of 378 occupants in the south building.
  - b. The north building has the following occupancy/unit breakdown:  
120 occupants in (60)-2 bedroom units; 120 occupants in (40)-3 bedroom units. A total of 240 occupants in the north building.
  - c. Combined total of 618 occupants in 618 bedrooms within 231 units for both buildings. Included are 60 rooming house (4 bedroom) units with a total of 240 occupants.

See charts of unit types and bedroom count distribution below:

SOUTH BUILDING - UNIT STATISTICS																				
Unit Type	1A	1A.1	1B	2A	2B	2C	2D	2E	3A	3A.1	3B	3C	4A	4B	4C	4D	4E	4F	4G	TOTAL
Rms/Unit	1	1	1	2	2	2	2	2	3	3	3	3	4	4	4	4	4	4	4	
1st Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2nd Floor	0	1	1	3	1	0	1	1	0	1	1	1	2	0	2	2	1	2	1	21
3rd Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
4th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
5th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
6th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
7th Floor	2	0	1	4	1	1	1	0	1	0	1	0	2	1	2	2	1	2	0	22
Total Units	10	1	6	23	6	5	6	1	5	1	6	1	12	5	12	12	6	12	1	131
Total Bed Rms	10	1	6	46	12	10	12	2	15	3	18	3	48	20	48	48	24	48	4	378

NORTH BUILDING - UNIT STATISTICS																			
Unit Type	A	A.1	A.2	A.3	B	B.1	B.2	C	D										TOTAL
Rms/Unit	2	2	2	2	3	3	3	2	2										
1st Floor	0	2	7	1	0	2	6	1	1										20
2nd Floor	0	2	7	1	0	2	6	1	1										20
3rd Floor	7	2	0	1	6	2	0	1	1										20
4th Floor	7	2	0	1	6	2	0	1	1										20
5th Floor	7	2	0	1	6	2	0	1	1										20
Total Units	21	10	14	5	18	10	12	5	5										100
Total Bed Rms	42	20	28	10	54	30	36	10	10										240



9. Occupancy:

a. Current Occupancy

- i. RO2 – Residential Office
- ii. 603-1 Special Use – Rooming House - Granted per BOZA Record 27234 on 1/26/2006.
- iii. 503-1 Special Use – Rooming House - Granted per BOZA Record 26439 on 3/31/2005.

b. Proposed Occupancy

- i. Planned Development

10. Parking Spaces:

a. Parking Spaces Provided in Compliance with Milwaukee Zoning Ordinance (Table 295-403-2-a):

- i. Total On-Site Parking Provided: 188 spaces
- ii. Required parking is calculated on the basis of a ratio of 2 stalls for every 3 apartments, including the apartments falling under the “rooming house” designation. This method was approved as part of the Dimensional Variance granted by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856). Under this approach, the on-site parking exceeds the requirement of 155 stalls.

11. Circulation, Parking, Loading and Trash Collection:

- a. 137 resident parking spaces are provided under the North and South buildings on the ground level. An additional 51 spaces are provided at the North open parking lot. Access and exit from the parking areas is off of North 21th Street. The open parking lot is fenced and the entire parking area is accessed through the control gate on North 21th Street.
- b. Residential trash and recycling is delivered down through trash chutes and is collected in trash rooms located within the parking areas under the buildings.
- c. Retail delivery and access is off of West Wisconsin Avenue.

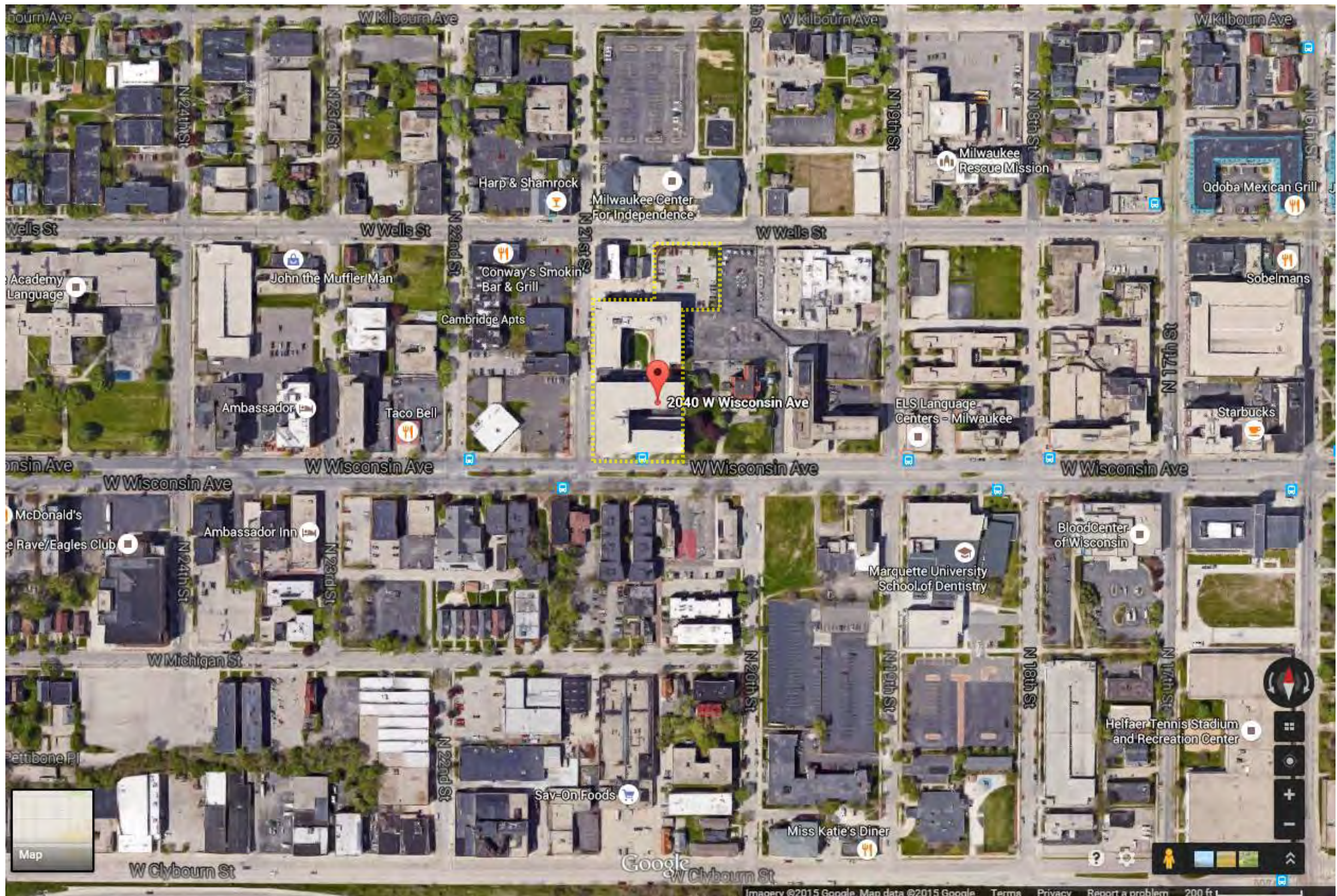
12. Uses:

- a. The facility consists of 171 multi-family housing units, 60 rooming house units and with two restaurants. The rooming house component is an approved special use with permit number 15153. The permit expires 4/4/2020. All future commercial uses shall be uses permitted in the RO2 Zoning District.
- b. The project received dimensional variances for site density and the use of metal panels on the façade. Site density based on the requirements for apartments (400 square feet per unit) was approved by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856). The use of metal panels totaling 21% of the façade area on the West façade was also approved by the Board of Zoning Appeals on April 17, 2008 (BOZA Record 28856).

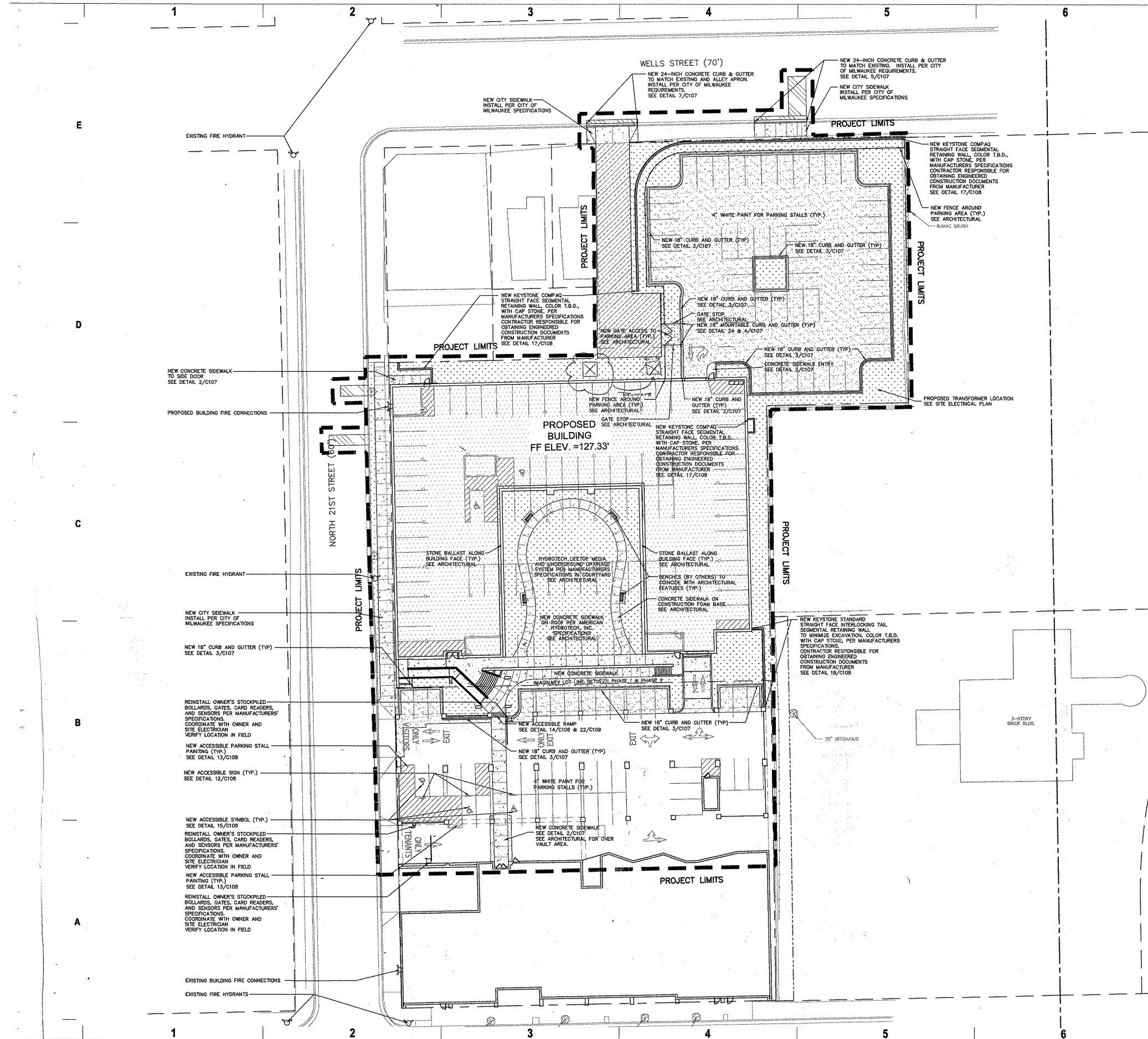
13. Signage:

- a. The wall mounted permanent signage for the building, including the two restaurants are located along West Wisconsin Avenue and are compliant with the RO2 zoning designation, under Section 295-505-5 and with requirements under table 295-605-5 for NS2. All future signage will be consistent with the signage permitted in the RO2 zoning district.









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PROJECT INFORMATION

2040 LOFTS PHASE II

2040 W WISCONSIN  
AVE  
MILWAUKEE WI  
53233



ISSUANCE AND REVISIONS

BID PACKAGE 1

REVISIONS

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

KEY PLAN



KAPUR & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
www.kapurengineers.com

SHEET INFORMATION

PROJECT MANAGER M.J.L.

PROJECT NUMBER 305001-03

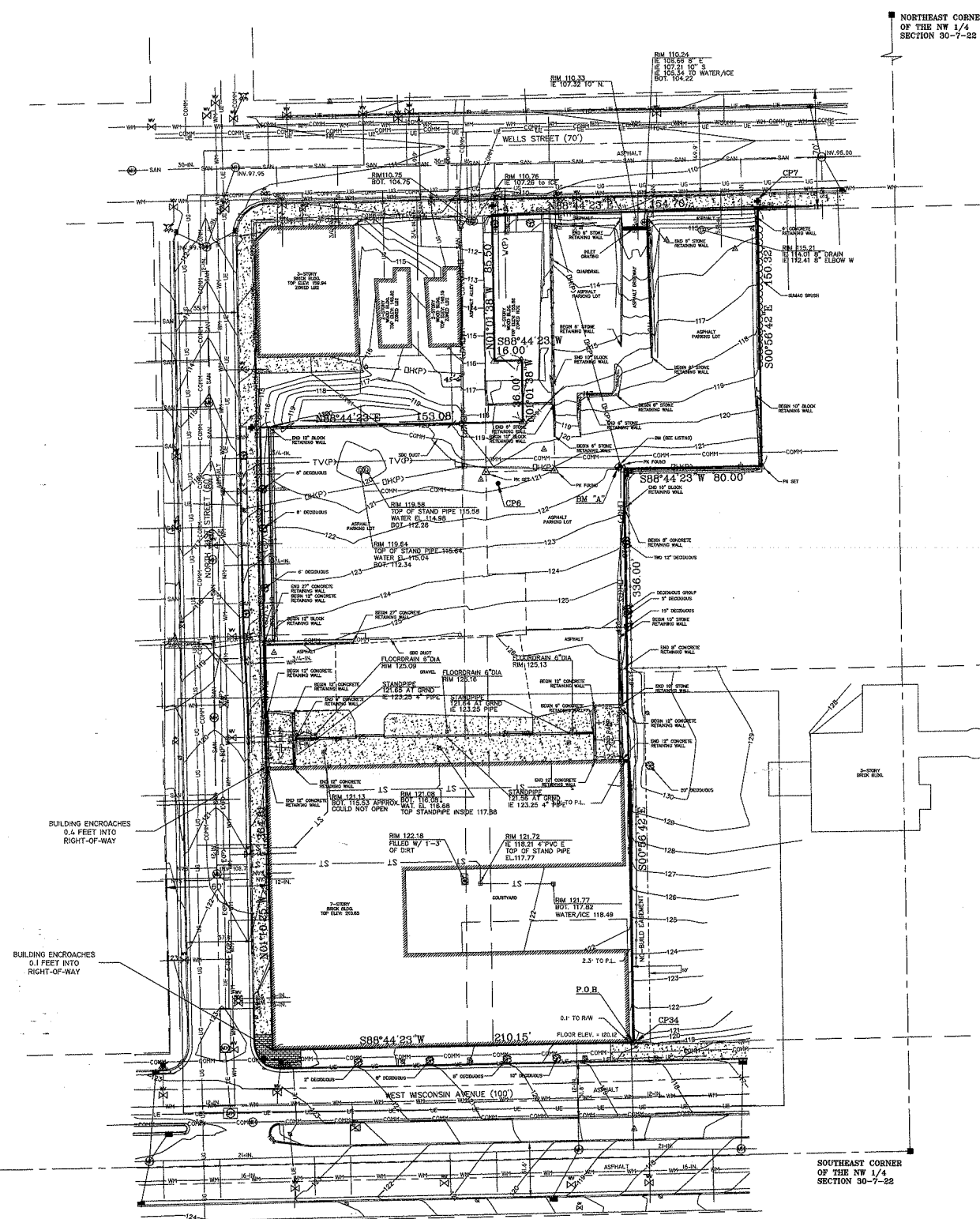
DATE FEBRUARY 19, 2008

SITE PLAN

C102

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BOUNDARY / TOPO SURVEY



BENCH MARKS (NGVD 1929)

BM	LOCATION	ELEV.
BM "A"	RR SPIKE IN POWER POLE	123.55

HORIZONTAL CONTROL POINT TABLE

CP NO.	DESCRIPTION	NORTHING	EASTING
6	PK NAIL	385746.97	2551030.06
7	CHISELED "A"	385912.18	2551180.95
34	1" IP	3854118.61	2551108.97

The Horizontal control in this table was set on December 17, 2007. Kapur and Associates is not responsible for the perpetuation of these monuments.

LEGAL DESCRIPTION:

Legal Description Pending:

SURVEYORS CERTIFICATE:

I Anthony J. Gromacki Land Surveyor in the State of Wisconsin, do hereby certify that on December 17, 2007, I surveyed the above described property and that the above map is a true representation of its boundary and the location of visible structures, fences, major trees, treelines, contours, visible utilities and other topographical features.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2007

Anthony J. Gromacki S-2090

LEGEND:

- ⊗ = LIGHT POLE  
⊕ = POWER POLE  
⊙ = STORM SEWER MANHOLE  
⊖ = CATCH BASIN  
⊗ = INLET  
⊕ = GAS VALVE  
⊙ = MANHOLE  
⊗ = FIRE HYDRANT (EXISTING AND PROPOSED)  
⊕ = WATER VALVE
- ⊙ = BENCH MARK  
△ = CONTROL POINT  
○ = 1-1/4" O.D. IRON PIPE FOUND  
⊕ = CHISELED "A" FOUND  
⊙ = 3/4" REBAR SET  
■ = SECTION CORNER MON.
- ⊕ = SIGN ON POST  
⊙ = TREE (CONIFEROUS)  
⊖ = TREE (DECIDUOUS)  
■ = CONCRETE SURFACE

LINE STYLES AND DEFINITIONS

- WP — = WATER MAIN  
— SS — = STORM SEWER  
— SAN — = SANITARY SEWER  
— CG — = NATURAL GAS MAIN  
— TE — = UNDERGROUND CABLE TELEVISION  
— UE — = UNDERGROUND ELECTRIC  
— OH — = OVERHEAD UTILITY LINES  
— SAN — = SANITARY SEWER  
— COM — = COMMUNICATION LINE
- E(P) — = UNDERGROUND ELECTRIC PER PLAN  
— OH(P) — = OVERHEAD UTILITY LINE PER PLAN  
— W(P) — = WATERMAIN PER PLAN  
— TV(P) — = CABLE TELEVISION PER PLAN  
— 957 — = MINOR CONTOUR  
— 970 — = MAJOR CONTOUR  
— — = CURB AND GUTTER  
— — = CHAINLINK FENCE  
— — = RETAINING WALL  
— — = WOODED AREA



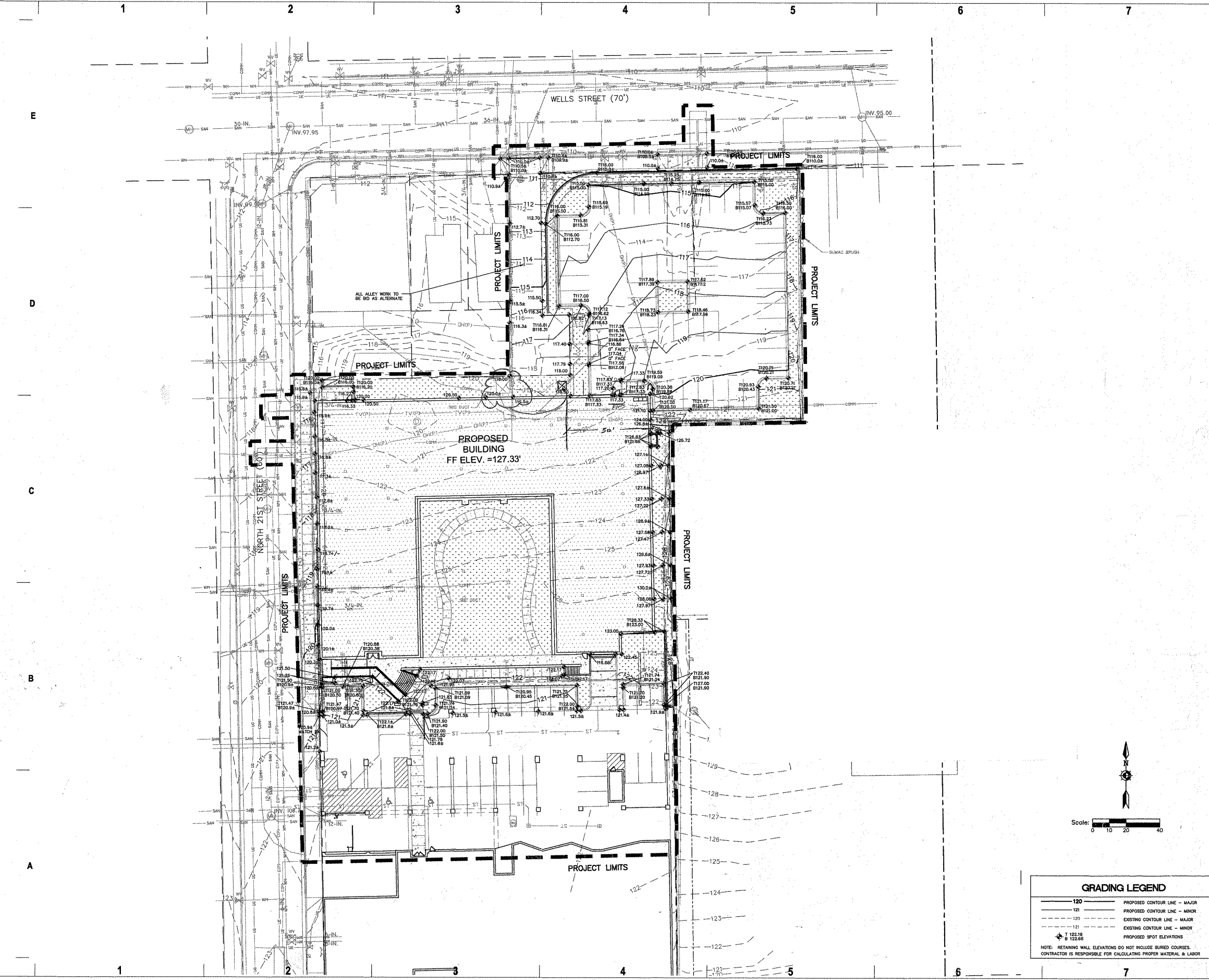
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MILWAUKEE, WISCONSIN  
414.351.6668

BOUNDARY/TOPO SURVEY  
2040 LOFTS  
MILWAUKEE COUNTY, WISCONSIN

PROJECT NO.  
080001.01  
SHEET NO.  
1 OF 1





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PROJECT INFORMATION  
**2040 LOFTS PHASE II**

2040 W WISCONSIN  
AVE  
MILWAUKEE WI  
53233



ISSUANCE AND REVISIONS  
**BID PACKAGE 1**

REVISIONS		
#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

KEY PLAN



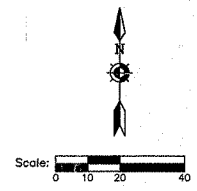
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SHEET INFORMATION

PROJECT MANAGER M.J.L.  
PROJECT NUMBER 305001-03  
DATE FEBRUARY 19, 2008

**SITE GRADING PLAN**

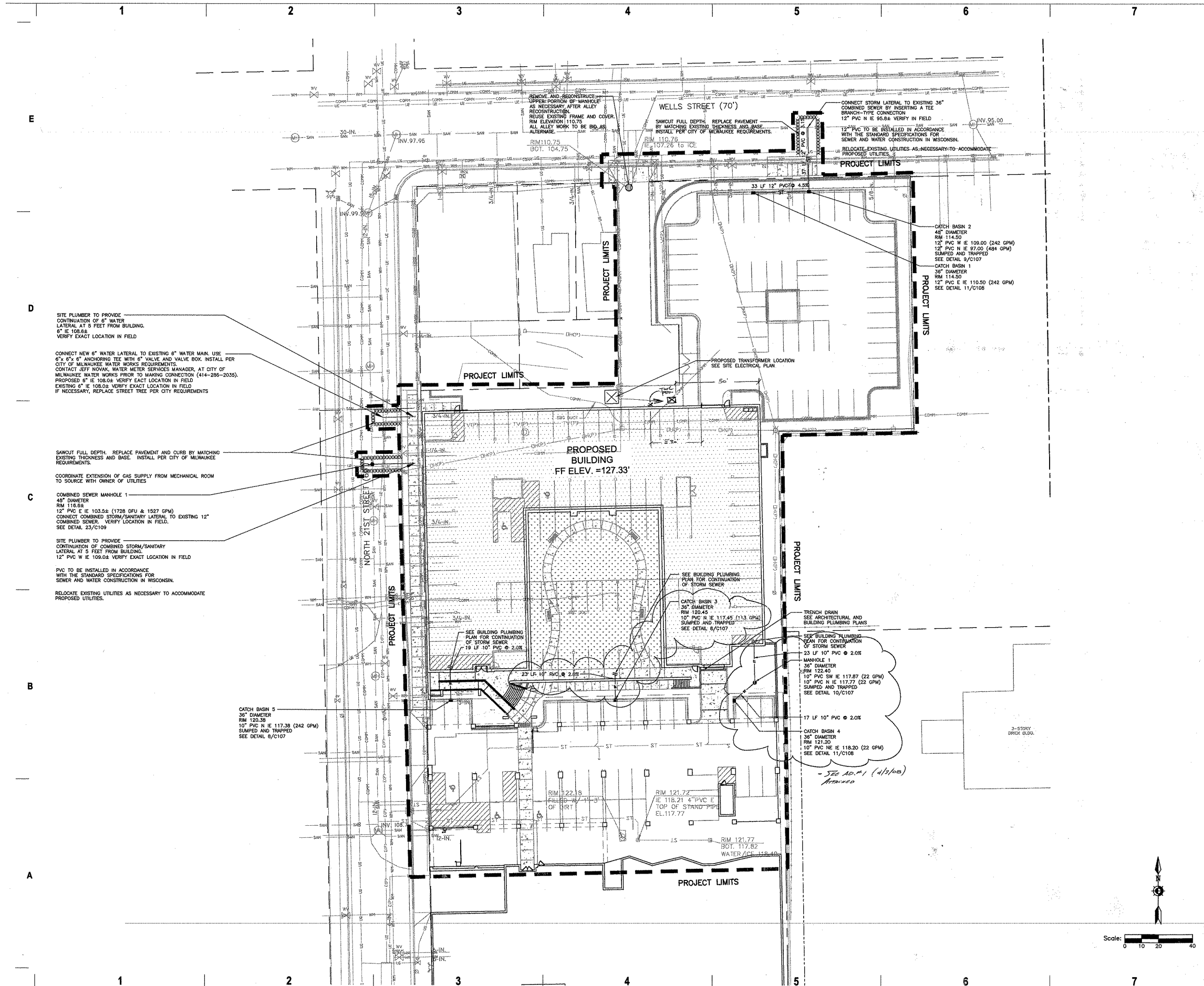
**C104**



GRADING LEGEND	
120	PROPOSED CONTOUR LINE - MAJOR
121	PROPOSED CONTOUR LINE - MINOR
120	EXISTING CONTOUR LINE - MAJOR
121	EXISTING CONTOUR LINE - MINOR
122.0 B 122.68	PROPOSED SPOT ELEVATIONS

NOTE: RETAINING WALL ELEVATIONS DO NOT INCLUDE BURIED COURSES.  
CONTRACTOR IS RESPONSIBLE FOR CALCULATING PROPER MATERIAL & LABOR





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PROJECT INFORMATION

2040 LOFTS PHASE II

2040 W WISCONSIN  
AVE  
MILWAUKEE WI  
53233



ISSUANCE AND REVISIONS

BID PACKAGE 1

REVISIONS

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

KEY PLAN



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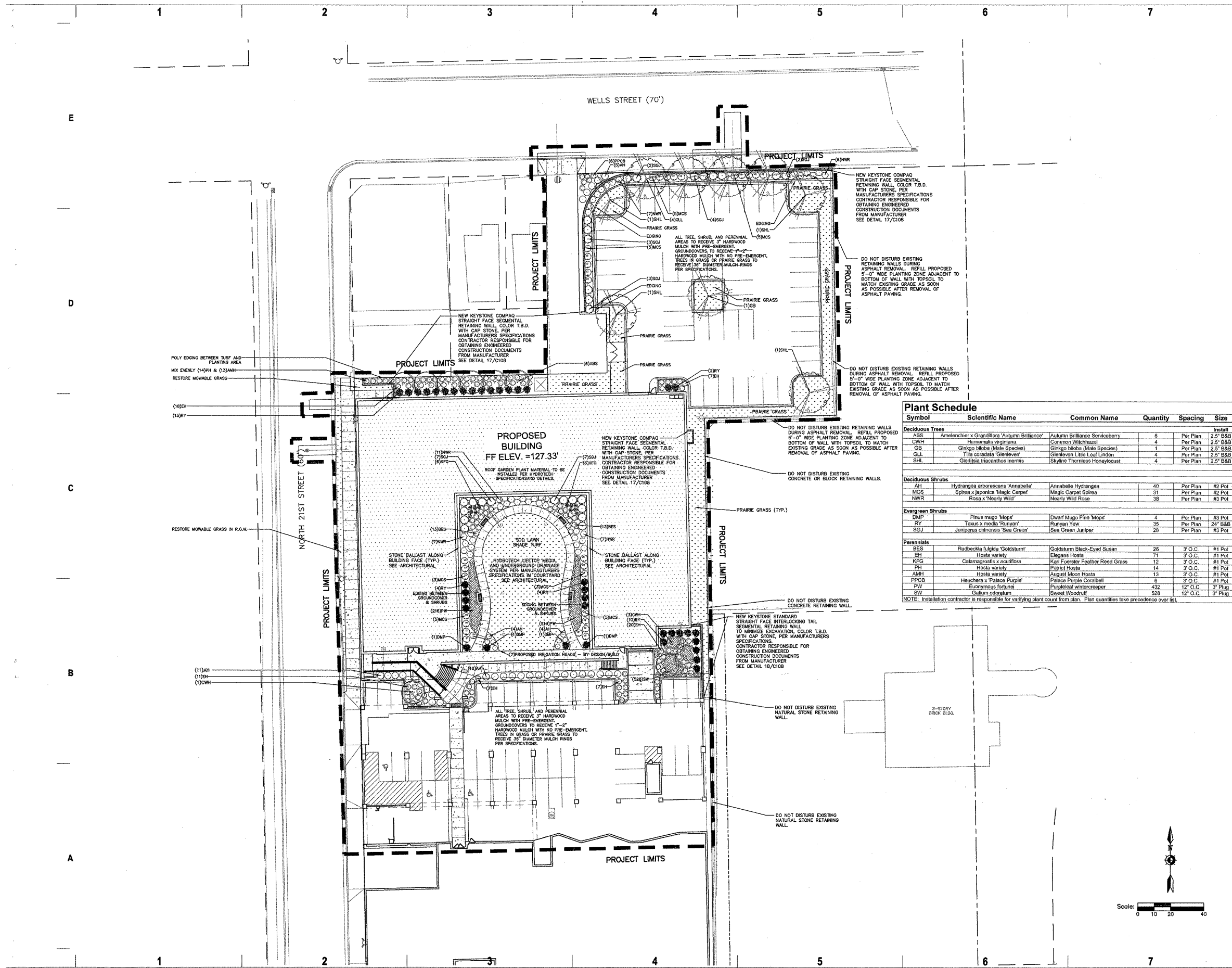
SHEET INFORMATION

PROJECT MANAGER MUI  
PROJECT NUMBER 305001-03  
DATE FEBRUARY 19, 2008

SITE UTILITY PLAN

C105

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**eua**

eppstein uhen : architects

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PROJECT INFORMATION

**2040 LOFTS PHASE II**

2040 W WISCONSIN  
AVE  
MILWAUKEE WI  
53233



ISSUANCE AND REVISIONS

**BID PACKAGE 1**

**REVISIONS**

#	DATE	DESCRIPTION
1	03/25/08	BID PACKAGE 2

KEY PLAN

**KA**

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PROJECT MANAGER M.J.L.

PROJECT NUMBER 305001-03

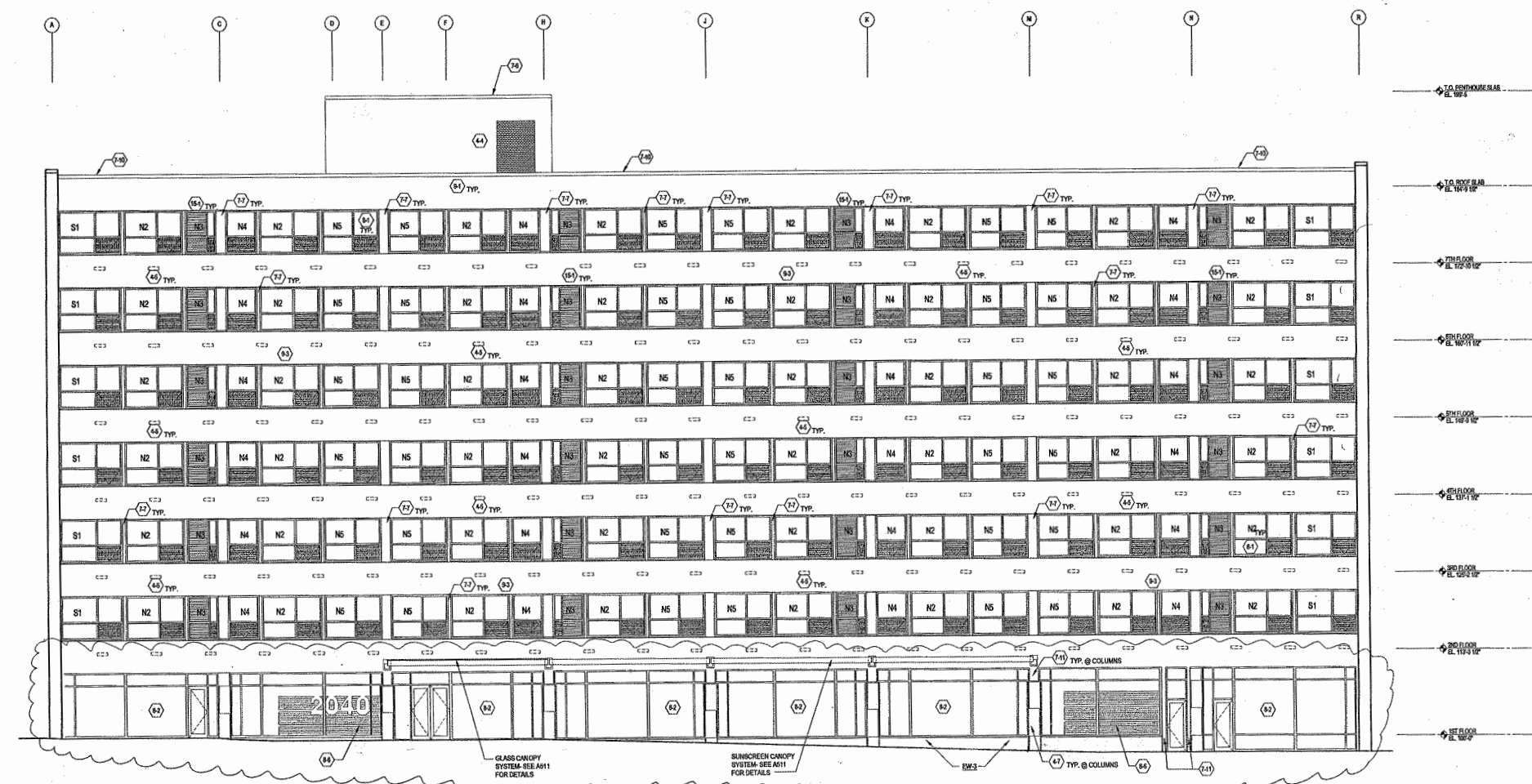
DATE FEBRUARY 19, 2008

**SITE LANDSCAPE  
PLAN**

**L101**


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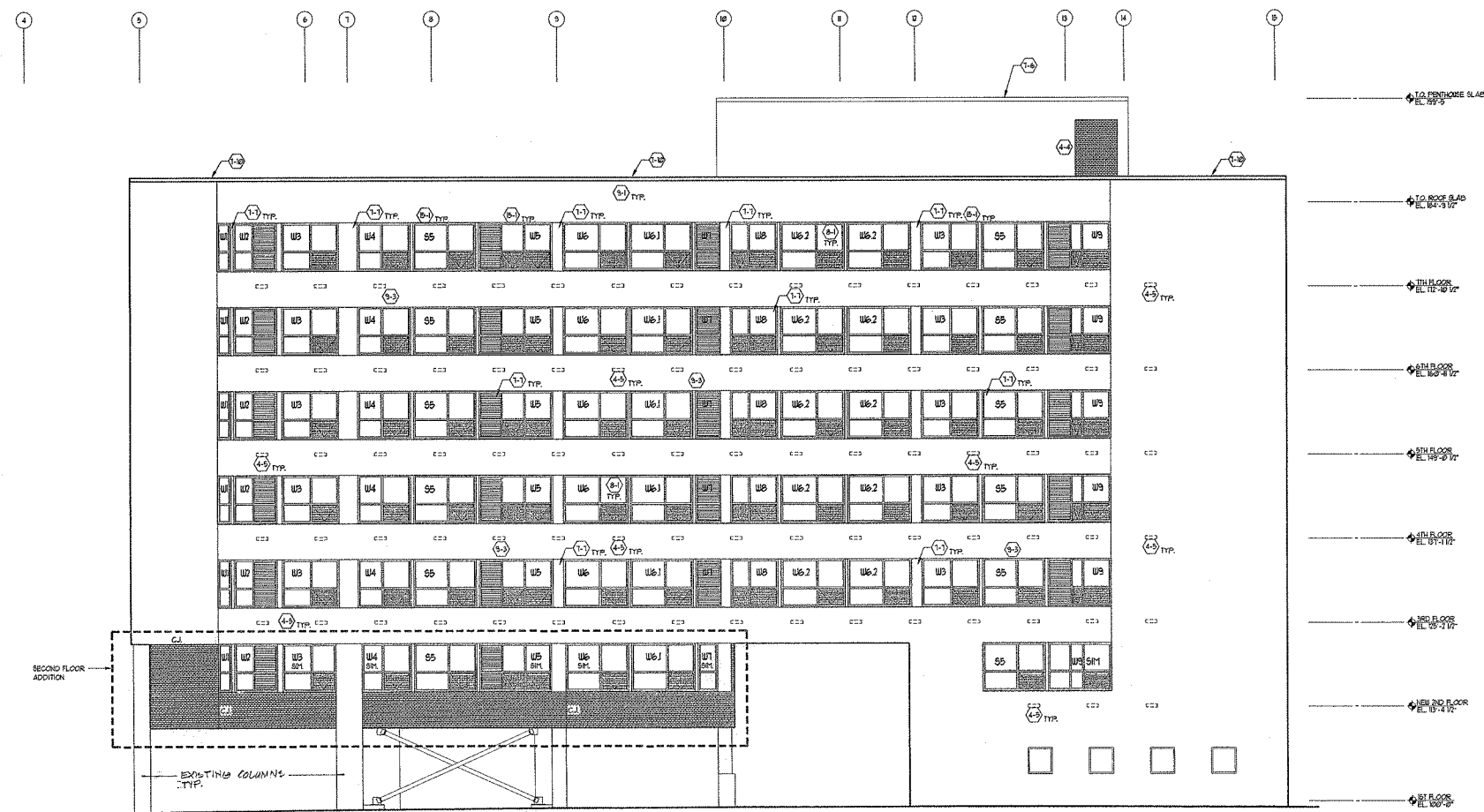


① SOUTH ELEVATION  
18" x 1'-0"

### GENERAL NOTES

1. SEE A405 FOR TYPICAL WINDOW TYPES.
  2. SEE A405 FOR TYPICAL WINDOW DETAILS.
  3. 1000: INDICATES SYSTEM ASSEMBLY, SEE G600 FOR SYSTEM DESCRIPTION NOTES.
  4.  INDICATES COMPONENT KEY NOTE.
  5. SEE G600 FOR KEYNOTE DESCRIPTIONS.
  6. SEE A400 TO A403 FOR SECTION CUT LOCATIONS.
- 2ND TO 10TH FLOOR DARTM ELEVATIONS**  
DARTM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS INTERFERING THE TOP OF SLAB AT THE EXISTING FLOOR FOR DARTM ELEVATIONS AT THE NEW TOPPING SLAB. ADD 4" UNLESS NOTED OTHERWISE.





Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**WEST  
ELEVATION**

Revisions	Item	Date	By
2nd FLR INFILL	03-31-05	MCH	
PLAN REVIEW	04-06-05	MCH	
CB 1	04-11-05	MCH	

**NOTE**

CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR WHICH  
WILL AFFECT THE WINDOW OPENING SIZES.

**2 WEST ELEVATION**  
1/8" = 1'-0"

**GENERAL NOTES**

- SEE A505 FOR TYPICAL WINDOW TYPES.
- SEE A505 FOR TYPICAL WINDOW DETAILS.
- XXX: INDICATES SYSTEM ASSEMBLY, SEE 0000 FOR SYSTEM DESCRIPTION NOTES.
- XXX: INDICATES COMPONENT KEY NOTE. SEE 0000 FOR KEYNOTE DESCRIPTIONS.
- SEE A505 TO A507 FOR SECTION CUT LOCATIONS.
- NO. TO THE FLOOR DATA ELEVATIONS. DATA ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR. FOR DATA ELEVATIONS AT THE NEW TOPPING SLAB ADD 4" UNLESS NOTED OTHERWISE.
- SEE A350 FOR WALL SECTIONS.
- AT 2ND FLOOR INFILL.

Project Architect JP

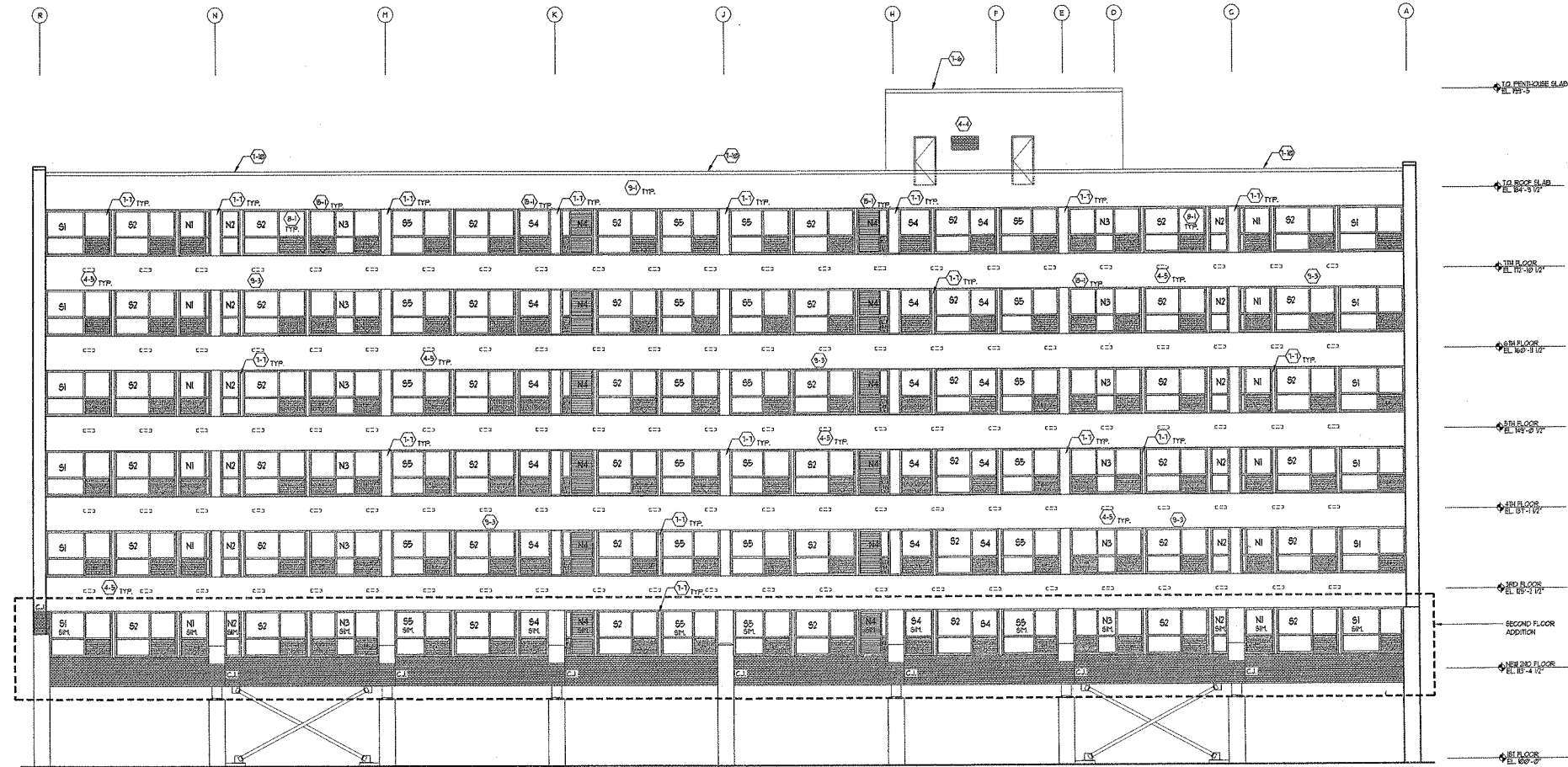
Drawn By MCH

Project No. 3.04245-01

Date April 11, 2005

Sheet No.

**A-252**  
FIRST EDITION



Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**NORTH  
ELEVATION**

Revisions	Item	Date	By
2nd FLR INFILL	03-31-05	MCH	
FLAN REVIEW	04-06-05	MCH	
CB 1	04-11-05	MCH	

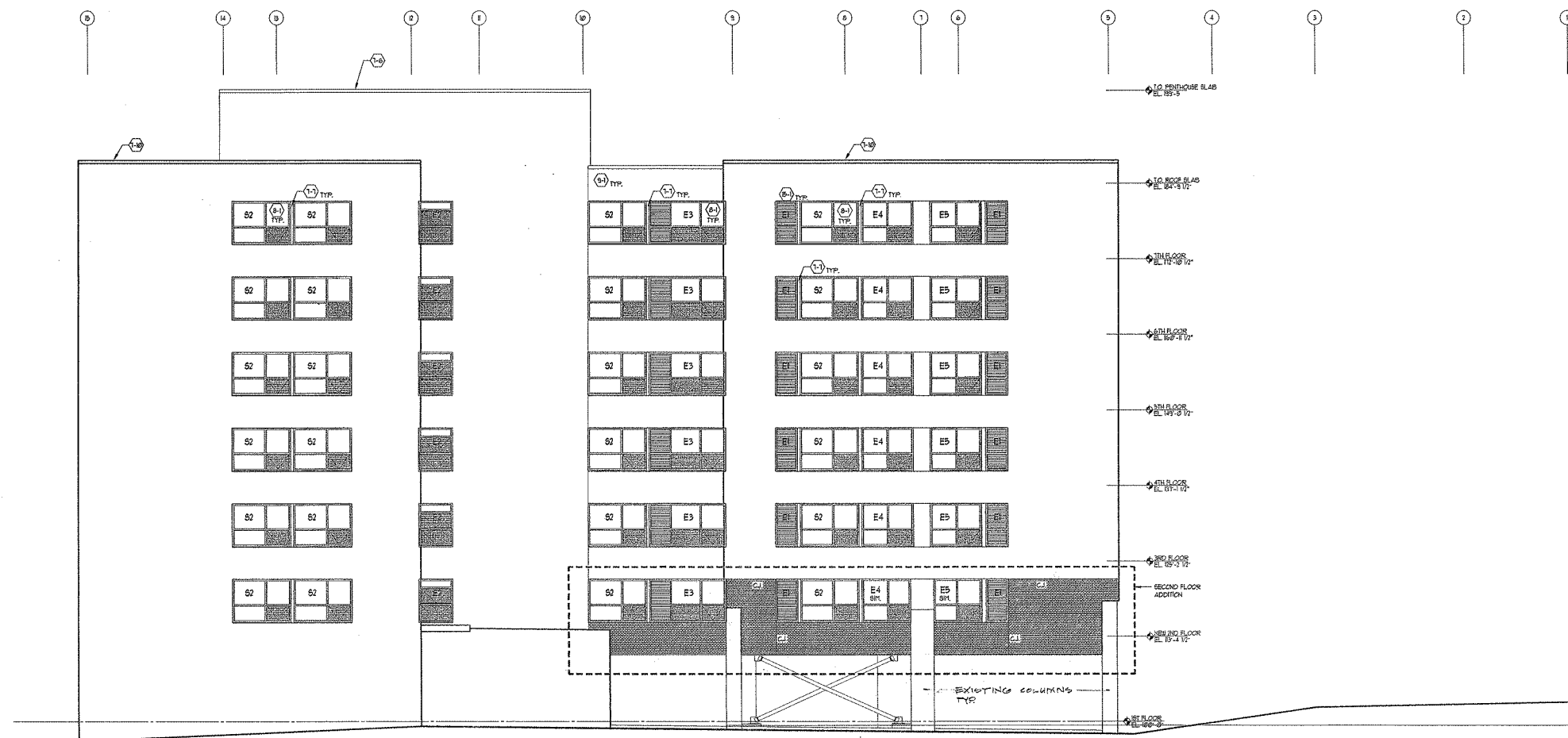
**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR WHICH  
WILL AFFECT THE WINDOW OPENING SIZES.

**3 NORTH ELEVATION**  
1/8" = 1'-0"

**GENERAL NOTES**

- SEE A305 FOR TYPICAL WINDOW TYPES.
- SEE A305 FOR TYPICAL WINDOW DETAILS.
- XXXX INDICATES SYSTEM ASSEMBLY, SEE G600 FOR SYSTEM DESCRIPTION NOTES.
- XXXX INDICATES COMPONENT KEY NOTE. SEE G600 FOR KEYNOTE DESCRIPTIONS.
- SEE A300 TO A303 FOR SECTION CUT LOCATIONS.
- 2ND TO 11TH FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD. 4' UNLESS NOTED OTHERWISE.
- SEE A350 FOR WALL SECTIONS AT 2ND FLOOR INFILL.

Project Architect JP  
Drawn By MCH  
Project No. 3,04245-01  
Date April 11, 2005  
Sheet No. A-253  
FIRST ISSUE



Project  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

Sheet Title  
**EAST  
ELEVATION**

Revisions	Item	Date	By
2nd FLR INFILL	03-31-05	MCH	
PLAN REVIEW	04-06-05	MCH	
CB 1	04-11-05	MCH	

**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR SLAB  
WILL AFFECT THE WINDOW OPENING SIZES

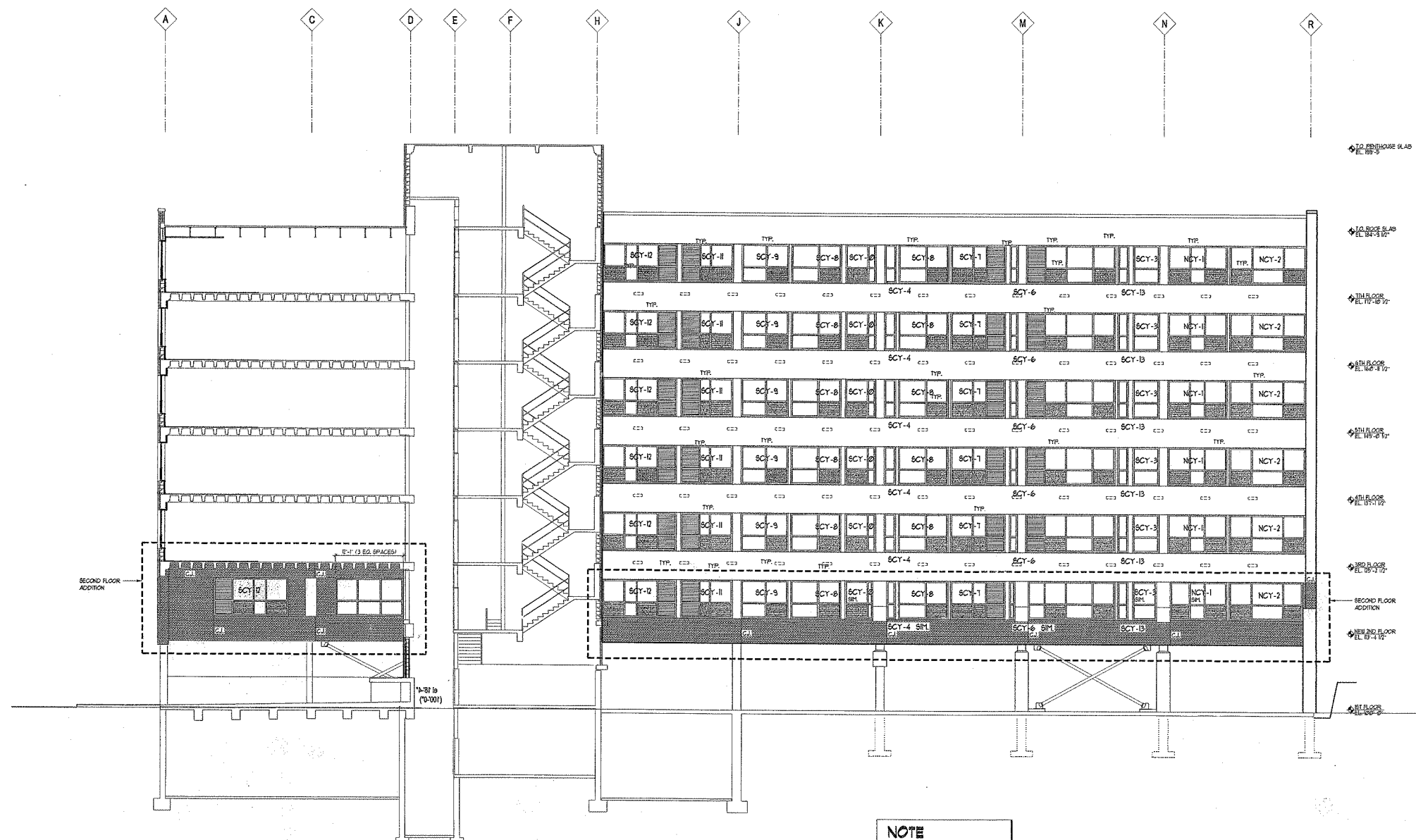
**4 EAST ELEVATION**  
1/8" = 1'-0"

- GENERAL NOTES**
- SEE A505 FOR TYPICAL WINDOW TYPES.
  - SEE A505 FOR TYPICAL WINDOW DETAILS.
  - XXX: INDICATES SYSTEM ASSEMBLY. SEE GOOD FOR SYSTEM DESCRIPTION NOTES.
  - INDICATES COMPONENT KEY NOTE. SEE GOOD FOR KEYNOTE DESCRIPTIONS.
  - SEE A500 TO A503 FOR SECTION CUT LOCATIONS.
  - 2ND TO 10TH FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERENCING THE TOP OF SLAB AT THE EXISTING FLOOR. FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD 4" UNLESS NOTED OTHERWISE.

Project Architect JP  
Drawn By MCH  
Project No. 3.04245-01  
Date April 11, 2005  
Sheet No.

**A-254**  
FIRST ISSUE





**NOTE**  
CONTRACTOR TO FIELD VERIFY COLUMN  
DIMENSIONS FROM FLOOR TO FLOOR WHICH  
WILL AFFECT THE WINDOW OPENING SIZES.

**5** COURTYARD ELEVATION LOOKING NORTH  
1/8" = 1'-0"

**GENERAL NOTES**

- SEE ASSES FOR TYPICAL WINDOW TYPES.
- SEE ASSES FOR TYPICAL WINDOW DETAILS.
- XXXX INDICATES SYSTEM ASSEMBLY. SEE GROUND FOR SYSTEM DESCRIPTION NOTES.
- XXXX INDICATES COMPONENT KEY NOTE. SEE GROUND FOR KEYNOTE DESCRIPTIONS.
- SEE GROUND TO ALSO FOR SECTION CUT LOCATIONS.
- 2ND TO 11TH FLOOR DATUM ELEVATIONS: DATUM ELEVATIONS NOTED ON THE BUILDING ELEVATIONS AND SECTION AT THESE FLOORS IS REFERRING TO THE TOP OF SLAB AT THE EXISTING FLOOR FOR DATUM ELEVATIONS AT THE NEW TOPPING SLAB ADD. \* UNLESS NOTED OTHERWISE.
- SEE ALSO FIRE WALL SECTIONS AT 2ND FLOOR INFILL.

**Project**  
**2040 LOFTS**  
2040 West  
Wisconsin Avenue  
Milwaukee, WI 53233

**Sheet Title**  
**COURTYARD  
ELEVATION**

**Revisions**

Item	Date	By
2nd FLR INFILL	03-31-05	MCH
PLAN REVIEW	04-06-05	MCH
CB 1	04-11-05	MCH

**Project Architect** JP  
**Drawn By** MCH  
**Project No.** 3.04245-01  
**Date** April 11, 2005  
**Sheet No.**

**A-255**  
FIRST ISSUE



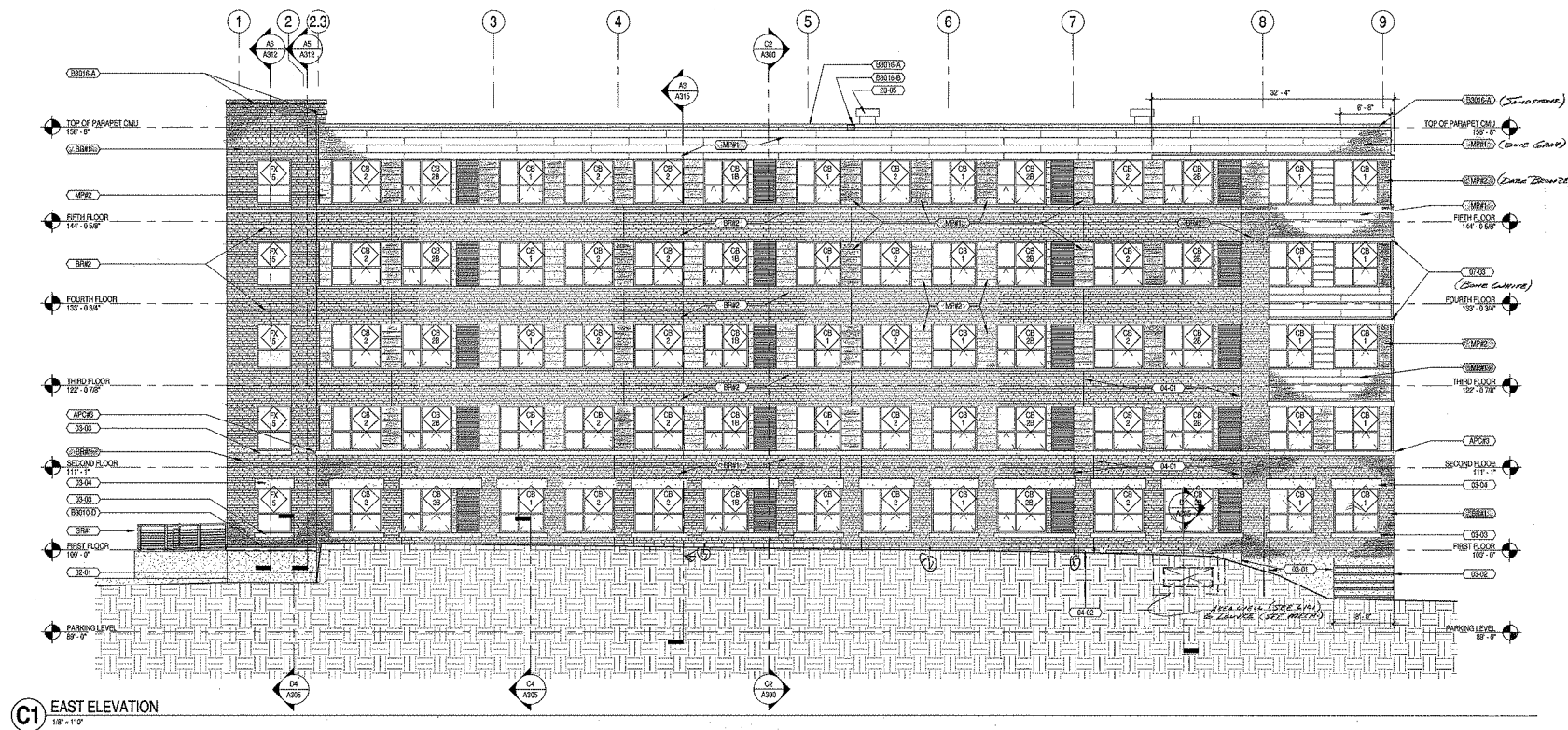




1 2 3 4 5 6 7

E

D

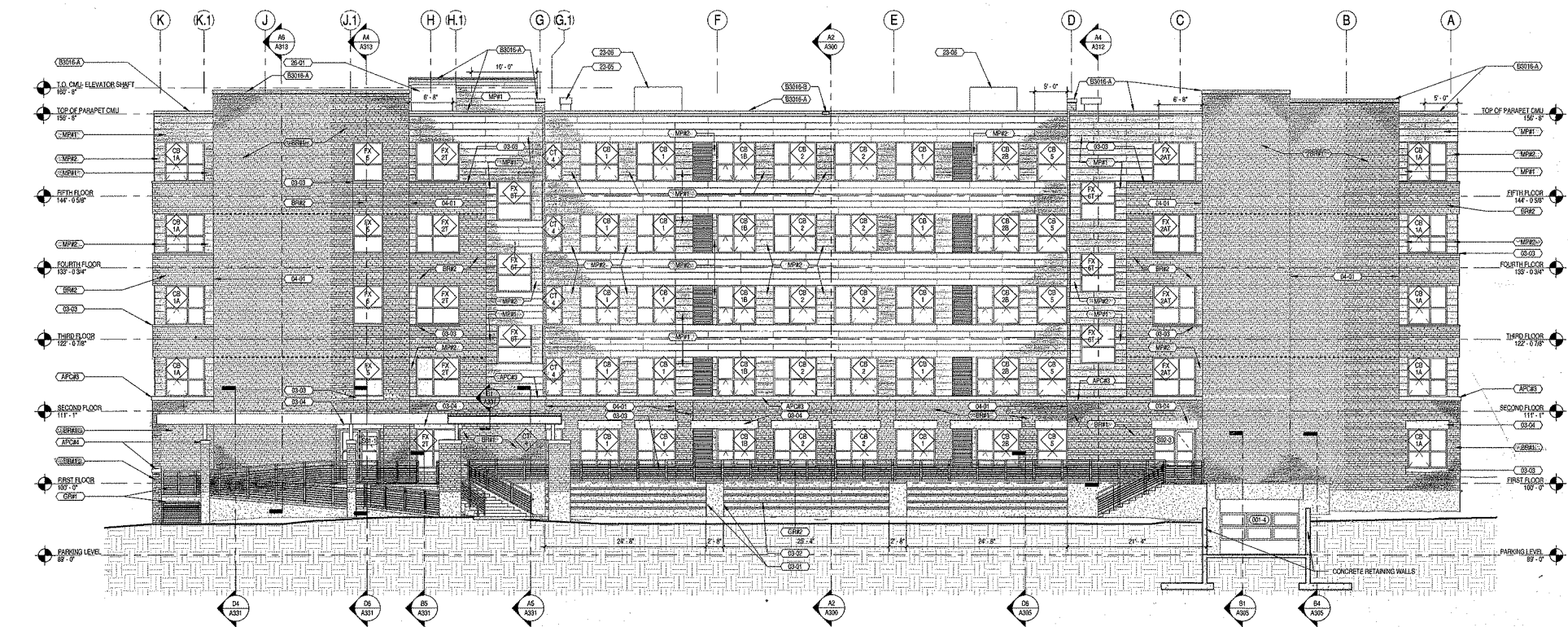


C1 EAST ELEVATION  
1/8" = 1'-0"

C

B

A



A1 SOUTH ELEVATION  
1/8" = 1'-0"

1 2 3 4 5 6 7



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PROJECT INFORMATION  
2040 LOFTS  
PHASE II

2040 W WISCONSIN AVE  
MILWAUKEE WI 53233



ISSUANCE AND REVISIONS  
BID PACKAGE 2

REVISIONS  
# DATE DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER MJL  
PROJECT NUMBER 305001-03  
DATE MARCH 25, 2008

EXTERIOR ELEVATIONS

A201

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Westward on Wisconsin Avenue



Eastward on Wisconsin Avenue



South Building - Main Entrance from W. Wisconsin Avenue.





South Building - South Elevation on Wisconsin Avenue



South Building - Corner of Wisconsin Avenue and N. 21st Street





North & South Building - West Elevation on 21st Street



South Building - West Elevation on N. 21st Street



North Building - West Elevation on 21st Street



North Building - North Elevation





North Building & North Parking Lot - North Elevation from W. Wells St.



North & South Building - East Elevations from W. Wisconsin Avenue.





South Building - South Elevation on W. Wisconsin Avenue



North & South Building - East Elevations from W. Wisconsin Avenue.





North Courtyard- Looking North



North Courtyard - Looking Southwest





North Courtyard- Looking Southeast



North Courtyard - Looking East





North Courtyard- Looking West



North Building - East side





Parking Area - East Side Looking South



Parking Area - East Side Looking North