

# Building 29



# MILWAUKEE HPC SUBMISSION

- GENERAL
- G000 COVER SHEET
  - G001 AERIAL PHOTO OF SITE
  - G002 CONTEXTUAL PHOTOS OF NEIGHBORHOOD
  - G003 HISTORIC IMAGE OF PABST BREWERIES SITE
  - G004 HISTORIC BUILDING PHASING
  - G005 HISTORIC EXTERIOR IMAGES
  - G006 HISTORIC INTERIOR IMAGES
  - G007 HISTORIC PHOTOGRAPHS
  - G008 EXISTING PHOTOS OF EXISTING BUILDING (SPRING 2014)
  - G009 EXISTING PHOTOS OF EXISTING BUILDING (SPRING 2014)
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  - G014 THIRD LEVEL PLAN
  - G015 PROPOSED SECTION AND TYPICAL LOFTED QUAD SUITE UNIT

# BLUE RIBBON SUITES LLC

## Building 29



**KM DEVELOPMENT CORP**

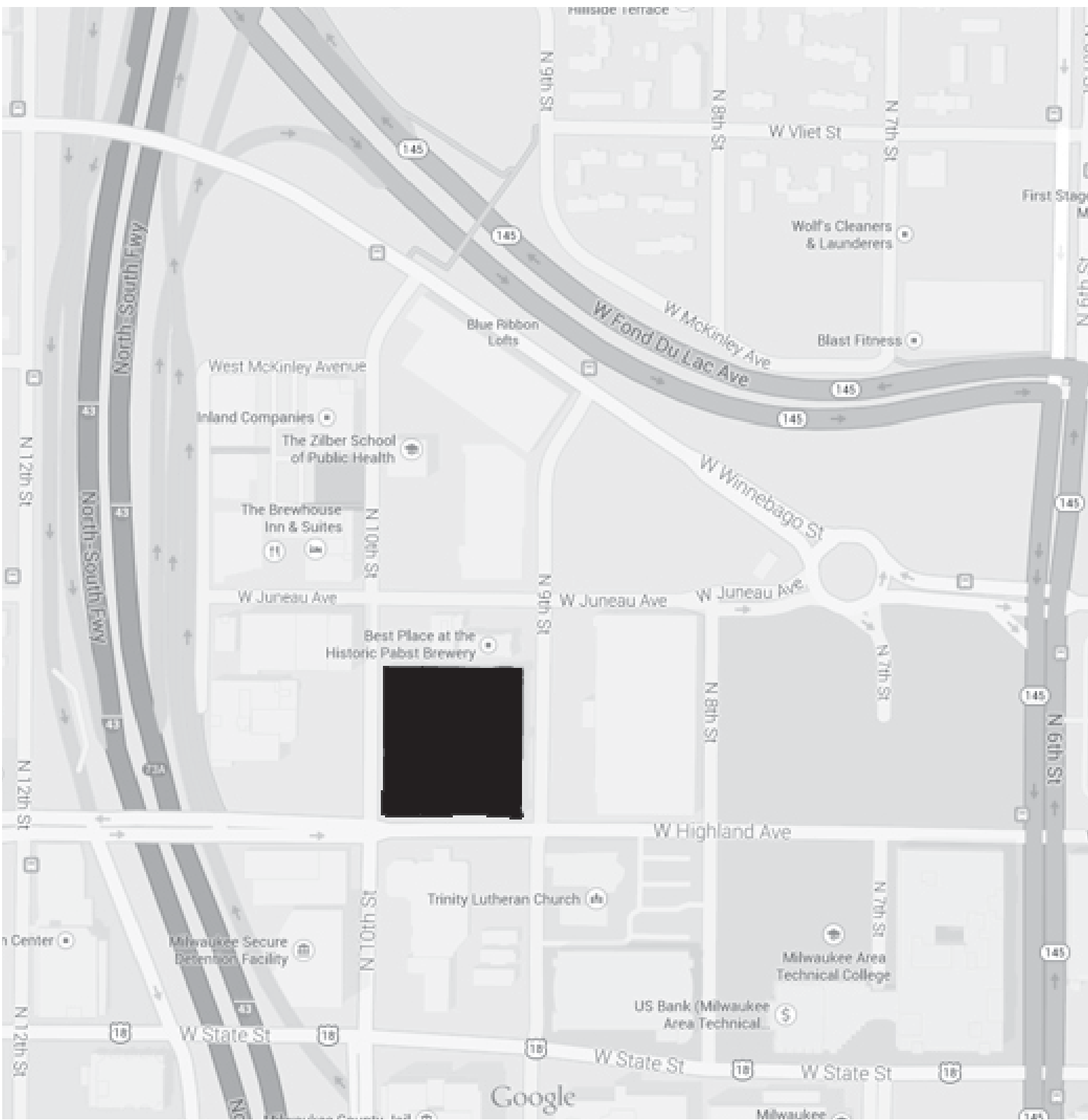
710 N Plankinton Avenue  
Milwaukee WI 53203  
Contact: Jim Theusch  
(414) 274-2825  
jim.theusch@zilber.com



Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734

hga commission number: 3368-001-01  
NOVEMBER 17, 2014

## KEY PLAN







CURRENT AERIAL PHOTO (PABST BUILDING 29 IN BOXED AREA)





SOUTH EAST CORNER OF SITE



SOUTH WEST CORNER OF SITE



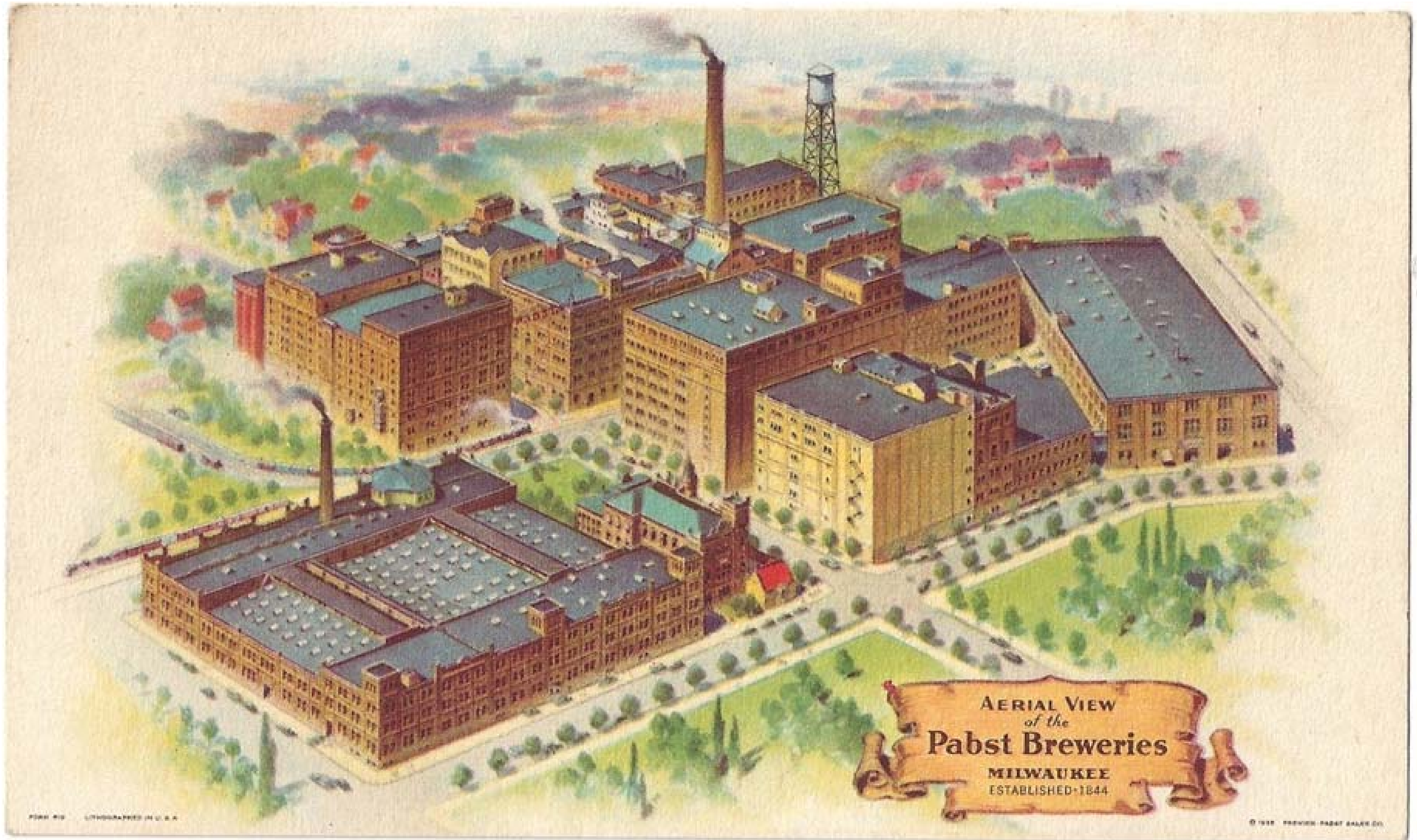
NORTH EAST CORNER OF SITE



NORTH WEST CORNER OF SITE

## CONTEXTUAL PHOTOS OF NEIGHBORHOOD

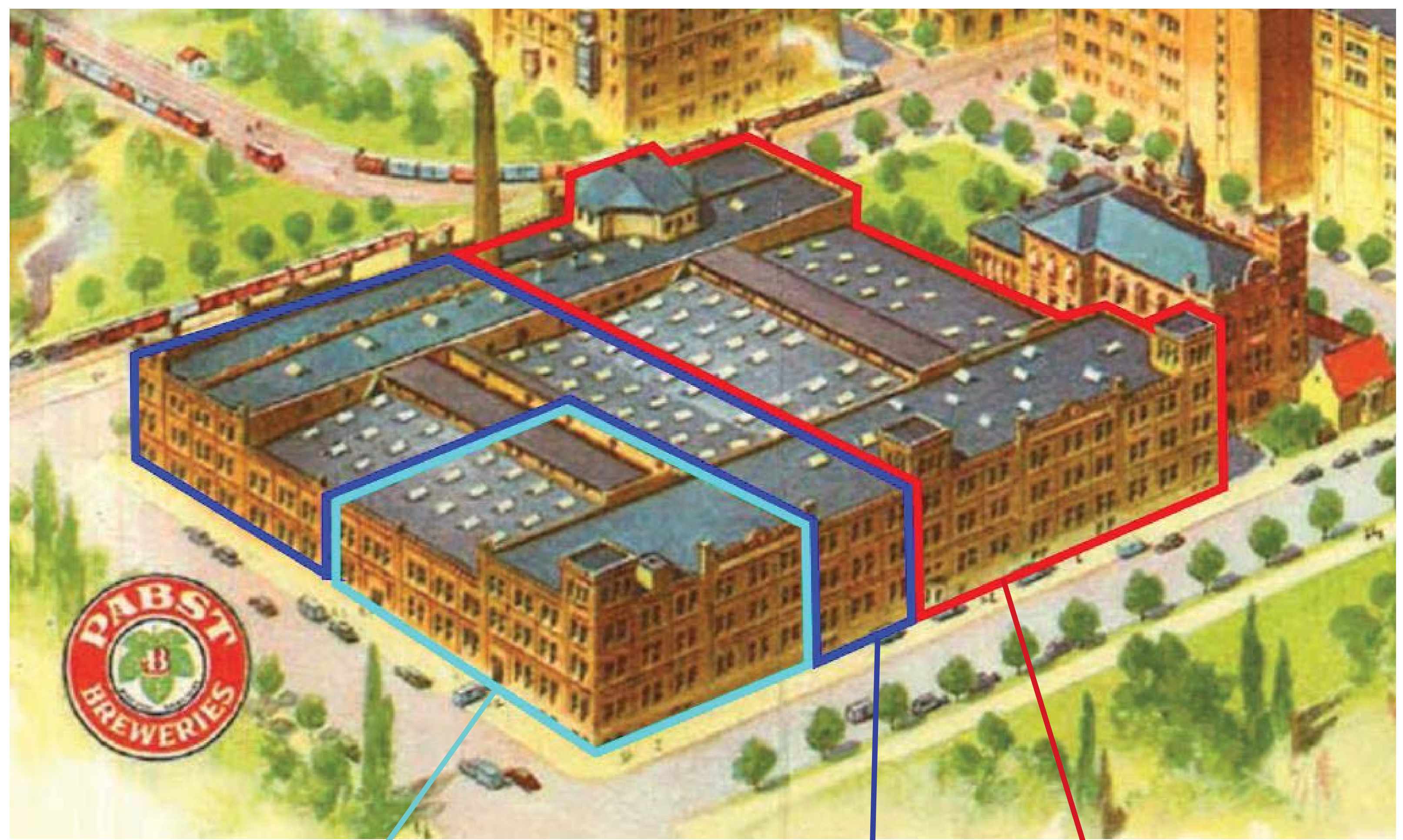




LITHOGRAPH - CA 1938

HISTORIC IMAGE OF PABST BREWERIES SITE





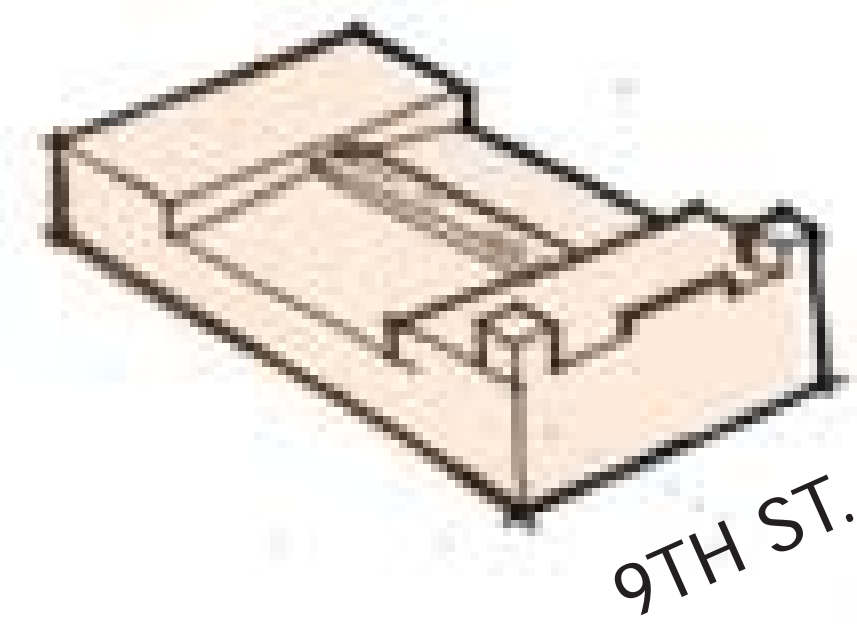
BOTTLING DEPARTMENT, 1911

Ca 1911

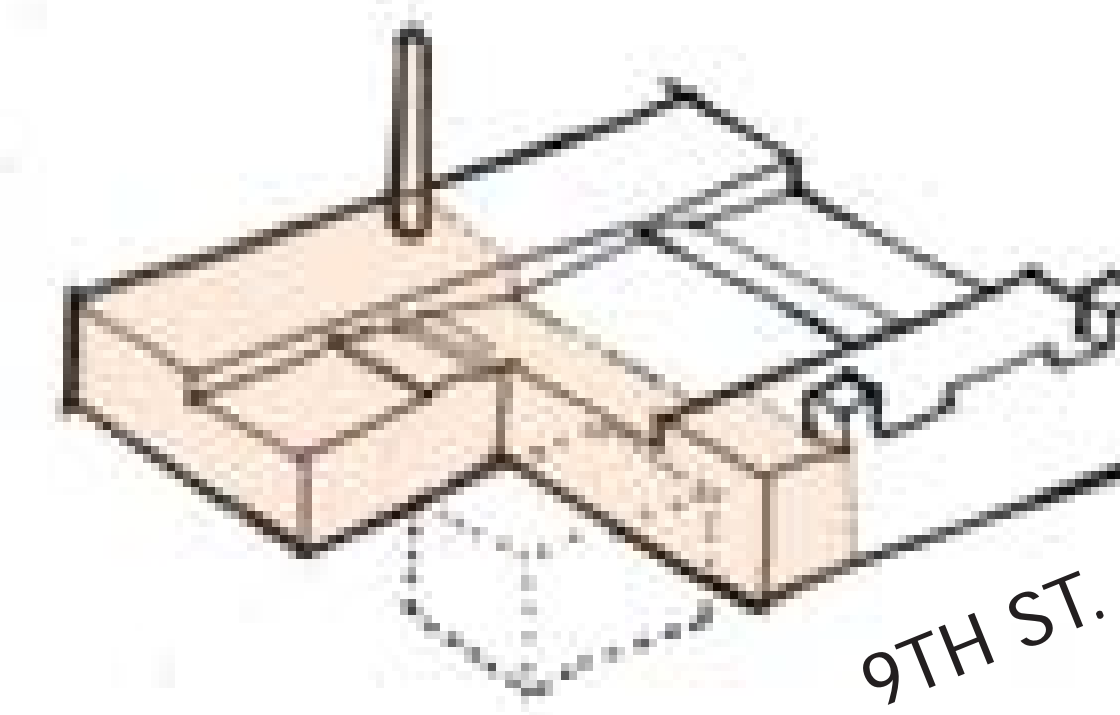
Ca 1910

Initial Building, 1889

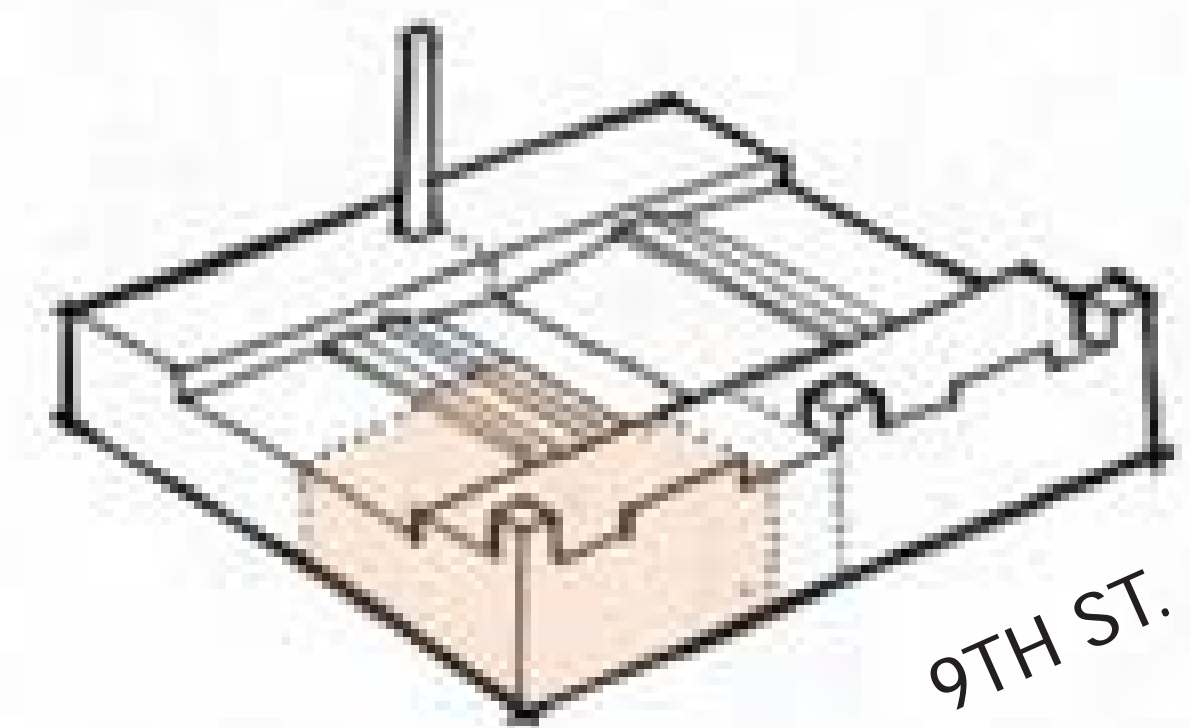
INITIAL BUILDING, 1889



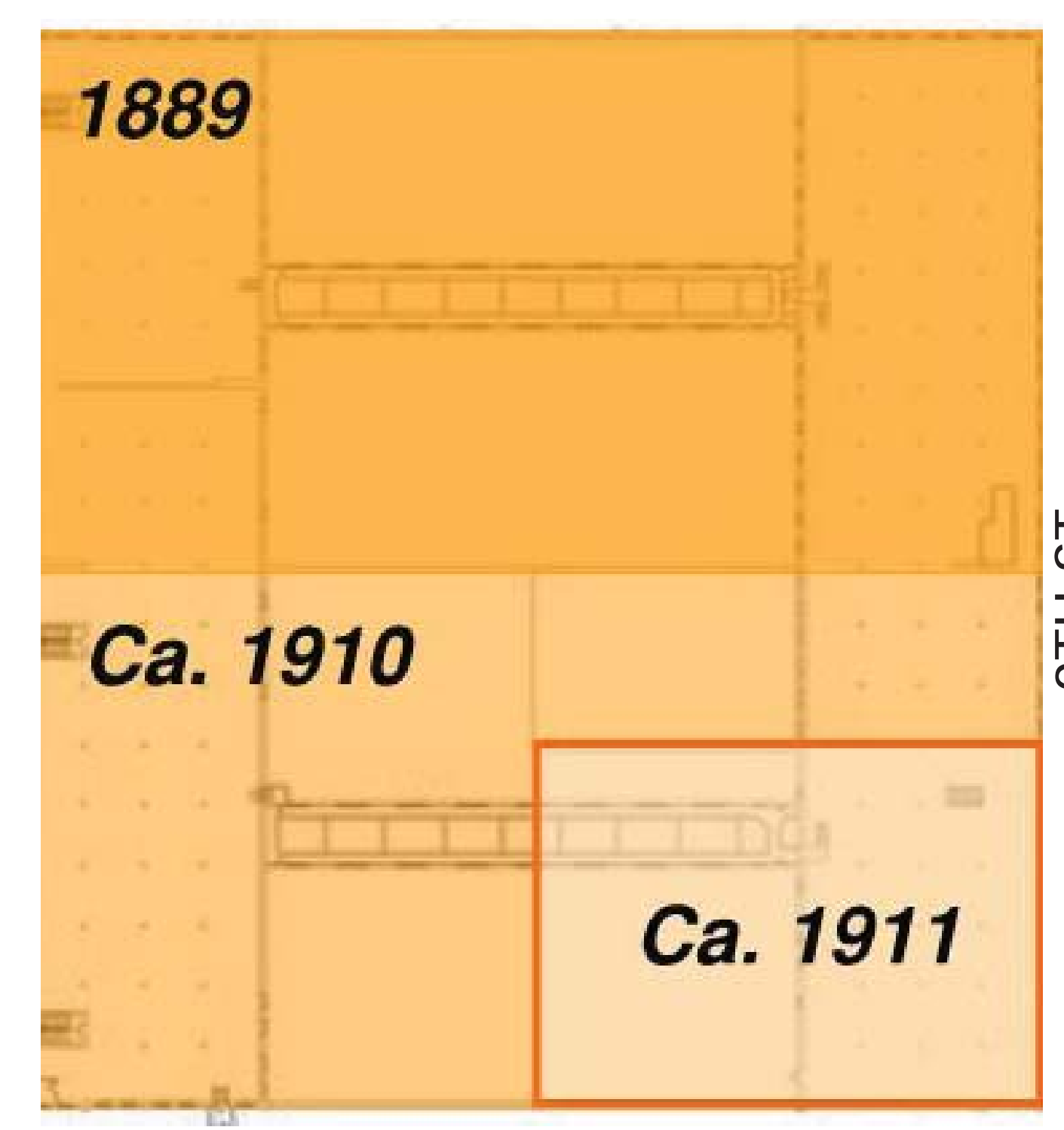
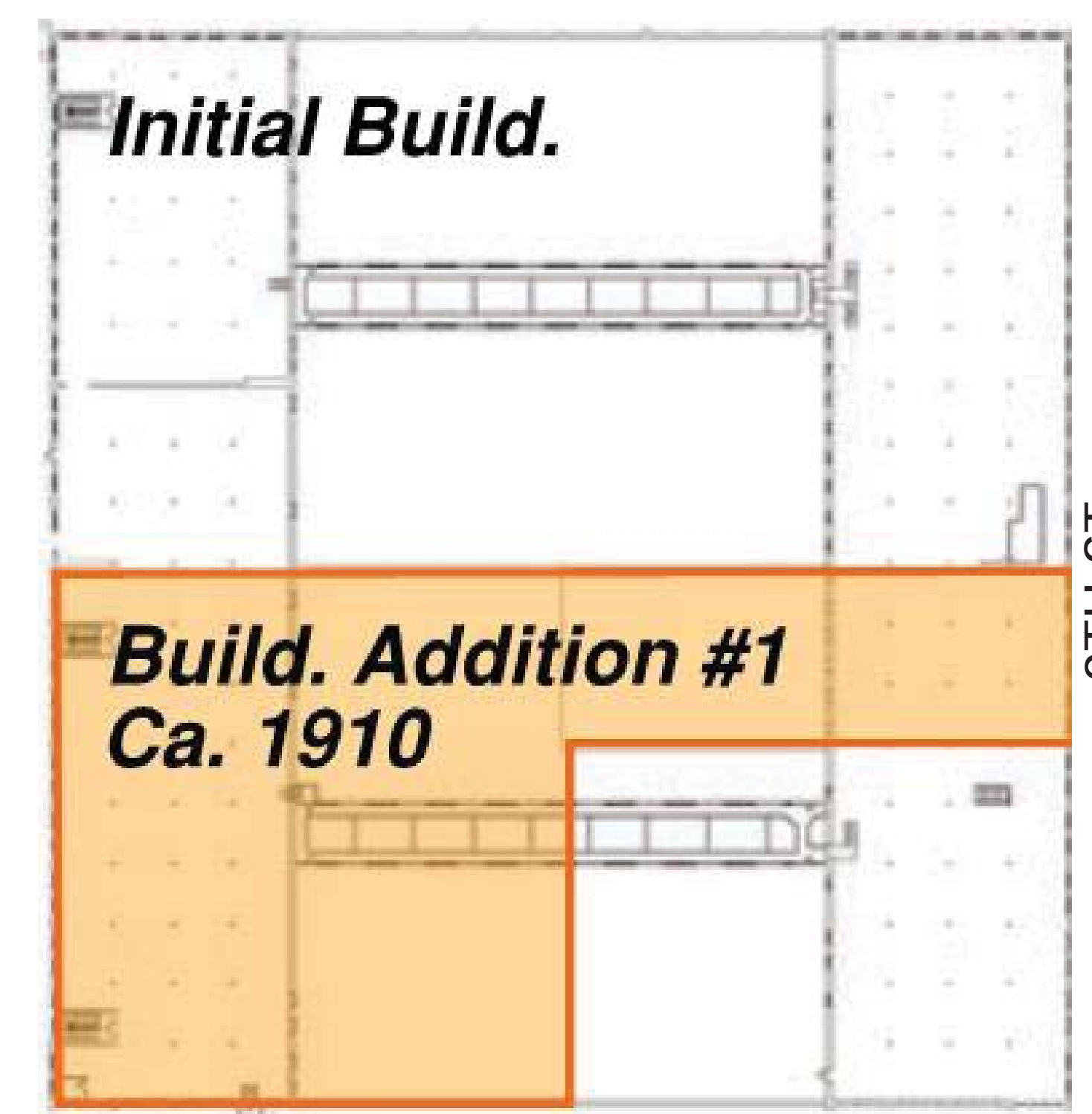
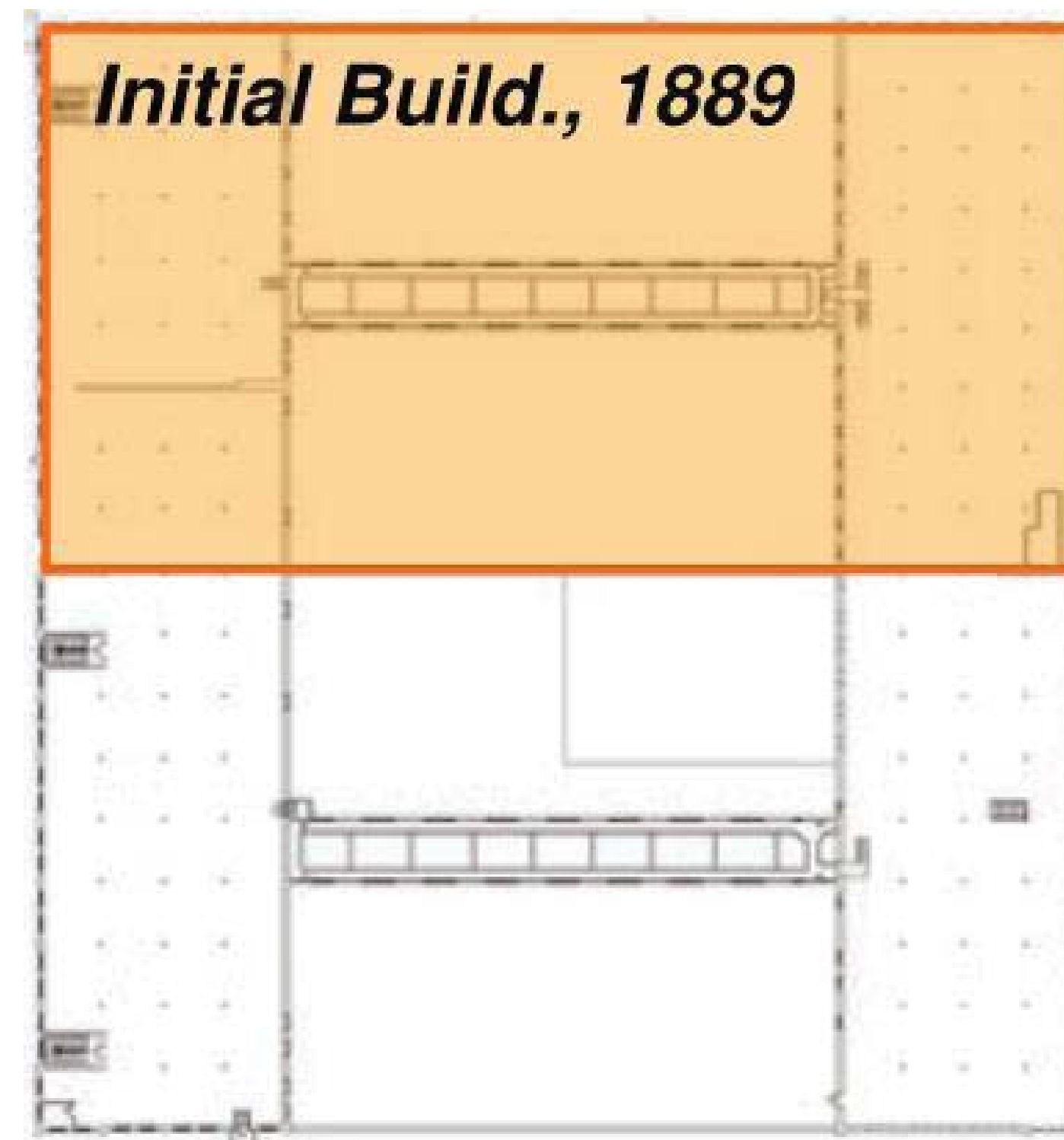
BUILDING DIAGRAM, Ca 1910



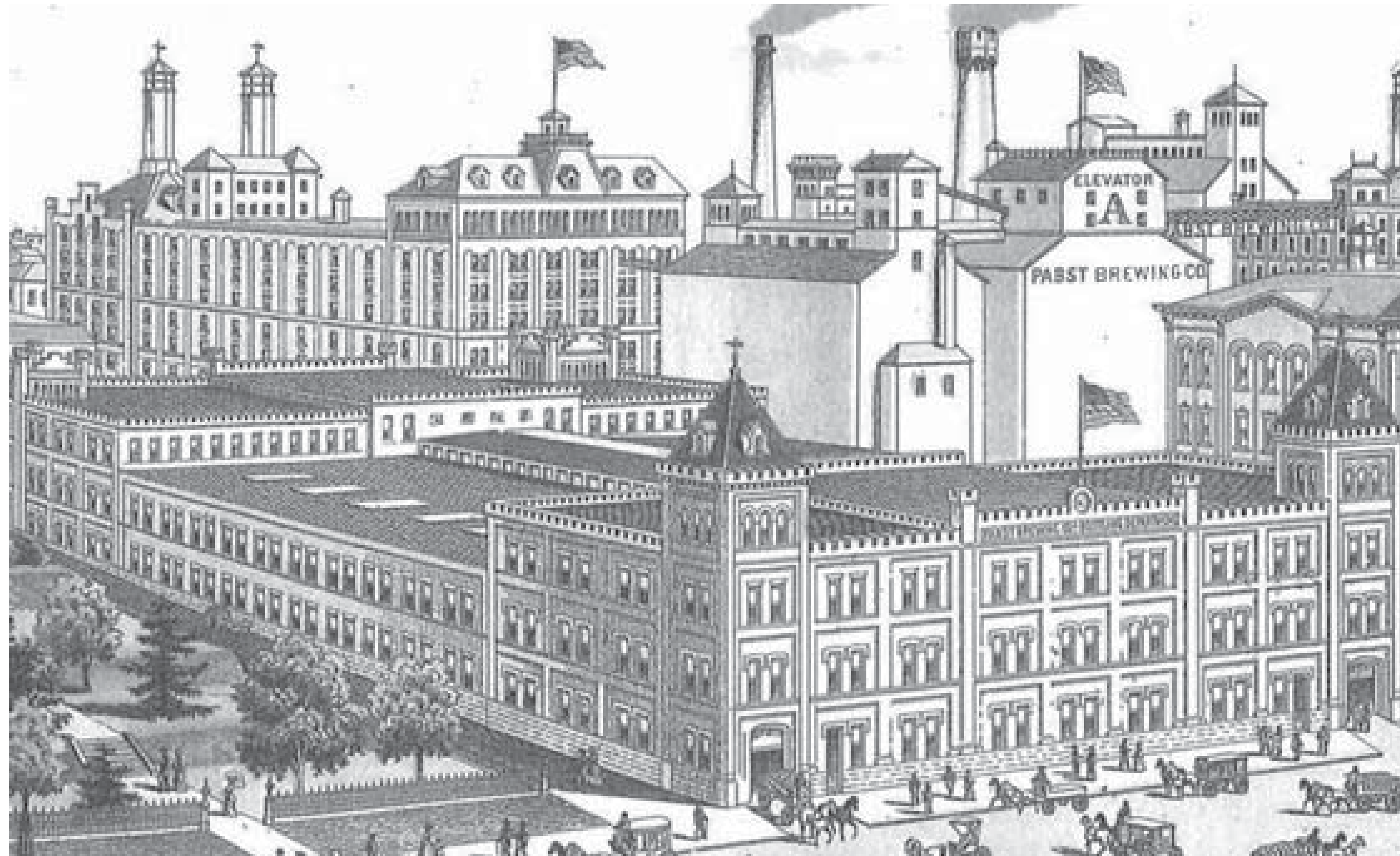
BUILDING DIAGRAM, Ca 1911



Building 29 was the Bottling Plant for the Pabst Brewery. It was built in three phases, the original building was constructed in Circa 1889; a large addition was added in Circa 1910; and a small final addition in Circa 1911. The existing structure contains approximately 250,000 SF and stretches for the full block along West Highland Avenue between 9th and 10th Streets and three quarters of the block from West Highland towards West Juneau Avenue.







BOTTLING DEPARTMENT, 1889



BOTTLING DEPARTMENT, Ca 1889

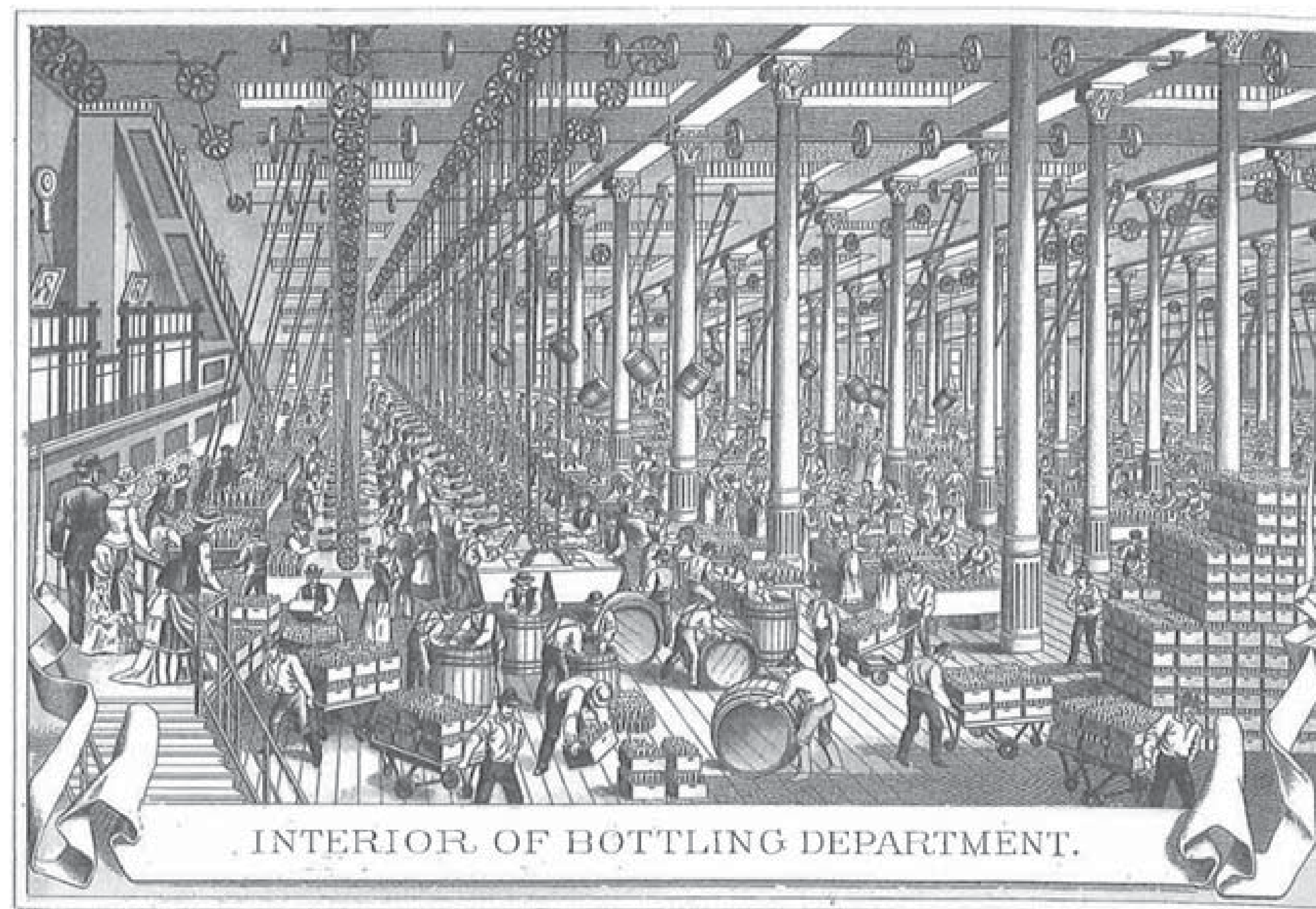


BOTTLING DEPARTMENT, PRIOR TO 1910

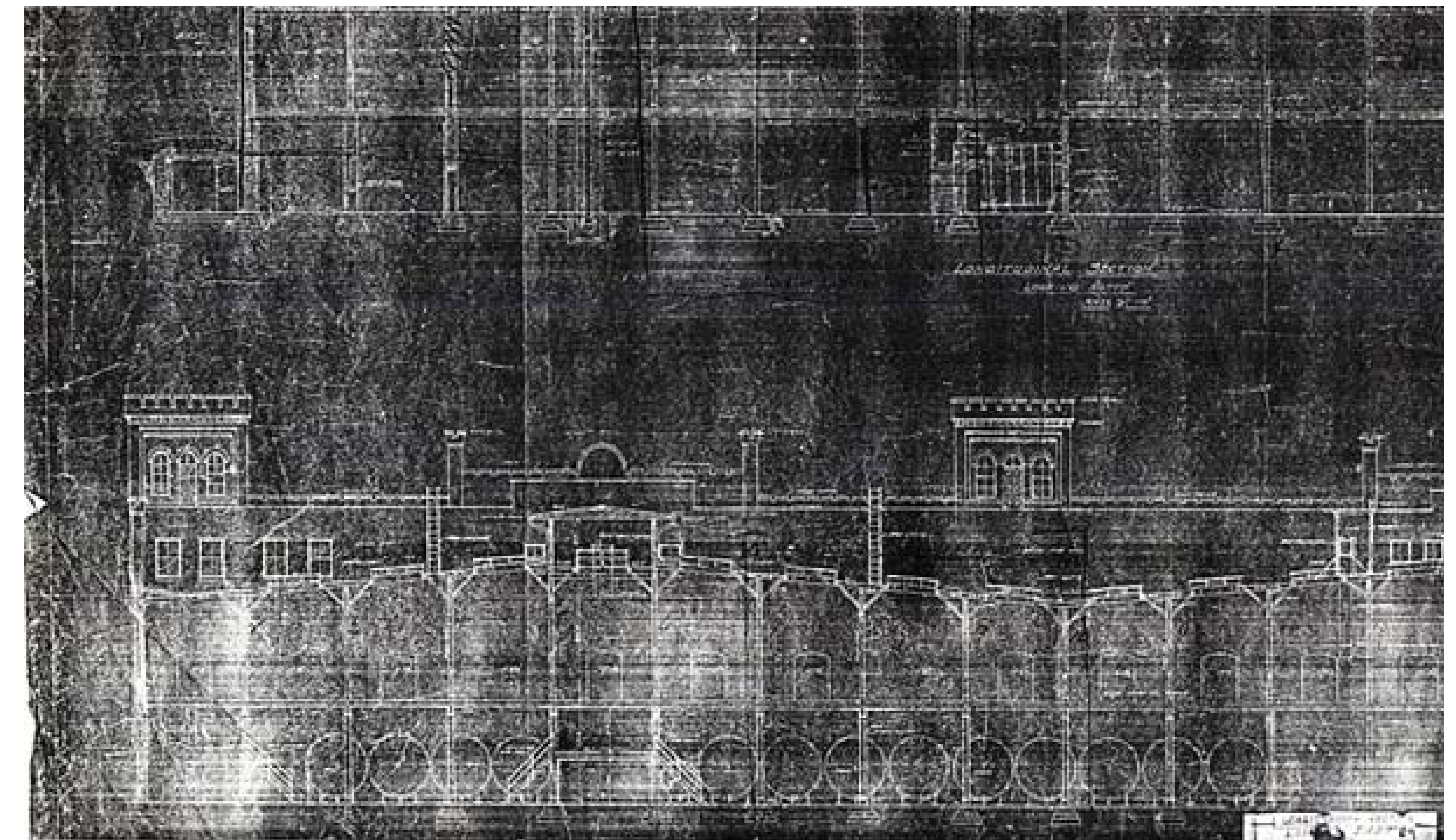


OCTOBER 1941





ETCHING, Ca UNKOWN



SCAN OF ORIGINAL BLUEPRINT

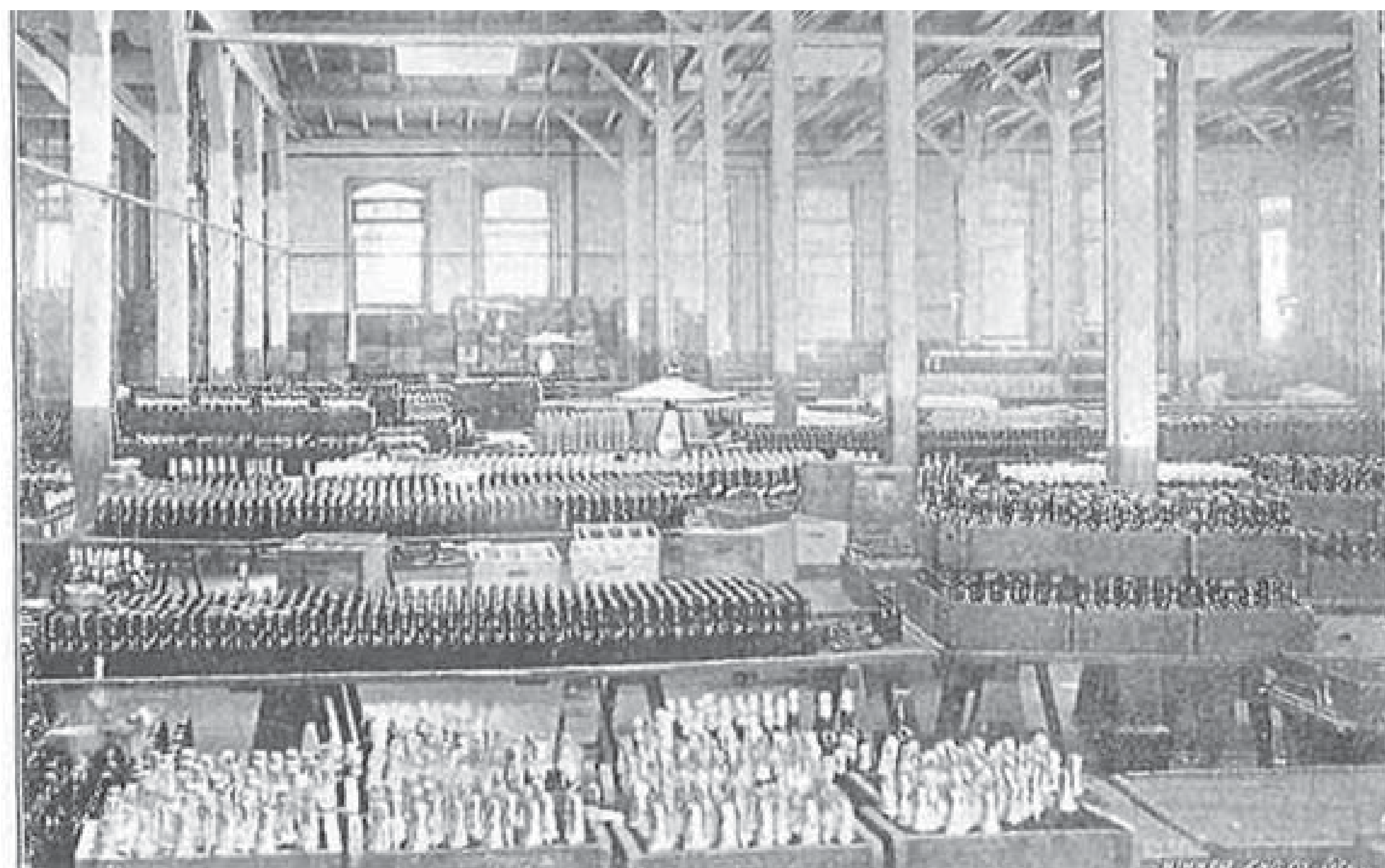
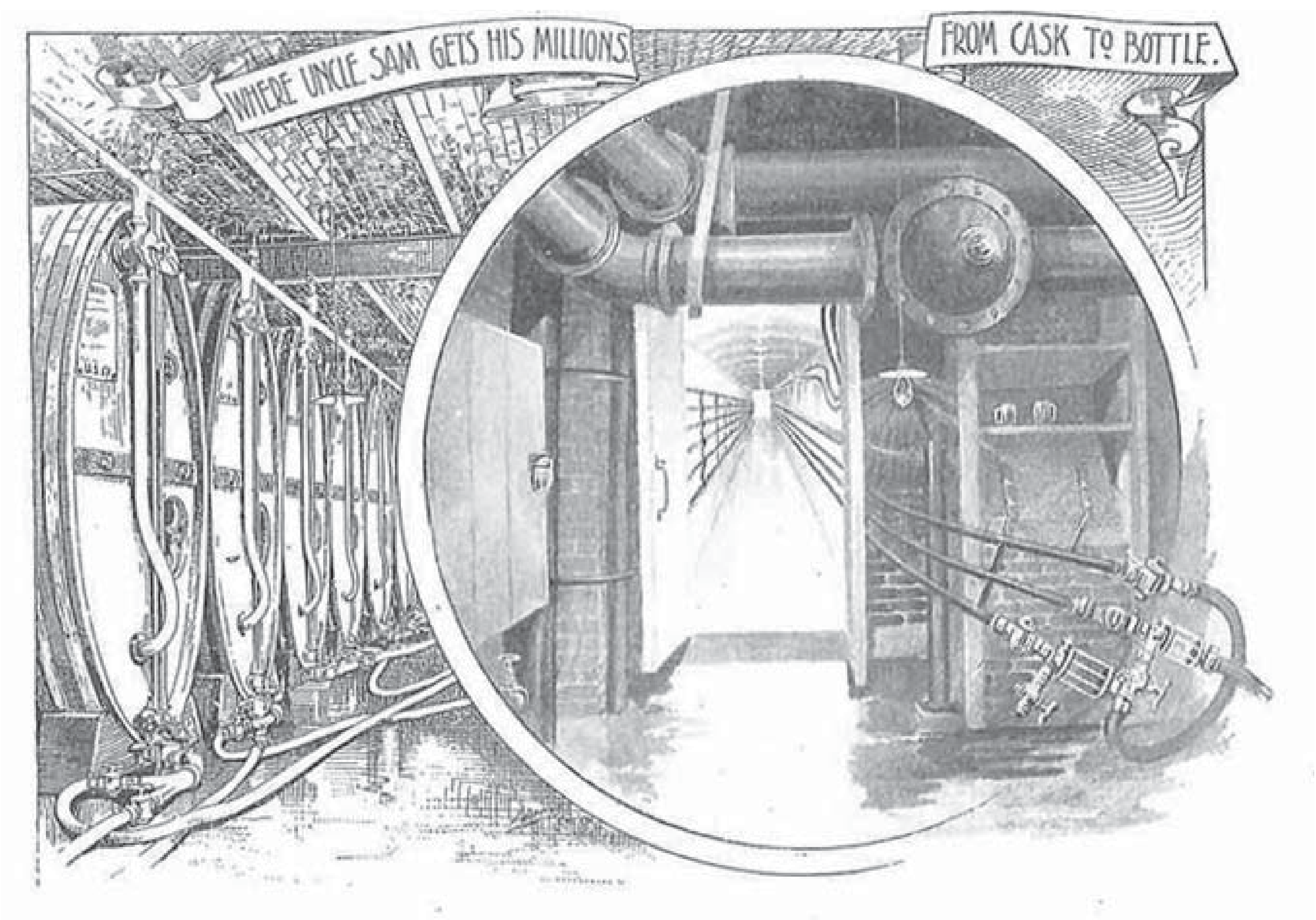


PHOTO - UNKOWN



DRAWING OF PABST TUNNEL





HISTORIC PHOTOGRAPH OF SOUTHEAST CORNER





REMOVED BRIDGE CONNECTION ACROSS 9TH ST.

EAST ELEVATION



WEST ELEVATION

EXISTING PHOTOS OF EXISTING BUILDING (SPRING 2014)





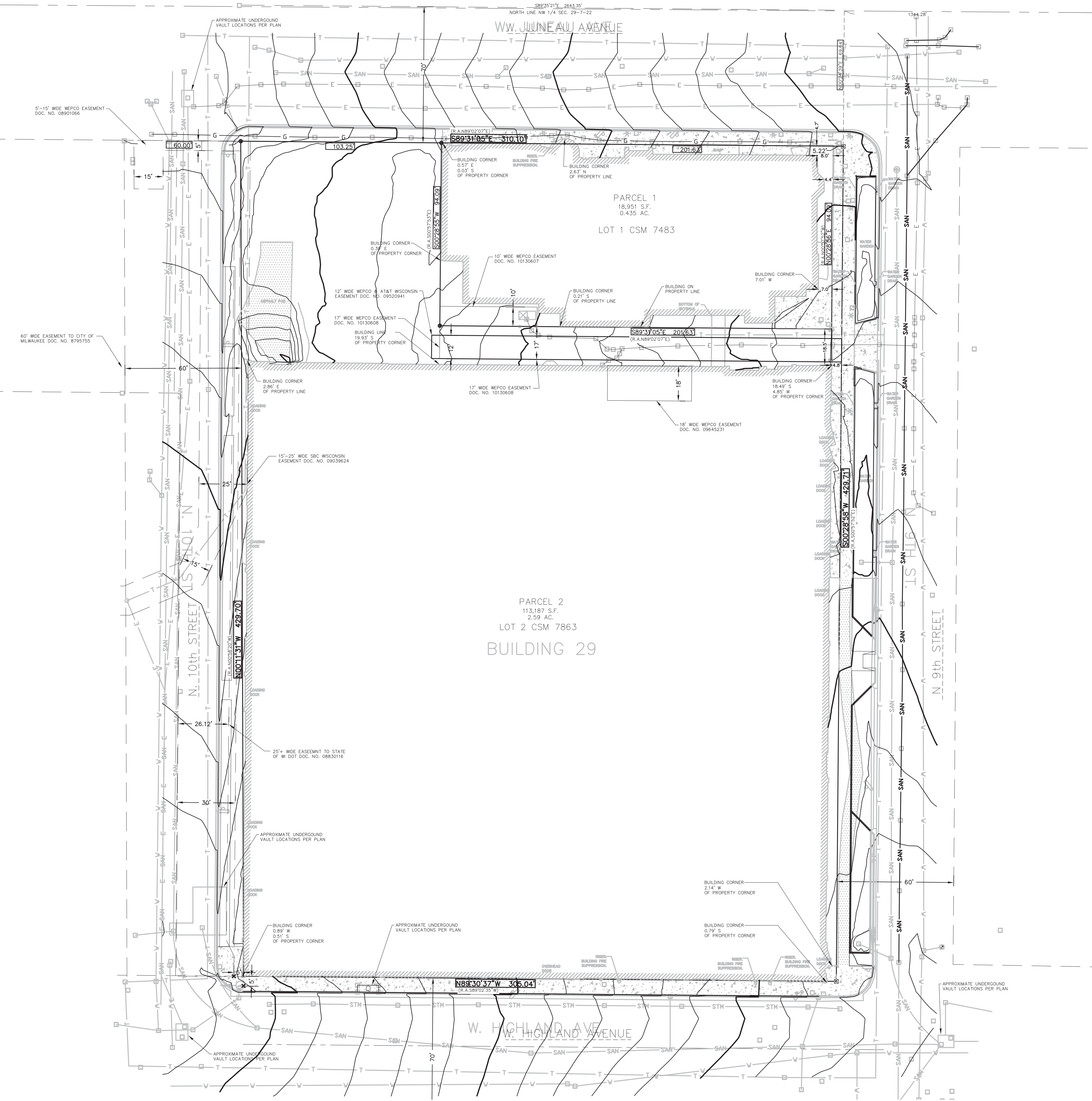
NORTH ELEVATION



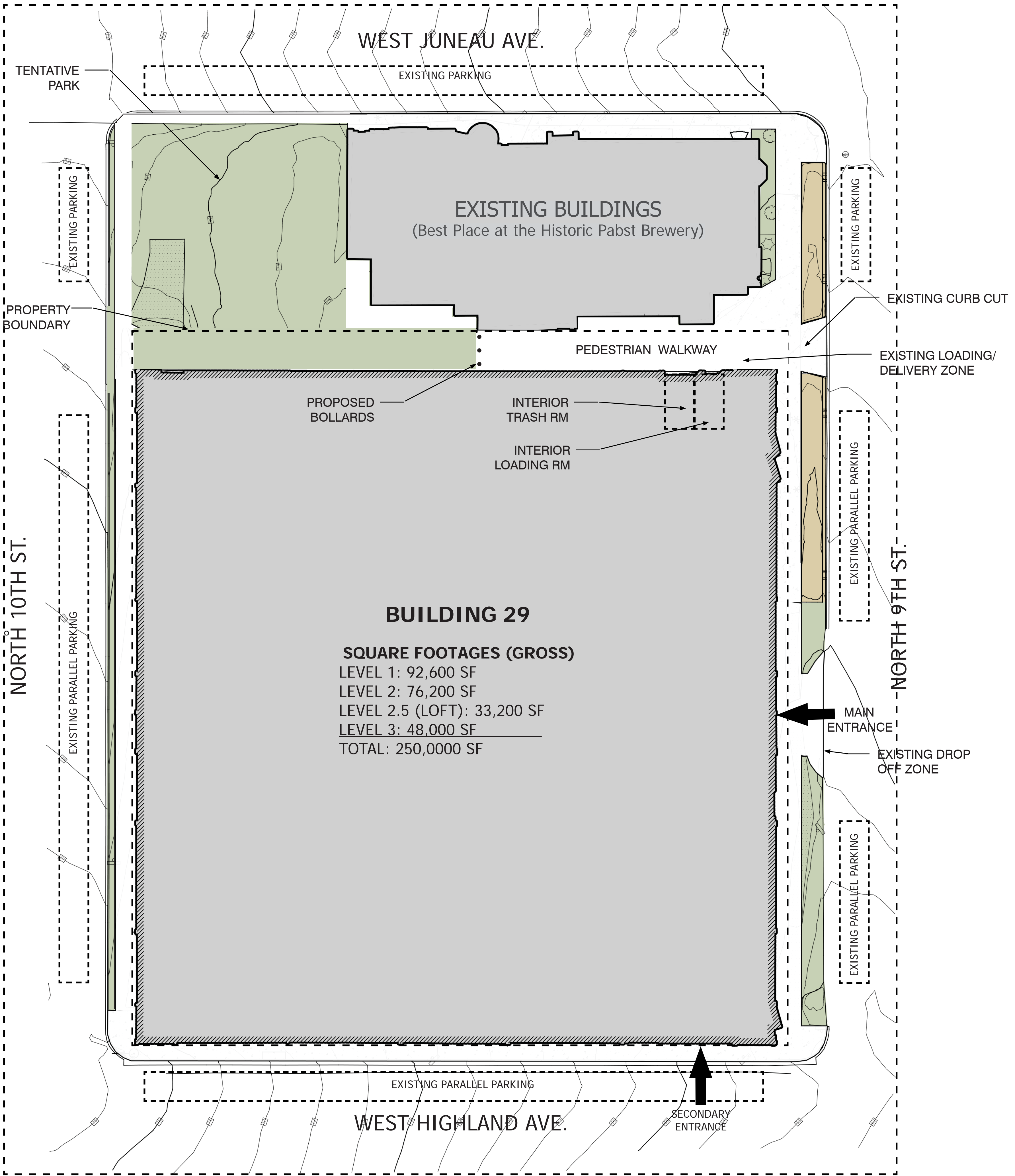
SOUTH ELEVATION

EXISTING PHOTOS OF EXISTING BUILDING (SPRING 2014)

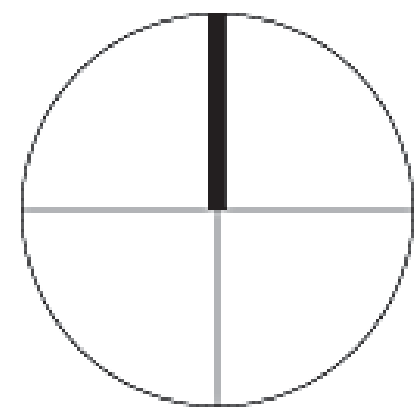




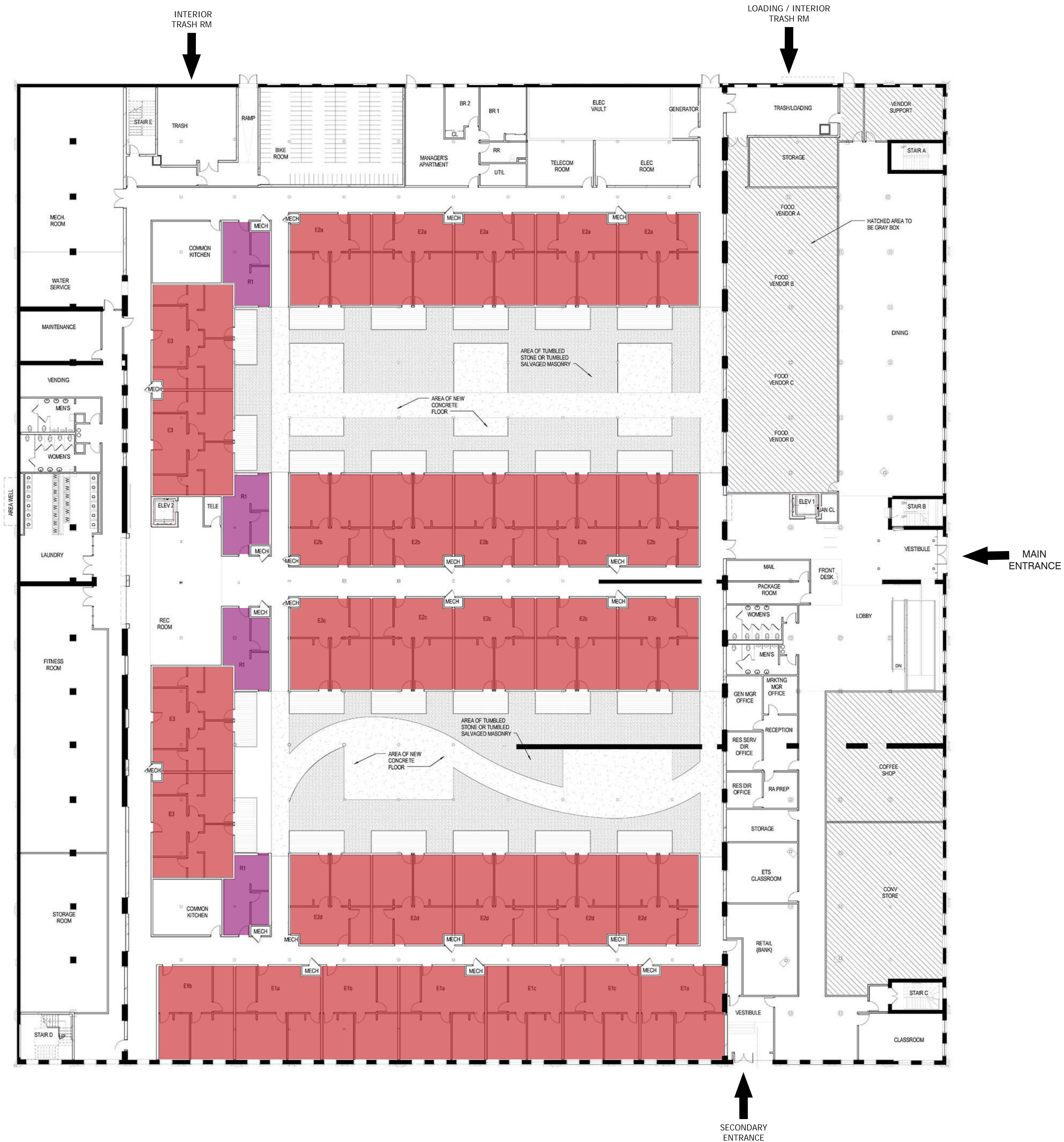
EXISTING SITE SURVEY



PROPOSED SITE PLAN



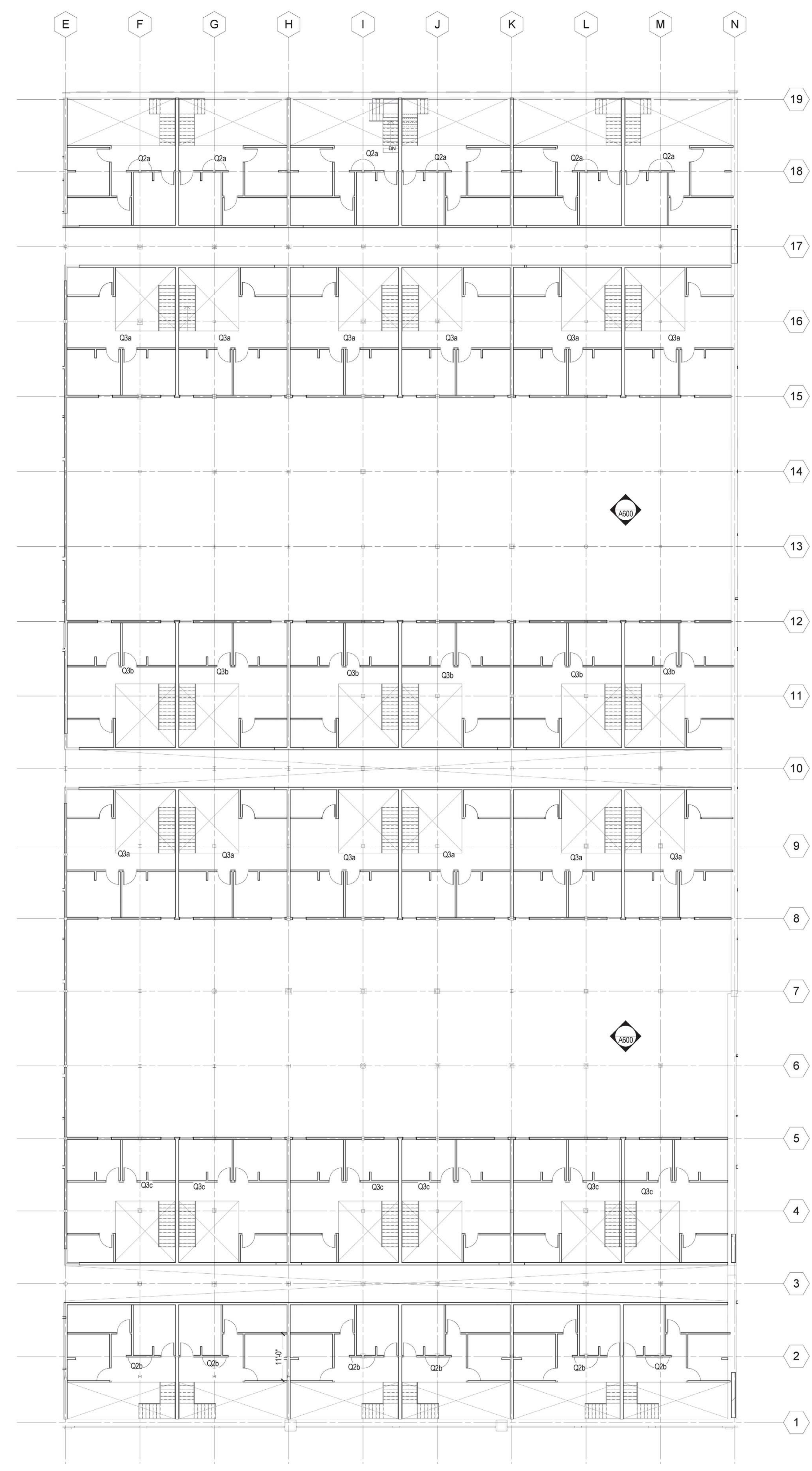




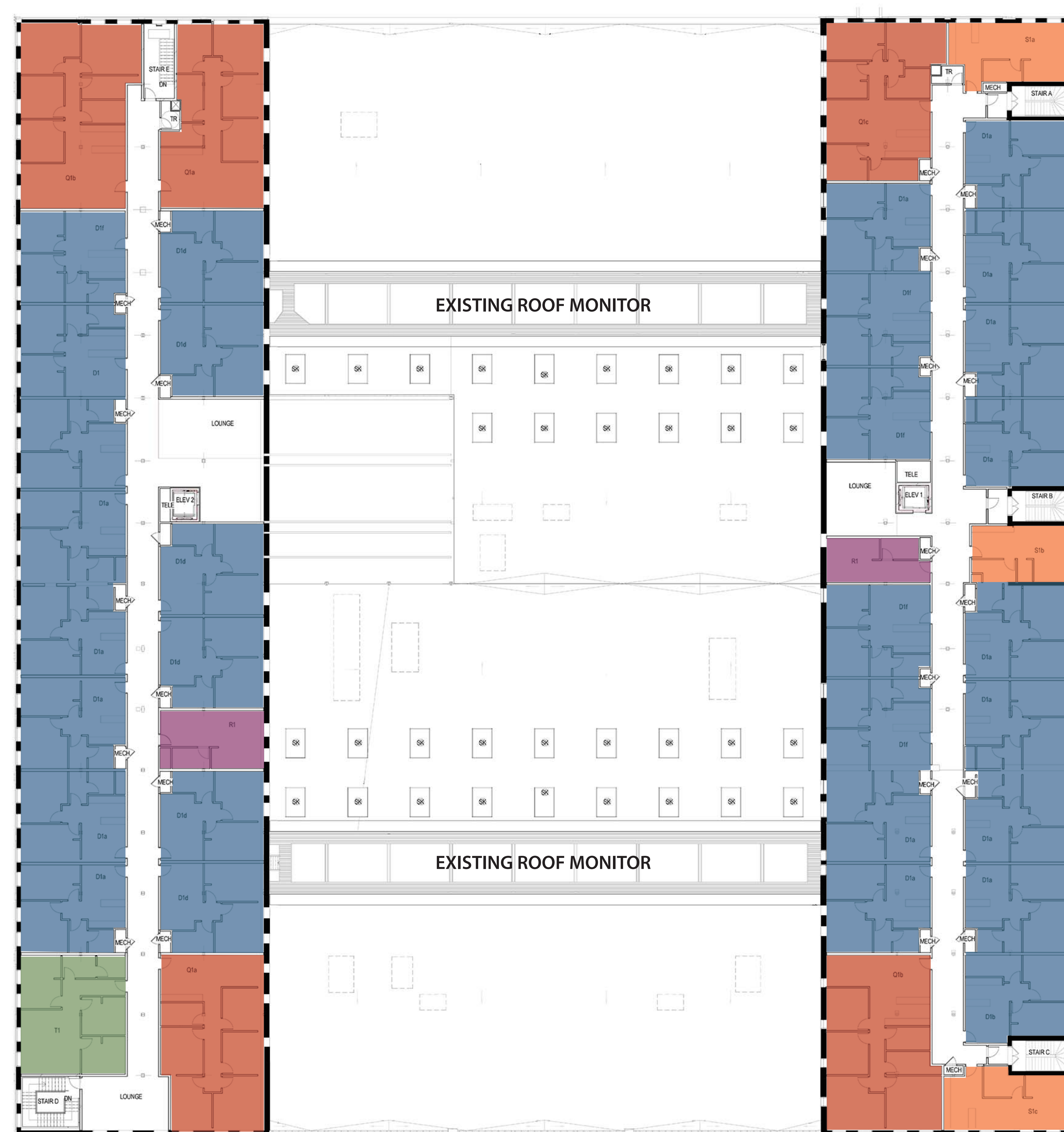






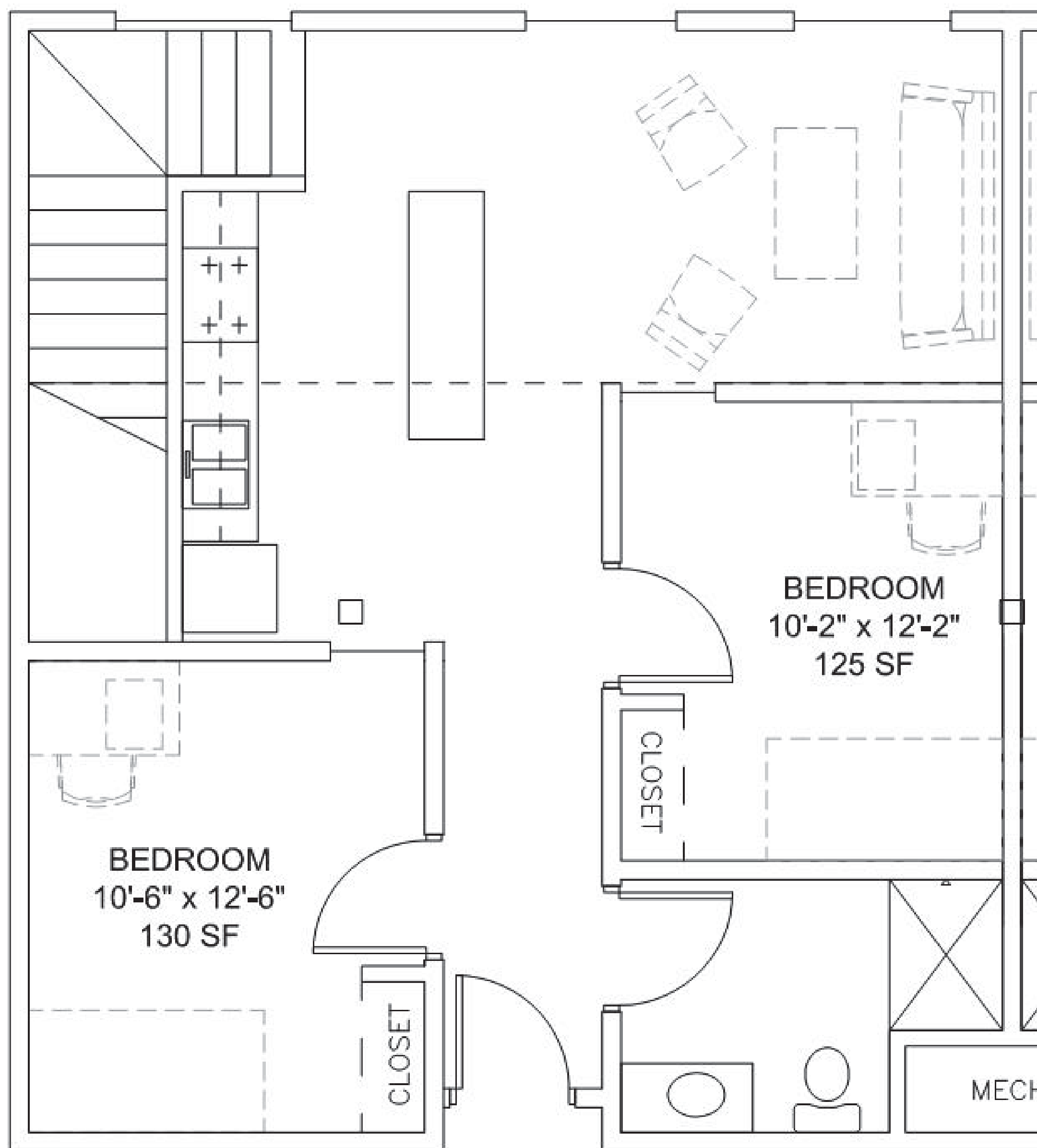






- KEY
- SINGLE
  - DOUBLE
  - TRIPLE
  - QUAD
  - QUAD (LOFT)
  - RA

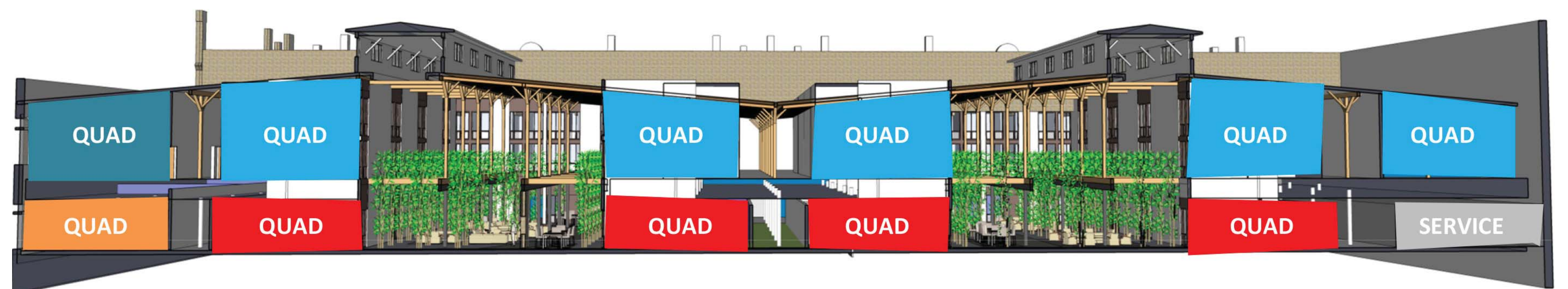
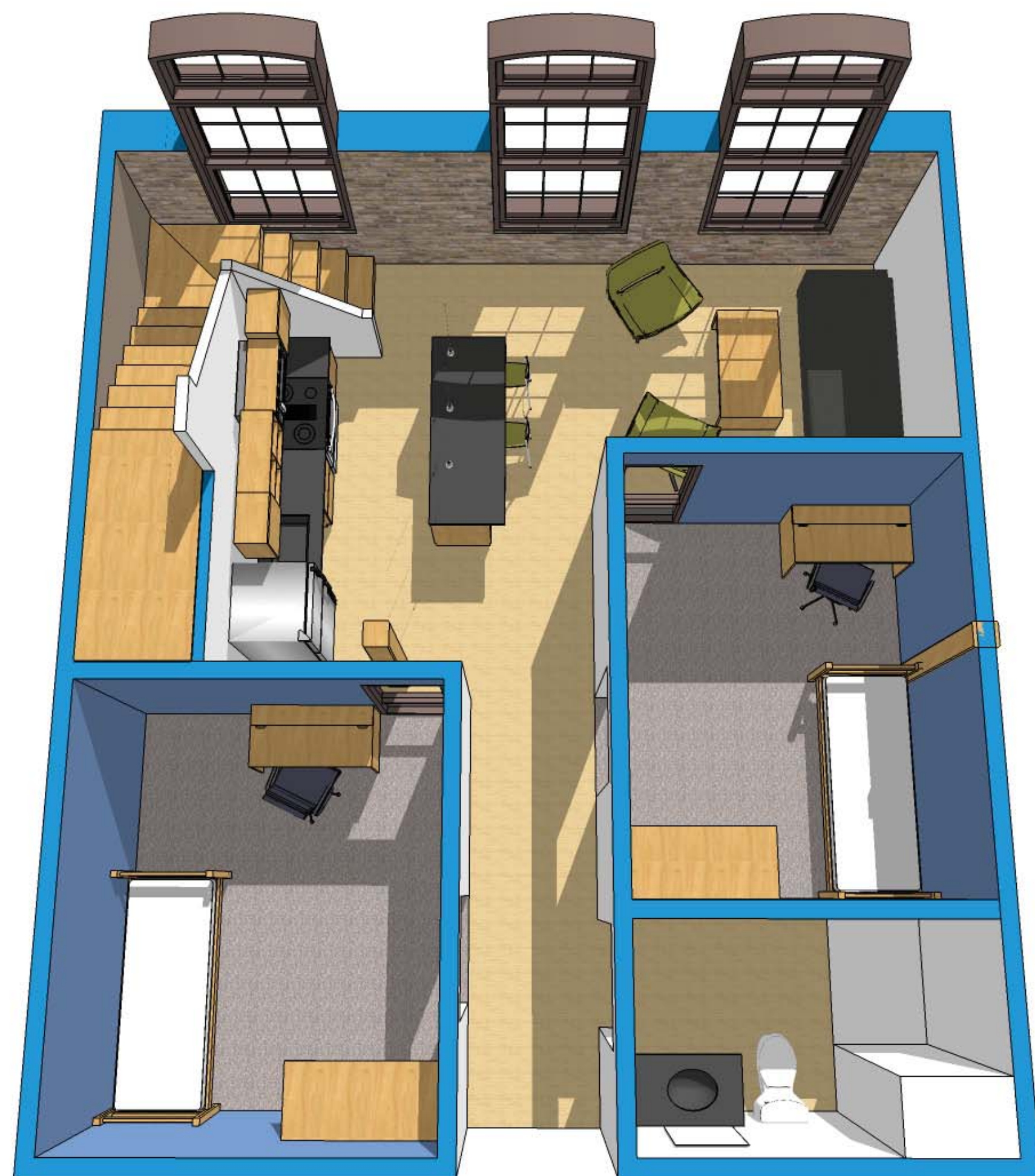




UNIT Q2 PLAN (LOWER) TYP



VIEW OF LOFTED UNIT

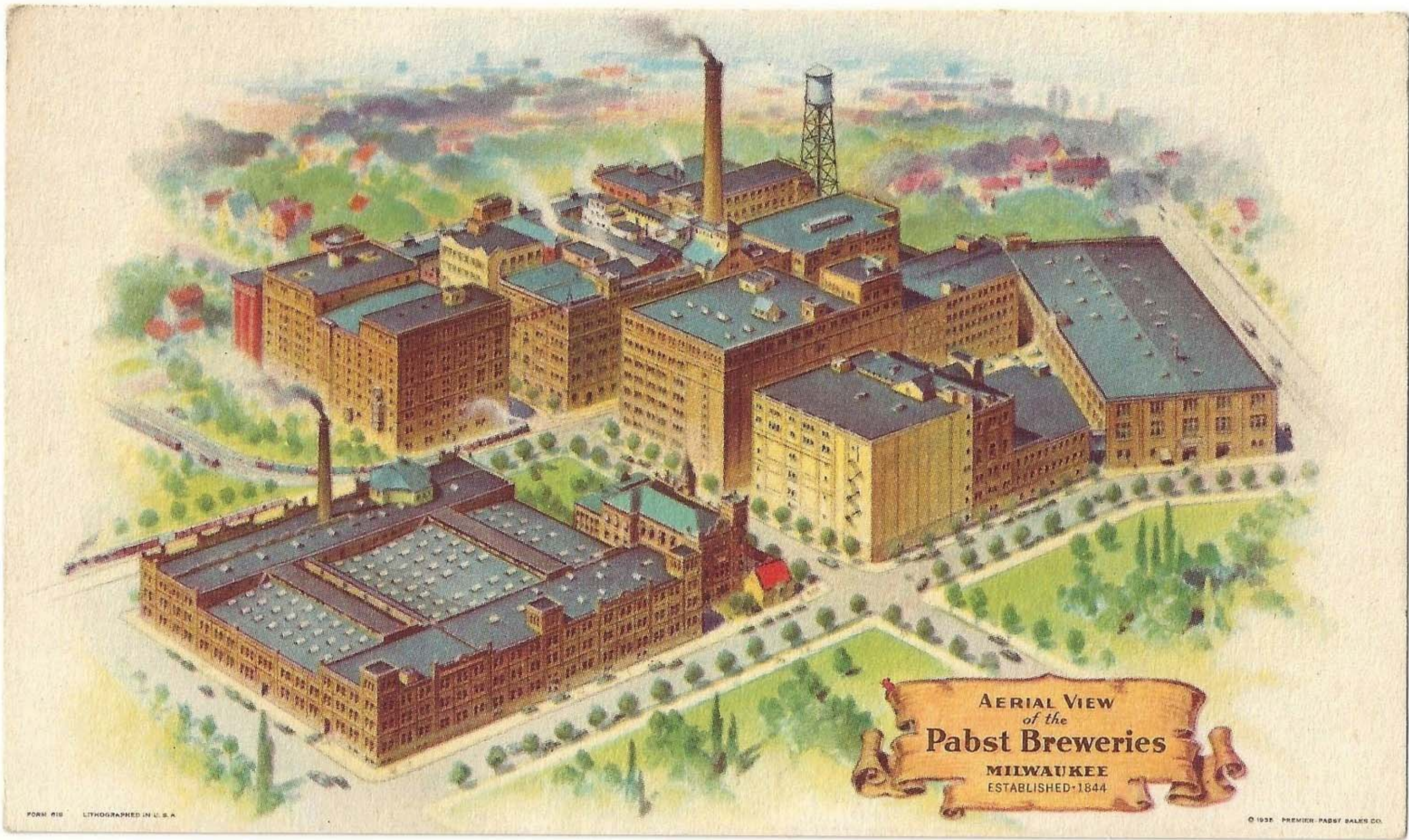


SECTION DIAGRAM

PROPOSED SECTION AND TYPICAL LOFTED QUAD SUITE UNIT



# Building 29



# MILWAUKEE HPC SUBMISSION

NUMBER	DRAWING INDEX SHEET NAME
1-GENERAL	
G000	COVER SHEET
4-ARCHITECTURAL	
A013	EXTERIOR WINDOW TYPES
A014	WINDOW SCHEDULE
A020	LIFE SAFETY PLAN - LEVEL 1
A021	LIFE SAFETY PLAN - LEVEL 2
A022	LIFE SAFETY PLAN - LEVEL 3
A023	LIFE SAFETY SECTIONS
A060	ARCHITECTURAL SITE PLAN
A150	DEMO & MASONRY RESTORATION NOTES
A154	DEMO & MASONRY RESTORATION PLAN - ROOF
A160	DEMO & MASONRY RESTORATION PLAN - NORTH ELEVATION
A161	DEMO & MASONRY RESTORATION PLAN - EAST ELEVATION
A162	DEMO & MASONRY RESTORATION PLAN - SOUTH ELEVATION
A163	DEMO & MASONRY RESTORATION PLAN - WEST ELEVATION
A164	DEMO & MASONRY RESTORATION PLAN - HIDDEN ELEVATIONS
A170	DEMO & MASONRY RESTORATION SECTIONS & DETAILS
A200S	FLOOR PLAN - LOWER LEVEL - SOUTH
A201N	FLOOR PLAN - LEVEL 1 - NORTH
A201S	FLOOR PLAN - LEVEL 1 - SOUTH
A202 N	FLOOR PLAN - LEVEL 2 - NORTH
A202 S	FLOOR PLAN - LEVEL 2 - SOUTH
A202.SN	FLOOR PLAN - LOFT LEVEL - NORTH
A202.SS	FLOOR PLAN - LOFT LEVEL - SOUTH
A203N	FLOOR PLAN - LEVEL 3 - NORTH
A203S	FLOOR PLAN - LEVEL 3 - SOUTH
A210N	ROOF PLAN - NORTH
A210S	ROOF PLAN - SOUTH
A400	NORTH ELEVATION
A401	EAST ELEVATION
A402	SOUTH ELEVATION
A403	WEST ELEVATION
A404	HIDDEN ELEVATIONS
A405	EXTERIOR WINDOW STRATEGY
A410	BUILDING SECTIONS
A420	WALL SECTIONS
A430	EXTERIOR DETAILS
A431	EXTERIOR DETAILS
A432	EXTERIOR DETAILS
A433	EXTERIOR DETAILS
A434	EXTERIOR DETAILS
A440	EAST ENTRY
A441	SOUTH ENTRY

# BLUE RIBBON SUITES LLC

## Building 29



### KM DEVELOPMENT CORP

710 N Plankinton Avenue  
Milwaukee WI 53203  
Contact: Jim Theusch  
(414) 274-2825  
jim.theusch@zilber.com



Architecture | Engineering | Planning

Hammel, Green and Abrahamson, Inc.

333 East Erie Street

Milwaukee, Wisconsin USA 53202

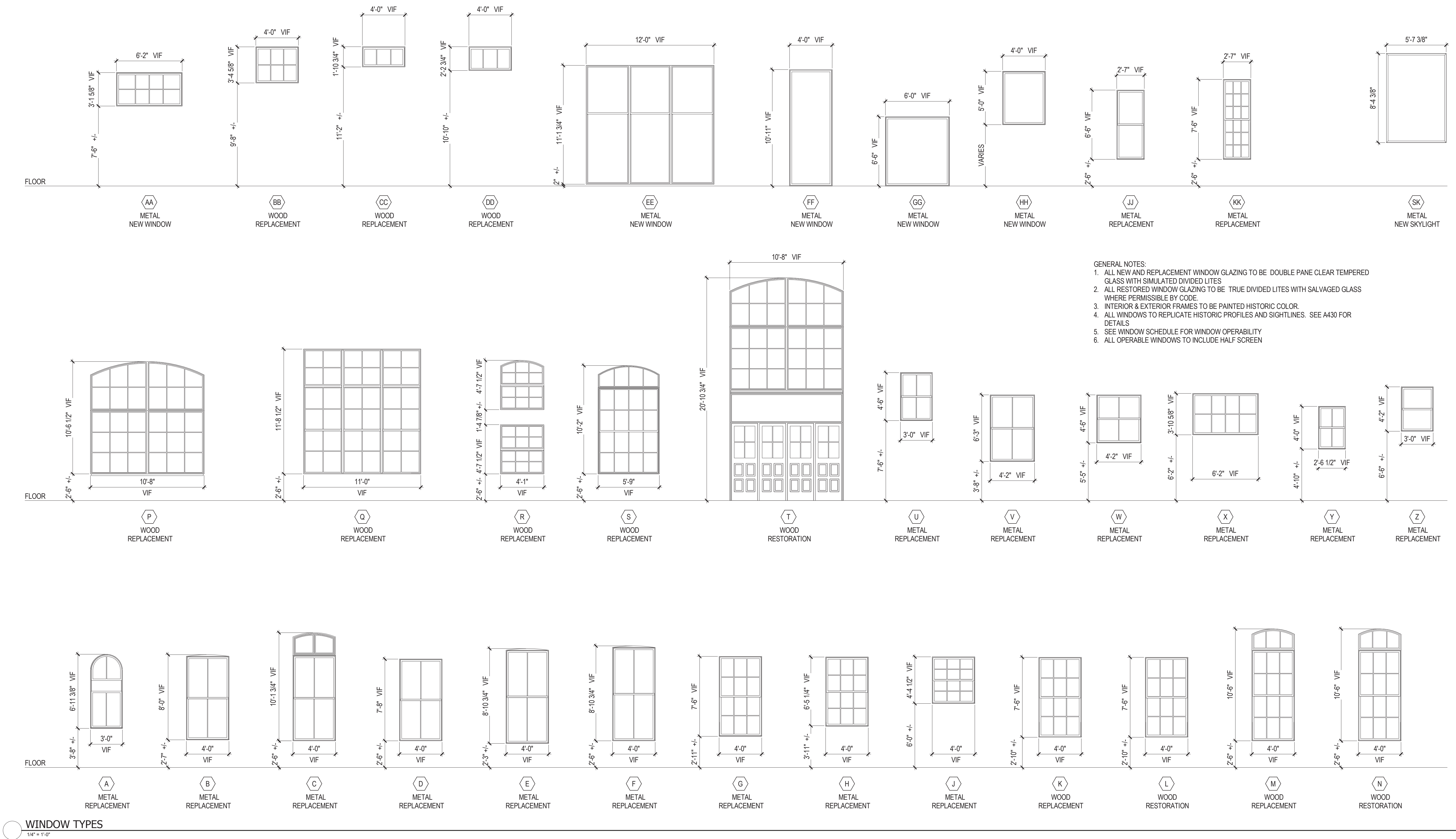
Telephone 414.278.8200 Facsimile 414.278.7734

hga commission number: 3368-001-01

NOVEMBER 17, 2014

Building 29 Unit Matrix								
UNIT TYPE	UNIT DATA				UNITS PER FLOOR			
	BED	DEN	BATH	SF	1st	2nd	3rd	TOTAL
D1	2	--	1	--	--	17	30	47
D2	2	--	1	--	--	8	--	8
D3	2	--	1	--	--	1	--	1
E1	2	--	1	--	7	--	--	7
E2	2	--	1	--	20	--	--	20
E3	2	--	2	--	4	--	--	4
Q1	4	--	2	--	--	--	5	5
Q2	4	--	2	--	--	12	--	12
Q3	4	--	2	--	--	24	--	24
Q4	4	--	2	--	--	1	--	1
R1	--	--	1	--	4	--	2	6
R2	2	--	1	--	--	3	--	3
S1	--	--	1	--	--	4	3	7
T1	3	--	1	--	--	1	1	2
T2	3	--	1	--	--	2	--	2
MA	2	--	1	--	1	--	--	1
TOTAL UNITS					36	73	41	150





**Blue Ribbon Suites LLC**  
Building 29  
Highland Avenue & 9th Street  
Milwaukee, WI 53202

**H&A**  
Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734

**KM DEVELOPMENT CORP**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

WISCONSIN

NO	DESCRIPTION	DATE
ISSUANCE HISTORY - THIS SHEET		

**MILWAUKEE HPC SUBMISSION**  
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**EXTERIOR WINDOW TYPES**

**A013**

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





(SYMBOLS ONLY- SEE LIFE SAFETY PLANS FOR ACTUAL INFORMATION)

	VERTICAL/ HORIZONTAL EXIT, FIREWALL		NEW EXIT PATH/EGRESS CORRIDOR
	SUITE		

TYPE OF ASSEMBLY			
B	FIRE BARRIER	P	FIRE PARTITION
E	EXISTING AND RATED	RF	RADIO FREQUENCY SHIELDING
L	LEAD LINED	S	SMOKE BARRIER/COMPARTMENT
M	MAGNETIC SHIELDING	W	FIRE WALL

 DRINKING FOUNTAIN	 HORIZONTAL EXIT
---	---

### OCCUPANCY LEGEND

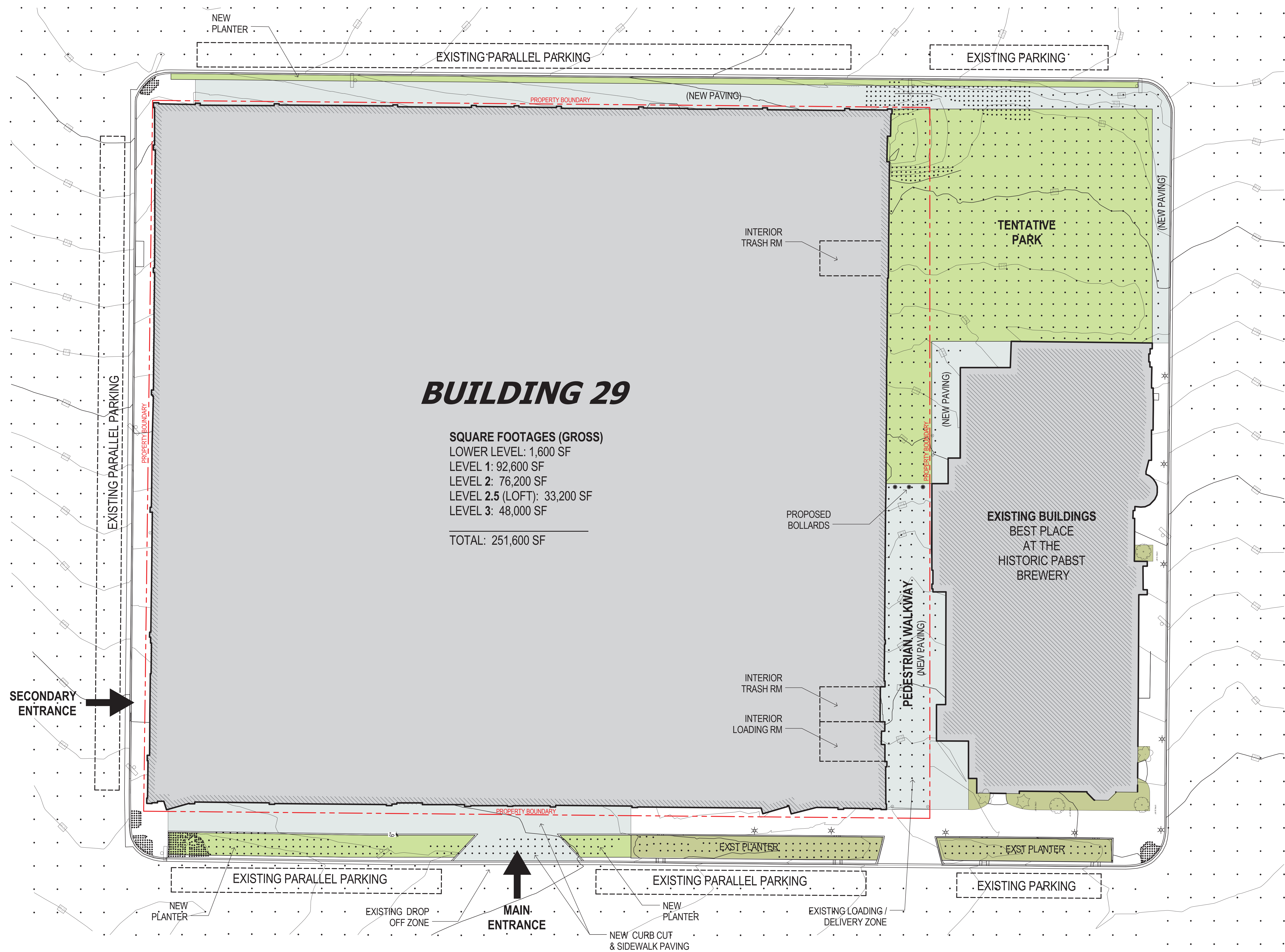
	RESIDENTIAL OCCUPANCY (R-2) - 200 SQ. FT. GROSS/OCCUPANT
	BUSINESS OCCUPANCY (B) - 100 SQ. FT. GROSS/OCCUPANT
	ASSEMBLY OCCUPANCY WITHOUT FIXED SEATS (A2,A3) - 15 SQ. FT. GROSS/OCCUPANT
	ACCESSORY MECHANICAL - 300 SQ. FT. GROSS/OCCUPANT
	ACCESSORY STORAGE - 300 SQ. FT. GROSS/OCCUPANT
	MERCHANTILE (M) - 30 SQ. FT. GROSS/OCCUPANT

General Notes - Life Safety Plan  
12" = 1'-0"



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## BUILDING 29

**SQUARE FOOTAGES (GROSS)**  
 LOWER LEVEL: 1,600 SF  
 LEVEL 1: 92,600 SF  
 LEVEL 2: 76,200 SF  
 LEVEL 2.5 (LOFT): 33,200 SF  
 LEVEL 3: 48,000 SF  
 TOTAL: 251,600 SF

1 ARCHITECTURAL SITE PLAN  
 1/16" = 1'-0"

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 333 East Erie Street  
 Milwaukee, Wisconsin USA 53202  
 Telephone 414.278.8200 Facsimile 414.278.7734

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ARCHITECTURAL SITE PLAN

**A060**

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Milwaukee, WI 53202



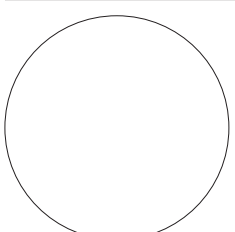
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

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△ NO	DESCRIPTION	DATE
1	BP#1 ADDENDA 1	8/12/14
3	BP#1 ADDENDA 3	8/25/2014

ISSUANCE HISTORY - THIS SHEET

MILWAUKEE HPC SUBMISSION

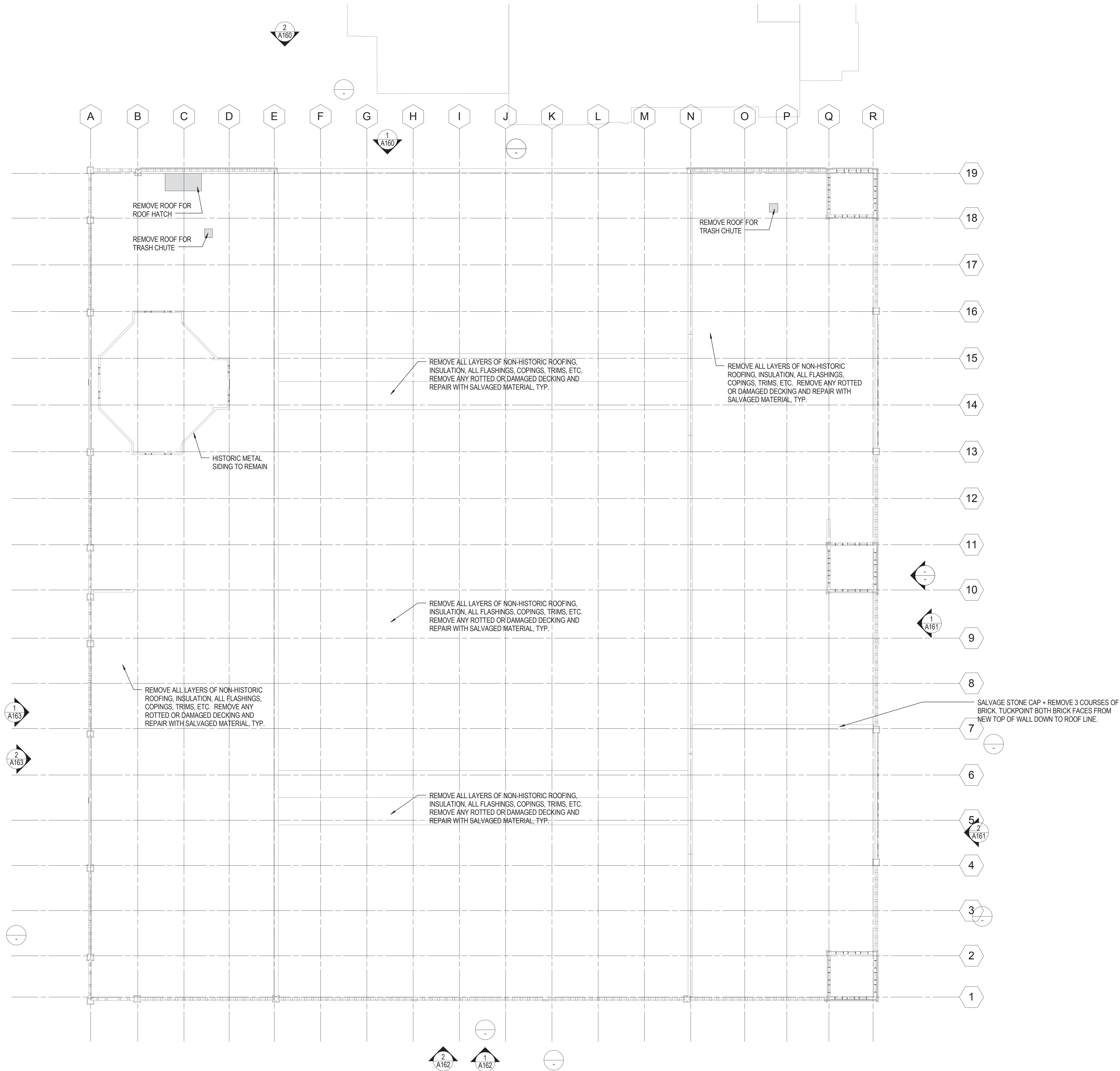


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# DEMO & MASONRY RESTORATION NOTES

# A150





GENERAL NOTES	
#	DESCRIPTION
A	ALL EXISTING HISTORIC WOOD AND STEEL COLUMNS TO REMAIN, UNO
B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
D	THIS BUILDING IS A REGISTERED HISTORIC BUILDING; CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS REGARDING WORK AND REQUIRED GUIDELINES. TREAT THE EXISTING MATERIAL AS IRREPLACEABLE
E	ALL ITEMS REMOVED SHALL BE DOCUMENTED FOR THE LOCATION WHERE THEY WERE REMOVED AND LABELED BEFORE BEING PLACED IN THE BUILDING TO THE EAST (BUILDING 42) FOR STORAGE
F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION

1 ROOF DEMOLITION PLAN  
1/16" = 1'-0"

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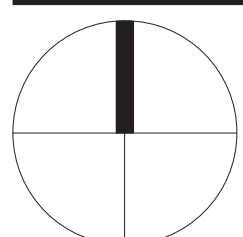
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Telephone 414.278.8200 Facsimile 414.278.7734

**KM** **KM DEVELOPMENT CORP**  
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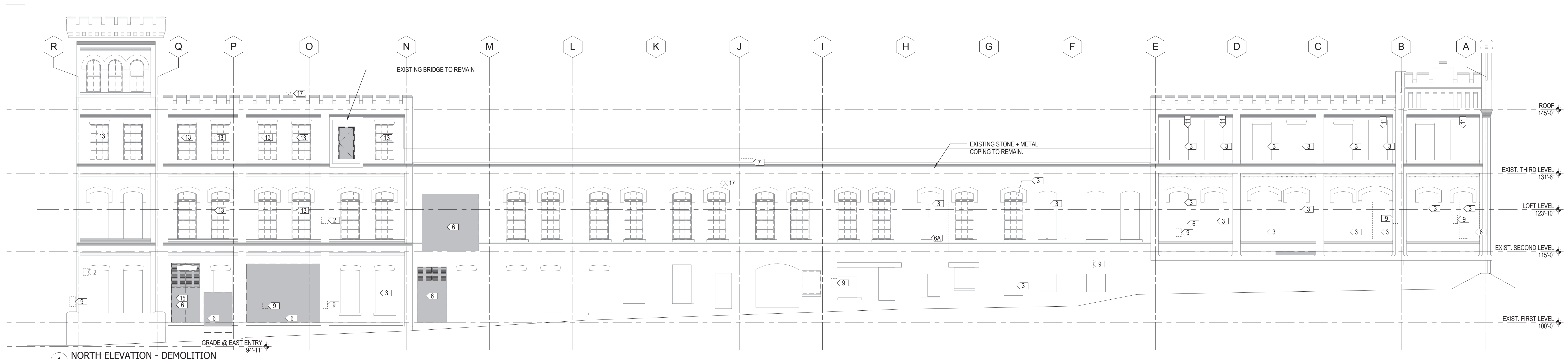


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### DEMO & MASONRY RESTORATION PLAN - ROOF

A154





MASONRY TREATMENT REQUIREMENT (MTR) KEY	
<span style="display:inline-block; width:10px; height:10px; background-color:gray;"></span>	MTR-1. SELECTIVE DECONSTRUCTION AND MATERIAL HARVESTING
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	MTR-2. SUBSTITUTE STONE REPAIR - NOT USED
<span style="display:inline-block; width:10px; height:10px; background-color:green;"></span>	MTR-3. REDRESSING STONE IN SITU
<span style="display:inline-block; width:10px; height:10px; background-color:darkblue;"></span>	MTR-4. DUTCHMAN STONE REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	MTR-5. REMOVE, CLEAN, AND RETURN STONE
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	MTR-6. REMOVE AND REPLACE STONE. NOTE: AT BASE OF BUILDING PROVIDE NEW 6" THICK STONE WITH CMU BACK UP (SEE DETAIL).
<span style="display:inline-block; width:10px; height:10px; background-color:purple;"></span>	MTR-7. CRACK INJECTION REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen;"></span>	MTR-8. HISTORIC BRICK RECONSTRUCTION
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	MTR-9. MORTAR REMOVAL
	MTR-10. LIME MORTAR REPOINTING. NOTE: JAMBS, HEADS, HIDDEN RETURNS ALL TO RECEIVE INDICATED PERCENTAGE OF TUCKPOINTING INDICATED ON ADJACENT WALL; PARAPET FRONTS, SIDES AND REAR FACES ARE TO BE TUCKPOINTED.
NOTE: SEE A150 FOR MTR NOTES	

DECONSTRUCTION & DEMOLITION KEYNOTES	
KEYNOTE	DESCRIPTION
1	REMOVE SPEAKERS
2	REMOVE LIGHT FIXTURE AND ASSOCIATED INFRASTRUCTURE
2A	REMOVE & SALVAGE LIGHT FIXTURE. REMOVE ASSOCIATED INFRASTRUCTURE
3	REMOVE MASONRY/INFILL MATERIAL
4	REMOVE AND SALVAGE CANOPY
5	REMOVE LOADING DOCK & MISC. BUILDING ACCESSORIES; WORK TO BE DONE BY OTHERS
6	REMOVE DOOR & FRAME; WORK TO BE DONE BY OTHERS
6A	REMOVE & SALVAGE DOOR & FRAME; WORK TO BE DONE BY OTHERS
7	REMOVE & SALVAGE LADDER
8	REMOVE & SALVAGE BALCONY
9	REMOVE SIGNAGE
9A	REMOVE & SALVAGE SIGNAGE
10	REMOVE & SALVAGE SECURITY SCREEN AND HARDWARE
11	REBUILD ARCHED HEADER
12	REMOVE LETTERING AS NECESSARY FOR MASONRY RESTORATION; SALVAGE AND RESTORE FOR REINSTALLATION
13	REMOVE INSECT SCREEN
14	DRESS NEWLY EXPOSED SAWCUT STONE FACES AT EXISTING JOINTS
15	REMOVE LOUVER; WORK TO BE DONE BY OTHERS
16	REMOVE & SALVAGE WINDOW; WORK TO BE DONE BY OTHERS
17	REMOVE ELECTRICAL CONDUIT
18	BRICK TO REMAIN; SEE ALT #4
19	REMOVE STAIR INFILL WITH STONE
20	REMOVE STEEL STRUCTURE/JAMBS/HEADER AND RESTORE BRICK/STONE
21	SALVAGE WINDOW, SILL AND STOOL FOR RECONSTRUCTION



3 CURRENT CONDITION PHOTOGRAPH - FOR REFERENCE ONLY

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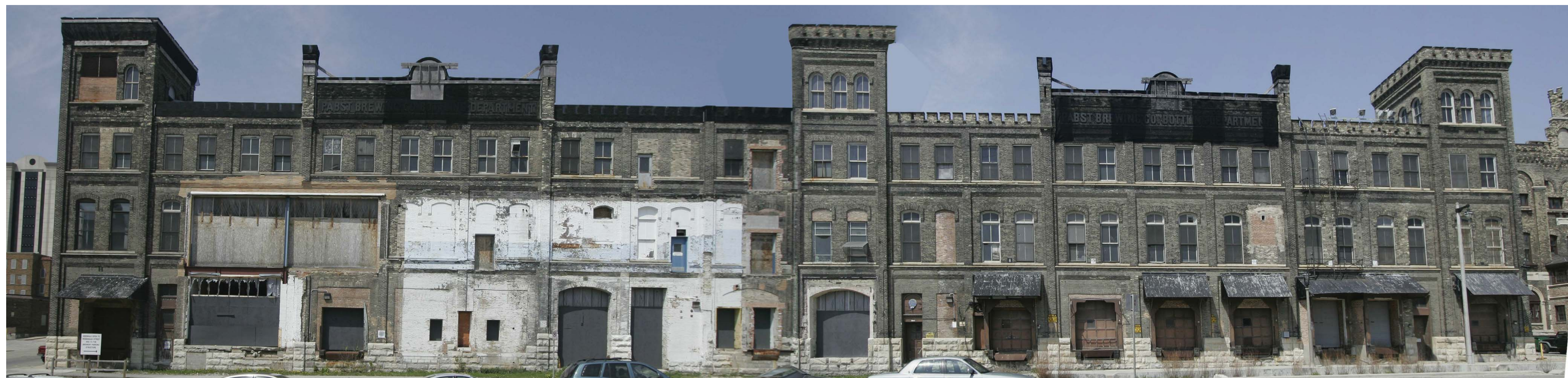
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### DEMO & MASONRY RESTORATION PLAN - NORTH ELEVATION

A160





3 CURRENT CONDITION PHOTOGRAPH - FOR REFERENCE ONLY

MASONRY TREATMENT REQUIREMENT (MTR) KEY	
<span style="display:inline-block; width:10px; height:10px; background-color:gray; border:1px solid black;"></span>	MTR-1. SELECTIVE DECONSTRUCTION AND MATERIAL HARVESTING
<span style="display:inline-block; width:10px; height:10px; background-color:gray; border:1px solid black;"></span>	MTR-2. SUBSTITUTE STONE REPAIR - NOT USED
<span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span>	MTR-3. REDRESSING STONE IN SITU
<span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span>	MTR-4. DUTCHMAN STONE REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span>	MTR-5. REMOVE, CLEAN, AND RETURN STONE
<span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span>	MTR-6. REMOVE AND REPLACE STONE. NOTE: AT BASE OF BUILDING PROVIDE NEW 6" THICK STONE WITH CMU BACK UP (SEE DETAIL)
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	MTR-7. CRACK INJECTION REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	MTR-8. HISTORIC BRICK RECONSTRUCTION
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	MTR-9. MORTAR REMOVAL
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	MTR-10. LIME MORTAR REPOINTING. NOTE: JAMBS, HEADS, HIDDEN RETURNS ALL TO RECEIVE INDICATED PERCENTAGE OF TUCKPOINTING INDICATED ON ADJACENT WALL. PARAPET FRONTS, SIDES AND REAR FACES ARE TO BE TUCKPOINTED.
NOTE: SEE A150 FOR MTR NOTES	

DECONSTRUCTION & DEMOLITION KEYNOTES	
KEYNOTE	DESCRIPTION
1	REMOVE SPEAKERS
2	REMOVE LIGHT FIXTURE AND ASSOCIATED INFRASTRUCTURE
2A	REMOVE & SALVAGE LIGHT FIXTURE. REMOVE ASSOCIATED INFRASTRUCTURE
3	REMOVE MASONRY/INFILL MATERIAL
4	REMOVE AND SALVAGE CANOPY
5	REMOVE LOADING DOCK & MISC. BUILDING ACCESSORIES; WORK TO BE DONE BY OTHERS
6	REMOVE DOOR & FRAME; WORK TO BE DONE BY OTHERS
6A	REMOVE & SALVAGE DOOR & FRAME; WORK TO BE DONE BY OTHERS
7	REMOVE & SALVAGE LADDER
8	REMOVE & SALVAGE BALCONY
9	REMOVE SIGNAGE
9A	REMOVE & SALVAGE SIGNAGE
10	REMOVE & SALVAGE SECURITY SCREEN AND HARDWARE
11	REBUILD ARCHED HEADER
12	REMOVE LETTERING AS NECESSARY FOR MASONRY RESTORATION. SALVAGE AND RESTORE FOR REINSTALLATION
13	REMOVE INSECT SCREEN
14	DRESS NEWLY EXPOSED SAWCUT STONE FACES AT EXISTING JOINTS
15	REMOVE LOUVER; WORK TO BE DONE BY OTHERS
16	REMOVE & SALVAGE WINDOW; WORK TO BE DONE BY OTHERS
17	REMOVE ELECTRICAL CONDUIT
18	BRICK TO REMAIN; SEE ALT #4
19	REMOVE STAIR INFILL WITH STONE
20	REMOVE STEEL STRUCTURE/JAMBS/HEADER AND RESTORE BRICK/STONE
21	SALVAGE WINDOW, SILL AND STOOL FOR RECONSTRUCTION

Blue Ribbon Suites LLC

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Milwaukee, WI 53202



Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734



KM DEVELOPMENT CORP.  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

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SCALE NOT TO SCALE  
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DEMO & MASONRY  
RESTORATION PLAN - EAST  
ELEVATION

A161



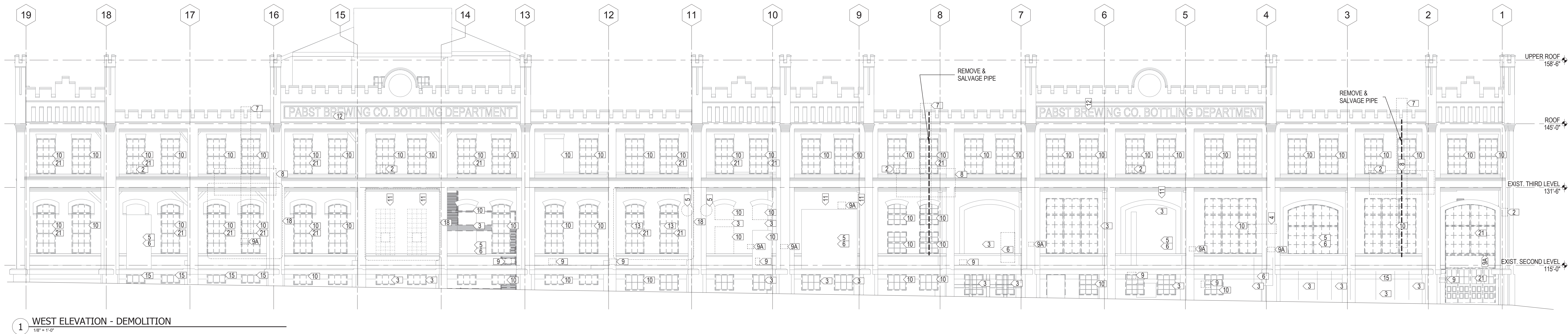


MASONRY TREATMENT REQUIREMENT (MTR) KEY	
	<b>MTR-1.</b> SELECTIVE DECONSTRUCTION AND MATERIAL HANDLING
	<b>MTR-2.</b> SUBSTITUTE STONE REPAIR - NOT USED
	<b>MTR-3.</b> REDRESSING STONES IN SITU
	<b>MTR-4.</b> DUTCHMAN STONE REPAIR
	<b>MTR-5.</b> REMOVE, CLEAN, AND RETURN STONE
	<b>MTR-6.</b> REMOVE AND REPLACE STONE. <u>NOTE:</u> AT BASE OF BUILDING PROVIDE NEW 6" THICK STONE WITH CMU BACK UP (SEE DETAIL.)
	<b>MTR-7.</b> CRACK INJECTION REPAIR
	<b>MTR-8.</b> HISTORIC BRICK RECONSTRUCTION
	<b>MTR-9.</b> MORTAR REMOVAL
	<b>MTR-10.</b> LINE MORTAR REPLACEMENT NOTE: JAMBS, HEADS, HIDDEN REPAIRS ALL TO REPAIR INDICATED PERCENTAGE OF TPOCKPOINTING INDICATED ON ADJACENT WALL; PARAPET FRONTS, SIDES AND REAR FACES ARE TO BE REPAIRED TPOCKPOINTED.

NOTE: SEE A150 FOR MTR NOTES

DECONSTRUCTION & DEMOLITION KEYNOTES	
KEYNOTE	DESCRIPTION
1	REMOVE SPEAKERS
2	REMOVE LIGHT FIXTURE AND ASSOCIATED INFRASTRUCTURE
2A	REMOVE & SALVAGE LIGHT FIXTURE. REMOVE ASSOCIATED INFRASTRUCTURE
3	REMOVE MASONRY/INFILL MATERIAL
4	REMOVE AND SALVAGE CANOPY
5	REMOVE LOADING DOCK & MISC. BUILDING ACCESSORIES; WORK TO BE DONE BY OTHERS
6	REMOVE DOOR & FRAME; WORK TO BE DONE BY OTHERS
6A	REMOVE & SALVAGE DOOR & FRAME; WORK TO BE DONE BY OTHERS
7	REMOVE & SALVAGE LADDER
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9	REMOVE SIGNAGE
9A	REMOVE & SALVAGE SIGNAGE
10	REMOVE & SALVAGE SECURITY SCREEN AND HARDWARE
11	REBUILD ARCHED HEADER
12	REMOVE LETTERING AS NECESSARY FOR MASONRY RESTORATION; SALVAGE AND RESTORE FOR REINSTALLATION
13	REMOVE INSET SCREEN
14	DEMOS NEWLY EXPOSED SAWCUT STONE FACES AT EXISTING JOINTS
15	REMOVE LOUVER; WORK TO BE DONE BY OTHERS
16	REMOVE & SALVAGE WINDOW; WORK TO BE DONE BY OTHERS
17	REMOVE ELECTRICAL CONDUIT
18	BRICK TO REMAIN; SEE ALT #4
19	REMOVE STAIR INFILL WITH STONE
20	REMOVE STEEL STRUCTURE/JAMBS/HEADER AND RESTORE BRICK/STONE
21	SALVAGE WINDOW, SILL AND STOOL FOR RECONSTRUCTION





MASONRY TREATMENT REQUIREMENT (MTR) KEY	
<span style="display:inline-block; width:10px; height:10px; background-color:gray; border:1px solid black;"></span>	MTR-1. SELECTIVE DECONSTRUCTION AND MATERIAL HARVESTING
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	MTR-2. SUBSTITUTE STONE REPAIR - NOT USED
<span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span>	MTR-3. REDRESSING STONE IN SITU
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	MTR-4. DUTCHMAN STONE REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span>	MTR-5. REMOVE, CLEAN, AND RETURN STONE
<span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span>	MTR-6. REMOVE AND REPLACE STONE. NOTE: AT BASE OF BUILDING PROVIDE NEW 6" THICK STONE WITH CMU BACK UP (SEE DETAIL)
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span>	MTR-7. CRACK INJECTION REPAIR
<span style="display:inline-block; width:10px; height:10px; background-color:darkblue; border:1px solid black;"></span>	MTR-8. HISTORIC BRICK RECONSTRUCTION
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span>	MTR-9. MORTAR REMOVAL
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span>	MTR-10. LIME MORTAR REPOINTING. NOTE: JAMBS, HEADS, HIDDEN RETURNS ALL TO RECEIVE INDICATED PERCENTAGE OF TUCKPOINTING INDICATED ON ADJACENT WALL; PARAPET FRONTS, SIDES AND REAR FACES ARE TO BE TUCKPOINTED.
NOTE: SEE A150 FOR MTR NOTES	

DECONSTRUCTION & DEMOLITION KEYNOTES	
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1	REMOVE SPEAKERS
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**KM DEVELOPMENT CORP**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

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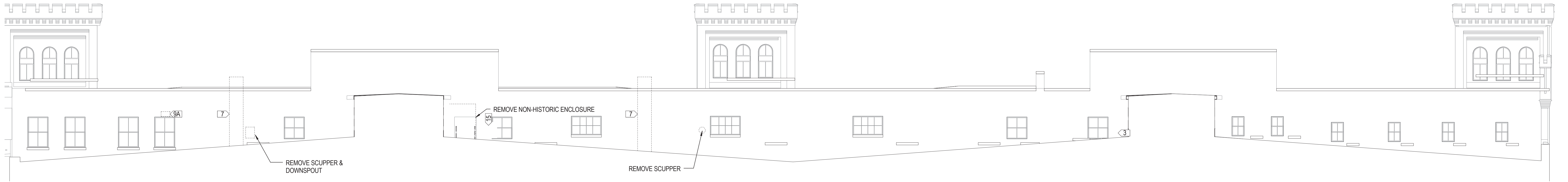
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ISSUANCE HISTORY - THIS SHEET		

MILWAUKEE HPC SUBMISSION  
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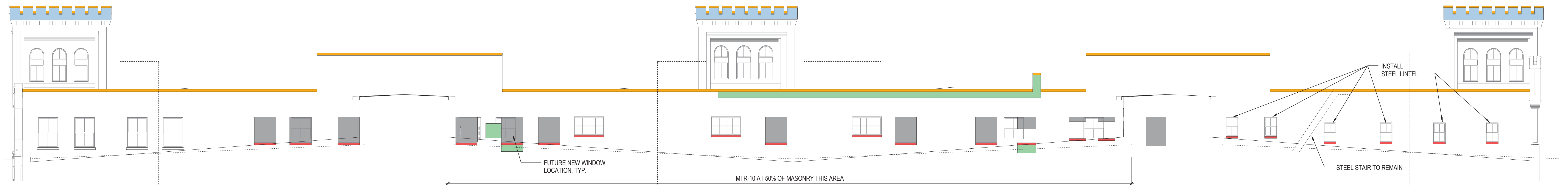
**DEMO & MASONRY  
RESTORATION PLAN - WEST  
ELEVATION**

**A163**

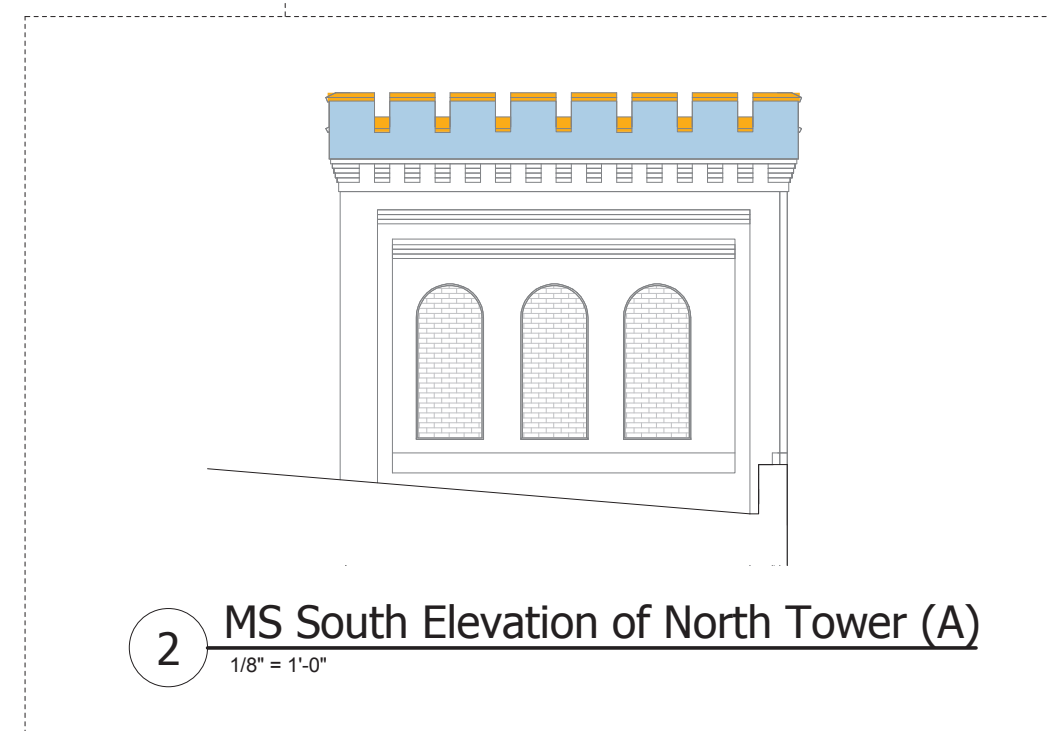




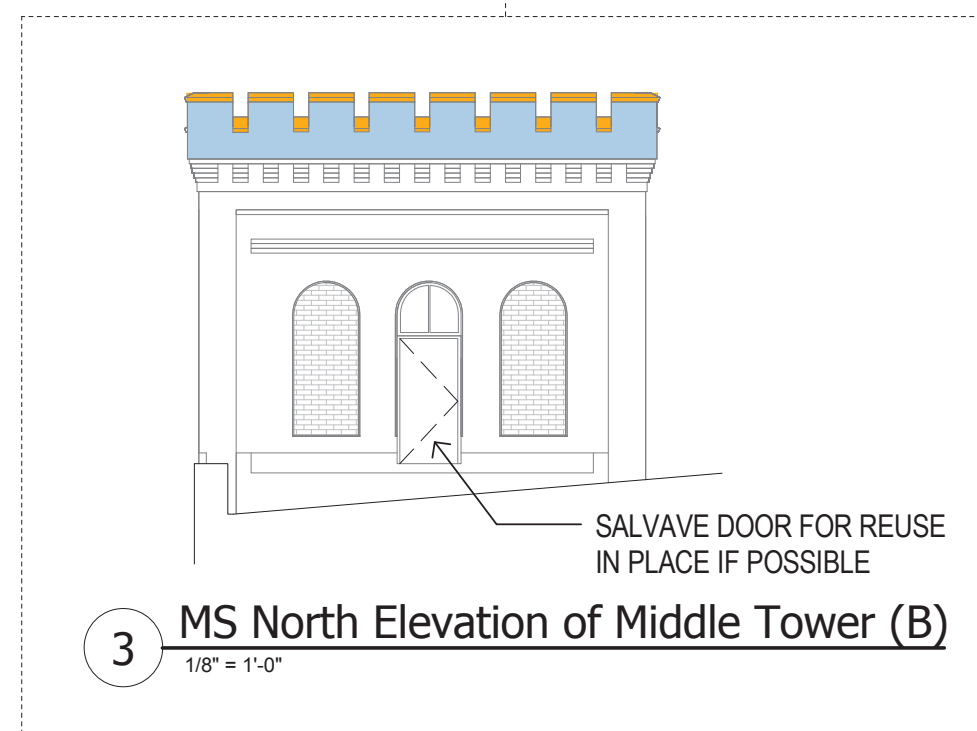
6 Proposed MS West Elevation at Roof  
1/8" = 1'-0"



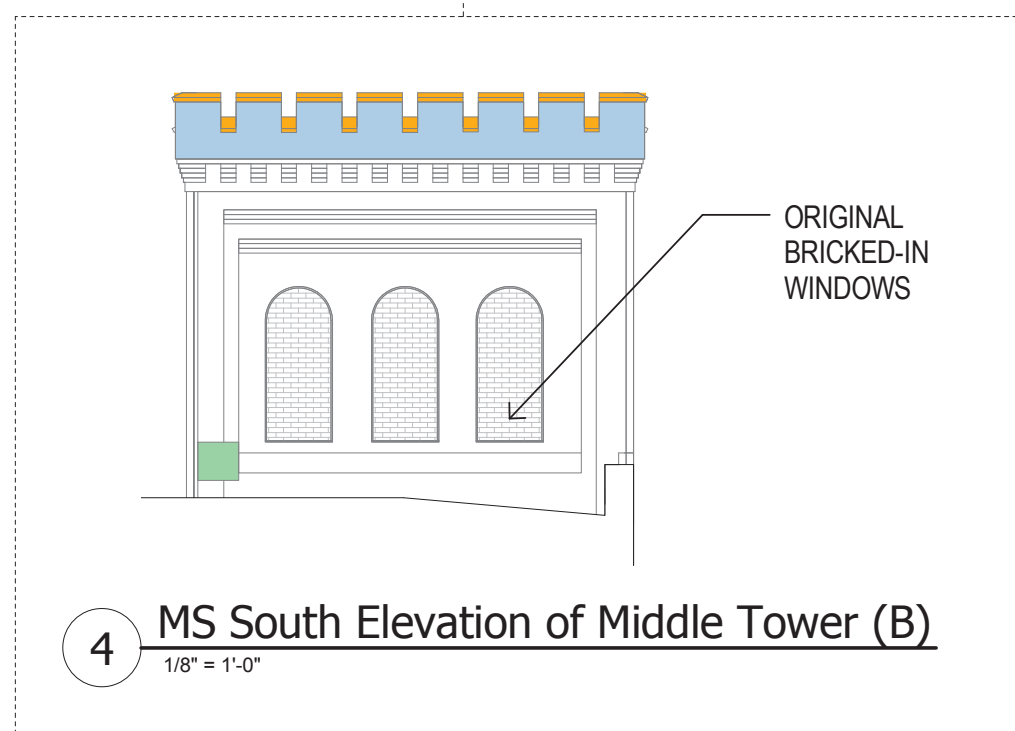
1 MS West Elevation at Roof  
1/8" = 1'-0"



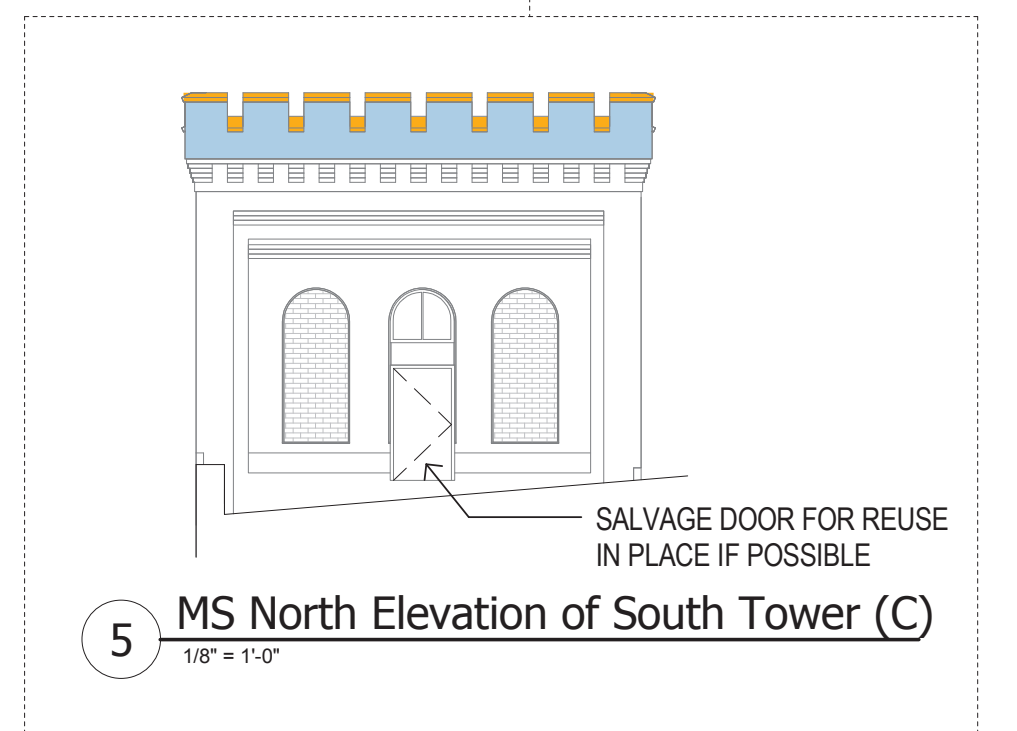
2 MS South Elevation of North Tower (A)  
1/8" = 1'-0"



3 MS North Elevation of Middle Tower (B)  
1/8" = 1'-0"



4 MS South Elevation of Middle Tower (B)  
1/8" = 1'-0"



5 MS North Elevation of South Tower (C)  
1/8" = 1'-0"

MASONRY TREATMENT REQUIREMENT (MTR) KEY	
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NOTE: SEE A150 FOR MTR NOTES	

DECONSTRUCTION & DEMOLITION KEYNOTES	
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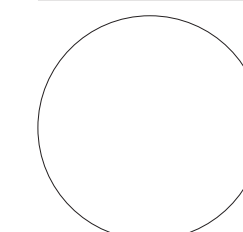
KM DEVELOPMENT CORP

710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
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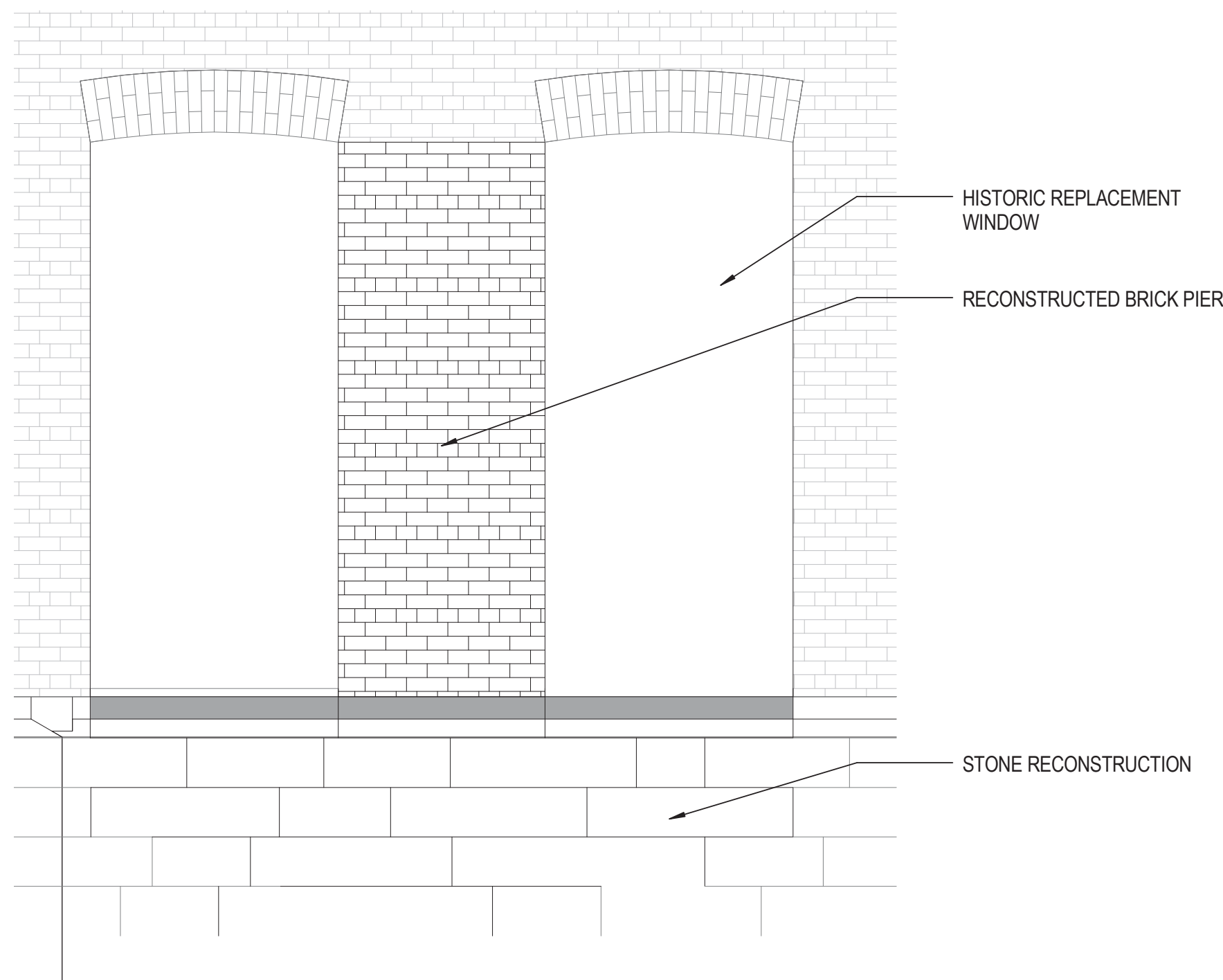
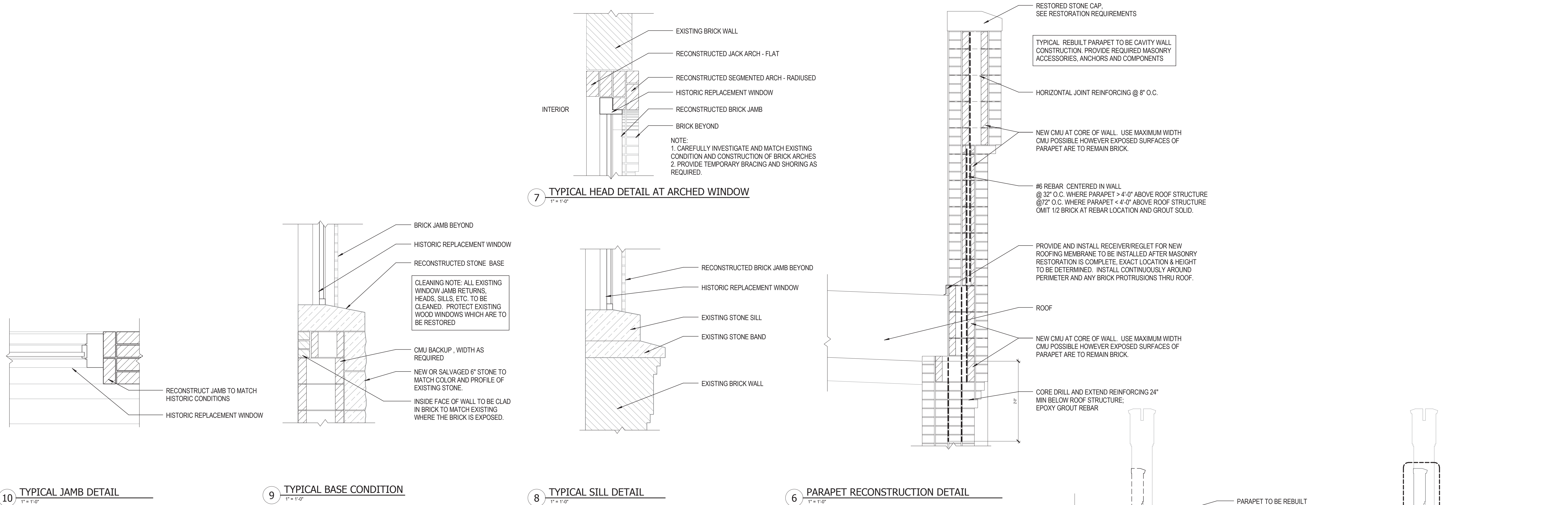


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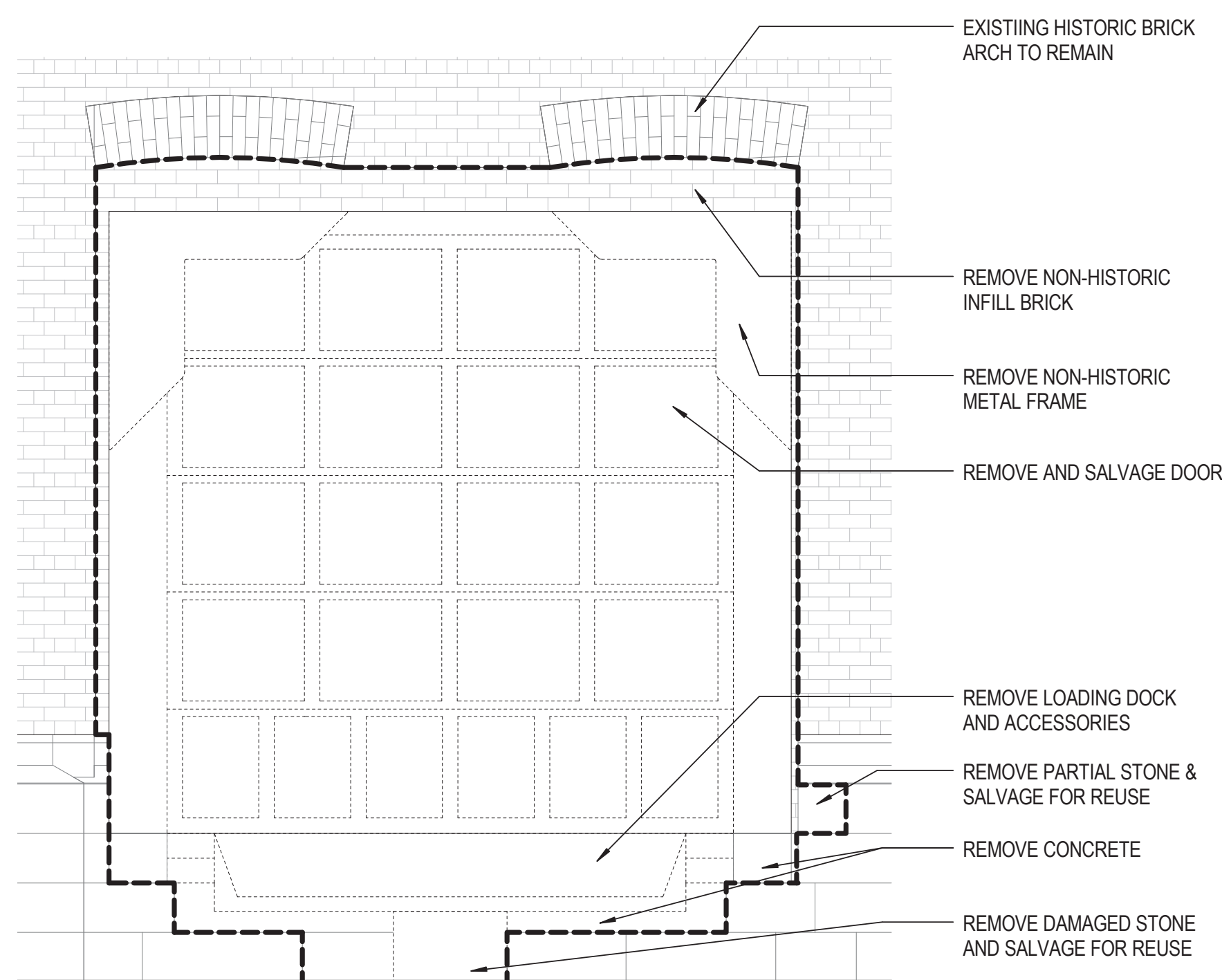
DEMO & MASONRY  
RESTORATION PLAN -  
HIDDEN ELEVATIONS

A164





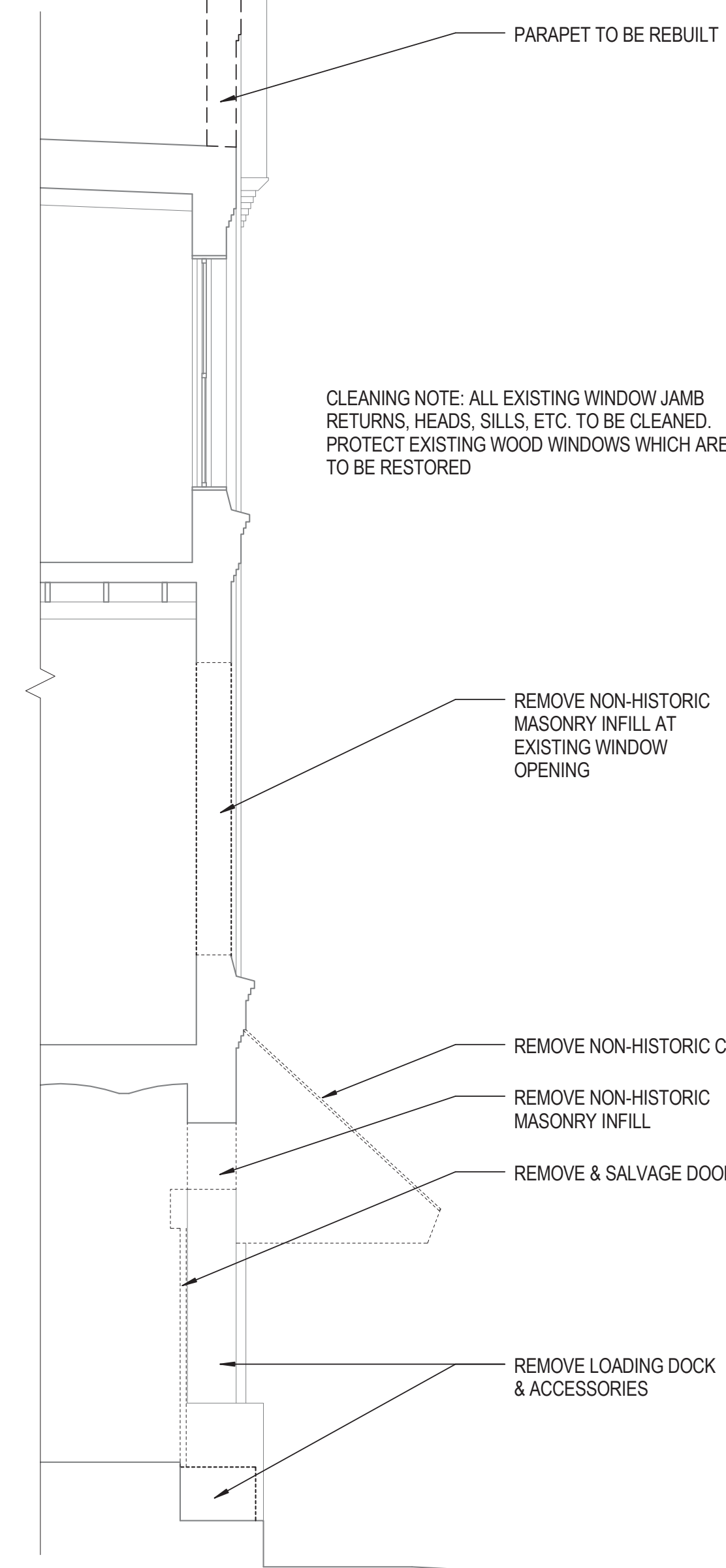
**5 PARTIAL EAST EXTERIOR ELEVATION - PROPOSED**  
1/2" = 1'-0"



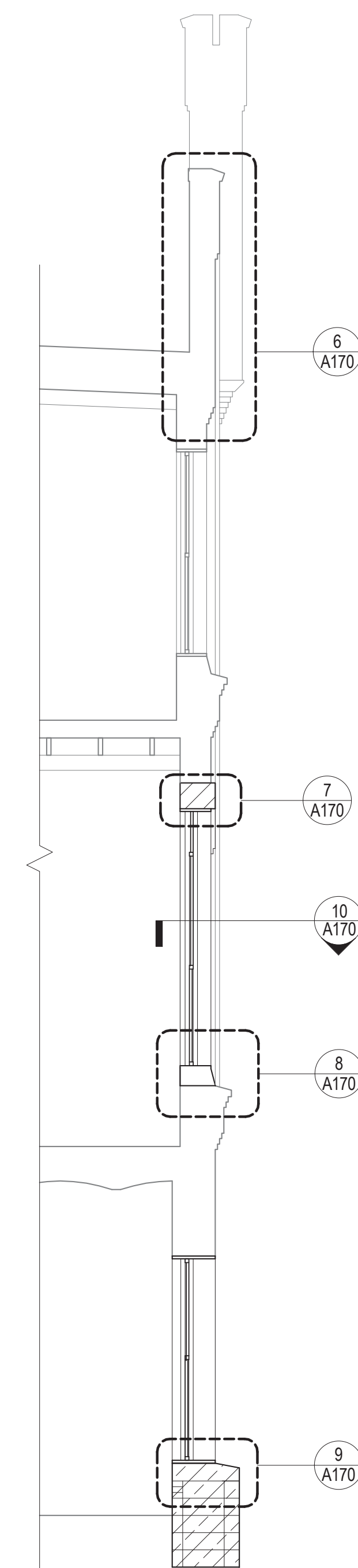
**4 PARTIAL EAST EXTERIOR ELEVATION - MASONRY RESTORATION**  
1/2" = 1'-0"



**3 CURRENT CONDITION - FOR REFERENCE ONLY**  
1/2" = 1'-0"



**2 EAST WALL SECTION - MASONRY RESTORATION**  
1/4" = 1'-0"



**1 EAST WALL SECTION - PROPOSED**  
1/4" = 1'-0"

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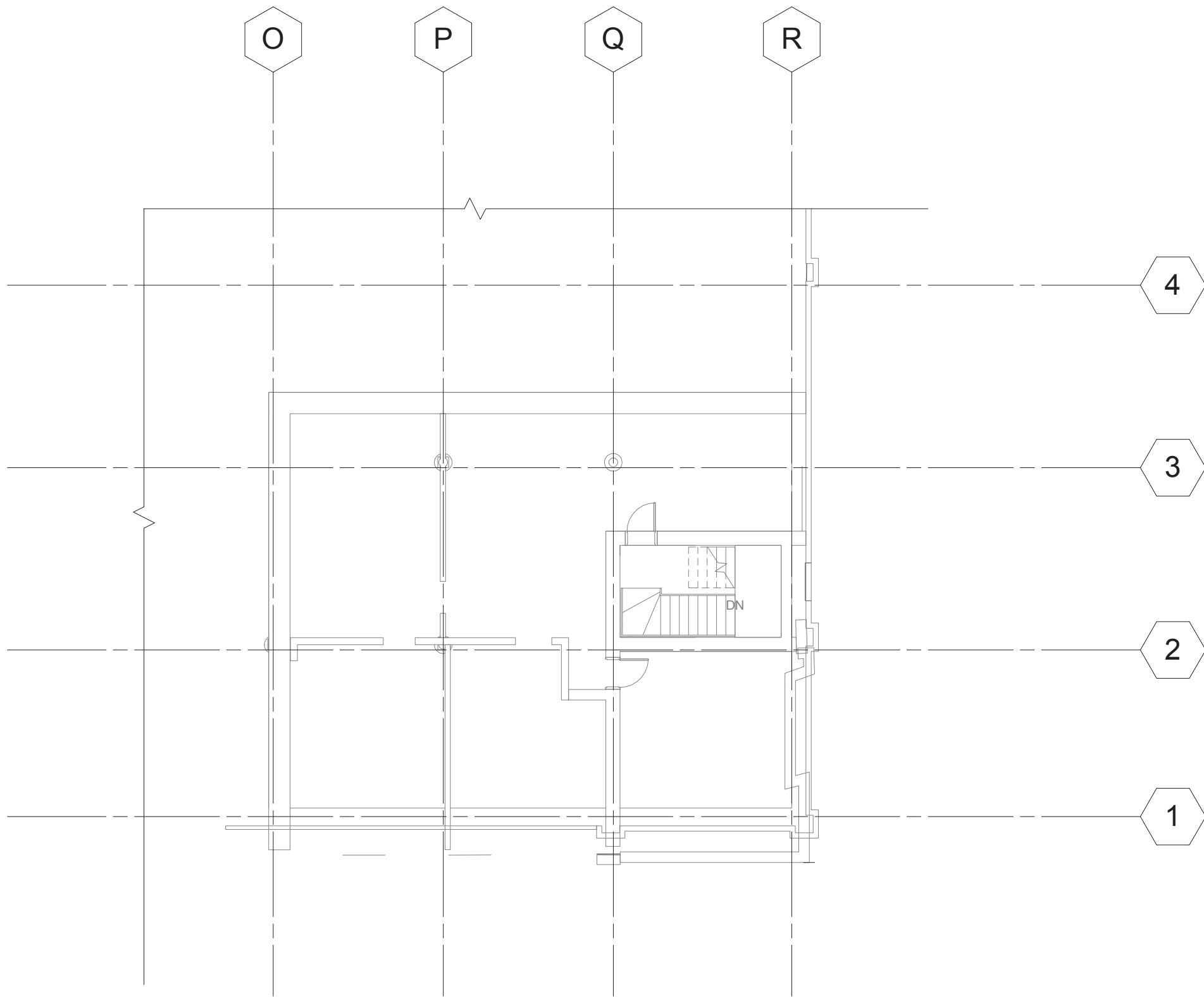
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**DEMO & MASONRY RESTORATION SECTIONS & DETAILS**

**A170**



GENERAL NOTES	
#	DESCRIPTION
A	ALL EXISTING HISTORIC WOOD AND STEEL COLUMNS TO REMAIN, UNO
B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
D	THIS BUILDING IS A REGISTERED HISTORIC BUILDING. CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS REGARDING WORK AND REQUIRED GUIDELINES. TREAT THE EXISTING MATERIAL AS IRREPLACEABLE
E	ALL ITEMS REMOVED SHALL BE DOCUMENTED FOR THE LOCATION WHERE THEY WERE REMOVED AND LABELED BEFORE BEING PLACED IN THE BUILDING TO THE EAST (BUILDING 42) FOR STORAGE
F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION



1 LOWER LEVEL FLOOR PLAN - SOUTH  
3/32" = 1'-0"

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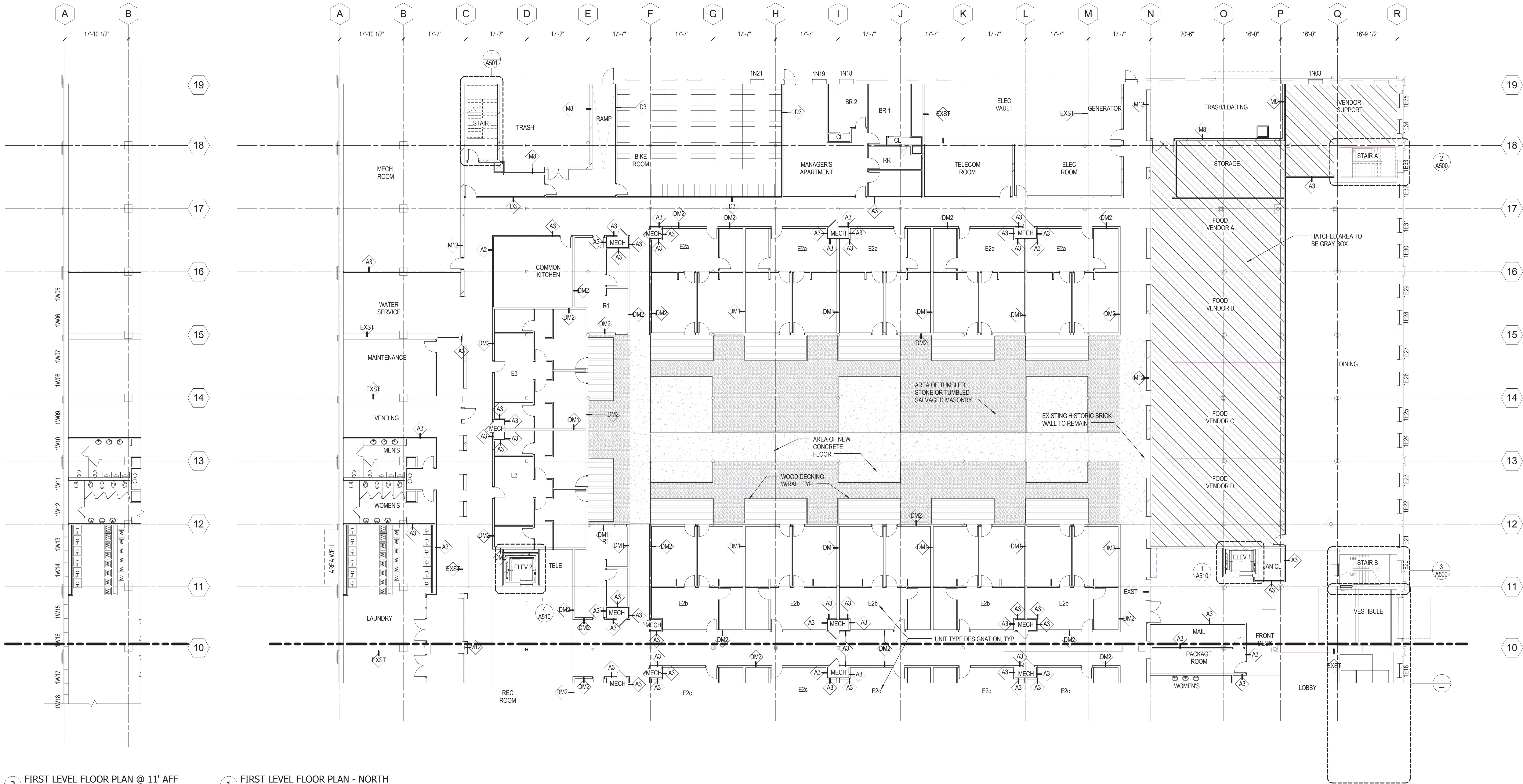
MILWAUKEE HPC SUBMISSION	
COMM. NO.	3368-001-01
SCALE	NOT TO SCALE
DATE	NOVEMBER 17, 2014
DRAWN	HGA

FLOOR PLAN - LOWER LEVEL  
- SOUTH

**A200S**



#	DESCRIPTION
A	ALL EXISTING HISTORIC WOOD AND STEEL COLUMNS TO REMAIN, UNO
B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
D	THIS BUILDING IS A REGISTERED HISTORIC BUILDING. CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS REGARDING WORK AND REQUIRED GUIDELINES. TREAT THE EXISTING MATERIAL AS IRREPLACEABLE
E	ALL ITEMS REMOVED SHALL BE DOCUMENTED FOR THE LOCATION WHERE THEY WERE REMOVED AND LABELED BEFORE BEING PLACED IN THE BUILDING TO THE EAST (BUILDING 42) FOR STORAGE
F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION



2 FIRST LEVEL FLOOR PLAN @ 11' AFF  
3/32" = 1'-0"

1 FIRST LEVEL FLOOR PLAN - NORTH  
3/32" = 1'-0"

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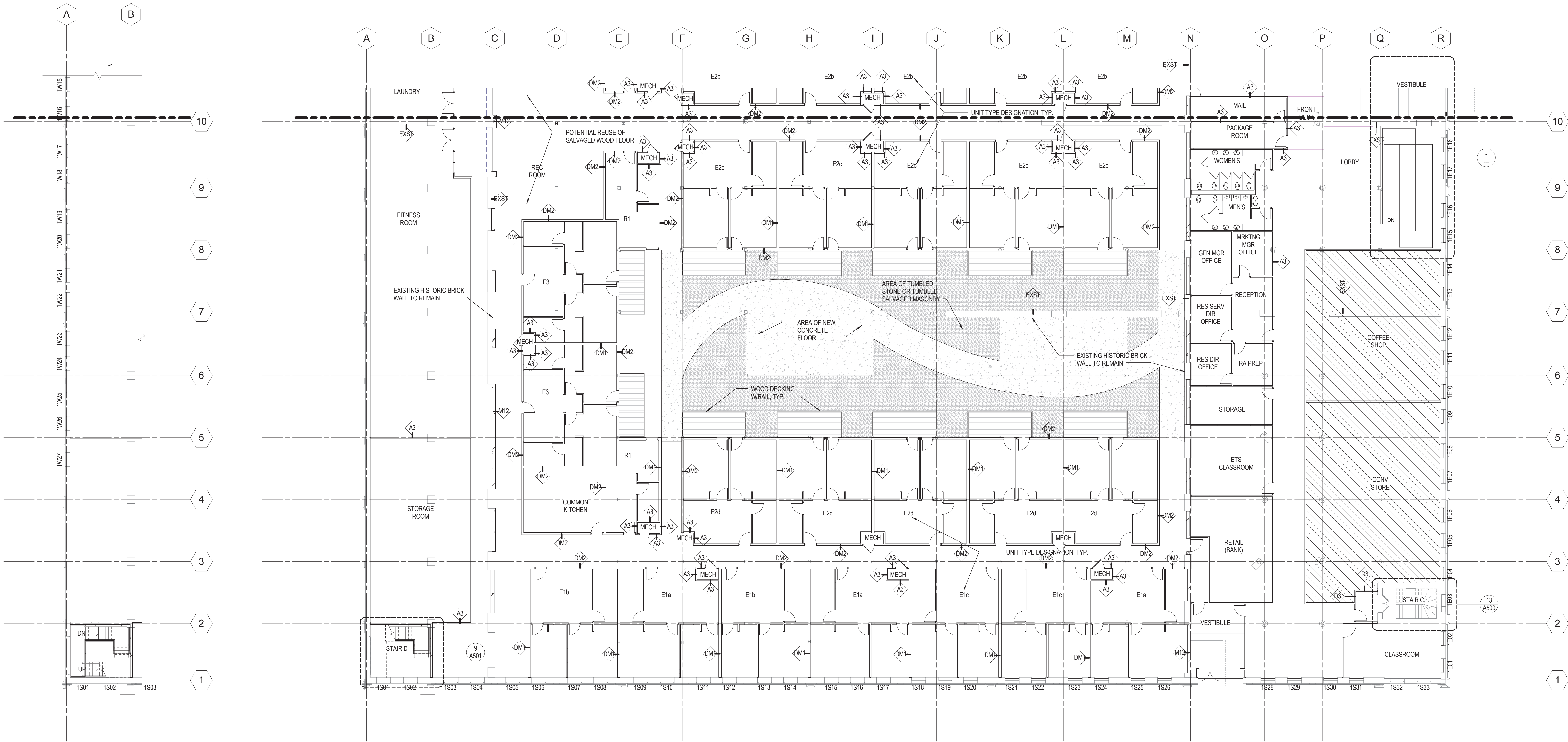
FLOOR PLAN - LEVEL 1 - NORTH

**A201N**

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#	DESCRIPTION
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B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
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F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
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2 FIRST LEVEL FLOOR PLAN @ 11' AFF  
3/32" = 1'-0"

1 FIRST LEVEL FLOOR PLAN - SOUTH  
3/32" = 1'-0"

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DATE	NOVEMBER 17, 2014
DRAWN	Author

FLOOR PLAN - LEVEL 1 - SOUTH

**A201S**



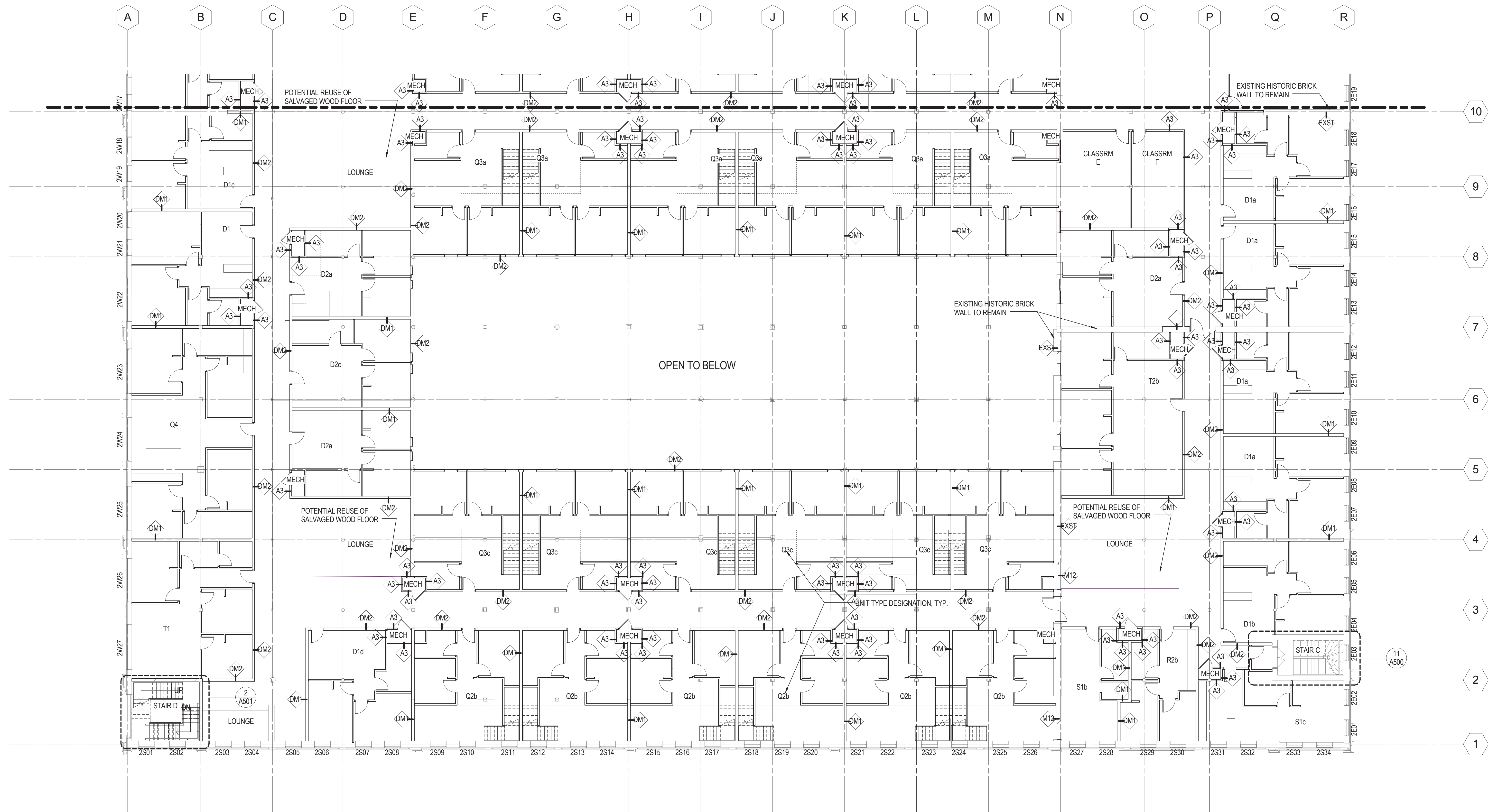
This architectural floor plan illustrates the second floor of a building, organized by a grid system with letters A through R and numbers 10 through 19. The plan shows a series of rooms, corridors, and mechanical areas. Key features include:

- Room Numbers:** Rooms are labeled with numbers such as 2N33, 2N32, 2N30, 2N29, 2N27, 2N26, 2N25, 2N24, 2N23, 2N22, 2N21, 2N20, 2N19, 2N18, 2N17, 2N16, 2N15, 2N14, 2N13, 2N12, 2N11, 2N10, 2N09, 2N08, 2N07, 2N06, 2N05, 2N04, and 2N03.
- Room Names:** Specific rooms are named, including LOUNGE, MECH (mechanical), STAIR E, STAIR A, STAIR B, and a COMPUTER/PRINT ROOM.
- Annotations:** The plan includes several annotations: "POTENTIAL REUSE OF SALVAGED WOOD FLOOR" in multiple locations, "EXISTING HISTORIC BRICK WALL TO REMAIN" in two locations, and "OPEN TO BELOW" in the central area.
- Grid System:** The plan is bounded by a grid of letters (A-R) and numbers (10-19). The horizontal grid letters are A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, and R. The vertical grid numbers are 10, 11, 12, 13, 14, 15, 16, 17, 18, and 19.
- Other Details:** The plan shows various mechanical areas (MECH), stairs (STAIR A, STAIR B, STAIR E), and other features like "ELEV 1" and "ELEV 2".

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GENERAL NOTES	
#	DESCRIPTION
A	ALL EXISTING HISTORIC WOOD AND STEEL COLUMNS TO REMAIN, UNO
B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
D	THIS BUILDING IS A REGISTERED HISTORIC BUILDING; CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS REGARDING WORK AND REQUIRED GUIDELINES. THAT ALL EXISTING MATERIAL AS (PREPAREABLE
E	ALL ITEMS REMOVED SHALL BE DOCUMENTED FOR THE LOCATION WHERE THEY WERE REMOVED AND LABELED BEFORE BEING PLACED IN THE BUILDING TO THE EAST (BUILDING 42) FOR STORAGE
F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION



1 SECOND LEVEL FLOOR PLAN - SOUTH  
3/32" = 1'-0"

**Blue Ribbon Suites LLC**  
Building 29  
Highland Avenue & 9th Street  
Milwaukee, WI 53202

**hGA.**  
Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734




**KM DEVELOPMENT**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

WISCONSIN

[illegible]

**MILWAUKEE HPC SUBMISSION**

	COMM. NO.	3368-001-01
	SCALE	NOT TO SCALE
	DATE	NOVEMBER 17, 2014
	DRAWN	Author

FLOOR PLAN - LEVEL 2 -  
SOUTH

A202 S

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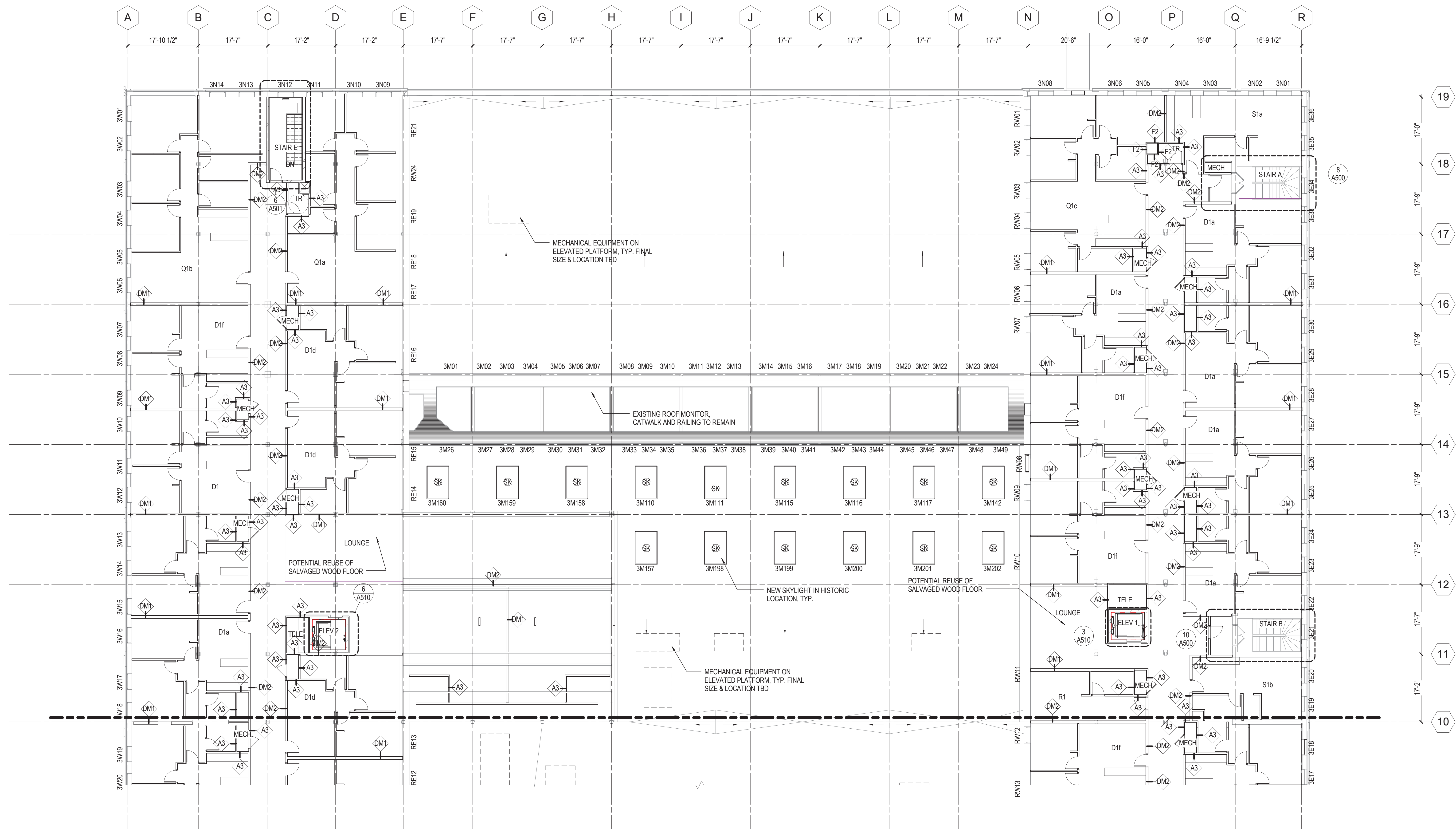


Architectural floor plan of the 3rd floor. The plan is divided into a grid of rooms and corridors. A central area is labeled "OPEN TO BELOW". The plan includes a north arrow and a scale bar. The grid lines are labeled A through N horizontally and 1 through 10 vertically. The plan shows a central corridor and several rooms with different furniture arrangements.

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B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
D	THIS BUILDING IS A REGISTERED HISTORIC BUILDING; CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS REGARDING WORK AND ACQUIRED GUIDELINES. TREAT ALL EXISTING MATERIAL AS IRREPLACEABLE
E	ALL ITEMS REMOVED SHALL BE DOCUMENTED FOR THE LOCATION WHERE THEY WERE REMOVED AND LABELED BEFORE BEING PLACED IN THE BUILDING TO THE EAST (BUILDING 42) FOR STORAGE
F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION



1 THIRD LEVEL FLOOR PLAN - NORTH  
3/32" = 1'-0"

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Milwaukee, WI 53202


**hGA.**  
Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734



**KM DEVELOPMENT**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

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FLOOR PLAN - LEVEL 3 -  
NORTH

A203N

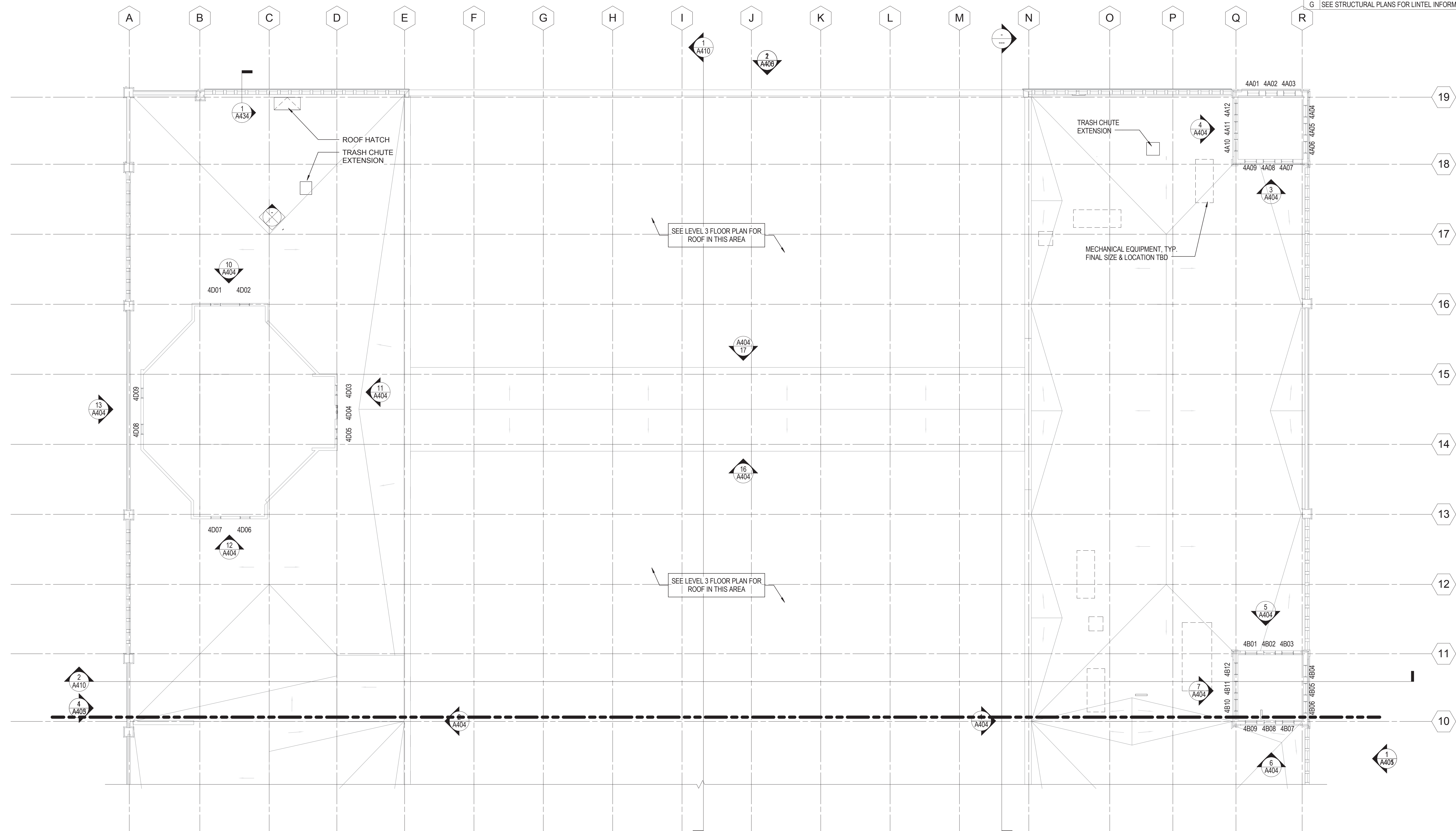
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#	DESCRIPTION
A	ALL EXISTING HISTORIC WOOD AND STEEL COLUMNS TO REMAIN, UNO
B	ALL EXISTING HISTORIC WOOD AND STEEL BEAMS TO REMAIN, UNO
C	ALL EXISTING HISTORIC MASONRY TO REMAIN EXPOSED, UNO
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G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION



1 ROOF PLAN - NORTH  
3/32" = 1'-0"

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Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734



**KM DEVELOPMENT**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

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ROOF PLAN - NORTH

A210N

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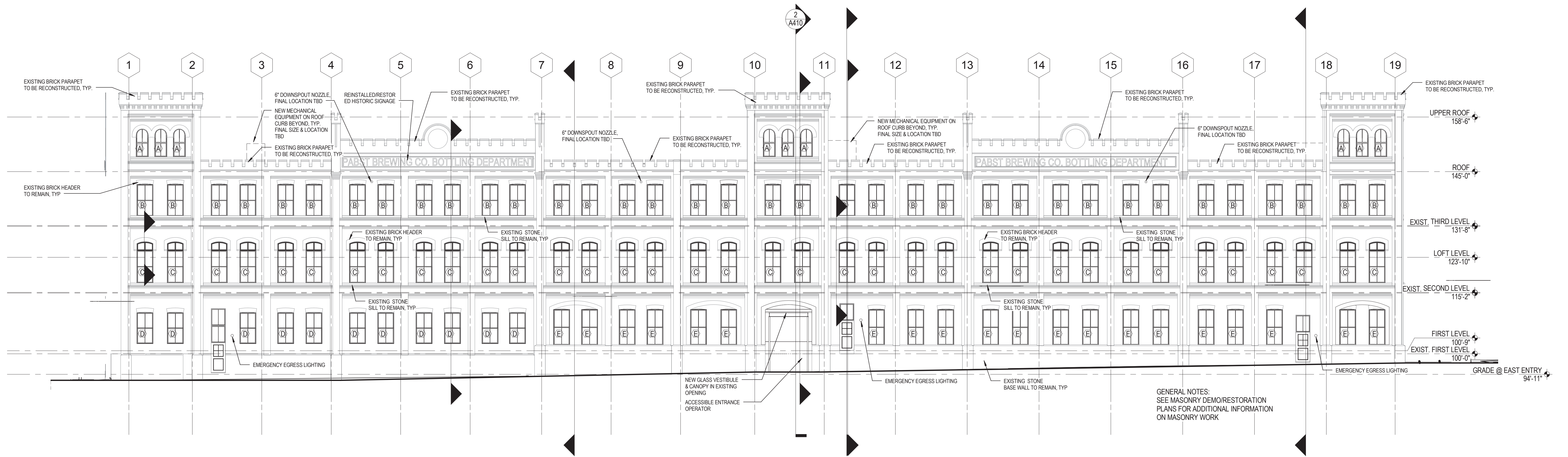


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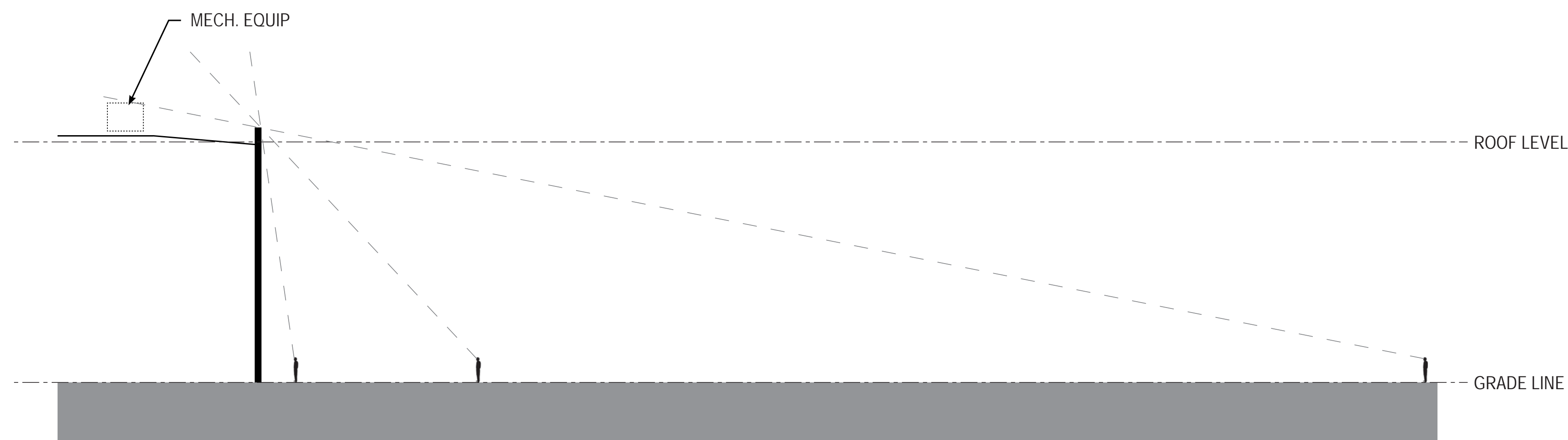








1 EAST ELEVATION  
3/32" = 1'-0"



BUILDING SECTION DIAGRAM

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Milwaukee, WI 53202

**HGA**  
Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734

**KM DEVELOPMENT CORP**  
710 N Plankinton Ave  
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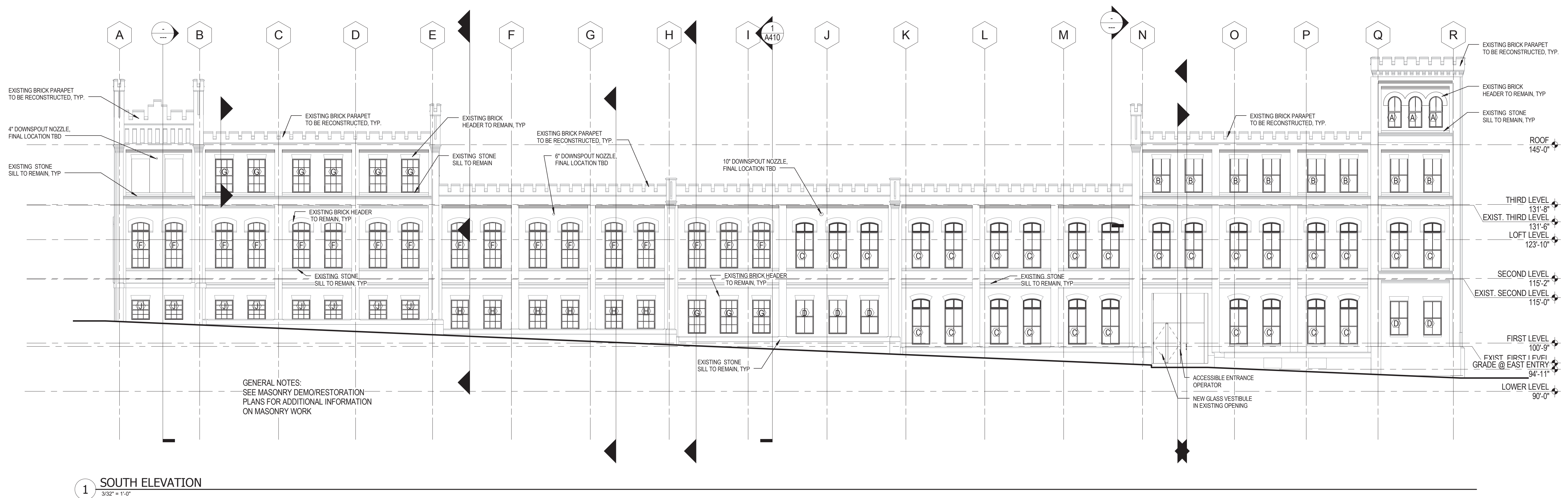
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EAST ELEVATION

**A401**





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 Highland Avenue & 9th Street  
 Milwaukee, WI 53202

**H&A**  
 Architecture | Engineering | Planning  
 Hammel, Green and Abrahamson, Inc.  
 333 East Erie Street  
 Milwaukee, Wisconsin USA 53202  
 Telephone 414.278.8200 Facsimile 414.278.7734

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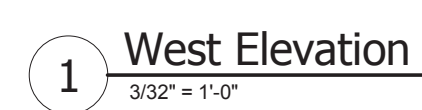
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**SOUTH ELEVATION**

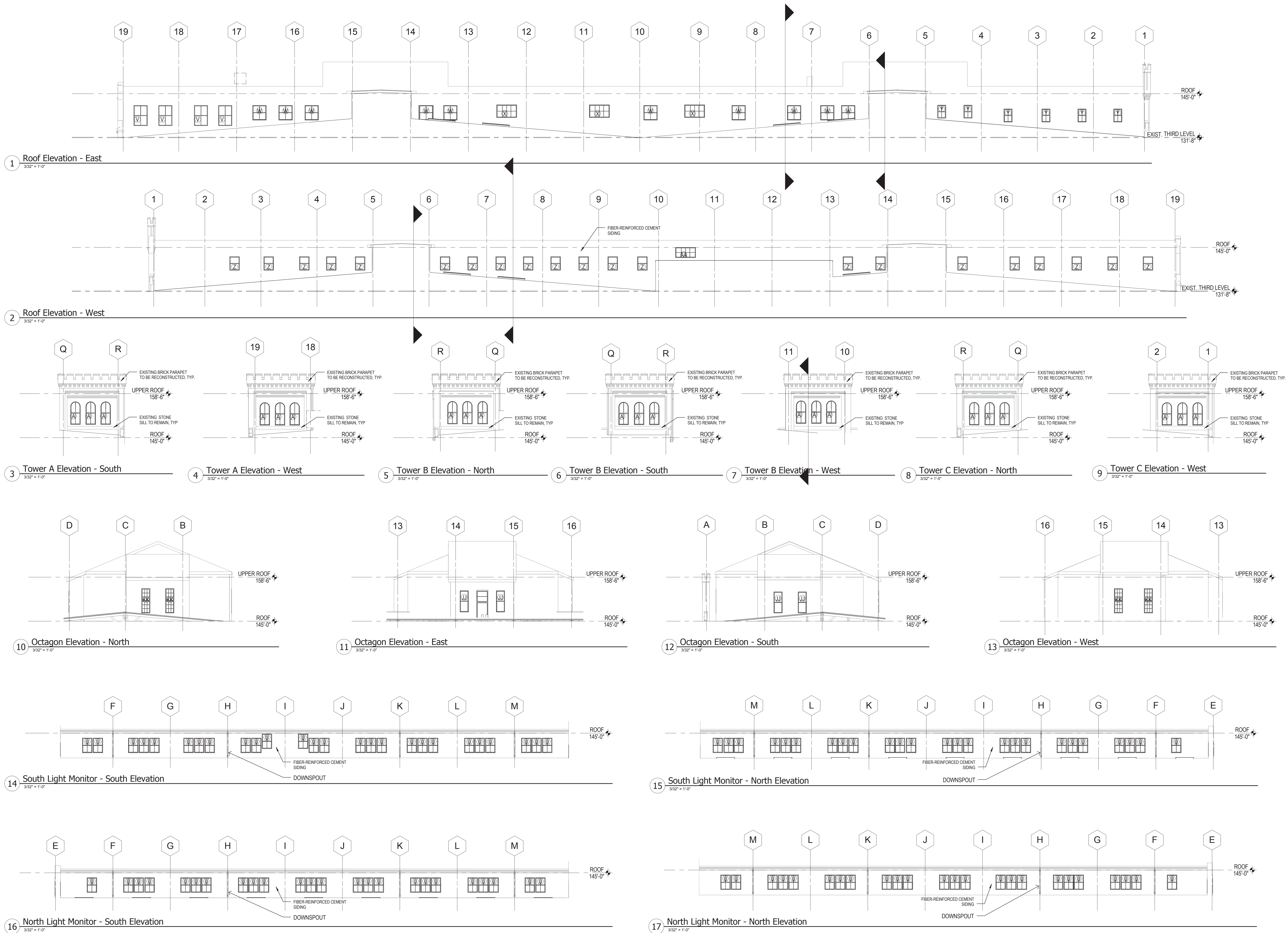
**A402**





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333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734

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Milwaukee WI 53203  
(414) 274-2825  
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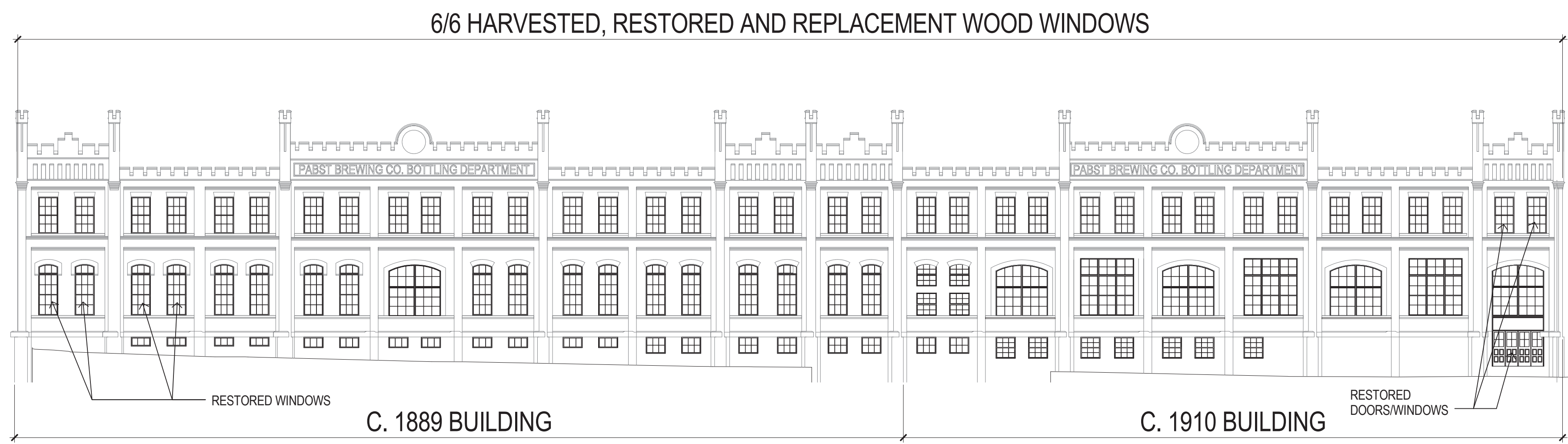
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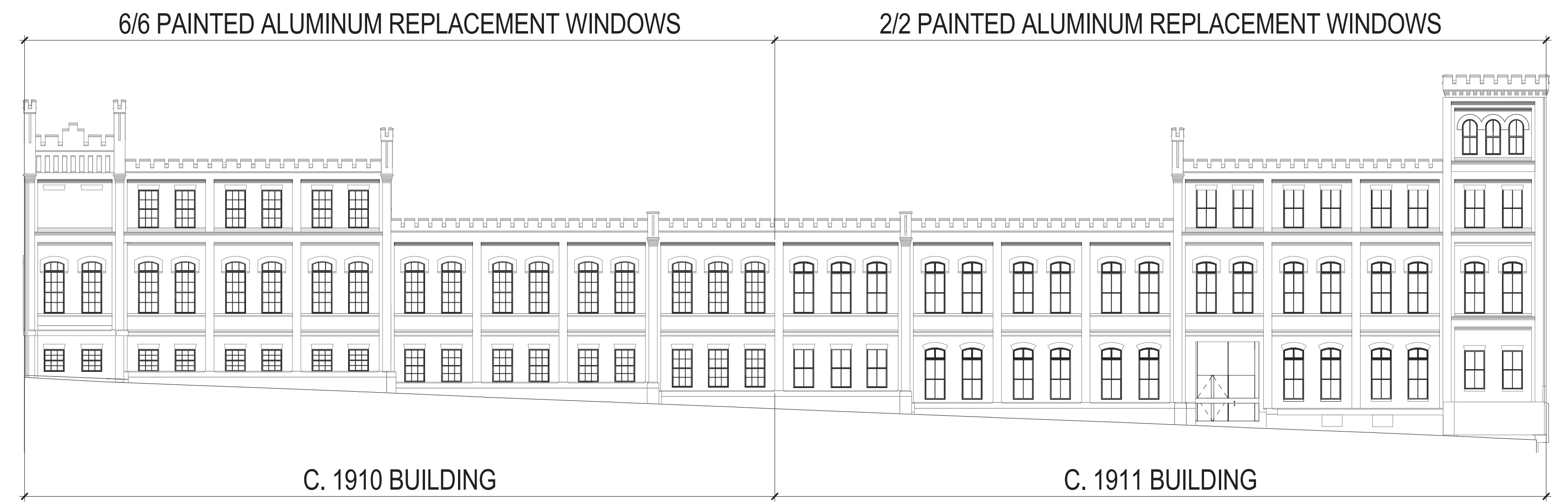
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HIDDEN ELEVATIONS

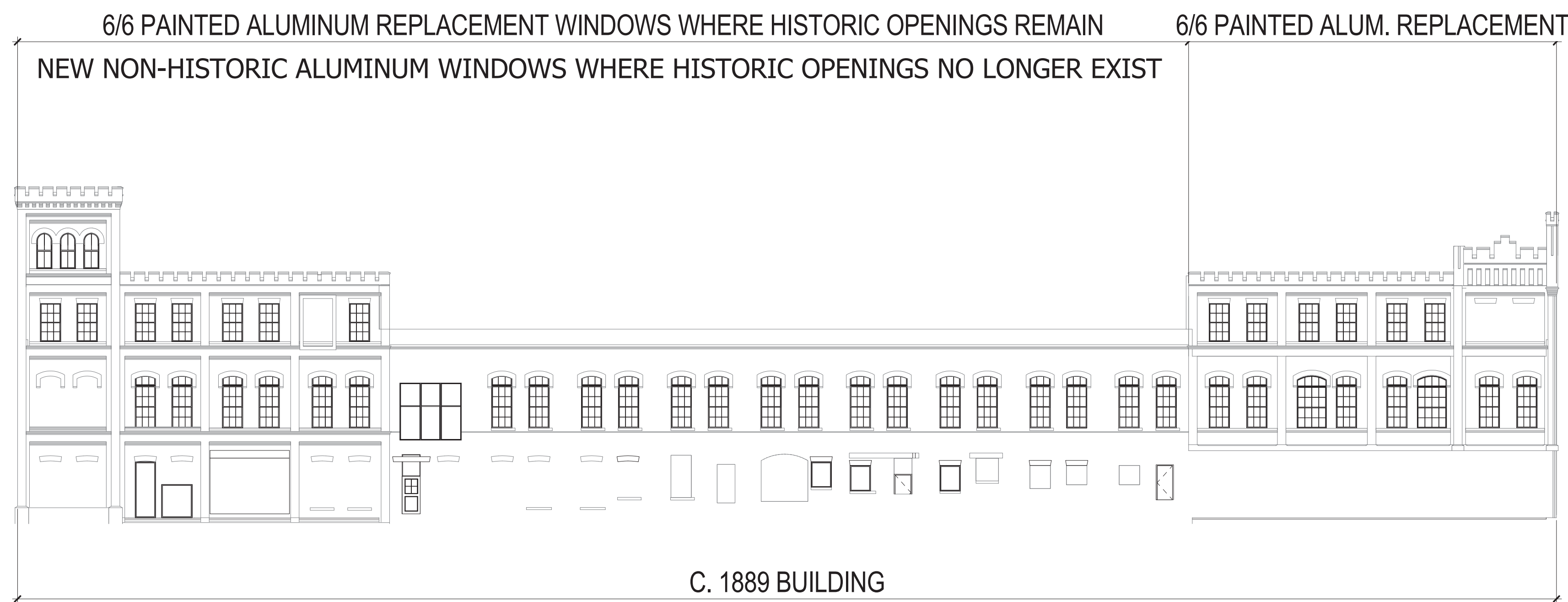




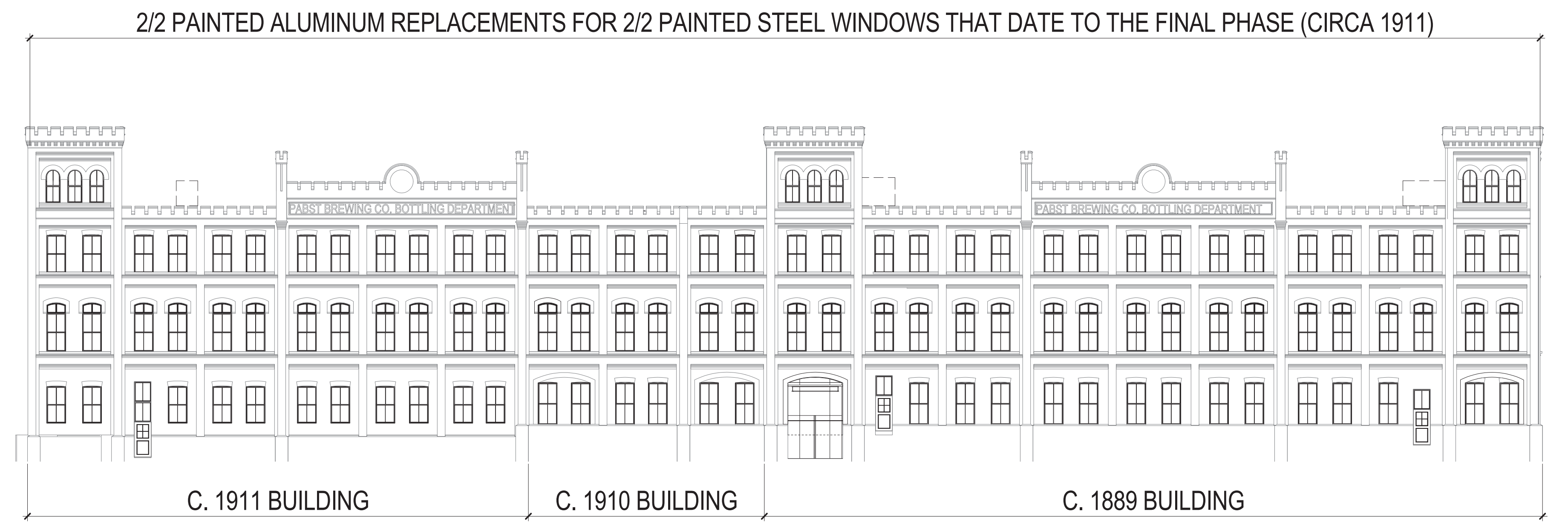
4 West Elevation - Window Strategy  
1/16" = 1'-0"



3 SOUTH ELEVATION  
1/16" = 1'-0"



2 NORTH ELEVATION  
1/16" = 1'-0"



1 EAST ELEVATION  
1/16" = 1'-0"

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**H&A**  
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333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
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EXTERIOR WINDOW  
STRATEGY

**A405**

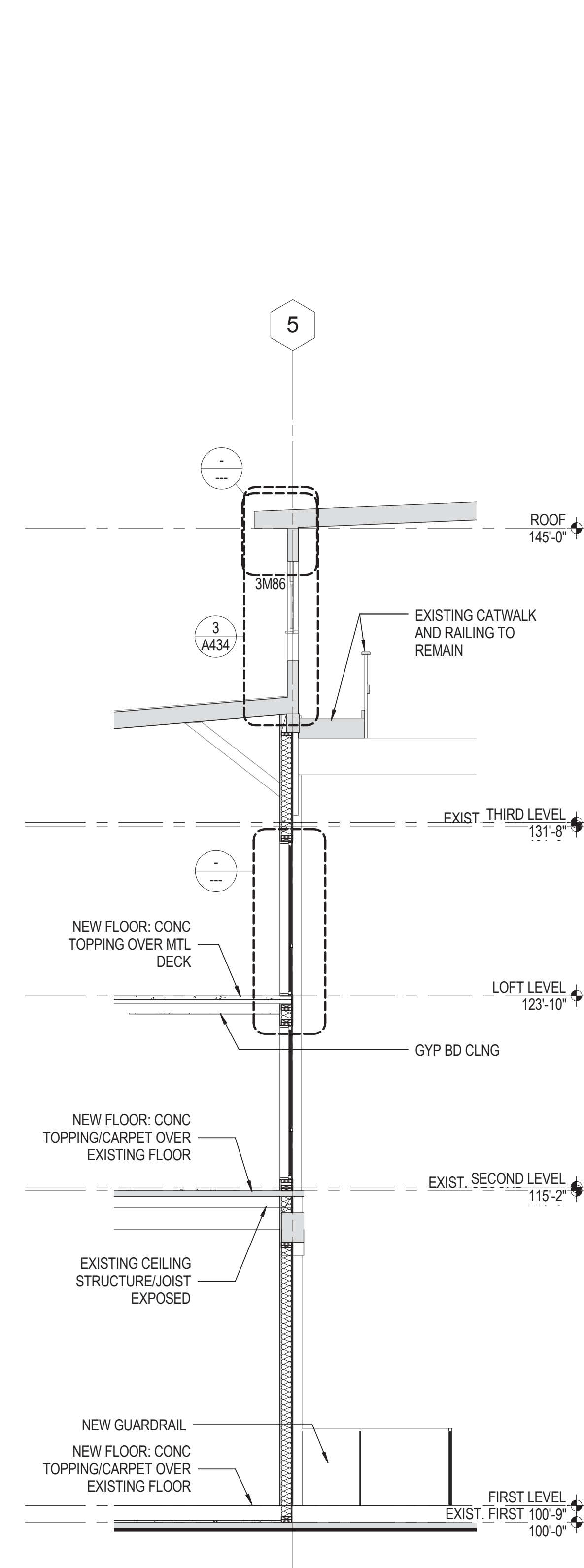




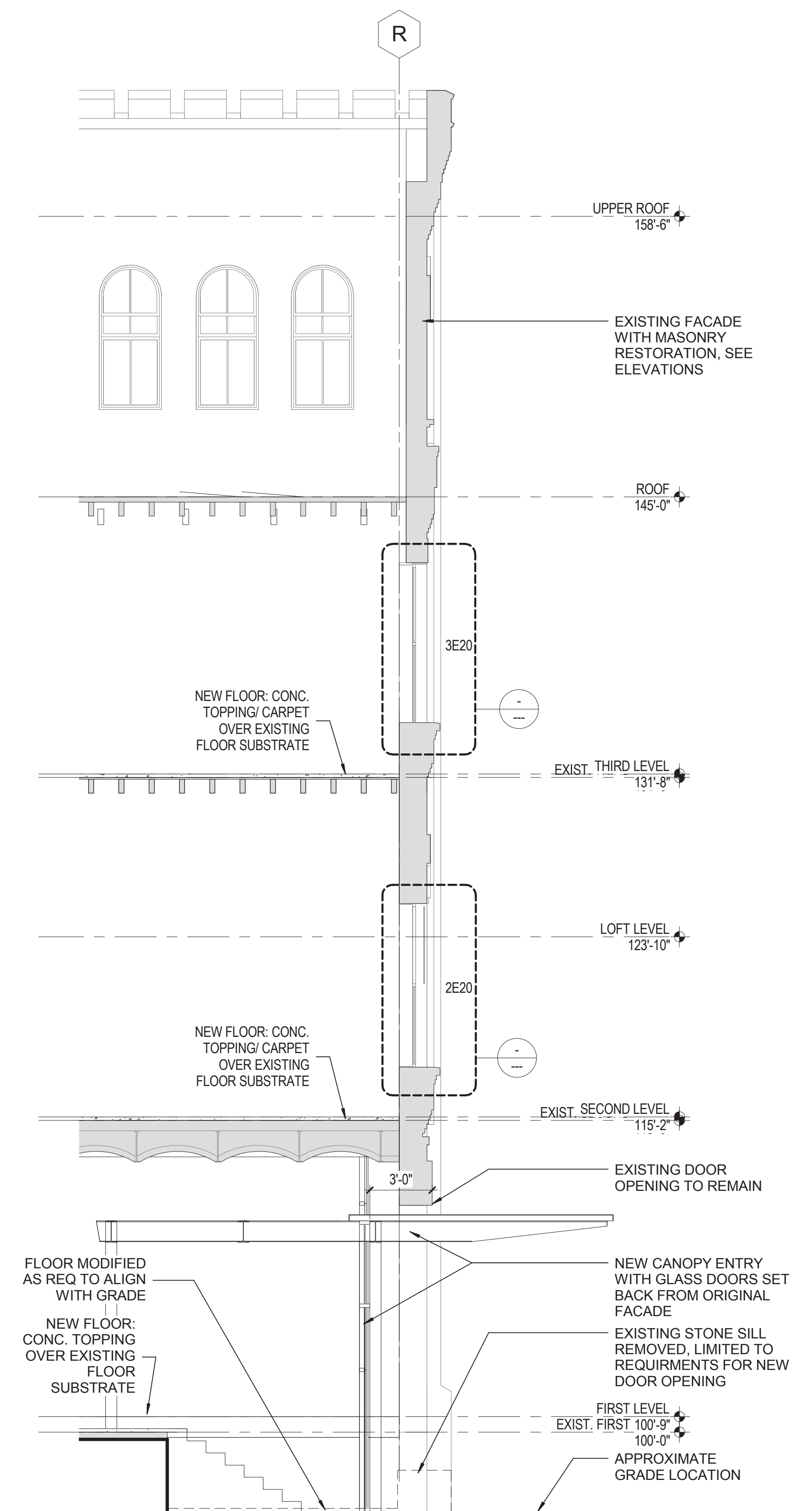
GENERAL NOTES	
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F	SEE A160-A164 FOR EXTERIOR RESTORATION INFORMATION
G	SEE STRUCTURAL PLANS FOR LINTEL INFORMATION







2 LIGHT COURT WALL SECTION  
1/4" = 1'-0"



1 EAST WALL SECTION  
1/4" = 1'-0"

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333 East Erie Street  
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710 N Plankinton Ave  
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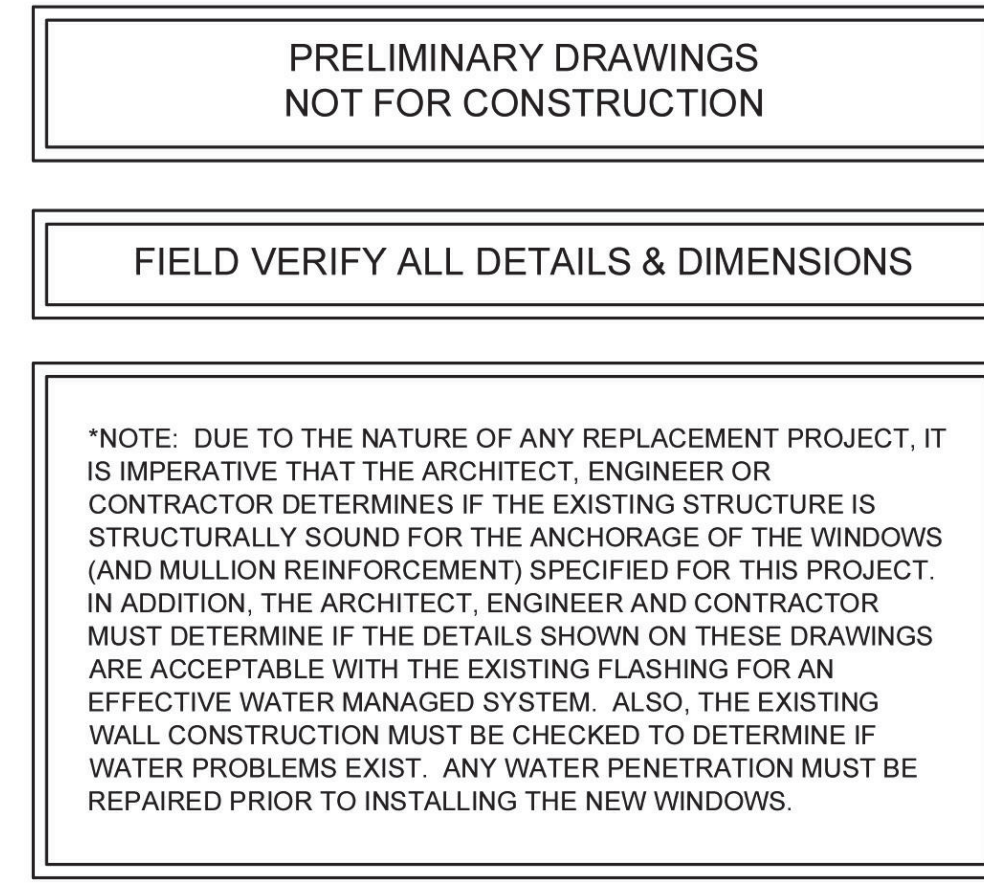
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WALL SECTIONS

**A420**

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## EXTERIOR DETAILS

A430

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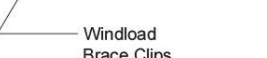
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jim.theusch@zilber.com

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"NOTE: DUE TO THE NATURE OF ANY REPLACEMENT PROJECT, IT IS IMPERATIVE THAT THE ARCHITECT, ENGINEER OR CONTRACTOR DETERMINES IF THE EXISTING STRUCTURE IS STRUCTURALLY SOUND FOR THE ANCHORAGE OF THE WINDOWS (AND MULLION REINFORCEMENT) SPECIFIED FOR THIS PROJECT. IN ADDITION, THE ARCHITECT, ENGINEER AND CONTRACTOR MUST DETERMINE IF THE DETAILS SHOWN ON THESE DRAWINGS ARE ACCEPTABLE WITH THE EXISTING FLASHING FOR AN EFFECTIVE WATER MANAGED SYSTEM. ALSO, THE EXISTING WALL CONSTRUCTION MUST BE CHECKED TO DETERMINE IF WATER PROBLEMS EXIST. ANY WATER PENETRATION MUST BE REPAIRED PRIOR TO INSTALLING THE NEW WINDOWS.



1 EXISTING WOOD WINDOW 2  
3/4" = 1'-0"

7 REPLACEMENT WOOD WINDOW 1 (WOOD WINDOW 2  
NTS SIM)

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Architecture | Engineering | Planning  
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333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
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**KM DEVELOPMENT**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
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$\Delta$ NO.	DESCRIPTION	DATE

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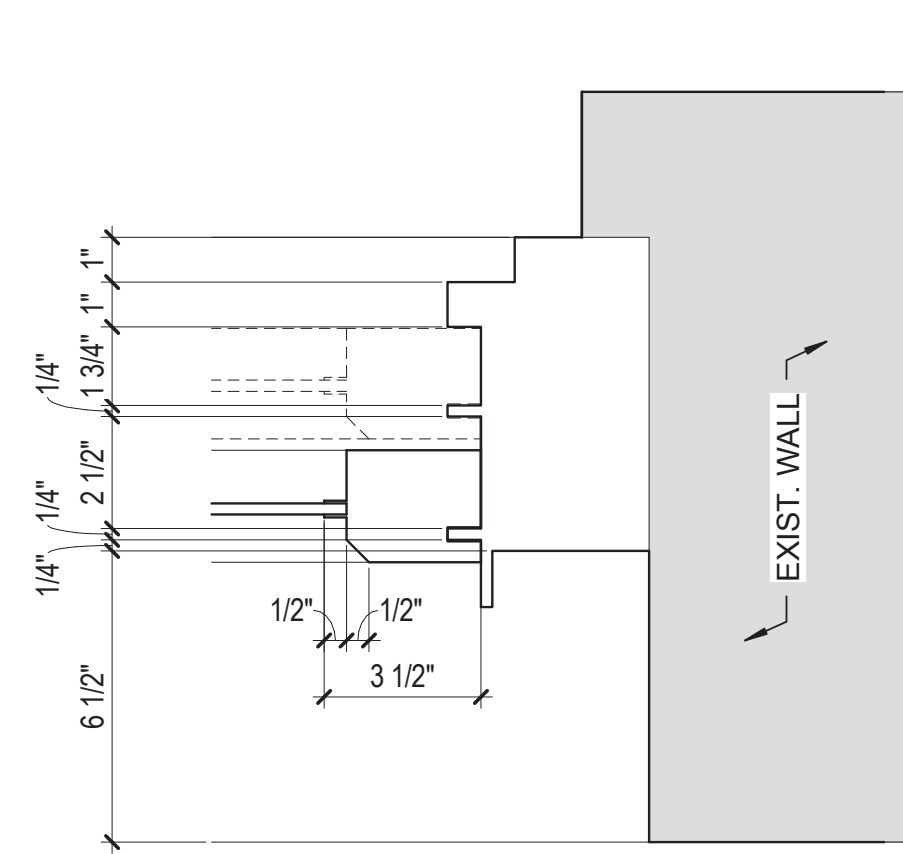
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## EXTERIOR DETAILS

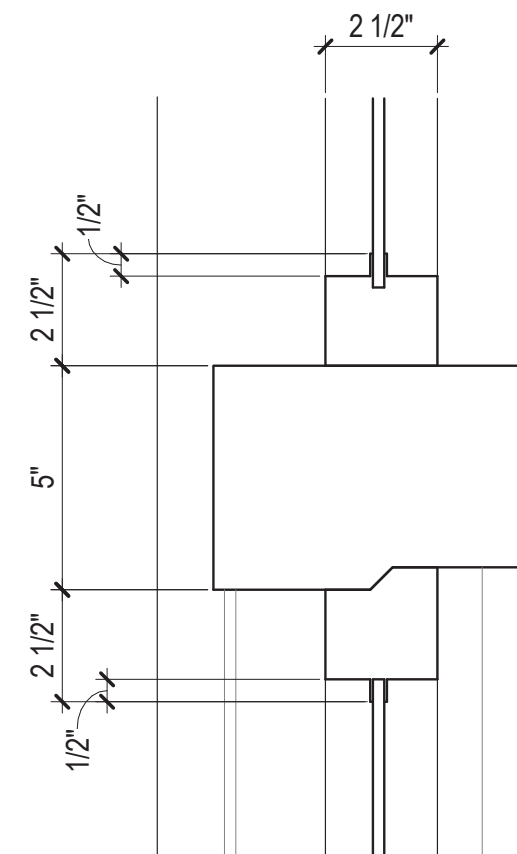
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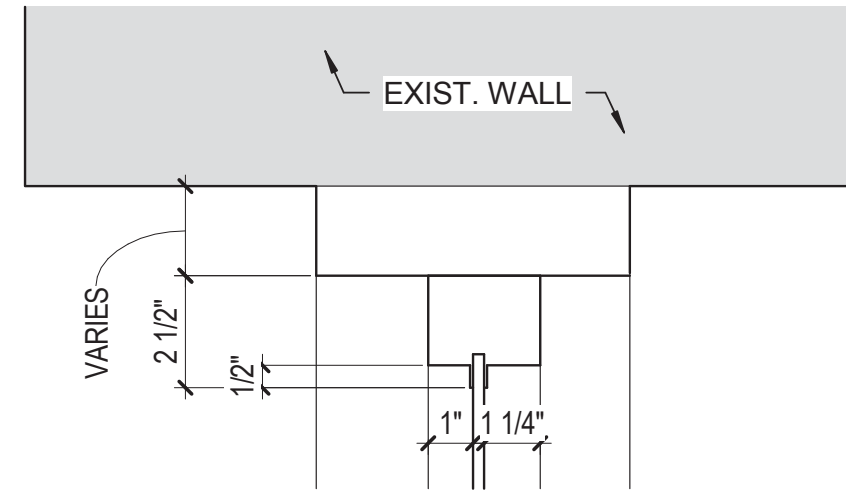




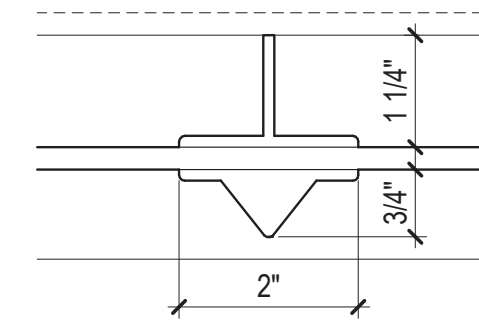
2 EXISTING METAL WINDOW 1 - JAMB/SASH STILE DETAIL  
3" = 1'-0"



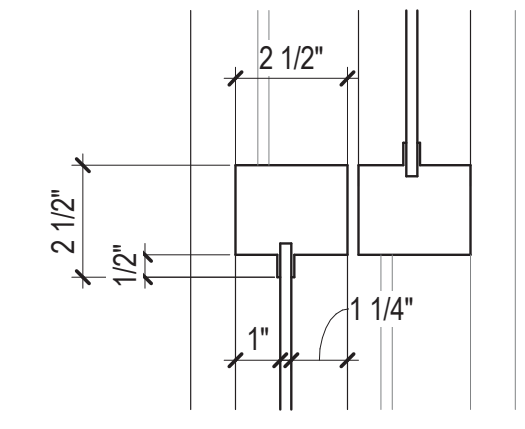
6 EXISTING METAL WINDOW 1 - TRANSOM SILL DETAIL  
3" = 1'-0"



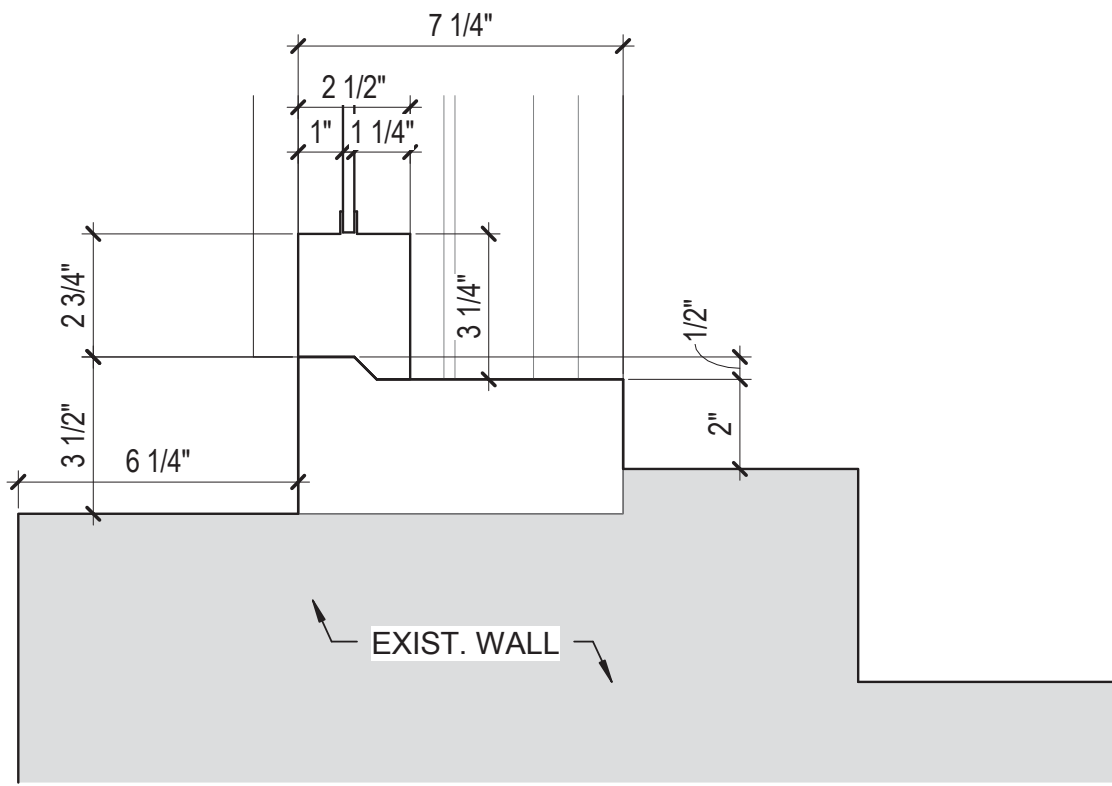
7 EXISTING METAL WINDOW 1 - UPPER SASH RAIL DETAIL  
3" = 1'-0"



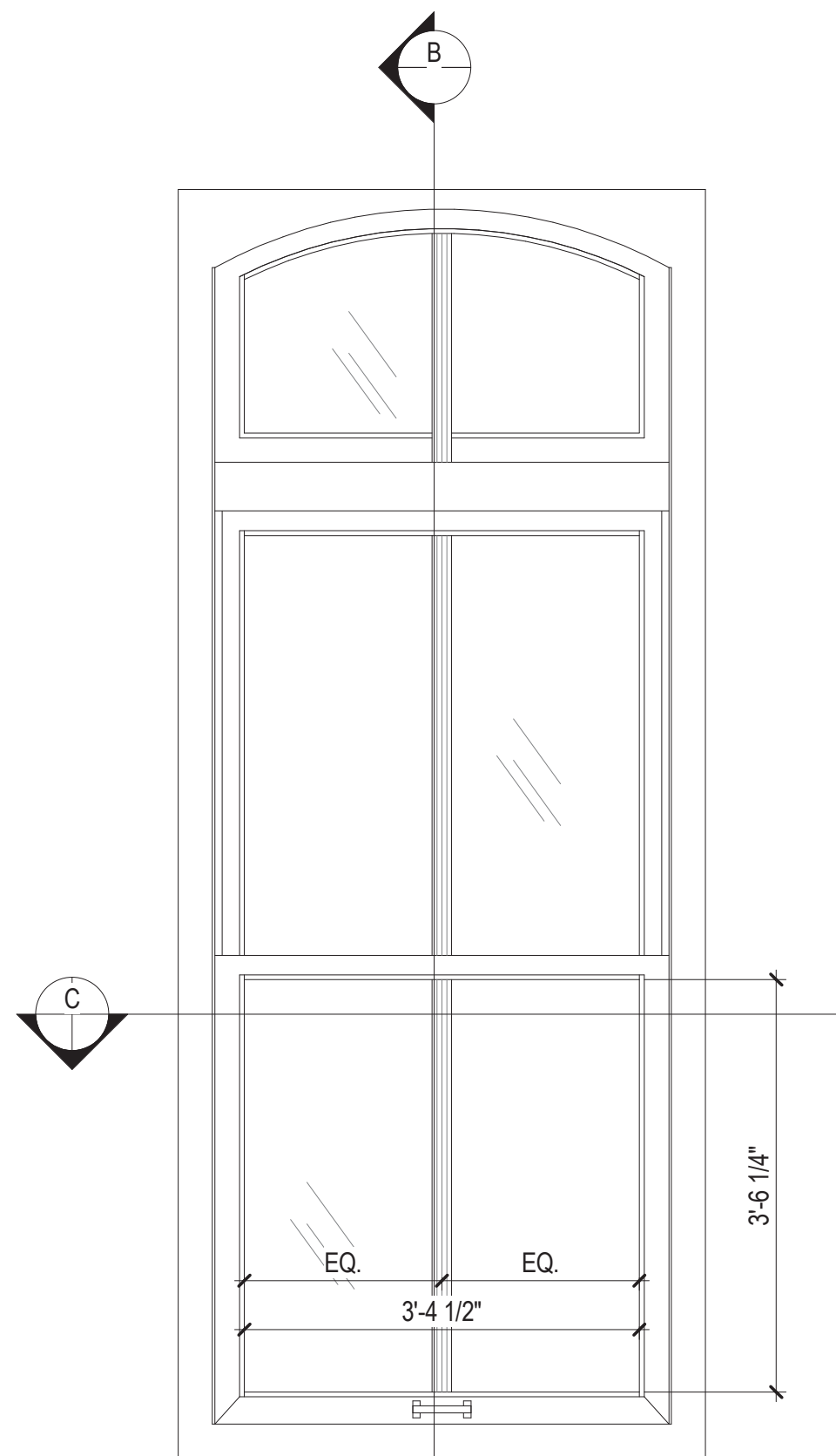
3 EXISTING METAL WINDOW 1 - MUNTIN DETAIL  
6" = 1'-0"



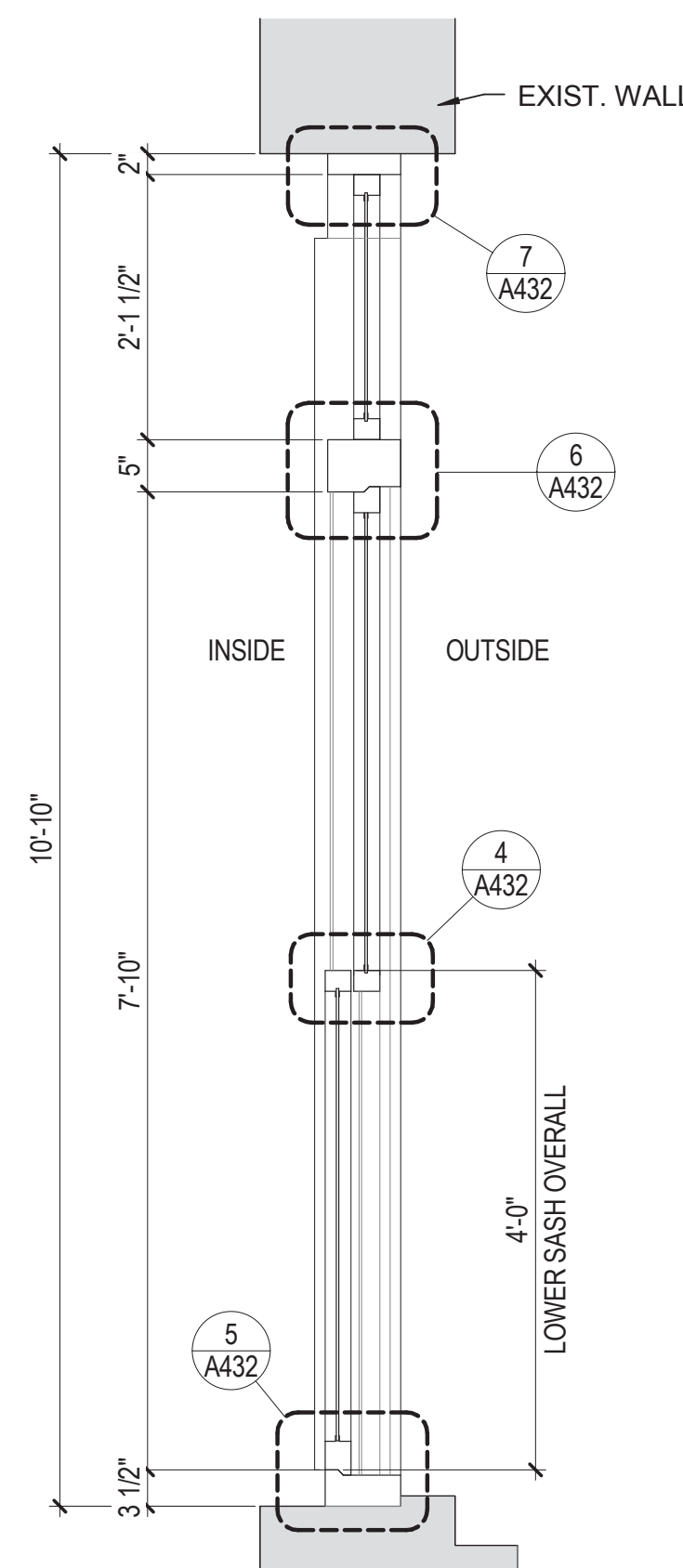
4 EXISTING METAL WINDOW 1 - SASH RAIL DETAIL  
3" = 1'-0"



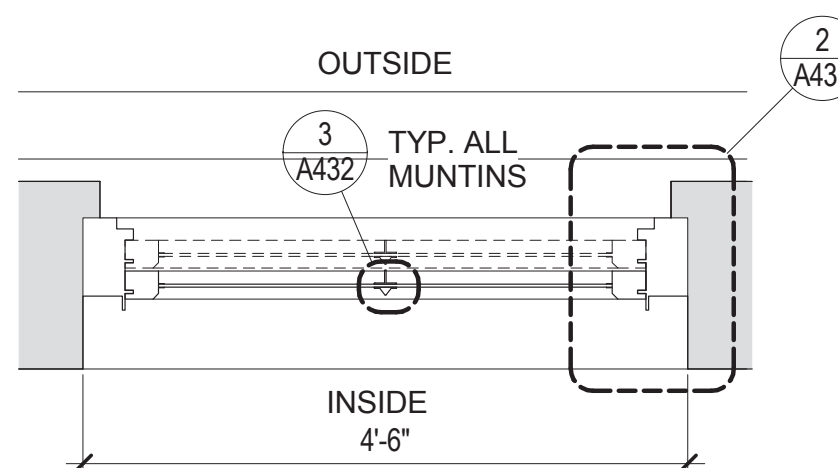
5 EXISTING METAL WINDOW 1 - SILL DETAIL  
3" = 1'-0"



A - INTERIOR ELEVATION

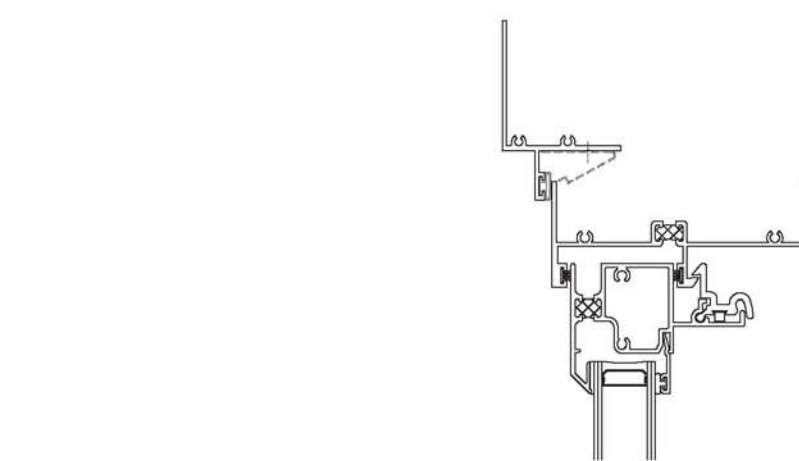


B - SECTION

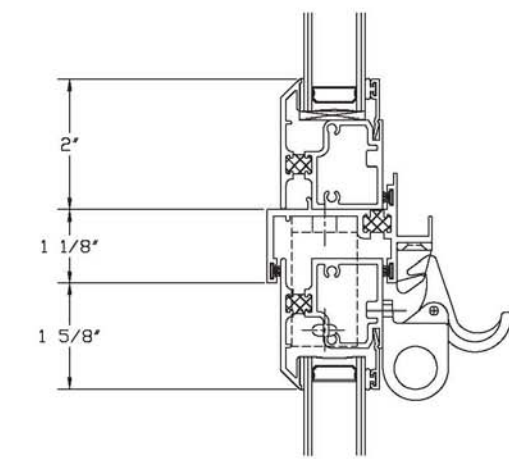


C - PLAN

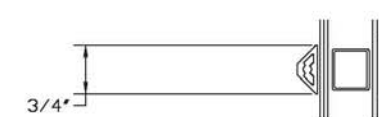
1 EXISTING METAL WINDOW 1  
3/4" = 1'-0"



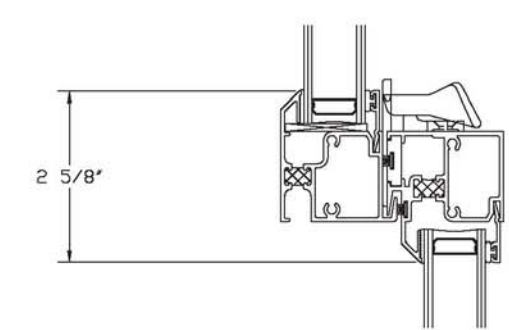
1 DOUBLE HUNG HEAD



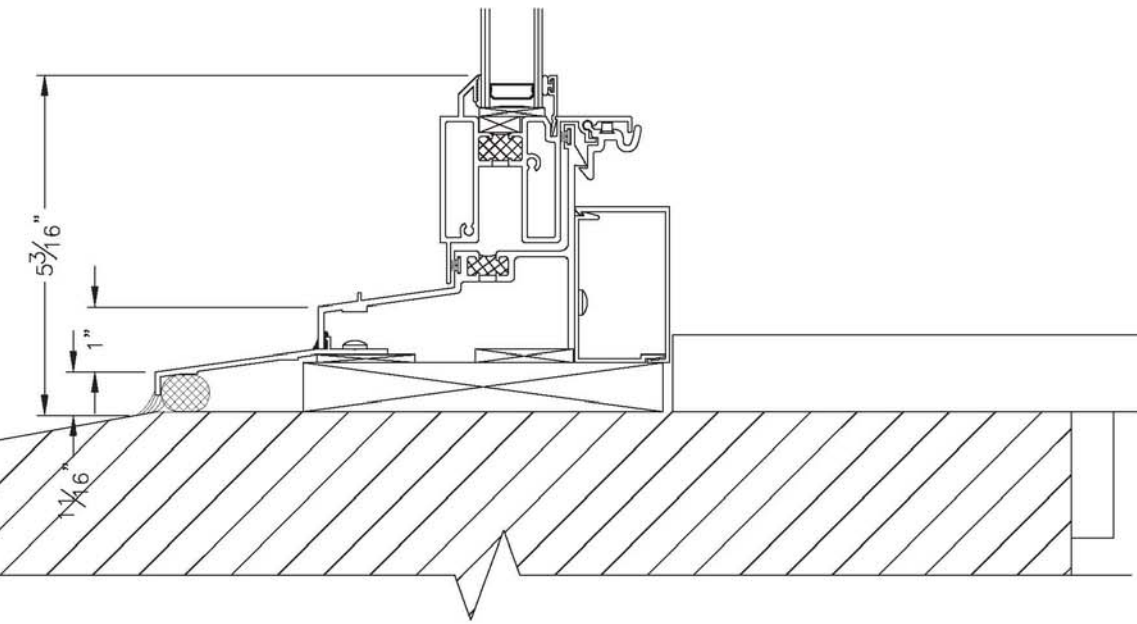
2 DOUBLE HUNG ASTRAGAL



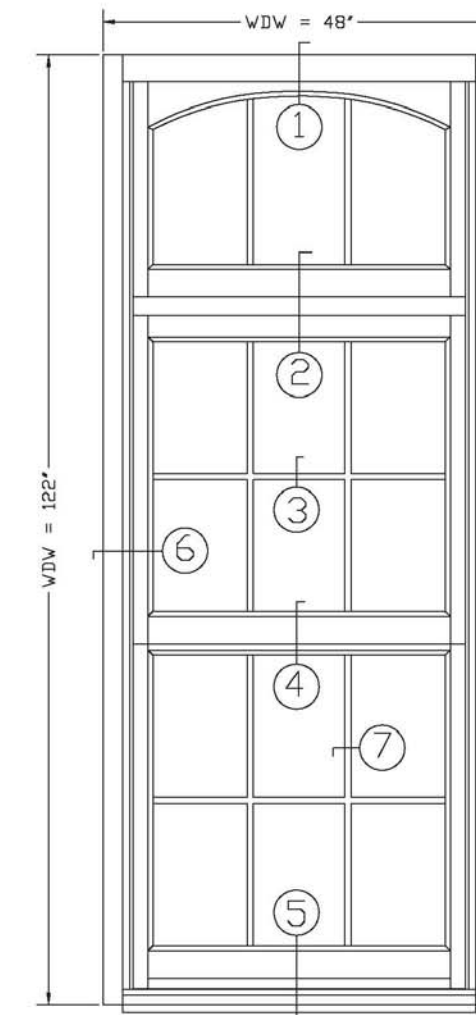
3 HISTORIC MUNTIN



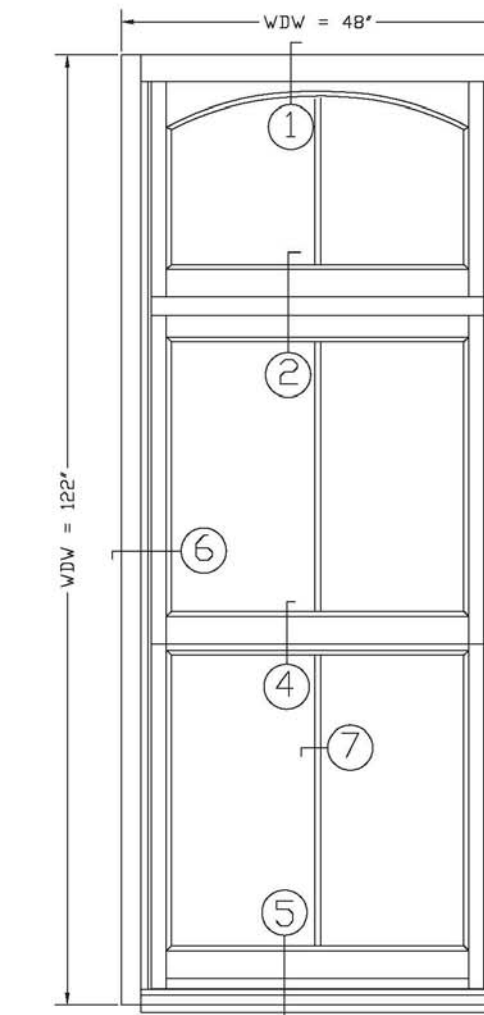
4 DOUBLE HUNG MEETING RAIL



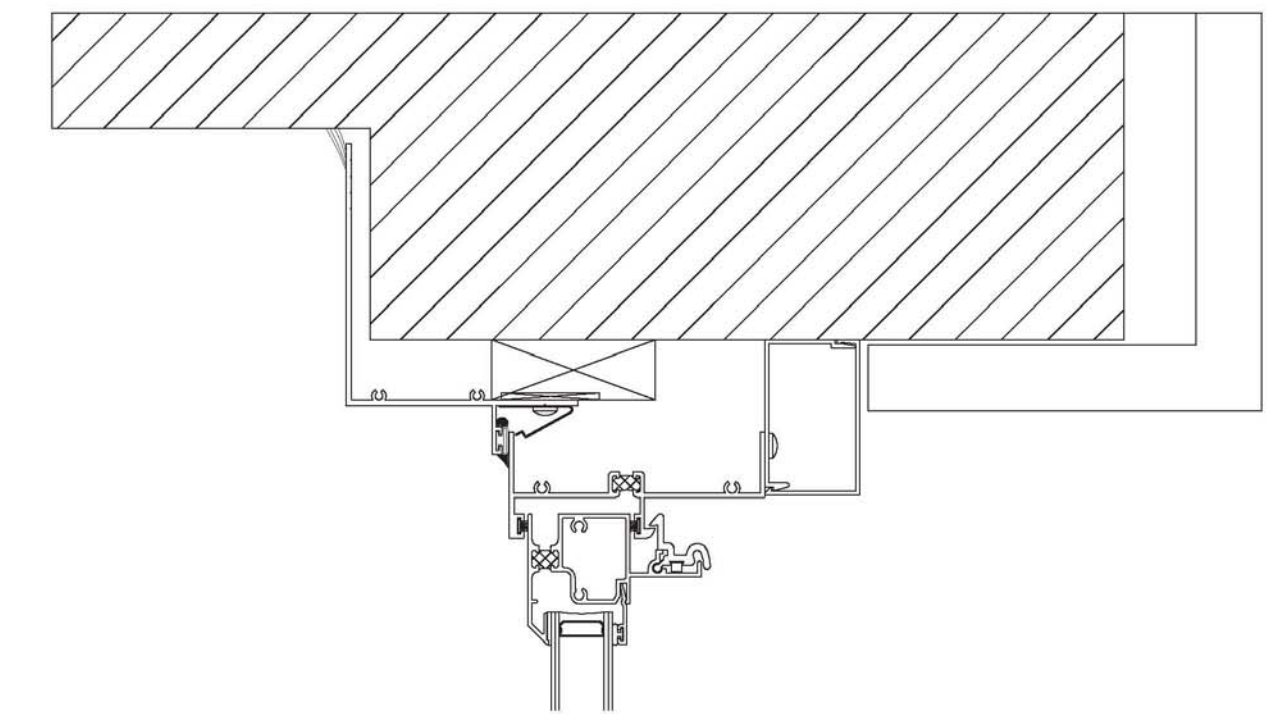
5 DOUBLE HUNG SILL



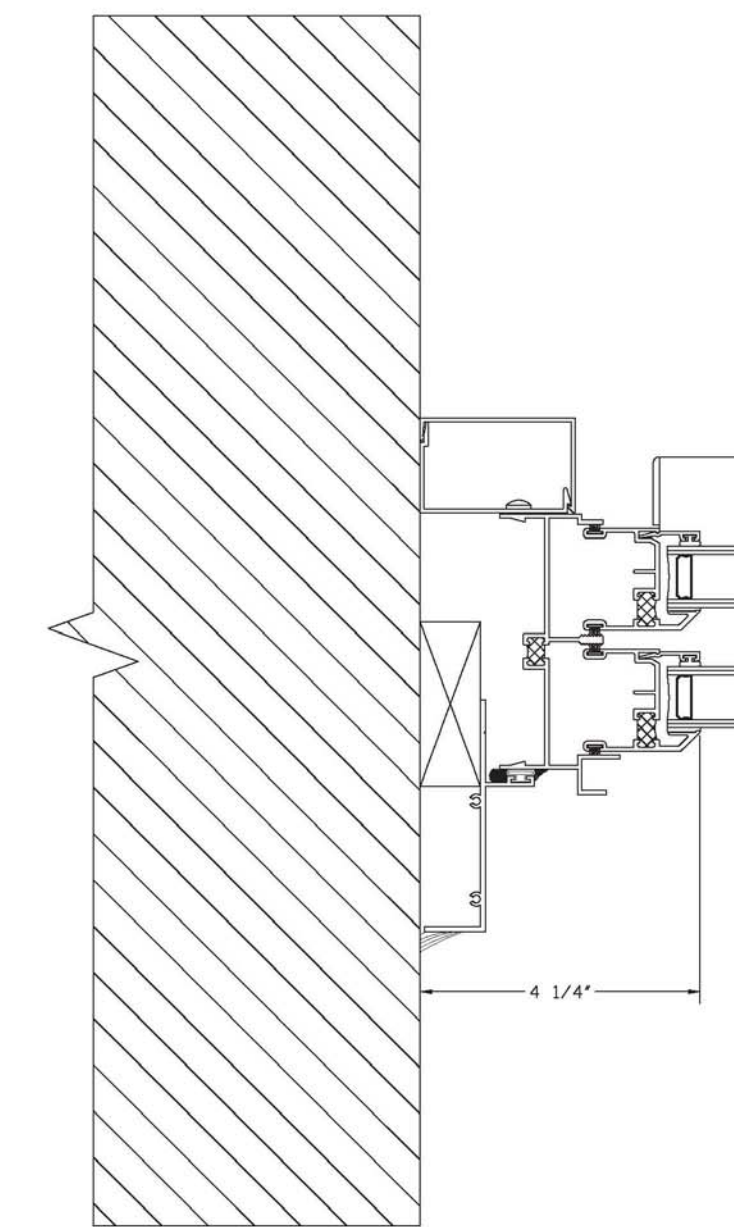
METAL WINDOW 1  
6 OVER 6 CONFIGURATION  
48" X 122" FRAME  
SERIES 2200DH



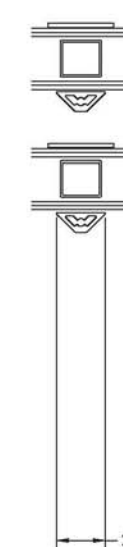
METAL WINDOW 2  
2 OVER 2 CONFIGURATION  
48" X 122" FRAME  
SERIES 2200DH



8 DOUBLE HUNG HEAD



6 DOUBLE HUNG JAMB



7 HISTORIC MUNTIN

DATE:	FILE:
SCALE:	BY: J.A. MOON
SOFTER LITE WINDOW COMPANY WAUKESHA, WISCONSIN	
JOB #	PAGE:

8 REPLACEMENT METAL WINDOW 1  
NTS

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NO	DESCRIPTION	DATE
ISSUANCE HISTORY - THIS SHEET		

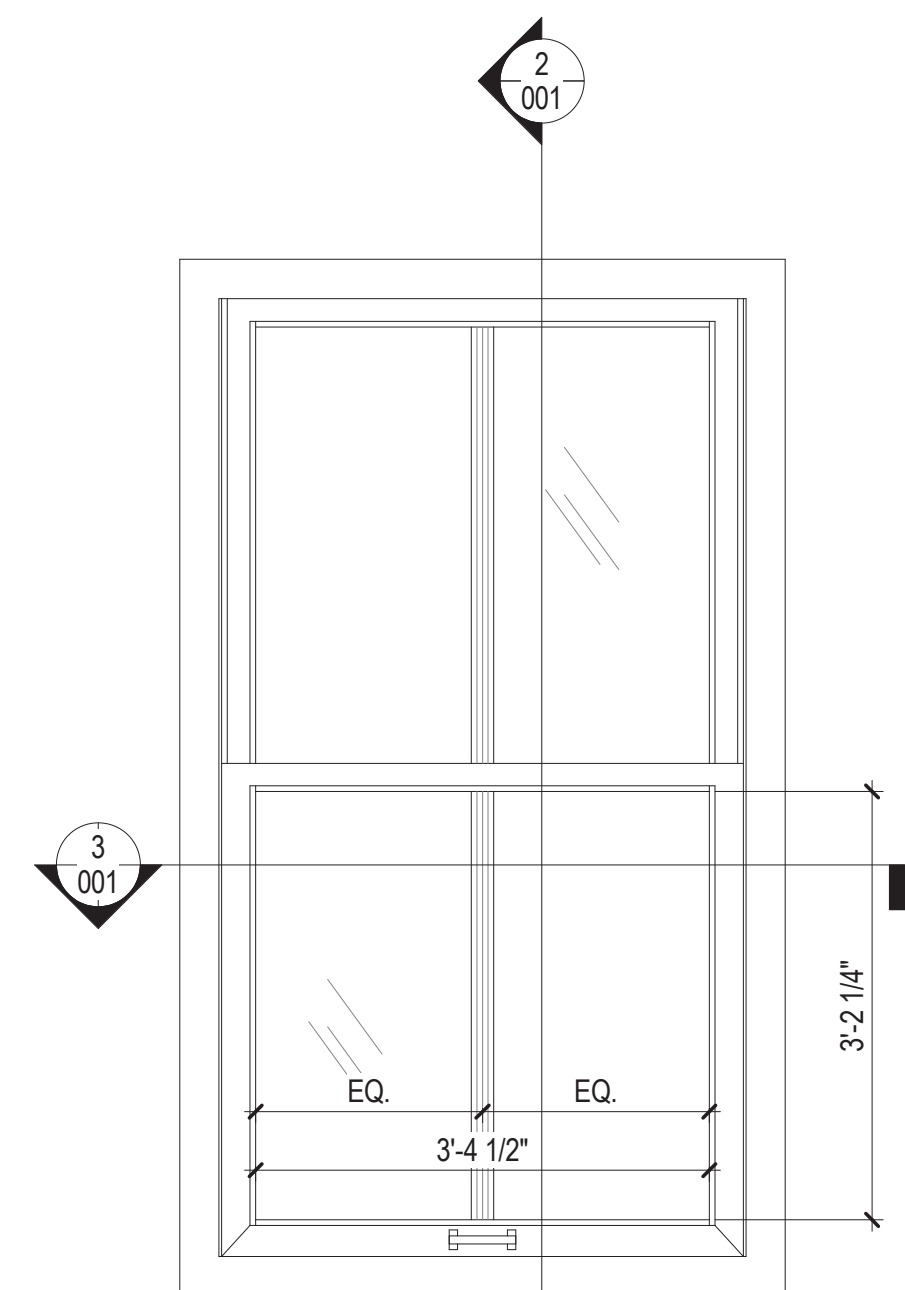
MILWAUKEE HPC SUBMISSION	
COMM. NO.	3368-001-01
SCALE	NOT TO SCALE
DATE	NOVEMBER 17, 2014
DRAWN	Author

EXTERIOR DETAILS

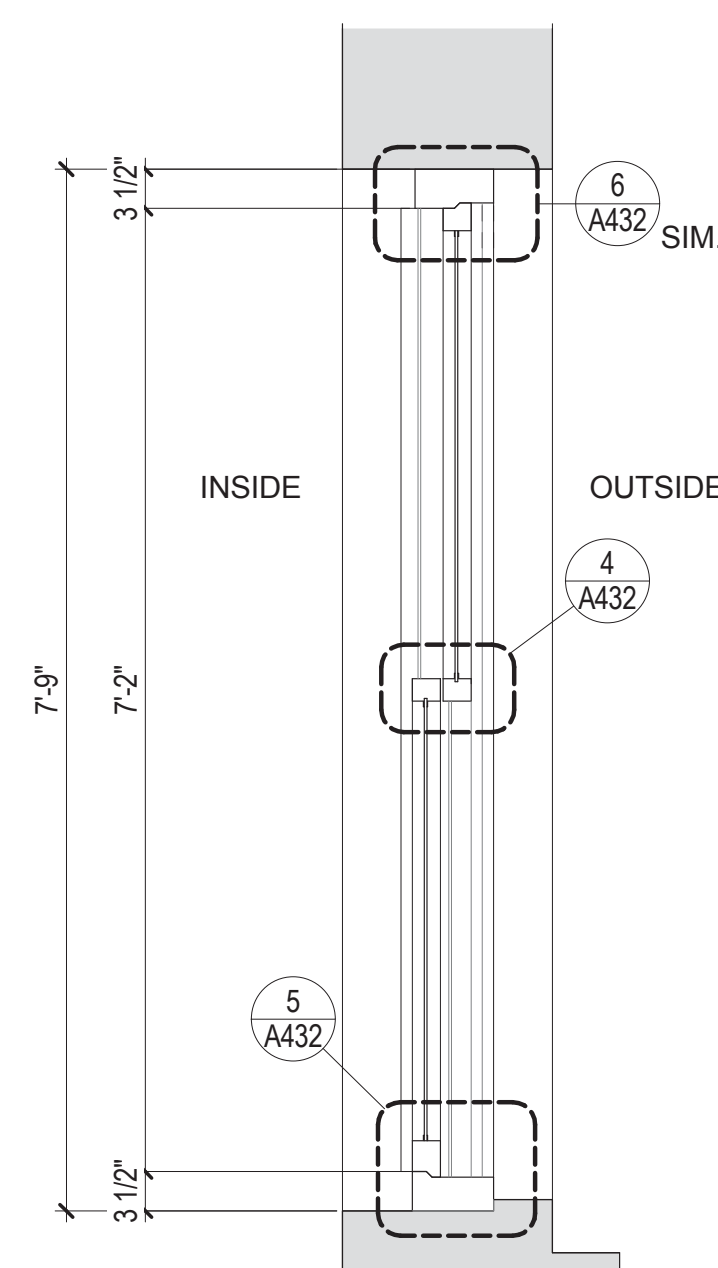
**A432**

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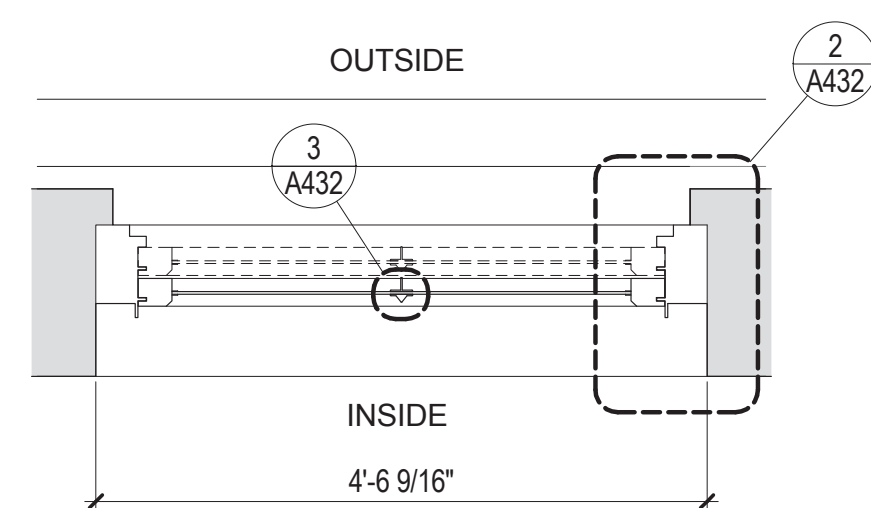




A - INTERIOR ELEVATION

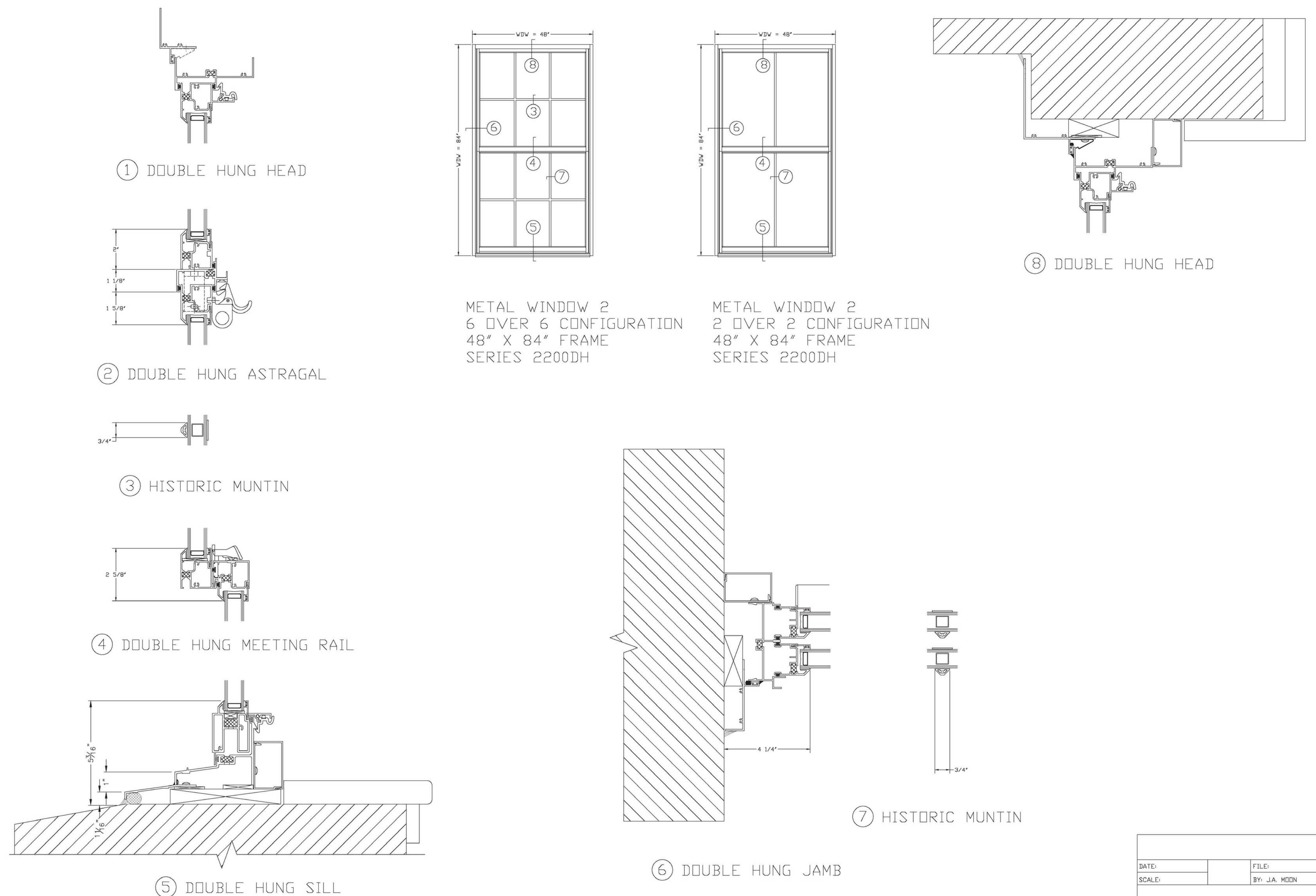


B - SECTION



C - PLAN

1 EXISTING METAL WINDOW 2  
3/4\" = 1'-0"



2 REPLACEMENT METAL WINDOW 2  
NTS

## Blue Ribbon Suites LLC

Building 29  
Highland Avenue & 9th Street  
Milwaukee, WI 53202

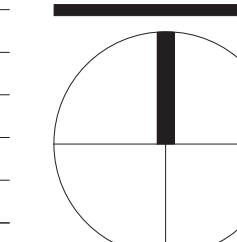
**H&A**  
Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin USA 53202  
Telephone 414.278.8200 Facsimile 414.278.7734

**KM DEVELOPMENT CORP**  
710 N Plankinton Ave  
Milwaukee WI 53203  
(414) 274-2825  
jim.theusch@zilber.com

WISCONSIN

NO	DESCRIPTION	DATE
ISSUANCE HISTORY - THIS SHEET		

MILWAUKEE HPC SUBMISSION



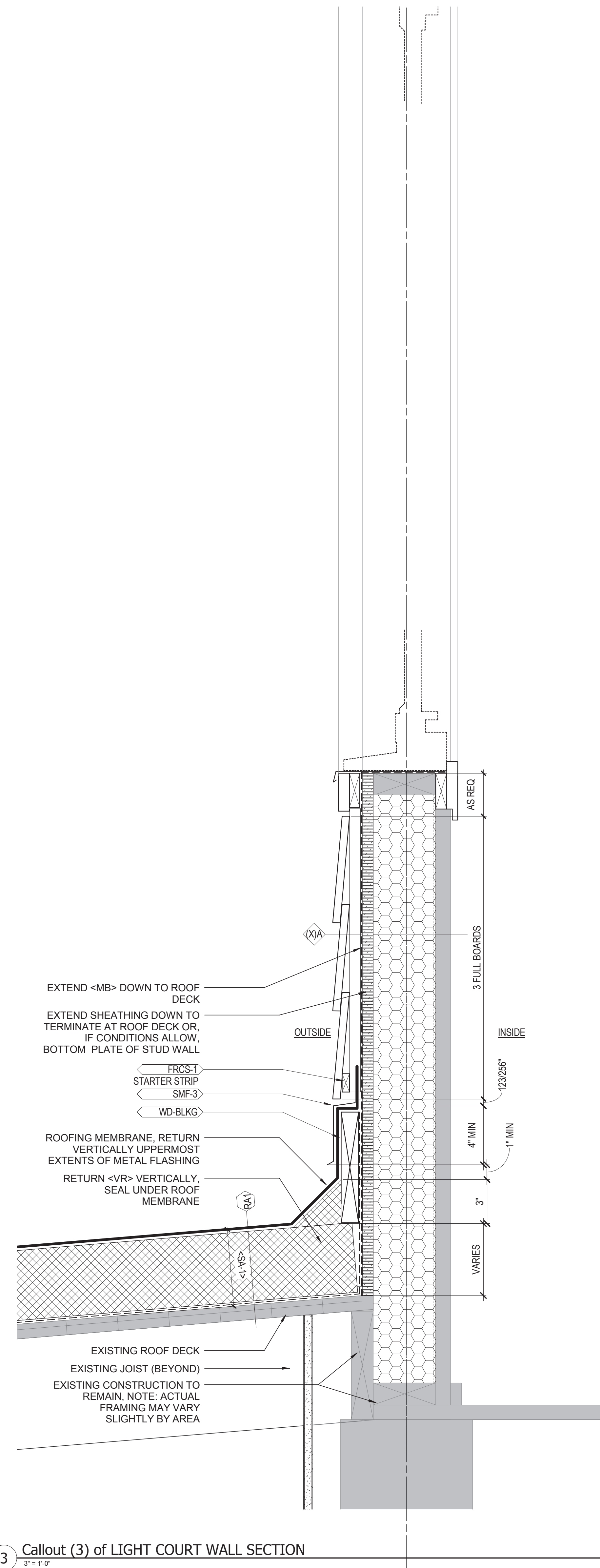
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DRAWN Author

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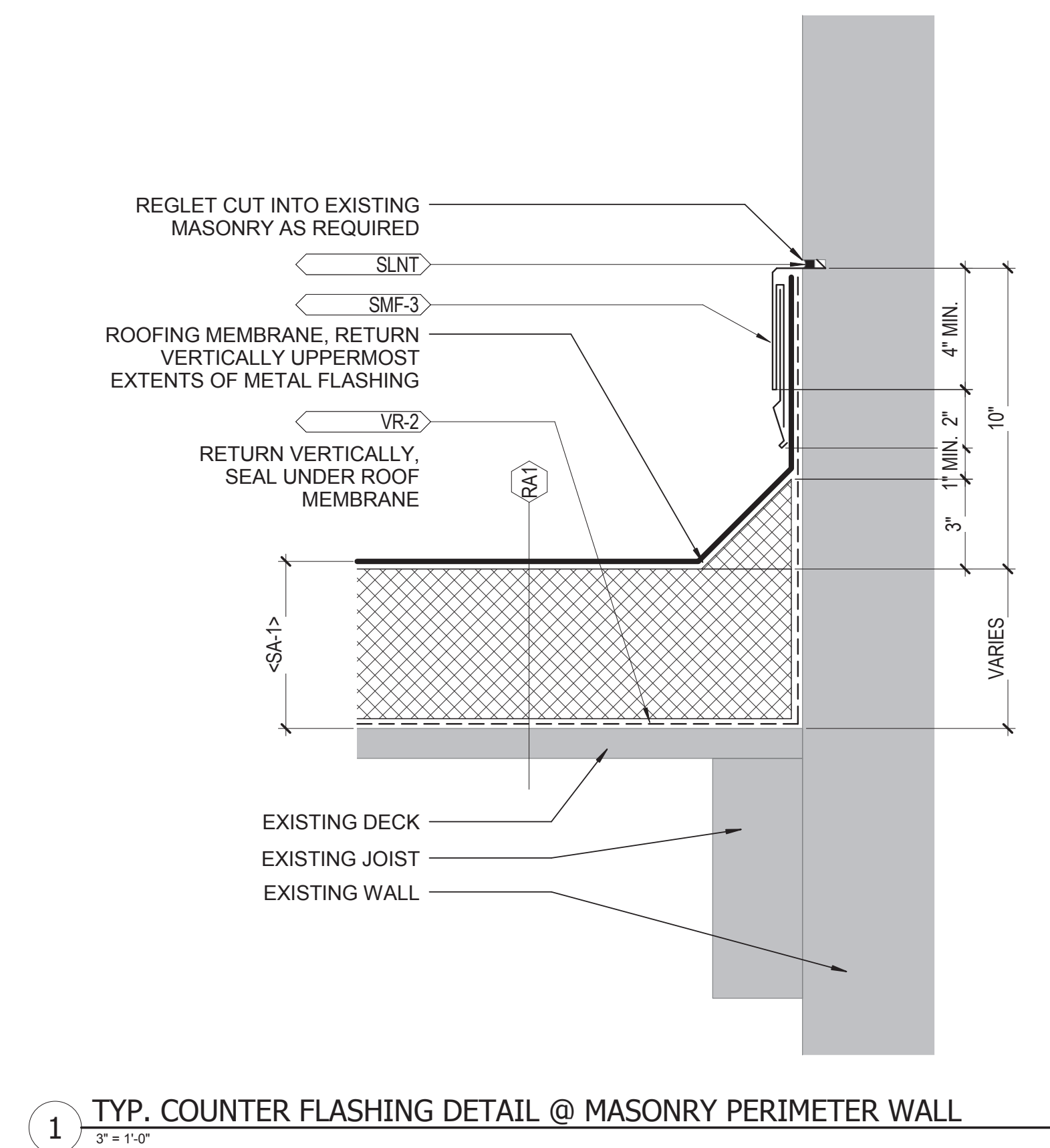
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3 Callout (3) of LIGHT COURT WALL SECTION  
3" = 1'-0"



1 TYP. COUNTER FLASHING DETAIL @ MASONRY PERIMETER WALL  
3" = 1'-0"

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NO	DESCRIPTION	DATE
ISSUANCE HISTORY - THIS SHEET		

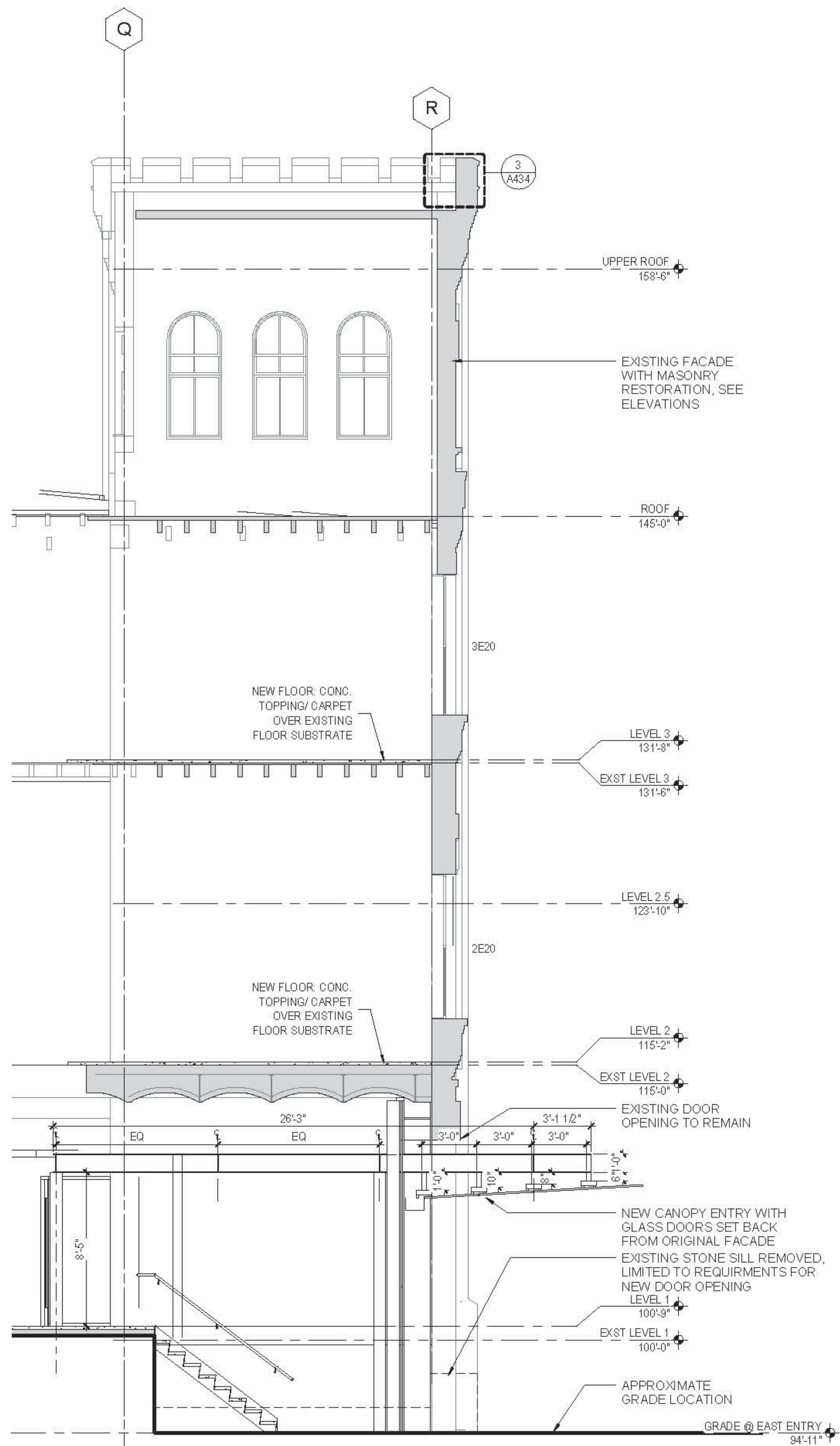
**MILWAUKEE HPC SUBMISSION**  
COMM. NO. 3368-001-01  
SCALE NOT TO SCALE  
DATE NOVEMBER 17, 2014  
DRAWN Author

EXTERIOR DETAILS

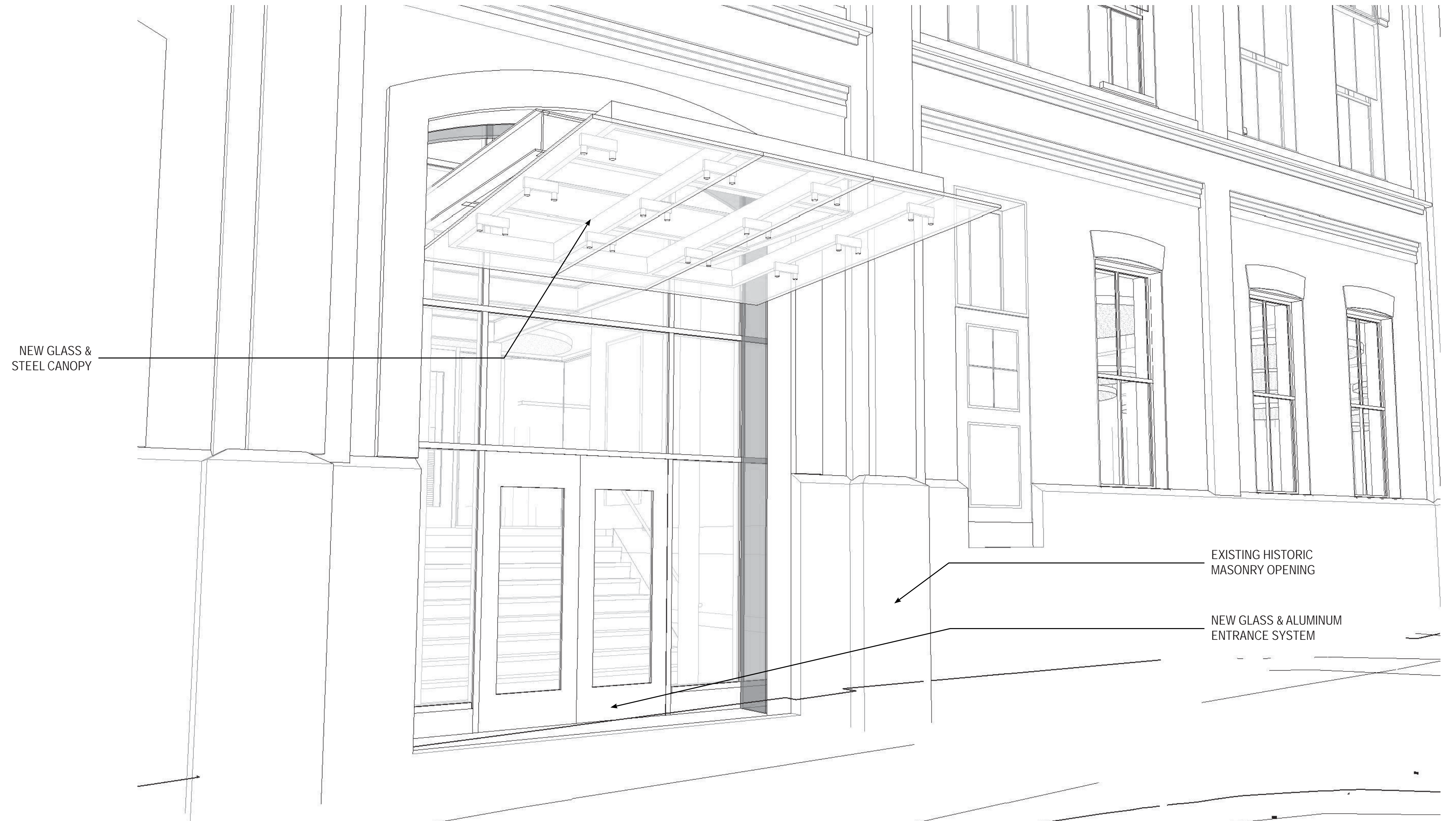
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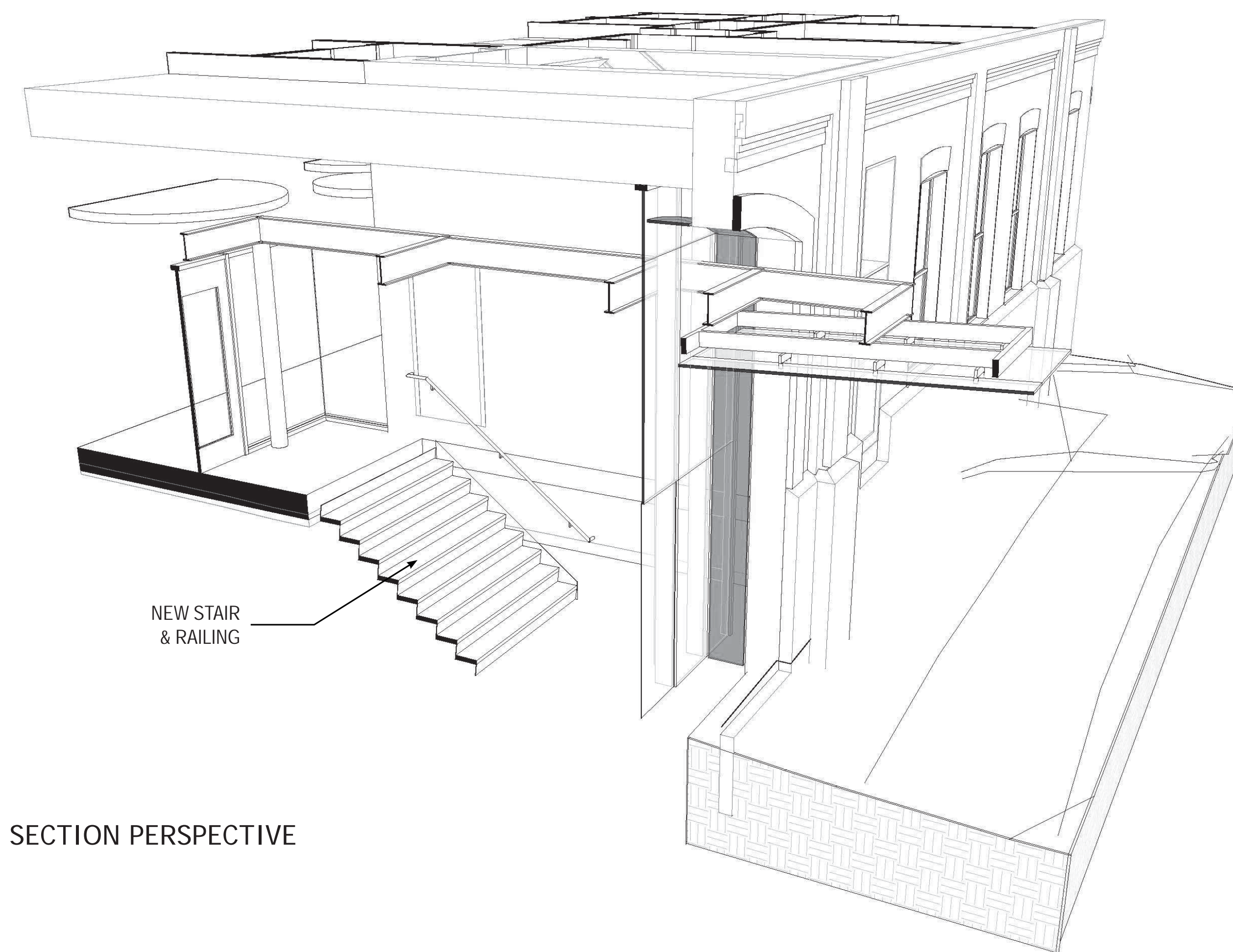




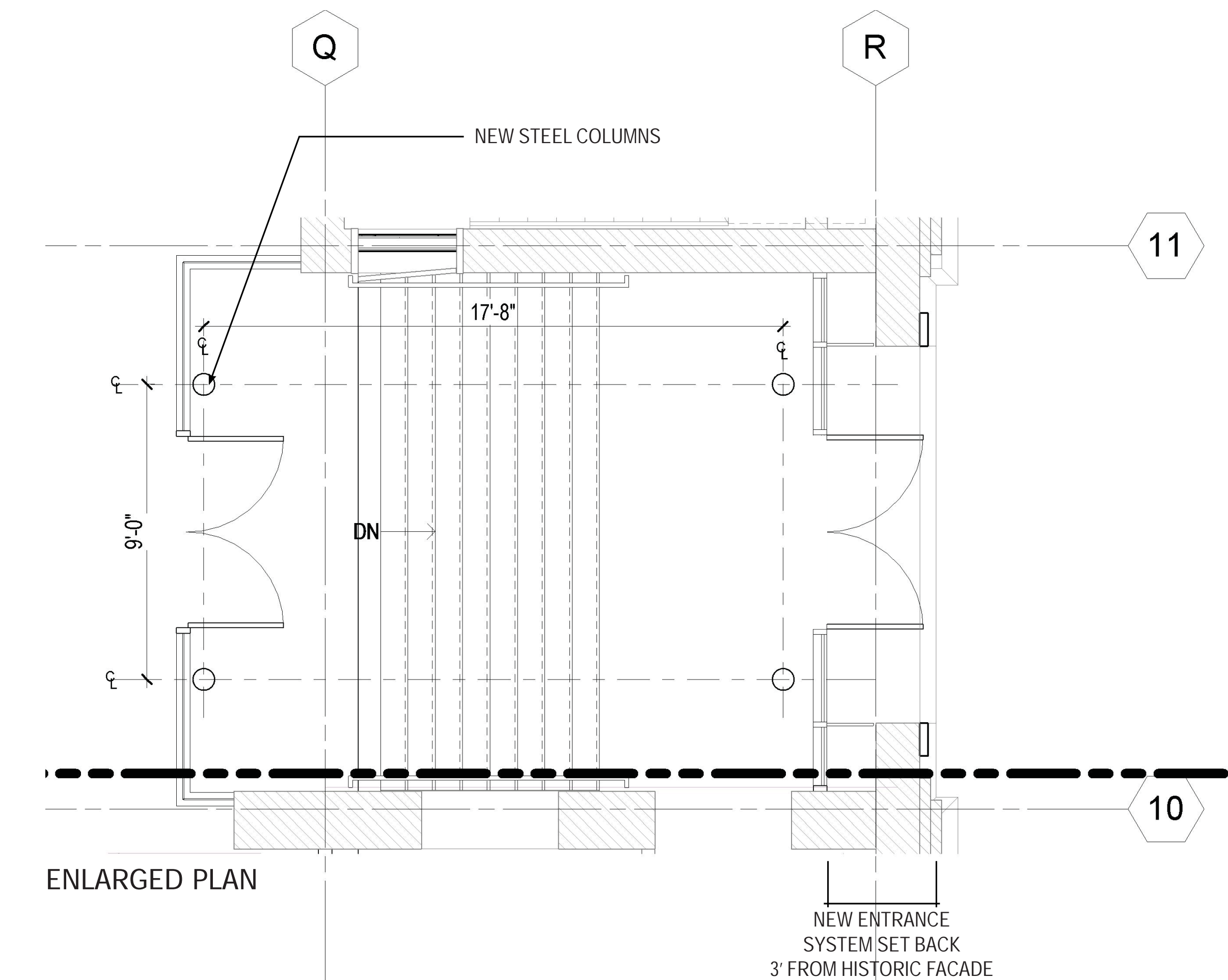
SECTION THROUGH EAST ENTRY



EXTERIOR PERSPECTIVE



SECTION PERSPECTIVE



ENLARGED PLAN

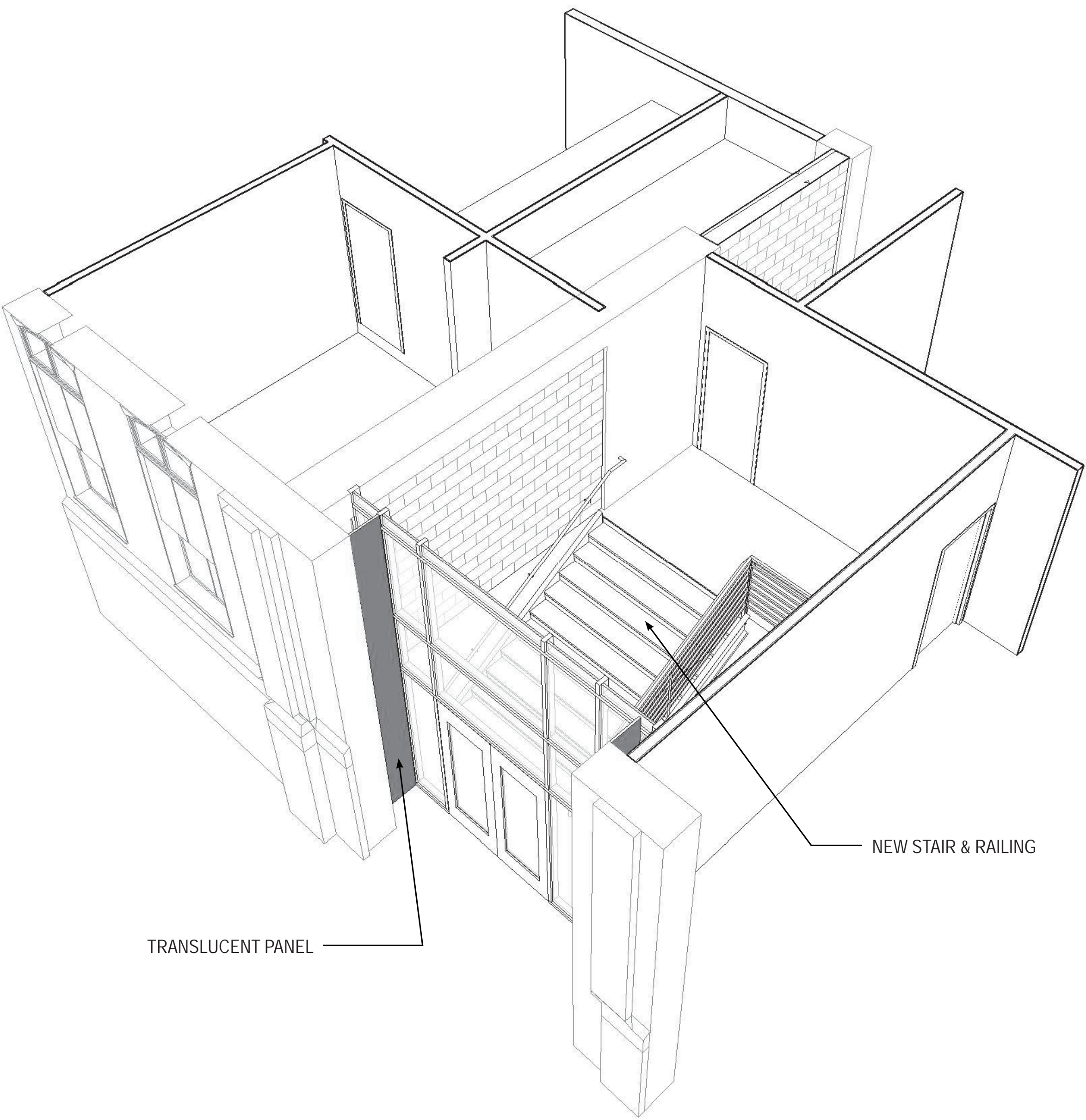




EXTERIOR PERSPECTIVE

EXISTING HISTORIC  
MASONRY OPENING

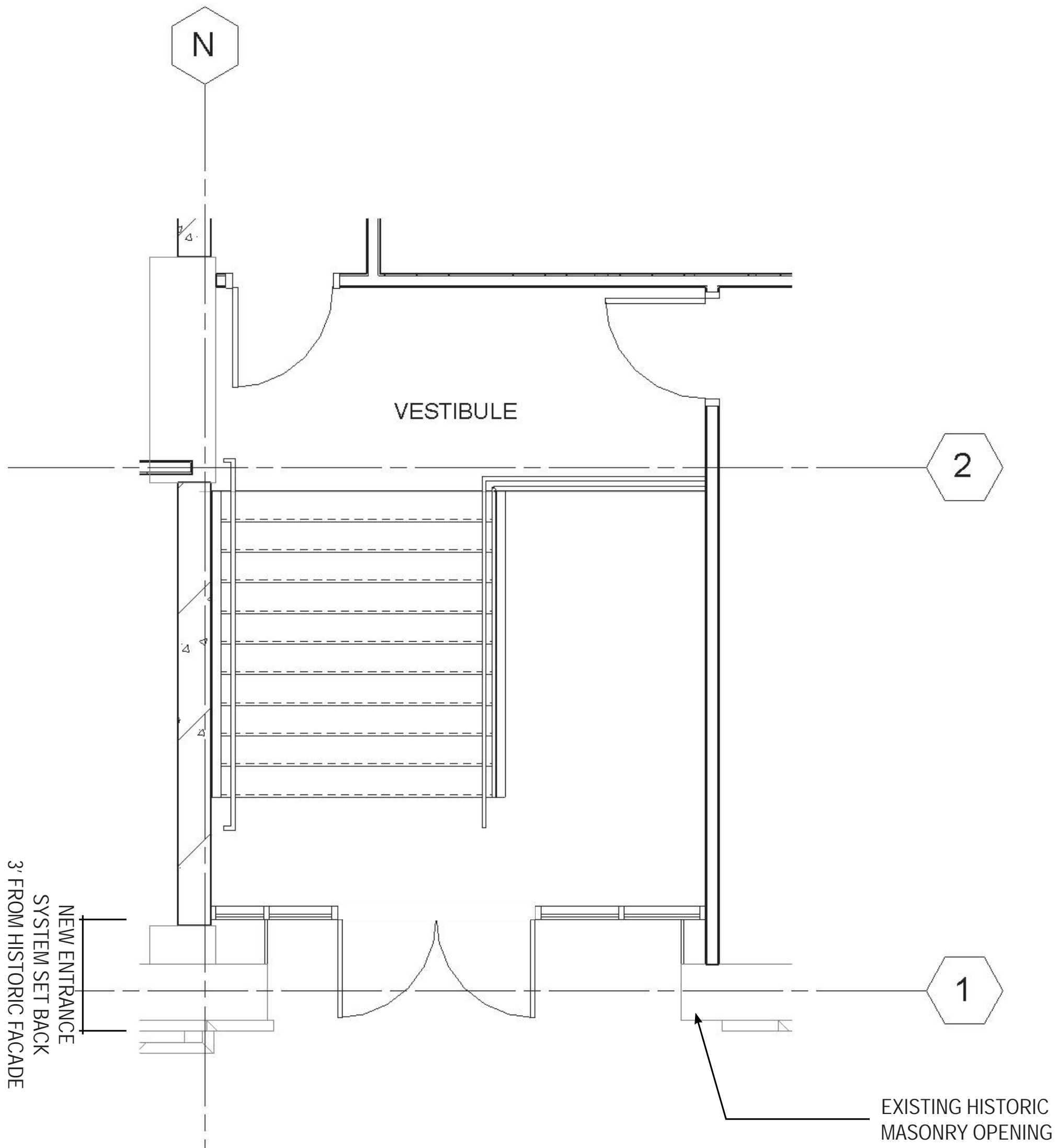
NEW GLASS & ALUMINUM  
ENTRANCE SYSTEM



TRANSLUCENT PANEL

NEW STAIR & RAILING

PLAN PERSPECTIVE



NEW ENTRANCE  
SYSTEM SET BACK  
3' FROM HISTORIC FACADE

VESTIBULE

EXISTING HISTORIC  
MASONRY OPENING

ENLARGED PLAN