



LICENSES COMMITTEE

ALD. T. ANTHONY ZIELINSKI, CHAIR

Ald. Milele A. Coggs, Vice Chair

Ald. Joseph A. Dudzik, Ald. Robert W. Puente,

Ald. Russell W. Stamper II



July 22, 2014

Common Council Chambers, 3rd Floor City Hall

LICENSE APPLICATIONS TO BE CONSIDERED BY THE COMMITTEE

08:15 AM

- 06 DENNY, Samuel H, Agent for "The Brown Bottle, LLC", Class B Tavern and Food Dealer - Restaurant License Applications for "The Brown Bottle" at 221 W Galena St.
- 12 GERSONDE, Aaron R, Agent for "Movida LLC", Class B Tavern and Food Dealer - Restaurant License Applications for "Movida" at 524 S 2ND St.
- 12 SANDRONI, JR, Augusto P, Agent for "ECN3 Inc", Class B Tavern and Food Dealer - Restaurant License Applications for "Engine Co No 3" at 217 W National Av.
- 10 DHINGRA, Reena, Agent for "Express Pantry Food Mart, Inc", Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store License Applications for "Express Pantry Food Mart" at 2719 N Blaine Pl.
- 14 MCCLUTCHY, Matthew J, Agent for "Clutch Corp.", Class B Fermented Malt Beverage Retailer's, Class C Wine Retailer's, and Public Entertainment Premises License Applications Requesting Bands and Instrumental Musicians for "Anodyne Coffee Roasting Co." at 2920 S Kinnickinnic Av.
- 04 KRAMAR, Keith E, Agent for "CSM Milwaukee Downtown LLC", Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications for "Residence Inn - Milwaukee" at 648 N PLANKINTON Av.
- 04 WISE, John M, Agent for "BRG 1000 N Water St LLC", Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications for "Room @ The Rumpus Room" at 1020 N Water St.
- 04 WISE, John M, Agent for "BRG 777 E Wisconsin LLC", Class B Tavern - Service Bar Only and Public Entertainment Premises License Applications Requesting Instrumental Musicians and Bands for "Downtown Kitchen" at 777 E WISCONSIN Av.

08:30 AM

- 04 MAYER, Susanne M, Agent for "MILWAUKEE TABLE TENNIS, INC", Class B Tavern and Public Entertainment Premises License Renewal Applications for "Evo Milwaukee" at 233-39 E CHICAGO St. (Expires 7/26/2014)

- 06 MCGAUGHY, SR, Anthony J, Agent for "The Big Eazy Inc", Class B Tavern and Public Entertainment Premises License Applications Requesting Instrumental Musicians, Bands, Battle of the Bands, Comedy Acts, Disc Jockey, Magic Shows, Poetry Readings, Dancing by Performers, Patron Contests, Patrons Dancing, Karaoke, Motion Pictures, Concerts, and Theatrical Performances for "The Big Eazy " at 2053 N MARTIN L KING JR DR.
- 02 CIMBRON, Linda M, Agent for "WISCONSIN CVS PHARMACY, LLC", Food Dealer Retail Renewal Application for "CVS PHARMACY #1267" at 7550 W PERKINS PI.
(Expired 6/30/2014)



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 06

DENNY, Samuel H, Agent
The Brown Bottle, LLC
1555 N Rivercenter DR #209

Milwaukee, WI 53212

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "The Brown Bottle, LLC" for "The Brown Bottle" at 221 W Galena St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY:

Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 06

DENNY, Samuel H, Agent
The Brown Bottle, LLC
2520 W Wending Dr

Glendale, WI 53209

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "The Brown Bottle, LLC" for "The Brown Bottle" at 221 W Galena St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:07/14/14
Officer: J. Alba 006448

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Brown Bottle Pub
Address: 221 W. Galena St.
Phone: 414-272-6302

Owner: Brown Bottle LLC
Owner address:
City State Zip:
Owner Phone:
Owner email:

Licensee/Agent: Samuel H. Denny
Home Address: 2520 W. Wending Dr.
City State Zip: Glendale, WI 53209
Phone: 414-272-6302
Email:

Preferred contact: Agent

Location currently open: ☐ YES ☒ NO

Projected open date: 09/15/14

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: 11am-1am
Mon: 11am-1am
Tue: 11am-1am
Wed: 11am-1am
Thu: 11am-1am
Fri: 11am-1am
Sat: 11am-1am
24 hours ☐Y ☐N

Premise Type: ☒Tavern/Bar
☒Restaurant
☐Other:

Licenses currently held:

Alcohol: ☐ Yes ☒ No Class: #:
Tobacco: ☐ Yes ☒ No #:
Food: ☐ Yes ☒ No #:
Other: ☐ Yes ☒ No Type: #:
Other: ☐ Yes ☒ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☒ Park
 - b. ☒ School
 - c. ☒ Youth Center
 - d. ☒ Church
 - e. ☐ Tavern(s) If so, how many
 - f. ☐ Residential
 - g. ☒ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☐ Yes ☒ No
4. Can you see the employees inside of the location from the outside ☐ Yes ☒ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☒ Yes ☐ No
8. Is the parking lot clean? ☒ Yes ☐ No
9. Is the parking lot well lit? ☒ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☒ No
 - b. Will this lot have cameras? ☒ Yes ☐ No
11. Are there areas where a person could conceal themselves ☒ Yes ☐ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☒ Yes ☐ No How Many: 4
16. Are the address numbers prominently displayed and easy to see ☐ Yes ☒ No

Camera Survey:

17. Does this location have security cameras? ☐ Yes ☒ No
18. Are they in working order? ☐ Yes ☒ No
19. What format are the cameras?
 - a. Color ☐ Yes ☐ No
 - b. Digital ☐ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☐ Yes ☐ No
20. How long is footage stored for later viewing:
21. Are there exterior cameras ☒ Yes ☐ No How many: 4
22. Are there interior cameras ☐ Yes ☒ No How many:

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
24. Cameras located in parking lot ☒ Yes ☐ No How many 4

Interior Survey:

25. What is the planned/posted capacity 97, 4000 Sqr. Ft.
26. What is the minimum number of employees that will be on premise 6
27. Is the storeowner willing to be a standing complainant regarding loitering? ☐ Yes ☒ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☒ No
28. Is the interior of the location neat and clean? ☒ Yes ☐ No
29. Does an interior camera face the entrance/exit? ☐ Yes ☒ No
30. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: 0
33. How will they be deployed: Interior Exterior
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wanding/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☒ Other Staff to ID at service
38. When at capacity, how will the overflow crowd be managed? N/A
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

- Application to re-open Brown Bottle Pub.
- Applicant currently does not hold a license in the state of WI.
- \$500K planned in renovation of 4000 Sqr. Ft. space.
- No security surveillance planned for interior of business.

MILWAUKEE POLICE DEPARTMENT
LICENSE INVESTIGATION UNIT

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS
SYNOPSIS

DATE: 05/31/12

LICENSE TYPE: BTAVN

No. 149688

NEW:

Application Date: 05/31/12

RENEWAL: X

Expiration Date:

License Location: 221 W Galena Street

Aldermanic District: 03

Business Name: Libiamo Restaurant

Licensee/Applicant: Cannestra, Dean M

(Last Name, First Name, MI)

Date of Birth: 07/31/57

Male:

Female:

Home Address: 1025 E Pearson Street

City: Milwaukee

State: Wi

Zip Code: 53202

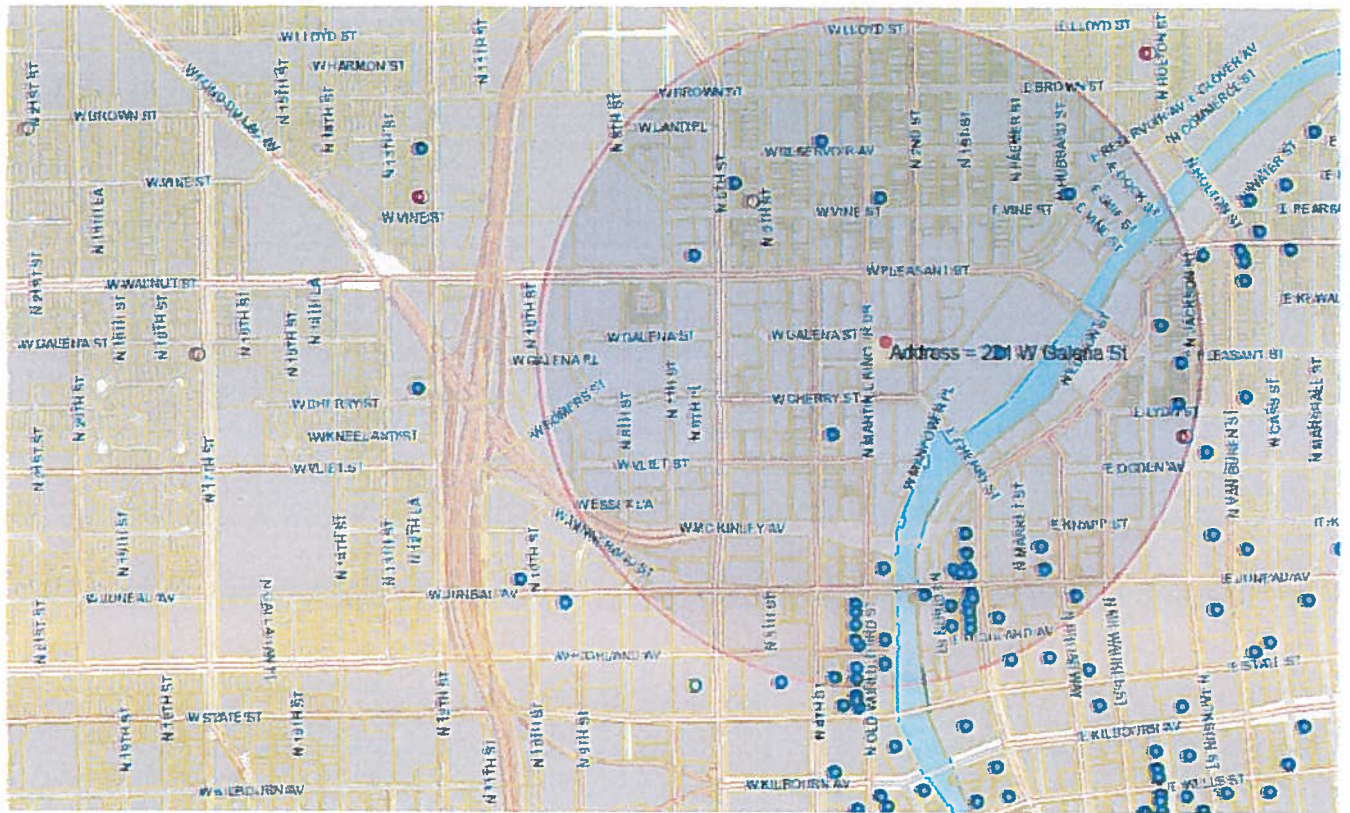
Home Phone: (414) 788-3825

This report is written by Police Officer Kristyn Kukowski, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 11/08/08 at 3:30 am, Milwaukee police were dispatched to 221 W Galena Street for an Entry complaint. Investigation revealed that the owners son entered the business with some friends who were going to make some pizzas. The son did not remember the pass code for the alarm and called the alarm company to have the alarm cancelled. Security at this time arrived on scene and observed several subjects inside the business and called police. Owner Dean Cannestra arrived on scene and police advised Cannestra of what occurred. The call was advised.

=====



License Summary:						Total				
Class A Fermented Malt Beverage Retailer's License						1				
Class A Malt & Class A Liquor License						1				
Class B Fermented Malt Beverage Retailer's License						1				
Class B Tavern License						44				
Class C Wine Retailer's License						1				
Expiration date	Legal entity	Trade name	Licensee	Address				License type name	Total capacity	Room capacity
6/15/2015	AZZAM CO, LLC	PENNY SAVER FOODS	TAMER M AZZAM, Agt	510	W	VINE	ST	Class A Fermented Malt Beverage Retailer's License		
10/23/2014	MEGA MARTS, LLC	PICK 'N SAVE #6868	NEIL F WALLACE, Agt	605	E	LYON	ST	Class A Malt & Class A Liquor License		
12/19/2014	The Noodle Shop, Co. - Colorado, Inc.	Noodles & Company	KATIE M ENSALDO, Agt	544	E	OGDEN	AV	Class B Fermented Malt Beverage Retailer's License		
5/19/2015	1209 WATER ST, INC	BROTHERS BAR & GRILL	MARC R FORTNEY, Agt	1209	N	WATER	ST	Class B Tavern License	368	
11/30/2014	AIMBRIDGE CONCESSIONS, INC	ALOFT MILWAUKEE DOWNTOWN	RYAN R MIYAMOTO, Agt	1230	N	OLD WORLD THIRD	ST	Class B Tavern License	160	Remix area cap 50, WXYZ area cap 46

2/7/2015	AJ Bombers MKE, LLC	AJ Bombers	JOSEPH J SORGE, JR, Agt	1245	N	WATER	ST	Class B Tavern License	160	
6/30/2015	Art's Performing Center	Art's Performing Center	LYLE C MESSINGER, SP	144	E	Juneau	AV	Class B Tavern License	80	
10/12/2014	BAR NONE MILWAUKEE, LLC	BAR NONE	DEREK S GRAMS, Agt	1139	N	WATER	ST	Class B Tavern License	60	
9/24/2014	BC At Turner Hall, LLC	Turner Hall Restaurant	Brian J Dworak, Agt	1038	N	4th	ST	Class B Tavern License	480	
5/4/2015	BKRG ENTERPRISES OF MILWAUKEE, LLC	MOLLY COOL'S SEAFOOD TAVERN	Kellie A. Frey, Agt	1110	N	OLD WORLD THIRD	ST	Class B Tavern License	741	
7/26/2014	BL RESTAURANT OPERATIONS, LLC	BAR LOUIE	Amanda K Utter, Agt	1114	N	WATER	ST	Class B Tavern License	300	
3/20/2015	Blazin Wings, Inc	Buffalo Wild Wings #407	Daniel G Cullen, Agt	1123	N	WATER	ST	Class B Tavern License	253	
11/29/2014	BOOBY JDK, LLC	McGillycuddy' s Bar & Grill	ANDREW C DEUSTER, Agt	1133	N	Water	ST	Class B Tavern License	300	
10/11/2014	BOTTOMS-UP BARTENDING SERVICE LLC	RED LINE MILWAUKEE	RICHARD L CULLEN, II, Agt	1422	N	4TH	ST	Class B Tavern License	49	
11/1/2014	BREEZES	BREEZES	NANCY M BLALOCK, SP	340	W	RESERVOIR	AV	Class B Tavern License		
10/17/2014	BREW CITY BAR B Q, INC	TRINITY THREE IRISH PUBS	ROBERT C SCHMIDT, JR, Agt	125	E	JUNEAU	AV	Class B Tavern License	833	
6/15/2015	BRICK 3 PIZZA, LLC	BRICK 3 PIZZA	RICHARD J BARRETT, Agt	1107	N	OLD WORLD THIRD	ST	Class B Tavern License	57	
5/20/2015	Carson's Ribs of Milwaukee, LLC	Carson's	RICHARD J BARRETT, Agt	301	W	Juneau	AV	Class B Tavern License	150	
5/23/2015	Cheese Mart, Inc	Wisconsin Cheese Mart	KENNETH J MC NULTY, Agt	215	W	Highland	AV	Class B Tavern License	133	
10/11/2014	CUS MILWAUKEE, LLC	COYOTE UGLY SALOON	BRIAN C RANDALL, Agt	1131	N	WATER	ST	Class B Tavern License	304	
7/1/2015	D & S Food Services, Inc	Schlitz Park Cafe	Judith A Schieffer, Agt	1555	N	RIVERCENTER	DR	Class B Tavern License		

6/18/2015	DJ ENTERPRISES I, INC	GRACE CENTER	JOAN M GROH, Agt	250	E	JUNEAU	AV	Class B Tavern License	330	
11/4/2014	Hotel of the Arts, LLC	Days Inn & Suites	PRABHU KASTHURIRAN GAIAN, Agt	1840	N	6TH	ST	Class B Tavern License	55	55 - Tavern only(?)
11/25/2014	KEN ELLIOT'S, INC	SCOOTERS PUB / DUKES ON WATER	Elizabeth B Brahe, Agt	150	E	JUNEAU	AV	Class B Tavern License	400	
10/11/2014	LANDFALL II, LLC	POINTS EAST PUB	LORI A HASSETT, Agt	1501	N	JACKSON	ST	Class B Tavern License	160	
11/1/2014	Lucille's Dueling Piano Bar, LLC	Lucille's Dueling Piano Bar & Grill	Mark A Rebholz, Agt	1110	N	OLD WORLD THIRD	ST	Class B Tavern License	320	
9/22/2014	LUKE'S OF MILWAUKEE, LTD	RED ROCK SALOON MILWAUKEE	JEFFREY A KOVACOVICH, JR, Agt	1225	N	WATER	ST	Class B Tavern License	390	
11/22/2014	Mader's German Restaurant, Inc	Mader's German Restaurant	DANIEL J HAZARD, Agt	1037	N	Old World Third	ST	Class B Tavern License	370	120 - upper 272 - lower
10/15/2014	Maz, Inc	The Curve	DANIEL G FITZGIBBONS, Agt	1620	N	Water	ST	Class B Tavern License	80	
6/23/2015	MILWAUKEE 0020, LLC	SUITE	JACOB E DEHNE, Agt	1101	N	OLD WORLD THIRD	ST	Class B Tavern License	288	
5/19/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	1245	N	BROADWAY	Null	Class B Tavern License	2759	Foyer - 600, Lounge/Meeting Room - 400, Upper Foyer - 160, Field House - 1533, Hall of Fame Room - 66
3/7/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	1120	N	BROADWAY	Null	Class B Tavern License	208	
10/11/2014	NENE 12, LLC	TOTALGAME SPORTS BAR	JOHN R MOORE, Agt	1806	N	MARTIN L KING JR	DR	Class B Tavern License	99	
9/21/2014	OLD WORLD, LLC	BUCKHEAD SALOON	JACOB E DEHNE, Agt	1044	N	OLD WORLD THIRD	ST	Class B Tavern License	750	
11/8/2014	PABST THEATER CONCESSIONS, LLC	TURNER HALL BALLROOM	BRYAN A CONTI, Agt	1040	N	4TH	ST	Class B Tavern License	987	Main floor - 607, Balcony - 380

2/4/2015	Pourman's LLC	Pourman's	BENJAMIN A HEBL, Agt	1127	N	Water	ST	Class B Tavern License		
12/19/2014	Premier Milwaukee, LLC	Ugly's Pub	FLOYD D BOWIE, Agt	1125	N	Old World Third	ST	Class B Tavern License		
7/5/2015	PRINCE HALL DOERS CLUB	PRINCE HALL DOERS CLUB	JOHN L GIVHAN, Agt	600	W	WALNUT	ST	Class B Tavern License	300	
6/2/2015	RIVER HOUSE RESTAURANT, INC	RUDY'S MEXICAN RESTAURANT	ROBERT C SCHMIDT, JR, Agt	1122	N	EDISON	ST	Class B Tavern License	150	
11/29/2014	Rogues Gallery, LLC	Rogues Gallery	Nathan S Showers, Agt	134	E	Juneau	AV	Class B Tavern License	290	1st Floor - 140, 2nd Floor - 50, Beer Garden - 50 (Beer Garden - 100 with 2 Portable Restrooms)
10/30/2014	SANFORD RESTAURANT, INC	SANFORD RESTAURANT	Justin L Aprahamian, Agt	1547	N	JACKSON	ST	Class B Tavern License	80	
9/3/2014	The Chalk House MKE LLC	The Loaded Slate MKE	Joseph M Kuntz, Agt	1137	N	Old World Third	ST	Class B Tavern License	99	
9/15/2014	THE HARP IRISH PUB, INC	THE HARP	ROBERT C SCHMIDT, JR, Agt	113	E	JUNEAU	AV	Class B Tavern License	134	99 inside 35 patio
6/18/2015	TUTTO PROMOTIONS, LLC	TUTTO	SALVATORE G SAFINA, Agt	1033	N	OLD WORLD THIRD	ST	Class B Tavern License	600	300 First Floor, 300 second floor
9/14/2014	WATER STREET BREWERY, INC	WATER STREET BREWERY	ROBERT C SCHMIDT, JR, Agt	1101	N	WATER	ST	Class B Tavern License	300	
10/22/2014	Wolf Peach, LLC	Wolf Peach	GINA M GRUENEWALD , Agt	1818	N	Hubbard	ST	Class B Tavern License		
9/22/2014	WTRWKS, LLC	ROSIE'S WATERWORK S	JAMES P PACK, Agt	1111	N	WATER	ST	Class B Tavern License	144	
12/19/2014	The Noodle Shop, Co. - Colorado, Inc.	Noodles & Company	KATIE M ENSALDO, Agt	544	E	OGDEN	AV	Class C Wine Retailer's License		

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:
 - g-1. Disturbance of the peace.
 - g-2. Illegal drug activity.
 - g-3. Public drunkenness.
 - g-4. Drinking in public.
 - g-5. Harassment of passers-by.
 - g-6. Gambling.
 - g-7. Prostitution.
 - g-8. Sale of stolen goods
 - g-9. Public urination.
 - g-10. Theft.
 - g-11. Assaults.
 - g-12. Battery.
 - g-13. Acts of vandalism, including graffiti.
 - g-14. Excessive littering.
 - g-15. Loitering.
 - g-16. Illegal parking.
 - g-17. Loud noise at times when the licensed operation is open for business.
 - g-18. Traffic violations.
 - g-19. Curfew violations.
 - g-20. Lewd conduct.
 - g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.
- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

Stockhouse, LLC
1555 N Rivercenter DR #209

Milwaukee, WI 53212

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern and Food Dealer - Restaurant License Applications
DENNY, Samuel H, Agent
The Brown Bottle at 221 W Galena St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☐ Free Standing Building

☐ Strip Mall

☒ Other

Ground Floor of Stockhouse - 221 W Galena

2. Describe Premises Structure

☐ Single Story

☒ Multi-Story - # of Stories

7
☐ Other

3. Describe Surrounding Area

☒ Commercial

☐ Residential

☐ Industrial

☐ Other

4. Premises Location

 a) ☐ Major Thoroughfare

☒ Secondary Street

☐ Other

Galena Street

b) Nearest Cross Street

MLK

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital?

☒ Yes ☐ No

6. Miscellaneous Business Questions

a) Proposed Opening Date:

8-15-2014

 b) Is this premise under construction? ☒ Yes ☐ No

If yes, list estimated completion date:

8-15-2014

 c) Is this a franchise? ☒ Yes ☐ No

 d) Is this premises currently licensed? ☐ Yes ☒ No

If yes, list type of license:

 e) Is the current licensee operating? ☐ Yes ☒ No

If no, list date closed:

f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)

☒ Occupancy Permit

☐ Cigarette & Tobacco

☐ Gas Station

☐ Extended Hours

☐ Other:

 g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No

If yes, explain:

7. Food

 Will food be served on the premises? ☐ No ☒ Yes

If yes, a Food Dealer license is required.

 Check all that apply: ☒ Prepackaged Food ☒ Snacks ☒ Appetizers ☒ Catered Events

☒ Full Meals - Hours of Food Service: From

To

A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

A restaurant with a bar that will also do events

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☒ Licensee ☒ Building Owner ☒ Employees ☒ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☒ Security ☒ Manager approaches customer(s) ☒ Call Police
☐ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: Unknown at this time Locations: Unknown at this time - under construction
Outside: 2 Locations: Behind the BuildingIs a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): Two New Bathrooms adjacent to the restaurant spaceProvide name of solid waste contractor: Eagle Disposal**11. Security**Are there parking spaces on the premises? ☒ No ☐ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☐ No ☒ Yes If yes, describe security provisions Building Loading AreaDo you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☒ No ☐ Yes If yes, list all locations: _____Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 15 % Food Sales 65 % Entertainment — % Other 20 %**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> Full Service Restaurant | <input checked="" type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Hotel | <input type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)67 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	11:00am	9 p.m.	250	25-65	None
Monday	11:00 am	10 p.m.	250	25-65	
Tuesday	11:00 am	10 p.m.	250	25-65	
Wednesday	11:00 am	10 p.m.	250	25-65	
Thursday	11:00 am	10 p.m.	250	25-65	
Friday	11:00 am	11 p.m.	250	25-65	
Saturday	3:00 pm	12 am	250	25-65	

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday, unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: Stock House LLC Phone Number: 414-222-6302
Address: 855 N River Center Drive Suite 209 Milwaukee 53212
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☒ No ☐ Yes
If no, list the name and address of the person(s) who will: Judy Schieffer, 16300 W Silver Spring Drive, Menomonee Falls, WI 53051
Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.
- d) Does anyone else have money invested or any other interest in this business? ☐ No ☒ Yes
If yes, explain: Davens/D'S Food Services, Inc.
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☐ No ☒ Yes If yes, list name and address: Davens/D'S Food Services, LLC 16300 W Silver Spring Drive Menomonee Falls, WI
- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts
- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☒ No ☐ Yes
Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- Be in the same legal entity name as that apply for the license
- Reflect the same address as the premises address on this application
- Reflect current dates and
- Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)a) Do you own or lease the building? ☐ Own ☒ Leaseb) Who owns the fixtures (for example, coolers, etc.)? Stockhouse LLCc) Are you purchasing the stock and/or fixtures? ☐ No ☒ Yes If yes, amount paid \$ still in processd) Total amount paid for business \$ 0e) Total amount paid for goodwill of the business \$ 0

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☒ Yes**19. Lease Information (new & transfer applicants who are leasing the premises only)**a) Date lease begins 8-15-2014 Ends 8-31-2020b) Monthly rental \$ 0c) Do you have an option to renew the lease? ☒ No ☐ Yesd) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☐ Yese) For what length of time have you been guaranteed occupancy (number of years)? 6f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☒ No ☐ Yes If yes, explain _____g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes
If yes, explain _____**20. Change of Agent Applicants Only**Have there been any changes to the floor plan since the last application was submitted? ☐ No ☐ Yes

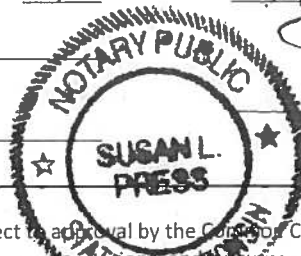
If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants

SUBSCRIBED AND SWORN TO BEFORE ME

This 30th day of JUNE, 20 14Susan L. Press
(Clerk/Notary Public) SUSAN L. PRESSMy Commission Expires JAN 15, 2017

*Notary Seal must be affixed.

[Signature]
Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Commission Council.

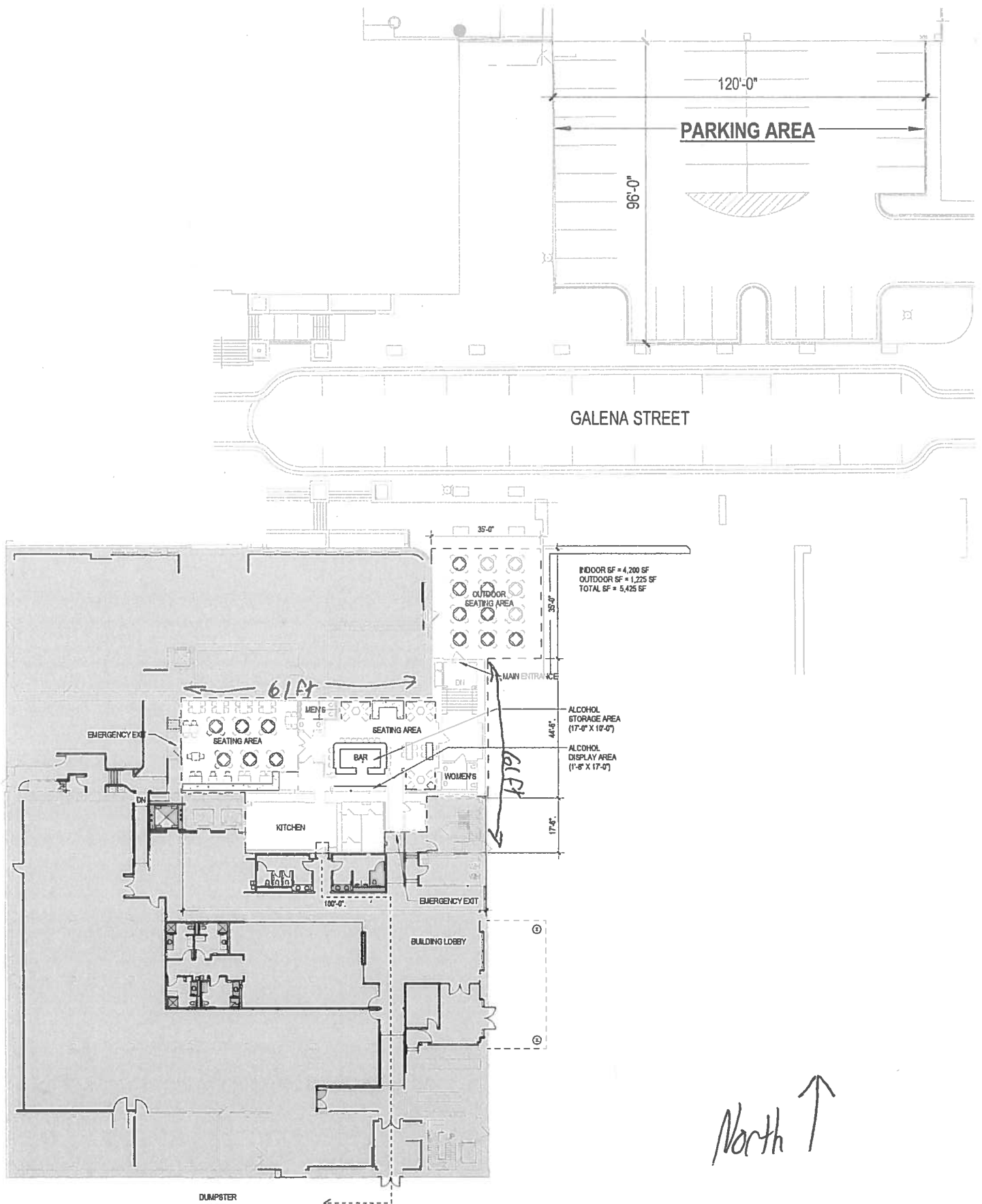
Deviating from approved plan of operation will subject licensee to citations, fines, suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.

MARTIN LUTHER KING JR BLVD



THE BROWN BOTTLE
THE BROWN BOTTLE LLC, AGENT: SAM DENNY
221 W. GALENA ST
DATE: JUNE 30, 2014



FOOD DEALER SUPPLEMENTAL APPLICATION / FOOD OPERATION PLAN

OFFICE OF THE CITY CLERK, LICENSE DIVISION

CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •

(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

1. Application Type

Indicate the application type and complete the corresponding section.

☒ **New application (fee is \$300).** For new applications, answer questions below and then continue on to section 2.

Is this a simple change of ownership (no change in food operation) or a new establishment?

☐ Taking over existing operating licensed food business

☒ New establishment (anything other than a simple change of ownership)

Provide a brief description of the food establishment.

Reopening of the legendary and historic Brown Bottle in Schlitz Park.

What is the anticipated opening date or date of change of ownership: *8-1-2014*

☐ **Site Evaluation - Optional (fee is \$100)** Site evaluations are optional, and done only upon request. The purpose of the site evaluation is to assess the suitability of a prospective site for use as a food establishment.

☐ **Modification or amendment** to an existing food license or public health approved operational plan. For modifications/amendments to existing establishments, both the operator and establishment cannot be different then on existing license or the application is considered new. Answer the two questions below (including the follow up detail if applicable) and then continue on to section 2.

What facilities (equipment or building) change(s) are you planning (check all that apply):

☐ Construction or renovation (fee is \$200)

☐ Significant equipment change without construction or renovation (fee is \$50)

☐ Adding an additional site at the same premises where food will be prepared/processed or sold (fee is \$100 per additional site)

☐ No equipment or renovations are being planned

What changes are being proposed to the food operation or specialized approvals are being requested (Note: \$75 operational change fee is charged only once even if multiple items are checked):

☐ Substantial changes to the menu including the type or complexity of food processing (fee is \$75)

Briefly describe proposed changes

☐ Adding processing when no processing was previously performed, or adding additional types of processing (fee is \$75)

☐ Requests for modifications or variances to public health food code requirements or the review of a specialized process requiring health department approval prior to implementation (fee is \$75)

Indicate specialized processes/variances requested (check all that apply):

☐ Acidified Rice

☐ Bare Hand Contact to Ready to Eat Foods

☐ Curing

☐ Dogs in Outside Dining Areas

☐ Non-continuous Cooking

☐ Peddler Base

☐ Reduced Oxygen Packaging

☐ Other, specify

☐ Sale without Consumer Advisory

☐ Shellfish - Comingling

☐ Shellfish - Display Tanks

☐ Smoking

☐ Sprouting

☐ Time as a Public Health Control

☐ Wild Game

☐ Amending existing license to reflect an increase in annual gross sales or change in food operation (fee is the difference in the cost between the food licenses plus \$25 for transfer fee)

☐ No significant changes are being proposed in how food is prepared/processed or substantial menu changes. No addition of specialized process or activities requiring approval is being requested (no fee)

190274

2. Premises Description

Will food be prepared or sold at a single or multiple food preparation and/or sale sites: ☒ Single ☐ Multiple

If multiple sites will be used, how many distinct sites will be used? 1

List all sites and briefly describe the nature of the food activities at each site:

Note: Multiple sites may require more than one license or an additional site license depending upon the food activity conducted at any one site.

Indicate where on the premises food will be sold, served, consumed and/or stored: ☐ 1st Floor ☐ 2nd Floor ☐ Rooftop ☐ Basement

☒ Other Floor, specify Ground

☐ Other location, specify _____

Are any outdoor operations planned? ☒ Yes ☐ No ☐ Unknown

What activities will be conducted outdoors (check all that apply)

☒ Bar

☒ Cooking/grilling

☒ Dining – Patio

☐ Dining – Sidewalk (DPW permit required)

☐ Storage

☒ Other, specify Adjacent green space for special event

Seating provided on site for dining? ☒ Yes ☐ No

If yes, what is the seating capacity both inside and outside? 100

If yes, are there additional banquet facilities other than the main dining area? ☐ Yes ☐ No

Total square footage of the establishment (exclude space utilized for other purposes other than food) _____

Annual Gross Food Sales: 1.0 million

Sales Based on: ☐ Previous Year ☐ Previous Establishment ☒ Best Estimate

Note: Inspector will request to review receipts periodically to validate if establishment has the appropriate license.

Number of Full Time Employees _____

Number of Part Time Employees _____

The following items must be included with a new application:

- ☐ Site Plan/Floor Plan: Site plan must identify the building in relation to streets, sidewalks, parking & garbage area.
- ☐ Shared Kitchen Agreement, if applicable: If not using your own establishment as your base, provide a written and signed commissary agreement. The agreement must include a list of all services provided by the commissary, such as restroom use, dry goods storage, use of refrigerator space (including the number of cubic feet of refrigeration space allocated to you), etc.

The following items must be submitted to inspector, prior to approval of inspection.

- ☐ Floor Plan: The plan must show the location of all equipment (sinks, refrigeration, stoves, ware-washing, etc.), plumbing, electrical services, mechanical ventilation, storage areas and restrooms. Plans must be a minimum of 11 X 14 inches in size including the layout of the floor plan accurately drawn to a minimum scale of ¼ inch = 1 foot. Plans may be submitted in an electronic format.
- ☐ Equipment List: Provide the make and model number of all significant equipment (cooking, cooling, warewashing, etc.) All food equipment must be ANSI/NSF certified. No home-style equipment is allowed. Equipment specification sheets do not have to be provided at the time of submission, but must be provided upon Health Department request.
- ☐ Finish Materials List: Provide a list of all finish materials (floors, walls, ceilings, counter tops). Surfaces must be smooth, nonabsorbent and easily cleanable, and ceramic, porcelain or quarry tile must have set in base cove.
- ☐ Lighting Plan: Provide a list of all light fixtures to be used in the food establishment. All light used in any food prep or storage areas must be shielded or covered and flush or integral to the ceiling. Lighting in food preparation area must meet minimum illumination standards defined in the WI Food Code.
- ☐ Pest Management Plan: Describe the establishments integrated pest management plan. Describe strategies to prevent pest entry into the food establishment & harborage of pests. Identify if a licensed pest control service has been contracted, provide the name of the company and frequency of service.

3. Construction, Renovations, Kitchen Equipment Changes or Remodeling

Any construction, remodeling or equipment changes planned? ☒ Yes ☐ No If no, skip to section 4.

Scope of the planned project?

- ☒ New construction or conversion of an existing structure to be used as a food establishment
- ☒ Renovation/remodeling impacting 300ft² or more than of food preparation or display area
- ☐ Renovation/remodeling impacting less than 300ft² of food preparation or display area
- ☐ Renovation/remodeling limited to the installation/change/replacement of food equipment

Provide a brief summary of the proposed construction, remodeling and/or equipment change:

Complete renovation of the Brown Bottle restaurant including new kitchen, new furniture and fixtures.

Note: Building permits may be required, contact the Department of Neighborhood Services

Date alterations/changes planned to begin

7/31/14

Contact information for general contractor

Titan Building Company - 262-754-3888 x103 24454 S 17th Ave New Berlin WI 53146

Contact information for architect

Epstein Usher Architects - 75 Markey 291-8188 933 E. Chicago St Milwaukee WI 53202

4. BUSINESS TYPE

Overall Establishment Type (select the one that best describes the proposed business)

- ☐ Bed and Breakfast
- ☐ Commissary or Mobile Food Peddler Base – a commercial kitchen used for the production of food to be served or sold at another location; a base of operations for a mobile food peddler where the vehicle, cart or unit which is used at a minimum for the service or cleaning of the peddler vehicle, cart or container. A base of operations for a caterer or seasonal market vendor for the preparation of food.
- ☐ Community Food Program – free meal site or food pantry. Any site in which all food is provided free of cost to those in need or to organizations who serve person's in need.
- ☐ Distiller or Brewer – facilities that are primarily engaged in the production of alcoholic beverages
- ☐ Food Distributor – a business that transports food for sale to retail and wholesale establishments and does not perform any processing or repacking of food items

Is food stored on site ☐ Yes ☐ No

- ☐ Food Manufacturer - commercial operation that produces, packages, labels, or stores food for human consumption, but primarily does not provide food directly to a consumer, food is sold to distributors, retailers or restaurants, there may be a small store on site where only the manufacturers products are sold, but the majority of product is sold to other licensed food establishments

Is there a retail store onsite? ☐ Yes ☐ No

- ☐ Food Store – a food establishment either mobile or permanent in which the majority of food sales consist of beverages or multi-serving food products requiring further preparation prior to consumption, examples of food stores include bakeries, grocery stores, convenience stores, coffee shops, liquor stores. Food stores include business whose primary business is other than food, but offer convenience food items.

Are you considered a convenience food store? ☐ Yes ☐ No

A convenience food store contains less than 5,000 sq ft of retail sales space AND has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food

- ☐ School – educational institution including elementary, middle and high schools, technical schools, colleges and university, where food service is limited to students (no sales to faculty or general public)
- ☒ Restaurant – a food establishment either mobile or permanent in which the majority food sales consist of meals

5. FOOD OPERATION SCOPE

Type of Sales (check all that apply, even if it reflects a small percentage of the proposed business)

- ☒ Made directly to the general public or end consumer (includes internet sales)
- ☐ Made to other food establishments (wholesaler, distributors, retail or restaurants) who will resell your product(s)

What percentage of your planned food sales will be meals versus grocery items?

100

% from meals (ready-to-eat food sold to in single portions)

% from grocery items (multi-serving food products, typically requiring preparation before serving, includes beverages, bakery items and raw produce)

Will 25% or more of your sales be to highly susceptible populations (defined as persons with medical conditions, elderly, or preschool age children)?

☐ Yes ☒ No

Will customers be able to purchase food through a drive through? ☐ Yes ☒ No

Will customers be able to purchase food from a self-service salad or food bar? ☐ Yes ☒ No

Will food be prepared on site and then transported for sale or consumption at another location? ☐ Yes ☒ No

If yes, check all the reason why the food will be transported

☐ Catering ☐ Delivery ☐ Base for Mobile Food Peddler ☐ Base for temporary or seasonal food stand

☐ Other, specify

6. FOOD, FOOD PREPERATION, FOOD PROCESSING

For restaurants provide a copy of the proposed menu or a detailed menu of all the foods and drinks you will be serving.

For all other establishments provide a summary below of the brief types of food products being sold.

See Menu

Will any potentially hazardous food (food that requires temperature control) be offered for sale? ☒ Yes ☐ No

Examples of potentially hazardous foods are meats, dairy, poultry, eggs, cut tomatoes or leafy greens, cut melons, cooked rice, beans or potatoes, or garlic in oil.

Will food be prepared or processed on site (see list below for examples of food processing)? ☒ Yes ☐ No

If performing ANY processing, check the types of food processing that will be conducted:

If performing processing, will there be any processing of potentially hazardous food? ☐ Yes ☐ No

7. WEIGHTS AND MEASURES

Will any items be offered for sale by weight or by volume? ☐ Yes ☒ No

If yes, describe number and type of devices used:

A separate weights and measures license is required for each scale.

Will electronic scanning devices be used for pricing/check out? ☐ Yes ☒ No

If yes, how many devices will be used

A scanner license is required if using an electronic scanning device.

8. LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Sweep | <input checked="" type="checkbox"/> Pressure Wash | <input checked="" type="checkbox"/> Pick Up Litter |
| <input type="checkbox"/> Hired Maintenance | <input checked="" type="checkbox"/> Building Owner's Responsibility | <input checked="" type="checkbox"/> Garbage Cans Outside |
| <input type="checkbox"/> Other | | |

Who is responsible to keep the grounds clean?

- | | | |
|--|--|------------------------------------|
| <input type="checkbox"/> Licensee | <input checked="" type="checkbox"/> Building Owner | <input type="checkbox"/> Employees |
| <input type="checkbox"/> Hired Maintenance | <input type="checkbox"/> Other | |

How often will the grounds be cleaned?

- | | | |
|---|---------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> Daily | <input type="checkbox"/> Weekly | <input type="checkbox"/> Other |
|---|---------------------------------|--------------------------------|

How are noise issues addressed (check all that apply):

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Security | <input checked="" type="checkbox"/> Manager approaches customer(s) | <input checked="" type="checkbox"/> Call police |
| <input type="checkbox"/> Signs posted | <input type="checkbox"/> Other | |

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☐ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

9. HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	11 am	9 pm	250	N/A	
Monday	11 am	10 pm	250	N/A	
Tuesday	11 am	10 pm	250	N/A	
Wednesday	11 am	10 pm	250	N/A	
Thursday	11 am	10 pm	250	N/A	
Friday	11 am	12 am	250	N/A	
Saturday	11 am	12 am	250	N/A	

10. ISSUANCE OF LICENSE

Will any alcohol or intoxicating beverages be sold at the establishment? ☒ Yes ☐ No

If yes, what type of license do you have or will you be applying for (check all that apply)?

- ☐ Class A fermented malt beverage licenses
- ☐ Class A liquor licenses
- ☐ Class B fermented malt beverage licenses
- ☒ Class B liquor licenses
- ☐ Class C wine licenses








If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

☒ immediately so you can open your food business ☐ at the same time as the alcohol license

SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"

Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1.  I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2.  I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3.  I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4.  I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5.  I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6.  I understand that all of the above must be complete before my permit is eligible to be issued.
7.  I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, Sam Denny, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant: _____

Date: _____

6/30/14

Menus

The Brew

Espresso Drinks
Smoothies
Teas
Retail Coffees
Grab & Go Sandwiches & Salads
Bottled Beverages

The Brown Bottle

Appetizers & Bar Bites:

Hand beer battered yellow and white cheddar cheese curds fried to perfection.
Served with our house made butter milk ranch.

Fresh cut onion straws beer battered and piled high, and served with our Cajun marmalade

Local jumbo baked pretzel with our beer cheese sauce and stone-ground mustard.

Our soon to be famous sliders, choose from;
Hand pulled pork w/ chipotle BBQ and creamy sweet coleslaw all served on a fresh pretzel roll.

Fresh Angus beef steamed to perfection with onions and pickles all on a fresh baked potato roll.

Hand cut tenderloin grilled to perfection w/ bourbon glaze and caramelized onions served on a fresh baked pretzel roll.

Caprese Skewers. Heirloom tomatoes, fresh marinated pearl mozzarella and fresh basil topped with our balsamic reduction.

Lobster and crab dip, lobster and crab baked to perfection with cream cheese, fresh baby spinach and marinated artichoke hearts.

Sandwiches & Burgers

Our Turkey Club; Grilled smoked turkey, swiss cheese, candied apple wood smoked bacon, all topped off with spicy giardiniera and sweet blackberry preserve.

BLTA, our bacon, lettuce, tomato and avocado sandwich. All served on fresh baked potato bread and served with our roast red pepper sauce.

Dairyland Burger. Fresh Angus beef, grilled to perfection and served on a fresh brioche roll with caramelized onions, garlic cheese and sharp cheddar cheese spread.

Cajun Smokier Blue Burger. Our fresh Angus beef topped with cajun seasoning, moody blue smoked blue cheese and caramelized onions

American Kobe Burger. Kobe beef grilled up just right and topped with a soy mushroom reduction and a bacon, onion jam.

Brown Bottle Burger, A 8 oz. patty grilled to perfection and add your choice of toppings.

Salads & Soups

Fresh rocket arugula topped with fresh avocado, strawberries and pistachio's tossed in a honey citrus vinaigrette. with your choice of fresh grilled chicken or shrimp.

Grilled Caesar, Fresh grilled heart of romaine all topped off with fresh grated parm, caesar dressing and capers.

Fresh grilled vegetables and chick pea tossed together on a bed of spring mix and pickled beets and pears in our honey citrus vin.

Traditional wedge salad served with smoked blue cheese, tomatoes, candied bacon and our buttermilk ranch dressing.

Watermelon gazpacho blended fresh and topped with lime gelato.

Dinner

Tomahawk Rib-eye grilled to perfection, topped with chef butter and seared with local fresh veggies and your choice of sides.

Pan seared airline chicken breast topped with a lemon butter sauce and served on a bed of wild rice.

Beer braised beef short ribs served with garlic mashed and natural pan drippings.

Chicken and Waffles. Fresh waffles with sharp white cheddar and jalapenos, Topped with our butter milk fried chicken tenders and a maple cream glaze.

Southern style grits infused with fire roasted poblano peppers and white cheddar. Topped with our sweet chili grilled shrimp.

Sushi-mi crusted Ahi tuna cooked rare and served on a bed of fresh pulled herbs with a wasabi vin.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 12

GERSONDE, Aaron R, Agent
Movida LLC
524 S 2ND St

Milwaukee, WI 53204

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "Movida LLC" for "Movida" at 524 S 2ND St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY:

Rebecca N. Grill

Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 12

GERSONDE, Aaron R, Agent
Movida LLC
8684 N Seneca Rd

Fox Point, WI 53217

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "Movida LLC" for "Movida" at 524 S 2ND St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:06/30/14
Officer: Efrain Cornejo

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Movida
Address: 524 S 2nd St
Phone: pending

Owner: Movida LLC
Owner address: 524 S 2nd St
City State Zip: Milwaukee, WI 53204
Owner Phone: (414) 213-3495
Owner email:

Licensee/Agent: Aaron R Gersonde
Home Address: 8684 N Seneca Rd
City State Zip: Fox Point, WI 53217
Phone: (414) 213-3495
Email: agleverage@gmail.com

Preferred contact: Aaron R Gersonde

Location currently open: ☐ YES ☒ NO

Projected open date: August 2014

Day's open: ☒S ☐M ☒T ☒W ☒Th ☒F ☒SA ☐ALL

Hours of Operation: Sun: 11A-12A ☐24 hours ☐Y ☒N
Mon: Closed
Tue: 4P-1A
Wed: 4P-1A
Thu: 4P-1A
Fri: 4P-2A
Sat: 4P-2A

Premise Type: ☐ Tavern/Bar
☒ Restaurant
☐ Other:

Licenses currently held:

Alcohol:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Class:	#:
Tobacco:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	#:	
Food:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	#:	
Other:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type:	#:
Other:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type:	#:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☐ Park
 - b. ☒ School
 - c. ☐ Youth Center
 - d. ☒ Church
 - e. ☒ Tavern(s) If so, how many 5
 - f. ☒ Residential
 - g. ☒ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☒ Yes ☐ No
4. Can you see the employees inside of the location from the outside ☒ Yes ☐ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☐ Yes ☒ No
8. Is the parking lot clean? ☐ Yes ☐ No
9. Is the parking lot well lit? ☐ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☒ No
 - b. Will this lot have cameras? ☐ Yes ☒ No
11. Are there areas where a person could conceal themselves ☐ Yes ☒ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☒ Yes ☐ No How Many: 2
16. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

17. Does this location have security cameras? ☒ Yes ☐ No
18. Are they in working order? ☐ Yes ☒ No
19. What format are the cameras?
 - a. Color ☒ Yes ☐ No
 - b. Digital ☒ Yes ☐ No
 - c. VCR ☐ Yes ☒ No
 - d. Recorded ☒ Yes ☐ No
20. How long is footage stored for later viewing: unknown
21. Are there exterior cameras ☒ Yes ☐ No How many: 2
22. Are there interior cameras ☒ Yes ☐ No How many: 4

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
24. Cameras located in parking lot ☐ Yes ☒ No How many

Interior Survey:

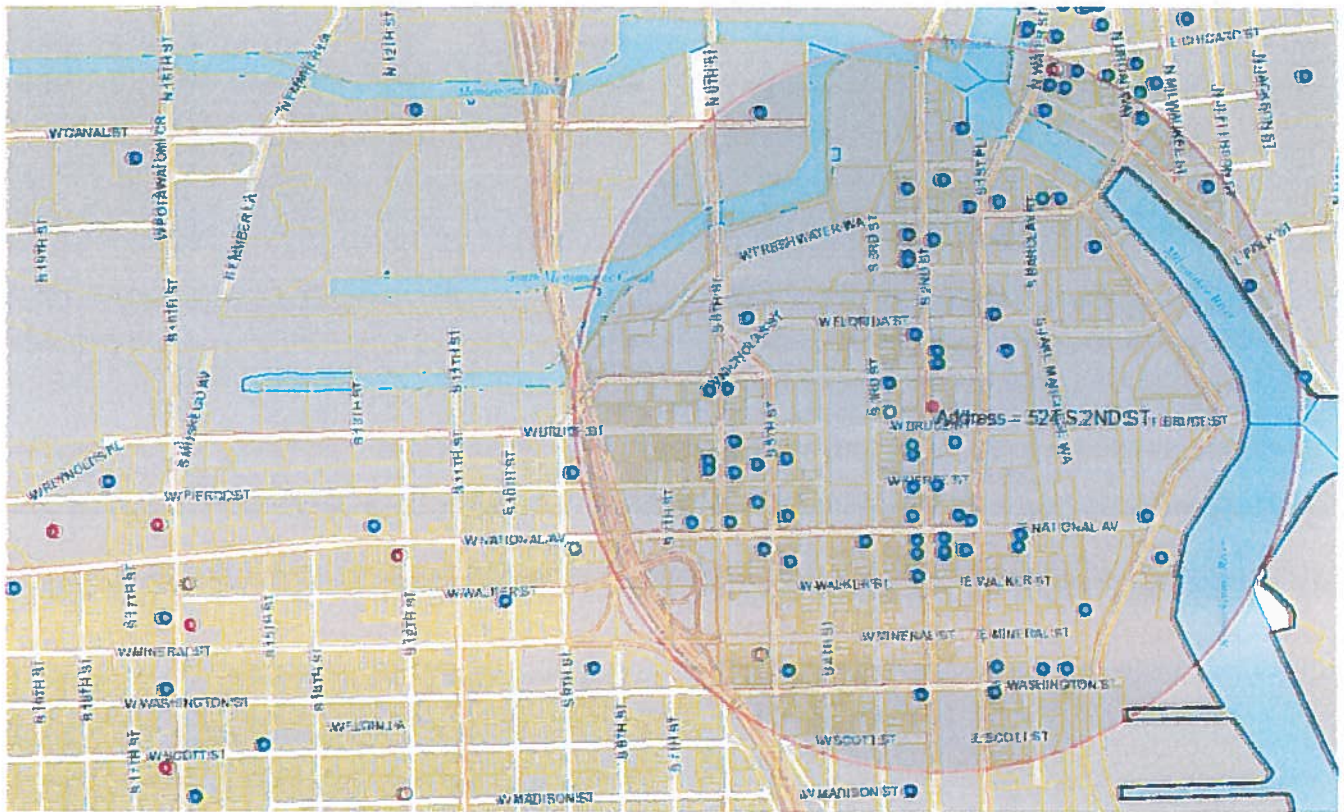
25. What is the planned/posted capacity planned 80-100
26. What is the minimum number of employees that will be on premise 8
27. Is the storeowner willing to be a standing complainant regarding loitering? ☐ Yes ☒ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☒ No
28. Is the interior of the location neat and clean? ☐ Yes ☒ No
29. Does an interior camera face the entrance/exit? ☒ Yes ☐ No
30. Are emergency and non-emergency numbers posted near the phone? ☐ Yes ☒ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: 0
33. How will they be deployed: Interior 0 Exterior 0
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wanding/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☐ Other
38. When at capacity, how will the overflow crowd be managed? Does not expect to get to capacity but will turn people away and will only allow people in after patrons leave.
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

Applicant stated he was opening a Spanish Tapas Cuisine restaurant and wanted to serve Spanish Cocktails. Applicant stated he will have a lounge area that will serve as a waiting area for patrons waiting to be seated. The lounge area is about 20ft x 20ft upper area level. It was recommended that he placed a cigarette dispenser on the outside and monitor noise from patrons on the outside that may be loud. The establishment has cameras installed but are not working at this time. Applicant was advised to place a camera near the entrance/exit and by the register area. The interior was still being remodeled and tables were not setup yet. The bar and kitchen were in place. The establishment appeared to be setup for a restaurant.



License Summary:						Total				
Class A Fermented Malt Beverage Retailer's License						1				
Class A Malt & Class A Liquor License						2				
Class B Fermented Malt Beverage Retailer's License						5				
Class C Wine Retailer's License						3				
Class B Tavern License						76				
Expiration date	Legal entity	Trade name	Licensee	Address				License type name	Total capacity	Room capacity
2/10/2015	LA TROPICANA	LA TROPICANA	SALWA B TALEB, SP	1011	S	5TH	ST	Class A Fermented Malt Beverage Retailer's License		
12/10/2014	CIRCLE K LLC	CIRCLE K PANTRY	ZIAD W KAID, Agt	130	N	WATER	ST	Class A Malt & Class A Liquor License		
1/15/2015	RAP US CORP	FINE VINEYARD	RAKESH REHAN, Agt	601	S	1ST	ST	Class A Malt & Class A Liquor License		

3/3/2015	Central Standard LLC	Central Standard Craft Distillery	William P McQuillan, Agt	613 S	2ND	ST	Class B Fermented Malt Beverage Retailer's License		
9/23/2014	Clutch Corp	Anodyne Coffee Roasting Co.	Matthew J McClutchy, Agt	224 W	Bruce	ST	Class B Fermented Malt Beverage Retailer's License		
7/22/2015	Giri Corporation	Stone Creek Coffee	Eric A Resch, Agt	158 S	Barclay	ST	Class B Fermented Malt Beverage Retailer's License		
5/8/2015	KARAMELAS INVESTMENTS INC	GYRO PALACE	NICK A KARAMELAS, Agt	602 S	2ND	ST	Class B Fermented Malt Beverage Retailer's License	75	
7/29/2014	TIMES SQUARE BISTRO & PIZZERIA INC	TIMES SQUARE BISTRO & PIZZERIA	MARK W KRUEGER, Agt	605 S	1ST	ST	Class B Fermented Malt Beverage Retailer's License	64	
7/25/2014	106 Seebboth, LLC	Winemaniacs On The River	Lorna L Mueller, Agt	106 W	Seebboth	ST	Class B Tavern License	124	
6/10/2015	5th Ward Entertainment, LLC	Black Sheep	Keith P Harenda, Agt	216 S	2nd	ST	Class B Tavern License	160	
12/20/2014	700 CLUB, LLC	SABBATIC	JAY K STAMATES, Agt	700 S	2ND	ST	Class B Tavern License	80	
7/22/2015	AP, LLC	AP Bar & Kitchen	PEGGY J MAGISTER, Agt	814 S	2nd	ST	Class B Tavern License		
5/20/2015	Blue Jacket LLC	Blue Jacket	Tom H Van Heijningen, Agt	135 E	National	AV	Class B Tavern License	88	

11/28/2014	BOOM, LLC	BOOM	DAVID G PANEK, Agt	623 S	2ND	ST	Class B Tavern License	271	
2/28/2015	BOTANAS RESTAURANT	BOTANAS RESTAURANT	MARTHA GONZALEZ, SP	816 S	5TH	ST	Class B Tavern License	533	373 plus 160 addition
9/19/2014	Braise Restaurant, LLC	Braise Restaurant	David K Swanson, Agt	1101 S	2nd	ST	Class B Tavern License	99	1st floor and basement storage
7/5/2015	Camacho's Bar, LLC	Camacho's Bar	JESUS M CAMACHO, Agt	631 S	6TH	ST	Class B Tavern License	49	
12/17/2014	Changolion Productions, LLC	Kana Mojito Club	ANGEL M VELAZQUEZ, Agt	626 S	5TH	ST	Class B Tavern License	359	
3/1/2015	CIELITO LINDO, LLC	CIELITO LINDO	RODRIGO R LOPEZ, Agt	733 S	2ND	ST	Class B Tavern License	198	
6/29/2015	CLUB ANYTHING	CLUB ANYTHING	TODD N NOVASIC, SP	807 S	5TH	ST	Class B Tavern License	160	
7/30/2014	COLGAN, LLC	THE IRISH PUB	REBECCA GOLDBERGER, Agt	124 N	WATER	ST	Class B Tavern License	210	160 1st floor and patio 50 2nd floor
12/12/2014	COMPROV, INC	COMEDY SPORTZ	Jason Manske, Agt	420 S	1ST	ST	Class B Tavern License	320	
6/30/2015	CONEJITO'S PLACE, INC	CONEJITO'S PLACE	THOMAS A MILLER, Agt	539 W	VIRGINIA	ST	Class B Tavern License	144	
5/12/2015	CRAZY WATER	CRAZY WATER	PEGGY J MAGISTER, SP	839 S	2ND	ST	Class B Tavern License	62	
2/4/2015	El Farol Bar, LLC	El Farol Bar	BEVERLYN GONZALEZ DEL TORO, Agt	636 S	6TH	ST	Class B Tavern License		
3/23/2015	FELIPE'S LATIN QUARTER	FELIPE'S LATIN QUARTER	LUIS M BELMONTES, SP	538 W	NATIONAL	AV	Class B Tavern License	80	
5/12/2015	FLUID, INC	FLUID	WILLIAM M WARDLOW, Agt	819 S	2ND	ST	Class B Tavern License	80	

10/1/2014	GEORGE'S PUB, INC	GEORGE'S PUB	GEORGE P VOMBERG, Agt	224 E	WASHINGTON	ST	Class B Tavern License	25	
4/8/2015	Gravity Marketing, LLC	RailHall	MICHAEL J KUHARSKE, Agt	131 W	Seeboth	ST	Class B Tavern License		
5/19/2015	HOT WATER NIGHT CLUB, LLC	HOT WATER/WH EHOUSE	PAUL P MUELLER, Agt	818 S	WATER	ST	Class B Tavern License	292	
6/13/2015	HTWA - Catalano Square	HTWA - Catalano Square	MICHAEL GARDNER, Agt	138 N	Broadway	Null	Class B Tavern License		
7/22/2015	Indulgence Chocolatiers LLC	Indulgence Chocolatiers	Julie A Waterman, Agt	211 S	2nd	ST	Class B Tavern License		
7/29/2014	IRON HORSE MILWAUKEE, LLC	THE IRON HORSE HOTEL	TIMOTHY J DIXON, Agt	500 W	FLORIDA	ST	Class B Tavern License	550	
10/11/2014	JACQUES, LLC	CHEZ JACQUES	JACQUES J CHAUMET, Agt	1022 S	1ST	ST	Class B Tavern License	164	
6/23/2015	Juto, LLC	Juto	Justin H Chan, Agt	605 W	Virginia	ST	Class B Tavern License	99	
4/11/2015	Konzak Enterprises, LLC	Zaks Cafe	Douglas R Konzak, Agt	231 S	2nd	ST	Class B Tavern License	99	
9/5/2014	KRUZ, LLC	KRUZ	SERGE PELLICELLI, Agt	354 E	NATIONAL	AV	Class B Tavern License	160	80 first floor 80 patio
12/12/2014	LA CAGE ENTERPRISES, LLC	LA CAGE	MICHAEL J JOST, Agt	801 S	2ND	ST	Class B Tavern License	815	1st floor and basement storage-480 2nd floor tavern and show lounge-200 Portion of lower level restaurant-90 Ground level patio-45

6/30/2015	LA FUENTE, LTD	LA FUENTE RESTAURANT	JOSE G ZARATE, Agt	625 S	5TH	ST	Class B Tavern License	579	
11/13/2014	LA MERENDA, INC	LA MERENDA	AUGUSTO P SANDRONI, JR, Agt	125 E	NATIONAL	AV	Class B Tavern License	146	
10/17/2014	LA PERLA, LLC	LA PERLA RESTAURANT	JOANNE A ANTON, Agt	730 S	5TH	ST	Class B Tavern License	117	
3/19/2015	LE CABARET, INC	SOLID GOLD	JOHN A URBAN, Agt	813 S	1ST	ST	Class B Tavern License	360	
5/19/2015	Levy Restaurants at Harley Davidson	Levy Restaurants at Harley Davidson	ANNIE M CHAMPEAU, Agt	401 W	CANAL	ST	Class B Tavern License	690	250 - Restaurant, 440 - Special Events Room
11/4/2014	LL Associates, LLC	La Casa de Alberto	Luis A Gonzalez, Agt	624 W	NATIONAL	AV	Class B Tavern License	49	
6/28/2015	LOLA'S, LLC	WALKERS PINT	ELIZABETH A BOENNING, Agt	818 S	2ND	ST	Class B Tavern License	150	93 inside. 57 out with 1 portable restroom
4/8/2015	LOUNGING AROUND, INC	Jynx Nightclub	SAMER L ASAD, Agt	715 S	5TH	ST	Class B Tavern License	320	2nd floor = 80; 1st floor = 240
5/21/2015	Love Goat, LLC	Rumor Lounge	Christopher Surges, Agt	161 S	1ST	ST	Class B Tavern License	150	
6/10/2015	Luxor Food Group, LLC	Prodigal	GUY W LAMBERG, Agt	240 E	Pittsburgh	AV	Class B Tavern License		
6/5/2015	MC ZAR'S, LLC	O'Lydia's Bar & Grill	Linda M Sackett, Agt	338 S	1ST	ST	Class B Tavern License	150	
7/26/2014	MILWAUKEE TABLE TENNIS, INC	Evo Milwaukee	SUSANNE M MAYER, Agt	233 E	CHICAGO	ST	Class B Tavern License	480	
9/19/2014	Next Act Theatre, Inc.	Next Act Theatre	CHARLES D KAKUK, Agt	255 S	Water	ST	Class B Tavern License		
4/10/2015	One Gray Fox, LLC	Circa 1880	Thomas E Hauck, Agt	1100 S	1st	ST	Class B Tavern License	99	

4/1/2015	Pasion Bar LLC	Pasion Bar	Deine J De La Rosa, Agt	625 S	6TH	ST	Class B Tavern License	75	
5/2/2015	PEPPER 200, LLC	Studio 200	STEPHEN G JASZKOWSKI, Agt	200 E	WASHINGTON	ST	Class B Tavern License	99	
9/5/2014	RELO CORPORATION	RIVERFRONT PIZZERIA BAR AND GRILL	BRENDA A REGENFELDER, Agt	509 E	ERIE	ST	Class B Tavern License	300	
7/29/2014	ROJU, INC	GINGER	ROSE A BILLINGSLEY, Agt	235 S	2ND	ST	Class B Tavern License	150	
6/14/2015	SCREAMING TUNA RESTAURANT, LLC	SCREAMING TUNA	Jeff T Bronstad, Agt	106 W	SEEBOTH	ST	Class B Tavern License	174	
10/13/2014	SHAKERS, INC	SHAKERS CIGAR BAR & WORLD CAFE	ROBERT G WEISS, Agt	422 S	2ND	ST	Class B Tavern License	144	
10/14/2014	Social Live	Social Live	ROBERT F SMITH, SP	906 S	BARCLAY	ST	Class B Tavern License	355	
6/28/2015	STACKED MILWAUKEE, LLC	STACK'D BURGER BAR	TIMOTHY J DIXON, Agt	170 S	1ST	ST	Class B Tavern License	249	1st Floor - 99, 2nd Floor - 150
11/12/2014	STENY'S, INC	STENY'S	JEROME L STENSTRUP, Agt	800 S	2ND	ST	Class B Tavern License	160	
2/7/2015	STRAIGHT AHEAD, INC	CAROLINE'S	CAROL R RUBITSKY, Agt	401 S	2ND	ST	Class B Tavern License	136	
3/22/2015	SURG Waterfront, LLC	SURG On The Water	OMAR L SHAIKH, Agt	102 N	WATER	ST	Class B Tavern License	290	
4/21/2015	Terra Restaurant Bar Inc	Terra Restaurant & Bar	Jenny Contreras, Agt	600 S	6TH	ST	Class B Tavern License	99	
9/23/2014	The Chef's Table LLC	The Chef's Table	David P Magnasco, Agt	500 S	3rd	ST	Class B Tavern License		
4/8/2015	The Red Arrow Bar, LLC	Little Whiskey Bar	LUIS D GARCIA, Agt	309 W	National	AV	Class B Tavern License	49	
6/30/2015	THE SALOON, LTD	JUST ART'S SALOON	ARTHUR R GUENTHER, Agt	181 S	2ND	ST	Class B Tavern License	70	

10/22/2014	THE TRIPLE BELT CORPORATION	D.I.X.	ELIZABETH J KUJAWA, Agt	739 S	1ST	ST	Class B Tavern License	180	
4/16/2015	THE V BAR, LLC	The Tin Widow	MICHELLE R HOFF, Agt	703 S	2ND	ST	Class B Tavern License	49	
3/20/2015	Theatre Unchained	Theatre Unchained	JAMES D DRAGOLOVICH , SP	1024 S	5TH	ST	Class B Tavern License	99	
4/16/2015	TRESSLER THIRD WARD, LLC	Hinterland Erie Street Gastropub	WILLIAM K TRESSLER, Agt	222 E	ERIE	ST	Class B Tavern License	300	
3/1/2015	TULIP RESTAURANT, LLC	TULIP	KORKUT B COLAKOGLU, Agt	117 N	JEFFERSON	ST	Class B Tavern License	165	
11/2/2014	VINO THIRD WARD, LLC	VINO 100 MILWAUKEE THIRD WARD	PAUL J MONIGAL, Agt	102 N	WATER	ST	Class B Tavern License	41	
4/10/2015	Wunderjak Enterprises, LLC	Fat Daddy's	STEFANI I JAKSIC, Agt	120 W	National	AV	Class B Tavern License	270	92 - First floor, 178 - Beer Garden
2/13/2015	ZAD'S, INC	ZAD'S	TERRY M ZADRA, Agt	436 S	2ND	ST	Class B Tavern License	160	
9/23/2014	Clutch Corp	Anodyne Coffee Roasting Co.	Matthew J McClutchy, Agt	224 W	Bruce	ST	Class C Wine Retailer's License		
7/22/2015	Giri Corporation	Stone Creek Coffee	Eric A Resch, Agt	158 S	Barclay	ST	Class C Wine Retailer's License		
7/29/2014	TIMES SQUARE BISTRO & PIZZERIA INC	TIMES SQUARE BISTRO & PIZZERIA	MARK W KRUEGER, Agt	605 S	1ST	ST	Class C Wine Retailer's License	64	

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:

- g-1. Disturbance of the peace.
- g-2. Illegal drug activity.
- g-3. Public drunkenness.
- g-4. Drinking in public.
- g-5. Harassment of passers-by.
- g-6. Gambling.
- g-7. Prostitution.
- g-8. Sale of stolen goods
- g-9. Public urination.
- g-10. Theft.
- g-11. Assaults.
- g-12. Battery.
- g-13. Acts of vandalism, including graffiti.
- g-14. Excessive littering.
- g-15. Loitering.
- g-16. Illegal parking.
- g-17. Loud noise at times when the licensed operation is open for business.
- g-18. Traffic violations.
- g-19. Curfew violations.
- g-20. Lewd conduct.
- g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.

- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

Dieter Wegner III
524 S 2ND St

Milwaukee, WI 53204

Date: 7/22/2014

Time: 08:15 AM

Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern and Food Dealer - Restaurant License Applications
GERSONDE, Aaron R, Agent
Movida at 524 S 2ND St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☒ Free Standing Building ☐ Strip Mall ☐ Other _____

2. Describe Premises Structure

☐ Single Story ☒ Multi-Story - # of Stories _____ ☐ Other _____

3. Describe Surrounding Area

☒ Commercial ☐ Residential ☐ Industrial ☐ Other _____

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
 b) Nearest Cross Street Bruce

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☐ Yes ☒ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: August 1st 2014
 b) Is this premise under construction? ☐ Yes ☒ No If yes, list estimated completion date: _____
 c) Is this a franchise? ☐ Yes ☒ No
 d) Is this premises currently licensed? ☐ Yes ☒ No If yes, list type of license: _____
 e) Is the current licensee operating? ☐ Yes ☒ No If no, list date closed: _____
 f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☐ Other: Food dealer license
 g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No
 If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.
 Check all that apply: ☐ Prepackaged Food ☐ Snacks ☒ Appetizers ☐ Catered Events
☒ Full Meals – Hours of Food Service: From 4:00 PM To 11:00 PM
 A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

We are offering authentic, creative Spanish Cuisine and craft cocktails.

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☒ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☒ Licensee ☐ Building Owner ☒ Employees ☒ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☒ Security ☒ Manager approaches customer(s) ☒ Call Police☒ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 7 Locations: Front door, Bar, Kitchen, Server stationOutside: 2 Locations: By the DoorIs a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): Clean and comfortableProvide name of solid waste contractor: Veolia**11. Security**Are there parking spaces on the premises? ☒ No ☐ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☐ No ☒ Yes If yes, describe security provisions: In front, during the daylight with peopleDo you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☐ No ☒ Yes If yes, list all locations: Front door and Cash registerAre searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 50 % Food Sales 50 % Entertainment _____ % Other _____ %**13. Businesses On The Premise (choose all that apply):****Type 1**☒ Full Service Restaurant ☐ Cafe/Coffee Shop ☐ Deli or Fast Food Restaurant ☐ Private/Fraternal/Veterans Club☐ Night Club ☐ Tavern ☐ Cocktail Lounge ☐ Teen Club☐ Bowling Alley ☐ Hotel ☐ Banquet Hall ☐ Sports Facility**Type 2**☐ Liquor Store ☐ Corner Store ☐ Supermarket ☐ Convenience Store☐ Gas Station ☐ Other _____**14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)**112 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	11:00 AM	12:00 AM	100	30-55	NONE ↓
Monday	Closed			30-55	
Tuesday	4:00 PM	1:00 AM	80	30-55	
Wednesday	4:00 PM	1:00 AM	90	30-55	
Thursday	4:00 PM	1:00 AM	110	30-55	
Friday	4:00 PM	2:00 AM	160	30-55	
Saturday	4:00 PM	2:00 AM 1:00 AM	160	30-55	

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: Dieter Wegner Phone Number: 414-737-0366
Address: 524 S 2nd St, Milwaukee, WI 53204
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☐ No ☒ Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

- d) Does anyone else have money invested or any other interest in this business? ☐ No ☒ Yes
If yes, explain: Other two partners - Andrei Primikow, Hemad Fadaifar
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☐ No ☒ Yes If yes, list name and address: Other two partners - Andrei Primikow, Hemad Fadaifar
- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts
- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☐ Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- Be in the same legal entity name as that apply for the license
- Reflect the same address as the premises address on this application
- Reflect current dates and
- Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☐ Own ☒ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? Building Owner - Dieter Wegner
- c) Are you purchasing the stock and/or fixtures? ☒ No ☐ Yes If yes, amount paid \$ _____
- d) Total amount paid for business \$ \$0
- e) Total amount paid for goodwill of the business \$ \$0
- Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.
- f) Have you made arrangements with the seller for payment of personal property taxes? ☒ No ☐ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 06/01/2014 Ends 06/01/2017
- b) Monthly rental \$ \$3500
- c) Do you have an option to renew the lease? ☐ No ☒ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☐ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 3 years
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☐ No ☒ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes If yes, explain _____

20. Change of Agent Applicants Only

- Have there been any changes to the floor plan since the last application was submitted? ☒ No ☐ Yes
- If a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**

This 11th day of JUNE, 20 14

(Clerk/Notary Public)

My Commission Expires MARCH 22, 2015

*Notary Seal must be affixed.

Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.

Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.

Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

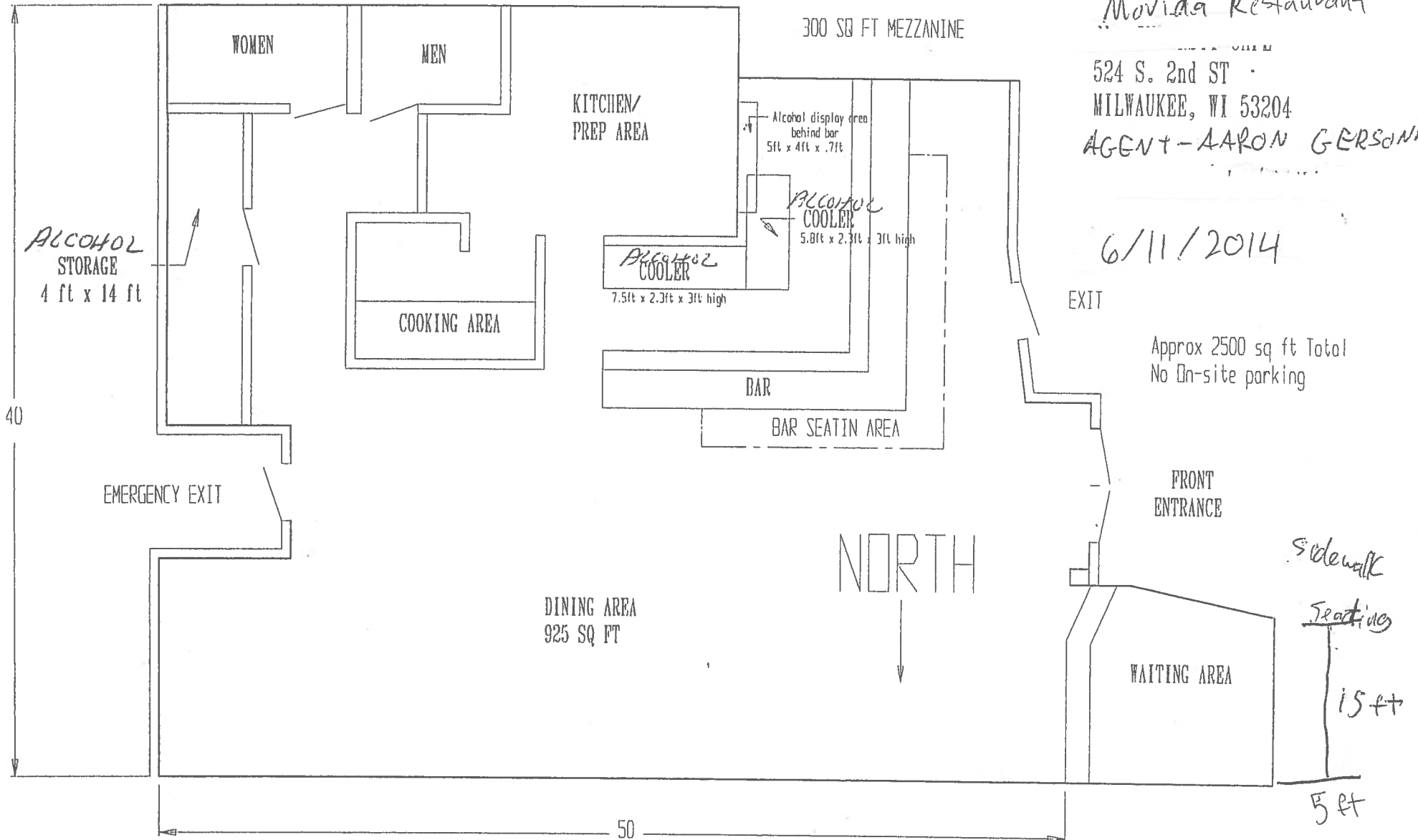
If you do not provide all required information, your application will be returned to you.

MOVIDA, LLC
Movida Restaurant

524 S. 2nd ST
MILWAUKEE, WI 53204

AGENT - AARON GERSONDE

6/11/2014



**BUSINESS APPLICATION****

**** MUST BE SUBMITTED WITH THE APPROPRIATE
SUPPLEMENTAL APPLICATION FOR THE TYPE
OF LICENSE FOR WHICH YOU ARE APPLYING**

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail: license@milwaukee.gov

ccl-bapp1

BUSINESS CONTACT INFORMATION

☐ Sole Proprietor ☐ Partnership ☒ LLC ☐ Corporation ☐ Other:

Legal Entity Name: **Movida LLC**Seller's Permit#: **45G-1028414858-02**Trade/DBA Name: **Movida**Phone: **414.213.3495**E-mail: **Contact@MovidaMKE.co**Premises Address (include city, state, zip code): **524 S. 2nd Street, Milwaukee, WI 53204**Mailing Address: ☒ Same as premises address ☐ Same as home address in Section 2
☐ Other (include city, state, zip code):**AGENT / SOLE PROPRIETOR / 1ST PARTNER INFORMATION**

FULL LEGAL NAME (Last, First & Middle Initial):

Gersonde, Aaron RDate of Birth: **05/20/1986**

Home Address (include city, state, and zip code):

8684 N. Seneca Rd., Milwaukee, WI 53217Driver's License Number/State ID #: **G625-0168-6180-07** State: **WI**Home Phone: **4142133495** Cell Phone: **4142133495** Email: **AGLeverage@gmail.com**Percent % of Ownership Interest: **50%****LIST ALL PERSONS WITH 20% OR MORE OWNERSHIP INTEREST / ADDITIONAL PARTNER(S)**

FULL LEGAL NAME (Last, First & Middle Initial):

Andrei, Primakow, R

Date of Birth:

04/11/1979

Home Address (include city, state, and zip code):

104 E. Mason St., Apt 302, Milwaukee, WI 53202Driver's License Number/State ID #: **P652-0137-9131-05** State: **WI**Home Phone: **4147932325** Cell Phone: **4147932325** Email: **Andrei@MovidaMKE.com**Percent % of Ownership Interest: **30%**

FULL LEGAL NAME (Last, First & Middle Initial):

Fadaifar, Hemad, R

Date of Birth:

01/28/1986

Home Address (include city, state, and zip code):

4080 W. Rivers Edge Circle, unit #17, Brown Deer, WI 53209Driver's License Number/State ID #: **F316-3208-6028-05** State: **WI**Home Phone: **4144056559** Cell Phone: **4144056559** Email: **hfadaifar@gmail.com**Percent % of Ownership Interest: **20%**☐ Check if there are additional partners or persons with 20% or more ownership interest. Complete additional sheets as necessary.**OCCUPANCY PERMIT STATUS AND SIGNATURE(S)**CHECK ONE: An occupancy permit ☐ has been obtained ☐ has been applied for ☒ will be obtained before operating
☐ is not needed (will obtain home occupation statement) ☐ is not needed-reason: _____

I/we understand that I am/we are required to inform the City Clerk within 10 days of any substantial changes in any of the information supplied in this application. I/we have knowledge of the City Ordinances currently regulating the license applied for herein, and understand that the license may be subject to suspension, non-renewal or revocation, if I/we violate any rule or regulation relating to this license.

I/we understand that I/we shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.

I/we state that this application for a license is not made for and behalf of any other person and that the applicant is not acting as an agent for, or in the employ of another. I/we certify that I am/we are the applicant and all statements are true and correct.

Sole Proprietor, Partner, 20% or more Shareholder,
or the Agent - only if there are no 20% or more shareholders

Signature of additional partner or 20% or more shareholder

Office Use Only: Initials: **JK** Filed: **6-11-14** Applications: **FREST-189239**

Paid: _____ MPD _____ Granted _____ License # _____



FOOD DEALER SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

1) PREMISE DESCRIPTION, SITE EVALUATION & PLAN EXAMINATION

Premise Description - list all areas where food will be sold, served, consumed and/or stored: (for example: 1st Floor, 2nd Floor, Sidewalk Café, Patio, Basement Storage) 1st floor, Sidewalk cafe,

Has this location been licensed as a food business previously? ☒ Yes ☐ No (If no, site evaluation required.)

When did the last license expire? ☒ Currently Operating ☒ 1-4 years ☐ 5 or more years (If 5 or more years, site evaluation required.)

If previously licensed, are you planning on processing food or preparing meals at a location that was previously licensed for prepackaged food only? ☐ Yes ☒ No (If yes, site evaluation required.)

Site evaluation required? ☐ Yes ☒ No ☐ \$212 for processing food ☐ \$110 for non-processing

Do you wish to have a plan examination of plumbing or ventilation equipment performed? ☐ Yes ☒ No

☐ Partial Plan \$83 (i.e. hood installation, work on dining area) ☐ Complete Plan \$274 (i.e. renovation of the kitchen)

2) PREINSPECTION (REQUIRED FOR ALL NEW APPLICANTS)

☐ Change of Operator Only (\$61)

☒ New operation with no new construction or no substantial alterations (\$61) (i.e. hood installation or work on the dining area)

☐ New or Altered Food Operations which involve new construction or substantial alterations (\$241) (i.e. renovation of the kitchen)

3) BUSINESS TYPE – CHOOSE ONE:

RETAIL - Answer all remaining questions except #8 & 9

☐ **CONVENIENCE FOOD STORE** - Contains less than 5,000 sq ft of retail sales space AND Has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

☐ **CONVENIENCE STORE – GAS STATION** - A filling station that sells basic food items and in addition sells household products.

☐ **DISTRIBUTOR**

☐ **DISTRIBUTOR – NO FOOD STORAGE**

☐ **FOOD STORE**

☐ **GAS STATION**

☐ **RETAIL FOOD MANUFACTURER**

☐ **WHOLESALE FOOD MANUFACTURER**

☐ **Wholesale Food Manufacturer – with Retail Store**

☐ **Other:**

RESTAURANT - Answer all remaining questions except #7 and where otherwise indicated

☐ **BED & BREAKFAST *** \$75 plus \$8 DFHS Fee
No site evaluation or plan examination required.

☐ **MEAL SERVICE EST/COMMUNITY FOOD PROGRAM *** \$28
No other fees apply.

• Skip questions #6-12 if B&B or MSE/CFP

☐ **BASE FOR MOBILE UNIT**
(No menu is required to be submitted)

☒ **RESTAURANT**

☐ **TAVERN**

☐ **CATERER**

☐ **OTHER:** _____

**4) CHECK/LIST BELOW ALL TYPES OF FOOD YOU WILL BE SERVING/SELLING (RETAIL ONLY)
RESTAURANTS MUST SUBMIT A MENU WITH THIS APPLICATION
(NOT REQUIRED IF A PEDDLER APPLYING FOR BASE LICENSE)**

- ☐ Chips ☐ Candy ☐ Soda ☐ Hot Dogs ☐ Nachos ☐ Hamburgers ☐ Coffee/Cappuccino ☐ Milk ☐ Eggs ☐ Cheese ☐ Cut Meats
☐ Hot Foods ☐ Slushy Machine ☐ Making Ice
☐ Other : _____

5) SCALE

Will you be using a scale? ☐ Yes ☒ No (scale must be licensed by the Health Department, call (414) 286-3674.

6) GROSS FOOD SALES PER YEAR

Are you processing food? ☒ Yes ☐ No (Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.)

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> \$0 – 20,000 | <input checked="" type="checkbox"/> \$20,000 – 200,000 | <input type="checkbox"/> \$200,001 to 2,000,000 | <input type="checkbox"/> \$2,000,001 + |
| <input type="checkbox"/> Retail- Processing \$329 | <input type="checkbox"/> Retail- Processing \$553 | <input type="checkbox"/> Retail- Processing \$1238 | <input type="checkbox"/> Retail- Processing \$1969 |
| <input type="checkbox"/> Retail - No Processing \$184 | <input type="checkbox"/> Retail - No Processing \$272 | <input type="checkbox"/> Retail – No Processing \$506 | <input type="checkbox"/> Retail - No Processing \$790 |
| <input type="checkbox"/> Restaurant- Processing \$472 | <input type="checkbox"/> Restaurant – Processing \$731 | <input type="checkbox"/> Restaurant - Processing \$1119 | <input type="checkbox"/> Restaurant - Processing \$1672 |
| <input type="checkbox"/> Restaurant- No Processing \$225 (+\$10.50 State Fee for non-processing, skip question 9) (Regardless of Gross Food Sales) | | | |

7) HAZARDOUS FOODS – RETAIL ONLY (DOES NOT APPLY TO RESTAURANTS OR MANUFACTURERS)

Are you handling potentially hazardous foods? ☒ Yes ☐ No (Potentially hazardous foods are defined as food that is natural or synthetic and that requires temperature control. It includes animal food that is raw or heat-treated and food of plant origin that is heat-treated or consists of raw seed sprouts, cut melons or garlic-in-oil mixtures that are not modified to not support growth of infectious or toxigenic microorganisms. If you sell even one of these items (which includes milk and eggs) check the "yes" box.)

- | | | |
|---|--|--|
| <input type="checkbox"/> Sales less than \$25,000 | <input checked="" type="checkbox"/> Sales \$25,000-\$1,000,000 | <input type="checkbox"/> Sales higher than \$1,000,000 |
| <input type="checkbox"/> Processing any foods \$6 | <input type="checkbox"/> Processing hazardous foods \$26.50 | <input type="checkbox"/> Processing hazardous foods \$68.50 |
| | <input type="checkbox"/> Processing non-hazardous foods \$19 | <input type="checkbox"/> Processing non-hazardous foods \$19 |
- ☐ No Processing Hazardous Foods \$4.50 (Regardless of Gross Food Sales)
☐ No Processing Non Hazardous Foods (answers to #6 and #7 are no) no state fee charged (Regardless of Gross Food Sales)

8) RESTAURANT INFORMATION

Do you have additional locations? ☐ Yes ☒ No If yes, how many? _____ Additional \$75 fee & \$8.00 DFHS fee per location
(NOTE: This is NOT additional stores that are part of a chain, but locations at the same address that are physically separated from food preparation areas in which additional food processing occurs, including reheating of food).

Type of Restaurant (check all that apply)

- ☐ Fast Food ☐ Take Out/Delivery ☐ Casual Dining ☐ Formal Dining
☐ Other: _____

9) LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

☒ Sweep

☒ Pressure Wash

☒ Pick Up Litter

☒ Hired Maintenance

☐ Building Owner's Responsibility

☒ Garbage Cans Outside

☐ Other

Who is responsible to keep the grounds clean?

☒ Licensee

☐ Building Owner

☒ Employees

☒ Hired Maintenance

☐ Other

How often will the grounds be cleaned?

☒ Daily

☐ Weekly

☐ Other

How are noise issues addressed (check all that apply):

☐ Security

☒ Manager approaches customer(s)

☒ Call police

☒ Signs posted

☐ Other

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☒ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

10) Restaurant Complexity Factors (Table DHS 196.05 A)

Point(s)

Total

☒ Food is not prepared until an order is placed.

0

☐ Food items are held hot for one meal period or for a maximum of 4 hours, whichever is less.

0

☐ Food Preparation is limited to mixing together prepackaged products that do not need to be cooked further except for aesthetic reasons (such as frozen food concentrate or with milk) or to condiment preparation (such as slicing onions or pickles.)

0

☐ The restaurant contains a self-service salad or food bar.

1

☒ The restaurant handles raw poultry, meat or seafood.

1

☒ The seating capacity of the restaurant or operation is 50 or more.

1

☐ Food is served through a drive through window for food pick-up.

1

☐ The restaurant promotes delivery of ready to eat food products to customers.

1

☐ Potentially hazardous foods are cooled, reheated or hot or cold held for service longer than 4 hrs.

1

☐ Food is prepared in one location and then transported to be served in another location.

1

☐ The restaurant contains or uses banquet facilities as well as a main dining area.

1

☒ Food is served that requires preparation activities such as chopping, dicing, slicing, boiling, cooling, blanching or reheating in order for that product to be served.

1

Total Zero - SIMPLE=\$23 1-4 - MODERATE=\$33 5 or more =COMPLEX \$54

(3)

\$ 33

11) RETAIL ESTABLISHMENTS ONLY: PROCESSING OPERATIONAL CODES
(CHECK ALL THAT APPLY)

<input type="checkbox"/>	BK	Bakery	Manufacturing of donuts, cakes, breads, cookies and rolls
<input type="checkbox"/>	BO	Bottling	Bottling water or juice for retail sale
<input checked="" type="checkbox"/>	BV	Hot/Cold Beverages	Making coffee or dispensing soda
<input checked="" type="checkbox"/>	CK	Cooking	Any cooking activity for retail sale
<input type="checkbox"/>	CT	Catering	Any type of catering activity
<input type="checkbox"/>	CY	Confectionery	Making candy or confectionery items
<input type="checkbox"/>	DL	Delicatessen	Manufacturing of deli items for retail sale
<input checked="" type="checkbox"/>	FR	Freezing	Food preservation in relation to date marking
<input type="checkbox"/>	GR	Grinding	Coffee beans, hamburger
<input type="checkbox"/>	IC	Ice Cream/Soft Serve	Soft serve or ice cream dispensing
<input type="checkbox"/>	IM	Ice Making	Manufacturing ice for retail sale
<input checked="" type="checkbox"/>	MC	Meat Cutting	Retail meat cutting operation
<input type="checkbox"/>	MD	Meat Distributor	Wholesale distribution of inspected meat products
<input checked="" type="checkbox"/>	MX	Mixing	Mixing two or more food ingredients
<input type="checkbox"/>	PC	Popping Corn	Process of popping corn for retail sale
<input type="checkbox"/>	PK	Packaging	Packaging food for further sale
<input checked="" type="checkbox"/>	PP	Produce Processing	Washing and cutting of produce
<input checked="" type="checkbox"/>	RT	Restaurant	Any restaurant type activity (i.e. hot dog roller, chicken, etc.)
<input type="checkbox"/>	SD	Seafood Department	Fresh seafood for retail sale
<input type="checkbox"/>	SE	Shell Egg Packaging	Packaging shell eggs for retail sale
<input type="checkbox"/>	SM	Smoking/Curing	Smoking sausage or cheese – curing of hams
<input type="checkbox"/>	SV	Salvage	Conducting salvage activities on distressed food – retail only
<input type="checkbox"/>	TR	Traveling	Knock-down stand of mobile type retail operation
<input type="checkbox"/>	VP	Vacuum Packaging	Vacuum packaging food at retail
<input type="checkbox"/>	VV	Variance	Any variance required by the Wisconsin Food Code
<input type="checkbox"/>	WG	Wild Game	Processing wild game (venison, fish, etc.) at retail

12) HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	11:00 AM	12:00 AM	100		
Monday	closed	closed			
Tuesday	4:00 PM	1:00 AM	80		
Wednesday	4:00 PM	1:00 AM	90		
Thursday	4:00 PM	1:00 AM	110		
Friday	4:00 PM	2:00 AM	160		
Saturday	4:00 PM	2:00 AM	160		

13) ISSUANCE OF LICENSE

Are you also going to apply for an alcohol beverage license at this time? ☐ No ☒ Yes

If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

☒ immediately so you can open your food business ☐ at the same time as the alcohol license

SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"

Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1. AG I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2. AG I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3. AG I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4. AG I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5. AG I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6. AG I understand that all of the above must be complete before my permit is eligible to be issued.
7. AG I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, ~~AG~~ AARON GERSONDE, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant:  Date: 5/30/14

MOVIDA

www.movidamke.com



SOLO individual TAPAS

MEATS

Grilled Pork Tenderloin with Brie, Sea Salt, & Crushed black pepper

Panko chicken with Mango & Shishito pepper Coulis

Iberian Ham sliced thinly over Honey Dew Melon

FISH

Steamed Mussels with diced Chorizo & Lemon olive oil

Crab cake fresh avocado & Tabasco Hollandaise

RICE AND PASTA

Shitake Parmesan Risotto with Balsamic Glaze

Saffron Rice Paella with Roasted Chicken & Artichokes

Lasagna filled with Iberian Ham, Ricotta, Tomato Cherry, & Zucchini

VEGGIES

Shishitopeppers sautéed with Virgin olive oil & Sea Salt

Green Beans sautéed with Virgin olive oil, garlic, lemon & crushed pepper

Zucchini roasted with Virgin olive oil & Sea Salt

Garlic Aioli Rosemary Potatoes with chives& crushed black pepper

DUO to share TAPAS

Panko Crumb Croquettes with Serrano Ham & Camembert purée filling

Serrano Ham and Broken Eggs on a bed of Roasted Potatoes

Grilled Asparagus drizzled in Virgin Olive Oil & Sea Salt

Flatbread Spanish Chorizo Chives and Tomato Cherry

SOUP individual cup tapas

Gazpacho garnished with Serrano ham bread crumbs & Green pepper

Riojan Cream of potato with Spanish Chorizo & Paprika

SALAD individual salad tapas

Honey Smoked Turkey, and Strawberries with Balsamic Vinaigrette

Spinach leaves, Cucumber & Yogurt Rosemary dressing

DAILY SPECIAL individual tapas

Baby Shrimp sautéed with Virgin Olive oil and Garlic

Fideua noodle paella with Monkfish and black peppered beans

MOVIDA

www.movidamke.com



TOASTED BREAD BASKETS FOR TAPAS

**Peasant Bread, French Bread, Multigrain
Bread, & Rye Bread**

SIGNATURE DESSERTS

Brown Sugar glazed Catalan Cream

Spanish Baked Caramel Custard Flan

Flambé Whisky Cake with a splash of JW Black

Madrid Chocolate Fudge Cake



CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 12

SANDRONI, JR, Augusto P, Agent
ECN3 Inc
125 E National Av

Milwaukee, WI 53204

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "ECN3 Inc" for "Engine Co No 3" at 217 W National Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 12

SANDRONI, JR, Augusto P, Agent
ECN3 Inc
1860 Elm Tree Rd

Elm Grove, WI 53122

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern and Food Dealer - Restaurant License Applications as agent for "ECN3 Inc" for "Engine Co No 3" at 217 W National Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:07/13/14
Officer: PO Matthew Diener

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Engine Company No 3
Address: 217 W National Av
Phone: 414-732-9959

Owner: Augusto P SANDRONI Jr
Owner address: 1860 Elm Tree Rd
City State Zip: Elm Grove, WI 53122
Owner Phone: 414-732-9959
Owner email: peter@lamerenda125.com

Licensee/Agent: same as owner
Home Address:
City State Zip:
Phone:
Email:

Preferred contact: Phone

Location currently open: ☐ YES ☒ NO

Projected open date: mid August 2014

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: 9am-3pm 24 hours ☐Y ☒N
Mon: 7am-3pm
Tue: 7am-3pm
Wed: 7am-3pm
Thu: 7am-3pm
Fri: 7am-3pm
Sat: 9am-3pm

Premise Type: ☐Tavern/Bar
☒Restaurant
☐Other:

Licenses currently held:

Alcohol: ☒ Yes ☐ No Class: B Tavern #: 201553
Tobacco: ☐ Yes ☐ No #:
Food: ☒ Yes ☐ No #: 5006
Other: ☐ Yes ☐ No Type: #:
Other: ☐ Yes ☐ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☐ Park
 - b. ☒ School
 - c. ☐ Youth Center
 - d. ☐ Church
 - e. ☒ Tavern(s) If so, how many 5+ (Business in heart of Walker's Point area)
 - f. ☒ Residential
 - g. ☐ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☒ Yes ☐ No
4. Can you see the employees inside of the location from the outside ☒ Yes ☐ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☐ Yes ☒ No
8. Is the parking lot clean? ☐ Yes ☐ No
9. Is the parking lot well lit? ☐ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☐ No
 - b. Will this lot have cameras? ☐ Yes ☐ No
11. Are there areas where a person could conceal themselves ☐ Yes ☒ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☐ Yes ☒ No How Many: Cameras are on order
16. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

17. Does this location have security cameras? ☐ Yes ☒ No
18. Are they in working order? ☐ Yes ☐ No
19. What format are the cameras?
 - a. Color ☐ Yes ☐ No
 - b. Digital ☐ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☐ Yes ☐ No
20. How long is footage stored for later viewing: Cameras are on order
21. Are there exterior cameras ☐ Yes ☐ No How many: Will have at least 2
22. Are there interior cameras ☐ Yes ☐ No How many: Will have at least 6

23. Do all employees know how to retrieve recorded digital images/footage? ☒ Yes ☐ No
24. Cameras located in parking lot ☐ Yes ☐ No How many

Interior Survey:

25. What is the planned/posted capacity 150
26. What is the minimum number of employees that will be on premise 20
27. Is the storeowner willing to be a standing complainant regarding loitering? ☐ Yes ☒ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☐ No
28. Is the interior of the location neat and clean? ☒ Yes ☐ No
29. Does an interior camera face the entrance/exit? ☐ Yes ☒ No
30. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: No security
33. How will they be deployed: Interior Exterior
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wanding/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☐ Other
38. When at capacity, how will the overflow crowd be managed? Patrons will be asked to wait
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☐ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

The interior of the building is currently being renovated from the ground up. Building was an old MFD Engine house from the 1930's. Owner also owns/chef of La Meranda, located at 125 E National Av. Will only be open for breakfast and lunch. Plans to have a small parking lot in back of building, not paved yet upon inspection.

MILWAUKEE POLICE DEPARTMENT
LICENSE INVESTIGATION UNIT

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS
SYNOPSIS

DATE: 07/17/2009
LICENSE TYPE: BTAVN
NEW: X
RENEWAL:

No. 16009
Application Date: 06/23/09
Expiration Date:

License Location: 217 W National Avenue
Business Name: Engine 3

Aldermanic District: 12

Licensee/Applicant: Angeli, Joseph A
(Last Name, First Name, MI)
Date of Birth: 10/26/62

Male:

Female:

Home Address: 4518 S Taylor Avenue
City: Milwaukee
Home Phone: (414) 486-7644

State: WI **Zip Code: 53207**

This report is written by Police Officer Kristyn Kukowski, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 10/04/82, applicant was cited for In Park After Hours by South Milwaukee Police Department.

Charge: In Park After Hours
Finding: Convicted
Sentence: Fined
Date: 10/04/82
Case: Not reported

2. On 01/28/84, applicant was charged with Battery in Milwaukee County. On 05/18/84, the charge was amended to Disorderly Conduct.

Charge: Disorderly Conduct
Finding: Convicted
Sentence: Fined
Date: 05/18/84
Case: 2-315659

- On 06/09/99, applicant was convicted of OWI in Waukesha County. His license was suspended for 6 months.

The following applies to George Prentice who is listed as a corporate officer:

1. On 01/07/83, Prentice was charged with Uniform Controlled Substance Act by Fond Du Lac Sheriff/Police.

Charge:	Uniform Controlled Substance Act
Finding:	Convicted
Sentence:	Conditional Probation: SS 961.47 (161.47) (Complete Treatment Program)
Date:	02/16/84
Case:	82-CR346

- On 09/10/89, Prentice was charged with OWI in Milwaukee County. On 03/18/91 he was convicted and his license was revoked for 14 months.
- On 09/14/89, Prentice was charged with OWI in Milwaukee County. On 03/18/91 he was convicted and his license was revoked for 30 months.
- On 07/21/90, Prentice was charged with OWI in Milwaukee County. On 03/18/91 he was convicted and his licensed was suspended for 6 months.

Previous premise

**ALCOHOL LICENSES
WITHIN A HALF MILE RADIUS CENTERED ON
217 W National AV Milwaukee WI 53204, May 29, 2014**



LICENSE SUMMARY

	Class B Tavern License	- 62 LICENSES
	Class A Fermented Malt Beverage Retailer's License	- 1 LICENSES
	Class C Wine Retailer's License	- 2 LICENSES
	Class B Fermented Malt Beverage Retailer's License	- 2 LICENSES

TOTAL: 67 LICENSES

**ALCOHOL LICENSES
WITHIN A HALF MILE RADIUS CENTERED ON
217 W National AV Milwaukee WI 53204, May 29, 2014**

License Summary:

BTAVN - Class B Tavern License - 62 LICENSES
AMALT - Class A Fermented Malt Beverage Retailer's License - 1 LICENSES
CWINE - Class C Wine Retailer's License - 2 LICENSES
BBEER - Class B Fermented Malt Beverage Retailer's License - 2 LICENSES

TOTAL: 67 LICENSES

<u>Premises Address</u>	<u>Establishment Name</u>	<u>Lic. Type</u>	<u>Exp. Date</u>
1. 1022 S 1ST St	CHEZ JACQUES	BTAVN	10/11/2014
2. 1407 S 1ST St	Wayward Kitchen Co.	BTAVN	7/22/2014
3. 161 S 1ST St	Rumor Lounge	BTAVN	5/21/2015
4. 170 S 1ST St	STACK'D BURGER BAR	BTAVN	6/28/2014
5. 338 S 1ST St	O'Lydia's Bar & Grill	BTAVN	6/5/2015
6. 338 S 1ST St	O'Lydia's Bar & Grill	BTAVN	6/5/2014
7. 739 S 1ST St	D.I.X.	BTAVN	10/22/2014
8. 813 S 1ST St	SOLID GOLD	BTAVN	3/19/2015
9. 1100 S 1st St	Circa 1880	BTAVN	4/10/2015
10. 828 S 1st St	Desperados	BTAVN	7/5/2014
11. 1517 S 2ND St	The Parlor Bar	BTAVN	7/5/2014
12. 181 S 2ND St	JUST ART'S SALOON	BTAVN	6/30/2014
13. 196 S 2ND St	Lucky Joes Tiki Room	BTAVN	6/30/2014
14. 235 S 2ND St	GINGER	BTAVN	7/29/2014
15. 401 S 2ND St	CAROLINE'S	BTAVN	2/7/2015
16. 422 S 2ND St	SHAKERS CIGAR BAR & WORLD CAFE	BTAVN	10/13/2014
17. 436-38 S 2ND St	ZAD'S	BTAVN	2/13/2015
18. 524 S 2ND St	Industri Cafe	BTAVN	12/20/2014
19. 623-25 S 2ND St	BOOM	BTAVN	11/28/2014
20. 700 S 2ND St	SABBATIC	BTAVN	12/20/2014
21. 703 S 2ND St	The Tin Widow	BTAVN	4/16/2015
22. 733-39 S 2ND St	CIELITO LINDO	BTAVN	3/1/2015
23. 800 S 2ND St	STENY'S	BTAVN	11/12/2014
24. 801 S 2ND St	LA CAGE	BTAVN	12/12/2014
25. 818 S 2ND St	WALKERS PINT	BTAVN	6/28/2014
26. 819 S 2ND St	FLUID	BTAVN	5/12/2015
27. 839 S 2ND St	CRAZY WATER	BTAVN	5/12/2015
28. 1101 S 2nd St	Braise Restaurant	BTAVN	9/19/2014
29. 1201 S 2nd St	Rockwell Automation	BTAVN	7/25/2014
30. 211 S 2nd St	Indulgence Chocolatiers	BTAVN	7/22/2014
31. 216 S 2nd St	Black Sheep	BTAVN	6/10/2015
32. 231 S 2nd St	Zaks Cafe	BTAVN	4/11/2015
33. 704 S 2nd St	The Noble	BTAVN	7/5/2014
34. 814 S 2nd St	AP Bar & Kitchen	BTAVN	7/22/2014
35. 500 S 3rd St	The Chef's Table	BTAVN	9/23/2014
36. 1011 S 5TH St	LA TROPICANA	AMALT	2/10/2015
37. 1024 S 5TH St	Theatre Unchained	BTAVN	3/20/2015
38. 626 S 5TH St	Kana Mojito Club	BTAVN	12/17/2014
39. 715-17 S 5TH St	Jynx Nightclub	BTAVN	4/8/2015
40. 730-34 S 5TH St	LA PERLA RESTAURANT	BTAVN	10/17/2014
41. 807 S 5TH St	CLUB ANYTHING	BTAVN	6/29/2014
42. 816 S 5TH St	BOTANAS RESTAURANT	BTAVN	2/28/2015
43. 600 S 6TH St	Terra Restaurant & Bar	BTAVN	4/21/2015
44. 625 S 6TH St	Pasion Bar	BTAVN	4/1/2015
45. 631 S 6TH St	Camacho's Bar	BTAVN	7/5/2014
46. 636 S 6TH St	El Farol Bar	BTAVN	2/4/2015
47. 1336-38 S 7th St	Taqueria Los Altos de Jalisco	BTAVN	9/19/2014
48. 1028 S 9TH St	LA GUADALUPANA/CAFE EL SOL	BTAVN	9/6/2014

5/29/2014

49. 644 S 9th St	Chivas Bar	BTAVN	12/21/2014
50. 906 S BARCLAY St	Social Live	BTAVN	10/14/2014
51. 224 W Bruce St	Anodyne Coffee Roasting Co.	CWINE	9/23/2014
52. 224 W Bruce St	Anodyne Coffee Roasting Co.	BBEER	9/23/2014
53. 500 W FLORIDA St	THE IRON HORSE HOTEL	BTAVN	7/29/2014
54. 117 E GREENFIELD Av	HARBOR ROOM	BTAVN	7/24/2014
55. 354 E NATIONAL Av	KRUZ	BTAVN	9/5/2014
56. 124 W NATIONAL Av	Ashley's Que	BTAVN	7/5/2014
57. 538 W NATIONAL Av	FELIPE'S LATIN QUARTER	BTAVN	3/23/2015
58. 624 W NATIONAL Av	La Casa de Alberto	BTAVN	11/4/2014
59. 839 W NATIONAL Av	THE NATIONAL	BBEER	11/1/2014
60. 839 W NATIONAL Av	THE NATIONAL	CWINE	11/1/2014
61. 135 E National Av	Blue Jacket	BTAVN	5/20/2015
62. 120 W National Av	Fat Daddy's	BTAVN	4/10/2015
63. 309 W National Av	Little Whiskey Bar	BTAVN	4/8/2015
64. 539 W VIRGINIA St	CONEJITO'S PLACE	BTAVN	6/30/2014
65. 605 W Virginia St	Juto	BTAVN	6/13/2014
66. 224 E WASHINGTON St	GEORGE'S PUB	BTAVN	10/1/2014
67. 818 S WATER St	HOT WATER/WAREHOUSE	BTAVN	5/19/2015

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:
 - g-1. Disturbance of the peace.
 - g-2. Illegal drug activity.
 - g-3. Public drunkenness.
 - g-4. Drinking in public.
 - g-5. Harassment of passers-by.
 - g-6. Gambling.
 - g-7. Prostitution.
 - g-8. Sale of stolen goods
 - g-9. Public urination.
 - g-10. Theft.
 - g-11. Assaults.
 - g-12. Battery.
 - g-13. Acts of vandalism, including graffiti.
 - g-14. Excessive littering.
 - g-15. Loitering.
 - g-16. Illegal parking.
 - g-17. Loud noise at times when the licensed operation is open for business.
 - g-18. Traffic violations.
 - g-19. Curfew violations.
 - g-20. Lewd conduct.
 - g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.
- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

217 NATIONAL LLC
125 E National Av

Milwaukee, WI 53204

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern and Food Dealer - Restaurant License Applications
SANDRONI, JR, Augusto P, Agent
Engine Co No 3 at 217 W National Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

217 NATIONAL LLC
217 W National Ave

Milwaukee, WI 53204

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern and Food Dealer - Restaurant License Applications
SANDRONI, JR, Augusto P, Agent
Engine Co No 3 at 217 W National Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☒ Free Standing Building ☐ Strip Mall ☐ Other _____

2. Describe Premises Structure

☐ Single Story ☒ Multi-Story - # of Stories 2 ☐ Other _____

3. Describe Surrounding Area

☒ Commercial ☒ Residential ☐ Industrial ☐ Other Commercial on one side, residential on other

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
 b) Nearest Cross Street 2nd Street

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☐ Yes ☒ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: 07/04/2014
 b) Is this premise under construction? ☒ Yes ☐ No If yes, list estimated completion date: _____
 c) Is this a franchise? ☐ Yes ☒ No
 d) Is this premises currently licensed? ☐ Yes ☒ No If yes, list type of license: _____
 e) Is the current licensee operating? ☐ Yes ☐ No If no, list date closed: _____
 f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☐ Other: _____
 g) Do you have future plans for other businesses, licenses or permits at this location? ☒ Yes ☐ No
 If yes, explain: Food Dealer license

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.
 Check all that apply: ☐ Prepackaged Food ☐ Snacks ☐ Appetizers ☐ Catered Events
☒ Full Meals – Hours of Food Service: From _____ To _____
 A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

Full Service Restaurant

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☒ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☐ Licensee ☐ Building Owner ☒ Employees ☐ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☐ Security ☒ Manager approaches customer(s) ☒ Call Police☐ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 8 Locations: Bar, service station, kitchen, prep kitchen
Outside: 2 Locations: Side of buildingIs a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): 4 customer restrooms, 1 employeeProvide name of solid waste contractor: Eagle Disposal**11. Security**Are there parking spaces on the premises? ☒ No ☐ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☐ No ☒ Yes If yes, describe security provisions _____Do you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☐ No ☒ Yes If yes, list all locations: TBD - not installed yet.Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 40 % Food Sales 60 % Entertainment _____ % Other _____ %**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|---|---|---|--|
| <input checked="" type="checkbox"/> Full Service Restaurant | <input type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Hotel | <input type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)

_____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	6am	2am	180	ALL AGES	NONE
Monday	6am	2am	90	ALL AGES	NONE
Tuesday	6am	2am	90	ALL AGES	NONE
Wednesday	6am	2am	90	ALL AGES	NONE
Thursday	6am	2am	135	ALL AGES	NONE
Friday	6am	2am	135	ALL AGES	NONE
Saturday	6am	2am	180	ALL AGES	NONE

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: 217 National Ave Phone Number: 700
Address: 217 National Ave Milwaukee WI 53204
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☐ No ☒ Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

- d) Does anyone else have money invested or any other interest in this business? ☐ No ☒ Yes
If yes, explain: Community Bank & Trust Loan
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☐ No ☒ Yes If yes, list name and address: Community Bank & Trust 4131 W. Loomis Rd. Greenfield WI 53221
- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
- ☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts
- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☐ Yes
Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- a) Be in the same legal entity name as that apply for the license
b) Reflect the same address as the premises address on this application
c) Reflect current dates and
d) Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☐ Own ☒ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? ECN3, Inc
- c) Are you purchasing the stock and/or fixtures? ☐ No ☐ Yes If yes, amount paid \$ N/A
- d) Total amount paid for business \$ N/A
- e) Total amount paid for goodwill of the business \$ N/A

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

- f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☐ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 12/3/2013 Ends 12/2/2033
- b) Monthly rental \$ 5,617.00 /month
- c) Do you have an option to renew the lease? ☐ No ☒ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☒ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? _____
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☒ No ☐ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes
If yes, explain _____

20. Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? ☐ No ☐ Yes

If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants

SUBSCRIBED AND SWORN TO BEFORE ME

This 3rd day of February, 20 14

[Signature]
(Clerk/Notary Public)

My Commission Expires 12/31/2015
Notary Seal must be affixed.

[Signature]

Agent/Owner/Partner

[Signature]

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.

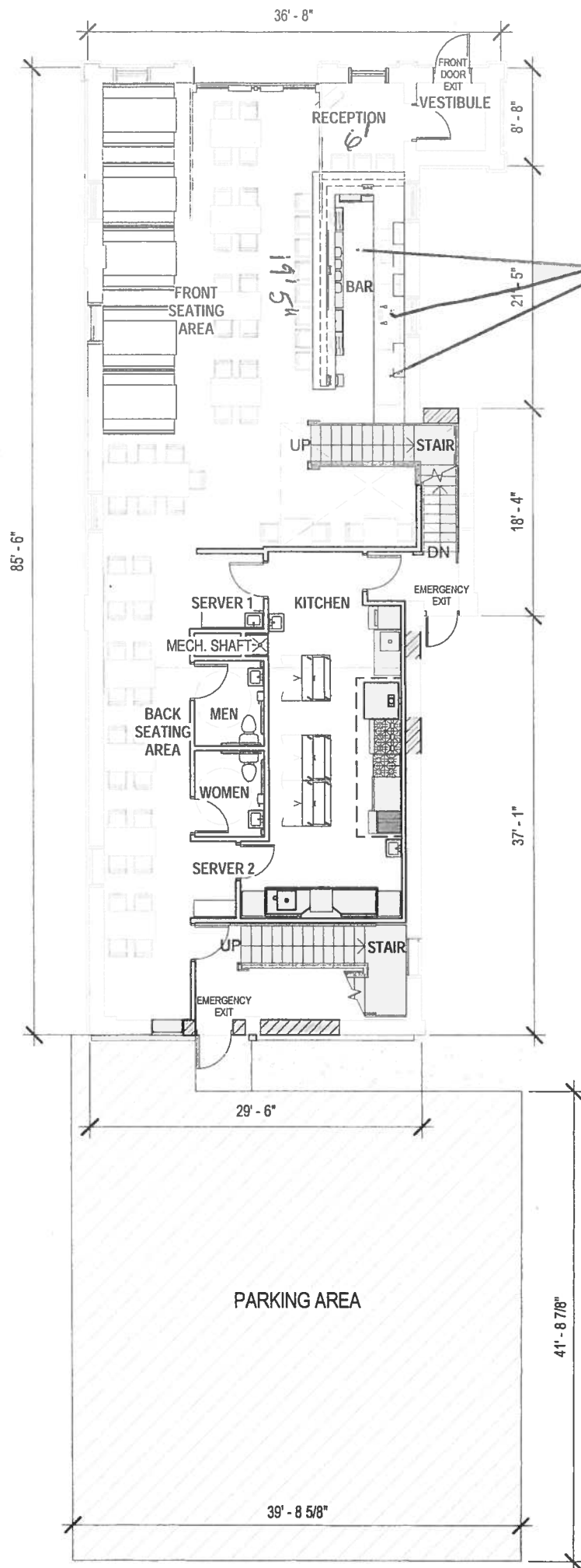
Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.

Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.



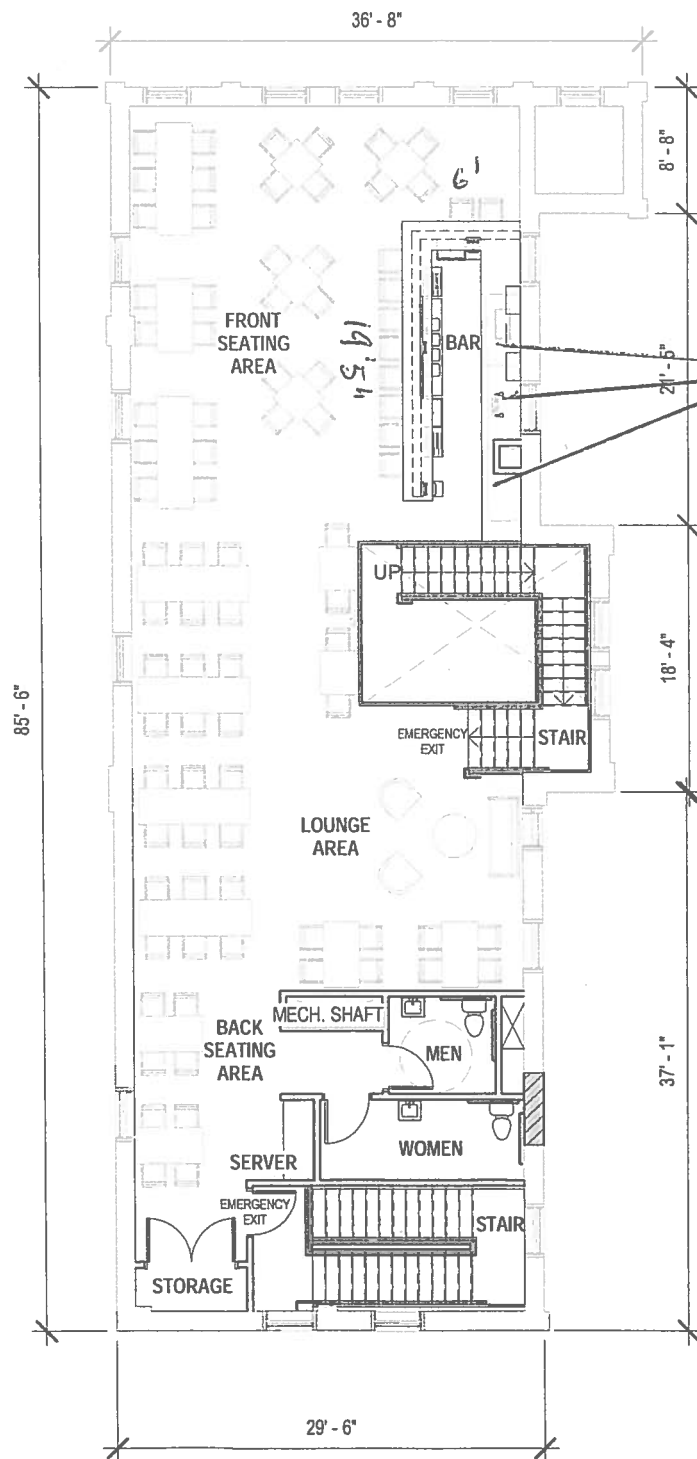
- 3 Back Bar Coolers for Beer and Wine Storage
- 3 over counter shelving units to display/store wine and alcohol 48x24x36 coolers 48" x 24" x 36" H



FIRST FLOOR PLAN
TOTAL SQUARE FOOTAGE: 2,247 SF

MAY 7, 2014

Engine Co No 3
217 W. National Ave
Milwaukee, WI 53204
ECN3, Inc.
Augusto P. Sandroni
total square feet = 5,172



3 Back Bar Coolers for
Beer & wine storage

3 over counter shelving
units to display / store
wine and alcohol
Cooler 3ea @ 48X36X24
@ 48L X 36H X 24W

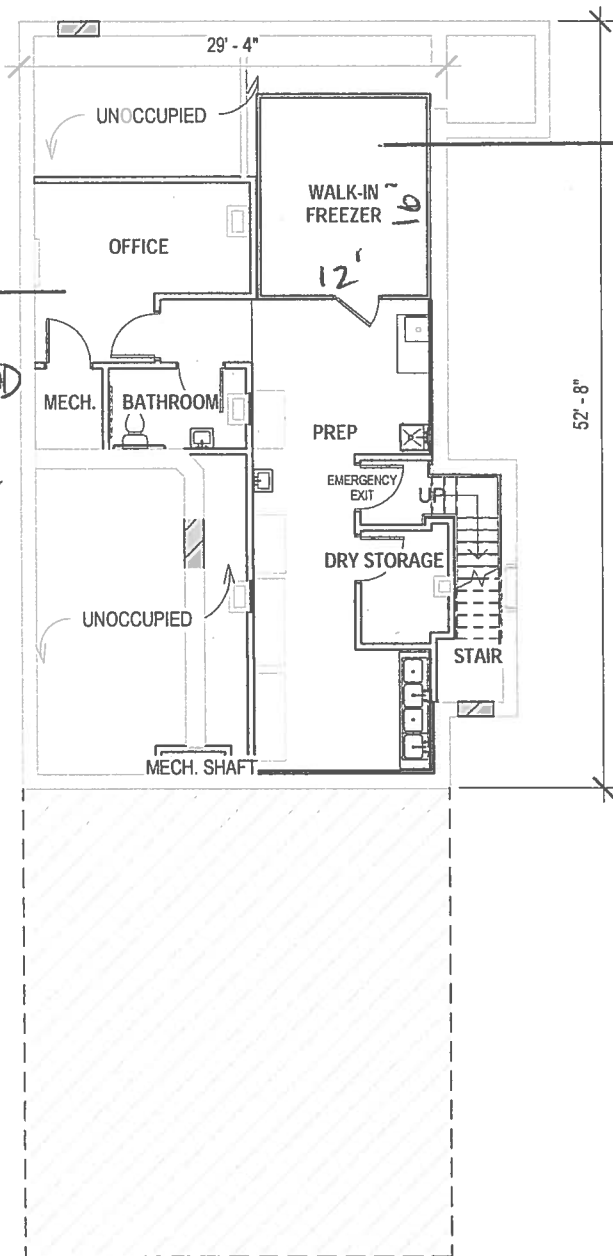


SECOND FLOOR PLAN
TOTAL SQUARE FOOTAGE: 2,036 SF

MAY 7, 2014

Engine Co. #3
217 W. National Ave
ECN3, Inc
Augusto P. Sandroni

1 wire metro
rack unit
4 shelves
total
72H x 60W x 20D
to store back
up wine & beer



12' x 10'
walk-in cooler
may store back up
beer barrels



LOWER LEVEL PLAN
TOTAL SQUARE FOOTAGE: 889 SF

MAY 7, 2014

Engine Co #3
217 W. National Ave
Milwaukee, WI 53204
ECN3, Inc.
Augusto P. Sandroni

**BUSINESS APPLICATION******** MUST BE SUBMITTED WITH THE APPROPRIATE
SUPPLEMENTAL APPLICATION FOR THE TYPE
OF LICENSE FOR WHICH YOU ARE APPLYING**Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail: license@milwaukee.gov

ccl-bapp1

BUSINESS CONTACT INFORMATION

☐ Sole Proprietor ☐ Partnership ☐ LLC ☒ Corporation ☐ Other:

Legal Entity Name: ECN3 INC Seller's Permit#: 456-102851148802

Trade/DBA Name: Engine CO NO 3

Phone: 414.389.0125 E-mail: peter@lamerenda125.com

Premises Address (include city, state, zip code): 217 W. National

Mailing Address: ☐ Same as premises address ☐ Same as home address in Section 2
☒ Other (include city, state, zip code): 125 E National Ave Milwaukee WI 53204

AGENT / SOLE PROPRIETOR / 1ST PARTNER INFORMATION

FULL LEGAL NAME (Last, First & Middle Initial): Sandroni, Augusto P Date of Birth: 8.21.1971

Home Address (include city, state, and zip code): 1860 Elm Tree Rd

Driver's License Number/State ID #: 5534-0157-1301-04 State: WI

Home Phone: _____ Cell Phone: (414) 732 9959 Email: peter@lamerenda125.com

Percent % of Ownership Interest: 51

LIST ALL PERSONS WITH 20% OR MORE OWNERSHIP INTEREST / ADDITIONAL PARTNER(S)

FULL LEGAL NAME (Last, First & Middle Initial): Sandroni, Sonia B Date of Birth: 01-04-1974

Home Address (include city, state, and zip code): 1860 Elm Tree Rd

Driver's License Number/State ID #: 5534-7827-4504-08 State: WI

Home Phone: _____ Cell Phone: 678-596-6791 Email: _____

Percent % of Ownership Interest: 49%

FULL LEGAL NAME (Last, First & Middle Initial): _____ Date of Birth: _____

Home Address (include city, state, and zip code): _____

Driver's License Number/State ID #: _____ State: _____

Home Phone: _____ Cell Phone: _____ Email: _____

Percent % of Ownership Interest: _____

☐ Check if there are additional partners or persons with 20% or more ownership interest. Complete additional sheets as necessary.**OCCUPANCY PERMIT STATUS AND SIGNATURE(S)**CHECK ONE: An occupancy permit ☐ has been obtained ☐ has been applied for ☒ will be obtained before operating
☐ is not needed (will obtain home occupation statement) ☐ is not needed-reason: _____

I/we understand that I am/we are required to inform the City Clerk within 10 days of any substantial changes in any of the information supplied in this application. I/we have knowledge of the City Ordinances currently regulating the license applied for herein, and understand that the license may be subject to suspension, non-renewal or revocation, if I/we violate any rule or regulation relating to this license.

I/we understand that I/we shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.

I/we state that this application for a license is not made for and behalf of any other person and that the applicant is not acting as an agent for, or in the employ of another. I/we certify that I am/we are the applicant and all statements are true and correct.

Sole Proprietor, Partner, 20% or more Shareholder,
or the Agent - only if there are no 20% or more shareholders

Signature of additional partner or 20% or more shareholder

Office Use Only: Initials: JK Filed: 5-29-14 Applications: FREST-188417

Paid: _____ MPD _____ Granted _____ License # _____

*** ALSO APPLIED FOR ALCOHOL WAREHOUSE PERMIT TO DISPERSE**



FOOD DEALER SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

FREE-188417

1) PREMISE DESCRIPTION, SITE EVALUATION & PLAN EXAMINATION

Premise Description - list all areas where food will be sold, served, consumed and/or stored: (for example: 1st Floor, 2nd Floor, Sidewalk Café, Patio, Basement Storage) 1st Floor 2nd Floor, basement storage

Has this location been licensed as a food business previously? ☐ Yes ☒ No (If no, site evaluation required.)

When did the last license expire? ☐ Currently Operating ☐ 1-4 years ☐ 5 or more years (If 5 or more years, site evaluation required.)

If previously licensed, are you planning on processing food or preparing meals at a location that was previously licensed for prepackaged food only? ☐ Yes ☒ No (If yes, site evaluation required.)

Site evaluation required? ☒ Yes ☐ No ☒ \$212 for processing food ☐ \$110 for non-processing

Do you wish to have a plan examination of plumbing or ventilation equipment performed? ☒ Yes ☐ No

☐ Partial Plan \$83 (i.e. hood installation, work on dining area) ☒ Complete Plan \$274 (i.e. renovation of the kitchen)

2) PREINSPECTION (REQUIRED FOR ALL NEW APPLICANTS)

☐ Change of Operator Only (\$61)

☐ New operation with no new construction or no substantial alterations (\$61) (i.e. hood installation or work on the dining area)

☒ New or Altered Food Operations which involve new construction or substantial alterations (\$241) (i.e. renovation of the kitchen)

3) BUSINESS TYPE – CHOOSE ONE:

RETAIL - Answer all remaining questions except #8 & 9

☐ CONVENIENCE FOOD STORE - Contains less than 5,000 sq ft of retail sales space AND Has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

☐ CONVENIENCE STORE – GAS STATION - A filling station that sells basic food items and in addition sells household products.

☐ DISTRIBUTOR

☐ DISTRIBUTOR – NO FOOD STORAGE

☐ FOOD STORE

☐ GAS STATION

☐ RETAIL FOOD MANUFACTURER

☐ WHOLESALE FOOD MANUFACTURER

☐ Wholesale Food Manufacturer – with Retail Store

☐ Other:

RESTAURANT - Answer all remaining questions except #7 and where otherwise indicated

☐ BED & BREAKFAST * \$75 plus \$8 DFHS Fee
No site evaluation or plan examination required.

☐ MEAL SERVICE EST/COMMUNITY FOOD PROGRAM * \$28
No other fees apply.

• Skip questions #6-12 if B&B or MSE/CFP

☐ BASE FOR MOBILE UNIT
(No menu is required to be submitted)

☒ RESTAURANT

☐ TAVERN

☐ CATERER

☐ OTHER: _____

**4) CHECK/LIST BELOW ALL TYPES OF FOOD YOU WILL BE SERVING/SELLING (RETAIL ONLY)
RESTAURANTS MUST SUBMIT A MENU WITH THIS APPLICATION
(NOT REQUIRED IF A PEDDLER APPLYING FOR BASE LICENSE)**

☐ Chips ☐ Candy ☐ Soda ☐ Hot Dogs ☐ Nachos ☐ Hamburgers ☐ Coffee/Cappuccino ☐ Milk ☐ Eggs ☐ Cheese ☐ Cut Meats
☐ Hot Foods ☐ Slushy Machine ☐ Making Ice
☐ Other : _____

5) SCALE

Will you be using a scale? ☐ Yes ☒ No (scale must be licensed by the Health Department, call (414) 286-3674.

6) GROSS FOOD SALES PER YEAR

Are you processing food? ☒ Yes ☐ No (Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.)

<input type="checkbox"/> \$0 – 20,000	<input type="checkbox"/> \$20,000 – 200,000	<input type="checkbox"/> \$200,001 to 2,000,000	<input type="checkbox"/> \$2,000,001 +
<input type="checkbox"/> Retail- Processing \$329	<input type="checkbox"/> Retail- Processing \$553	<input type="checkbox"/> Retail- Processing \$1238	<input type="checkbox"/> Retail- Processing \$1969
<input type="checkbox"/> Retail - No Processing \$184	<input type="checkbox"/> Retail - No Processing \$272	<input type="checkbox"/> Retail – No Processing \$506	<input type="checkbox"/> Retail - No Processing \$790
<input type="checkbox"/> Restaurant- Processing \$472	<input type="checkbox"/> Restaurant – Processing \$731	<input checked="" type="checkbox"/> Restaurant - Processing \$1119	<input type="checkbox"/> Restaurant - Processing \$1672
<input type="checkbox"/> Restaurant- No Processing \$225 (+\$10.50 State Fee for non-processing, skip question 9) (Regardless of Gross Food Sales)			

7) HAZARDOUS FOODS – RETAIL ONLY (DOES NOT APPLY TO RESTAURANTS OR MANUFACTURERS)

Are you handling potentially hazardous foods? ☐ Yes ☐ No (Potentially hazardous foods are defined as food that is natural or synthetic and that requires temperature control. It includes animal food that is raw or heat-treated and food of plant origin that is heat-treated or consists of raw seed sprouts, cut melons or garlic-in-oil mixtures that are not modified to not support growth of infectious or toxigenic microorganisms. If you sell even one of these items (which includes milk and eggs) check the "yes" box.)

<input type="checkbox"/> Sales less than \$25,000	<input type="checkbox"/> Sales \$25,000-\$1,000,000	<input type="checkbox"/> Sales higher than \$1,000,000
<input type="checkbox"/> Processing any foods \$6	<input type="checkbox"/> Processing hazardous foods \$26.50	<input type="checkbox"/> Processing hazardous foods \$68.50
	<input type="checkbox"/> Processing non-hazardous foods \$19	<input type="checkbox"/> Processing non-hazardous foods \$19

☐ No Processing Hazardous Foods \$4.50 (Regardless of Gross Food Sales)

☐ No Processing Non Hazardous Foods (answers to #6 and #7 are no) no state fee charged (Regardless of Gross Food Sales)

8) RESTAURANT INFORMATION

Do you have additional locations? ☐ Yes ☒ No If yes, how many? _____ Additional \$75 fee & \$8.00 DFHS fee per location
(NOTE: This is NOT additional stores that are part of a chain, but locations at the same address that are physically separated from food preparation areas in which additional food processing occurs, including reheating of food).

Type of Restaurant (check all that apply)

☐ Fast Food ☐ Take Out/Delivery ☒ Casual Dining ☐ Formal Dining

☐ Other: _____

9) LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

<input checked="" type="checkbox"/> Sweep	<input checked="" type="checkbox"/> Pressure Wash	<input checked="" type="checkbox"/> Pick Up Litter
<input type="checkbox"/> Hired Maintenance	<input type="checkbox"/> Building Owner's Responsibility	<input checked="" type="checkbox"/> Garbage Cans Outside
<input type="checkbox"/> Other		

Who is responsible to keep the grounds clean?

<input type="checkbox"/> Licensee	<input type="checkbox"/> Building Owner	<input checked="" type="checkbox"/> Employees
<input type="checkbox"/> Hired Maintenance	<input type="checkbox"/> Other	

How often will the grounds be cleaned?

<input checked="" type="checkbox"/> Daily	<input type="checkbox"/> Weekly	<input type="checkbox"/> Other
---	---------------------------------	--------------------------------

How are noise issues addressed (check all that apply):

<input type="checkbox"/> Security	<input checked="" type="checkbox"/> Manager approaches customer(s)	<input checked="" type="checkbox"/> Call police
<input type="checkbox"/> Signs posted	<input checked="" type="checkbox"/> Other	

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☒ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

10) Restaurant Complexity Factors (Table DHS 196.05 A)

Point(s)

Total

<input checked="" type="checkbox"/> Food is not prepared until an order is placed.	0	0
<input checked="" type="checkbox"/> Food items are held hot for one meal period or for a maximum of 4 hours, whichever is less.	0	0
<input checked="" type="checkbox"/> Food Preparation is limited to mixing together prepackaged products that do not need to be cooked further except for aesthetic reasons (such as frozen food concentrate or with milk) or to condiment preparation (such as slicing onions or pickles.)	0	0
<input type="checkbox"/> The restaurant contains a self-service salad or food bar.	1	
<input checked="" type="checkbox"/> The restaurant handles raw poultry, meat or seafood.	1	1
<input checked="" type="checkbox"/> The seating capacity of the restaurant or operation is 50 or more.	1	1
<input type="checkbox"/> Food is served through a drive through window for food pick-up.	1	
<input type="checkbox"/> The restaurant promotes delivery of ready to eat food products to customers.	1	
<input checked="" type="checkbox"/> Potentially hazardous foods are cooled, reheated or hot or cold held for service longer than 4 hrs.	1	1
<input checked="" type="checkbox"/> Food is prepared in one location and then transported to be served in another location.	1	1
<input checked="" type="checkbox"/> The restaurant contains or uses banquet facilities as well as a main dining area.	1	1
<input checked="" type="checkbox"/> Food is served that requires preparation activities such as chopping, dicing, slicing, boiling, cooling, blanching or reheating in order for that product to be served.	1	1
Total	Zero - SIMPLE=\$23 1-4 - MODERATE=\$33 5 or more =COMPLEX \$54	6 \$ 54

11) RETAIL ESTABLISHMENTS ONLY: PROCESSING OPERATIONAL CODES
(CHECK ALL THAT APPLY)

<input type="checkbox"/>	BK	Bakery	Manufacturing of donuts, cakes, breads, cookies and rolls
<input type="checkbox"/>	BO	Bottling	Bottling water or juice for retail sale
<input type="checkbox"/>	BV	Hot/Cold Beverages	Making coffee or dispensing soda
<input type="checkbox"/>	CK	Cooking	Any cooking activity for retail sale
<input type="checkbox"/>	CT	Catering	Any type of catering activity
<input type="checkbox"/>	CY	Confectionery	Making candy or confectionery items
<input type="checkbox"/>	DL	Delicatessen	Manufacturing of deli items for retail sale
<input type="checkbox"/>	FR	Freezing	Food preservation in relation to date marking
<input type="checkbox"/>	GR	Grinding	Coffee beans, hamburger
<input type="checkbox"/>	IC	Ice Cream/Soft Serve	Soft serve or ice cream dispensing
<input type="checkbox"/>	IM	Ice Making	Manufacturing ice for retail sale
<input type="checkbox"/>	MC	Meat Cutting	Retail meat cutting operation
<input type="checkbox"/>	MD	Meat Distributor	Wholesale distribution of inspected meat products
<input type="checkbox"/>	MX	Mixing	Mixing two or more food ingredients
<input type="checkbox"/>	PC	Popping Corn	Process of popping corn for retail sale
<input type="checkbox"/>	PK	Packaging	Packaging food for further sale
<input type="checkbox"/>	PP	Produce Processing	Washing and cutting of produce
<input type="checkbox"/>	RT	Restaurant	Any restaurant type activity (i.e. hot dog roller, chicken, etc.)
<input type="checkbox"/>	SD	Seafood Department	Fresh seafood for retail sale
<input type="checkbox"/>	SE	Shell Egg Packaging	Packaging shell eggs for retail sale
<input type="checkbox"/>	SM	Smoking/Curing	Smoking sausage or cheese – curing of hams
<input type="checkbox"/>	SV	Salvage	Conducting salvage activities on distressed food – retail only
<input type="checkbox"/>	TR	Traveling	Knock-down stand of mobile type retail operation
<input type="checkbox"/>	VP	Vacuum Packaging	Vacuum packaging food at retail
<input type="checkbox"/>	VV	Variance	Any variance required by the Wisconsin Food Code
<input type="checkbox"/>	WG	Wild Game	Processing wild game (venison, fish, etc.) at retail

12) HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	6 am	2 am	180	N/A	N/A
Monday	6 am	2 am	90	↓	↓
Tuesday	6 am	2 am	90		
Wednesday	6 am	2 am	90		
Thursday	6 am	2 am	135		
Friday	6 am	2 am	135		
Saturday	6 am	2 am	180		

13) ISSUANCE OF LICENSE

Are you also going to apply for an alcohol beverage license at this time? ☐ No ☒ Yes

If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

☒ immediately so you can open your food business ☐ at the same time as the alcohol license

SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"

Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1. AB I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2. AB I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3. AB I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4. AB I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5. AB I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6. AB I understand that all of the above must be complete before my permit is eligible to be issued.
7. AB I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, Augusto P. Sandrom, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant: AB Sandrom Date: 1-31-2014



BREAKFAST SUMMER 2014

Savory

Two Eggs Any Style	\$5.50
Three Brothers Farm Eggs any style, with choice of toast and ENGINE CO. hash browns add house made bacon, cured ham or sausage \$2.00	
Croissant Sandwich	\$7.50
a fried Three Brother Farm egg, Carr Valley Chipotle-cheddar, ENGINE CO. hash browns add house made bacon \$2.00	
Nduja Omelet	\$8.50
La Quercia Nduja, Montamore cheese and basil in a Three Brothers Farms two egg omelet Served with a choice of toast, and ENGINE CO. hash browns	
Avocado, Heirloom Tomtato, Spinach Omelet	\$8.50
Three Brothers Farm two egg omelet filled with avocado, local heirloom tomatoes and local spinach. Served with choice of toast and ENGINE CO. hash browns.	
Bimbebap	\$7.95
A classic Korean dish of sautéed seasonal vegetables, braised Maple Creek Farms pork, soy sauce, rice and topped with a Three Brothers fried egg	
Calentado	\$7.50
A Colombian dish of rice, Flyte Family Farm horto beans, Tia Paquita chorizo, JenEhr Farms chicken, topped with a Three Brothers fried egg	
Huevos Divorciados	\$6.50
The Mexican cure for a hang over. Two fried Three Brothers Farms egg. One topped with salsa verde, the other with salsa roja and separated by chilequiles	
Fried Polenta Benedict	\$8.00
Two roasted garlic polenta triangles, topped with poached eggs and Bernaise Sauce Served with ENGINE CO. hash browns	

Sweet

Apple Flapjacks	\$6.95
Two of our fluffy flapjacks layered with caramelized Brightonwoods Apples, topped with warm bourbon cream and spiced maple syrup	
Door County Cherry Hot Cakes	\$6.95
Two of our fluffy hot cakes filled with drunken door county cherries, LaClare Farm Chevre and topped with lemon crème anglaise	
Michigan Peach French Toast	\$7.95
A stack of three brioche French toast layered with Michigan peaches, lemon curd and served with honey-pecan butter and maple syrup	
Simply Pancakes	\$5.50
A stack of three of our fluffy pancakes served with honey butter and warm maple syrup	
Cranberry Cinnamon Swirl French Toast	\$7.95
A stack of three cranberry-filled brioche French toast, brown sugar, apple butter, warm vanilla cream and an oatmeal streusel topping	
Simply French Toast	\$5.50
A stack of three brioche French toast served with honey butter and warm maple syrup	
Granola, Yogurt and Seasonal Fruit	\$6.50
Housemade granola, Sugar River yogurt and seasonal fruit	

Sides

Drinks

ENGINE CO. Hash Browns	\$3.00	Coffee	\$2.00
House-smoked bacon	\$2.50	Espresso	\$2.00
House-made sausage	\$2.50	Cappucino	\$3.50
House-cured ham	\$2.50	Machiato	\$3.50
Toast	\$2.00	Americano	\$2.50
Side of fruit	\$3.50	Tea	\$2.00
		La Merenda Sodas	\$2.00
		Freshly Squeezed juices	\$2.50
		Mimosa	\$6.00
		Bloody Mary	\$6.00
		Screwdriver	\$6.00
		Tom Collins	\$6.00
		Bellini	\$7.00
		Greyhound	\$6.00



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 10

DHINGRA, Reena, Agent
Express Pantry Food Mart, Inc
2719 N Blaine Pl

Milwaukee, WI 53210

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store License Applications as agent for "Express Pantry Food Mart, Inc" for "Express Pantry Food Mart" at 2719 N Blaine Pl.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 10

DHINGRA, Reena, Agent
Express Pantry Food Mart, Inc
4893 S Waterview Ct

Milwaukee, WI 53220

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store License Applications as agent for "Express Pantry Food Mart, Inc" for "Express Pantry Food Mart" at 2719 N Blaine Pl.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

MILWAUKEE POLICE DEPARTMENT
LICENSE INVESTIGATION UNIT

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS
SYNOPSIS

DATE: 06/18/2014

LICENSE TYPE: CLASS A MALT

NEW:

RENEWAL: X

No. 189448

Application Date: 06/17/2014

Expiration Date:

License Location: 2719 N. Blaine Pl.

Aldermanic District: 10

Business Name: EXPRESS PANTRY

Licensee/Applicant: Babul, Parin B.

(Last Name, First Name, MI)

Date of Birth: 07/24/56

Male: X

Female:

Home Address: W176 N4826 Christopher Ct.

City: Menomonee Falls

State: WI

Zip Code: 53051

Home Phone: 262-781-4436

This report is written by Police Officer David NOVAK, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 12/03/99 at 7:08PM an underage Police Aide entered the Open Pantry located at 2718 N. Blaine Pl. under the direction of Police Officers. Upon entering the Police Aide purchased a 32oz bottle of malt liquor from the clerk Mohammad Imran. The Agent was not on the scene.

As to Clerk (Mohammad Imran)

Charge: Sale of Alcohol to Underage Person

Finding: Guilty

Sentence: Fined \$146.00

Date: 02/16/00

Case # 00004404

As to Agent (Parin B. Babul)

Charge: Sale of Alcohol to Underage Person

Finding: Not Issued

Date: 01/11/00

Citation # 5644104

2. On 03/08/00 an underage Police Aide entered the Open Pantry located at 2718 N. Blaine Pl. under the direction of Police Officers. Upon entering the Police Aide purchased a six-pack of beer from the clerk Patricia A. Nawaz. Investigation revealed that Patricia Nawaz did not have a Class D Bartender License, and no other licensed persons were present. The agent was not on the scene.

As to Clerk (Patricia A. Nawaz)

Charge:	Ct. 1 Sale of Alcohol to Underage Person
	Ct. 2 Class D Bartender License required
Finding:	Ct. 1 Warrant Issued (Non-appearance)
	Ct. 2 Warrant Issued (Non-appearance)
Sentence:	Ct. 1
	Ct. 2
Date:	Ct. 1 05/01/00
	Ct. 2 05/01/00
Case #	Ct. 1 00039222
	Ct. 2 00039223

These warrants and case numbers no longer appear on the City of Milwaukee Municipal web site.

As to Agent (Parin B. Babul)

Charge:	Ct. 1 Responsible Person Upon Licensed Premise
	Ct. 2 Class D Bartender License Required
	Ct. 3 Sale of Alcohol to Underage Person
Finding:	Ct. 1 Dismissed without prejudice
	Ct. 2 Dismissed without prejudice
	Ct. 3 Dismissed without prejudice
Date:	Ct. 1 06/06/00
	Ct. 2 06/06/00
	Ct. 3 06/06/00
Case #	Ct. 1 00039188
	Ct. 2 00039189
	Ct. 3 00039190

3. On 4-21-02, officers conduct a premises check at Express Pantry, 2719 N Blaine Place. The licensee, Parin B Babul, sold a six-pack of Miller Lite Beer cans to an underage Police Aide, without asking for identification.

Charge:	Sale of Alcoholic Beverage to Underage Person
Finding:	Guilty
Sentence:	Fined \$150.00
Date:	6-11-02
Case:	02075755
Citation:	57220870

-
4. On 11-4-06, at 2719 N Blaine Pl, Parin Babul was issued a citation for Sale of Cigarettes/Tobacco to Underage.

Charge: Sale of Cigarettes/tobacco to Underage
Finding: Guilty
Sentence: Fined \$100.00
Date: 12-28-06
Case: 06123640
Citation: 59595653

5. On 10/15/1992 Karim B. BABUL, listed on the police report as President, was charged in Milwaukee County with Disorderly Conduct 947.01. This incident has not been previously reported.

Charge: Disorderly Conduct
Finding: Guilty
Sentence: 1 year probation
Date: 01/21/1993
Case: 1993CM300074

6. On 01/16/2009 at 6:15pm Milwaukee Police conducted a licensed premise check at 2719 N. Blaine Place (Express Pantry) based on a citizen complaint. Officers discovered two cigar boxes behind the counter. One cigar box contained individual cigarettes for sale and the other cigar box contained glass tubes for sale. The clerk on duty at the time, who is also listed on the police report as President, was cited for Sell Cigarette in Package/Container without Stamp and Manufacture/Sell/Deliver Drug Paraphernalia.

As to the clerk: Babul, Karim B.

Charge 1: Sell Cigarette in Package/Container without Stamp
2: Manufacture/Sell/Deliver Drug Paraphernalia
Finding 1: Guilty
2: Dismissed without Prejudice
Sentence : \$160.00 fine
Date : 04/29/2009
Case : 09025021

-
7. On 01/16/09 at 7:00 pm, applicant received a citation for Sell Cigarettes in Package/Container Without Stamp at 2719 W Blaine Place.

Charge: Sell Cigarettes in Package/Container Without Stamp
Finding: Guilty
Sentence: Fined \$160.00
Date: 04/29/09
Case: 09025021

Previous premise

Date:06/30/2104
Officer: P.O. Nat Tharpe

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Convenience Store/Liquor Store Inspection

Name of Premise: Express Pantry
Address: 2719 N. Blaine Pl.
Phone: 414-442-1550

Owner: Pravinkumkr Patel
Owner address: 8635 W. Schlinger ave.
City State Zip: West Allis, WI 53214
Owner Phone: (414) 243-0127
Owner email: ppravin@ymail.com

Manager: Reena Dhingra
Home Address: 4893 S. Waterview CT.
City State Zip: Greenfield, WI 53220
Phone: (414) 702-1470
Email: reenadhingra@yahoo.com

Preferred contact: Reena Dhingra

Location currently open: ☒ YES ☐ NO

Projected open date: Currently Open

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: 7:00 am- 9:00 pm ☐24 hours ☐Y ☒N
Mon: 7:00 am- 10:00 pm
Tue: " " " "
Wed: " " " "
Thu: " " " "
Fri: " " " "
Sat: " " " "

Premise Type: ☐Liquor Store
☒Convenience Store
☐Other:

Licenses currently held:

Alcohol: ☒ Yes ☐ No Class: A #:
Tobacco: ☒ Yes ☐ No #:
Food: ☒ Yes ☐ No #:
Extended Hours: ☐ Yes ☒ No #:
Secondhand Dealer: ☐ Yes ☒ No Type: #:
Other: ☐ Yes ☐ No Type: #:
Other: ☐ Yes ☐ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☐ Park
 - b. ☐ School
 - c. ☐ Youth Center
 - d. ☐ Church
 - e. ☐ Tavern(s) If so, how many
 - f. ☒ Residential
 - g. ☒ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☒ Yes ☐ No
4. Can you see the employees inside of the location from the outside ☒ Yes ☐ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Is there a parking lot ☒ Yes ☐ No
7. Is the parking lot clean? ☒ Yes ☐ No
8. Is the parking lot well lit? ☒ Yes ☐ No
9. Are there areas where a person could conceal themselves ☒ Yes ☐ No
10. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
11. Exterior Payphone? ☐ Yes ☒ No
12. Are there No Loitering Signs posted? ☒ Yes ☐ No
13. Are there exterior security cameras ☐ Yes ☒ No How Many: New owners plan to install entire new camera system.
14. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

15. Does this location have security cameras? ☒ Yes ☐ No
16. Are they in working order? ☒ Yes ☐ No
17. What format are the cameras?
 - a. Color ☒ Yes ☐ No
 - b. Digital ☒ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☐ Yes ☐ No
18. How long is footage stored for later viewing: 7 Days
19. Are there exterior cameras ☐ Yes ☒ No How many:
20. Are there interior cameras ☒ Yes ☐ No How many: 6

21. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
New owners stated all employee's will be familiar with new system.

Interior Survey:

22. Is the storeowner willing to be a standing complainant regarding loitering? ☒ Yes ☐ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☐ No
23. Is the interior of the location neat and clean? ☒ Yes ☐ No
24. Does an interior camera face the entrance/exit? ☒ Yes ☐ No
25. Is there a lockable area that separates employees from customers? ☒ Yes ☐ No
26. Does the store sell single chore boy? ☒ Yes ☐ No
27. Does the store sell blunt wraps? ☐ Yes ☒ No Store does sell Blunt Cigars.
28. Does the store sell scales? ☐ Yes ☒ No
29. Does the store sell items that may be used as crack pipes? ☐ Yes ☒ No
a. Describe item
30. Does the store have an over abundance of sandwich baggies: ☐ Yes ☒ No
31. Does the owner understand that these items are often used for drug use? ☒ Yes ☐ No
a. Do the products in the store appear to be new and rotated often? ☒ Yes ☐ No
32. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
33. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Complete this section if alcohol establishment is a convenience store:

(** Read full ordinance for all details "68-4.3 Convenience Food Stores")

All convenience food stores not exempted under sub. 3 shall:

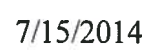
1. Is the cash register located in a manner so that at the time of a sales transaction, the employee and customer are both visible from the sidewalk? ☒ Yes ☐ No **
2. Are the glass entrance and exit doors clear of any signs or advertisements with the exception of a sign which states that the cash register contains \$50 or less and that the safe is no accessible to employees? ☒ Yes ☐ No
3. Does the store maintain one of the following on the licensed premise:
 - a. A safe that was in use at the convenience food store on August 17, 1994? ☒ Yes ☐ No
 - b. A drop-safe or time release safe that weighs at least 500 pounds or which is attached to or set into the floor in a manner approved by the police department? ☒ Yes ☐ No
4. Is lighting provided for the store's parking area during all hours of darkness when employees or customers are on the premises at a minimum average of 2-foot candles per square foot, unless the store is not open for business after sunset and before sunrise? ☒ Yes ☐ No ☐ N/A
5. Are at least two high-resolution surveillance security cameras installed? ☐ Yes ☒ No
6. Are the security cameras in working order? ☒ Yes ☒ No Exterior cameras do not work.
7. Does one camera show an overall view of the counter and register area? ☒ Yes ☐ No
8. Does one camera show a clear, identifiable, full frame image of the face of each person entering and leaving the store? ☒ Yes ☐ No
9. Are the camera views obstructed by fixtures or displays? ☐ Yes ☒ No

10. Is the recorded footage stored for at least 30 days? ☐ Yes ☒ No
11. Do all store employees know how to record footage from the camera system to media capable of being transferred to police custody? ☐ Yes ☒ No
12. Are customer entrances/exits made of glass or other transparent material? ☒ Yes ☐ No
- a. Exception: A store that does not have such doors on August 17, 1994 shall not be required to install such doors until the holder of the store's food dealer license changes.
13. Has the owner and their employees attended the Robbery Prevention Training within 120 days of ownership or employment? ☐ Yes ☒ No
- a. Contact Community Outreach and Education at 935-7836 for schedule.

Sub 3. Exemptions. The requirements of this section do not apply to a convenience food store that conforms to either of the following descriptions:

- a-1. The store is located in an enclosed shopping structure, enclosed commercial building or hospital. A convenience food store is not in an enclosed structure or building if a customer can enter it directly from the outside.
Does store conform to a-1 ☐ Yes ☒ No
- a-2. The store physically separates employees from customers with a solid partition that bars a person from entering the employee area from the customer area, has a secure lock on the employee side of any door between the employee area and the customer, and conducts all transaction through a service window or similar arrangement.
Does store conform to a-2 ☒ Yes ☐ No
- a. At the commissioner's discretion, a convenience store may be exempted from any or all of the regulations specified in sub 2.
Does this location hold an exemption from the commissioner regarding any of the requirements of Sub 2? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:



License Summary:						Total				
Class A Fermented Malt Beverage Retailer's License						2				
Class A Malt & Class A Liquor License						1				
Class B Tavern License						1				
Expiration date	Legal entity	Trade name	Licensee	Address				License type name	Total capacity	Room capacity
7/30/2014	BLAINECONE, INC	EXPRESS PANTRY	PARIN B BABUL, Agt	2719	N	BLAINE	PL	Class A Fermented Malt Beverage Retailer's License		
7/25/2014	Hanna Food	Hanna Food	Raed M A Abdelrahman, SP	2778	N	59TH	ST	Class A Fermented Malt Beverage Retailer's License		
12/10/2014	CIMBALNIK'S LIQUOR, INC	STEVE'S LIQUOR	STEVEN M CIMBALNIK, Agt	6213	W	APPLETON	AV	Class A Malt & Class A Liquor License		
6/30/2015	Wally's Pub	Wally's Pub	Dennis J Jahnke, SP	5525	W	Lisbon	AV	Class B Tavern License	75	

Harris, David

From: License
Sent: Thursday, June 19, 2014 7:45 AM
To: Harris, David
Subject: FW: The selling of malt at Express Pantry Food Mart 2719 N Blaine Pl



Jonathan Koberstein
License Specialist III
City Clerk's Office License Division
City Hall Rm 105
200 E. Wells St
Milwaukee, WI 53202
(414) 286-2238 Office
(414) 286-3057 Fax

Sent: Wednesday, June 18, 2014 5:33 PM
To: License
Subject: The selling of malt at Express Pantry Food Mart 2719 N Blaine Pl

To whom this may concern,

We strongly object to allow Express Pantry Food Mart at 2719 N Blaine Pl a license to sell malt liquor. We have witnessed, on several occasions, public urination right outside of this establishment in broad daylight. This behavior is against the law, and should not be tolerated. Malt liquor contains almost 3 times as much alcohol as beer, therefore a chance of getting drunk faster. The purpose of buying malt liquor is to get drunk faster. This is a huge impact on the health, safety, and welfare of the public and the neighborhood.

Thank you,

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:
 - g-1. Disturbance of the peace.
 - g-2. Illegal drug activity.
 - g-3. Public drunkenness.
 - g-4. Drinking in public.
 - g-5. Harassment of passers-by.
 - g-6. Gambling.
 - g-7. Prostitution.
 - g-8. Sale of stolen goods
 - g-9. Public urination.
 - g-10. Theft.
 - g-11. Assaults.
 - g-12. Battery.
 - g-13. Acts of vandalism, including graffiti.
 - g-14. Excessive littering.
 - g-15. Loitering.
 - g-16. Illegal parking.
 - g-17. Loud noise at times when the licensed operation is open for business.
 - g-18. Traffic violations.
 - g-19. Curfew violations.
 - g-20. Lewd conduct.
 - g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.
- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014



Notice of Public Hearing

DHINGRA, Reena, Agent
Express Pantry Food Mart at 2719 N Blaine Pl
Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store License
Applications

Tuesday, July 22, 2014 at 8:15 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 7/22/2014 at 8:15 AM, in Common Council Chambers, 3rd Floor City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

RESIDENT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT RESIDENT	2676 N 63RD ST 1	MILWAUKEE, WI 53213-1550
CURRENT RESIDENT	2676 N 63RD ST 2	MILWAUKEE, WI 53213-1550
CURRENT RESIDENT	2676 N 63RD ST 3	MILWAUKEE, WI 53213-1550
CURRENT RESIDENT	2676 N 63RD ST 4	MILWAUKEE, WI 53213-1550
CURRENT RESIDENT	2681 N 62ND ST 1	MILWAUKEE, WI 53213-1562
CURRENT RESIDENT	2681 N 62ND ST 2	MILWAUKEE, WI 53213-1562
CURRENT RESIDENT	2681 N 62ND ST 3	MILWAUKEE, WI 53213-1562
CURRENT RESIDENT	2681 N 62ND ST 4	MILWAUKEE, WI 53213-1562
CURRENT RESIDENT	2704 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2710 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2715 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2716 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2721 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2722 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2727 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2728 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2731 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2732 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2735 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2739 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2740 N 61ST ST 1	MILWAUKEE, WI 53210-2110
CURRENT RESIDENT	2740 N 61ST ST 2	MILWAUKEE, WI 53210-2110
CURRENT RESIDENT	2740 N 61ST ST 3	MILWAUKEE, WI 53210-2110
CURRENT RESIDENT	2740 N 61ST ST 4	MILWAUKEE, WI 53210-2110
CURRENT RESIDENT	2741 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2743 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	2747 N 63RD ST	MILWAUKEE, WI 53210-2148
CURRENT RESIDENT	6100 W LISBON AVE 1	MILWAUKEE, WI 53210-2123
CURRENT RESIDENT	6100 W LISBON AVE 2	MILWAUKEE, WI 53210-2123
CURRENT RESIDENT	6100 W LISBON AVE 3	MILWAUKEE, WI 53210-2123
CURRENT RESIDENT	6100 W LISBON AVE 4	MILWAUKEE, WI 53210-2123
CURRENT RESIDENT	6107 W CENTER ST 1	MILWAUKEE, WI 53210-2156
CURRENT RESIDENT	6107 W CENTER ST 2	MILWAUKEE, WI 53210-2156
CURRENT RESIDENT	6107 W CENTER ST 3	MILWAUKEE, WI 53210-2156
CURRENT RESIDENT	6107 W CENTER ST 4	MILWAUKEE, WI 53210-2156
CURRENT RESIDENT	6107 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6109 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6110 W LISBON AVE 1	MILWAUKEE, WI 53210-2126
CURRENT RESIDENT	6110 W LISBON AVE 2	MILWAUKEE, WI 53210-2126
CURRENT RESIDENT	6110 W LISBON AVE 3	MILWAUKEE, WI 53210-2126
CURRENT RESIDENT	6110 W LISBON AVE 4	MILWAUKEE, WI 53210-2126
CURRENT RESIDENT	6111 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6116 W LISBON AVE 1	MILWAUKEE, WI 53210-2127
CURRENT RESIDENT	6116 W LISBON AVE 2	MILWAUKEE, WI 53210-2127
CURRENT RESIDENT	6116 W LISBON AVE 3	MILWAUKEE, WI 53210-2127
CURRENT RESIDENT	6116 W LISBON AVE 4	MILWAUKEE, WI 53210-2127
CURRENT RESIDENT	6117 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6122 W LISBON AVE 1	MILWAUKEE, WI 53210-2128
CURRENT RESIDENT	6122 W LISBON AVE 2	MILWAUKEE, WI 53210-2128
CURRENT RESIDENT	6122 W LISBON AVE 3	MILWAUKEE, WI 53210-2128
CURRENT RESIDENT	6122 W LISBON AVE 4	MILWAUKEE, WI 53210-2128
CURRENT RESIDENT	6125 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6126 W LISBON AVE 1	MILWAUKEE, WI 53210-2129
CURRENT RESIDENT	6126 W LISBON AVE 2	MILWAUKEE, WI 53210-2129
CURRENT RESIDENT	6126 W LISBON AVE 3	MILWAUKEE, WI 53210-2129

CURRENT RESIDENT	6126 W LISBON AVE 4	MILWAUKEE, WI 53210-2129
CURRENT RESIDENT	6131 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6132 W LISBON AVE 1	MILWAUKEE, WI 53210-2130
CURRENT RESIDENT	6132 W LISBON AVE 2	MILWAUKEE, WI 53210-2130
CURRENT RESIDENT	6132 W LISBON AVE 3	MILWAUKEE, WI 53210-2130
CURRENT RESIDENT	6132 W LISBON AVE 4	MILWAUKEE, WI 53210-2130
CURRENT RESIDENT	6135 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6141 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6143 W LISBON AVE	MILWAUKEE, WI 53210-2125
CURRENT RESIDENT	6205 W LISBON AVE 1	MILWAUKEE, WI 53210-2134
CURRENT RESIDENT	6205 W LISBON AVE 2	MILWAUKEE, WI 53210-2134
CURRENT RESIDENT	6205 W LISBON AVE 3	MILWAUKEE, WI 53210-2134
CURRENT RESIDENT	6205 W LISBON AVE 4	MILWAUKEE, WI 53210-2134
CURRENT RESIDENT	6211 W CENTER ST 1	MILWAUKEE, WI 53210-2160
CURRENT RESIDENT	6211 W CENTER ST 2	MILWAUKEE, WI 53210-2160
CURRENT RESIDENT	6211 W CENTER ST 3	MILWAUKEE, WI 53210-2160
CURRENT RESIDENT	6211 W CENTER ST 4	MILWAUKEE, WI 53210-2160
CURRENT RESIDENT	6211 W LISBON AVE 1	MILWAUKEE, WI 53210-2136
CURRENT RESIDENT	6211 W LISBON AVE 2	MILWAUKEE, WI 53210-2136
CURRENT RESIDENT	6211 W LISBON AVE 3	MILWAUKEE, WI 53210-2136
CURRENT RESIDENT	6211 W LISBON AVE 4	MILWAUKEE, WI 53210-2136

Total Records: 77

Radius: 250.0 feet and Center of Circle: 2719 N Blaine PL

Celella, Jessica

From: Celella, Jessica
Sent: Wednesday, July 16, 2014 11:49 AM
To: 'ivantorres121@sbcglobal.net'
Subject: Notice of Public Hearing
Attachments: 2014_07_16_11_47_55.pdf

Please see the attached notice regarding Express Pantry Food Mart at 2719 N Blaine Pl.

Jessica Celella
Staff Assistant
City Clerk's Office
200 E Wells St, Room 205
Milwaukee, WI 53202
414.286.2775



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

NIMAT LLC
2719 N Blaine Pl

Milwaukee, WI 53210

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store
License Applications
DHINGRA, Reena, Agent
Express Pantry Food Mart at 2719 N Blaine Pl

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

Wahe Ram Inc
8635 W Schlinger Ave

West Allis, WI 53214

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class A Fermented Malt Beverage Retailer's and Food Dealer - Convenience Store
License Applications
DHINGRA, Reena, Agent
Express Pantry Food Mart at 2719 N Blaine Pl

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.



Subject: Agreeing on not to sell 40oz beer bottle

As per the conversation today we agree not to sell the 40oz beer bottle at the 2719 N blaine place, Milwaukee, WI location.

The corp is under Express Pantry Food Mart Inc. for the new beer license.

Member and Agent on the location are listed below,

Pravin kumar Patel (Member)

8635 W. Schlinger ave West allis, WI 53214

Pravin R. Patel 414-243-0127

Reena Dhillon (Agent)

4893 S. Waterview Ct. Green field, WI 53220

Reena

414-702-1470.

7-9-14



PLAN OF OPERATION

1. Premises Location

☒ Free Standing Building ☐ Strip Mall ☐ Other _____

2. Describe Premises Structure

☒ Single Story ☐ Multi-Story - # of Stories _____ ☐ Other _____

3. Describe Surrounding Area

☒ Commercial ☐ Residential ☐ Industrial ☐ Other _____

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
 b) Nearest Cross Street _____

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☒ Yes ☐ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: 06/25/2014
 b) Is this premise under construction? ☐ Yes ☒ No If yes, list estimated completion date: _____
 c) Is this a franchise? ☐ Yes ☒ No
 d) Is this premises currently licensed? ☒ Yes ☐ No If yes, list type of license: _____
 e) Is the current licensee operating? ☒ Yes ☐ No If no, list date closed: _____
 f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☒ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☒ Other: FOOD
 g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No
 If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.
 Check all that apply: ☒ Prepackaged Food ☐ Snacks ☐ Appetizers ☐ Catered Events
☐ Full Meals – Hours of Food Service: From _____ To _____
 A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

CONVENIENCE STORE

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☒ Licensee ☐ Building Owner ☒ Employees ☐ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☐ Security ☒ Manager approaches customer(s) ☐ Call Police☒ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 2 Locations: BY CASH REGISTER & RESTROOMOutside: 1 Locations: BY FRONT DOOR.Is a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): EMPLOYEES ARE RESPONSIBLE TO CLEAN / SANITIZE RESTROOM.Provide name of solid waste contractor: WASTE MANAGEMENT**11. Security**Are there parking spaces on the premises? ☐ No ☒ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☒ No ☐ Yes If yes, describe security provisions: _____Do you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☐ No ☒ Yes If yes, list all locations: MONITORS INSIDE + STORE SURROUNDINGS 24/7Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 20 % Food Sales 80 % Entertainment 0 % Other 0 %**13. Businesses On The Premise (choose all that apply):****Type 1**☐ Full Service Restaurant☐ Cafe/Coffee Shop☐ Deli or Fast Food Restaurant☐ Private/Fraternal/Veterans Club☐ Night Club☐ Tavern☐ Cocktail Lounge☐ Teen Club☐ Bowling Alley☐ Hotel☐ Banquet Hall☐ Sports Facility**Type 2**☐ Liquor Store☐ Corner Store☐ Supermarket☒ Convenience Store☐ Gas Station☐ Other: _____**14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)**

_____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

- N/A -

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	6:00 AM	10:00 PM	200	10 to 85	
Monday	6:00 AM	10:00 PM	200	10 to 85	
Tuesday	6:00 AM	10:00 PM	200	10 to 85	
Wednesday	6:00 AM	10:00 PM	200	10 to 85	
Thursday	6:00 AM	10:00 PM	200	10 to 85	
Friday	6:00 AM	10:00 PM	200	10 to 85	
Saturday	6:00 AM	10:00 PM	200	10 to 85	

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday - Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: WAHE RAM INC (PRAVINKUMAR PATEL) Phone Number: 414-243-0127
Address: 8635 W. SCHUNGER AVE. WEST AUWIS WI 53214
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☐ No ☒ Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

- d) Does anyone else have money invested or any other interest in this business? ☒ No ☐ Yes
If yes, explain: _____
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☒ No ☐ Yes If yes, list name and address: _____
- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility ☒ N/A
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts
- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☒ Yes - N/A

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- a) Be in the same legal entity name as that apply for the license
b) Reflect the same address as the premises address on this application
c) Reflect current dates and
d) Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☐ Own ☒ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? EXPRESS PANTRY FOOD MART
- c) Are you purchasing the stock and/or fixtures? ☐ No ☒ Yes If yes, amount paid \$ _____
- d) Total amount paid for business \$ 130,000.00
- e) Total amount paid for goodwill of the business \$ 100,000.00

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

- f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☒ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 06/25/14 Ends 06/25/19
- b) Monthly rental \$ 2500
- c) Do you have an option to renew the lease? ☐ No ☒ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☐ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 10 YRS.
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☒ No ☐ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes
If yes, explain _____

20. Change of Agent Applicants Only

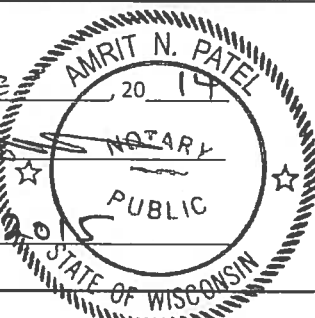
- Have there been any changes to the floor plan since the last application was submitted? ☒ No ☐ Yes
- If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**

This 3 day of JUNE, 2014

Amrit N. Patel
(Clerk/Notary Public)

My Commission Expires 12/06/2015
*Notary Seal must be affixed.



X Patel

Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.
Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.

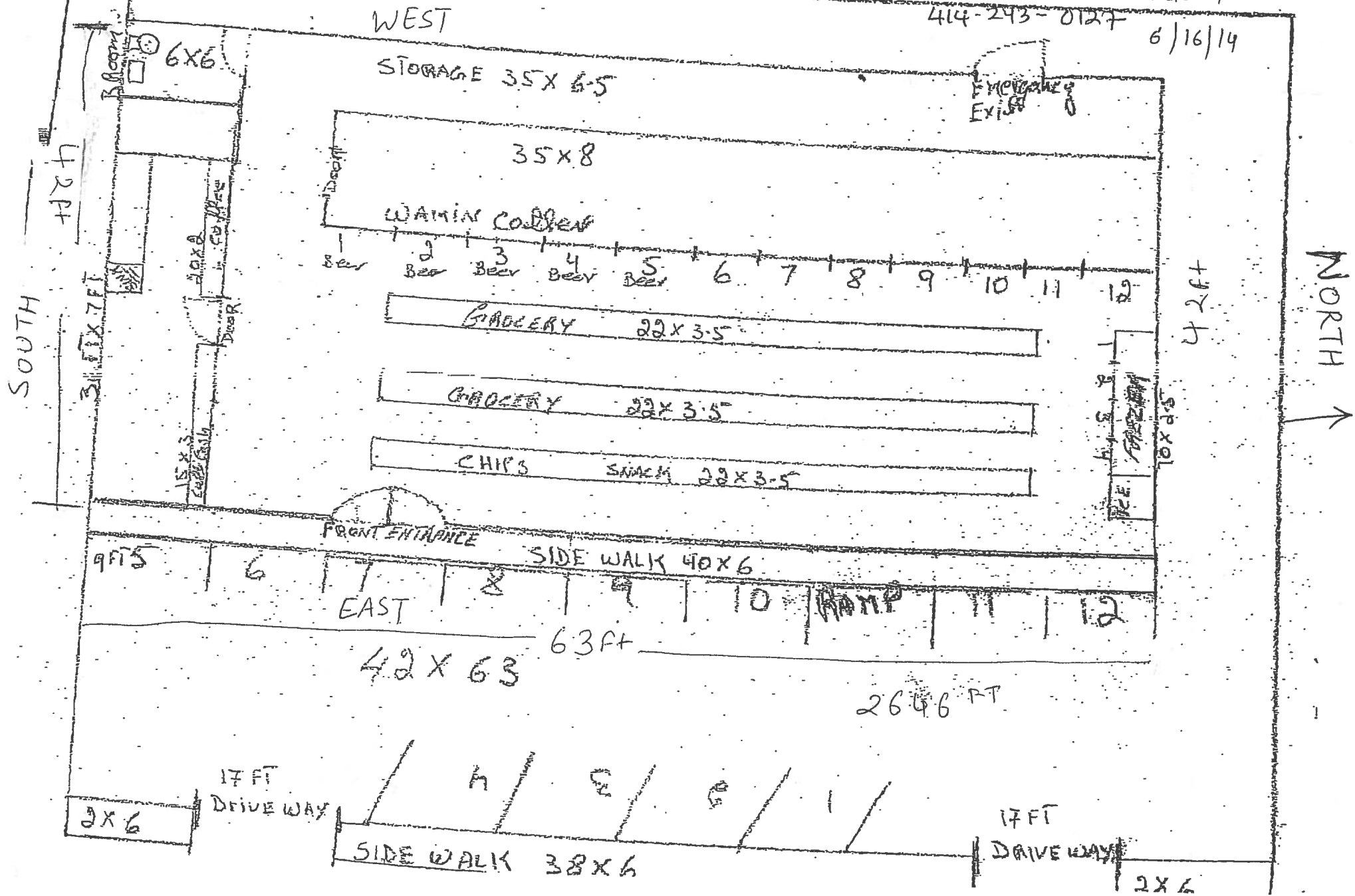
New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.

EXPRESS PANTRY FOOD MART INC
2719 N. BLAINE PL, MILWAUKEE WI 53218
"REENA DHINGRA" AGENT

6/16/14





FOOD DEALER SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION

CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •

(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

1) PREMISE DESCRIPTION, SITE EVALUATION & PLAN EXAMINATION

Premise Description - list all areas where food will be sold, served, consumed and/or stored: (for example: 1st Floor, 2nd Floor, Sidewalk Café, Patio, Basement Storage) 1ST FLOOR

Has this location been licensed as a food business previously? ☒ Yes ☐ No (If no, site evaluation required.)

When did the last license expire? ☒ Currently Operating ☐ 1-4 years ☐ 5 or more years (If 5 or more years, site evaluation required.)

If previously licensed, are you planning on processing food or preparing meals at a location that was previously licensed for prepackaged food only? ☐ Yes ☒ No (If yes, site evaluation required.)

Site evaluation required? ☐ Yes ☒ No ☐ \$212 for processing food ☐ \$110 for non-processing

Do you wish to have a plan examination of plumbing or ventilation equipment performed? ☐ Yes ☒ No

☐ Partial Plan \$83 (i.e. hood installation, work on dining area) ☐ Complete Plan \$274 (i.e. renovation of the kitchen)

2) PREINSPECTION (REQUIRED FOR ALL NEW APPLICANTS)

☐ Change of Operator Only (\$61)

☒ New operation with no new construction or no substantial alterations (\$61) (i.e. hood installation or work on the dining area)

☐ New or Altered Food Operations which involve new construction or substantial alterations (\$241) (i.e. renovation of the kitchen)

3) BUSINESS TYPE – CHOOSE ONE:

RETAIL - Answer all remaining questions except #8 & 9

☒ **CONVENIENCE FOOD STORE** - Contains less than 5,000 sq ft of retail sales space AND Has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

☐ **CONVENIENCE STORE – GAS STATION** - A filling station that sells basic food items and in addition sells household products.

☐ **DISTRIBUTOR**

☐ **DISTRIBUTOR – NO FOOD STORAGE**

☐ **FOOD STORE**

☐ **GAS STATION**

☐ **RETAIL FOOD MANUFACTURER**

☐ **WHOLESALE FOOD MANUFACTURER**

☐ **Wholesale Food Manufacturer – with Retail Store**

☐ **Other:**

RESTAURANT - Answer all remaining questions except #7 and where otherwise indicated

☐ **BED & BREAKFAST *** \$75 plus \$8 DFHS Fee
No site evaluation or plan examination required.

☐ **MEAL SERVICE EST/COMMUNITY FOOD PROGRAM *** \$28
No other fees apply.

• Skip questions #6-12 if B&B or MSE/CFP

☐ **BASE FOR MOBILE UNIT**
(No menu is required to be submitted)

☐ **RESTAURANT**

☐ **TAVERN**

☐ **CATERER**

☐ **OTHER:** _____

4) CHECK/LIST BELOW ALL TYPES OF FOOD YOU WILL BE SERVING/SELLING (RETAIL ONLY)
RESTAURANTS MUST SUBMIT A MENU WITH THIS APPLICATION
(NOT REQUIRED IF A PEDDLER APPLYING FOR BASE LICENSE)

☐ Chips ☒ Candy ☒ Soda ☐ Hot Dogs ☐ Nachos ☐ Hamburgers ☐ Coffee/Cappuccino ☒ Milk ☒ Eggs ☒ Cheese ☐ Cut Meats
☐ Hot Foods ☐ Slushy Machine ☐ Making Ice
☐ Other : _____

5) SCALE

Will you be using a scale? ☐ Yes ☒ No (scale must be licensed by the Health Department, call (414) 286-3674.

6) GROSS FOOD SALES PER YEAR

Are you processing food? ☐ Yes ☒ No (Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.)

<input type="checkbox"/> \$0 – 20,000	<input checked="" type="checkbox"/> \$20,000 – 200,000	<input type="checkbox"/> \$200,001 to 2,000,000	<input type="checkbox"/> \$2,000,001 +
<input type="checkbox"/> Retail- Processing \$329	<input type="checkbox"/> Retail- Processing \$553	<input type="checkbox"/> Retail- Processing \$1238	<input type="checkbox"/> Retail- Processing \$1969
<input type="checkbox"/> Retail - No Processing \$184	<input checked="" type="checkbox"/> Retail - No Processing \$272	<input type="checkbox"/> Retail – No Processing \$506	<input type="checkbox"/> Retail - No Processing \$790
<input type="checkbox"/> Restaurant- Processing \$472	<input type="checkbox"/> Restaurant – Processing \$731	<input type="checkbox"/> Restaurant - Processing \$1119	<input type="checkbox"/> Restaurant - Processing \$1672
<input type="checkbox"/> Restaurant- No Processing \$225 (+\$10.50 State Fee for non-processing, skip question 9) (Regardless of Gross Food Sales)			

7) HAZARDOUS FOODS – RETAIL ONLY (DOES NOT APPLY TO RESTAURANTS OR MANUFACTURERS)

Are you handling potentially hazardous foods? ☒ Yes ☐ No (Potentially hazardous foods are defined as food that is natural or synthetic and that requires temperature control. It includes animal food that is raw or heat-treated and food of plant origin that is heat-treated or consists of raw seed sprouts, cut melons or garlic-in-oil mixtures that are not modified to not support growth of infectious or toxigenic microorganisms. If you sell even one of these items (which includes milk and eggs) check the "yes" box.)

<input type="checkbox"/> Sales less than \$25,000	<input type="checkbox"/> Sales \$25,000-\$1,000,000	<input type="checkbox"/> Sales higher than \$1,000,000
<input type="checkbox"/> Processing any foods \$6	<input type="checkbox"/> Processing hazardous foods \$26.50	<input type="checkbox"/> Processing hazardous foods \$68.50
	<input type="checkbox"/> Processing non-hazardous foods \$19	<input type="checkbox"/> Processing non-hazardous foods \$19

☒ No Processing Hazardous Foods \$4.50 (Regardless of Gross Food Sales)

☐ Processing Non Hazardous Foods (answers to #6 and #7 are no) no state fee charged (Regardless of Gross Food Sales)

8) RESTAURANT INFORMATION

- N/A -

Do you have additional locations? ☐ Yes ☐ No If yes, how many? _____ Additional \$75 fee & \$8.00 DFHS fee per location
(NOTE: This is NOT additional stores that are part of a chain, but locations at the same address that are physically separated from food preparation areas in which additional food processing occurs, including reheating of food).

Type of Restaurant (check all that apply)

<input type="checkbox"/> Fast Food	<input type="checkbox"/> Take Out/Delivery	<input type="checkbox"/> Casual Dining	<input type="checkbox"/> Formal Dining
<input type="checkbox"/> Other: _____			

9) LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

☒ Sweep

☐ Pressure Wash

☒ Pick Up Litter

☐ Hired Maintenance

☐ Building Owner's Responsibility

☒ Garbage Cans Outside

☐ Other

Who is responsible to keep the grounds clean?

☒ Licensee

☐ Building Owner

☒ Employees

☐ Hired Maintenance

☐ Other

How often will the grounds be cleaned?

☒ Daily

☐ Weekly

☐ Other

How are noise issues addressed (check all that apply):

☐ Security

☒ Manager approaches customer(s)

☐ Call police

☒ Signs posted

☐ Other

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☒ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

10) Restaurant Complexity Factors (Table DHS 196.05 A)

Point(s)

Total

☐ Food is not prepared until an order is placed.

0

☐ Food items are held hot for one meal period or for a maximum of 4 hours, whichever is less.

0

☐ Food Preparation is limited to mixing together prepackaged products that do not need to be cooked further except for aesthetic reasons (such as frozen food concentrate or with milk) or to condiment preparation (such as slicing onions or pickles.)

0

☐ The restaurant contains a self-service salad or food bar.

1

☐ The restaurant handles raw poultry, meat or seafood.

1

☐ The seating capacity of the restaurant or operation is 50 or more.

1

☐ Food is served through a drive through window for food pick-up.

1

☐ The restaurant promotes delivery of ready to eat food products to customers.

1

☐ Potentially hazardous foods are cooled, reheated or hot or cold held for service longer than 4 hrs.

1

☐ Food is prepared in one location and then transported to be served in another location.

1

☐ The restaurant contains or uses banquet facilities as well as a main dining area.

1

☐ Food is served that requires preparation activities such as chopping, dicing, slicing, boiling, cooling, blanching or reheating in order for that product to be served.

1

Total Zero - SIMPLE=\$23 1-4 - MODERATE=\$33 5 or more =COMPLEX \$54

\$ _____

11) RETAIL ESTABLISHMENTS ONLY: PROCESSING OPERATIONAL CODES**(CHECK ALL THAT APPLY)**

<input checked="" type="checkbox"/>	BK	Bakery	Manufacturing of donuts, cakes, breads, cookies and rolls
<input checked="" type="checkbox"/>	BO	Bottling	Bottling water or juice for retail sale
<input checked="" type="checkbox"/>	BV	Hot/Cold Beverages	Making coffee or dispensing soda
<input type="checkbox"/>	CK	Cooking	Any cooking activity for retail sale
<input type="checkbox"/>	CT	Catering	Any type of catering activity
<input checked="" type="checkbox"/>	CY	Confectionery	Making candy or confectionery items
<input type="checkbox"/>	DL	Delicatessen	Manufacturing of deli items for retail sale
<input checked="" type="checkbox"/>	FR	Freezing	Food preservation in relation to date marking
<input checked="" type="checkbox"/>	GR	Grinding	Coffee beans, hamburger
<input checked="" type="checkbox"/>	IC	Ice Cream/Soft Serve	Soft serve or ice cream dispensing
<input checked="" type="checkbox"/>	IM	Ice Making	Manufacturing ice for retail sale
<input type="checkbox"/>	MC	Meat Cutting	Retail meat cutting operation
<input checked="" type="checkbox"/>	MD	Meat Distributor	Wholesale distribution of inspected meat products
<input type="checkbox"/>	MX	Mixing	Mixing two or more food ingredients
<input checked="" type="checkbox"/>	PC	Popping Corn	Process of popping corn for retail sale
<input type="checkbox"/>	PK	Packaging	Packaging food for further sale
<input type="checkbox"/>	PP	Produce Processing	Washing and cutting of produce
<input type="checkbox"/>	RT	Restaurant	Any restaurant type activity (i.e. hot dog roller, chicken, etc.)
<input type="checkbox"/>	SD	Seafood Department	Fresh seafood for retail sale
<input type="checkbox"/>	SE	Shell Egg Packaging	Packaging shell eggs for retail sale
<input type="checkbox"/>	SM	Smoking/Curing	Smoking sausage or cheese – curing of hams
<input type="checkbox"/>	SV	Salvage	Conducting salvage activities on distressed food – retail only
<input type="checkbox"/>	TR	Traveling	Knock-down stand of mobile type retail operation
<input type="checkbox"/>	VP	Vacuum Packaging	Vacuum packaging food at retail
<input type="checkbox"/>	VV	Variance	Any variance required by the Wisconsin Food Code
<input type="checkbox"/>	WG	Wild Game	Processing wild game (venison, fish, etc.) at retail

12) HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	6:00 AM	10:00 PM	200		
Monday	6:00 AM	10:00 PM	200		
Tuesday	6:00 AM	10:00 PM	200		
Wednesday	6:00 AM	10:00 PM	200		
Thursday	6:00 AM	10:00 PM	200		
Friday	6:00 AM	10:00 PM	200		
Saturday	6:00 AM	10:00 PM	200		

13) ISSUANCE OF LICENSEAre you also going to apply for an alcohol beverage license at this time? ☐ No ☒ Yes

If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

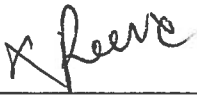
☐ immediately so you can open your food business ☒ at the same time as the alcohol license**SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"**

Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1. h I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2. h I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3. h I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4. h I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5. h I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6. h I understand that all of the above must be complete before my permit is eligible to be issued.
7. h I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, REENA DHINRA, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant: 

Date: 6/16/14

AGREEMENT RELATING TO STORAGE OF FOOD IN A PRIVATE RESIDENCE

**Must be completed if you are stocking vending machines or
are a food distributor using a private residence as your business address.**

Food storage by a vending machine owner or distributor in a private residence is limited as follows.

NOTE: No other food dealers may store food in a private residence.

1. Prior to issuance of a license, the storage area must be inspected and in compliance with the following:

- A. Food storage in the home must be limited to commercially packaged, non-potentially hazardous snack foods such as gums, candies, and chips.
- B. All food must be stored in its original container. There can be no storage of unwrapped bulk food products or removal of product from its original package for repackaging of any kind.
- C. No food can be stored in any room used as living or sleeping quarters. Food storage must be in a separate room, used exclusively for food storage. No other non-food items can be stored in this room. The room must also be equipped with a tight-fitting, self-closing door. No pets are to be kept or allowed in the food storage area.
- D. No food can be stored in a garage or other buildings outside the dwelling unit.
- E. Foods must be stored off the floor and away from the wall in rodent/insect proof containers (i.e., plastic or metal containers with tight-fitting lids).
- F. There shall be no sales made in or around the dwelling unit.
- G. This approval is only applicable to vending machine owners, peddlers, and distributors without retail operations or warehouses, and storage is limited to what can be sold in a week's time.
- H. Operator must agree to unannounced annual inspection of the storage area by the Milwaukee Health Department as a condition of licensing. Violation of any of the above requirements is grounds for denial or revocation of a license.
- I. Operator must have a Statement of Home Occupation on file with the Department of Building Inspection.
- J. Vehicles used in transporting foods are also subject to inspection and approval by the Health Department.
- K. No food can be stored in an attic unless the attic is properly finished and ventilated.

I have read and agree to the above as a condition of licensing.

Operator's Signature: _____

X [Signature]

2. In lieu of storage of food in my home, I will purchase product from an approved source as I need it for same day distribution without the storing of excess product.

I have read and agree to the above as a condition of licensing.

Operator's Signature: _____

X [Signature]



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 14

MCCLUTCHY, Matthew J, Agent
Clutch Corp.
2920 S Kinnickinnic Av

Milwaukee, WI 53207

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Fermented Malt Beverage Retailer's, Class C Wine Retailer's, and Public Entertainment Premises License Applications Requesting Bands and Instrumental Musicians as agent for "Clutch Corp." for "Anodyne Coffee Roasting Co." at 2920 S Kinnickinnic Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be used and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OW CZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 14

MCCLUTCHY, Matthew J, Agent
Clutch Corp.
1924 E Trowbridge St

Milwaukee, WI 53207

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Fermented Malt Beverage Retailer's, Class C Wine Retailer's, and Public Entertainment Premises License Applications Requesting Bands and Instrumental Musicians as agent for "Clutch Corp." for "Anodyne Coffee Roasting Co." at 2920 S Kinnickinnic Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OW CZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:05/29/2014
Officer: Klein

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Anodyne Coffee
Address: 2920 S. KK Ave
Phone: 414-489-0765

Owner: Matthew McClutchy
Owner address: 1924 E Trowbridge
City State Zip: Milwaukee, Wi. 53207
Owner Phone: 414-881-0435
Owner email:

Licensee/Agent: Same
Home Address:
City State Zip
Phone:
Email:

Preferred contact: Same

Location currently open: X YES NO

Projected open date: August for Beer and Wine

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA X ALL

Hours of Operation: Sun: 6:30am to 9:00pm 24 hours ☐Y X N
Mon: 6:30am to 9:00pm
Tue: 6:30am to 9:00pm
Wed: 6:30am to 9:00pm
Thu: 6:30am to 9:00pm
Fri: 6:30am to 9:00pm
Sat: 6:30am to 9:00pm

Premise Type: Tavern/Bar
X Restaurant
Other:

Licenses currently held:

Alcohol:	<input type="checkbox"/> Yes X No Class:	#:
Tobacco:	<input type="checkbox"/> Yes X No #:	
Food:	X Yes No #:	
Other:	<input type="checkbox"/> Yes X No Type:	#:
Other:	<input type="checkbox"/> Yes X No Type:	#:

Exterior Survey:

1. Is the area around the location clean? X Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. ☐ Youth Center
 - d. X Church
 - e. ☐ Tavern(s) If so, how many
 - f. X Residential
 - g. X Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior X Yes ☐ No
4. Can you see the employees inside of the location from the outside X Yes ☐ No
5. Are exterior windows free of signage X Yes ☐ No
6. Street parking X Yes ☐ No
7. Is there a parking lot Yes X No
8. Is the parking lot clean? Yes ☐ No
9. Is the parking lot well lit? ☐ Yes X No
10. Valet Parking ☐ Yes X No
 - a. Will this lot have a guard? ☐ Yes X No
 - b. Will this lot have cameras? Yes X No
11. Are there areas where a person could conceal themselves X Yes No
12. Is there exterior lighting? X Yes ☐ No. Does it appears to be adequate X Yes ☐ No
13. Exterior Payphone? ☐ Yes X No
14. Are there No Loitering Signs posted? ☐ Yes X No
15. Are there exterior security cameras Yes X No How Many:
16. Are the address numbers prominently displayed and easy to see X Yes ☐ No

Camera Survey:

17. Does this location have security cameras? Yes X No
18. Are they in working order? ☐ Yes X No
19. What format are the cameras?
 - a. Color Yes X No
 - b. Digital Yes X No
 - c. VCR ☐ Yes X No
 - d. Recorded Yes X No
20. How long is footage stored for later viewing: None
21. Are there exterior cameras Yes X No How many:
22. Are there interior cameras Yes X No How many:

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes X No
24. Cameras located in parking lot Yes X No

Interior Survey:

25. What is the planned/posted capacity
26. What is the minimum number of employees that will be on premise 5
27. Is the storeowner willing to be a standing complainant regarding loitering? X Yes ☐ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs X Yes ☐ No
28. Is the interior of the location neat and clean? X Yes ☐ No
29. Does an interior camera face the entrance/exit? Yes X No
30. Are emergency and non-emergency numbers posted near the phone? X Yes ☐ No
31. Does the owner know how to contact their police district directly? X Yes ☐ No
a. Did you provide a district contact guide to the owner? X Yes ☐ No

Security

32. How many security personnel are going to be employed: N/A
33. How will they be deployed: Interior Exterior
34. What days will they be deployed Mon Tue Wed Thu Fri Sat Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes X No
37. What type of security measures will be used:
☐ Wandering/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
X Other Check Id's for those buying and drinking beer
38. When at capacity, how will the overflow crowd be managed? No capacity as this is located in a park with outside seating
39. Will a guard monitor the overflow crowd at all times? X Yes ☐ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

Currently open Coffee shop that would like to sell Beer, Wine and pizzas. There is no security camera system and the owner is not looking to install them at this time. The owner stated that the store has been a victim of a couple Burglaries in the past. I informed McClutchy that installing a camera system will not only deter future Burglaries but it can also help us catch the person that has committed the Burglary. McClutchy stated that he would think about it. We have had no other incidents at this establishment.

**ALCOHOL LICENSES
WITHIN A HALF MILE RADIUS CENTERED ON
2920 S Kinnickinnic AV Milwaukee WI 53207, May 8, 2014**



LICENSE SUMMARY		
	Class B Tavern License	- 15 LICENSES
	Class C Wine Retailer's License	- 1 LICENSES
	Class B Fermented Malt Beverage Retailer's License	- 1 LICENSES
TOTAL: 17 LICENSES		

**ALCOHOL LICENSES
WITHIN A HALF MILE RADIUS CENTERED ON
2920 S Kinnickinnic AV Milwaukee WI 53207, May 8, 2014**

License Summary:

BTAVN - Class B Tavern License - 15 LICENSES
CWINE - Class C Wine Retailer's License - 1 LICENSES
BBEER - Class B Fermented Malt Beverage Retailer's License - 1 LICENSES

TOTAL: 17 LICENSES

<u>Premises Address</u>	<u>Establishment Name</u>	<u>Lic. Type</u>	<u>Exp. Date</u>
1. 2995 S CLEMENT Av	TENUTA'S ITALIAN RESTAURANT	BTAVN	2/6/2015
2. 2501 S DELAWARE Av	AT RANDOM COCKTAIL LOUNGE	BTAVN	6/30/2014
3. 3040 S DELAWARE Av	R&D Pub	BTAVN	7/11/2014
4. 2797 S KINNICKINNIC Av	CLASSIC SLICE PIZZA	CWINE	9/20/2014
5. 2797 S KINNICKINNIC Av	CLASSIC SLICE PIZZA	BBEER	5/24/2014
6. 2800 S KINNICKINNIC Av	FRANKS POWER PLANT	BTAVN	11/12/2014
7. 2826 S KINNICKINNIC Av	OUTPOST NATURAL FOODS COOPERATIVE	BTAVN	6/18/2014
8. 2900 S KINNICKINNIC Av	THE WHITE HOUSE	BTAVN	1/16/2015
9. 2988 S KINNICKINNIC Av	LEE'S LUXURY LOUNGE	BTAVN	5/24/2014
10. 2989 S KINNICKINNIC Av	PALM TAVERN	BTAVN	7/14/2014
11. 3001 S KINNICKINNIC Av	PASTICHE BISTRO	BTAVN	1/19/2015
12. 3007 S KINNICKINNIC Av	BLACKBIRD BAR	BTAVN	6/30/2014
13. 2860 S Kinnickinnic Av	Little DeMarinis Pizza	BTAVN	10/14/2014
14. 2300 E NOCK St	SOUTH SHORE YACHT CLUB	BTAVN	6/30/2014
15. 1503 E OKLAHOMA Av	Straight Shots	BTAVN	7/5/2014
16. 2109-13 E OKLAHOMA Av	CRABBY'S BAR & GRILL	BTAVN	6/30/2014
17. 1441 E RUSSELL Av	G GROPPi'S FOOD MARKET	BTAVN	9/26/2014

5/8/2014



Tuesday, July 15, 2014



Notice of Public Hearing

MCCLUTCHY, Matthew J, Agent
Anodyne Coffee Roasting Co. at 2920 S Kinnickinnic Av
Class B Fermented Malt Beverage Retailer's, Class C Wine Retailer's, and Public Entertainment
Premises License Applications Requesting Bands and Instrumental Musicians

Tuesday, July 22, 2014 at 8:15 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 7/22/2014 at 8:15 AM, in Common Council Chambers, 3rd Floor City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

RESIDENT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT RESIDENT	1811 E ESTES ST	MILWAUKEE, WI 53207-2335
CURRENT RESIDENT	1815 E ESTES ST	MILWAUKEE, WI 53207-2335
CURRENT RESIDENT	1817 E ESTES ST	MILWAUKEE, WI 53207-2335
CURRENT RESIDENT	1910 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1912 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1918 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1924 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1928 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1928 E TROWBRIDGE ST A	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1930 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1932 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	1948 E TROWBRIDGE ST	MILWAUKEE, WI 53207-2533
CURRENT RESIDENT	2809 S DELAWARE AVE	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2811 S DELAWARE AVE	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2815 S DELAWARE AVE	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2819 S DELAWARE AVE	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2821 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2823 S DELAWARE AVE	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2823 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2831 S DELAWARE AVE A	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2831 S DELAWARE AVE B	MILWAUKEE, WI 53207-2514
CURRENT RESIDENT	2831 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2833 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2835 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2837 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2839 S ELLEN ST	MILWAUKEE, WI 53207-2536
CURRENT RESIDENT	2849 S MABBETT AVE	MILWAUKEE, WI 53207-2522
CURRENT RESIDENT	2853 S MABBETT AVE	MILWAUKEE, WI 53207-2522
CURRENT RESIDENT	2858 S ELLEN ST	MILWAUKEE, WI 53207-2537
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 1	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 2	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 3	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 4	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 5	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2895 S KINNICKINNIC AVE 6	MILWAUKEE, WI 53207-2362
CURRENT RESIDENT	2897 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2356
CURRENT RESIDENT	2900A S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 1	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 2	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 3	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 4	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 5	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 6	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 7	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2916 S KINNICKINNIC AVE 8	MILWAUKEE, WI 53207-2519
CURRENT RESIDENT	2936 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2563
CURRENT RESIDENT	2944 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2563
CURRENT RESIDENT	2946 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2563
CURRENT RESIDENT	2947 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2518
CURRENT RESIDENT	2949 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2518
CURRENT RESIDENT	2950 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2563
CURRENT RESIDENT	2953 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2518
CURRENT RESIDENT	2954 S KINNICKINNIC AVE	MILWAUKEE, WI 53207-2563

Total Records: 54

Radius: 250.0 feet and Center of Circle: 2920 S Kinnickinnic AV



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

JIMMYMAC2920 LLC
2920 S Kinnickinnic Av

Milwaukee, WI 53207

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Fermented Malt Beverage Retailer's, Class C Wine Retailer's, and Public Entertainment Premises License Applications Requesting Bands and Instrumental Musicians

MCCLUTCHY, Matthew J, Agent
Anodyne Coffee Roasting Co. at 2920 S Kinnickinnic Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☒ Free Standing Building ☐ Strip Mall ☐ Other _____

2. Describe Premises Structure

☒ Single Story ☐ Multi-Story - # of Stories _____ ☐ Other _____

3. Describe Surrounding Area

☒ Commercial ☒ Residential ☐ Industrial ☐ Other _____

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
 b) Nearest Cross Street Trowbridge St.

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☐ Yes ☒ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: we are open
 b) Is this premise under construction? ☐ Yes ☒ No If yes, list estimated completion date: _____
 c) Is this a franchise? ☐ Yes ☒ No
 d) Is this premises currently licensed? ☒ Yes ☐ No If yes, list type of license: Food - Health Dept
 e) Is the current licensee operating? ☒ Yes ☐ No If no, list date closed: _____
 f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☒ Other: Food Dealer
 g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No
 If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.

Check all that apply: ☒ Prepackaged Food ☐ Snacks ☐ Appetizers ☐ Catered Events

☒ Full Meals - Hours of Food Service: From 6:30 AM To Midnight

A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

Coffee Shop - currently licensed and operating -

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☒ Licensee ☒ Building Owner ☒ Employees ☒ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☐ Security ☒ Manager approaches customer(s) ☐ Call Police
☐ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 6 Locations: VARIOUS
Outside: 2 Locations: front of building near doorsIs a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): 2 ADA restroomsProvide name of solid waste contractor: WASTE MANAGEMENT**11. Security**Are there parking spaces on the premises? ☒ No ☐ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☒ No ☐ Yes If yes, describe security provisions: _____Do you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☒ No ☐ Yes If yes, list all locations: _____Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 10 % Food Sales 80 % Entertainment 0 % Other 10 % Retail**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Full Service Restaurant | <input checked="" type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Hotel | <input type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)

_____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	6:30AM	Midnight	250	0-90	None
Monday					
Tuesday					
Wednesday					
Thursday					
Friday					
Saturday					

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday - Thursday; 12:00 am Friday and Saturday, unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: JIMMY MAC 2920, LLC Phone Number: (414) 881-0435
Address: 1924 E. Townbridge St Milwaukee 53207
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☐ No ☒ Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

- d) Does anyone else have money invested or any other interest in this business? ☒ No ☐ Yes
If yes, explain: _____
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business? ☒ No ☐ Yes If yes, list name and address: _____
- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts
- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☒ No ☐ Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or office to purchase must:

- a) Be in the same legal entity name as that apply for the license
b) Reflect the same address as the premises address on this application
c) Reflect current dates and
d) Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)a) Do you own or lease the building? ☒ Own ☐ Leaseb) Who owns the fixtures (for example, coolers, etc.)? we doc) Are you purchasing the stock and/or fixtures? ☐ No ☐ Yes If yes, amount paid \$ N/Ad) Total amount paid for business \$ N/Ae) Total amount paid for goodwill of the business \$ N/A

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☐ Yes N/A**19. Lease Information (new & transfer applicants who are leasing the premises only)**

a) Date lease begins _____ Ends _____

b) Monthly rental \$ _____

c) Do you have an option to renew the lease? ☐ No ☐ Yesd) Does your lease allow for assignment to another party without the consent of the owner? ☐ No ☐ Yes

e) For what length of time have you been guaranteed occupancy (number of years)? _____

f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☐ No ☐ Yes If yes, explain _____g) Does the present owner or occupancy object to the granting of your license? ☐ No ☐ Yes

If yes, explain _____

20. Change of Agent Applicants OnlyHave there been any changes to the floor plan since the last application was submitted? ☐ No ☐ Yes

If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**This 1st day of May, 20 14James J. McClintock

(Notary Public)

My Commission Expires is permanent.

*Notary Seal must be affixed.

[Signature]

Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.

Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.

Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.



PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTARY APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license
e-mail address: license@milwaukee.gov

(1) TYPES OF ENTERTAINMENT (CHOOSE ALL THAT APPLY)

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Instrumental Musicians | <input checked="" type="checkbox"/> Bands | <input type="checkbox"/> Battle of the Bands | <input type="checkbox"/> Comedy Acts |
| <input type="checkbox"/> Disc Jockey | <input type="checkbox"/> Magic Shows | <input type="checkbox"/> Poetry Readings | <input type="checkbox"/> Dancing by Performers |
| <input type="checkbox"/> Adult Entertainment/
Strippers/Erotic Dance | <input type="checkbox"/> Wrestling | <input type="checkbox"/> Patron Contests | <input type="checkbox"/> Patrons Dancing |
| <input type="checkbox"/> Jukebox | <input type="checkbox"/> Karaoke | <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Pool Tables |
| <input type="checkbox"/> Motion Pictures | <input type="checkbox"/> Amusement Machines -- | <input type="checkbox"/> Concerts | <input type="checkbox"/> Theatrical Performances |
| How many? _____ | How many? _____ | Approx. # per year? _____ | Approx. # per year? _____ |
| <input type="checkbox"/> Other: _____ | | | |

(2) WILL PROMOTERS EVER BE USED FOR ANY OF THE ENTERTAINMENT?

☒ No ☐ Yes, describe: _____

(3) LEGAL CAPACITY OF PREMISES

_____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.) Your legal capacity will determine the license fee for your Public Entertainment Premise License. If you would like to request that the license be approved with a lower capacity than that listed above, indicate lower capacity _____. If approved, this lower capacity will print on your license and override the capacity listed on your Occupancy Permit.

(4) IDENTIFY IF SOUND AMPLIFICATION IS USED

☒ No ☐ Yes, describe: _____

(5) DECLARATIONS, ACKNOWLEDGEMENTS, AND DISCLOSURES

- The undersigned understands that after the license has been issued, a change to the plan of operation will require a written request to change and approval from the Common Council.
- The undersigned agrees to inform the City Clerk within 10 days of any substantial changes in the information supplied in this application.
- The undersigned understands that applicants shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.
- The undersigned has knowledge of the City Ordinances currently regulating the public entertainment, and understands that the license may be subject to suspension, non-renewal or revocation, if the applicant violates any rule, law or regulation of the city of Milwaukee and State of Wisconsin.

(6) NOTARIZED SIGNATURES OF APPLICANTS

SUBSCRIBED AND SWORN TO BEFORE ME

This 1st day of MAY, 20 14

James M. Clute Jr.

(Clerk/Notary Public)

My Commission Expires permanently

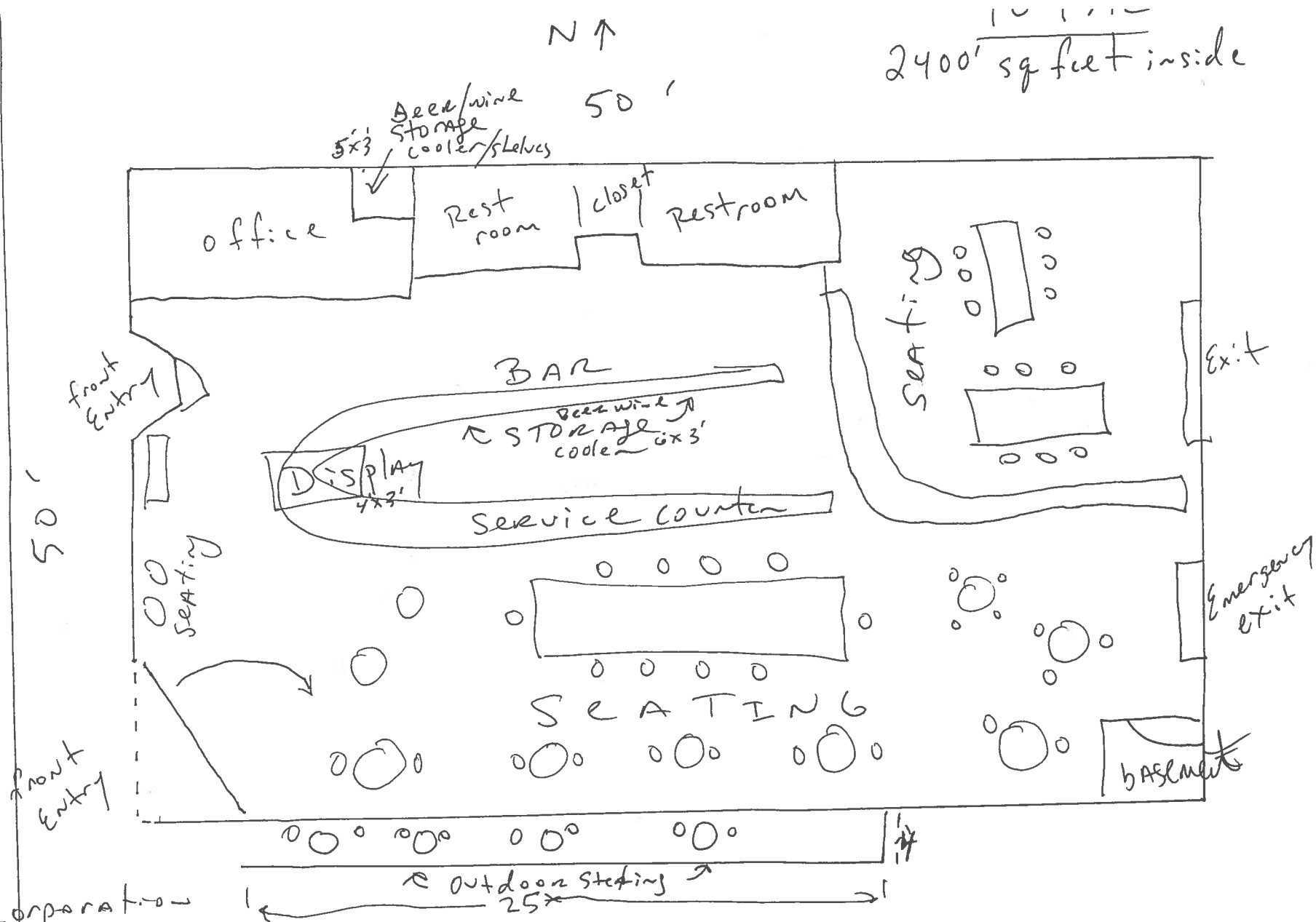
*Notary Seal must be affixed.

[Signature]
Agent/Owner/Partner

Additional Owner/Partner

Office Use Only: Initials: _____ Filed: _____ App #: _____ Permit #: _____ Granted: _____ Issued: _____

Kinnickinnic Ave



clutch corporation
MATT McClutchy
Anodyne Coffee
2920 S. Kinnickinnic Ave.
Milwaukee, WI 53207
5-7-14

Trowbridge St.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

KRAMAR, Keith E, Agent
CSM Milwaukee Downtown LLC
500 Washington Avenue S #3000

Minneapolis, MN 55415

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications as agent for "CSM Milwaukee Downtown LLC" for "Residence Inn - Milwaukee" at 648 N PLANKINTON Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

KRAMAR, Keith E, Agent
CSM Milwaukee Downtown LLC
1861 River Lakes Rd

South Oconomowoc, WI 53066

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications as agent for "CSM Milwaukee Downtown LLC" for "Residence Inn - Milwaukee" at 648 N PLANKINTON Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill

Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:06/26/14
Officer: J. Alba 006448

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Residence Inn Hotel
Address: 648 N. Plankington Rd.
Phone: 414-289-3509

Owner: CSM Management
Owner address:
City State Zip: Minneapolis, MN.
Owner Phone:
Owner email:

Licensee/Agent: Kieth E. Kramar W/M 09/20/62
Home Address: 1861 River Lakes Rd. S
City State Zip: Oconomowoc, WI. 53066
Phone: 262-490-7885
Email:

Preferred contact: Agent

Location currently open: ☒ YES ☐ NO

Projected open date:

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: ☐24 hours ☒Y ☐N
Mon:
Tue:
Wed:
Thu:
Fri:
Sat:

Premise Type: ☐ Tavern/Bar
☐ Restaurant
☒ Other: Hotel

Licenses currently held:

Alcohol: ☐ Yes ☒ No Class: #:
Tobacco: ☐ Yes ☒ No #:
Food: ☐ Yes ☒ No #:
Other: ☐ Yes ☒ No Type: #:
Other: ☐ Yes ☒ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☒ Park
 - b. ☒ School
 - c. ☐ Youth Center
 - d. ☐ Church
 - e. ☒ Tavern(s) If so, how many
 - f. ☒ Residential
 - g. ☒ Other businesses
 - h. ☒ Other: Mall
3. Can you see from the outside of the location into the interior ☒ Yes ☐ No
4. Can you see the employees inside of the location from the outside ☒ Yes ☐ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☒ Yes ☐ No
8. Is the parking lot clean? ☒ Yes ☐ No
9. Is the parking lot well lit? ☒ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☒ No
 - b. Will this lot have cameras? ☒ Yes ☐ No
11. Are there areas where a person could conceal themselves ☒ Yes ☐ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☒ Yes ☐ No How Many: 2
16. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

17. Does this location have security cameras? ☒ Yes ☐ No
18. Are they in working order? ☒ Yes ☐ No
19. What format are the cameras?
 - a. Color ☒ Yes ☐ No
 - b. Digital ☒ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☒ Yes ☐ No
20. How long is footage stored for later viewing: 14 days
21. Are there exterior cameras ☒ Yes ☐ No How many: 2
22. Are there interior cameras ☒ Yes ☐ No How many: 5

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
24. Cameras located in parking lot ☒ Yes ☐ No How many?

Interior Survey:

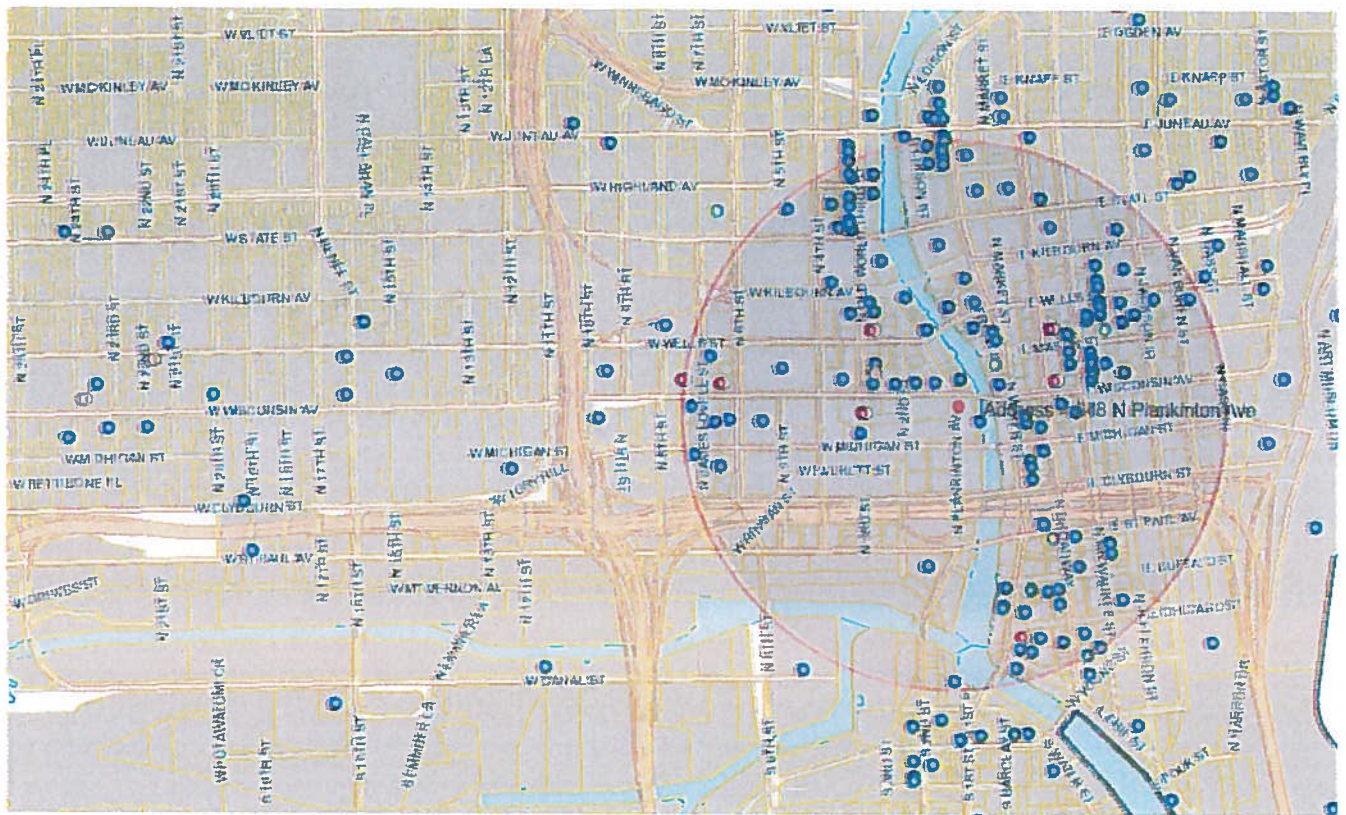
25. What is the planned/posted capacity
26. What is the minimum number of employees that will be on premise?
27. Is the storeowner willing to be a standing complainant regarding loitering? ☒ Yes ☐ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☐ No
28. Is the interior of the location neat and clean? ☒ Yes ☐ No
29. Does an interior camera face the entrance/exit? ☒ Yes ☐ No
30. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: 0
33. How will they be deployed: Interior Exterior
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wandering/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☒ Other Hotel guests ID'd at service when needed.
38. When at capacity, how will the overflow crowd be managed? N/A
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

- Application is for change of agent for existing license of hotel.
- Hotel offers complimentary tap beer for guests Mon., Tue., and Wed. 5:30PM- 7:30PM.
- Hotel market offers individual sales of single bottle beer and wine.



License Summary:						Total				
Class A Fermented Malt Beverage Retailer's License						2				
Class A Malt & Class A Liquor License						5				
Class A Retailer's Intoxicating Liquor License						1				
Class B Fermented Malt Beverage Retailer's License						6				
Class C Wine Retailer's License						6				
Class B Tavern License						140				
Expiration date	Legal entity	Trade name	Licensee	House number	Street direction	Street name	Street type	License type name	Total capacity	Room capacity
7/1/2015	BREW CITY BEER GEAR, INC	BREW CITY BEER GEAR	FRANK R KEPLER, Agt	275	W	WISCONSIN	AV	Class A Fermented Malt Beverage Retailer's License		
6/14/2015	GRAND CONVENIENT, LLC	GRAND CONVENIENT STORE	AHMED K YAFAI, Agt	724	N	OLD WORLD THIRD	ST	Class A Fermented Malt Beverage Retailer's License		
7/6/2015	AVENUE LIQUOR, INC	AVENUE LIQUOR	REKHA A GABHAWALA, Agt	616	W	WISCONSIN	AV	Class A Malt & Class A Liquor License		
12/10/2014	CIRCLE K LLC	CIRCLE K PANTRY	ZIAD W KAID, Agt	130	N	WATER	ST	Class A Malt & Class A Liquor License		
5/20/2015	Olive Tree LLC	Convenience +	Jamal T Shawar, Agt	308	E	Wisconsin	AV	Class A Malt & Class A Liquor License		

11/29/2014	Tourist Convenience LLC	Racks Full of Snacks	AHMED K YAFAI, Agt	240	W	Wells	ST	Class A Malt & Class A Liquor License		
7/27/2014	WALGREEN CO	WALGREENS #1200	MARK W LEEDER, Agt	275	W	WISCONSIN	AV	Class A Malt & Class A Liquor License		
6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M Bartz, Agt	758	N	BROADWAY	Null	Class A Retailer's Intoxicating Liquor License		
3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER	ST	Class B Fermented Malt Beverage Retailer's License		
4/1/2015	Colectivo Coffee Roasters, Inc	Colectivo Coffee Roasters, Inc	William D Suskey, Agt	225	E	ST PAUL	AV	Class B Fermented Malt Beverage Retailer's License		
7/30/2014	JING'S CORPORATION	JING'S	JING WANG, Agt	207	E	BUFFALO	ST	Class B Fermented Malt Beverage Retailer's License	45	
5/12/2015	Kipper LLC	Fore Milwaukee	Timothy M Grogan, Agt	530	N	Water	ST	Class B Fermented Malt Beverage Retailer's License		
2/6/2015	Skylight Music Theatre Corp	Skylight Music Theatre	AMY S JENSEN, Agt	158	N	Broadway	Null	Class B Fermented Malt Beverage Retailer's License		

1/15/2015	ST. PAUL SEAFOOD, LLC	ST. PAUL FISH CO.	TIMOTHY G COLLINS, Agt	400	N	WATER	ST	Class B Fermented Malt Beverage Retailer's License		
7/25/2014	106 Seeboth, LLC	Winemaniacs On The River	Lorna L Mueller, Agt	106	W	Seeboth	ST	Class B Tavern License	124	
7/25/2014	5 Pirates LLC	John Hawk's Pub	BRIAN J WARD, Agt	100	E	WISCONSIN	AV	Class B Tavern License	266	
7/22/2014	746JAMESLOVELLBAR LLC	Jim's Timeout	SAMUEL L BERMAN, Agt	746	N	James Lovell	ST	Class B Tavern License		49 inside, 30 patio
12/10/2014	ALEM ETHIOPIAN RESTAURANT, LLC	ALEM ETHIOPIAN VILLAGE	MULU H HABTESILASSI E, Agt	307	E	WISCONSIN	AV	Class B Tavern License	98	
4/8/2015	APARTMENT 720, LLC	APARTMENT 720	Tony T Skoufis, Agt	720	N	MILWAUKEE	ST	Class B Tavern License	150	
7/26/2014	Apple Hospitality Group, LLC	Applebee's Neighborhood Grill & Bar	JAMES J SANCHEZ, Agt	275	W	Wisconsin	AV	Class B Tavern License		
6/23/2015	ARBED, LLC	MO'S IRISH PUB	JAMES A VASSALLO, Agt	142	W	Wisconsin	AV	Class B Tavern License	480	231 on first floor 249 on second floor
6/18/2015	Bad Genie LLC	Bad Genie	ROBERT F KING, Agt	789	N	Jefferson	ST	Class B Tavern License	182	Upper room 92, lower room 90
10/12/2014	BAM RESOURCES, LLC	FIRE ON WATER	JULIE M MEEUSEN, Agt	518	N	WATER	ST	Class B Tavern License	156	
2/25/2015	BARTOLOTTA CATERING - GRAIN EXCHANGE LLC	BARTOLOTTA CATERING - GRAIN EXCHANGE LLC	JOHN M WISE, Agt	225	E	MICHIGAN	ST	Class B Tavern License	299	
9/24/2014	BC At Turner Hall, LLC	Turner Hall Restaurant	Brian J Dworak, Agt	1038	N	4th	ST	Class B Tavern License	480	

5/2/2015	Benelux Third Ward, LLC	Cafe Benelux	MICHAEL J EITEL, Agt	346	N	Broadway	Null	Class B Tavern License	455	
5/4/2015	BKRG ENTERPRISES OF MILWAUKEE, LLC	MOLLY COOL'S SEAFOOD TAVERN	Kellie A. Frey, Agt	1110	N	OLD WORLD THIRD	ST	Class B Tavern License	741	
7/26/2014	BL RESTAURANT OPERATIONS, LLC	BAR LOUIE	Amanda K Utter, Agt	1114	N	WATER	ST	Class B Tavern License	300	
3/20/2015	Blazin Wings, Inc	Buffalo Wild Wings #407	Daniel G Cullen, Agt	1123	N	WATER	ST	Class B Tavern License	253	
7/25/2014	Boardroom Entertainment Mke, LLC	Rusty's Old 50 Grill & Spirits	ROBERT F SMITH, Agt	730	N	Old World Third	ST	Class B Tavern License	216	
10/17/2014	BREW CITY BAR B Q, INC	TRINITY THREE IRISH PUBS	ROBERT C SCHMIDT, JR, Agt	125	E	JUNEAU	AV	Class B Tavern License	833	
9/19/2014	BRG 1000 Water Street, LLC	Rumpus Room - A Bartolotta Gastropub	JOHN M WISE, Agt	1030	N	Water	ST	Class B Tavern License	254	
6/15/2015	BRICK 3 PIZZA, LLC	BRICK 3 PIZZA	RICHARD J BARRETT, Agt	1107	N	OLD WORLD THIRD	ST	Class B Tavern License	57	
6/6/2015	BUTCH'S CO, INC	BUTCH'S OLD CASINO STEAK HOUSE	BERNARD E SCHETTLE, Agt	555	N	JAMES LOVELL	ST	Class B Tavern License	200	
11/2/2014	BW HOLDINGS, LLC	WARD'S HOUSE OF PRIME	BRIAN J WARD, Agt	540	E	MASON	ST	Class B Tavern License	260	
11/25/2014	C&M Stangel LLC	The Mason Jar	Shannon D Stangel, Agt	645	N	James Lovell	ST	Class B Tavern License		
3/3/2015	Cairo Co LLC	BB'S	Omar Amin, Agt	633	W	Wisconsin	AV	Class B Tavern License		
10/17/2014	CALDERONE CLUB	CALDERONE CLUB	GIORGIO G FAZZARI, SP	842	N	OLD WORLD THIRD	ST	Class B Tavern License	100	

6/19/2015	CAPITAL GRILLE HOLDINGS, INC	THE CAPITAL GRILLE OF MILW #8027	Lindsey R FitzMaurice, Agt	310	W	WISCONSIN	AV	Class B Tavern License	200	
12/15/2014	CARNAL LLC	CLUB CHARLIES	CRAIG M BLOOMFIELD, Agt	320	E	MENOMONEE	ST	Class B Tavern License	128	
12/12/2014	CARNIVORAS, INC	CARNEVOR	OMAR L SHAIKH, Agt	724	N	MILWAUKEE	ST	Class B Tavern License	160	
7/15/2015	CENTANNI, LLC	Gouda's Italian Deli and Bugsy's, A Back Alley Saloon	OMAR L SHAIKH, Agt	218	N	WATER	ST	Class B Tavern License	160	
5/23/2015	Cheese Mart, Inc	Wisconsin Cheese Mart	KENNETH J MC NULTY, Agt	215	W	Highland	AV	Class B Tavern License	133	
1/16/2015	CHINA GOURMET, INC	CHINA GOURMET RESTAURANT	ROBERT C TSAO, Agt	117	E	WELLS	ST	Class B Tavern License	165	
7/30/2014	COLGAN, LLC	THE IRISH PUB	REBECCA GOLDBERGER, Agt	124	N	WATER	ST	Class B Tavern License	210	160 1st floor and patio 50 2nd floor
3/19/2015	Copper Penguin Management Group, LLC	Oak	Jared J Siemers, Agt	231	E	BUFFALO	ST	Class B Tavern License	170	
11/12/2014	COQUETTE CAFE, INC	COQUETTE CAFE	NICHOLAS A BURKI, Agt	316	N	MILWAUKEE	ST	Class B Tavern License	150	
7/12/2015	COURTYARD MANAGEMENT CORPORATION	COURTYARD BY MARRIOTT	ANTHONY S BEER, Agt	300	W	MICHIGAN	ST	Class B Tavern License		
10/11/2014	CUS MILWAUKEE, LLC	COYOTE UGLY SALOON	BRIAN C RANDALL, Agt	1131	N	WATER	ST	Class B Tavern License	304	
2/6/2015	Cuvee Champagne LLC	Cuvee	KRIS H GORSKI, Agt	177	N	BROADWAY	Null	Class B Tavern License	244	
2/10/2015	Cynthia Levan Inc	Cynthia's	Cynthia J.S. LeVan, Agt	221	N	Water	ST	Class B Tavern License		

7/27/2014	DICK'S PIZZA, LLC	DICK'S	ADAM D KIRCHNER, Agt	730	N	MILWAUKEE	ST	Class B Tavern License	330	
9/3/2014	DINO Z, LLC	DINO'S TAVERNA	DEAN ZARKOS, Agt	777	N	JEFFERSON	ST	Class B Tavern License	99	
10/12/2014	DISTIL MILWAUKEE, LLC	DISTIL	OMAR L SHAIKH, Agt	722	N	MILWAUKEE	ST	Class B Tavern License	213	
7/14/2015	DOS BONITAS, LLC	CUBANITAS	MARTA C BIANCHINI, Agt	728	N	MILWAUKEE	ST	Class B Tavern License	50	
11/1/2014	E & L Group, LLC	Espana Tapas House	Said J Elbiadi, Agt	800	N	Plankinton	AV	Class B Tavern License	160	
5/12/2015	EAST TOWN ASSOCIATION, INC	EAST TOWN ASSOCIATION	Kim L Morris, Agt	520	E	WELLS	ST	Class B Tavern License		
3/1/2015	ECCO FOODS, LLC	PORT OF CALL	DANIEL M JORGENSON, Agt	106	W	WELLS	ST	Class B Tavern License	170	
6/30/2015	ELSA'S ON THE PARK, LTD	ELSA'S ON THE PARK	KARL R KOPP, Agt	833	N	JEFFERSON	ST	Class B Tavern License	100	
6/11/2015	First MKD, LLC	Hilton Garden Inn	Lisa M Farrell, Agt	611	N	BROADWAY	Null	Class B Tavern License		
7/24/2015	FLANNERY'S PUB, INC	FLANNERY'S BAR & RESTAURANT	STEVEN W SMITH, Agt	425	E	WELLS	ST	Class B Tavern License	270	
3/20/2015	FortyTwo Ventures, LLC	FortyTwo Lounge	Lynn M Nilles, Agt	326	E	Mason	ST	Class B Tavern License	125	
6/10/2015	H8 Milwaukee Inc	Old German Beer Hall	HANS WEISSGERBER, III, Agt	1009	N	Old World Third	ST	Class B Tavern License		
11/11/2014	HOJOP, INC	AVENUE BAR & GRILL	JEFFREY M WELK, Agt	611	W	WISCONSIN	AV	Class B Tavern License		
4/19/2015	HOTEL METRO, LLC	HOTEL/CAFE METRO	JAMES D HUMMERT, Agt	411	E	MASON	ST	Class B Tavern License	240	

5/29/2015	HTWA MARKET PROJECT, LLC	MILWAUKEE PUBLIC MARKET	MICHAEL GARDNER, Agt	400	N	WATER	ST	Class B Tavern License	320	
1/17/2015	Indulge Wine Rooms LLC	Indulge Wine Room	MARC R BIANCHINI, Agt	158	N	Broadway	Null	Class B Tavern License	156	
7/30/2014	INDULGE WINE ROOMS, LLC	INDULGE	MARC R BIANCHINI, Agt	708	N	MILWAUKEE	ST	Class B Tavern License	60	
5/20/2015	Interstate Management Company, LLC	Residence Inn Milwaukee Downtown	Amanda R Mommaerts, Agt	101	W	WISCONSIN	AV	Class B Tavern License		
12/16/2014	JLC H LLC	Fajita Grill	Jose A Lainez-Cabrera, Agt	530	E	Mason	ST	Class B Tavern License		
6/30/2015	KARL RATZSCH, INC	KARL RATZSCH'S RESTAURANT	THOMAS C ANDERA, Agt	320	E	MASON	ST	Class B Tavern License	150	
9/23/2014	KENADEE'S ULTRA PUB, LLC	KENADEE'S	Scott A Blair, Agt	725	N	MILWAUKEE	ST	Class B Tavern License	257	
10/28/2014	KIKU LLC	KIKU	MAN F ZHANG, Agt	200	W	WISCONSIN	AV	Class B Tavern License	129	
12/20/2014	LADY BUG CLUB, LLC	LADYBUG CLUB/618 LIVE ON WATER	HABIB MANJEE, Agt	622	N	WATER	ST	Class B Tavern License	480	
6/23/2015	LEVY PREMIUM FOOD SERVICE, LP	LEVY RESTAURANTS at WISCONSIN CENTER DISTRICT	Richard W Henkel, Agt	400	W	WISCONSIN	AV	Class B Tavern License		
6/13/2015	Levy Restaurants at the Bradley Center	Levy Restaurants at the Bradley Center	ADAM D EASTERBROOK, Agt	1001	N	4TH	ST	Class B Tavern License		
5/18/2015	LOUISE'S, INC	LOUISE'S	ROBERT C SCHMIDT, JR, Agt	801	N	JEFFERSON	ST	Class B Tavern License	140	

11/1/2014	Lucille's Dueling Piano Bar, LLC	Lucille's Dueling Piano Bar & Grill	Mark A Rebholz, Agt	1110	N	OLD WORLD THIRD	ST	Class B Tavern License	320	
11/22/2014	Mader's German Restaurant, Inc	Mader's German Restaurant	DANIEL J HAZARD, Agt	1037	N	Old World Third	ST	Class B Tavern License	370	120 - upper 272 - lower
6/30/2015	MAJOR GOOLSBY'S, INC	MAJOR GOOLSBY'S	PATRICK J MURPHY, Agt	340	W	KILBOURN	AV	Class B Tavern License	400	
6/29/2015	MARCUS HOTELS HOSPITALITY, LLC	Pfister Hotel & Tower	Stephen M Magnuson, Agt	424	E	WISCONSIN	AV	Class B Tavern License	419	
6/29/2015	MARCUS HOTELS HOSPITALITY, LLC	HILTON MILWAUKEE CITY CENTER	Stephen M Magnuson, Agt	509	W	WISCONSIN	AV	Class B Tavern License	175	
7/5/2015	MARCUS HOTELS HOSPITALITY, LLC	INTERCONTIN ENTAL MILWAUKEE	Stephen M Magnuson, Agt	139	E	KILBOURN	AV	Class B Tavern License		
6/15/2015	MARGARITA PARADISE, LLC	MARGARITA PARADISE 2	DULCE M ALARCON, Agt	400	N	WATER	ST	Class B Tavern License	320	42
5/20/2015	Memento LLC	Bavette	Karen E Bell, Agt	330	E	Menomonee	ST	Class B Tavern License		
6/2/2015	MHF Milwaukee Operating III LLC	Fairfield Inn & Suites by Marriot	Chad M Ahrens, Agt	710	N	Old World Third	ST	Class B Tavern License		
6/30/2015	MI-KEY'S (MILWAUKEE) LLC	MI-KEY'S	OMAR L SHAIKH, Agt	811	N	JEFFERSON	ST	Class B Tavern License	175	
6/23/2015	MILWAUKEE 0020, LLC	SUITE	JACOB E DEHNE, Agt	1101	N	OLD WORLD THIRD	ST	Class B Tavern License	288	
6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M Bartz, Agt	758	N	BROADWAY	Null	Class B Tavern License	162	Elephant Room third floor (87) & the Chart Room first floor (75)
9/15/2014	MILWAUKEE BRAT HOUSE, LLC	MILWAUKEE BRAT HOUSE	SCOTT A SCHAEFER, Agt	1013	N	OLD WORLD THIRD	ST	Class B Tavern License	115	

7/15/2015	MILWAUKEE REPERTORY THEATER, INC	MILWAUKEE REPERTORY THEATER	LESLIE M FILLINGHAM, Agt	108	E	WELLS	ST	Class B Tavern License		25 - Tavern
3/7/2015	Milwaukee School of Engineering	Milwaukee School of Engineering	John Hornburg, Agt	1025	N	BROADWAY	Null	Class B Tavern License		
10/22/2014	Milwaukee School of Engineering	Milwaukee School of Engineering	John Hornburg, Agt	1000	N	BROADWAY	Null	Class B Tavern License	480	
3/22/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	500	E	KILBOURN	AV	Class B Tavern License	208	
7/26/2014	MILWAUKEE TABLE TENNIS, INC	Evo Milwaukee	SUSANNE M MAYER, Agt	233	E	CHICAGO	ST	Class B Tavern License	480	
2/27/2015	MILWAUKEE WATERFRONT DELI, INC	MILWAUKEE WATERFRONT DELI	JEREMIAH D PANDL, Agt	761	N	WATER	ST	Class B Tavern License		
6/30/2015	MY OFFICE, INC	MY OFFICE	BRIAN J PETERSON, Agt	759	N	MILWAUKEE	ST	Class B Tavern License		
6/11/2015	Nehring's Family Market LLC	Nehring's Family Market	ANNE C FINCH-NEHRING, Agt	400	N	Water	ST	Class B Tavern License		
5/14/2015	NOBLE BEVERAGE MANAGEMENT, LLC	HYATT REGENCY MILWAUKEE	JOHN C DIETZ, Agt	333	W	KILBOURN	AV	Class B Tavern License	930	
9/19/2014	North Water 500, LLC	Joey Buona's Pizzeria Grille	JEFFERY E WHITEMAN, Agt	176	W	Wisconsin	AV	Class B Tavern License		
5/29/2015	NORTH WATER 500, LLC	JOEY BUONA'S PIZZERIA GRILLE	JEFFERY E WHITEMAN, Agt	500	N	WATER	ST	Class B Tavern License	480	
9/21/2014	OLD WORLD, LLC	BUCKHEAD SALOON	JACOB E DEHNE, Agt	1044	N	OLD WORLD THIRD	ST	Class B Tavern License	750	
11/7/2014	OZO CAFE LIMITED PARTNERSHIP	OZO CAFE	NICKEY G PAPPAS, Agt	776	N	MILWAUKEE	ST	Class B Tavern License	40	

11/8/2014	PABST THEATER CONCESSIONS, LLC	TURNER HALL BALLROOM	BRYAN A CONTI, Agt	1040 N	4TH	ST	Class B Tavern License	987	Main floor - 607, Balcony - 380
5/19/2015	PABST THEATER CONCESSIONS, LLC	THE PABST THEATER	BRYAN A CONTI, Agt	144 E	WELLS	ST	Class B Tavern License		
6/30/2015	PACIFIC MILWAUKEE CORP	RAMADA CITY CENTRE	GERALD S WEILER, Agt	633 W	MICHIGAN	ST	Class B Tavern License	221	
11/4/2014	Peking House Jefferson, LLC	Peking House	Jessica A Liang, Agt	770 N	JEFFERSON	ST	Class B Tavern License	150	
2/4/2015	Pourman's LLC	Pourman's	BENJAMIN A HEBL, Agt	1127 N	Water	ST	Class B Tavern License		
5/21/2015	Pritzlaff Redevelopment, LLC	Pritzlaff	Kendall G Breunig, Agt	143 W	St Paul	AV	Class B Tavern License		
5/21/2015	Pritzlaff Redevelopment, LLC	Pritzlaff	Kendall G Breunig, Agt	325 N	Plankinton	AV	Class B Tavern License	915	325 N Plankinton - 315, 333 N Plankinton - 600
11/26/2014	R Grill Milwaukee, LLC	Rodizio Grill - Brazilian Steakhouse	Jay P Supple, Agt	771 N	WATER	ST	Class B Tavern License	299	
7/25/2015	REAL CHILI OF MILWAUKEE, INC	REAL CHILI	STEPHEN J KASTELIC, Agt	419 E	WELLS	ST	Class B Tavern License	80	
6/2/2015	RIVER HOUSE RESTAURANT, INC	RUDY'S MEXICAN RESTAURANT	ROBERT C SCHMIDT, JR, Agt	1122 N	EDISON	ST	Class B Tavern License	150	
11/26/2014	Romp LLC	Kasana	Ana C Docta, Agt	241 N	BROADWAY	Null	Class B Tavern License		
5/12/2015	SAKE, INC	SAKETUMI JAPANESE RESTAURANT	SUNSOOK LEE, Agt	714 N	MILWAUKEE	ST	Class B Tavern License	275	
8/31/2014	SAZAMA'S FINE CATERING, INC	SAZAMA'S FINE CATERING	TIMOTHY G HILBERT, Agt	929 N	WATER	ST	Class B Tavern License		

6/14/2015	SCREAMING TUNA RESTAURANT, LLC	SCREAMING TUNA	Jeff T Bronstad, Agt	106	W	SEEBOTH	ST	Class B Tavern License	174	
10/11/2014	SINCERESWAN, LLC	SWINGIN DOOR EXCHANGE	MICHELLE M SINCERE, Agt	219	E	MICHIGAN	ST	Class B Tavern License	80	
9/3/2014	Sirk Steak LLC	Mo's A Place for Steaks	JAMES A VASSALLO, Agt	720	N	Plankinton	AV	Class B Tavern License		
2/7/2015	Smoke Shack Mke, LLC	Smoke Shack	JOSEPH J SORGE, JR, Agt	332	N	Milwaukee	ST	Class B Tavern License	91	Interior capacity = 91, Beer Garden capacity = 75
2/27/2015	Splash Studio Inc	Splash Studio	Marla R Poytinger, Agt	184	N	Broadway	Null	Class B Tavern License	150	
3/22/2015	SURG Waterfront, LLC	SURG On The Water	OMAR L SHAIKH, Agt	102	N	WATER	ST	Class B Tavern License	290	
2/7/2015	Swig MKE, LLC	Swig	JOSEPH J SORGE, JR, Agt	217	N	BROADWAY	Null	Class B Tavern License	100	
5/23/2015	TDF Investments, LLC	Catch 22 Bar	Todd D Fogel, Agt	770	N	Milwaukee	ST	Class B Tavern License	150	
5/8/2015	TECK STIR, LLC	STIR	JEROME P WALSH, Agt	112	W	WISCONSIN	AV	Class B Tavern License	80	
2/7/2015	The Belmont Tavern, Inc	The Belmont Tavern	MICHAEL J VITUCCI, Agt	784	N	Jefferson	ST	Class B Tavern License	160	
10/14/2014	The Hudson Business Lounge LLC	The Hudson Business Lounge	Barbara M DeMeulenaere, Agt	310	E	Buffalo	ST	Class B Tavern License		
12/21/2014	THE KING AND I RESTAURANT, INC	THE KING AND I RESTAURANT	DEREK E PHOUNGPOL, Agt	830	N	OLD WORLD THIRD	ST	Class B Tavern License	240	
6/30/2015	THE MILWAUKEE CLUB	THE MILWAUKEE CLUB	RICHARD H ROEHRBORN, Agt	706	N	JEFFERSON	ST	Class B Tavern License	180	

7/30/2014	THE RIVERSIDE THEATER FOUNDATION INC	RIVERSIDE THEATER	BRYAN A CONTI, Agt	116	W	WISCONSIN	AV	Class B Tavern License	2480	
3/1/2015	THE WICKED HOP, LLC	THE WICKED HOP	MILES E O'NEIL, Agt	343	N	BROADWAY	Null	Class B Tavern License	160	
6/30/2015	THIEF WINE, LLC	THIEF WINE SHOP & BAR	PHILIP M BILODEAU, Agt	400	N	WATER	ST	Class B Tavern License	42	
6/30/2015	THIS IS IT, INC	THIS IS IT	JOSEPH T BREHM, Agt	418	E	WELLS	ST	Class B Tavern License	80	
6/30/2015	TRADCO, LTD	THE SAFE HOUSE	RONALD K EDWARDS, Agt	779	N	FRONT	ST	Class B Tavern License	248	Safehouse - 156, Newsroom - 92
4/16/2015	TRESSLER THIRD WARD, LLC	Hinterland Erie Street Gastropub	WILLIAM K TRESSLER, Agt	222	E	ERIE	ST	Class B Tavern License	300	
12/17/2014	TRIPLE CROWN, INC	BUCK BRADLEY'S EATERY & SALOON	BERNARD PAGET, SR, Agt	1019	N	OLD WORLD THIRD	ST	Class B Tavern License	600	
6/18/2015	TUTTO PROMOTIONS, LLC	TUTTO	SALVATORE G SAFINA, Agt	1033	N	OLD WORLD THIRD	ST	Class B Tavern License	600	300 First Floor, 300 second floor
10/10/2014	U90SP, LLC	Upper 90 Sports Pub	JACOB E DEHNE, Agt	322	W	STATE	ST	Class B Tavern License	99	
1/21/2015	Ultra Lounge, LLC	Ultra Lounge	Tremaine J Brown, Agt	628	N	Water	ST	Class B Tavern License	175	
12/10/2014	UMAMI MOTO MILWAUKEE, LLC	UMAMI MOTO	OMAR L SHAIKH, Agt	718	N	MILWAUKEE	ST	Class B Tavern License	99	basement and 1st floor - 99
5/18/2015	V & V PARTNERS, LLC	BENIHANA	SABAH M LIDDAWYEH, Agt	850	N	PLANKINTON	AV	Class B Tavern License	180	1st floor 60, 2nd floor 120
11/2/2014	VINO THIRD WARD, LLC	VINO 100 MILWAUKEE THIRD WARD	PAUL J MONIGAL, Agt	102	N	WATER	ST	Class B Tavern License	41	

5/29/2015	WAHHAB SEVA ENTERPRISES, INC	SABABA CAFE & CATERING	EDWARD E WAHHAB, Agt	330	E	KILBOURN	AV	Class B Tavern License	150	
2/7/2015	Water Buffalo MKE, LLC	Water Buffalo	JOSEPH J SORGE, JR, Agt	249	N	WATER	ST	Class B Tavern License	240	
9/14/2014	WATER STREET BREWERY, INC	WATER STREET BREWERY	ROBERT C SCHMIDT, JR, Agt	1101	N	WATER	ST	Class B Tavern License	300	
9/26/2014	WELLS-JEFFERSON CORPORATION	TAYLOR'S	DANIEL R TAYLOR, Agt	795	N	JEFFERSON	ST	Class B Tavern License	160	
5/23/2015	WESTOWN ASSOCIATION OF MILW, INC	WESTOWN ASSOCIATION	STACIE J CALLIES, Agt	950	N	OLD WORLD THIRD	ST	Class B Tavern License		
6/15/2015	WHISKEY BAR OF MILWAUKEE, INC	WHISKEY BAR	MICHAEL J VITUCCI, Agt	788	N	JACKSON	ST	Class B Tavern License	450	
3/3/2015	Who's Milwaukee LLC	Who's on Third, Milwaukee's Pub	ROBERT L WILTGEN, Agt	1003	N	Old World Third	ST	Class B Tavern License		
4/29/2015	Wisconsin & Milwaukee Hotel, LLC	Milwaukee Marriott Downtown/St arbucks	Jeffrey S Hess, Agt	323	E	Wisconsin	AV	Class B Tavern License	312	
6/14/2015	WISCONSIN SCOTTISH RITE FOUNDATION, INC	Double Eagles Club	DONALD G CHILDERS, Agt	790	N	VAN BUREN	ST	Class B Tavern License	905	Auditorium is 470, dining room 300, Chapel 200
9/4/2014	Woori Corp	Kanpai	Tai K Park, Agt	408	E	Chicago	ST	Class B Tavern License	99	
9/22/2014	WTRWKS, LLC	ROSIE'S WATERWORKS	JAMES P PACK, Agt	1111	N	WATER	ST	Class B Tavern License	144	
6/14/2015	ZARLETTI, LLC	ZARLETTI	BRIAN C ZARLETTI, Agt	741	N	MILWAUKEE	ST	Class B Tavern License		
4/8/2015	ZARLETTI2, LLC	RUSTICO	BRIAN C ZARLETTI, Agt	223	N	WATER	ST	Class B Tavern License	160	

3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER	ST	Class C Wine Retailer's License		
4/1/2015	Colectivo Coffee Roasters, Inc	Colectivo Coffee Roasters, Inc	William D Suskey, Agt	225	E	ST PAUL	AV	Class C Wine Retailer's License		
4/8/2015	GEORGE WATTS & SON, INC	GEORGE WATTS & SON, INC	MARTHA C WATTS, Agt	761	N	JEFFERSON	ST	Class C Wine Retailer's License		
7/30/2014	JING'S CORPORATION	JING'S	JING WANG, Agt	207	E	BUFFALO	ST	Class C Wine Retailer's License	45	
2/6/2015	Skylight Music Theatre Corp	Skylight Music Theatre	AMY S JENSEN, Agt	158	N	Broadway	Null	Class C Wine Retailer's License		
1/15/2015	ST. PAUL SEAFOOD, LLC	ST. PAUL FISH CO.	TIMOTHY G COLLINS, Agt	400	N	WATER	ST	Class C Wine Retailer's License		

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:
 - g-1. Disturbance of the peace.
 - g-2. Illegal drug activity.
 - g-3. Public drunkenness.
 - g-4. Drinking in public.
 - g-5. Harassment of passers-by.
 - g-6. Gambling.
 - g-7. Prostitution.
 - g-8. Sale of stolen goods
 - g-9. Public urination.
 - g-10. Theft.
 - g-11. Assaults.
 - g-12. Battery.
 - g-13. Acts of vandalism, including graffiti.
 - g-14. Excessive littering.
 - g-15. Loitering.
 - g-16. Illegal parking.
 - g-17. Loud noise at times when the licensed operation is open for business.
 - g-18. Traffic violations.
 - g-19. Curfew violations.
 - g-20. Lewd conduct.
 - g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.
- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

Historic Hotel Milwaukee LLC c/o Thompson Prop Tax Svs
PO Box 06019

Chicago, WI 60606

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern - Service Bar Only and Food Dealer - Restaurant License
Applications
KRAMAR, Keith E, Agent
Residence Inn - Milwaukee at 648 N PLANKINTON Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

- ☒ Free Standing Building ☐ Strip Mall ☒ Other condominium unit with larger free standing building

2. Describe Premises Structure

- ☐ Single Story ☒ Multi-Story - # of Stories 5 ☐ Other _____

3. Describe Surrounding Area

- ☒ Commercial ☐ Residential ☐ Industrial ☐ Other _____

4. Premises Location

- a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
 b) Nearest Cross Street WISCONSIN AVENUE

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☒ Yes ☐ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: Hotel open - ownership change August 2014
 b) Is this premise under construction? ☐ Yes ☒ No If yes, list estimated completion date: _____
 c) Is this a franchise? ☒ Yes ☐ No
 d) Is this premises currently licensed? ☒ Yes ☐ No If yes, list type of license: Food Dealer - restaurant, Class
 e) Is the current licensee operating? ☒ Yes ☐ No If no, list date closed: B Tavern and Hotel/Motel license
 f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☐ Other: _____
 g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No
 If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.

Check all that apply: ☒ Prepackaged Food ☒ Snacks ☒ Appetizers ☐ Catered Events

☐ Full Meals – Hours of Food Service: From _____ To _____

A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

A select service hotel that will provide complimentary morning and evening guest
receptions with small plates and beverages. Alcohol beverages only served Monday-
Wednesday from 5:30-7:30pm.

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☐ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☐ Licensee ☐ Building Owner ☒ Employees ☒ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☒ Security ☒ Manager approaches customer(s) ☒ Call Police
☐ Signs Posted ☐ Other: 1. Security 2. Manager 3. Police**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☐ No ☒ YesIf yes, describe the area(s) and provide location(s): RiverwalkNumber of Garbage Cans: Inside: 3 Locations: Lobby
Outside: 4 Locations: Circle Drive & RiverwalkIs a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): Men & Women restroom on 1st floorProvide name of solid waste contractor: Sanimax - Grease Trap, City of Milwaukee sewer**11. Security**Are there parking spaces on the premises? ☐ No ☒ Yes If yes, number of spaces: 50 and describe security provisions:
Key card entry and patrolled by securityAre there designated loading areas? ☐ No ☒ Yes If yes, describe security provisions camera, secured entryDo you have security personnel on the premise? ☐ No ☒ Yes If yes, how many? 1AND What are their responsibilities? patrol building and Gimbels lotWhat security equipment do they use? noneList their licensing, certification or training credentials: Third party security hired by the buildingAre there security cameras? ☐ No ☒ Yes If yes, list all locations: Lobby, 5th floor stairwell (north & south)
market and building lobbyAre searches and/or identification checks conducted upon entry? ☐ No ☒ Yes If yes, describe: _____
ID at check in**12. Percentage of Sales (must total 100%)**Alcohol 10 % Food Sales 90 % Entertainment N/A % Other N/A %**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Full Service Restaurant | <input type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input checked="" type="checkbox"/> Hotel | <input type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)

_____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	7 AM	2 AM	10	0-100	None
Monday	6:30 AM	2 AM	10	0-100	
Tuesday	6:30 AM	2 AM	10	0-100	
Wednesday	6:30 AM	2 AM	10	0-100	
Thursday	6:30 AM	2 AM	10	0-100	
Friday	6:30 AM	2 AM	10	0-100	
Saturday	7 AM	2 AM	10	0-100	

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

a) Property Owners Name: HISTORIC HOTEL MILWAUKEE
Mailing Address: PO BOX 06019 CHICAGO IL 60606 LLC

b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____

c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☐ No ☒ Yes
If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

d) Does anyone else have money invested or any other interest in this business? ☒ No ☐ Yes
If yes, explain: _____

e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☒ No ☐ Yes If yes, list name and address: _____

f) Will any of the following types of businesses be conducted at this location? (check all that apply)

- ☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts

g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☒ Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- Be in the same legal entity name as that apply for the license
- Reflect the same address as the premises address on this application
- Reflect current dates and
- Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☒ Own ☐ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? CSM MILWAUKEE DOWNTOWN LLC
- c) Are you purchasing the stock and/or fixtures? ☐ No ☒ Yes If yes, amount paid \$ INCLUDED IN PURCHASE PRICE
- d) Total amount paid for business \$ 24,500,000
- e) Total amount paid for goodwill of the business \$ 0
- Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.
- f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☒ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins N/A Ends _____
- b) Monthly rental \$ _____
- c) Do you have an option to renew the lease? ☐ No ☐ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☐ No ☐ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? _____
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☐ No ☐ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☐ No ☐ Yes
If yes, explain _____

20. Change of Agent Applicants Only

- Have there been any changes to the floor plan since the last application was submitted? ☒ No ☐ Yes
- If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**

This 11th day of JUNE, 20 14

[Signature]
(Clerk/Notary Public)

Keith Edward Kramer
Agent/Owner/Partner

My Commission Expires MARCH 23, 2015

*Notary Seal must be affixed.

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.
Deviating from approved plan of operation will subject licensee to citation and/or suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.

HVS · COMPASS

5420 Gunpark Drive
Boulder, Colorado 80301-3028
Phone 303 530 3885 Fax 303 530 3959

**ELECTRICAL
LIGHTING LEDGED**

INDEX
TO DRAWING

ALL WORK SHALL BE PERFORMED IN
STRICT COMPLIANCE WITH ALL LOCAL
LAWS, ORDINANCES, RULES AND
REGULATIONS OF GOVERNMENT
AUTHORITIES HAVING JURISDICTION.
BEFORE COMMENCEMENT OF THE
WORK, THE CONTRACTOR AND HIS
SUBCONTRACTORS SHALL VERIFY ALL
DIMENSIONS AND CONDITIONS AS SHOWN
IN THE CONTRACT DOCUMENTS AND
EXISTING CONDITIONS. ANY
DEVIATIONS, DISCREPANCIES AND/OR
CONFLICTS SHALL BE REPORTED
IMMEDIATELY TO THE CONTRACTING AGENCY.

THE CONTRACTOR SHALL SUBMIT ALL PROPOSED SUBSTITUTIONS TO THE MDOT IN WRITING WITH SUFFICIENT INFORMATION, EXAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. SUBSTITUTIONS MUST BE APPROVED IN WRITING BEFORE THEY MAY BE USED. IF THE CONTRACTOR, THE OWNER, OR THE OTHERS REPRESENTATIVE SUBSTITUTES A MATERIAL, METHOD OR A CONSTRUCTION DETAIL, METHOD OR ATTACHMENT, OR IN ANY WAY ALTERS THE WORK SO THAT IT DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS.

3. C. TO PAINT ALL HVAC UNITS, CHILERS, DUMPER PANELS AND ALL SIMILAR ITEMS EXPOSED TO VIEW TO MATCH ADJACENT SURFACE.

RE. SPECIFICATION BOOK FOR FINISHES SCHEDULE AND CUTS.

THE FOLLOWING APPLIES TO GLASS AND TILE SURFACES:

O.C. TO SUPPLY LIGHT BULBS OR
FLUORESCENT LAMPS FOR ALL FIXTURES
REGARDLESS OF FIXTURES "SUPPLIED
BY" DESIGNATION ON THE LIGHTING OUT-
LETS IN THE O.C. MANUAL AND/OR
THE SPECIFICATION BOOK.

ENTER ALL FIXTURES IN DAYS, SPACES,
OFFETS, OR ASKED UNLESS OTHERWISE
NOTED.

CENTER ALL GRILLS, SPEAKERS, ETC.
IN BAYS, SPACES OR BOWTIES UNLESS
OTHERWISE NOTED.

VERIFY MECHANICAL, O'K!
LOCATIONS WITH MECHANICAL.
DRAWINGS: PAINT TO MATCH ADJACENT
SURFACE.

VERIFY IN FIELD LOCATIONS OF ACCESS
POINTS & PAINT TO MATCH ADJACENT

-  DUPLEX OUTLET
-  TELEPHONE
-  TELEPHONE, DATA, CABLE
-  CABLE TELEVISION
-  WALL LIGHT READING

COVER
ID-100 LOBBY/ADJACENT PUBLIC AREA
ID-101 LOBBY/ADJACENT PUBLIC AREA
ID-200 FIFTH LEVEL-DECORATIVE LIGHT

BEFORE ORDERING ANY MATERIALS OR PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND FIELD VERIFY ALL DIMENSIONS, REQUIRED INSTALLATION CLEARANCES AND ALL OTHER CONDITIONS APPLICABLE TO THE WORK. SHOULD DISCREPANCIES OR AMBIGUITIES APPEAR AMONG THE CONTRACT DOCUMENTS, OR SHOULD DISCREPANCIES APPEAR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, OR SHOULD THE WORK BE REQUIRED IN A MANNER TO MAKE IT

WITHOUT HYPOCOCLES WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE HYPOCOCLES OF ANY RESPONSIBILITY OR LIABILITY AS TO THE AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE, OR PERSONAL LIABILITY.

ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE.

ALL PAINT TO BE APPLIED WITH TWO (2) COATS OF FINISH PAINT OVER ONE (1) COAT OF PRIMER.

ALL FIELD CUTS ON THE AREA TO BE
PERICE - BEVELLED EGGED PRIOR TO
SETTING TO MATCH CURBARY FINISH
ON THE IN - CUT PORTION OF THE TIE.

ALL OF THE FLOORING BECAUSED
MAY NOT BE OF THE SAME
THICKNESS, ADJUST SETTING BED
THICKNESS AS REQUIRED FOR A
LEVEL FINISH FLOOR.

ALL THE FLOORING OF ANY KIND

1. TO LOCATE, ETC., AND LOCATE PICTURE TO
MINIMUM DISTANCE FROM INDICATED
LOCATION AS WILL PERMIT A PROPER
INSTALLATION.





2. TO SUPPLY AND INSTALL ANY
NECESSARY FRAMING AND/OR BRACKETS
TO SUPPORT THE WEIGHT OF
THE WALL LIGHTS (WALL SCONCES).
REFER TO IS. APPLICATION FOR
LIGHTS OF SCONCES.

3. TO LOCATE ELECTRICAL PANELS
OR OVERHEAD LIGHTING LOCATED BY
ELECTRICAL CONSULTANT, SUPPLIED
BY ELECTRICAL CONSULTANT.

GENERAL CONTRACTOR SHALL INSTALL ALL REQUIRED BLOCKS IN ABOVE CEILING FOR HANGING DRAPEL RIGS, CLASPS, ETC. (LOOKING ABOVE DRAPEL RIGS HAVE CAPACITY TO SUPPORT 80 LBS OR MORE).

COORDINATE SPEAKER LOCATIONS WITH SOUND AND LIGHTING CONSULTANT. DRAPEL RIGS ALL SPEAKERS TO BE PAINTED TO MATCH ADJACENT SURFACE.

ALL WALLWORK CONTINUATIONS BEHIND ON THE PROJECT MUST VISIT THE SITE AND REVIEW EXISTING CONDITIONS.

-  PENDANT/CHANDLIER
-  RECESSED CAN LIGHT
-  PLUG-IN LAMP
-  RECESSED CAN DIRECTION LIGHT

10-225 FIFTH LEVEL FURNITURE/DECOR
10-224 FIFTH LEVEL FURNITURE/DECOR
10-305 SIXTH LEVEL DECOMMITIVE LIGHT
10-301 SIXTH LEVEL FURNITURE/DECOR
10-302 SIXTH LEVEL FURNITURE/DECOR
10-303 SIXTH LEVEL FURNITURE/DECOR
10-304 SIXTH LEVEL FURNITURE/DECOR

NECESSARY TO PRODUCE THE QUALITY OF WORKMANSHIP REQUIRED BY THE CONTRACT DOCUMENTS, OR SHOULD THE CONTRACTOR HAVE A QUESTION REGARDING THE MEANING OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REQUEST HIS CONTRACTOR FOR INTERPRETATION AND CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. IF THE CONTRACTOR FAILS TO MAKE SUCH A REQUEST, THE COST FOR CORRECTING THE WORK, IN A MANNER ACCEPTABLE TO HIS CONTRACTOR, SHALL BE BORNE BY THE CONTRACTOR.

ANY UNRELEVANT ITEMS ON

FLASH PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE, PRIOR TO FLOORING INSTALLATION.

THE TEAM G.C. NOTED ON THE BE INTERIOR DESIGN DOCUMENTS REFERS TO THE GENERAL CONTRACTOR RESPONSIBLE BY CONTRACT FOR THE SCOPE OF WORK INDICATED ON THE COMPLETE INTERIOR DESIGN PACKAGE.

G.C. TO PROVIDE BLOCKING FOR ITEMS FOLLOWING (BUT NOT LIMITED TO) THE FOLLOWING:

COLOR IS TO BE SHIP-LED PRIOR TO SETTING. THE SHIP-PLANK NOT BE LIMITED BY THE BOX, BUT COVER THE ENTIRE FLOOR AREA.

EXPANSION JOINTS ARE TO BE PROVIDED AND INSTALLED ACCORDING TO THE TILE COUNCIL OF AMERICA SPECIFICATION #1117.

OUT FLOORING AS NECESSARY TO ACHIEVE TILE PATTERN DRAIN. THIS MAY INCLUDE CUTTING THE FLOORING DOWN BY AS LITTLE AS 1/4"

RIGHTS FOR CHAIRS AND
INDIAN TEXTURES ARE FROM ABOVE
FLOOR (A.F. 2) TO THE BOTTOM OF
TEXTURE UNLESS NOTED OTHERWISE.
NOTE: LIGHT TEXTURE SYMBOL, RE:
PROJECT MANUALS 8 OF 8 AND/OR
SPECIFICATION BOOK
LIGHT TEXTURE HAVE NO REFERENCE
LIGHTING OUTLINES IN THE
PROJECT MANUALS 8 OF 8 AND/OR
SPECIFICATION BOOK

11. **WORK CONTRACTOR TO PROVIDE THE ARCHITECT AND INTERIOR DESIGNER WITH COMPLETE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.**

100

10-403 SEVENTH LEVEL, DECORATIVE LIGHT
 10-401 SEVENTH LEVEL, FURNITURE, DECOR
 10-402 SEVENTH LEVEL, FURNITURE, DECOR
 10-405 SEVENTH LEVEL, FURNITURE, DECOR
 10-404 SEVENTH LEVEL, FURNITURE, DECOR
 10-400 SEVENTH LEVEL, DECORATIVE LIGHT

THE DRAWINGS ON THE DRAWINGS
ARE BASED ON DOCUMENTATION SUPPLIED
BY ARCHITECT. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO
VERIFY THESE DRAWINGS FOR BOTH
QUALITY TAKE OFF AS WELL AS
CONSTRUCTION. SHOULD A
DISCREPANCY OCCUR BETWEEN THE
CONTRACT DOCUMENTS AND EXISTING
CONDITIONS, IMMEDIATELY NOTIFY THE

- TOILET PARTITIONS
- AUDIOVISUAL (A/V) UNITS
- TOILET ACCESSORIES
- SHELVING
- CORBELS AND BRACKETS
- CHANDLERS / PENDANTS (REFLECT TO SUB. SPECIFICATIONS FOR WEIGHTS)
- WALL MOUNTED TELEVISIONS

NOTED DIMENSIONS TAKE
PRECEDENCE OVER SCALED VALUES.

RIGHTS FOR NEIGHBORHOODS AND
FUNCTION HOTELS FOR WALL LIGHTS
WALL SPOILER: ARE FROM ABOVE
FINISHED FLOOR (A.F.F.) TO THE
ENTRANCE OF JUNCTION BOX
UNLESS NOTED OTHERWISE.

ALL FUTURE NUMBERS REFERENCE
TO LIGHTING OUT SHEETS IN THE
C. PROJECT MANUAL
OF 2 AND FOR THE

TO SUPPLY AND INSTALL ANY
WIRING REQUIRED ABOVE DURING
THE COURSE OF THE WORK
AND TO MAINTAIN THE SAME
IN GOOD ORDER AND REPAIR
UNTIL THE WORK IS COMPLETED.

GENERAL CONTRACTOR TO SUBMIT TWO (2) SAMPLES OF ALL INTERIOR FINISHES AND/OR MATERIALS TO BE USED ON THE PROJECT TO ARCHITECT AND INTERIOR DESIGNER FOR APPROVAL.

GENERAL CONTRACTOR IS TO CONFIRM ALL TIMES FOR ALL SCHEDULED PRODUCTS AND SPECIFIC SHOP DRAWINGS AND SUBMITTAL PROCESS SO ALL DELAYS ARE AVOIDED.

SUBSTITUTIONS WILL NOT BE ALLOWED ON ACCOUNT OF TIME DELAYS.

D-801 EIGHTH LEVEL-FURNITURE/DECOR
D-802 EIGHTH LEVEL-FURNITURE/DECOR
D-803 EIGHTH LEVEL-FURNITURE/DECOR
D-804 EIGHTH LEVEL-FURNITURE/DECOR

NOTE: REFER TO ARCHITECTS (A-4) IN V
INTERIOR ELEVATIONS FOR INTERIOR DE

RELATED DOCUMENTS
GENERAL CONTRACTOR PROJECT MANUAL

100

DECORATIVE METAL WORK

NOTE

TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DEVIATIONS ARE TO BE REPORTED TO COMPANY IMMEDIATELY OR G.C. WILL BE RESPONSIBLE FOR ANY ACTIONS REQUIRED.

GENERAL INSTALLATION NOTES FOR FINISH FLOOR, BASE, WALL, CEILING AND MILLWORK SPECIFICATIONS, ROOM FINISH SCHEDULE

APPLICATION BOOK 67, S.A. PURCHASE

FURNITURE, FIXTURES AND ACCESSORIES MANUFACTURER'S LIST AND P.F.S.A. CODES

NOTES:

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee, Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

**RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN**

PROJECT NUMBER
1851

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

SHEET NUMBER

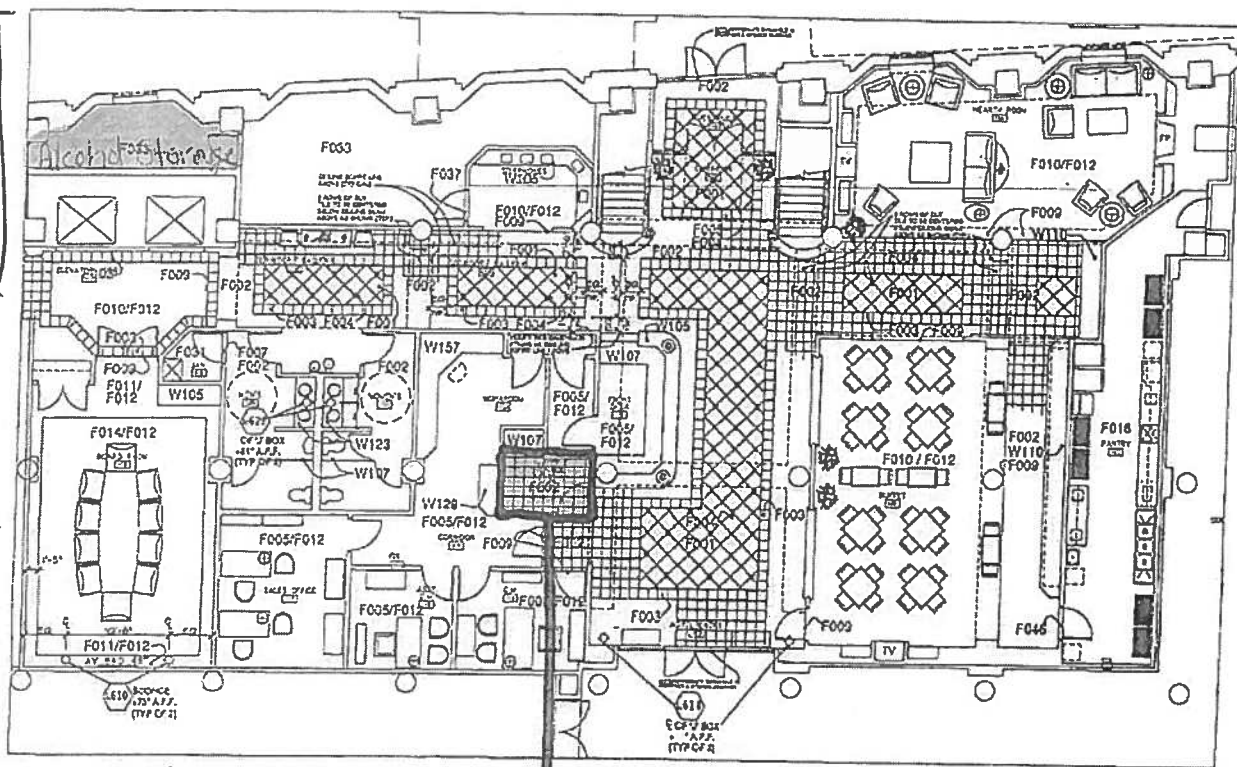
COVER

20 05 21 819'9V

981

Alcohol storage - 21 feet by 5 feet 2 inches

163



LOBBY/ADJACENT PUBLIC AREA - FURNITURE/DECORATIVE LIGHTING/FINISH PLAN

SCALE = 1/4" = 1'-0"

Market
1 cooler

Market - 12 feet 1 inch by 9 feet 1 inch

Keith Kramer Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

HVS-COMPASS
6420 Campus Drive
Boulder, Colorado 80501-3209
Phone 303 530 3645 Fax 303 530 3649

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1631

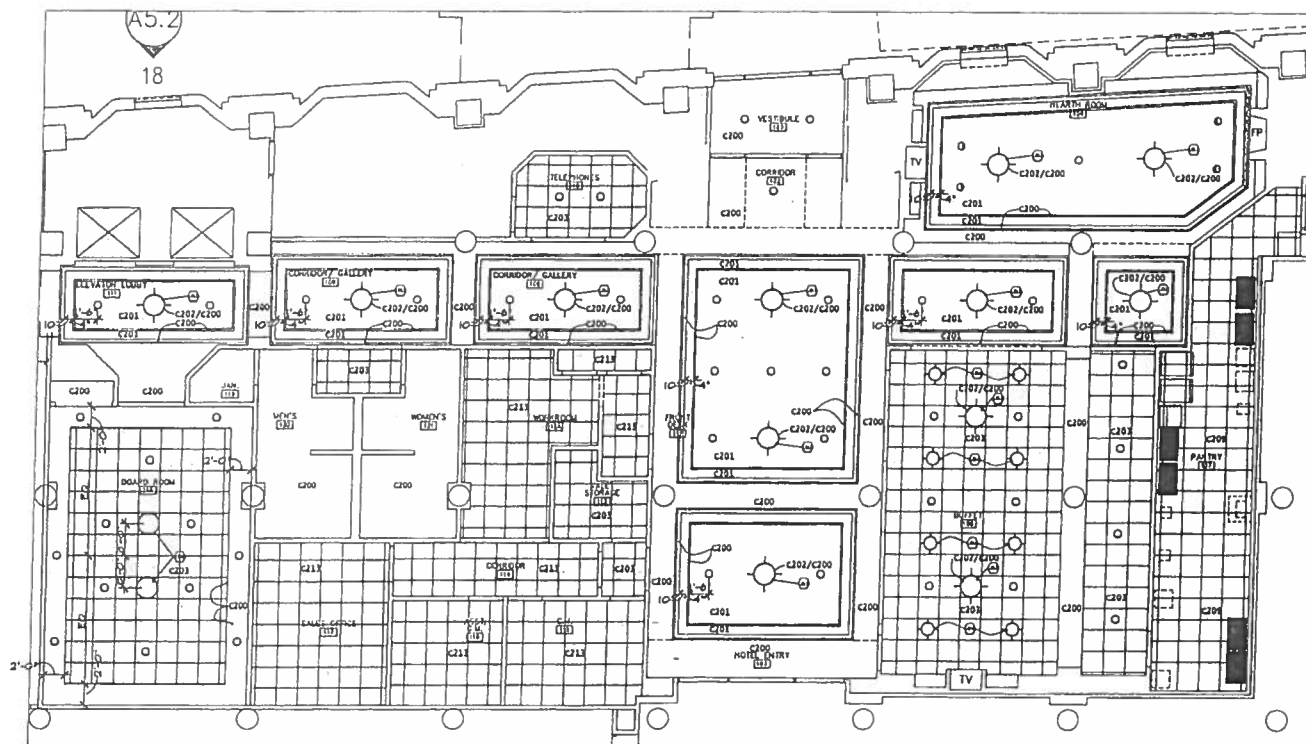
ISSUED DATE:
Aug. 14, 2003
REVISIONS:
NO. DATE
1 8/24/2000

SHEET TITLE
MARKETING/RENTAL PLAN
MARKETING/RENTAL PLAN

SHEET NUMBER
ID 100



ID 100



LOBBY/ADJACENT PUBLIC AREA - REFLECTED CEILING/DECORATIVE LIGHTING/FINISH PLAN

SCALE = 1/4" = 1'-0" N
TRUE NORTH

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue
Date: May 30, 2014

HVS · COMPASS

6420 Garpen Drive
Boulder, Colorado 80501-3328
Phone 303 530 3685 Fax 303 530 3669

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1831

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

LOBBY/ADJACENT PUBLIC AREA
REFLECTED CEILING/DECORATIVE
LIGHTING/FINISH PLAN

SHEET NUMBER

ID 101

HVS - COMPASS

6420 Gurspark Drive
Boulder, Colorado 80501-3328
Phone 303 530 3865 Fax 303 3359

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

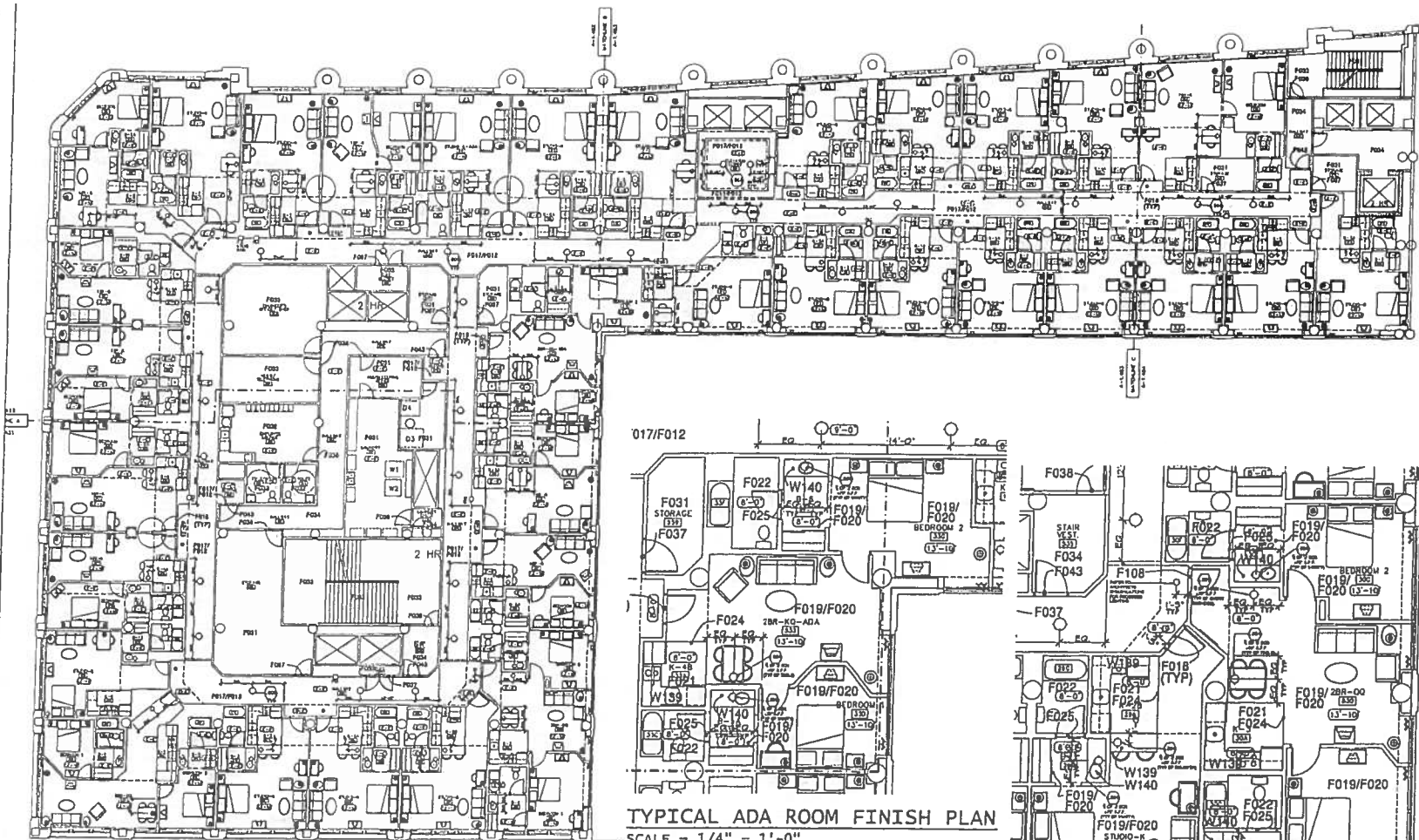
PROJECT NUMBER
1651

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

SHEET NUMBER

ID 200



5TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/8" = 1'-0"

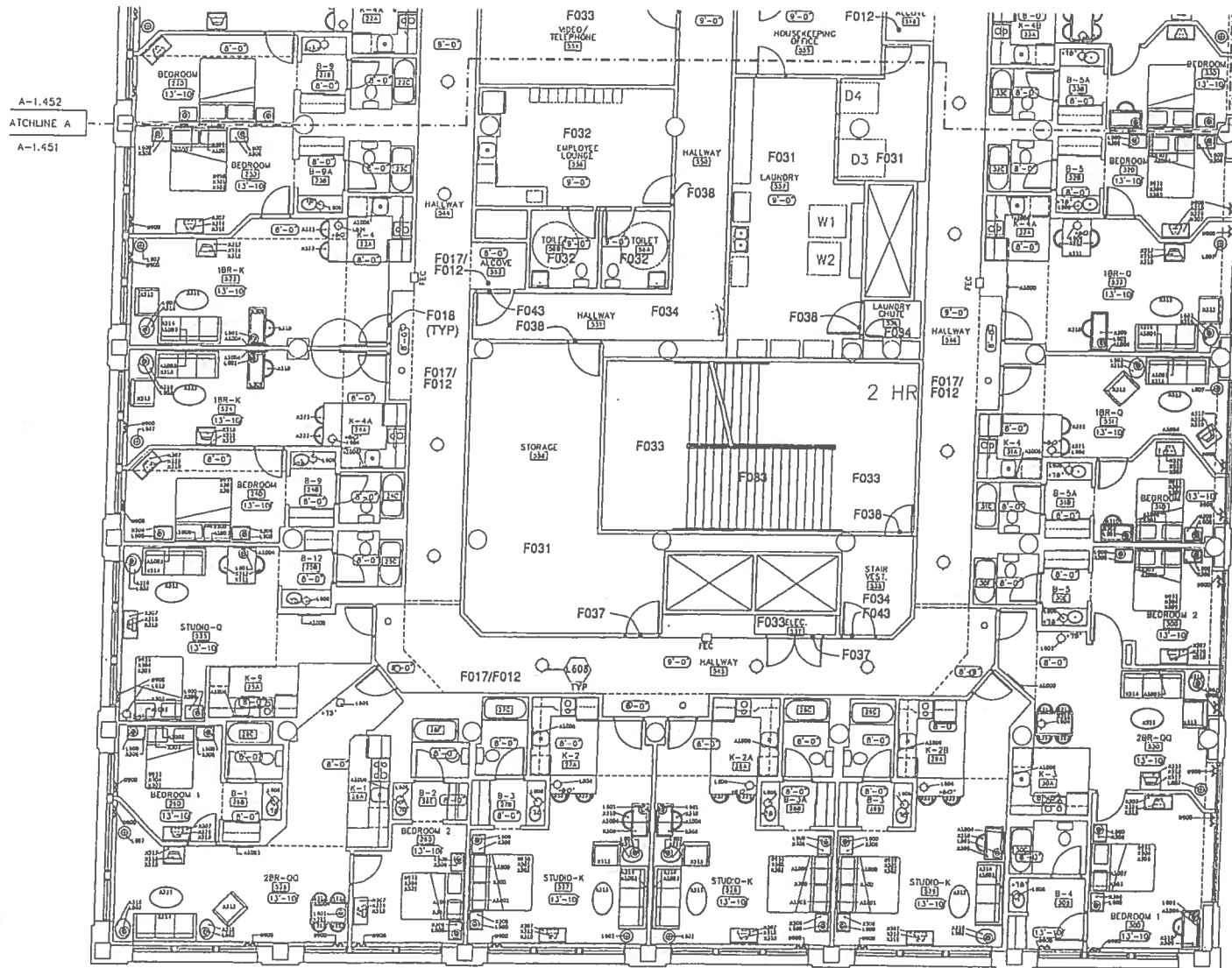


NOTE:
TYPICAL GUESTROOM WALL LIGHTS/ WALL SCONCES
(HARDWARE) SPECIFICATION REFERENCE NUMBERS
AND THE ABOVE - FLOOR HEIGHTS TO CENTERLINE
OF JUNCTION BOX ARE INDICATED ON SHEET
I.D. - 200 (REFER TYPICAL 1/4" ROOM PLANS.)

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

TYPICAL GUESTROOM FINISH PLAN

SCALE = 1/4" = 1'-0"



Keith Kramar Agent for CSM Milwaukee Downtown LLC 5TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

SCALE = 1/4" = 1'-0"

N

HVS COMPASS

8420 Gumpert Drive
 Boulder, Colorado 80501-1028
 Phone 303 530 3885 Fax 303 530 3959

PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

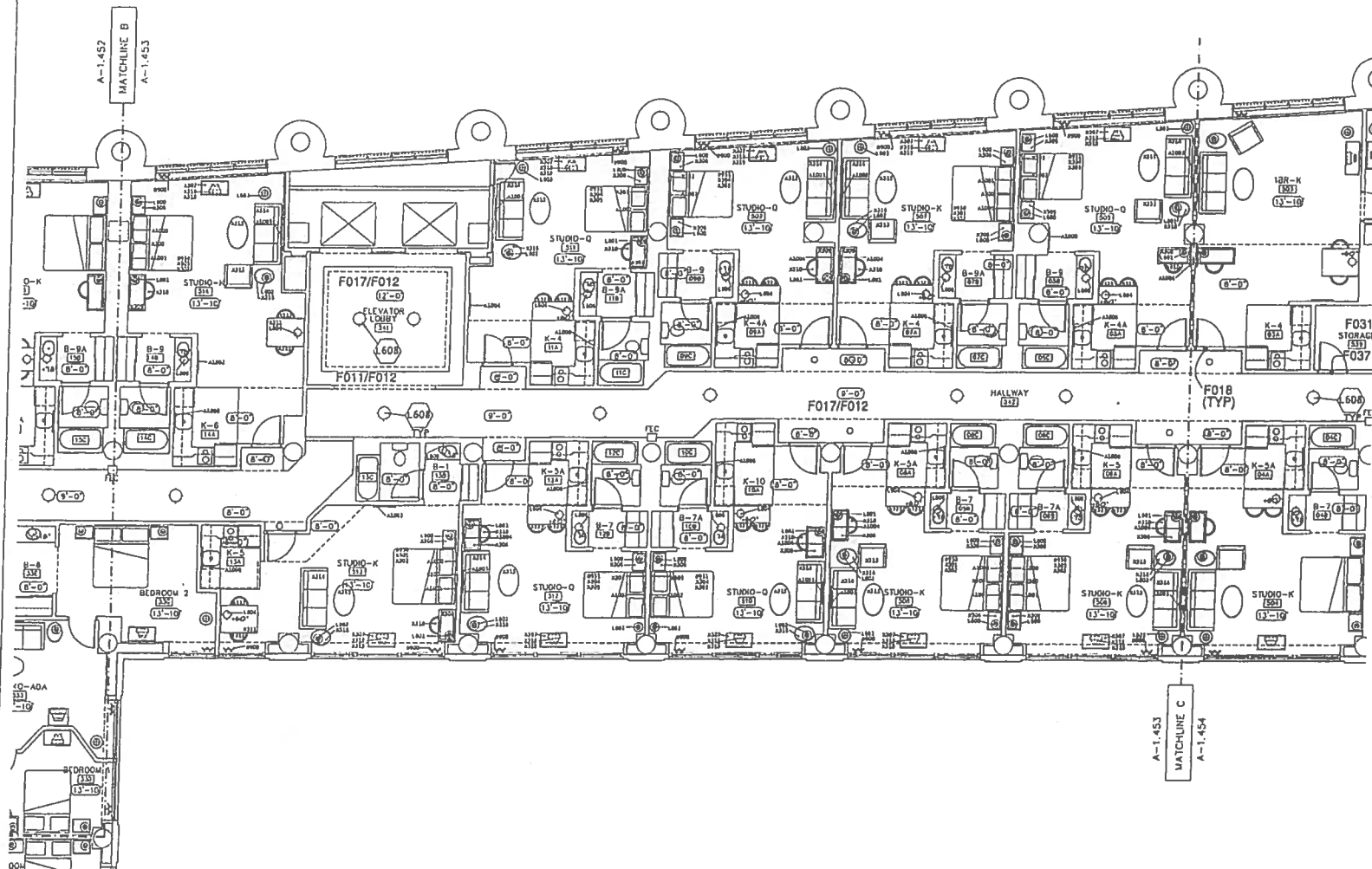
ISSUED DATE:
 Aug. 14, 2000
 REVISIONS:
 NO. DATE
 1 8/28/2000

SHEET TITLE

5TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER

ID 201



HVS-COMPASS

6420 Gumpark Drive
Boulder, Colorado 80001-3228
Phone 303.530.3885 Fax 303.530.3959

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

5TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER

ID 203

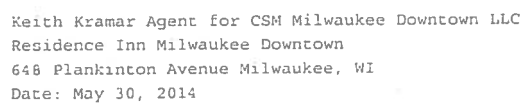
Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown

648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

5TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"

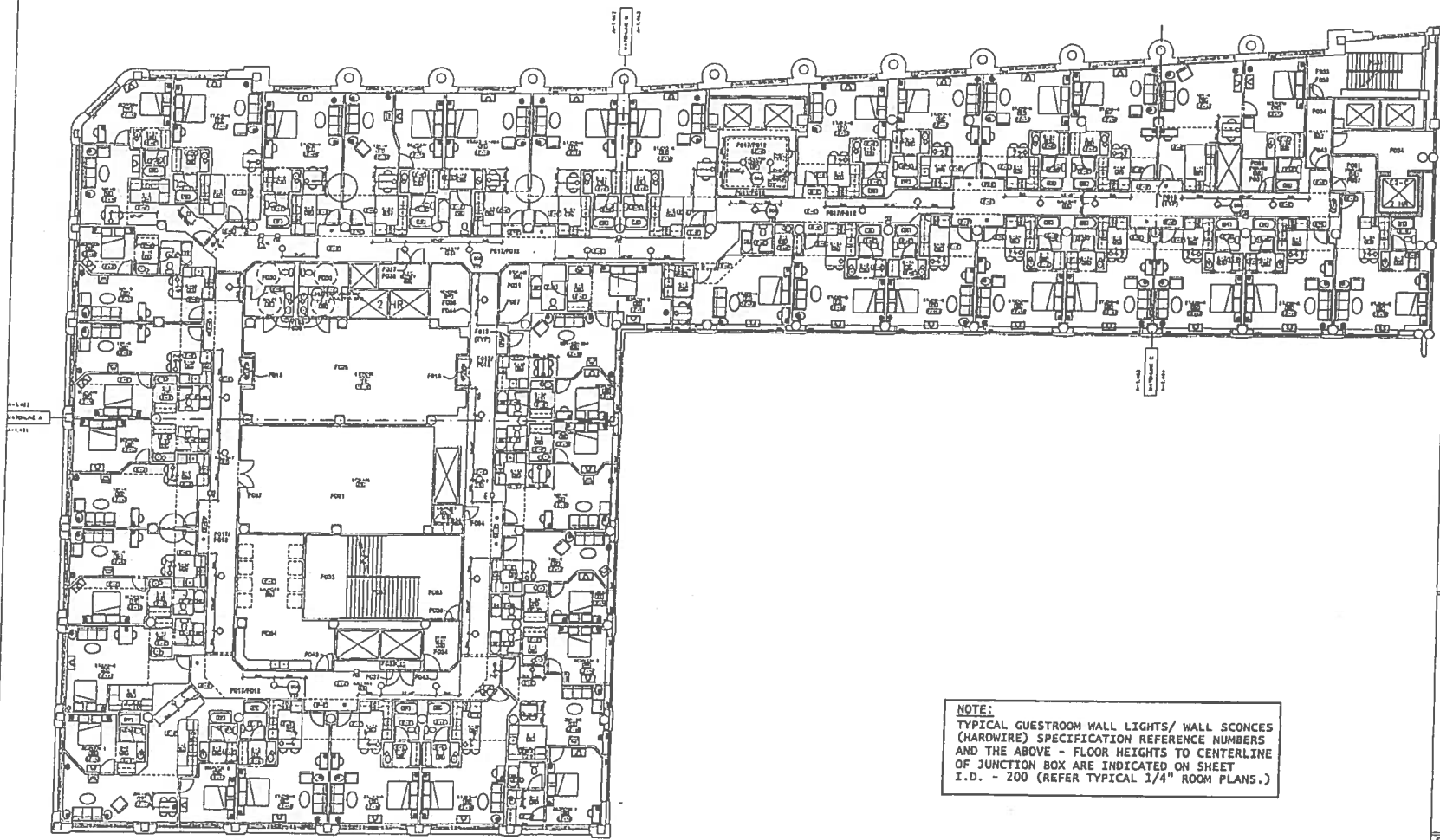
North Arrow



SCALE = 1/4" = 1'-0"

6420 Gumpark Drive
Boulder, Colorado 80301-3728
Phone 303 530 3985, Fax 303 530 3959

ID 204



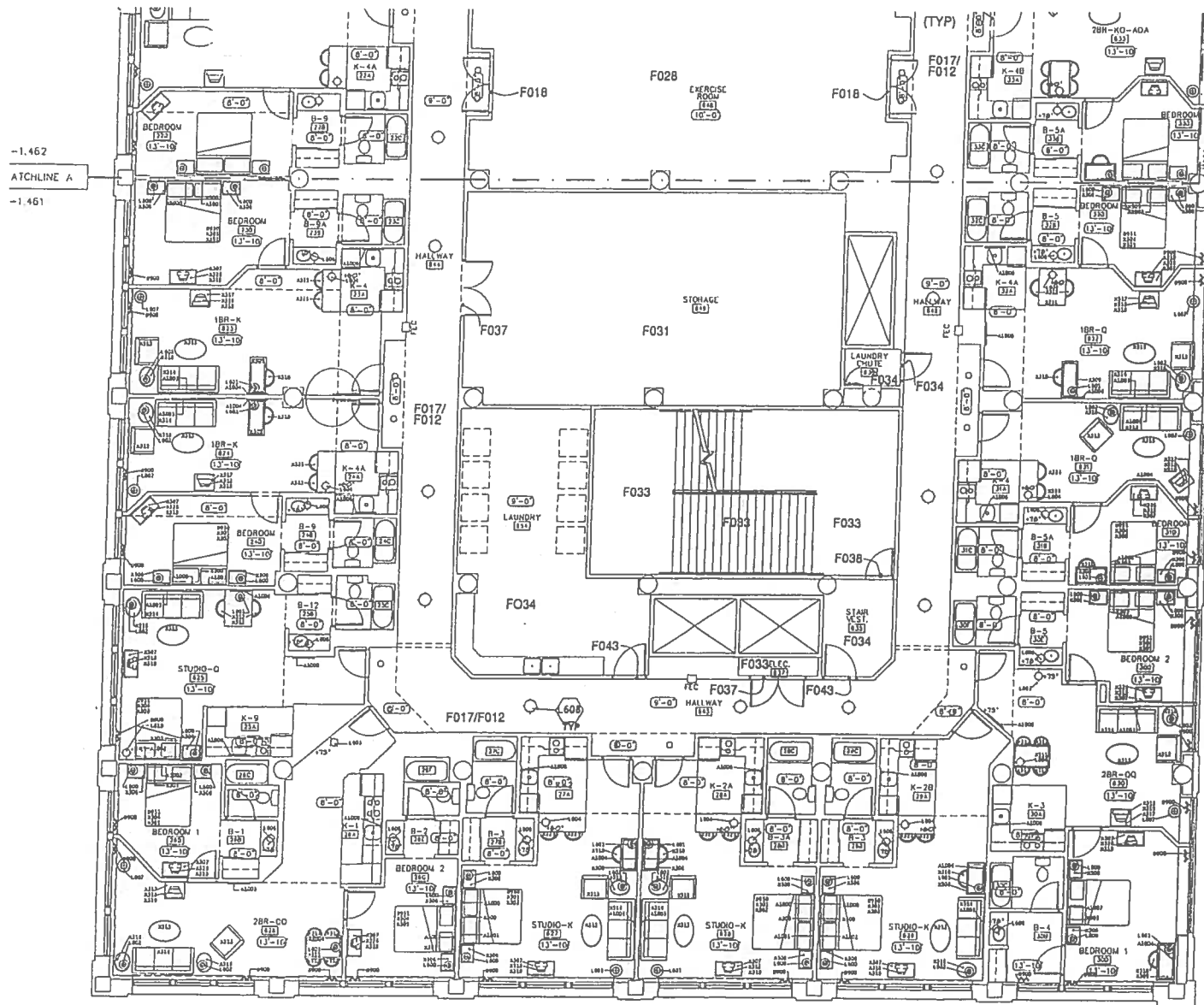
NOTE:
TYPICAL GUESTROOM WALL LIGHTS/ WALL SCONCES
(HARDWARE) SPECIFICATION REFERENCE NUMBERS
AND THE ABOVE - FLOOR HEIGHTS TO CENTERLINE
OF JUNCTION BOX ARE INDICATED ON SHEET
I.D. - 200 (REFER TYPICAL 1/4" ROOM PLANS.)

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue, Milwaukee, WI
Date: May 30, 2014

6TH LEVEL- FURNITURE/DECORATIVE LIGHTING/FINISH PLAN
SCALE = 1/4" = 1'-0"



HVS - COMPASS 8420 Gangolf Drive Boulder, Colorado 80501-3228 Phone 303 530 3845 Fax 303 530 3550					
PROJECT RESIDENCE INN MARSHALL FIELD'S BUILDING MILWAUKEE, WISCONSIN					
PROJECT NUMBER 1851					
ISSUED DATE: Aug. 14, 2000 REVISIONS: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>8/28/2000</td> </tr> </tbody> </table>		NO.	DATE	1	8/28/2000
NO.	DATE				
1	8/28/2000				
SHEET TITLE 6TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN					
SHEET NUMBER ID 300					



Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown

648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

6TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS COMPASS

6420 Gungah Drive
Boulder, Colorado 80501-3028
Phone 303 530 3885 Fax 303 520 3959

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

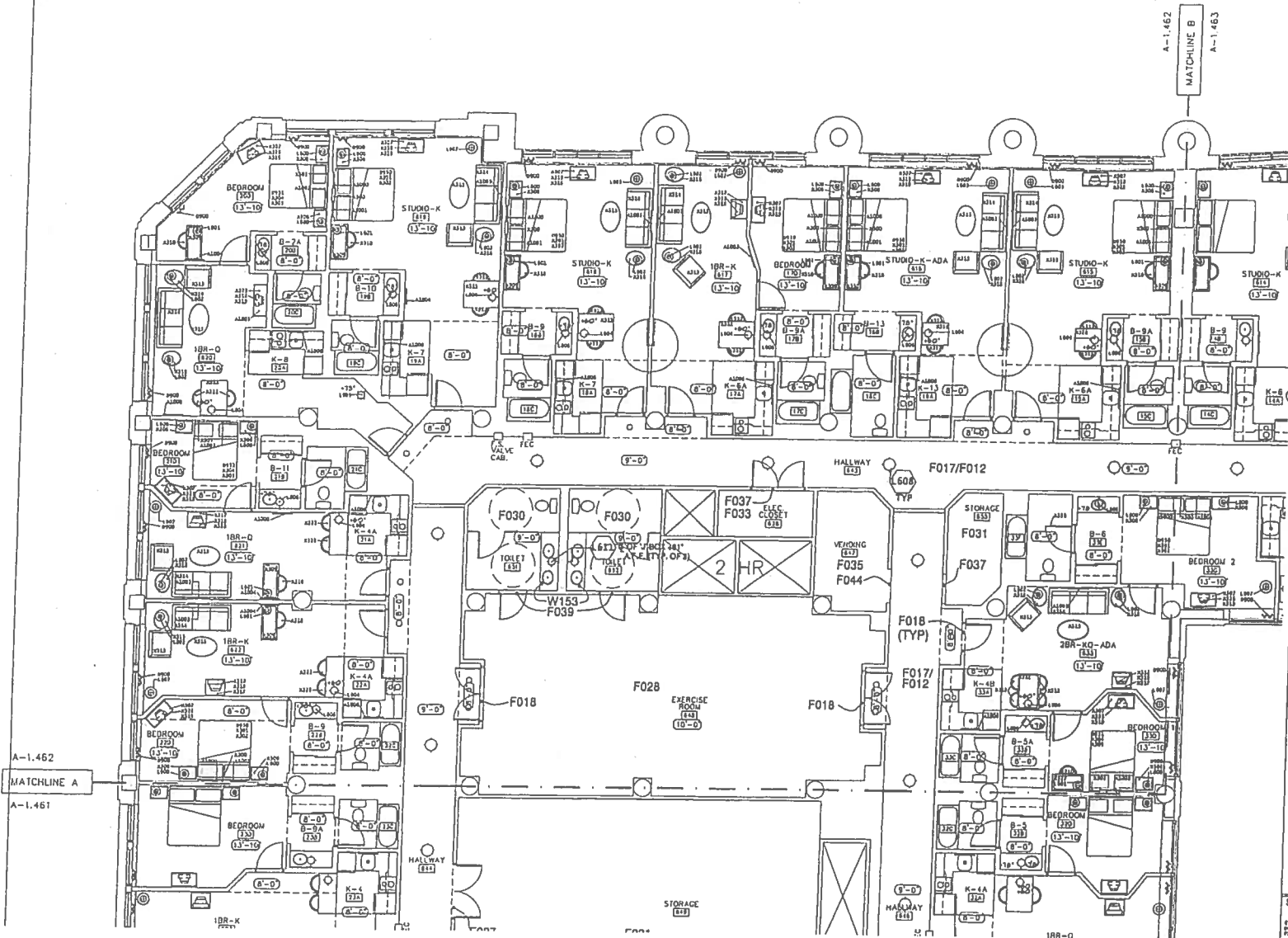
ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

6TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER

ID 301



Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI
 Date: May 30, 2014

6TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS-COMPASS

6420 Garfield Drive
 Boulder, Colorado 80501-3328
 Phone 303 530 3885 Fax 303 530 3889

PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

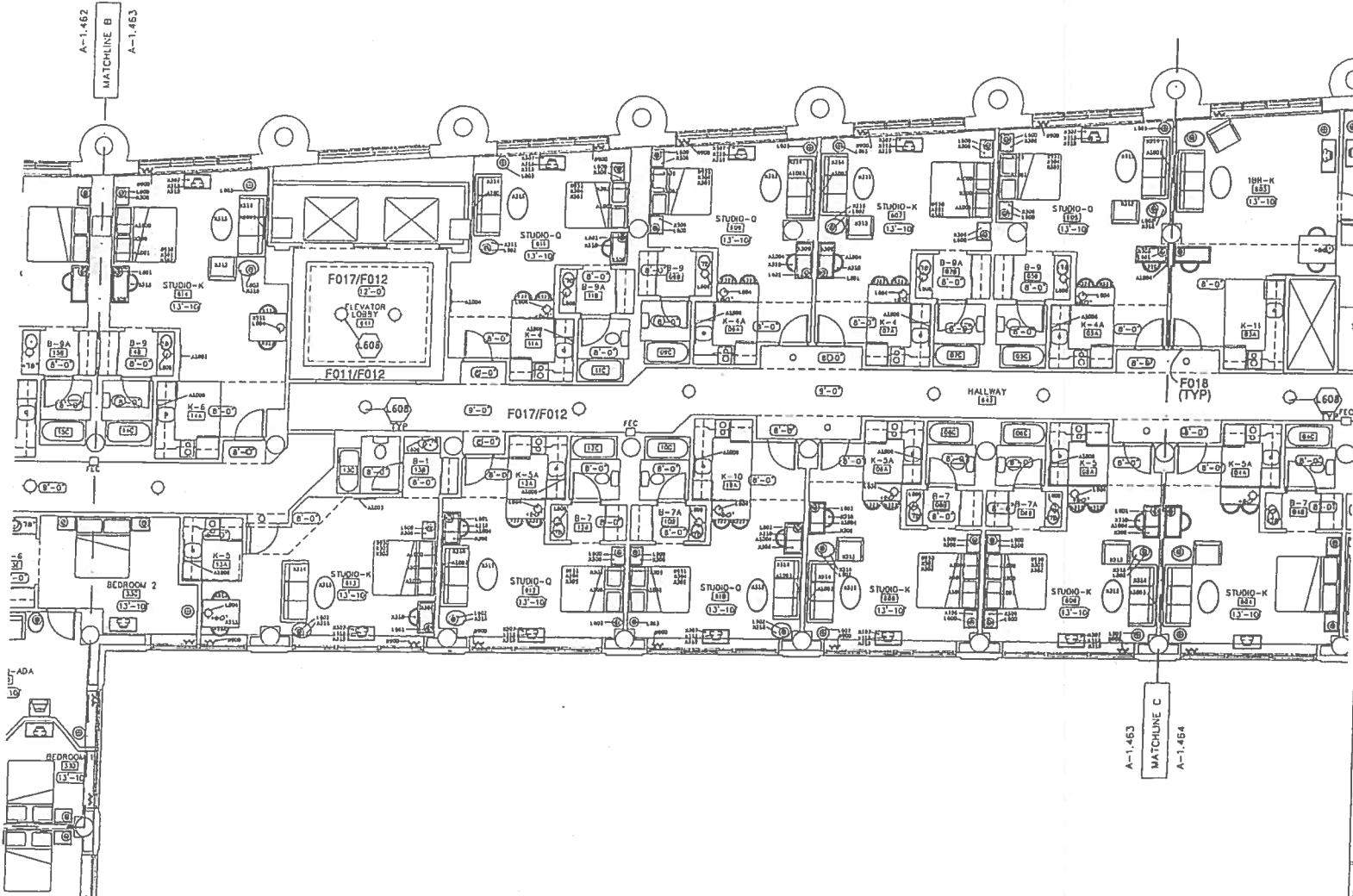
ISSUED DATE:
 Aug. 14, 2000
 REVISIONS:
 NO. DATE
 1 8/28/2000

SHEET TITLE

6TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER

ID 302



Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI
 Date: May 30, 2014

6TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS-COMPASS

6420 Gunpark Drive
 Boulder, Colorado 80501-3323
 Phone 303 330 3885 Fax 303 330 3859

PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

ISSUED DATE:
 Aug. 14, 2000
 REVISIONS:
 NO. DATE
 1 8/25/2000

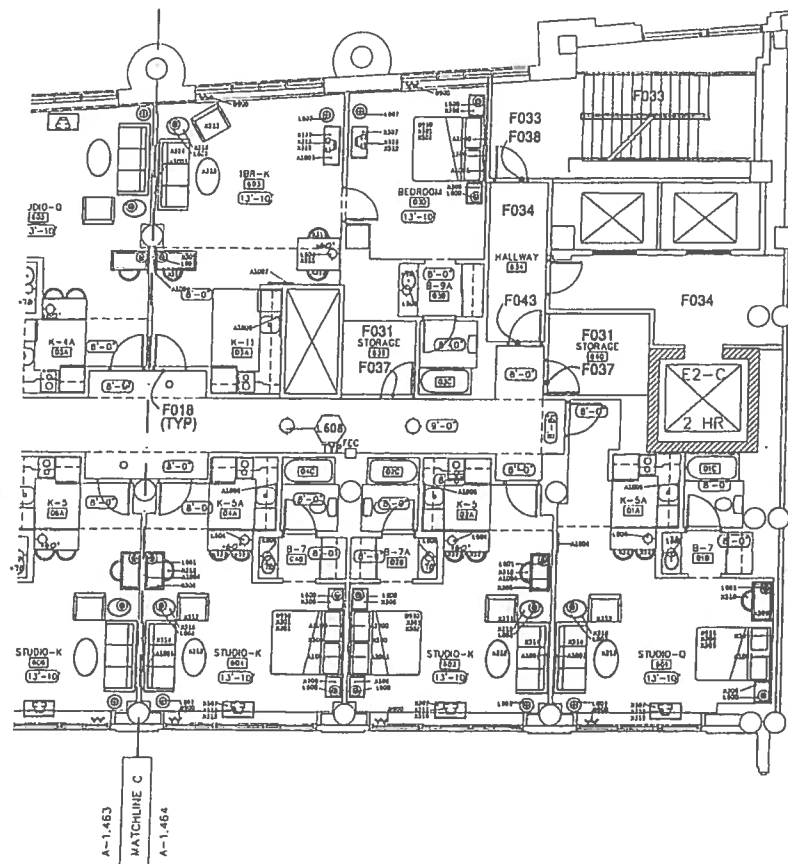
SHEET TITLE

6TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER

ID 303

Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI
 Date: May 30, 2014



6TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS-COMPASS

6420 Gargant Drive
 Boulder, Colorado 80301-3228
 Phone 303 530 3685 Fax 303 530 3659

PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

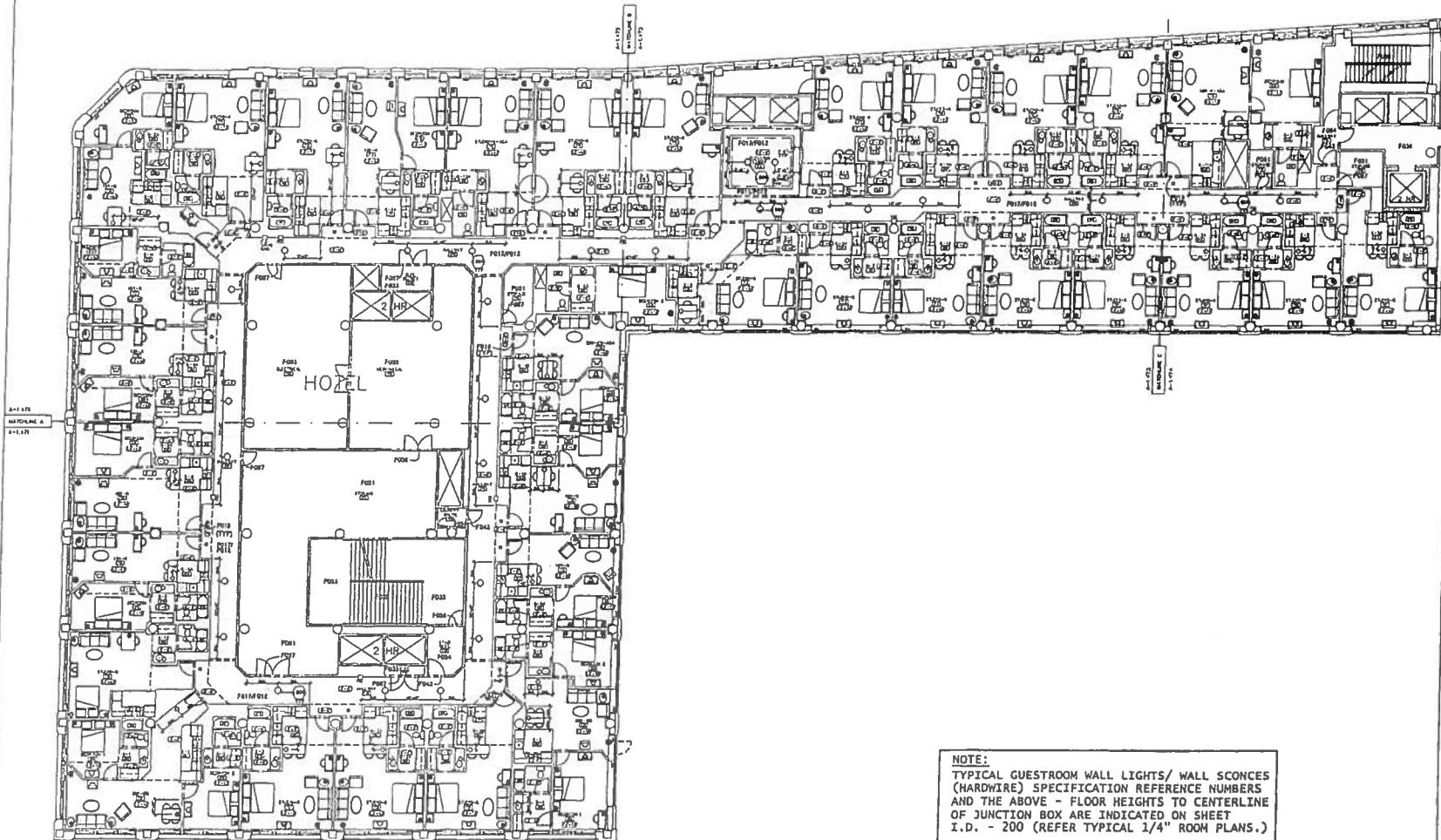
ISSUED DATE:
 Aug. 14, 2000
REVISIONS:
 NO. DATE
 1 5/26/2000

SHEET TITLE

6TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER

ID 304



NOTE:
TYPICAL GUESTROOM WALL LIGHTS/ WALL SCONCES
(HARDWARE) SPECIFICATION REFERENCE NUMBERS
AND THE ABOVE - FLOOR HEIGHTS TO CENTERLINE
OF JUNCTION BOX ARE INDICATED ON SHEET
I.D. - 200 (REFER TYPICAL 1/4" ROOM PLANS.)

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

7TH LEVEL- FURNITURE/DECORATIVE LIGHTING/FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS-COMPASS

6420 Gumpark Drive
Boulder, Colorado 80301-3328
Phone 303 520 3665 Fax 303 520 3663

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1831

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

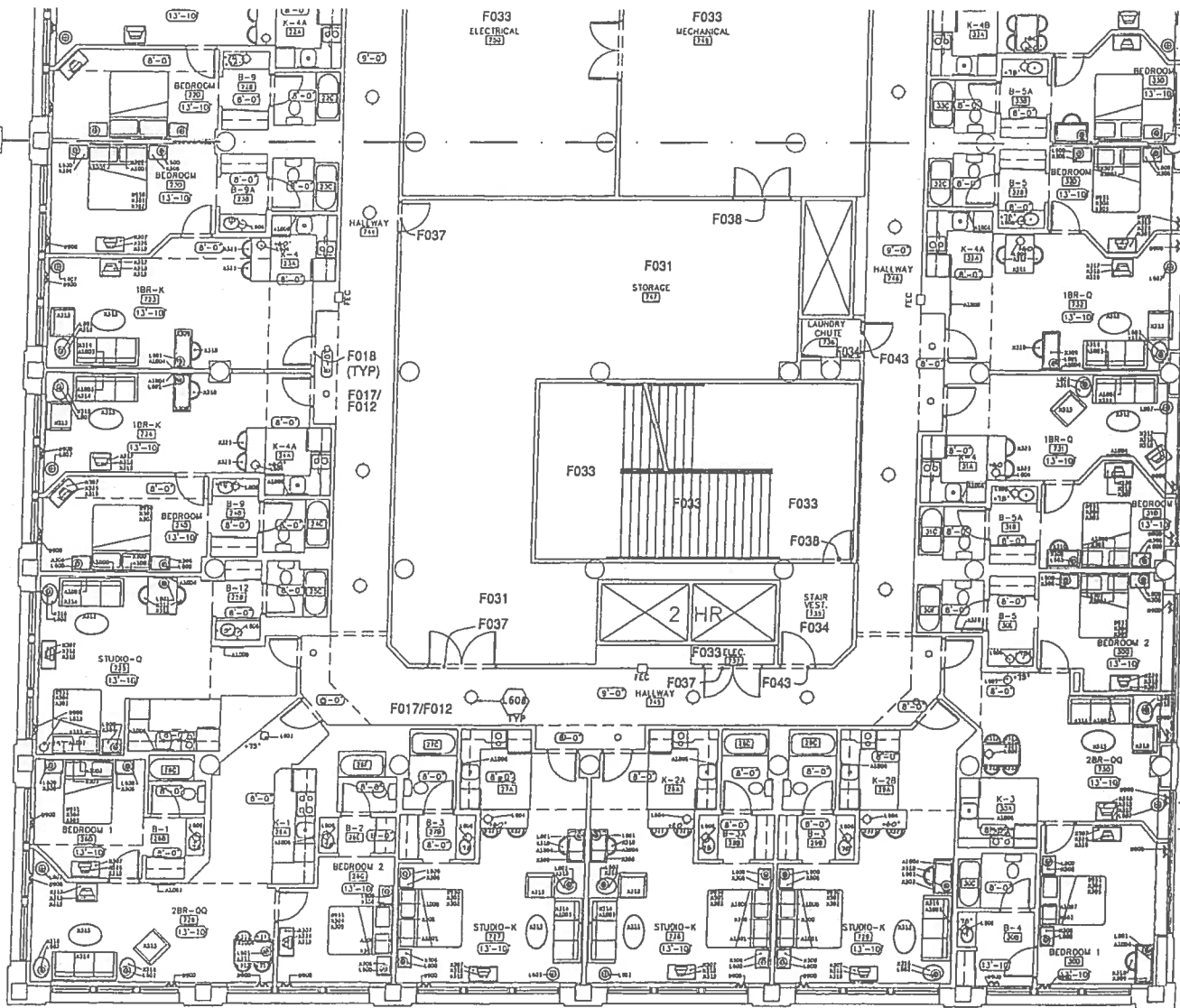
SHEET TITLE

7TH LEVEL - FURNITURE/DECORATIVE LIGHTING/FINISH PLAN

SHEET NUMBER

ID 400

A-1.472
MATCHLINE A
A-1.471



Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

7TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"

N

HVS COMPASS

6420 Gumpark Drive
Boulder, Colorado 80501-3328
Phone 303 530 3865 Fax 303 530 3869

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

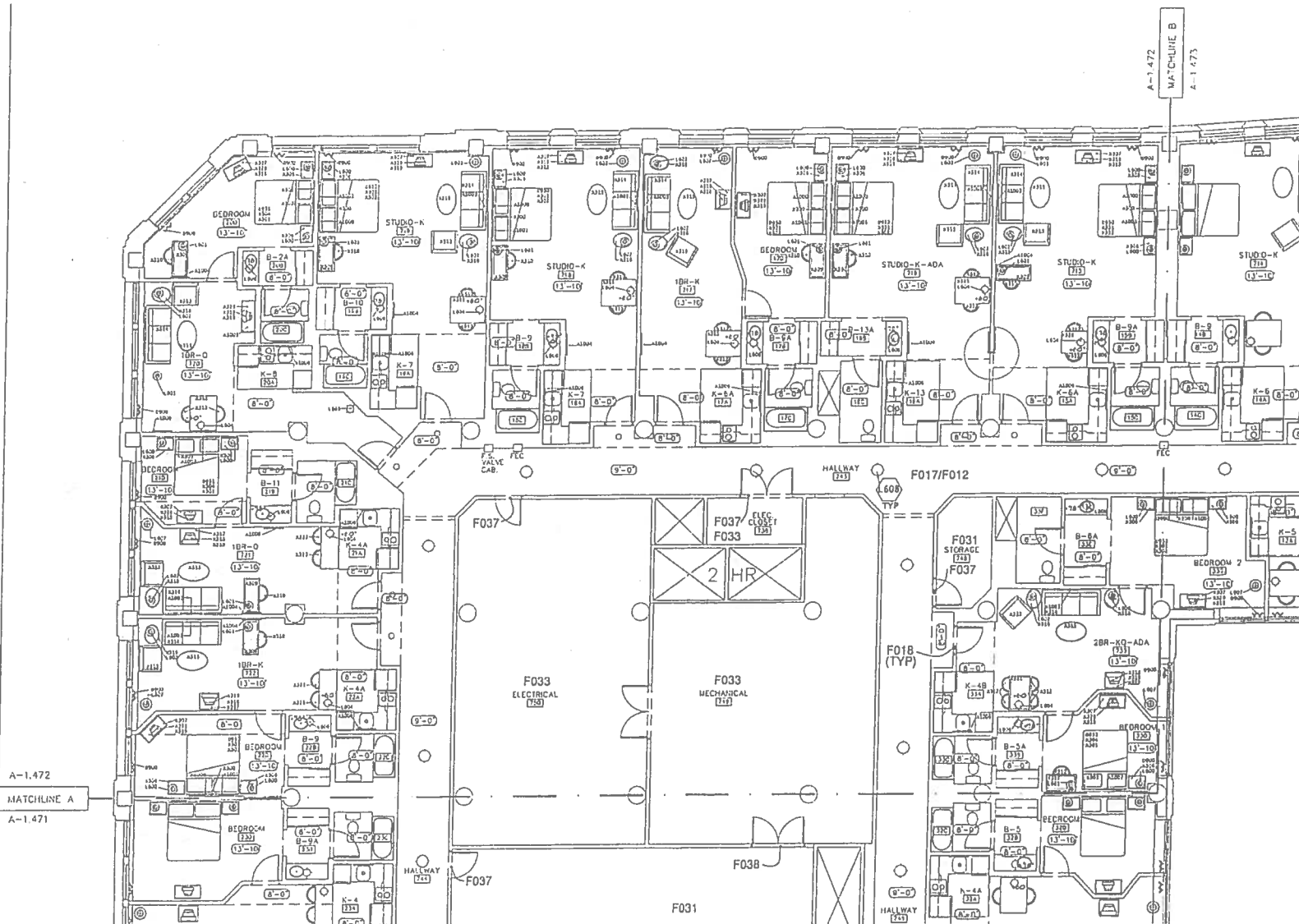
ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

7TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER

ID 401



Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

7TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"

NE

HVS-COMPASS

8420 Garpark Drive
 Boulder, Colorado 80301-3328
 Phone 303 530 3865 Fax 303 530 3959

PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

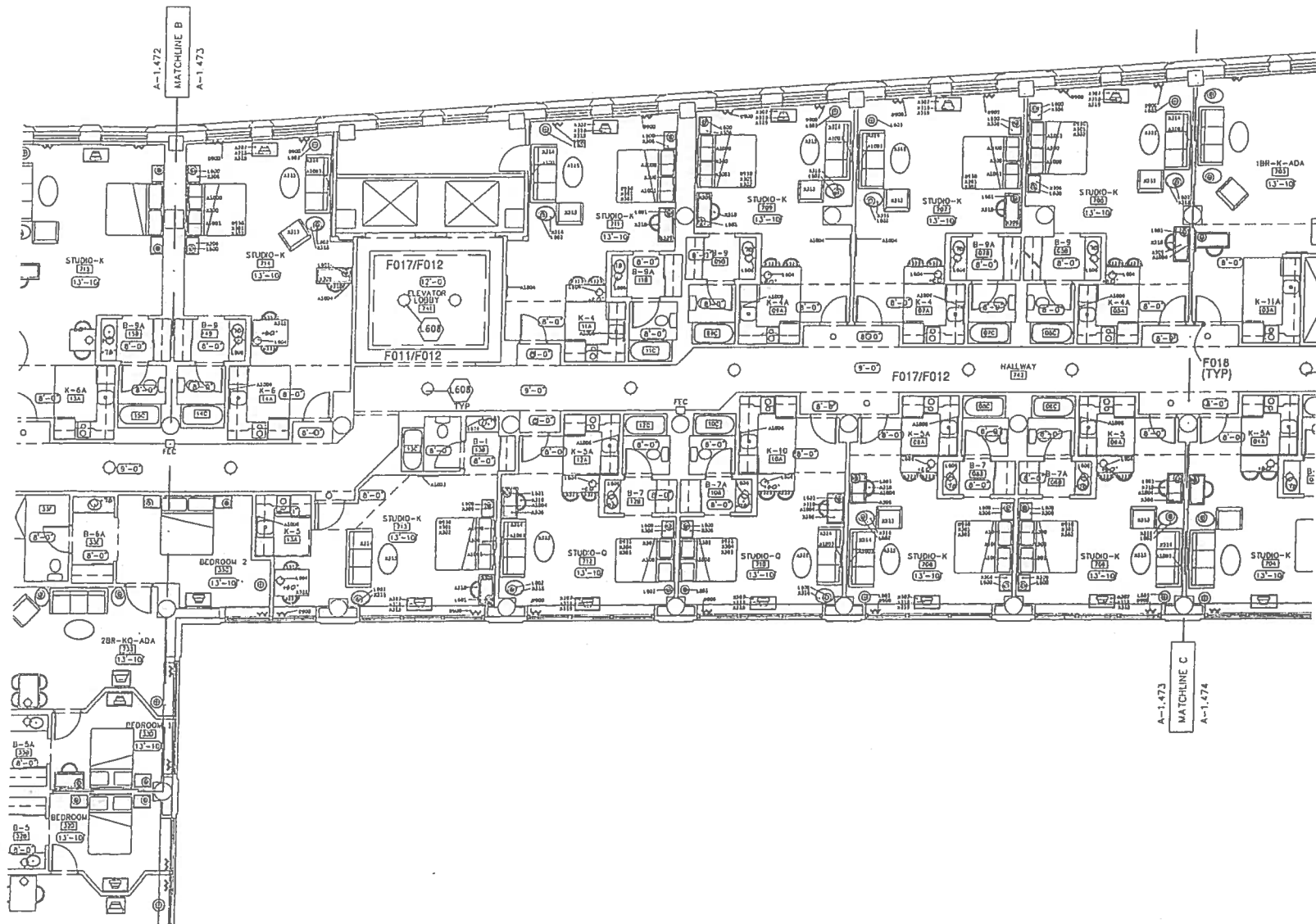
ISSUED DATE:
 Aug. 14, 2000
 REVISIONS:
 NO DATE
 1 8/28/2000

SHEET TITLE

7TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER

ID 402



Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown
 648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

7TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN
 SCALE = 1/4" = 1'-0"



HVS • COMPASS 8420 Garpark Drive Boulder, Colorado 80001-3228 Phone 303.530.3885 Fax 303.530.3569	
PROJECT RESIDENCE INN MARSHALL FIELD'S BUILDING MILWAUKEE, WISCONSIN	
PROJECT NUMBER 1851	
ISSUED DATE: Aug. 14, 2000 REVISIONS: NO. DATE 1 8/28/2000	
SHEET TITLE 7TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN	
SHEET NUMBER ID 403	

HVS • COMPASS

6420 Gungah Drive
Boulder, Colorado 80501-3028
Phone 303.530.3885 Fax 303.530.3959

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

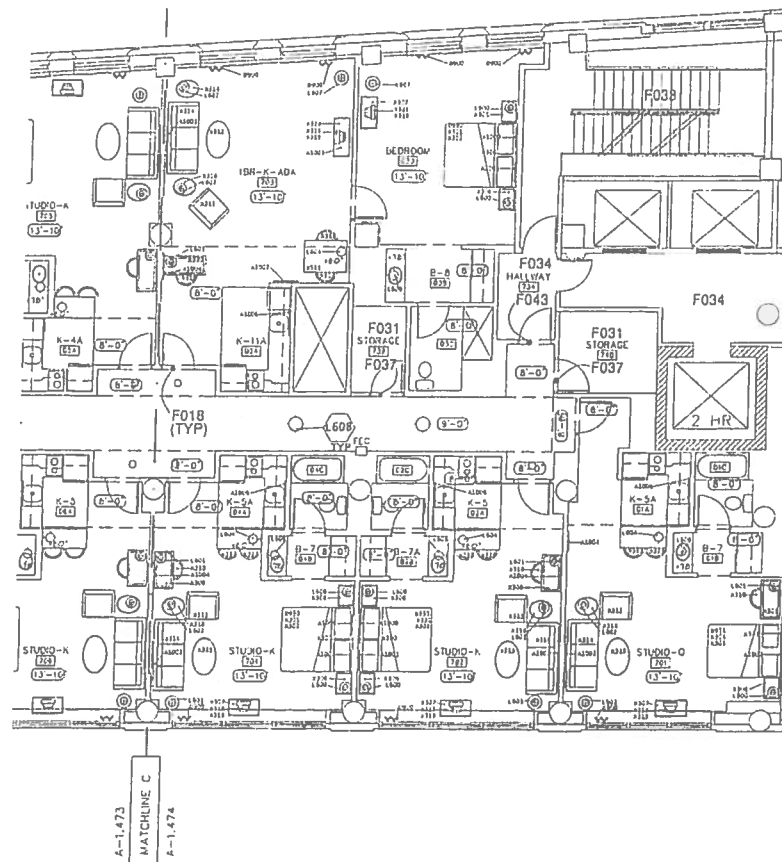
ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

7th Level - Furniture/Decorative Lighting/Finish Plan

SHEET NUMBER

ID 404

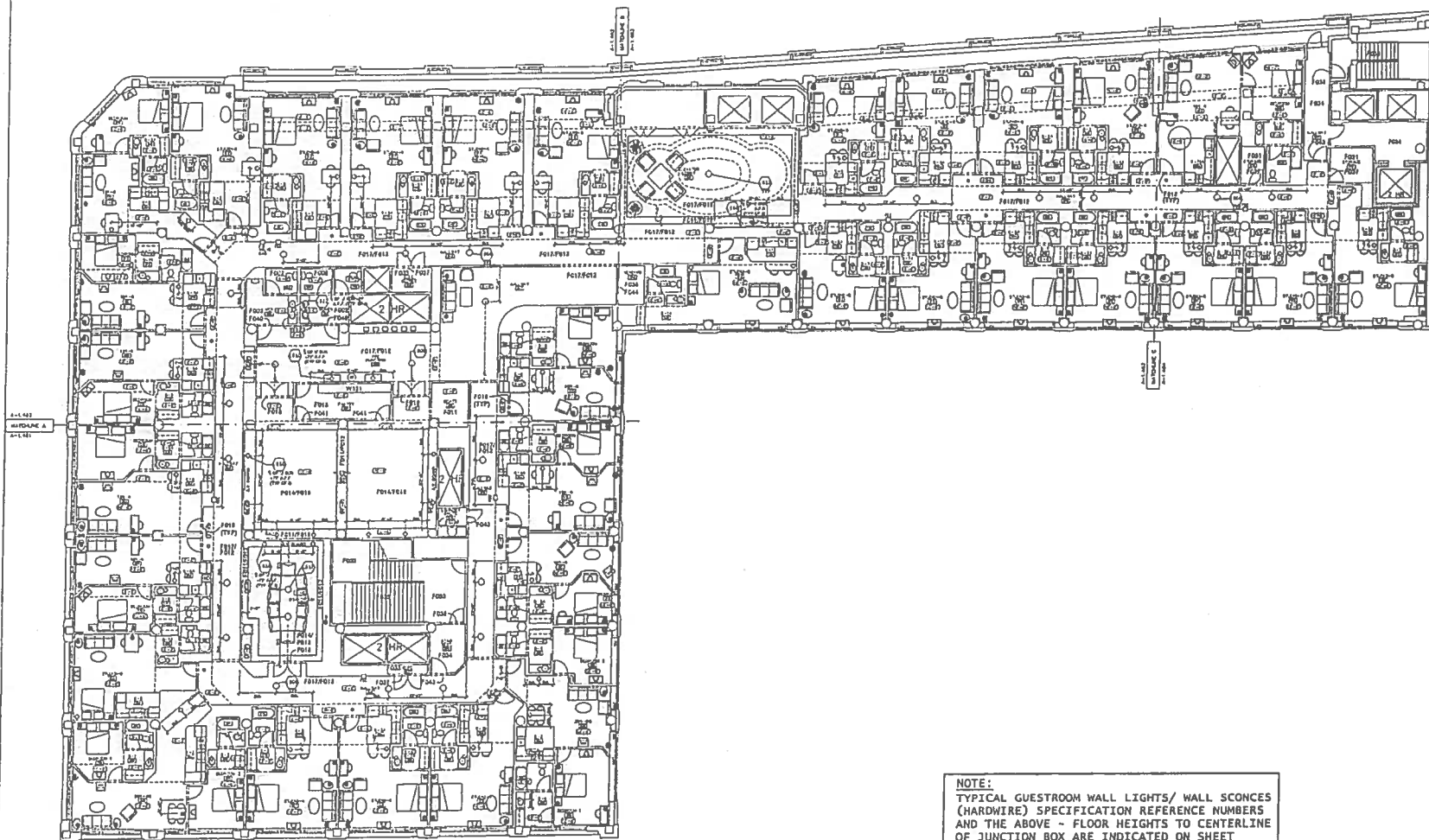


Keith Kramar Agent for CM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
646 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

7TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"





NOTE:
TYPICAL GUESTROOM WALL LIGHTS/ WALL SCONCES
(HARDWARE) SPECIFICATION REFERENCE NUMBERS
AND THE ABOVE - FLOOR HEIGHTS TO CENTERLINE
OF JUNCTION BOX ARE INDICATED ON SHEET
I.D. - 200 (REFER TYPICAL 1/4" ROOM PLANS.)

Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014

8TH LEVEL- FURNITURE/DECORATIVE LIGHTING/FINISH PLAN

SCALE = 1/4" = 1'-0"



HVS · COMPASS

8420 Gargask Drive
Boulder Colorado 80501-3328
Phone 303 530 3885 Fax 303 530 3959

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

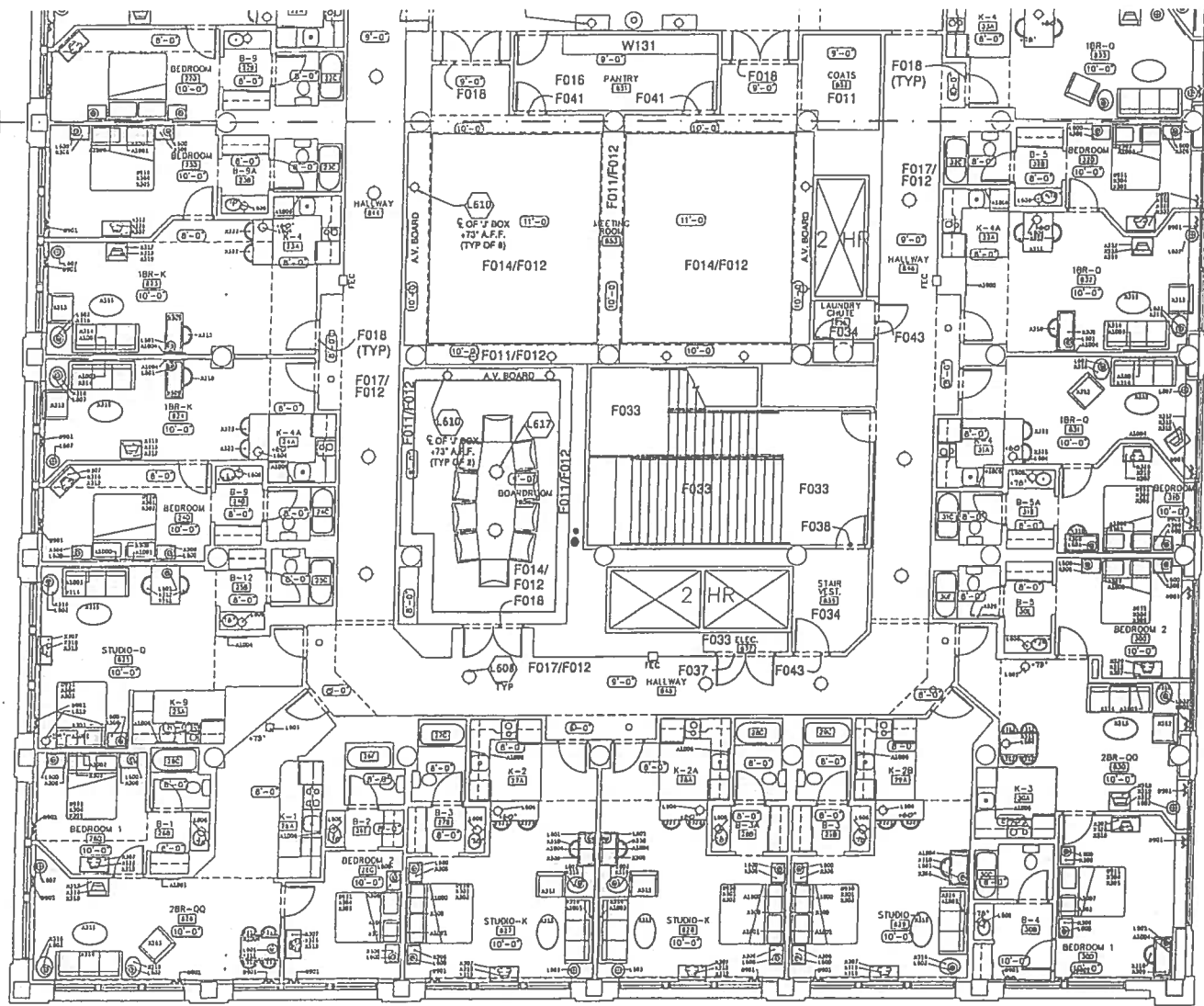
SHEET TITLE

8TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER

ID 500

A-1.482
MATCHLINE A
A-1.481



Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue, Milwaukee, WI
Date: May 30, 2014

8TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"

N

HVS-COMPASS
6420 Gumpark Drive
Boulder, Colorado 80301-3229
Phone 303.530.3885 Fax 303.530.3559

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

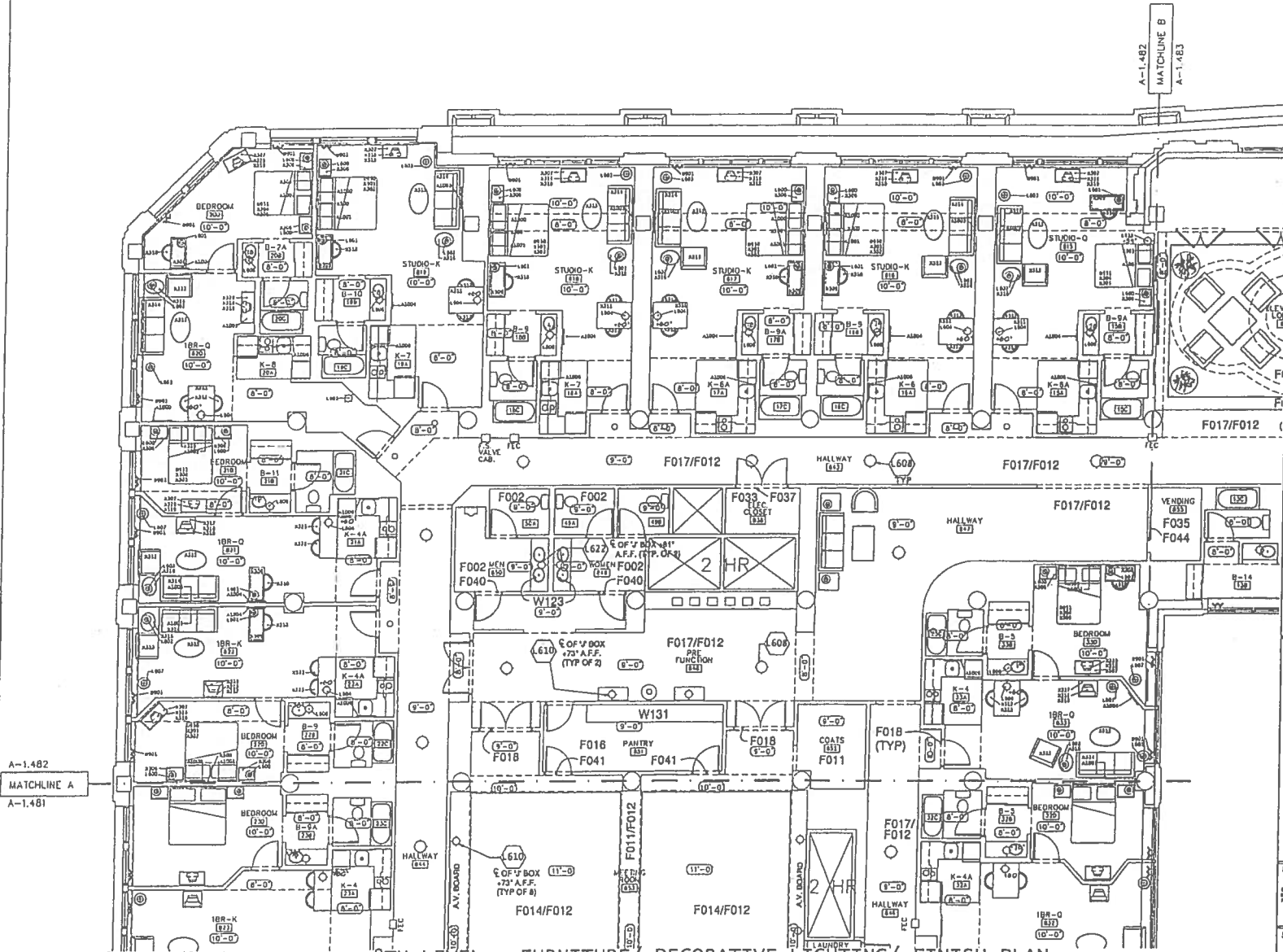
ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

8TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER

ID 501



Keith Kramar Agent for CSM Milwaukee Downtown LLC
 Residence Inn Milwaukee Downtown LLC
 648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

8TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"

NOT TO SCALE

HVS · COMPASS
 6420 Garpark Drive
 Boulder, Colorado 80301-3328
 Phone 303.530.3885 Fax 303.530.3559

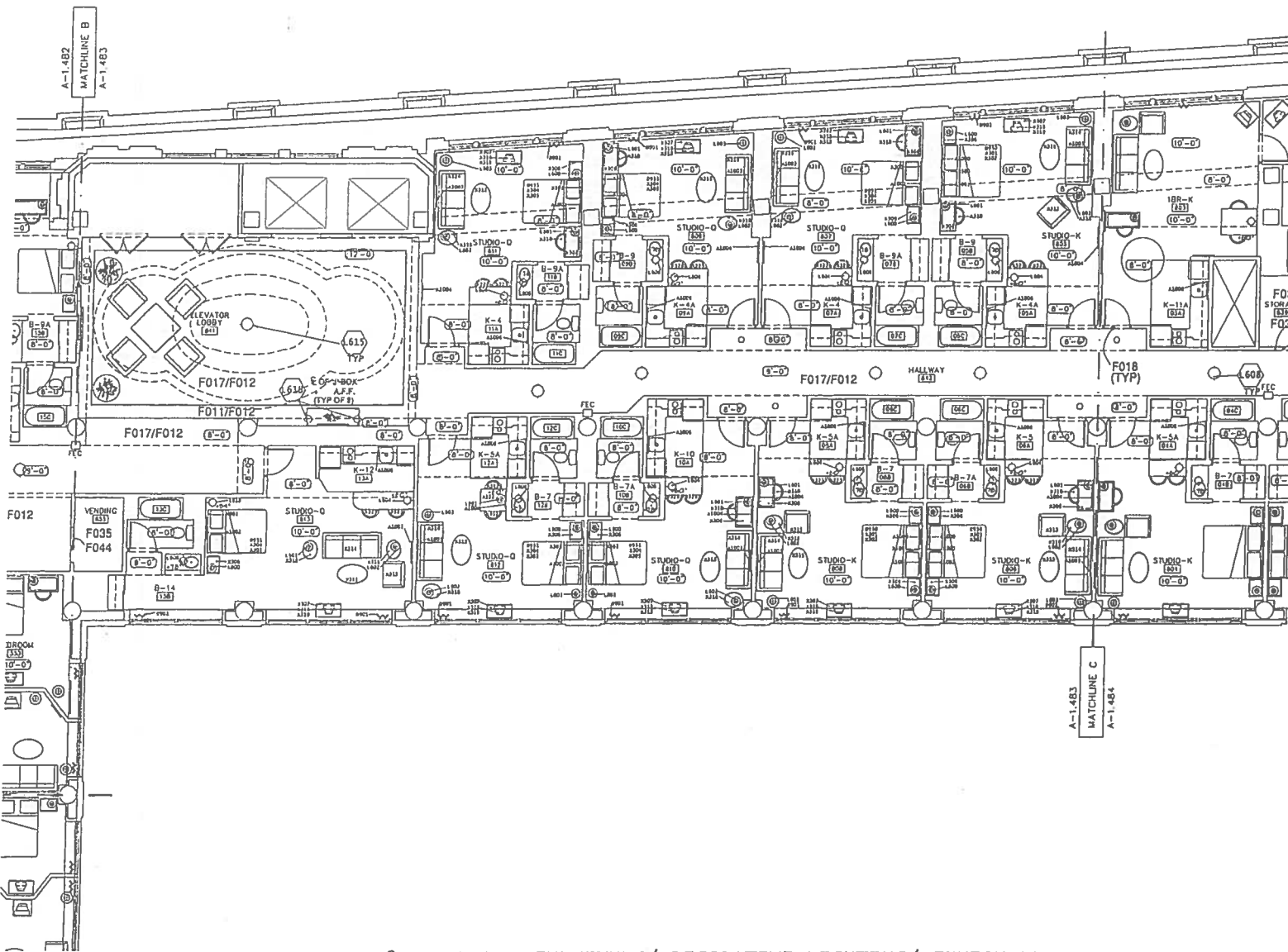
PROJECT
 RESIDENCE INN
 MARSHALL FIELD'S BUILDING
 MILWAUKEE, WISCONSIN

PROJECT NUMBER
 1851

ISSUED DATE:
 Aug. 14, 2000
REVISIONS:
 NO. DATE
 1 8/28/2000

SHEET TITLE
 8TH LEVEL - FURNITURE/
 DECORATIVE LIGHTING/
 FINISH PLAN

SHEET NUMBER
 ID 502



HVS-COMPASS

6420 Curran Drive
Boulder, Colorado 80501-3228
Phone 303.530.3885 Fax 303.530.3959

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE
8TH LEVEL - FURNITURE/
DECORATIVE LIGHTING/
FINISH PLAN

SHEET NUMBER
ID 503

Keith Kramar Agent for CSM Milwaukee Downtown LLC 8TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

Residence Inn Milwaukee Downtown

648 Plankinton Avenue Milwaukee, WI Date: May 30, 2014

SCALE = 1/4" = 1'-0"



HVS - COMPASS

6420 Gunpark Drive
Boulder, Colorado 80501-3223
Phone 303 530 3685 Fax 303 530 3659

PROJECT
RESIDENCE INN
MARSHALL FIELD'S BUILDING
MILWAUKEE, WISCONSIN

PROJECT NUMBER
1851

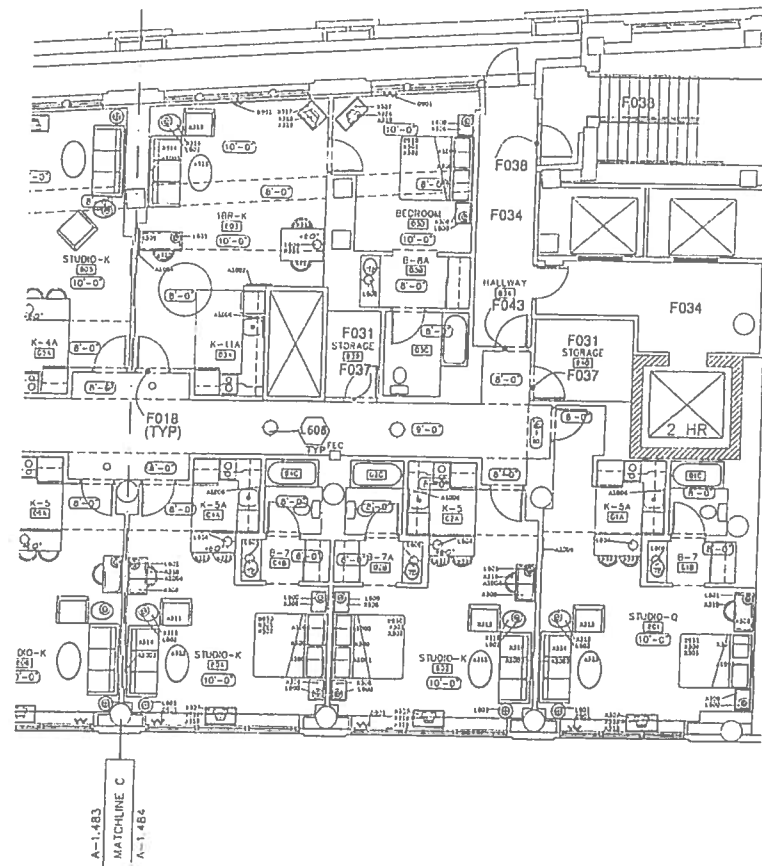
ISSUED DATE:
Aug. 14, 2000
REVISIONS:
NO. DATE
1 8/28/2000

SHEET TITLE

8TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SHEET NUMBER

ID 504



Keith Kramar Agent for CSM Milwaukee Downtown LLC
Residence Inn Milwaukee Downtown
648 Plankinton Avenue Milwaukee, WI
Date: May 30, 2014.

8TH LEVEL - FURNITURE/ DECORATIVE LIGHTING/ FINISH PLAN

SCALE = 1/4" = 1'-0"





FOOD DEALER SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

FR GST-187256

1) PREMISE DESCRIPTION, SITE EVALUATION & PLAN EXAMINATION

Premise Description - list all areas where food will be sold, served, consumed and/or stored: (for example: 1st Floor, 2nd Floor, Sidewalk Café, Patio, Basement Storage) ENTIRE HOTEL

Has this location been licensed as a food business previously? ☒ Yes ☐ No (If no, site evaluation required.)

When did the last license expire? ☐ Currently Operating ☒ 1-4 years ☐ 5 or more years (If 5 or more years, site evaluation required.)

If previously licensed, are you planning on processing food or preparing meals at a location that was previously licensed for prepackaged food only? ☐ Yes ☐ No (If yes, site evaluation required.)

Site evaluation required? ☐ Yes ☒ No ☐ \$212 for processing food ☐ \$110 for non-processing

Do you wish to have a plan examination of plumbing or ventilation equipment performed? ☐ Yes ☒ No

☐ Partial Plan \$83 (i.e. hood installation, work on dining area) ☐ Complete Plan \$274 (i.e. renovation of the kitchen)

2) PREINSPECTION (REQUIRED FOR ALL NEW APPLICANTS)

☒ Change of Operator Only (\$61)

☐ New operation with no new construction or no substantial alterations (\$61) (i.e. hood installation or work on the dining area)

☐ New or Altered Food Operations which involve new construction or substantial alterations (\$241) (i.e. renovation of the kitchen)

3) BUSINESS TYPE – CHOOSE ONE:

RETAIL - Answer all remaining questions except #8 & 9

☐ CONVENIENCE FOOD STORE - Contains less than 5,000 sq ft of retail sales space AND Has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

☐ CONVENIENCE STORE – GAS STATION - A filling station that sells basic food items and in addition sells household products.

☐ DISTRIBUTOR

☐ DISTRIBUTOR – NO FOOD STORAGE

☐ FOOD STORE

☐ GAS STATION

☐ RETAIL FOOD MANUFACTURER

☐ WHOLESALE FOOD MANUFACTURER

☐ Wholesale Food Manufacturer – with Retail Store

☐ Other:

RESTAURANT - Answer all remaining questions except #7 and where otherwise indicated

☐ BED & BREAKFAST * \$75 plus \$8 DFHS Fee
No site evaluation or plan examination required.

☐ MEAL SERVICE EST/COMMUNITY FOOD PROGRAM * \$28
No other fees apply.

• Skip questions #6-12 if B&B or MSE/CFP

☐ BASE FOR MOBILE UNIT
(No menu is required to be submitted)

☒ RESTAURANT

☐ TAVERN

☐ CATERER

☐ OTHER: _____

N/A 4) CHECK/LIST BELOW ALL TYPES OF FOOD YOU WILL BE SERVING/SELLING (RETAIL ONLY)
RESTAURANTS MUST SUBMIT A MENU WITH THIS APPLICATION
(NOT REQUIRED IF A PEDDLER APPLYING FOR BASE LICENSE)

☐ Chips ☐ Candy ☐ Soda ☐ Hot Dogs ☐ Nachos ☐ Hamburgers ☐ Coffee/Cappuccino ☐ Milk ☐ Eggs ☐ Cheese ☐ Cut Meats
☐ Hot Foods ☐ Slushy Machine ☐ Making Ice
☐ Other : _____

5) SCALE

Will you be using a scale? ☐ Yes ☒ No (scale must be licensed by the Health Department, call (414) 286-3674.

6) GROSS FOOD SALES PER YEAR

Are you processing food? ☒ Yes ☐ No (Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.)

<input type="checkbox"/> \$0 – 20,000	<input checked="" type="checkbox"/> \$20,000 – 200,000	<input type="checkbox"/> \$200,001 to 2,000,000	<input type="checkbox"/> \$2,000,001 +
<input type="checkbox"/> Retail- Processing \$329	<input type="checkbox"/> Retail- Processing \$553	<input type="checkbox"/> Retail- Processing \$1238	<input type="checkbox"/> Retail- Processing \$1969
<input type="checkbox"/> Retail - No Processing \$184	<input type="checkbox"/> Retail - No Processing \$272	<input type="checkbox"/> Retail – No Processing \$506	<input type="checkbox"/> Retail - No Processing \$790
<input type="checkbox"/> Restaurant- Processing \$472	<input type="checkbox"/> Restaurant – Processing \$731	<input type="checkbox"/> Restaurant - Processing \$1119	<input type="checkbox"/> Restaurant - Processing \$1672
<input type="checkbox"/> Restaurant- No Processing \$225 (+\$10.50 State Fee for non-processing, skip question 9) (Regardless of Gross Food Sales)			

N/A 7) HAZARDOUS FOODS – RETAIL ONLY (DOES NOT APPLY TO RESTAURANTS OR MANUFACTURERS)

Are you handling potentially hazardous foods? ☐ Yes ☐ No (Potentially hazardous foods are defined as food that is natural or synthetic and that requires temperature control. It includes animal food that is raw or heat-treated and food of plant origin that is heat-treated or consists of raw seed sprouts, cut melons or garlic-in-oil mixtures that are not modified to not support growth of infectious or toxigenic microorganisms. If you sell even one of these items (which includes milk and eggs) check the "yes" box.)

<input type="checkbox"/> Sales less than \$25,000	<input type="checkbox"/> Sales \$25,000-\$1,000,000	<input type="checkbox"/> Sales higher than \$1,000,000
<input type="checkbox"/> Processing any foods \$6	<input type="checkbox"/> Processing hazardous foods \$26.50	<input type="checkbox"/> Processing hazardous foods \$68.50
	<input type="checkbox"/> Processing non-hazardous foods \$19	<input type="checkbox"/> Processing non-hazardous foods \$19

☐ No Processing Hazardous Foods \$4.50 (Regardless of Gross Food Sales)

☐ No Processing Non Hazardous Foods (answers to #6 and #7 are no) no state fee charged (Regardless of Gross Food Sales)

8) RESTAURANT INFORMATION

Do you have additional locations? ☐ Yes ☒ No If yes, how many? _____ Additional \$75 fee & \$8.00 DFHS fee per location
(NOTE: This is NOT additional stores that are part of a chain, but locations at the same address that are physically separated from food preparation areas in which additional food processing occurs, including reheating of food).

Type of Restaurant (check all that apply)

<input type="checkbox"/> Fast Food	<input type="checkbox"/> Take Out/Delivery	<input type="checkbox"/> Casual Dining	<input type="checkbox"/> Formal Dining
<input type="checkbox"/> Other: _____			

9) LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

<input type="checkbox"/> Sweep	<input type="checkbox"/> Pressure Wash	<input type="checkbox"/> Pick Up Litter
<input checked="" type="checkbox"/> Hired Maintenance	<input type="checkbox"/> Building Owner's Responsibility	<input type="checkbox"/> Garbage Cans Outside
<input type="checkbox"/> Other		

Who is responsible to keep the grounds clean?

<input type="checkbox"/> Licensee	<input type="checkbox"/> Building Owner	<input type="checkbox"/> Employees
<input checked="" type="checkbox"/> Hired Maintenance	<input type="checkbox"/> Other	

How often will the grounds be cleaned?

<input checked="" type="checkbox"/> Daily	<input type="checkbox"/> Weekly	<input type="checkbox"/> Other
---	---------------------------------	--------------------------------

How are noise issues addressed (check all that apply):

<input checked="" type="checkbox"/> Security	<input type="checkbox"/> Manager approaches customer(s)	<input type="checkbox"/> Call police
<input type="checkbox"/> Signs posted	<input type="checkbox"/> Other	

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☒ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

10) Restaurant Complexity Factors (Table DHS 196.05 A)

Point(s)

Total

<input type="checkbox"/> Food is not prepared until an order is placed.	0	
<input checked="" type="checkbox"/> Food items are held hot for one meal period or for a maximum of 4 hours, whichever is less.	0	
<input type="checkbox"/> Food Preparation is limited to mixing together prepackaged products that do not need to be cooked further except for aesthetic reasons (such as frozen food concentrate or with milk) or to condiment preparation (such as slicing onions or pickles.)	0	
<input checked="" type="checkbox"/> The restaurant contains a self-service salad or food bar.	1	
<input checked="" type="checkbox"/> The restaurant handles raw poultry, meat or seafood.	1	
<input checked="" type="checkbox"/> The seating capacity of the restaurant or operation is 50 or more.	1	
<input type="checkbox"/> Food is served through a drive through window for food pick-up.	1	
<input type="checkbox"/> The restaurant promotes delivery of ready to eat food products to customers.	1	
<input type="checkbox"/> Potentially hazardous foods are cooled, reheated or hot or cold held for service longer than 4 hrs.	1	
<input type="checkbox"/> Food is prepared in one location and then transported to be served in another location.	1	
<input checked="" type="checkbox"/> The restaurant contains or uses banquet facilities as well as a main dining area.	1	
<input checked="" type="checkbox"/> Food is served that requires preparation activities such as chopping, dicing, slicing, boiling, cooling, blanching or reheating in order for that product to be served.	1	
Total Zero - SIMPLE=\$23 1-4 - MODERATE=\$33 5 or more =COMPLEX \$54		\$ _____

N/A

11) RETAIL ESTABLISHMENTS ONLY: PROCESSING OPERATIONAL CODES (CHECK ALL THAT APPLY)

<input type="checkbox"/>	BK	Bakery	Manufacturing of donuts, cakes, breads, cookies and rolls
<input type="checkbox"/>	BO	Bottling	Bottling water or juice for retail sale
<input type="checkbox"/>	BV	Hot/Cold Beverages	Making coffee or dispensing soda
<input type="checkbox"/>	CK	Cooking	Any cooking activity for retail sale
<input type="checkbox"/>	CT	Catering	Any type of catering activity
<input type="checkbox"/>	CY	Confectionery	Making candy or confectionery items
<input type="checkbox"/>	DL	Delicatessen	Manufacturing of deli items for retail sale
<input type="checkbox"/>	FR	Freezing	Food preservation in relation to date marking
<input type="checkbox"/>	GR	Grinding	Coffee beans, hamburger
<input type="checkbox"/>	IC	Ice Cream/Soft Serve	Soft serve or ice cream dispensing
<input type="checkbox"/>	IM	Ice Making	Manufacturing ice for retail sale
<input type="checkbox"/>	MC	Meat Cutting	Retail meat cutting operation
<input type="checkbox"/>	MD	Meat Distributor	Wholesale distribution of inspected meat products
<input type="checkbox"/>	MX	Mixing	Mixing two or more food ingredients
<input type="checkbox"/>	PC	Popping Corn	Process of popping corn for retail sale
<input type="checkbox"/>	PK	Packaging	Packaging food for further sale
<input type="checkbox"/>	PP	Produce Processing	Washing and cutting of produce
<input type="checkbox"/>	RT	Restaurant	Any restaurant type activity (i.e. hot dog roller, chicken, etc.)
<input type="checkbox"/>	SD	Seafood Department	Fresh seafood for retail sale
<input type="checkbox"/>	SE	Shell Egg Packaging	Packaging shell eggs for retail sale
<input type="checkbox"/>	SM	Smoking/Curing	Smoking sausage or cheese – curing of hams
<input type="checkbox"/>	SV	Salvage	Conducting salvage activities on distressed food – retail only
<input type="checkbox"/>	TR	Traveling	Knock-down stand of mobile type retail operation
<input type="checkbox"/>	VP	Vacuum Packaging	Vacuum packaging food at retail
<input type="checkbox"/>	VV	Variance	Any variance required by the Wisconsin Food Code
<input type="checkbox"/>	WG	Wild Game	Processing wild game (venison, fish, etc.) at retail

12) HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	7 AM	2 AM	10	N/A	N/A
Monday	6 ³⁰ AM	2 AM	↓	↓	↓
Tuesday	6 ³⁰ AM	2 AM			
Wednesday	6 ³⁰ AM	2 AM			
Thursday	6 ³⁰ AM	2 AM			
Friday	6 ³⁰ AM	2 AM			
Saturday	7 AM	2 AM			

13) ISSUANCE OF LICENSE

Are you also going to apply for an alcohol beverage license at this time? ☐ No ☒ Yes

If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

☐ immediately so you can open your food business ☒ at the same time as the alcohol license

SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"

Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1. ✓ I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2. ✓ I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3. ✓ I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4. ✓ I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5. ✓ I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6. ✓ I understand that all of the above must be complete before my permit is eligible to be issued.
7. ✓ I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, Keeth Edward Korman, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant: Keeth Edward Korman Date: 6/11/14

MENU

CALENDAR

EVENING SOCIAL | MAY 2014

WEEK OF 5/5

MONDAY 5:30p-7:30p Italian Night
Meatball Subs

TUESDAY 5:30p-7:30p The BBQ
Pulled Pork Sandwiches

WEDNESDAY 5:30p-7:30p Soup, Salad & Sweets

WEEK OF 5/12

MONDAY 5:30p-7:30p Comfort Food Night
Beefstew

TUESDAY 5:30p-7:30p Nachos Night

WEDNESDAY 5:30p-7:30p The BBQ
Cheeseburgers

WEEK OF 5/19

MONDAY 5:30p-7:30p Soup, Salad & Sweets

TUESDAY 5:30p-7:30p The BBQ
Hot Dogs

WEDNESDAY 5:30p-7:30p Southwestern Salad Bar

WEEK OF 5/26

MONDAY 5:30p-7:30p Comfort Food Night
Mexican Fiesta

TUESDAY 5:30p-7:30p Soup, Salad & Sweets

WEDNESDAY 5:30p-7:30p The BBQ
Beer Brats



BREAKFAST

Located in the Lobby

Monday-Friday 6:30-9:00 AM
Saturday-Sunday 7:00-10:00 AM

THE MARKET

Located in the lobby.
Available 24 hours.



GROCERIES

Please drop your shopping list
at the Front Desk by 9:00 AM.
Your groceries will be delivered to
your room later that same day and
posted to your account. A \$25
minimum is required.



FITNESS CENTER

Your room key will allow you
access to the fitness center.
Open 24 hours.



LOCAL ATTRACTIONS/EVENTS*

*Please see Front Desk for details and directions to venues.



BUSINESS SERVICES

Computer/printer services are
available in the lobby.

Meeting rooms can be
scheduled by contacting the
Front Desk.

The message light on your suite
phone will be on when you
receive mail, packages or faxes.
Item(s) will be held at the
Front Desk.



INTERNET

FREE high-speed Internet access
is available in your suite with
connection information.

FREE Wi-Fi available in the lobby.



LAUNDRY / DRY CLEANING

Coin operated laundry machines
are available 24 hours and are
located on the 6th floor.

Same-day valet and dry cleaning
services are available Monday-
Friday. Drop clothing off at the
Front Desk by 8:30 AM.



EMERGENCY / MEDICAL

The Residence Inn by Marriott is fully
equipped with modern fire prevention
devices. For additional safety, please familiarize
yourself with the fire alarm locations, exit routes
and the fire safety guides. This information is
posted on the back of each suite door.

For medical emergencies, secure an outside
telephone line and then dial 911. To reach a
service team member immediately, dial 0.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

WISE, John M, Agent
BRG 1000 N Water St LLC
520 W McKinley Av

Milwaukee, WI 53212

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications as agent for "BRG 1000 N Water St LLC" for "Room @ The Rumpus Room" at 1020 N Water St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

WISE, John M, Agent
BRG 1000 N Water St LLC
7321 Iroquois Rd

Fox Point, WI 53217

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Food Dealer - Restaurant License Applications as agent for "BRG 1000 N Water St LLC" for "Room @ The Rumpus Room" at 1020 N Water St.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:07/01/14
Officer: J. Alba 006448

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Rumpus Room
Address: 1020 N. Water St.
Phone: 414- 292-0100

Owner: Bartolotta Resaurants
Owner address:
City State Zip:
Owner Phone:
Owner email:

Licensee/Agent: John M. Wise W/M 03/17/59
Home Address: 7329 N. Iroquois Rd.
City State Zip: Fox Point, WI. 53217
Phone: 414-788-1409
Email:

Preferred contact: agent

Location currently open: ☐ YES ☒ NO

Projected open date: 07/09/14

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: 11am-12am ☐24 hours ☐Y ☐N
Mon: 11am-12am
Tue: 11am-12am
Wed: 11am-12am
Thu: 11am-12am
Fri: 11am-12am
Sat: 11am-12am

Premise Type: ☒Tavern/Bar
☒Restaurant
☐Other:

Licenses currently held:

Alcohol: ☒ Yes ☐ No Class: #:
Tobacco: ☐ Yes ☐ No #:
Food: ☒ Yes ☐ No #:
Other: ☐ Yes ☐ No Type: #:
Other: ☐ Yes ☐ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☒ Yes ☐ No
2. What surrounds the location? (Check all the apply)
 - a. ☒ Park
 - b. ☒ School
 - c. ☐ Youth Center
 - d. ☒ Church
 - e. ☒ Tavern(s) If so, how many
 - f. ☒ Residential
 - g. ☒ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☐ Yes ☒ No
4. Can you see the employees inside of the location from the outside ☐ Yes ☒ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☐ Yes ☒ No
8. Is the parking lot clean? ☐ Yes ☐ No
9. Is the parking lot well lit? ☐ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☒ No
 - b. Will this lot have cameras? ☐ Yes ☒ No
11. Are there areas where a person could conceal themselves ☒ Yes ☐ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appears to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☒ Yes ☐ No How Many: 4
16. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

17. Does this location have security cameras? ☒ Yes ☐ No
18. Are they in working order? ☐ Yes ☐ No
19. What format are the cameras?
 - a. Color ☐ Yes ☐ No
 - b. Digital ☐ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☐ Yes ☐ No
20. How long is footage stored for later viewing:
21. Are there exterior cameras ☒ Yes ☐ No How many: 4 in common hallway
22. Are there interior cameras ☐ Yes ☒ No How many:

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
24. Cameras located in parking lot ☐ Yes ☒ No How many

Interior Survey:

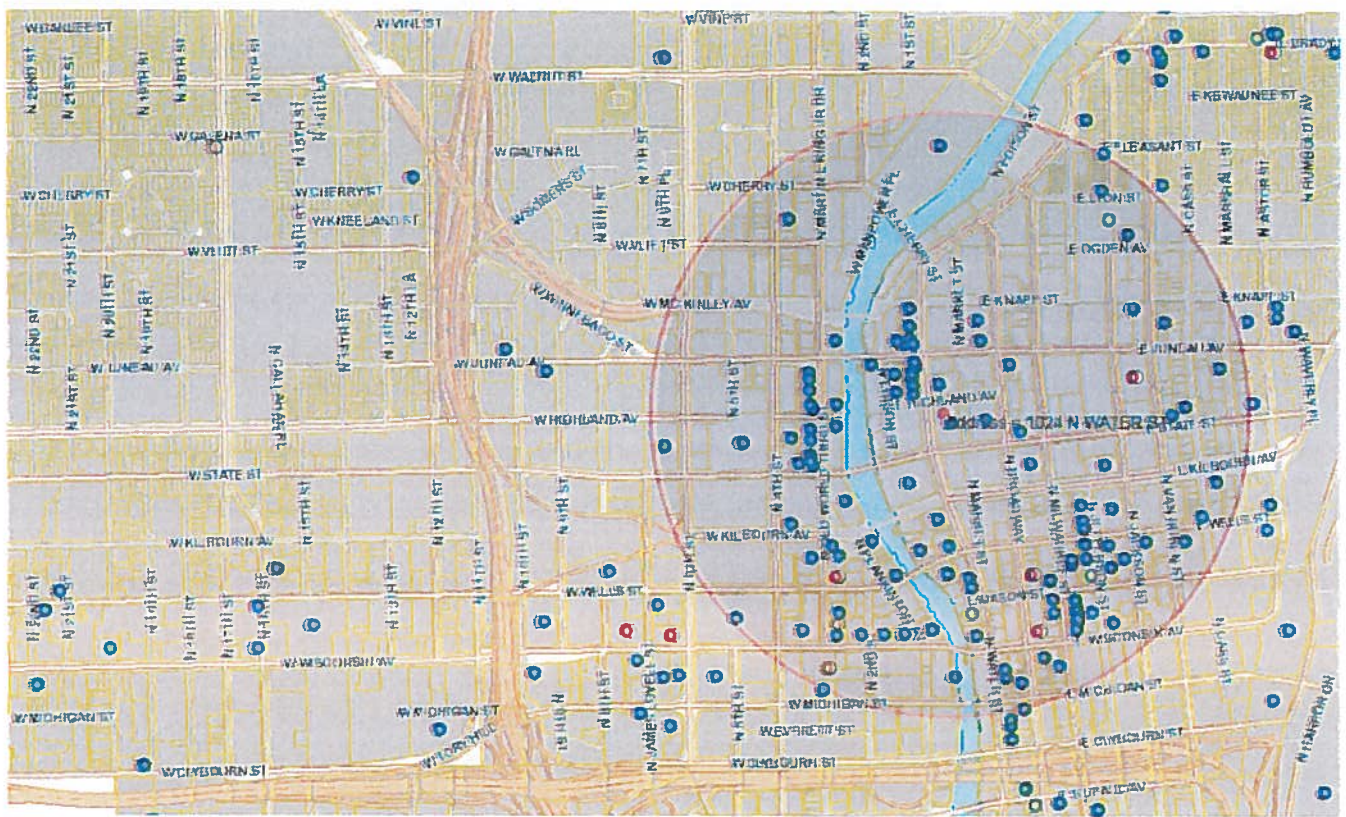
25. What is the planned/posted capacity 65
26. What is the minimum number of employees that will be on premise 2
27. Is the storeowner willing to be a standing complainant regarding loitering? ☒ Yes ☐ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☐ No
28. Is the interior of the location neat and clean? ☒ Yes ☐ No
29. Does an interior camera face the entrance/exit? ☐ Yes ☒ No
30. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: 0
33. How will they be deployed: Interior Exterior
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wandering/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☒ Other ID at service
38. When at capacity, how will the overflow crowd be managed?
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

- This application is to extend the alcohol license to rental hall room across common hallway and vestibule of professional building at 1000 N. Water St.
- Applicant is current agent for Rumpus Room.



License Summary:						Total			
Class A Fermented Malt Beverage Retailer's License						2			
Class A Malt & Class A Liquor License						5			
Class A Retailer's Intoxicating Liquor License						1			
Class B Fermented Malt Beverage Retailer's License						3			
Class C Wine Retailer's License						4			
Class B Tavern License						128			
Expiration date	Legal entity	Trade name	Licensee	Address			License type name	Total capacity	Room capacity
7/1/2015	BREW CITY BEER GEAR, INC	BREW CITY BEER GEAR	FRANK R KEPPLER, Agt	275	W	WISCONSIN	AV	Class A Fermented Malt Beverage Retailer's License	
6/14/2015	GRAND CONVENIENT, LLC	GRAND CONVENIENT STORE	AHMED K YAFAI, Agt	724	N	OLD WORLD THIRD	ST	Class A Fermented Malt Beverage Retailer's License	
10/23/2014	MEGA MARTS, LLC	PICK 'N SAVE #6868	NEIL F WALLACE, Agt	605	E	LYON	ST	Class A Malt & Class A Liquor License	
6/19/2015	MEGA MARTS, LLC	METRO MARKET #6371	John R Mankowski, Agt	1123	N	VAN BUREN	ST	Class A Malt & Class A Liquor License	
5/20/2015	Olive Tree LLC	Convenience +	Jamal T Shawar, Agt	308	E	Wisconsin	AV	Class A Malt & Class A Liquor License	

11/29/2014	Tourist Convenience LLC	Racks Full of Snacks	AHMED K YAFAI, Agt	240	W	Wells	ST	Class A Malt & Class A Liquor License		
7/27/2014	WALGREEN CO	WALGREENS #1200	MARK W LEEDER, Agt	275	W	WISCONSIN	AV	Class A Malt & Class A Liquor License		
6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M' Bartz, Agt	758	N	BROADWAY	Null	Class A Retailer's Intoxicating Liquor License		
3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER	ST	Class B Fermented Malt Beverage Retailer's License		
1/21/2015	Milwaukee Area Technical College	MATC Cuisine Restaurant	RICHARD A BUSALACCHI, Agt	1015	N	6th	ST	Class B Fermented Malt Beverage Retailer's License		
12/19/2014	The Noodle Shop, Co. - Colorado, Inc.	Noodles & Company	KATIE M ENSALDO, Agt	544	E	OGDEN	AV	Class B Fermented Malt Beverage Retailer's License		
5/19/2015	1209 WATER ST, INC	BROTHERS BAR & GRILL	MARC R FORTNEY, Agt	1209	N	WATER	ST	Class B Tavern License	368	
7/25/2014	5 Pirates LLC	John Hawk's Pub	BRIAN J WARD, Agt	100	E	WISCONSIN	AV	Class B Tavern License	266	
11/30/2014	AIMBRIDGE CONCESSIONS, INC	ALOFT MILWAUKEE DOWNTOWN	RYAN R MIYAMOTO, Agt	1230	N	OLD WORLD THIRD	ST	Class B Tavern License	160	Remix area cap 50, WXYZ area cap 46
2/7/2015	AJ Bombers MKE, LLC	AJ Bombers	JOSEPH J SORGE, JR, Agt	1245	N	WATER	ST	Class B Tavern License	160	

12/10/2014	ALEM ETHIOPIAN RESTAURANT, LLC	ALEM ETHIOPIAN VILLAGE	MULU H HABTESILASSI E, Agt	307 E	WISCONSIN	AV	Class B Tavern License	98	
4/8/2015	APARTMENT 720, LLC	APARTMENT 720	Tony T Skoufis, Agt	720 N	MILWAUKEE	ST	Class B Tavern License	150	
7/26/2014	Apple Hospitality Group, LLC	Applebee's Neighborhood Grill & Bar	JAMES J SANCHEZ, Agt	275 W	Wisconsin	AV	Class B Tavern License		
6/23/2015	ARBED, LLC	MO'S IRISH PUB	JAMES A VASSALLO, Agt	142 W	Wisconsin	AV	Class B Tavern License	480	231 on first floor 249 on second floor
6/30/2015	Art's Performing Center	Art's Performing Center	LYLE C MESSINGER, SP	144 E	Juneau	AV	Class B Tavern License	80	
7/25/2014	BANQUET SERVICES, LLC	VILLA FILOMENA	BETINA A SANFILIPPO, Agt	1119 N	MARSHALL	ST	Class B Tavern License	299	
10/12/2014	BAR NONE MILWAUKEE, LLC	BAR NONE	DEREK S GRAMS, Agt	1139 N	WATER	ST	Class B Tavern License	60	
9/24/2014	BC At Turner Hall, LLC	Turner Hall Restaurant	Brian J Dworak, Agt	1038 N	4th	ST	Class B Tavern License	480	
5/4/2015	BKRG ENTERPRISES OF MILWAUKEE, LLC	MOLLY COOL'S SEAFOOD TAVERN	Kellie A. Frey, Agt	1110 N	OLD WORLD THIRD	ST	Class B Tavern License	741	
7/26/2014	BL RESTAURANT OPERATIONS, LLC	BAR LOUIE	Amanda K Utter, Agt	1114 N	WATER	ST	Class B Tavern License	300	
3/20/2015	Blazin Wings, Inc	Buffalo Wild Wings #407	Daniel G Cullen, Agt	1123 N	WATER	ST	Class B Tavern License	253	
7/25/2014	Boardroom Entertainment Mke, LLC	Rusty's Old 50 Grill & Spirits	ROBERT F SMITH, Agt	730 N	Old World Third	ST	Class B Tavern License	216	
7/22/2015	Bollywood Grill, LLC	Bollywood Grill	MANJIT SINGH, Agt	1028 N	Jackson	ST	Class B Tavern License		
11/29/2014	BOOBY JDK, LLC	McGillycuddy's Bar & Grill	ANDREW C DEUSTER, Agt	1133 N	Water	ST	Class B Tavern License	300	

10/11/2014	BOTTOMS-UP BARTENDING SERVICE LLC	RED LINE MILWAUKEE	RICHARD L CULLEN, II, Agt	1422	N	4TH	ST	Class B Tavern License	49	
10/17/2014	BREW CITY BAR B Q, INC	TRINITY THREE IRISH PUBS	ROBERT C SCHMIDT, JR, Agt	125	E	JUNEAU	AV	Class B Tavern License	833	
9/19/2014	BRG 1000 Water Street, LLC	Rumpus Room - A Bartolotta Gastropub	JOHN M WISE, Agt	1030	N	Water	ST	Class B Tavern License	254	
6/15/2015	BRICK 3 PIZZA, LLC	BRICK 3 PIZZA	RICHARD J BARRETT, Agt	1107	N	OLD WORLD THIRD	ST	Class B Tavern License	57	
6/28/2015	BUCA RESTAURANTS, INC	BUCA DI BEPPO	Mary K Serrano, Agt	1233	N	VAN BUREN	ST	Class B Tavern License	425	
7/30/2014	BUCKELY'S KISKEAM INN, LLC	Buckley's	MICHAEL V BUCKLEY, Agt	801	N	CASS	ST	Class B Tavern License	65	
11/2/2014	BW HOLDINGS, LLC	WARD'S HOUSE OF PRIME	BRIAN J WARD, Agt	540	E	MASON	ST	Class B Tavern License	260	
10/17/2014	CALDERONE CLUB	CALDERONE CLUB	GIORGIO G FAZZARI, SP	842	N	OLD WORLD THIRD	ST	Class B Tavern License	100	
6/19/2015	CAPITAL GRILLE HOLDINGS, INC	THE CAPITAL GRILLE OF MILW #8027	Lindsey R FitzMaurice, Agt	310	W	WISCONSIN	AV	Class B Tavern License	200	
12/12/2014	CARNIVORAS, INC	CARNEVOR	OMAR L SHAIKH, Agt	724	N	MILWAUKEE	ST	Class B Tavern License	160	
5/20/2015	Carson's Ribs of Milwaukee, LLC	Carson's	RICHARD J BARRETT, Agt	301	W	Juneau	AV	Class B Tavern License	150	
5/23/2015	Cheese Mart, Inc	Wisconsin Cheese Mart	KENNETH J MC NULTY, Agt	215	W	Highland	AV	Class B Tavern License	133	
1/16/2015	CHINA GOURMET, INC	CHINA GOURMET RESTAURANT	ROBERT C TSAO, Agt	117	E	WELLS	ST	Class B Tavern License	165	
3/20/2015	CHIPOTLE MEXICAN GRILL OF CO, LLC	CHIPOTLE MEXICAN GRILL #313	Brian J Bushaw, Agt	600	E	OGDEN	AV	Class B Tavern License	99	
10/11/2014	CUS MILWAUKEE, LLC	COYOTE UGLY SALOON	BRIAN C RANDALL, Agt	1131	N	WATER	ST	Class B Tavern License	304	

7/1/2015	D & S Food Services, Inc	Schlitz Park Cafe	Judith A Schieffer, Agt	1555	N	RIVERCENTER	DR	Class B Tavern License		
7/27/2014	DICK'S PIZZA, LLC	DICK'S	ADAM D KIRCHNER, Agt	730	N	MILWAUKEE	ST	Class B Tavern License	330	
9/3/2014	DINO Z, LLC	DINO'S TAVERNA	DEAN ZARKOS, Agt	777	N	JEFFERSON	ST	Class B Tavern License	99	
10/12/2014	DISTIL MILWAUKEE, LLC	DISTIL	OMAR L SHAIKH, Agt	722	N	MILWAUKEE	ST	Class B Tavern License	213	
6/18/2015	DJ ENTERPRISES I, INC	GRACE CENTER	JOAN M GROH, Agt	250	E	JUNEAU	AV	Class B Tavern License	330	
7/14/2015	DOS BONITAS, LLC	CUBANITAS	MARTA C BIANCHINI, Agt	728	N	MILWAUKEE	ST	Class B Tavern License	50	
11/1/2014	E & L Group, LLC	Espana Tapas House	Said J Elbiadi, Agt	800	N	Plankinton	AV	Class B Tavern License	160	
5/12/2015	EAST TOWN ASSOCIATION, INC	EAST TOWN ASSOCIATION	Kim L Morris, Agt	520	E	WELLS	ST	Class B Tavern License		
3/1/2015	ECCO FOODS, LLC	PORT OF CALL	DANIEL M JORGENSEN, Agt	106	W	WELLS	ST	Class B Tavern License	170	
6/30/2015	ELSA'S ON THE PARK, LTD	ELSA'S ON THE PARK	KARL R KOPP, Agt	833	N	JEFFERSON	ST	Class B Tavern License	100	
6/11/2015	First MKD, LLC	Hilton Garden Inn	Lisa M Farrell, Agt	611	N	BROADWAY	Null	Class B Tavern License		
7/24/2015	FLANNERY'S PUB, INC	FLANNERY'S BAR & RESTAURANT	STEVEN W SMITH, Agt	425	E	WELLS	ST	Class B Tavern License	270	
3/20/2015	FortyTwo Ventures, LLC	FortyTwo Lounge	Lynn M Nilles, Agt	326	E	Mason	ST	Class B Tavern License	125	
6/10/2015	HB Milwaukee Inc	Old German Beer Hall	HANS WEISSGERBER, III, Agt	1009	N	Old World Third	ST	Class B Tavern License		
4/19/2015	HOTEL METRO, LLC	HOTEL/CAFE METRO	JAMES D HUMMERT, Agt	411	E	MASON	ST	Class B Tavern License	240	

7/30/2014	INDULGE WINE ROOMS, LLC	INDULGE	MARC R BIANCHINI, Agt	708 N	MILWAUKEE	ST	Class B Tavern License	60	
5/20/2015	Interstate Management Company, LLC	Residence Inn Milwaukee Downtown	Amanda R Mommaerts, Agt	101 W	WISCONSIN	AV	Class B Tavern License		
11/24/2014	JCTH, INC	CAFE AT THE PLAZA	BENJAMIN T CRICHTON, Agt	1007 N	CASS	ST	Class B Tavern License		
12/16/2014	JLC H LLC	Fajita Grill	Jose A Lainez- Cabrera, Agt	530 E	Mason	ST	Class B Tavern License		
6/30/2015	KARL RATZSCH, INC	KARL RATZSCH'S RESTAURANT	THOMAS C ANDERA, Agt	320 E	MASON	ST	Class B Tavern License	150	
10/10/2014	Karma-Milwaukee, LLC	Karma Bar & Grill	ARI B DOMNITZ, Agt	600 E	OGDEN	AV	Class B Tavern License	99	
11/25/2014	KEN ELLIOT'S, INC	SCOOTERS PUB / DUKES ON WATER	Elizabeth B Brahe, Agt	150 E	JUNEAU	AV	Class B Tavern License	400	
9/23/2014	KENADEE'S ULTRA PUB, LLC	KENADEE'S	Scott A Blair, Agt	725 N	MILWAUKEE	ST	Class B Tavern License	257	
10/28/2014	KIKU LLC	KIKU	MAN F ZHANG, Agt	200 W	WISCONSIN	AV	Class B Tavern License	129	
12/20/2014	LADY BUG CLUB, LLC	LADYBUG CLUB/618 LIVE ON WATER	HABIB MANJEE, Agt	622 N	WATER	ST	Class B Tavern License	480	
10/11/2014	LANDFALL II, LLC	POINTS EAST PUB	LORI A HASSETT, Agt	1501 N	JACKSON	ST	Class B Tavern License	160	
6/23/2015	LEVY PREMIUM FOOD SERVICE, LP	LEVY RESTAURANTS at WISCONSIN CENTER DISTRICT	Richard W Henkel, Agt	400 W	WISCONSIN	AV	Class B Tavern License		
6/13/2015	Levy Restaurants at the Bradley Center	Levy Restaurants at the Bradley Center	ADAM D EASTERBROOK , Agt	1001 N	4TH	ST	Class B Tavern License		

5/18/2015	LOUISE'S, INC	LOUISE'S	ROBERT C SCHMIDT, JR, Agt	801	N	JEFFERSON	ST	Class B Tavern License	140	
11/1/2014	Lucille's Dueling Piano Bar, LLC	Lucille's Dueling Piano Bar & Grill	Mark A Rebholz, Agt	1110	N	OLD WORLD THIRD	ST	Class B Tavern License	320	
9/22/2014	LUKE'S OF MILWAUKEE, LTD	RED ROCK SALOON MILWAUKEE	JEFFREY A KOVACOVICH, JR, Agt	1225	N	WATER	ST	Class B Tavern License	390	
11/22/2014	Mader's German Restaurant, Inc	Mader's German Restaurant	DANIEL J HAZARD, Agt	1037	N	Old World Third	ST	Class B Tavern License	370	120 - upper 272 - lower
6/30/2015	MAJOR GOOLSBY'S, INC	MAJOR GOOLSBY'S	PATRICK J MURPHY, Agt	340	W	KILBOURN	AV	Class B Tavern License	400	
6/29/2015	MARCUS HOTELS HOSPITALITY, LLC	Pfister Hotel & Tower	Stephen M Magnuson, Agt	424	E	WISCONSIN	AV	Class B Tavern License	419	
7/5/2014	MARCUS HOTELS HOSPITALITY, LLC	INTERCONTINENTAL MILWAUKEE	Stephen M Magnuson, Agt	139	E	KILBOURN	AV	Class B Tavern License		
7/5/2015	MARCUS HOTELS HOSPITALITY, LLC	INTERCONTINENTAL MILWAUKEE	Stephen M Magnuson, Agt	139	E	KILBOURN	AV	Class B Tavern License		
2/5/2015	MEGA MARTS, LLC	METRO MARKET #6371	John R Mankowski, Agt	1123	N	VAN BUREN	ST	Class B Tavern License	65	
6/2/2015	MHF Milwaukee Operating III LLC	Fairfield Inn & Suites by Marriot	Chad M Ahrens, Agt	710	N	Old World Third	ST	Class B Tavern License		
6/30/2015	MI-KEY'S (MILWAUKEE) LLC	MI-KEY'S	OMAR L SHAIKH, Agt	811	N	JEFFERSON	ST	Class B Tavern License	175	
6/23/2015	MILWAUKEE 0020, LLC	SUITE	JACOB E DEHNE, Agt	1101	N	OLD WORLD THIRD	ST	Class B Tavern License	288	
4/16/2015	MILWAUKEE AREA TECHNICAL COLLEGE	MILWAUKEE AREA TECHNICAL COLLEGE	RICHARD A BUSALACCHI, Agt	1015	N	6th	ST	Class B Tavern License		

6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M Bartz, Agt	758	N	BROADWAY	Null	Class B Tavern License	162	Elephant Room third floor (87) & the Chart Room first floor (75)
9/15/2014	MILWAUKEE BRAT HOUSE, LLC	MILWAUKEE BRAT HOUSE	SCOTT A SCHAEFER, Agt	1013	N	OLD WORLD THIRD	ST	Class B Tavern License	115	
7/15/2015	MILWAUKEE REPERTORY THEATER, INC	MILWAUKEE REPERTORY THEATER	LESLIE M FILLINGHAM, Agt	108	E	WELLS	ST	Class B Tavern License		25 - Tavern
5/19/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	1245	N	BROADWAY	Null	Class B Tavern License	2759	Foyer - 600, Lounge/Meeting Room - 400, Upper Foyer - 160, Field House - 1533, Hall of Fame Room - 66
3/7/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	1120	N	BROADWAY	Null	Class B Tavern License	208	
10/22/2014	Milwaukee School of Engineering	Milwaukee School of Engineering	John Hornburg, Agt	1000	N	BROADWAY	Null	Class B Tavern License	480	
3/7/2015	Milwaukee School of Engineering	Milwaukee School of Engineering	John Hornburg, Agt	1025	N	BROADWAY	Null	Class B Tavern License		
3/22/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	500	E	KILBOURN	AV	Class B Tavern License	208	
2/27/2015	MILWAUKEE WATERFRONT DELI, INC	MILWAUKEE WATERFRONT DELI	JEREMIAH D PANDL, Agt	761	N	WATER	ST	Class B Tavern License		
6/30/2015	MY OFFICE, INC	MY OFFICE	BRIAN J PETERSON, Agt	759	N	MILWAUKEE	ST	Class B Tavern License		
5/14/2015	NOBLE BEVERAGE MANAGEMENT, LLC	HYATT REGENCY MILWAUKEE	JOHN C DIETZ, Agt	333	W	KILBOURN	AV	Class B Tavern License	930	
9/19/2014	North Water 500, LLC	Joey Buona's Pizzeria Grille	JEFFERY E WHITEMAN, Agt	176	W	Wisconsin	AV	Class B Tavern License		

9/21/2014	OLD WORLD, LLC	BUCKHEAD SALOON	JACOB E DEHNE, Agt	1044	N	OLD WORLD THIRD	ST	Class B Tavern License	750	
11/7/2014	OUZO CAFE LIMITED PARTNERSHIP	OUZO CAFE	NICKEY G PAPPAS, Agt	776	N	MILWAUKEE	ST	Class B Tavern License	40	
11/8/2014	PABST THEATER CONCESSIONS, LLC	TURNER HALL BALLROOM	BRYAN A CONTI, Agt	1040	N	4TH	ST	Class B Tavern License	987	Main floor - 607, Balcony - 380
5/19/2015	PABST THEATER CONCESSIONS, LLC	THE PABST THEATER	BRYAN A CONTI, Agt	144	E	WELLS	ST	Class B Tavern License		
11/4/2014	Peking House Jefferson, LLC	Peking House	Jessica A Liang, Agt	770	N	JEFFERSON	ST	Class B Tavern License	150	
2/4/2015	Pourman's LLC	Pourman's	BENJAMIN A HEBL, Agt	1127	N	Water	ST	Class B Tavern License		
12/19/2014	Premier Milwaukee, LLC	Ugly's Pub	FLOYD D BOWIE, Agt	1125	N	Old World Third	ST	Class B Tavern License		
11/26/2014	R Grill Milwaukee, LLC	Rodizio Grill - Brazilian Steakhouse	Jay P Supple, Agt	771	N	WATER	ST	Class B Tavern License	299	
7/25/2015	REAL CHILI OF MILWAUKEE, INC	REAL CHILI	STEPHEN J KASTELIC, Agt	419	E	WELLS	ST	Class B Tavern License	80	
6/2/2015	RIVER HOUSE RESTAURANT, INC	RUDY'S MEXICAN RESTAURANT	ROBERT C SCHMIDT, JR, Agt	1122	N	EDISON	ST	Class B Tavern License	150	
11/29/2014	Rogues Gallery, LLC	Rogues Gallery	Nathan S Showers, Agt	134	E	Juneau	AV	Class B Tavern License	290	1st Floor - 140, 2nd Floor - 50, Beer Garden - 50 (Beer Garden - 100 with 2 Portable Restrooms)

5/12/2015	SAKE, INC	SAKETUMI JAPANESE RESTAURANT	SUNSOOK LEE, Agt	714	N	MILWAUKEE	ST	Class B Tavern License	275	
8/31/2014	SAZAMA'S FINE CATERING, INC	SAZAMA'S FINE CATERING	TIMOTHY G HILBERT, Agt	929	N	WATER	ST	Class B Tavern License		
9/3/2014	Sirk Steak LLC	Mo's A Place for Steaks	JAMES A VASSALLO, Agt	720	N	Plankinton	AV	Class B Tavern License		
5/23/2015	TDF Investments, LLC	Catch 22 Bar	Todd D Fogel, Agt	770	N	Milwaukee	ST	Class B Tavern License	150	
5/8/2015	TECK STIR, LLC	STIR	JEROME P WALSH, Agt	112	W	WISCONSIN	AV	Class B Tavern License	80	
2/7/2015	The Belmont Tavern, Inc	The Belmont Tavern	MICHAEL J VITUCCI, Agt	784	N	Jefferson	ST	Class B Tavern License	160	
9/3/2014	The Chalk House MKE LLC	The Loaded Slate MKE	Joseph M Kuntz, Agt	1137	N	Old World Third	ST	Class B Tavern License	99	
9/15/2014	THE HARP IRISH PUB, INC	THE HARP	ROBERT C SCHMIDT, JR, Agt	113	E	JUNEAU	AV	Class B Tavern License	134	99 inside patio
12/21/2014	THE KING AND I RESTAURANT, INC	THE KING AND I RESTAURANT	DEREK E PHOUNGPOL, Agt	830	N	OLD WORLD THIRD	ST	Class B Tavern License	240	
6/30/2015	THE MILWAUKEE CLUB	THE MILWAUKEE CLUB	RICHARD H ROEHRBORN, Agt	706	N	JEFFERSON	ST	Class B Tavern License	180	
7/30/2014	THE RIVERSIDE THEATER FOUNDATION INC	RIVERSIDE THEATER	BRYAN A CONTI, Agt	116	W	WISCONSIN	AV	Class B Tavern License	2480	
6/30/2015	THIS IS IT, INC	THIS IS IT	JOSEPH T BREHM, Agt	418	E	WELLS	ST	Class B Tavern License	80	
9/22/2014	TNF, LLP	MYKONOS GYRO & CAFE	TINA KAMBOURIS, Agt	1014	N	VAN BUREN	ST	Class B Tavern License	80	
6/30/2015	TRADCO, LTD	THE SAFE HOUSE	RONALD K EDWARDS, Agt	779	N	FRONT	ST	Class B Tavern License	248	Safehouse - 156, Newsroom - 92

12/17/2014	TRIPLE CROWN, INC	BUCK BRADLEY'S EATERY & SALOON	BERNARD PAGET, SR, Agt	1019	N	OLD WORLD THIRD	ST	Class B Tavern License	600	300 upper 300 lower
6/18/2015	TUTTO PROMOTIONS, LLC	TUTTO	SALVATORE G SAFINA, Agt	1033	N	OLD WORLD THIRD	ST	Class B Tavern License	600	300 First Floor, 300 second floor
10/10/2014	U90SP, LLC	Upper 90 Sports Pub	JACOB E DEHNE, Agt	322	W	STATE	ST	Class B Tavern License	99	
1/21/2015	Ultra Lounge, LLC	Ultra Lounge	Tremaine J Brown, Agt	628	N	Water	ST	Class B Tavern License	175	
12/10/2014	UMAMI MOTO MILWAUKEE, LLC	UMAMI MOTO	OMAR L SHAIKH, Agt	718	N	MILWAUKEE	ST	Class B Tavern License	99	basement and 1st floor - 99
5/18/2015	V & V PARTNERS, LLC	BENIHANA	SABAH M LIDDAWYEH, Agt	850	N	PLANKINTON	AV	Class B Tavern License	180	1st floor 60, 2nd floor 120
6/30/2015	VICTOR'S ON VAN BUREN, INC	VICTOR'S	VICTOR R JONES, Agt	1230	N	VAN BUREN	ST	Class B Tavern License	420	
5/29/2015	WAHHAB SEVA ENTERPRISES, INC	SABABA CAFE & CATERING	EDWARD E WAHHAB, Agt	330	E	KILBOURN	AV	Class B Tavern License	150	
9/14/2014	WATER STREET BREWERY, INC	WATER STREET BREWERY	ROBERT C SCHMIDT, JR, Agt	1101	N	WATER	ST	Class B Tavern License	300	
9/26/2014	WELLS-JEFFERSON CORPORATION	TAYLOR'S	DANIEL R TAYLOR, Agt	795	N	JEFFERSON	ST	Class B Tavern License	160	
5/23/2015	WESTOWN ASSOCIATION OF MILW, INC	WESTOWN ASSOCIATION	STACIE J CALLIES, Agt	950	N	OLD WORLD THIRD	ST	Class B Tavern License		
6/15/2015	WHISKEY BAR OF MILWAUKEE, INC	WHISKEY BAR	MICHAEL J VITUCCI, Agt	788	N	JACKSON	ST	Class B Tavern License	450	
3/3/2015	Who's Milwaukee LLC	Who's on Third, Milwaukee's Pub	ROBERT L WILTGEN, Agt	1003	N	Old World Third	ST	Class B Tavern License		

4/29/2015	Wisconsin & Milwaukee Hotel, LLC	Milwaukee Marriott Downtown/Starbucks	Jeffrey S Hess, Agt	323	E	Wisconsin	AV	Class B Tavern License	312	
6/14/2015	WISCONSIN SCOTTISH RITE FOUNDATION, INC	Double Eagles Club	DONALD G CHILDERS, Agt	790	N	VAN BUREN	ST	Class B Tavern License	905	Auditorium is 470, dining room 300, Chapel 200
12/20/2014	WOMANS CLUB OF WISCONSIN	WOMANS CLUB OF WISCONSIN	VALERIE M MC DONALD, Agt	813	E	KILBOURN	AV	Class B Tavern License	500	
9/22/2014	WTRWKS, LLC	ROSIE'S WATERWORKS	JAMES P PACK, Agt	1111	N	WATER	ST	Class B Tavern License	144	
6/14/2015	ZARLETTI, LLC	ZARLETTI	BRIAN C ZARLETTI, Agt	741	N	MILWAUKEE	ST	Class B Tavern License		
3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER	ST	Class C Wine Retailer's License		
4/8/2015	GEORGE WATTS & SON, INC	GEORGE WATTS & SON, INC	MARTHA C WATTS, Agt	761	N	JEFFERSON	ST	Class C Wine Retailer's License		
1/21/2015	Milwaukee Area Technical College	MATC Cuisine Restaurant	RICHARD A BUSALACCHI, Agt	1015	N	6th	ST	Class C Wine Retailer's License		
12/19/2014	The Noodle Shop, Co. - Colorado, Inc.	Noodles & Company	KATIE M ENSALDO, Agt	544	E	OGDEN	AV	Class C Wine Retailer's License		

68-4-11. CAUSES FOR COUNCIL DENIAL, REVOCATION OR SUSPENSION OF LICENSE.

An application for a new or renewal food dealer's license may be denied, or any license issued under this section may be suspended or revoked, by the common council for any of the following causes:

- a. Failure of the applicant or licensee to meet the statutory and municipal license qualifications, except for failure to meet sanitary or other health-related qualifications or other circumstances described in s. 68-6 as grounds for license revocation or suspension by the commissioner of health.
- b. A false or materially incorrect statement made by the applicant in his or her application.
- c. Violation of any provision of this section by the applicant, licensee or any employee of the food establishment.
- d. The conviction of the applicant or licensee, his or her agent, manager, operator or any other employee for sale or possession with intent to sell any controlled substance or for any felony related to the licensed operation which, in the judgment of the common council, is pertinent to the license being applied for or renewed.
- e. A showing that the applicant or licensee has violated any state law or city ordinance prohibiting the sale of tobacco products to underage persons.
- f. The violation of any of the excise laws of the state.
- g. A showing that the licensed premises has been the source of congregations of persons which have resulted in one or more of the following:
 - g-1. Disturbance of the peace.
 - g-2. Illegal drug activity.
 - g-3. Public drunkenness.
 - g-4. Drinking in public.
 - g-5. Harassment of passers-by.
 - g-6. Gambling.
 - g-7. Prostitution.
 - g-8. Sale of stolen goods
 - g-9. Public urination.
 - g-10. Theft.
 - g-11. Assaults.
 - g-12. Battery.
 - g-13. Acts of vandalism, including graffiti.
 - g-14. Excessive littering.
 - g-15. Loitering.
 - g-16. Illegal parking.
 - g-17. Loud noise at times when the licensed operation is open for business.
 - g-18. Traffic violations.
 - g-19. Curfew violations.
 - g-20. Lewd conduct.
 - g-21. Display of materials harmful to minors, pursuant to s. 106-9.6.
- h. A showing that the premises proposed for licensing will be a convenience store as defined in s. 68-4.3-1, whether or not exempt as provided in s. 68-4.3-3, and that the proposed operation of the premises will tend to contribute to neighborhood incidents and conditions identified in par. g as the result of an over-concentration of food dealers licensed under s. 68-4 to offer for sale, sell or distribute food in the neighborhood. Evidence that a neighborhood is adequately served by existing retail food establishments may be considered in reaching a determination about whether granting a new license will result in over-concentration.



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

BEVERLY HILLS PROPERTIES I MODERN PRODUCTS INC
1000 N Water St #900

Milwaukee, WI 53202

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern - Service Bar Only and Food Dealer - Restaurant License
Applications
WISE, John M, Agent
Room @ The Rumpus Room at 1020 N Water St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☐ Free Standing Building

☐ Strip Mall

☒ Other Park of 1000 N Water Office Bldg.

2. Describe Premises Structure

☐ Single Story

☒ Multi-Story - # of Stories _____

☐ Other _____

3. Describe Surrounding Area



Commercial

☐ Residential

☐ Industrial

☐ Other _____

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____

b) Nearest Cross Street Water Street + Market Street

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital?

☒ Yes ☐ No

6. Miscellaneous Business Questions

a) Proposed Opening Date: ASAP

b) Is this premise under construction? ☐ Yes ☒ No If yes, list estimated completion date: _____

c) Is this a franchise? ☐ Yes ☒ No

d) Is this premises currently licensed? ☐ Yes ☒ No If yes, list type of license: _____

e) Is the current licensee operating? ☐ Yes ☐ No If no, list date closed: _____

f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)

☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours

☐ Other: _____

g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No

If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes

If yes, a Food Dealer license is required.

Check all that apply: ☐ Prepackaged Food ☐ Snacks ☒ Appetizers ☒ Catered Events

☐ Full Meals - Hours of Food Service: From _____ To _____

A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

Catering of Private Events. Food prepared at 1030 N Water

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☐ Licensee ☐ Building Owner ☒ Employees ☐ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☐ Security ☒ Manager approaches customer(s) ☒ Call Police
☐ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 2 Locations: In Dining room
Outside: _____ Locations: _____Is a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): 1 men, 1 womenProvide name of solid waste contractor: Eagle Disposal**11. Security**Are there parking spaces on the premises? ☒ No ☐ Yes If yes, number of spaces: _____ and describe security provisions: _____Are there designated loading areas? ☒ No ☐ Yes If yes, describe security provisions _____Do you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☒ No ☐ Yes If yes, list all locations: _____Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 35 % Food Sales 65 % Entertainment _____ % Other _____ %**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Full Service Restaurant | <input type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Hotel | <input checked="" type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)50

(Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	10:30a	1:00a	40	21-70	None
Monday			40		
Tuesday			40		
Wednesday			40		
Thursday			40		
Friday			40		
Saturday	10:30a	1:00a	40	21-70	None

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday, unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

- a) Property Owners Name: AAAP Properties/Beverly Hills Property LLC Phone Number: 414-277-1000
Address: 1000 N Water St, Suite 900 Milwaukee WI 53202
- b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes
If yes, list name and address: _____
- c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☒ No ☐ Yes
If no, list the name and address of the person(s) who will: Scott Williams, General Manager

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

- d) Does anyone else have money invested or any other interest in this business? ☒ No ☐ Yes
If yes, explain: _____
- e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?
☒ No ☐ Yes If yes, list name and address: _____

- f) Will any of the following types of businesses be conducted at this location? (check all that apply)
- ☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts

- g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☒ Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- a) Be in the same legal entity name as that apply for the license
b) Reflect the same address as the premises address on this application
c) Reflect current dates and
d) Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☐ Own ☒ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? Tenant
- c) Are you purchasing the stock and/or fixtures? ☒ No ☐ Yes If yes, amount paid \$ _____
- d) Total amount paid for business \$ 0
- e) Total amount paid for goodwill of the business \$ 0

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

- f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☐ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 1/1/13 Ends 12/31/09
- b) Monthly rental \$ 1,750
- c) Do you have an option to renew the lease? ☐ No ☒ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☐ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 5
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☒ No ☐ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes
If yes, explain _____

20. Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? ☐ No ☐ Yes

If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**

This 10th day of June, 20 14

Barbara J. Hocking
(Clerk/Notary Public)

My Commission Expires 3-22-15
*Notary Seal must be affixed.

[Signature]
Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council. Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license. Contact the License Division for information on how to request changes.

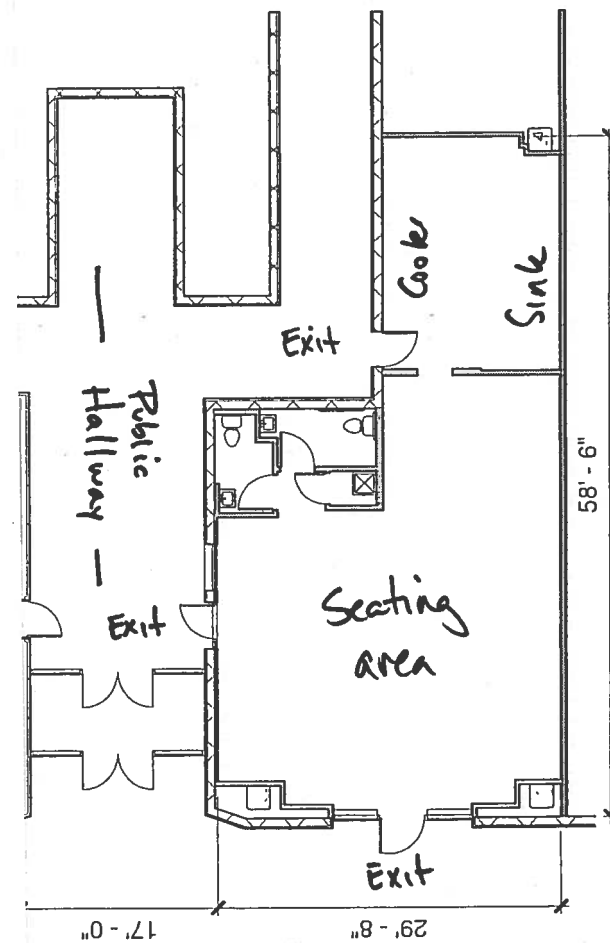
New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.



No Alcohol Storage or Cooler Areas
No Alcohol Display areas



BRG 1000 N Water LLC
The Room @ The Rumpus Room - A Bartolotta Gastropub
1020 N Water St. John M Wise, Agent
6/10/14

Total Sq ft = $30 \times 59 = 1,770$ sq ft



FOOD DEALER SUPPLEMENTAL APPLICATION

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

FREST- 189581

1) PREMISE DESCRIPTION, SITE EVALUATION & PLAN EXAMINATION

Premise Description - list all areas where food will be sold, served, consumed and/or stored: (for example: 1st Floor, 2nd Floor, Sidewalk Café, Patio, Basement Storage) First floor

Has this location been licensed as a food business previously? ☒ Yes ☐ No (If no, site evaluation required.)

When did the last license expire? ☐ Currently Operating ☒ 1-4 years ☐ 5 or more years (If 5 or more years, site evaluation required.)

If previously licensed, are you planning on processing food or preparing meals at a location that was previously licensed for prepackaged food only? ☐ Yes ☒ No (If yes, site evaluation required.)

Site evaluation required? ☐ Yes ☐ No ☐ \$212 for processing food ☒ \$110 for non-processing

Do you wish to have a plan examination of plumbing or ventilation equipment performed? ☐ Yes ☐ No

☐ Partial Plan \$83 (i.e. hood installation, work on dining area) ☐ Complete Plan \$274 (i.e. renovation of the kitchen)

2) PREINSPECTION (REQUIRED FOR ALL NEW APPLICANTS)

☐ Change of Operator Only (\$61)

☒ New operation with no new construction or no substantial alterations (\$61) (i.e. hood installation or work on the dining area)

☐ New or Altered Food Operations which involve new construction or substantial alterations (\$241) (i.e. renovation of the kitchen)

3) BUSINESS TYPE – CHOOSE ONE:

RETAIL - Answer all remaining questions except #8 & 9

☐ CONVENIENCE FOOD STORE - Contains less than 5,000 sq ft of retail sales space AND Has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

☐ CONVENIENCE STORE – GAS STATION - A filling station that sells basic food items and in addition sells household products.

☐ DISTRIBUTOR

☐ DISTRIBUTOR – NO FOOD STORAGE

☐ FOOD STORE

☐ GAS STATION

☐ RETAIL FOOD MANUFACTURER

☐ WHOLESALE FOOD MANUFACTURER

☐ Wholesale Food Manufacturer – with Retail Store

☐ Other:

RESTAURANT - Answer all remaining questions except #7 and where otherwise indicated

☐ BED & BREAKFAST * \$75 plus \$8 DFHS Fee
No site evaluation or plan examination required.

☐ MEAL SERVICE EST/COMMUNITY FOOD PROGRAM * \$28
No other fees apply.

• Skip questions #6-12 if B&B or MSE/CFP

☐ BASE FOR MOBILE UNIT
(No menu is required to be submitted)

☒ RESTAURANT

☐ TAVERN

☐ CATERER

☐ OTHER: _____

4) CHECK/LIST BELOW ALL TYPES OF FOOD YOU WILL BE SERVING/SELLING (RETAIL ONLY)
RESTAURANTS MUST SUBMIT A MENU WITH THIS APPLICATION
(NOT REQUIRED IF A PEDDLER APPYING FOR BASE LICENSE)

☐ Chips ☐ Candy ☐ Soda ☐ Hot Dogs ☐ Nachos ☐ Hamburgers ☐ Coffee/Cappuccino ☐ Milk ☐ Eggs ☐ Cheese ☐ Cut Meats
☐ Hot Foods ☐ Slushy Machine ☐ Making Ice
☐ Other : _____

N/A

5) SCALE

Will you be using a scale? ☐ Yes ☒ No (scale must be licensed by the Health Department, call (414) 286-3674.

6) GROSS FOOD SALES PER YEAR

Are you processing food? ☐ Yes ☒ No (Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.)

<input type="checkbox"/> \$0 – 20,000	<input type="checkbox"/> \$20,000 – 200,000	<input type="checkbox"/> \$200,001 to 2,000,000	<input type="checkbox"/> \$2,000,001 +
<input type="checkbox"/> Retail- Processing \$329	<input type="checkbox"/> Retail- Processing \$553	<input type="checkbox"/> Retail- Processing \$1238	<input type="checkbox"/> Retail- Processing \$1969
<input type="checkbox"/> Retail - No Processing \$184	<input type="checkbox"/> Retail - No Processing \$272	<input type="checkbox"/> Retail - No Processing \$506	<input type="checkbox"/> Retail - No Processing \$790
<input checked="" type="checkbox"/> Restaurant- Processing \$472	<input type="checkbox"/> Restaurant - Processing \$731	<input type="checkbox"/> Restaurant - Processing \$1119	<input type="checkbox"/> Restaurant - Processing \$1672
<input type="checkbox"/> Restaurant- No Processing \$225 (+\$10.50 State Fee for non-processing, skip question 9) (Regardless of Gross Food Sales)			

7) HAZARDOUS FOODS – RETAIL ONLY (DOES NOT APPLY TO RESTAURANTS OR MANUFACTURERS)

Are you handling potentially hazardous foods? ☐ Yes ☒ No (Potentially hazardous foods are defined as food that is natural or synthetic and that requires temperature control. It includes animal food that is raw or heat-treated and food of plant origin that is heat-treated or consists of raw seed sprouts, cut melons or garlic-in-oil mixtures that are not modified to not support growth of infectious or toxigenic microorganisms. If you sell even one of these items (which includes milk and eggs) check the "yes" box.)

<input type="checkbox"/> Sales less than \$25,000	<input type="checkbox"/> Sales \$25,000-\$1,000,000	<input type="checkbox"/> Sales higher than \$1,000,000
<input type="checkbox"/> Processing any foods \$6	<input type="checkbox"/> Processing hazardous foods \$26.50	<input type="checkbox"/> Processing hazardous foods \$68.50
	<input type="checkbox"/> Processing non-hazardous foods \$19	<input type="checkbox"/> Processing non-hazardous foods \$19
<input type="checkbox"/> No Processing Hazardous Foods \$4.50 (Regardless of Gross Food Sales)		
<input type="checkbox"/> No Processing Non Hazardous Foods (answers to #6 and #7 are no) no state fee charged (Regardless of Gross Food Sales)		

8) RESTAURANT INFORMATION

Do you have additional locations? ☐ Yes ☒ No If yes, how many? _____ Additional \$75 fee & \$8.00 DFHS fee per location
(NOTE: This is NOT additional stores that are part of a chain, but locations at the same address that are physically separated from food preparation areas in which additional food processing occurs, including reheating of food).

Type of Restaurant (check all that apply)

☐ Fast Food ☐ Take Out/Delivery ☐ Casual Dining ☐ Formal Dining

☒ Other:

Catering of Food from 1030 N. Water

9) LITTER/GARBAGE/NOISE

What are your plans to keep the grounds clean (check all that apply):

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Sweep | <input type="checkbox"/> Pressure Wash | <input checked="" type="checkbox"/> Pick Up Litter |
| <input type="checkbox"/> Hired Maintenance | <input type="checkbox"/> Building Owner's Responsibility | <input type="checkbox"/> Garbage Cans Outside |
| <input type="checkbox"/> Other | | |

Who is responsible to keep the grounds clean?

- | | | |
|--|---|---|
| <input type="checkbox"/> Licensee | <input type="checkbox"/> Building Owner | <input checked="" type="checkbox"/> Employees |
| <input type="checkbox"/> Hired Maintenance | <input type="checkbox"/> Other | |

How often will the grounds be cleaned?

- | | | |
|---|---------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> Daily | <input type="checkbox"/> Weekly | <input type="checkbox"/> Other |
|---|---------------------------------|--------------------------------|

How are noise issues addressed (check all that apply):

- | | | |
|---------------------------------------|--|---|
| <input type="checkbox"/> Security | <input checked="" type="checkbox"/> Manager approaches customer(s) | <input checked="" type="checkbox"/> Call police |
| <input type="checkbox"/> Signs posted | <input type="checkbox"/> Other | |

Do you purchase, sell or exchange any secondhand articles of personal property (including used cell phones)?

☒ NO ☐ YES IF YES, YOU MUST ALSO APPLY FOR A SECONDHAND DEALER LICENSE.

10) Restaurant Complexity Factors (Table DHS 196.05 A)

Point(s)

Total

<input type="checkbox"/> Food is not prepared until an order is placed.	0	
<input type="checkbox"/> Food items are held hot for one meal period or for a maximum of 4 hours, whichever is less.	0	
<input type="checkbox"/> Food Preparation is limited to mixing together prepackaged products that do not need to be cooked further except for aesthetic reasons (such as frozen food concentrate or with milk) or to condiment preparation (such as slicing onions or pickles.)	0	
<input type="checkbox"/> The restaurant contains a self-service salad or food bar.	1	
<input type="checkbox"/> The restaurant handles raw poultry, meat or seafood.	1	
<input type="checkbox"/> The seating capacity of the restaurant or operation is 50 or more. N	1	
<input type="checkbox"/> Food is served through a drive through window for food pick-up. N	1	
<input type="checkbox"/> The restaurant promotes delivery of ready to eat food products to customers.	1	
<input type="checkbox"/> Potentially hazardous foods are cooled, reheated or hot or cold held for service longer than 4 hrs.	1	
<input type="checkbox"/> Food is prepared in one location and then transported to be served in another location.	1	
<input type="checkbox"/> The restaurant contains or uses banquet facilities as well as a main dining area.	1	
<input type="checkbox"/> Food is served that requires preparation activities such as chopping, dicing, slicing, boiling, cooling, blanching or reheating in order for that product to be served.	1	
Total Zero - SIMPLE=\$23 1-4 - MODERATE=\$33 5 or more =COMPLEX \$54	<u>0</u>	\$ <u>23</u>

11) RETAIL ESTABLISHMENTS ONLY: PROCESSING OPERATIONAL CODES
(CHECK ALL THAT APPLY)

<input type="checkbox"/>	BK	Bakery	Manufacturing of donuts, cakes, breads, cookies and rolls
<input type="checkbox"/>	BO	Bottling	Bottling water or juice for retail sale
<input type="checkbox"/>	BV	Hot/Cold Beverages	Making coffee or dispensing soda
<input type="checkbox"/>	CK	Cooking	Any cooking activity for retail sale
<input type="checkbox"/>	CT	Catering	Any type of catering activity
<input type="checkbox"/>	CY	Confectionery	Making candy or confectionery items
<input type="checkbox"/>	DL	Delicatessen	Manufacturing of deli items for retail sale
<input type="checkbox"/>	FR	Freezing	Food preservation in relation to date marking
<input type="checkbox"/>	GR	Grinding	Coffee beans, hamburger
<input type="checkbox"/>	IC	Ice Cream/Soft Serve	Soft serve or ice cream dispensing
<input type="checkbox"/>	IM	Ice Making	Manufacturing ice for retail sale
<input type="checkbox"/>	MC	Meat Cutting	Retail meat cutting operation
<input type="checkbox"/>	MD	Meat Distributor	Wholesale distribution of inspected meat products
<input type="checkbox"/>	MX	Mixing	Mixing two or more food ingredients
<input type="checkbox"/>	PC	Popping Corn	Process of popping corn for retail sale
<input type="checkbox"/>	PK	Packaging	Packaging food for further sale
<input type="checkbox"/>	PP	Produce Processing	Washing and cutting of produce
<input type="checkbox"/>	RT	Restaurant	Any restaurant type activity (i.e. hot dog roller, chicken, etc.)
<input type="checkbox"/>	SD	Seafood Department	Fresh seafood for retail sale
<input type="checkbox"/>	SE	Shell Egg Packaging	Packaging shell eggs for retail sale
<input type="checkbox"/>	SM	Smoking/Curing	Smoking sausage or cheese – curing of hams
<input type="checkbox"/>	SV	Salvage	Conducting salvage activities on distressed food – retail only
<input type="checkbox"/>	TR	Traveling	Knock-down stand of mobile type retail operation
<input type="checkbox"/>	VP	Vacuum Packaging	Vacuum packaging food at retail
<input type="checkbox"/>	VV	Variance	Any variance required by the Wisconsin Food Code
<input type="checkbox"/>	WG	Wild Game	Processing wild game (venison, fish, etc.) at retail

12) HOURS OF OPERATION

Day of the Week	Proposed Hours of Operation (include a.m. or p.m.) (if closed on any days, write "closed")		Number of Customers expected each day	Drive Thru Hours (if not applicable, write "n/a")	
	Open	Close		Open	Close
Sunday	10:30 am	1:00 am	40	N/A	
Monday			40		
Tuesday			40		
Wednesday			40		
Thursday			40		
Friday			40		
Saturday	10:30 am	1:00 am	40	N/A	

13) ISSUANCE OF LICENSE

Are you also going to apply for an alcohol beverage license at this time? ☐ No ☒ Yes

If yes, if your food license is approved prior to the alcohol license, would you like the food license issued (check one)

☒ immediately so you can open your food business ☐ at the same time as the alcohol license

SUBMIT THIS FORM ALONG WITH THE "BUSINESS LICENSE APPLICATION"

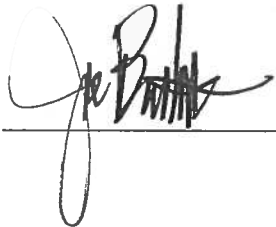
Affirmation of Understanding – Permit Needed to Operate

ALL APPLICANTS – PLEASE READ AND INITIAL EACH ITEM CONFIRMING YOUR UNDERSTANDING:

1. KA I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
2. KA I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
3. KA I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
4. KA I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may be scheduled for a hearing before the License Committee of the Common Council.
5. KA I understand that I must pay and the License Division must have proof of payment for the associated permit fees before my permit may be issued.
6. KA I understand that all of the above must be complete before my permit is eligible to be issued.
7. KA I understand that the license/permit for which I am applying must be issued and posted in my business premises prior to opening for business.

I, Joseph Bartolotta, will not operate my food business, until the permit has been issued and posted in the establishment.

Signature of Applicant: _____



Date: _____

6/10/14



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

WISE, John M, Agent
BRG 777 E Wisconsin LLC
520 W McKinley Av

Milwaukee, WI 53212

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Public Entertainment Premises License Applications Requesting Instrumental Musicians and Bands as agent for "BRG 777 E Wisconsin LLC" for "Downtown Kitchen" at 777 E WISCONSIN Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fit and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Tuesday, July 15, 2014

COMMITTEE MEETING NOTICE

AD 04

WISE, John M, Agent
BRG 777 E Wisconsin LLC
7321 Iroquois Rd

Fox Point, WI 53217

You are requested to attend a hearing which is to be held in Common Council Chambers, 3rd Floor City Hall on:

Tuesday, July 22, 2014 at 08:15 AM

Regarding: Your Class B Tavern - Service Bar Only and Public Entertainment Premises License Applications Requesting Instrumental Musicians and Bands as agent for "BRG 777 E Wisconsin LLC" for "Downtown Kitchen" at 777 E WISCONSIN Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

**Notice for applicants with
warrants or unpaid fines:**

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: Rebecca N. Grill
Rebecca N. Grill
Deputy City Clerk

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

Date:07/01/14
Officer: J. Alba 006448

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Downtown Kitchen
Address: 777 E. Wisconsin Ave.
Phone: 414-287-0303

Owner: Bartolotta Restaurants
Owner address:
City State Zip:
Owner Phone:
Owner email:

Licensee/Agent: John M. Wise W/M 03/17/59
Home Address: 7329 N. Iroquois Rd.
City State Zip: Fox Point, WI 53217
Phone: 414-788-1409
Email:

Preferred contact: Agent

Location currently open: ☐ YES ☒ NO

Projected open date: 08/10/14

Day's open: ☐S ☐M ☐T ☐W ☐Th ☐F ☐SA ☒ALL

Hours of Operation: Sun: as needed ☐24 hours ☐Y ☐N
Mon: 6am-5pm
Tue: 6am-5pm
Wed: 6am-5pm
Thu: 6am-5pm
Fri: 6am-5pm
Sat: as needed

Premise Type: ☐ Tavern/Bar
☒ Restaurant
☐ Other:

Licenses currently held:

Alcohol: ☐ Yes ☒ No Class: #:
Tobacco: ☐ Yes ☒ No #:
Food: ☐ Yes ☒ No #:
Other: ☐ Yes ☒ No Type: #:
Other: ☐ Yes ☒ No Type: #:

Exterior Survey:

1. Is the area around the location clean? ☐ Yes ☐ No
2. What surrounds the location? (Check all that apply)
 - a. ☒ Park
 - b. ☒ School
 - c. ☐ Youth Center
 - d. ☒ Church
 - e. ☒ Tavern(s) If so, how many
 - f. ☒ Residential
 - g. ☒ Other businesses
 - h. ☐ Other:
3. Can you see from the outside of the location into the interior ☒ Yes ☐ No
4. Can you see the employees inside of the location from the outside ☒ Yes ☐ No
5. Are exterior windows free of signage ☒ Yes ☐ No
6. Street parking ☒ Yes ☐ No
7. Is there a parking lot ☒ Yes ☐ No
8. Is the parking lot clean? ☒ Yes ☐ No
9. Is the parking lot well lit? ☒ Yes ☐ No
10. Valet Parking ☐ Yes ☒ No
 - a. Will this lot have a guard? ☐ Yes ☒ No
 - b. Will this lot have cameras? ☒ Yes ☐ No
11. Are there areas where a person could conceal themselves ☒ Yes ☐ No
12. Is there exterior lighting? ☒ Yes ☐ No. Does it appear to be adequate ☒ Yes ☐ No
13. Exterior Payphone? ☐ Yes ☒ No
14. Are there No Loitering Signs posted? ☐ Yes ☒ No
15. Are there exterior security cameras ☒ Yes ☐ No How Many:
16. Are the address numbers prominently displayed and easy to see ☒ Yes ☐ No

Camera Survey:

17. Does this location have security cameras? ☒ Yes ☐ No
18. Are they in working order? ☒ Yes ☐ No
19. What format are the cameras?
 - a. Color ☒ Yes ☐ No
 - b. Digital ☒ Yes ☐ No
 - c. VCR ☐ Yes ☐ No
 - d. Recorded ☒ Yes ☐ No
20. How long is footage stored for later viewing: 30 days
21. Are there exterior cameras ☒ Yes ☐ No How many:
22. Are there interior cameras ☒ Yes ☐ No How many: 10 planned

23. Do all employees know how to retrieve recorded digital images/footage? ☐ Yes ☒ No
24. Cameras located in parking lot ☒ Yes ☐ No How many

Interior Survey:

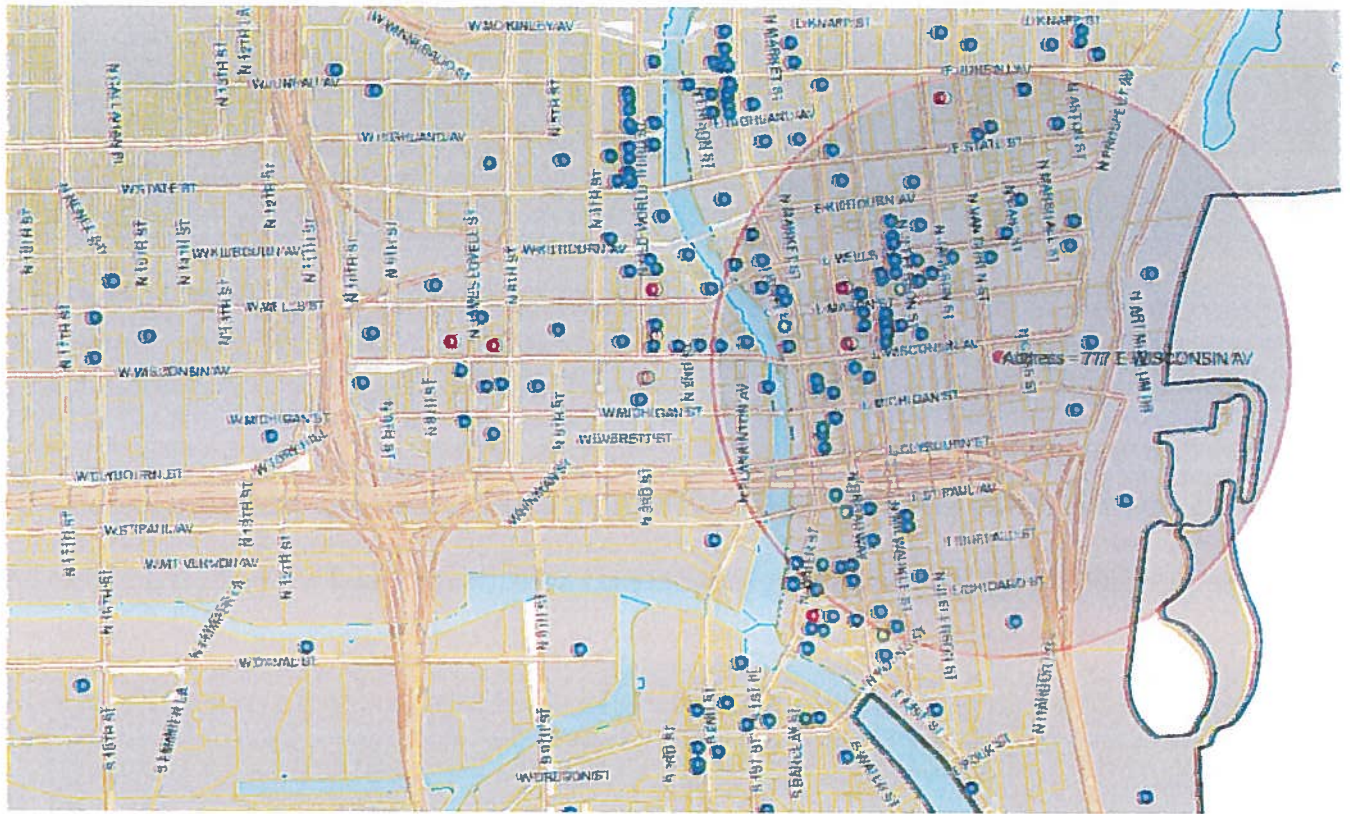
25. What is the planned/posted capacity 550
26. What is the minimum number of employees that will be on premise 12
27. Is the storeowner willing to be a standing complainant regarding loitering? ☒ Yes ☐ No
a. If yes have them fill out the standing complaint form and give them two of the commercial signs ☐ Yes ☐ No
28. Is the interior of the location neat and clean? ☒ Yes ☐ No
29. Does an interior camera face the entrance/exit? ☒ Yes ☐ No
30. Are emergency and non-emergency numbers posted near the phone? ☒ Yes ☐ No
31. Does the owner know how to contact their police district directly? ☒ Yes ☐ No
a. Did you provide a district contact guide to the owner? ☒ Yes ☐ No

Security

32. How many security personnel are going to be employed: 0
33. How will they be deployed: Interior Exterior
34. What days will they be deployed ☐ Mon ☐ Tue ☐ Wed ☐ Thu ☐ Fri ☐ Sat ☐ Sun
35. Will the security be managed by business ☐ or contracted ☐
36. Will they be armed ☐ Yes ☐ No
37. What type of security measures will be used:
☐ Wanding/metal detector
☐ ID Scanner
☐ Dress Code
☐ Cover Charge
☐ Age restriction
☒ Other ID at service
38. When at capacity, how will the overflow crowd be managed? N/A
39. Will a guard monitor the overflow crowd at all times? ☐ Yes ☒ No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

- Location of business is leased space inside US Bank building at 777 E. Wisconsin Av.
- Applicant is current licensed agent for 12 operating Bartolotta businesses.
- Alcohol application is for potential catered events for the 12,900 Sqr. Ft. space to be rented out.
- Application also to serve alcohol on Fridays after business hours for building "happy hour".
- Agent plans to be on site several times per week during hours of operation.
- \$1.5 million planned for renovation of existing space.



License Summary:						Total			
Class A Malt & Class A Liquor License						2			
Class A Retailer's Intoxicating Liquor License						1			
Class B Fermented Malt Beverage Retailer's License						5			
Class C Wine Retailer's License						5			
Class B Tavern License						94			
Expiration date	Legal entity	Trade name	Licensee	Address			License type name	Total capacity	Room capacity
6/19/2015	MEGA MARTS, LLC	METRO MARKET #6371	John R Mankowski, Agt	1123	N	VAN BUREN ST	Class A Malt & Class A Liquor License		
5/20/2015	Olive Tree LLC	Convenience +	Jamal T Shawar, Agt	308	E	Wisconsin AV	Class A Malt & Class A Liquor License		
6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M Bartz, Agt	758	N	BROADWAY Null	Class A Retailer's Intoxicating Liquor License		
3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER ST	Class B Fermented Malt Beverage Retailer's License		
4/1/2015	Colectivo Coffee Roasters, Inc	Colectivo Coffee Roasters, Inc	William D Suskey, Agt	225	E	ST PAUL AV	Class B Fermented Malt Beverage Retailer's License		

7/30/2014	JING'S CORPORATION	JING'S	JING WANG, Agt	207 E	BUFFALO	ST	Class B Fermented Malt Beverage Retailer's License	45	
5/12/2015	Kipper LLC	Fore Milwaukee	Timothy M Grogan, Agt	530 N	Water	ST	Class B Fermented Malt Beverage Retailer's License		
1/15/2015	ST. PAUL SEAFOOD, LLC	ST. PAUL FISH CO.	TIMOTHY G COLLINS, Agt	400 N	WATER	ST	Class B Fermented Malt Beverage Retailer's License		
7/25/2014	5 Pirates LLC	John Hawk's Pub	BRIAN J WARD, Agt	100 E	WISCONSIN	AV	Class B Tavern License	266	
12/10/2014	ALEM ETHIOPIAN RESTAURANT, LLC	ALEM ETHIOPIAN VILLAGE	MULU H HABTESILASSIE, Agt	307 E	WISCONSIN	AV	Class B Tavern License	98	
4/8/2015	APARTMENT 720, LLC	APARTMENT 720	Tony T Skoufis, Agt	720 N	MILWAUKEE	ST	Class B Tavern License	150	
6/23/2015	ARBED, LLC	MO'S IRISH PUB	JAMES A VASSALLO, Agt	142 W	Wisconsin	AV	Class B Tavern License	480	231 on first floor 249 on second floor
10/12/2014	BAM RESOURCES, LLC	FIRE ON WATER	JULIE M MEEUSEN, Agt	518 N	WATER	ST	Class B Tavern License	156	
7/25/2014	BANQUET SERVICES, LLC	VILLA FILOMENA	BETINA A SANFILIPPO, Agt	1119 N	MARSHALL	ST	Class B Tavern License	299	
2/25/2015	BARTOLOTTA CATERING - GRAIN EXCHANGE LLC	BARTOLOTTA CATERING - GRAIN EXCHANGE LLC	JOHN M WISE, Agt	225 E	MICHIGAN	ST	Class B Tavern License	299	

5/30/2015	BARTOLOTTA CATERING-PIER WI LLC	BARTOLOTTA CATERING - PIER WI	JOHN M WISE, Agt	500	N	HARBOR	DR	Class B Tavern License	250	
5/2/2015	Benelux Third Ward, LLC	Cafe Benelux	MICHAEL J EITEL, Agt	346	N	Broadway	Null	Class B Tavern License	455	
7/22/2015	Bollywood Grill, LLC	Bollywood Grill	MANJIT SINGH, Agt	1028	N	Jackson	ST	Class B Tavern License		
7/30/2014	BUCKELY'S KISKEAM INN, LLC	Buckley's	MICHAEL V BUCKLEY, Agt	801	N	CASS	ST	Class B Tavern License	65	
11/2/2014	BW HOLDINGS, LLC	WARD'S HOUSE OF PRIME	BRIAN J WARD, Agt	540	E	MASON	ST	Class B Tavern License	260	
12/15/2014	CARNAL LLC	CLUB CHARLIES	CRAIG M BLOOMFIELD, Agt	320	E	MENOMONEE	ST	Class B Tavern License	128	
12/12/2014	CARNIVORAS, INC	CARNEVOR	OMAR L SHAIKH, Agt	724	N	MILWAUKEE	ST	Class B Tavern License	160	
1/16/2015	CHINA GOURMET, INC	CHINA GOURMET RESTAURANT	ROBERT C TSAO, Agt	117	E	WELLS	ST	Class B Tavern License	165	
3/19/2015	Copper Penguin Management Group, LLC	Oak	Jared J Siemers, Agt	231	E	BUFFALO	ST	Class B Tavern License	170	
11/12/2014	COQUETTE CAFE, INC	COQUETTE CAFE	NICHOLAS A BURKI, Agt	316	N	MILWAUKEE	ST	Class B Tavern License	150	
7/27/2014	DICK'S PIZZA, LLC	DICK'S	ADAM D KIRCHNER, Agt	730	N	MILWAUKEE	ST	Class B Tavern License	330	
9/3/2014	DINO Z, LLC	DINO'S TAVERNA	DEAN ZARKOS, Agt	777	N	JEFFERSON	ST	Class B Tavern License	99	
10/12/2014	DISTIL MILWAUKEE, LLC	DISTIL	OMAR L SHAIKH, Agt	722	N	MILWAUKEE	ST	Class B Tavern License	213	
7/14/2015	DOS BONITAS, LLC	CUBANITAS	MARTA C BIANCHINI, Agt	728	N	MILWAUKEE	ST	Class B Tavern License	50	

5/12/2015	EAST TOWN ASSOCIATION, INC	EAST TOWN ASSOCIATION	Kim L Morris, Agt	520 E	WELLS	ST	Class B Tavern License		
6/30/2015	ELSA'S ON THE PARK, LTD	ELSA'S ON THE PARK	KARL R KOPP, Agt	833 N	JEFFERSON	ST	Class B Tavern License	100	
6/11/2015	First MKD, LLC	Hilton Garden Inn	Lisa M Farrell, Agt	611 N	BROADWAY	Null	Class B Tavern License		
7/24/2015	FLANNERY'S PUB, INC	FLANNERY'S BAR & RESTAURANT	STEVEN W SMITH, Agt	425 E	WELLS	ST	Class B Tavern License	270	
3/20/2015	FortyTwo Ventures, LLC	FortyTwo Lounge	Lynn M Nilles, Agt	326 E	Mason	ST	Class B Tavern License	125	
2/7/2015	GRANDVIEW MANAGEMENT, INC	ZILLI HOSPITALITY GROUP	ELLEN N ZILLI, Agt	910 E	MICHIGAN	ST	Class B Tavern License	450	
5/19/2015	GRANDVIEW MANAGEMENT, INC	ZILLI LAKE & GARDENS	ELLEN N ZILLI, Agt	931 E	WISCONSIN	AV	Class B Tavern License	450	
11/24/2014	GRANDVIEW MANAGEMENT, INC	ZILLI HOSPITALITY GROUP	ELLEN N ZILLI, Agt	909 E	MICHIGAN	ST	Class B Tavern License		
4/19/2015	HOTEL METRO, LLC	HOTEL/CAFE METRO	JAMES D HUMMERT, Agt	411 E	MASON	ST	Class B Tavern License	240	
5/29/2015	HTWA MARKET PROJECT, LLC	MILWAUKEE PUBLIC MARKET	MICHAEL GARDNER, Agt	400 N	WATER	ST	Class B Tavern License	320	
7/30/2014	INDULGE WINE ROOMS, LLC	INDULGE	MARC R BIANCHINI, Agt	708 N	MILWAUKEE	ST	Class B Tavern License	60	
5/20/2015	Interstate Management Company, LLC	Residence Inn Milwaukee Downtown	Amanda R Mommaerts, Agt	101 W	WISCONSIN	AV	Class B Tavern License		
6/30/2015	ITALIAN CONFERENCE CENTER INC	ITALIAN CONFERENCE CENTER	LAURIE J BISESI, Agt	631 E	CHICAGO	ST	Class B Tavern License		

11/24/2014	JCTH, INC	CAFE AT THE PLAZA	BENJAMIN T CRICHTON, Agt	1007	N	CASS	ST	Class B Tavern License		
12/16/2014	JLC H LLC	Fajita Grill	Jose A Lainez- Cabrera, Agt	530	E	Mason	ST	Class B Tavern License		
6/30/2015	KARL RATZSCH, INC	KARL RATZSCH'S RESTAURANT	THOMAS C ANDERA, Agt	320	E	MASON	ST	Class B Tavern License	150	
9/23/2014	KENADEE'S ULTRA PUB, LLC	KENADEE'S	Scott A Blair, Agt	725	N	MILWAUKEE	ST	Class B Tavern License	257	
12/20/2014	LADY BUG CLUB, LLC	LADYBUG CLUB/618 LIVE ON WATER	HABIB MANJEE, Agt	622	N	WATER	ST	Class B Tavern License	480	
5/18/2015	LOUISE'S, INC	LOUISE'S	ROBERT C SCHMIDT, JR, Agt	801	N	JEFFERSON	ST	Class B Tavern License	140	
6/29/2015	MARCUS HOTELS HOSPITALITY, LLC	Pfister Hotel & Tower	Stephen M Magnuson, Agt	424	E	WISCONSIN	AV	Class B Tavern License	419	
7/5/2015	MARCUS HOTELS HOSPITALITY, LLC	INTERCONTINENTAL MILWAUKEE	Stephen M Magnuson, Agt	139	E	KILBOURN	AV	Class B Tavern License		
6/15/2015	MARGARITA PARADISE, LLC	MARGARITA PARADISE 2	DULCE M ALARCON, Agt	400	N	WATER	ST	Class B Tavern License	320	42
2/5/2015	MEGA MARTS, LLC	METRO MARKET #6371	John R Mankowski, Agt	1123	N	VAN BUREN	ST	Class B Tavern License	65	
5/20/2015	Memento LLC	Bavette	Karen E Bell, Agt	330	E	Menomonee	ST	Class B Tavern License		
6/30/2015	MI-KEY'S (MILWAUKEE) LLC	MI-KEY'S	OMAR L SHAIKH, Agt	811	N	JEFFERSON	ST	Class B Tavern License	175	

11/25/2014	Milwaukee Art Museum, Inc	Milwaukee Art Museum	Bryan W Kwapil, Agt	700	N	Art Museum	DR	Class B Tavern License	2133	Bradley/Ground Level: 900, Calatrava: 1233
6/30/2015	MILWAUKEE ATHLETIC CLUB	MILWAUKEE ATHLETIC CLUB	Nichole M Bartz, Agt	758	N	BROADWAY	Null	Class B Tavern License	162	Elephant Room third floor (87) & the Chart Room first floor (75)
6/30/2015	MILWAUKEE COUNTY WAR MEMORIAL, INC	MILWAUKEE COUNTY WAR MEMORIAL CENTER	DAVID J DRENT, Agt	750	N	LINCOLN MEMORIAL	DR	Class B Tavern License	240	240 - Tavern
7/15/2015	MILWAUKEE REPERTORY THEATER, INC	MILWAUKEE REPERTORY THEATER	LESLIE M FILLINGHAM, Agt	108	E	WELLS	ST	Class B Tavern License		25 - Tavern
10/22/2014	Milwaukee School of Engineering	Milwaukee School of Engineering	John Hornburg, Agt	1000	N	BROADWAY	Null	Class B Tavern License	480	
3/22/2015	MILWAUKEE SCHOOL OF ENGINEERING	MILWAUKEE SCHOOL OF ENGINEERING	John Hornburg, Agt	500	E	KILBOURN	AV	Class B Tavern License	208	
2/27/2015	MILWAUKEE WATERFRONT DELI, INC	MILWAUKEE WATERFRONT DELI	JEREMIAH D PANDL, Agt	761	N	WATER	ST	Class B Tavern License		
6/30/2015	MY OFFICE, INC	MY OFFICE	BRIAN J PETERSON, Agt	759	N	MILWAUKEE	ST	Class B Tavern License		
6/11/2015	Nehring's Family Market LLC	Nehring's Family Market	ANNE C FINCH-NEHRING, Agt	400	N	Water	ST	Class B Tavern License		
5/29/2015	NORTH WATER 500, LLC	JOEY BUONA'S PIZZERIA GRILLE	JEFFERY E WHITEMAN, Agt	500	N	WATER	ST	Class B Tavern License	480	
11/7/2014	OUZO CAFE LIMITED PARTNERSHIP	OUZO CAFE	NICKEY G PAPPAS, Agt	776	N	MILWAUKEE	ST	Class B Tavern License	40	

5/19/2015	PABST THEATER CONCESSIONS, LLC	THE PABST THEATER	BRYAN A CONTI, Agt	144 E	WELLS	ST	Class B Tavern License		
3/3/2015	PARKEAST ENTERTAINMENT, INC	Park East Hotel/Aura	HARJEET S WALIA, Agt	916 E	STATE	ST	Class B Tavern License	400	
11/4/2014	Peking House Jefferson, LLC	Peking House	Jessica A Liang, Agt	770 N	JEFFERSON	ST	Class B Tavern License	150	
11/26/2014	R Grill Milwaukee, LLC	Rodizio Grill - Brazilian Steakhouse	Jay P Supple, Agt	771 N	WATER	ST	Class B Tavern License	299	
7/25/2015	REAL CHILI OF MILWAUKEE, INC	REAL CHILI	STEPHEN J KASTELIC, Agt	419 E	WELLS	ST	Class B Tavern License	80	
11/26/2014	Romp LLC	Kasana	Ana C Docta, Agt	241 N	BROADWAY	Null	Class B Tavern License		
5/12/2015	SAKE, INC	SAKETUMI JAPANESE RESTAURANT	SUNSOOK LEE, Agt	714 N	MILWAUKEE	ST	Class B Tavern License	275	
10/11/2014	SINCERESWAN, LLC	SWINGIN DOOR EXCHANGE	MICHELLE M SINCERE, Agt	219 E	MICHIGAN	ST	Class B Tavern License	80	
9/3/2014	Sirk Steak LLC	Mo's A Place for Steaks	JAMES A VASSALLO, Agt	720 N	Plankinton	AV	Class B Tavern License		
2/7/2015	Smoke Shack Mke, LLC	Smoke Shack	JOSEPH J SORGE, JR, Agt	332 N	Milwaukee	ST	Class B Tavern License		Interior capacity = 91, Beer Garden capacity = 75
2/27/2015	Splash Studio Inc	Splash Studio	Marla R Poytinger, Agt	184 N	Broadway	Null	Class B Tavern License	150	
5/24/2015	SRW ACQUISITION, LLC	HARBOR HOUSE	JOHN M WISE, Agt	550 N	HARBOR	DR	Class B Tavern License	250	

2/7/2015	Swig MKE, LLC	Swig	JOSEPH J SORGE, JR, Agt	217	N	BROADWAY	Null	Class B Tavern License	100	
5/23/2015	TDF Investments, LLC	Catch 22 Bar	Todd D Fogel, Agt	770	N	Milwaukee	ST	Class B Tavern License	150	
5/8/2015	TECK STIR, LLC	STIR	JEROME P WALSH, Agt	112	W	WISCONSIN	AV	Class B Tavern License	80	
2/7/2015	The Belmont Tavern, Inc	The Belmont Tavern	MICHAEL J VITUCCI, Agt	784	N	Jefferson	ST	Class B Tavern License	160	
10/14/2014	The Hudson Business Lounge LLC	The Hudson Business Lounge	Barbara M DeMeulenaere, Agt	310	E	Buffalo	ST	Class B Tavern License		
6/30/2015	THE MILWAUKEE CLUB	THE MILWAUKEE CLUB	RICHARD H ROEHRBORN, Agt	706	N	JEFFERSON	ST	Class B Tavern License	180	
7/30/2014	THE RIVERSIDE THEATER FOUNDATION INC	RIVERSIDE THEATER	BRYAN A CONTI, Agt	116	W	WISCONSIN	AV	Class B Tavern License	2480	
3/1/2015	THE WICKED HOP, LLC	THE WICKED HOP	MILES E O'NEIL, Agt	343	N	BROADWAY	Null	Class B Tavern License	160	
6/30/2015	THIEF WINE, LLC	THIEF WINE SHOP & BAR	PHILIP M BILODEAU, Agt	400	N	WATER	ST	Class B Tavern License	42	
6/30/2015	THIS IS IT, INC	THIS IS IT	JOSEPH T BREHM, Agt	418	E	WELLS	ST	Class B Tavern License	80	
9/22/2014	TNF, LLP	MYKONOS GYRO & CAFE	TINA KAMBOURIS, Agt	1014	N	VAN BUREN	ST	Class B Tavern License	80	
6/30/2015	TRADCO, LTD	THE SAFE HOUSE	RONALD K EDWARDS, Agt	779	N	FRONT	ST	Class B Tavern License	248	Safehouse - 156, Newsroom - 92
9/22/2014	TUDY-BART, LLC	BACCHUS-A BARTOLOTTA RESTAURANT	JOHN M WISE, Agt	925	E	WELLS	ST	Class B Tavern License	200	

1/21/2015	Ultra Lounge, LLC	Ultra Lounge	Tremaine J Brown, Agt	628	N	Water	ST	Class B Tavern License	175	
12/10/2014	UMAMI MOTO MILWAUKEE, LLC	UMAMI MOTO	OMAR L SHAIKH, Agt	718	N	MILWAUKEE	ST	Class B Tavern License	99	basement and 1st floor - 99
7/10/2015	UNIVERSITY CLUB OF MILWAUKEE	UNIVERSITY CLUB OF MILWAUKEE	DOUGLAS F PALLO, Agt	924	E	WELLS	ST	Class B Tavern License	150	
5/29/2015	WAHHAB SEVA ENTERPRISES, INC	SABABA CAFE & CATERING	EDWARD E WAHHAB, Agt	330	E	KILBOURN	AV	Class B Tavern License	150	
2/7/2015	Water Buffalo MKE, LLC	Water Buffalo	JOSEPH J SORGE, JR, Agt	249	N	WATER	ST	Class B Tavern License	240	
9/26/2014	WELLS-JEFFERSON CORPORATION	TAYLOR'S	DANIEL R TAYLOR, Agt	795	N	JEFFERSON	ST	Class B Tavern License	160	
6/15/2015	WHISKEY BAR OF MILWAUKEE, INC	WHISKEY BAR	MICHAEL J VITUCCI, Agt	788	N	JACKSON	ST	Class B Tavern License	450	
4/29/2015	Wisconsin & Milwaukee Hotel, LLC	Milwaukee Marriott Downtown/Starbucks	Jeffrey S Hess, Agt	323	E	Wisconsin	AV	Class B Tavern License	312	
6/14/2015	WISCONSIN SCOTTISH RITE FOUNDATION, INC	Double Eagles Club	DONALD G CHILDERS, Agt	790	N	VAN BUREN	ST	Class B Tavern License	905	Auditorium is 470, dining room 300, Chapel 200
12/20/2014	WOMANS CLUB OF WISCONSIN	WOMANS CLUB OF WISCONSIN	VALERIE M MC DONALD, Agt	813	E	KILBOURN	AV	Class B Tavern License	500	
9/4/2014	Woori Corp	Kanpai	Tai K Park, Agt	408	E	Chicago	ST	Class B Tavern License	99	
6/14/2015	ZARLETTI, LLC	ZARLETTI	BRIAN C ZARLETTI, Agt	741	N	MILWAUKEE	ST	Class B Tavern License		

3/3/2015	1104 Milwaukee, LLC	Tazinos Pizza & Salad Bistro	TIMOTHY P ROHLFS, Agt	731	N	WATER	ST	Class C Wine Retailer's License		
4/1/2015	Colectivo Coffee Roasters, Inc	Colectivo Coffee Roasters, Inc	William D Suskey, Agt	225	E	ST PAUL	AV	Class C Wine Retailer's License		
4/8/2015	GEORGE WATTS & SON, INC	GEORGE WATTS & SON, INC	MARTHA C WATTS, Agt	761	N	JEFFERSON	ST	Class C Wine Retailer's License		
7/30/2014	JING'S CORPORATION	JING'S	JING WANG, Agt	207	E	BUFFALO	ST	Class C Wine Retailer's License	45	
1/15/2015	ST. PAUL SEAFOOD, LLC	ST. PAUL FISH CO.	TIMOTHY G COLLINS, Agt	400	N	WATER	ST	Class C Wine Retailer's License		



Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

US BANK NATIONAL ASSOCIATION
777 E WISCONSIN Av

MILWAUKEE, WI 53202

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern - Service Bar Only and Public Entertainment Premises License
Applications Requesting Instrumental Musicians and Bands
WISE, John M, Agent
Downtown Kitchen at 777 E WISCONSIN Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Tuesday, July 15, 2014

Licenses Committee Notice of Hearing

US BANK NATIONAL ASSOCIATION
C/O Amy Hernesman
2800 E Lake St
Minneapolis, MN 55406

Date: 7/22/2014
Time: 08:15 AM
Location: Common Council Chambers, 3rd Floor City Hall

The Licenses Committee will consider the following license application:

Class B Tavern - Service Bar Only and Public Entertainment Premises License
Applications Requesting Instrumental Musicians and Bands
WISE, John M, Agent
Downtown Kitchen at 777 E WISCONSIN Av

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





PLAN OF OPERATION

1. Premises Location

☐ Free Standing Building ☐ Strip Mall ☒ Other US Bank Tower Building

2. Describe Premises Structure

☐ Single Story ☒ Multi-Story - # of Stories 42 ☐ Other _____

3. Describe Surrounding Area

☒ Commercial ☐ Residential ☐ Industrial ☐ Other _____

4. Premises Location

a) ☒ Major Thoroughfare ☐ Secondary Street ☐ Other _____
b) Nearest Cross Street Wisconsin Ave +

5. Proximity of Premises to Church, School, or Hospital

Is there at least 300 feet between the building and any church, school or hospital? ☒ Yes ☐ No

6. Miscellaneous Business Questions

- a) Proposed Opening Date: August 15, 2014
b) Is this premise under construction? ☒ Yes ☐ No If yes, list estimated completion date: _____
c) Is this a franchise? ☐ Yes ☒ No
d) Is this premises currently licensed? ☒ Yes ☐ No If yes, list type of license: Food
e) Is the current licensee operating? ☒ Yes ☐ No If no, list date closed: _____
f) What other types of licenses/permits will you or do you hold at this location? (check all that apply)
☒ Occupancy Permit ☐ Cigarette & Tobacco ☐ Gas Station ☐ Extended Hours
☐ Other: _____
g) Do you have future plans for other businesses, licenses or permits at this location? ☐ Yes ☒ No
If yes, explain: _____

7. Food

Will food be served on the premises? ☐ No ☒ Yes If yes, a Food Dealer license is required.

Check all that apply: ☒ Prepackaged Food ☒ Snacks ☐ Appetizers ☒ Catered Events

☒ Full Meals - Hours of Food Service: From 6:30am To 1:00 am

A menu must be submitted with this Plan of Operation for all restaurants.

8. Type of Business

Briefly describe the type of business you plan to operate if granted a license (attach additional sheets as necessary.)

Cafeteria Food for Tenants @ US Bank as
well as occasional Catering events at night.

9. Litter and NoiseHow are the grounds kept clean? ☒ Sweep ☐ Pressure Wash ☒ Pick Up Litter ☐ Other: _____How often will grounds be cleaned? ☒ Daily ☐ Weekly ☐ Other: _____Grounds Cleaned By: ☐ Licensee ☐ Building Owner ☒ Employees ☐ Hired Maintenance ☐ Other: _____How are noise issues prevented and/or addressed? ☐ Security ☒ Manager approaches customer(s) ☒ Call Police
☐ Signs Posted ☐ Other: _____**10. Smoking and Sanitation**Are there designated outdoor smoking areas? ☒ No ☐ Yes

If yes, describe the area(s) and provide location(s): _____

Number of Garbage Cans: Inside: 18 Locations: 6 kitchen 6 Seating
Outside: 0 Locations: _____Is a Crowd Control Barrier used? ☒ No ☐ Yes If yes, describe: _____Describe sanitation facilities (restrooms): Restrooms are @ in Galleria 1 men; 1 womenProvide name of solid waste contractor: Eagle Disposal**11. Security**Are there parking spaces on the premises? ☐ No ☒ Yes If yes, number of spaces: 400 and describe security provisions:
CamerasAre there designated loading areas? ☐ No ☐ Yes If yes, describe security provisions: _____Do you have security personnel on the premise? ☒ No ☐ Yes If yes, how many? _____

AND What are their responsibilities? _____

What security equipment do they use? _____

List their licensing, certification or training credentials: _____

Are there security cameras? ☒ No ☐ Yes If yes, list all locations: _____Are searches and/or identification checks conducted upon entry? ☒ No ☐ Yes If yes, describe: _____**12. Percentage of Sales (must total 100%)**Alcohol 10 % Food Sales 90 % Entertainment _____ % Other _____ %**13. Businesses On The Premise (choose all that apply):****Type 1**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Full Service Restaurant | <input checked="" type="checkbox"/> Cafe/Coffee Shop | <input type="checkbox"/> Deli or Fast Food Restaurant | <input type="checkbox"/> Private/Fraternal/Veterans Club |
| <input type="checkbox"/> Night Club | <input type="checkbox"/> Tavern | <input type="checkbox"/> Cocktail Lounge | <input type="checkbox"/> Teen Club |
| <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Hotel | <input type="checkbox"/> Banquet Hall | <input type="checkbox"/> Sports Facility |

Type 2

- | | | | |
|---------------------------------------|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Liquor Store | <input type="checkbox"/> Corner Store | <input type="checkbox"/> Supermarket | <input type="checkbox"/> Convenience Store |
| <input type="checkbox"/> Gas Station | <input type="checkbox"/> Other _____ | | |

14. Legal Capacity of Premises (Only premises identified as Type I in Question #13)400 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

15. Hours of Operation

Day of the Week	Proposed Hours of Operation:		Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open	Close			
Sunday	6:30am	1:00am	500	21-70	None
Monday	/	/	800	/	/
Tuesday	/	/	800	/	/
Wednesday	/	/	800	/	/
Thursday	/	/	800	/	/
Friday	/	/	800	/	/
Saturday	6:30am	1:00am	500	21-70	None

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

16. This Section to be Completed by Alcohol Applicants Only

a) Property Owners Name: US Bank National Assoc. Phone Number: _____
Address: 777 E Wisconsin Ave

b) Are you taking out this application for anyone that may not be eligible for a license? ☒ No ☐ Yes

If yes, list name and address: _____

c) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? ☒ No ☐ Yes

If no, list the name and address of the person(s) who will: Rachel Wiesner, General Manager

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

d) Does anyone else have money invested or any other interest in this business? ☒ No ☐ Yes

If yes, explain: _____

e) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?

☒ No ☐ Yes If yes, list name and address: _____

f) Will any of the following types of businesses be conducted at this location? (check all that apply)

- ☐ Bed & Breakfast ☐ Billiard/Pool Hall ☐ Comedy Club ☐ Indoor Golf Facility
☐ Video Game Center(6 or more games) ☐ Brew Pub ☐ Volleyball Court ☐ Theater ☐ Wine Tasting Room
☐ Department Store ☐ Pharmacy ☐ Gift Shop ☐ Museum ☐ Center for the Visual & Performing Arts

g) If applying for Class B or C license, are you applying for "Service Bar Only"? ☐ No ☒ Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

17. Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or office to purchase must:

- Be in the same legal entity name as that apply for the license
- Reflect the same address as the premises address on this application
- Reflect current dates and
- Be signed by the lessor/seller and lease/buyer

18. Property Information (new & transfer applicants only)

- a) Do you own or lease the building? ☐ Own ☒ Lease
- b) Who owns the fixtures (for example, coolers, etc.)? Landlord + Tenant
- c) Are you purchasing the stock and/or fixtures? ☒ No ☐ Yes If yes, amount paid \$ _____
- d) Total amount paid for business \$ 0
- e) Total amount paid for goodwill of the business \$ 0

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

- f) Have you made arrangements with the seller for payment of personal property taxes? ☐ No ☒ Yes

19. Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins June 30, 2014 Ends June 30, 2024
- b) Monthly rental \$ 6% of Sales
- c) Do you have an option to renew the lease? ☐ No ☒ Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? ☒ No ☐ Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 10
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? ☒ No ☐ Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? ☒ No ☐ Yes
If yes, explain _____

20. Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? ☐ No ☐ Yes

If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

21. Notarized Signatures of Applicants**SUBSCRIBED AND SWORN TO BEFORE ME**

This 10th day of June, 2014

Barbara J. Phoebe
(Clerk/Notary Public)

My Commission Expires 3/22/15

*Notary Seal must be affixed.

[Signature]
Agent/Owner/Partner

Additional Owner/Partner

Note: All information contained in this application is subject to approval by the Common Council.
Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- ☐ Proof of ownership, lease or offer to purchase the building
- ☐ Detailed floor plan
- ☐ If a restaurant, copy of the menu

If you do not provide all required information, your application will be returned to you.



PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTARY APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license
e-mail address: license@milwaukee.gov

(1) TYPES OF ENTERTAINMENT (CHOOSE ALL THAT APPLY)

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Instrumental Musicians | <input checked="" type="checkbox"/> Bands | <input type="checkbox"/> Battle of the Bands | <input type="checkbox"/> Comedy Acts |
| <input type="checkbox"/> Disc Jockey | <input type="checkbox"/> Magic Shows | <input type="checkbox"/> Poetry Readings | <input type="checkbox"/> Dancing by Performers |
| <input type="checkbox"/> Adult Entertainment/
Strippers/Erotic Dance | <input type="checkbox"/> Wrestling | <input type="checkbox"/> Patron Contests | <input type="checkbox"/> Patrons Dancing |
| <input type="checkbox"/> Jukebox | <input type="checkbox"/> Karaoke | <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Pool Tables |
| <input type="checkbox"/> Motion Pictures | <input type="checkbox"/> Amusement Machines – | <input type="checkbox"/> Concerts | <input type="checkbox"/> Theatrical Performances |
| How many? _____ | How many? _____ | Approx. # per year? _____ | Approx. # per year? _____ |
| <input type="checkbox"/> Other: _____ | | | |

(2) WILL PROMOTERS EVER BE USED FOR ANY OF THE ENTERTAINMENT?

☒ No ☐ Yes, describe: _____

(3) LEGAL CAPACITY OF PREMISES

400 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.) Your legal capacity will determine the license fee for your Public Entertainment Premise License. If you would like to request that the license be approved with a lower capacity than that listed above, indicate lower capacity _____. If approved, this lower capacity will print on your license and override the capacity listed on your Occupancy Permit.

(4) IDENTIFY IF SOUND AMPLIFICATION IS USED

☒ No ☐ Yes, describe: _____

(5) DECLARATIONS, ACKNOWLEDGEMENTS, AND DISCLOSURES

- The undersigned understands that after the license has been issued, a change to the plan of operation will require a written request to change and approval from the Common Council.
- The undersigned agrees to inform the City Clerk within 10 days of any substantial changes in the information supplied in this application.
- The undersigned understands that applicants shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.
- The undersigned has knowledge of the City Ordinances currently regulating the public entertainment, and understands that the license may be subject to suspension, non-renewal or revocation, if the applicant violates any rule, law or regulation of the city of Milwaukee and State of Wisconsin.

(6) NOTARIZED SIGNATURES OF APPLICANTS

SUBSCRIBED AND SWORN TO BEFORE ME

This 10th day of June, 20 14

Barbara J. Hocking
(Clerk/Notary Public)

My Commission Expires 3/22/15

*Notary Seal must be affixed.

[Signature]
Agent/Owner/Partner

[Signature]
Additional Owner/Partner

Office Use Only: Initials: _____ Filed: _____ App #: _____ Permit #: _____ Granted: _____ Issued: _____

4 → 2


$$200 \times 80 = 16,000.$$

200'-0"

40'-0"
TYP.

80'-0"
40'-0" TYP.

MAIN DINING

80' - 9"

Serve Alcohol

Seve

Alok

ENTRY
1111

Gallareia

$$200 \times 40 = 8,000 \text{ ₪}$$

Storage. 160 中

FLOOR PLAN

BRG 777 E WISCONSIN, LLC |

D/B/A DOWNTOWN KITCHEN
John M Wise, Agent
777 E. WISCONSIN AVE

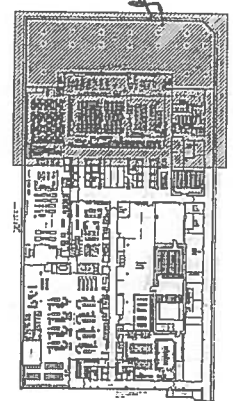
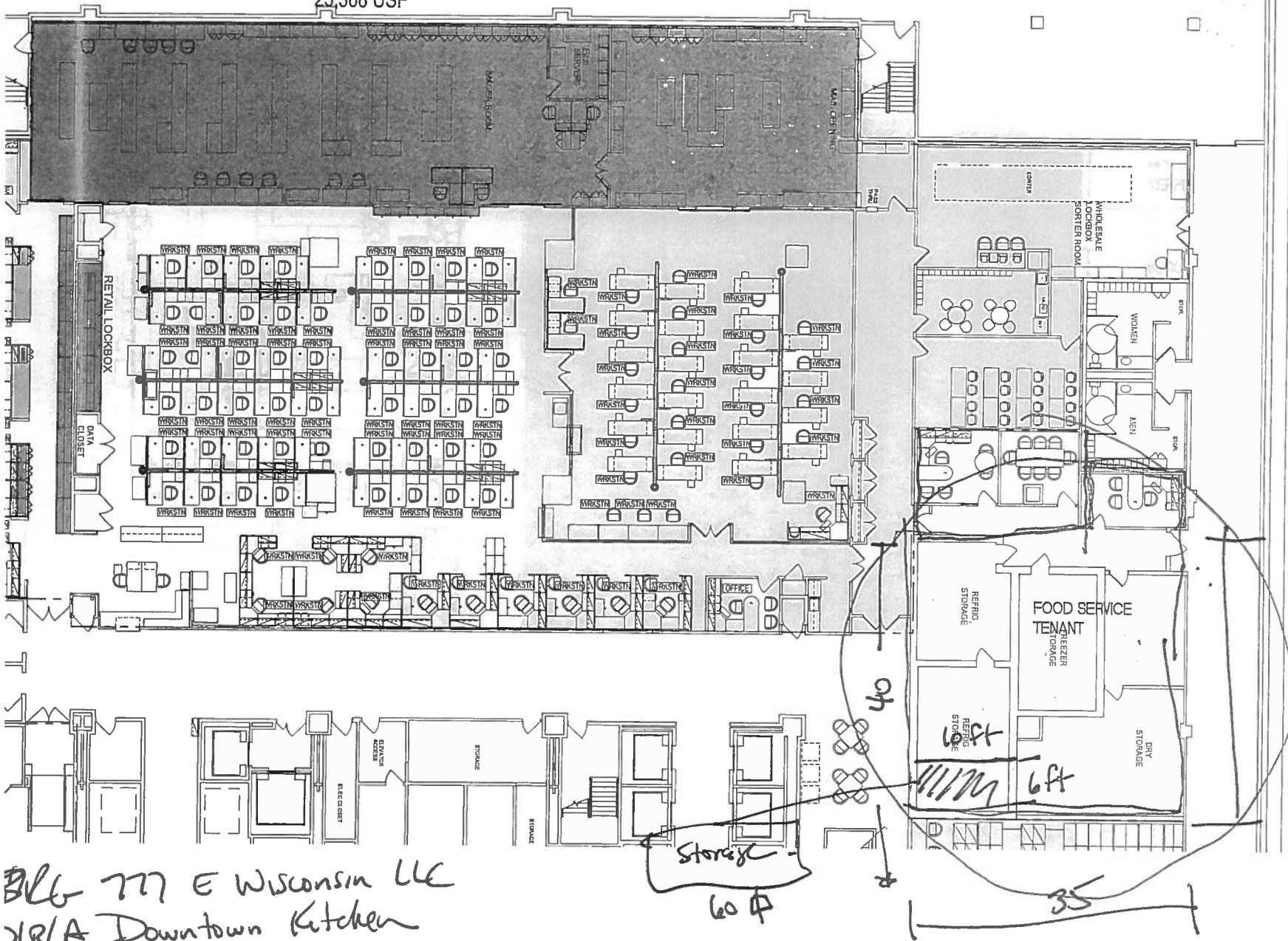
US BANK GALLERIA
777 EAST WISCONSIN AVENUE

Kahler Slater
experience design

2000 ϕ

TECHNOLOGY OPERATIONS SERVICES -
TECHNOLOGY OPERATIONS
23,368 USF

EXHIBIT
Approx 2000 ϕ



- WORK SPACE
- 02 PRIVATE OFFICES
 - 105 WORKSTATIONS
 - 107 TOTAL WORKSPACE
- VACANT WORK SPACE
- 00 PRIVATE OFFICES
 - 00 HOTEL OFFICES
 - 00 BRANCH WORKSTATIONS
 - 00 WORKSTATIONS
 - 00 TOTAL VACANT WORKSPACE

Bldg 777 E Wisconsin LLC
X/R/A Downtown Kitchen
Leased John Wise
777 E Wisconsin 12/10/14

