



WISCONSIN LUTHERAN COLLEGE STUDENT HOUSING



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DPD SUBMITTAL

07/18/2013

PROJECT NUMBER: 7-13033

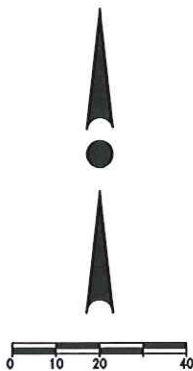
PLAT OF SURVEY WITH TOPOGRAPHIC DATA



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8811



12700 W. EASTMAN AVE.
BROOKFIELD, WI 53005
PHONE: (262) 780-1551
FAX: (262) 780-1551
EMAIL: info@trioeng.com



NOTES:

- TAX KEY NO. OF SUBJECT PARCEL: 408-0301-000, 408-0302-000, 408-0322-000 & 408-0323-000.
- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE S.W. 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 21 EAST, BEARS N86°38'29"E. ALL ELEVATIONS ARE REFERENCED TO CITY OF MILWAUKEE DATUM.
- THE SURVEYOR TAKES NO RESPONSIBILITY FOR THE EXISTENCE OF ANY UNDERGROUND STRUCTURES OR ANY BURIED MATERIALS HAZARDOUS OR SAFE IN NATURE SUCH AS BUT NOT LIMITED TO FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, PETROLEUM PRODUCTS OR OTHER MATERIALS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. FOR ADDITIONAL INFORMATION PLEASE REFER TO A CURRENT TITLE POLICY OR OTHER RELATED REAL ESTATE DOCUMENTS THAT WOULD PERTAIN TO SAID LIST AND ITS RESPECTIVE LOCATION. FOR ANY UTILITIES NOT SHOWN ON THIS "SURVEY" OR "MAP" OR "EXHIBIT" AND OF WHICH IS REQUIRED, IT IS RECOMMENDED THAT DIGGERS HOTLINE BE CALLED, AND AT WHICH POINT WHEN PUBLIC UNDERGROUND UTILITY LOCATIONS ARE FLAGGED, THE SURVEYOR IS NOT RESPONSIBLE FOR UTILITIES LEFT UNMARKED. ALSO NOTE THAT DIGGERS HOTLINE IS NOT RESPONSIBLE FOR MARKING PRIVATE UTILITIES.
- ALL EXISTING BUILDINGS, WALKS, PAVEMENT, ETC., LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT WILL BE RAZED.

LEGAL DESCRIPTION:

LOT 1, CERTIFIED SURVEY MAP NO. _____, SAID MAP BEING A CONSOLIDATION OF LOTS 1, 2, 3, 40, 41 AND 42 AND ADJACENT VACATED ALLEY, BLOCK 1, IN "HOMESITE" SUBDIVISION, BEING LOCATED IN A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

NOTE: THE CERTIFIED SURVEY MAP COMBINING THE SUBJECT PARCELS HAS BEEN SUBMITTED AND IS IN THE APPROVAL PROCESS WITH THE CITY OF MILWAUKEE AS OF THE DATE OF THIS SURVEY.

SURVEYOR'S CERTIFICATE:

I have surveyed the above described property and the map hereon is a true representation thereof, and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, and roadways, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage or guarantee title thereto within one year from the date hereof.

Dated this 14th day of JUNE 20 13.



Grady L. Gosser
Grady L. Gosser, R.L.S.
Registered Land Surveyor S-2972

PROJECT INFORMATION

Wisconsin Lutheran
College Student
Housing

N. 89th Street &
W. Wisconsin Avenue
City of Milwaukee, WI



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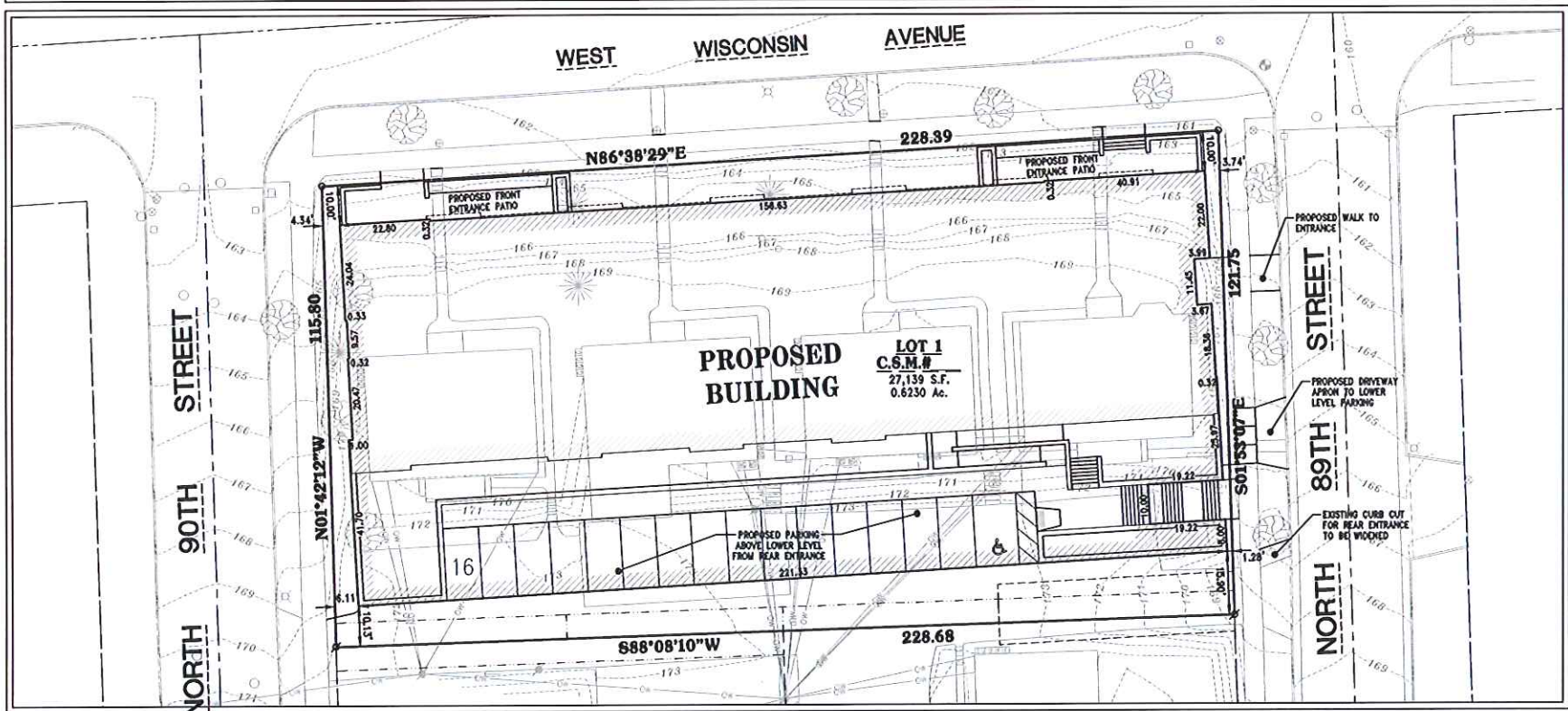
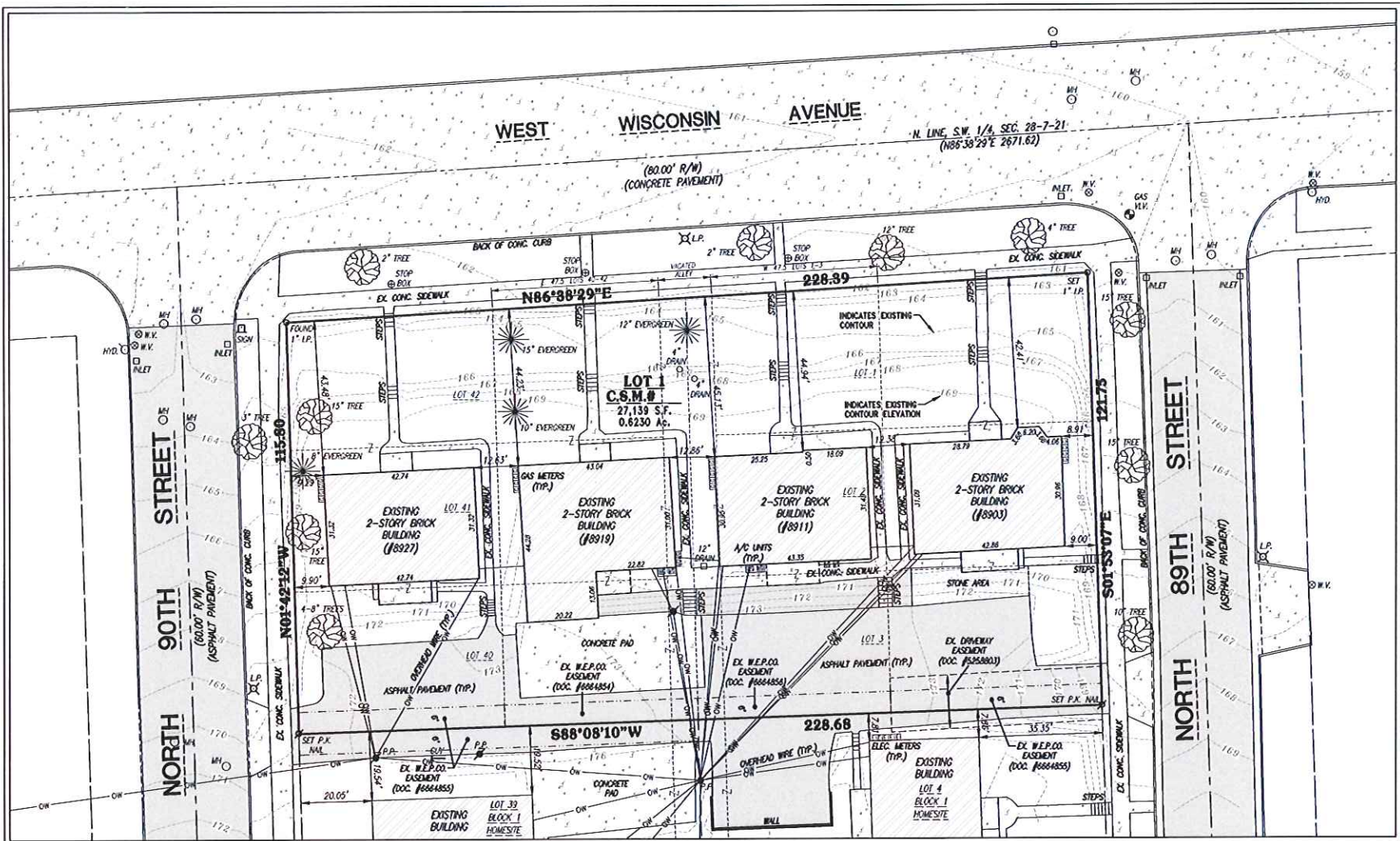
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EXISTING CONDITIONS

PROPOSED CONDITIONS



Wisconsin Lutheran College Student Housing PLAT OF SURVEY

PROJECT NOTES

EXISTING CONDITIONS AND DEMOLITION NOTES:

1. CONTRACTOR TO FIELD VERIFY EXISTING SITE PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE OR DEMOLISH ANY OTHER ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

SITE NOTES:

1. THE PROPOSED CIVIL PLANS ILLUSTRATE SITE IMPROVEMENTS ASSOCIATED WITH THE NEW BUILDING CONSTRUCTION. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

GRADING AND EROSION CONTROL NOTES:

1. SEE PLANS FOR EROSION CONTROL DETAILS & CONSTRUCTION SEQUENCE.
2. THE PROPOSED BUILDING PROJECT WILL DISTURB APPROXIMATELY 0.6 ACRES OF LAND; THEREFORE, WDNR NR 151 AND NR 216 PERMITTING REQUIREMENTS ARE NOT APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY CONSTRUCTION SITE AND/OR EROSION CONTROL PERMITS FROM THE CITY OF MILWAUKEE.

UTILITY NOTES:

1. OWNER AND CONTRACTOR TO COORDINATE WITH UTILITY COMPANY REGARDING OVERHEAD UTILITY LINE PROTECTION AND/OR RELOCATION ALONG SOUTH SIDE OF PROPERTY.
2. CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. CONTRACTOR SHALL PROVIDE NOTIFICATION TO UTILITY OWNERS (INCLUDING SEWER AND WATER) AT LEAST 72 HOURS PRIOR TO EXCAVATION.
4. ALL PROPOSED SANITARY SEWER SHALL BE SDR-35 PVC. ALL PROPOSED WATERMAIN PIPE SHALL BE PIPE DIAMETER OF 6" OR GREATER AND PER CITY SPECIFICATIONS.
5. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
6. SEE PLANS FOR ADDITIONAL UTILITY SPECIFICATIONS AND DETAILS.
7. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM 5 FEET FROM THE EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION (OR AS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER).

LANDSCAPE NOTES:

1. CONTRACTOR SHALL SEED, FERTILIZE AND MULCH LAWN AREAS AND DISTURBED AREAS AFTER COMPLETION OF CONSTRUCTION.



LOCATION MAP

Not To Scale

LEGEND	
---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
---	EXISTING WATER MAIN
○	EXISTING HYDRANT
---	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
□	EXISTING TRANSFORMER
□	EXISTING ELECTRIC PEDESTAL
□	EXISTING TELEPHONE PEDESTAL
□	EXISTING CATV PEDESTAL
□	EXISTING GAS PEDESTAL
□	EXISTING A/C UNIT
□	EXISTING POWER POLE
---	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
○	PROPOSED HYDRANT
---	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET



AERIAL IMAGE (EXISTING SITE)

Not To Scale

CIVIL PLAN SET	
SHEET NO.	DESCRIPTION
T100	TITLE SHEET (CIVIL)
C100	EXISTING SITE & DEMOLITION PLAN
C101	PROPOSED SITE PLAN
C102	PROPOSED GRADING PLAN
C103	PROPOSED UTILITY PLAN
C104	PROPOSED EROSION CONTROL PLAN

PROJECT INFORMATION

Wisconsin Lutheran
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Wisconsin Lutheran College Student Housing

TITLE SHEET (CIVIL)





EXISTING SITE DATA

LOT AREA:	27,139 S.F. (0.623 Acres)
EXISTING PAVEMENT	5,532 S.F. (0.127 Acres)
EXISTING SIDEWALK & CONCRETE	4,602 S.F. (0.106 Acres)
EXISTING BUILDING	5,651 S.F. (0.13 Acres)
TOTAL IMPERVIOUS AREA:	15,785 S.F. (0.362 Acres) [58.16% of Site]
TOTAL OPEN SPACE:	11,354 S.F. (0.261 AC.) [41.84% of Site]

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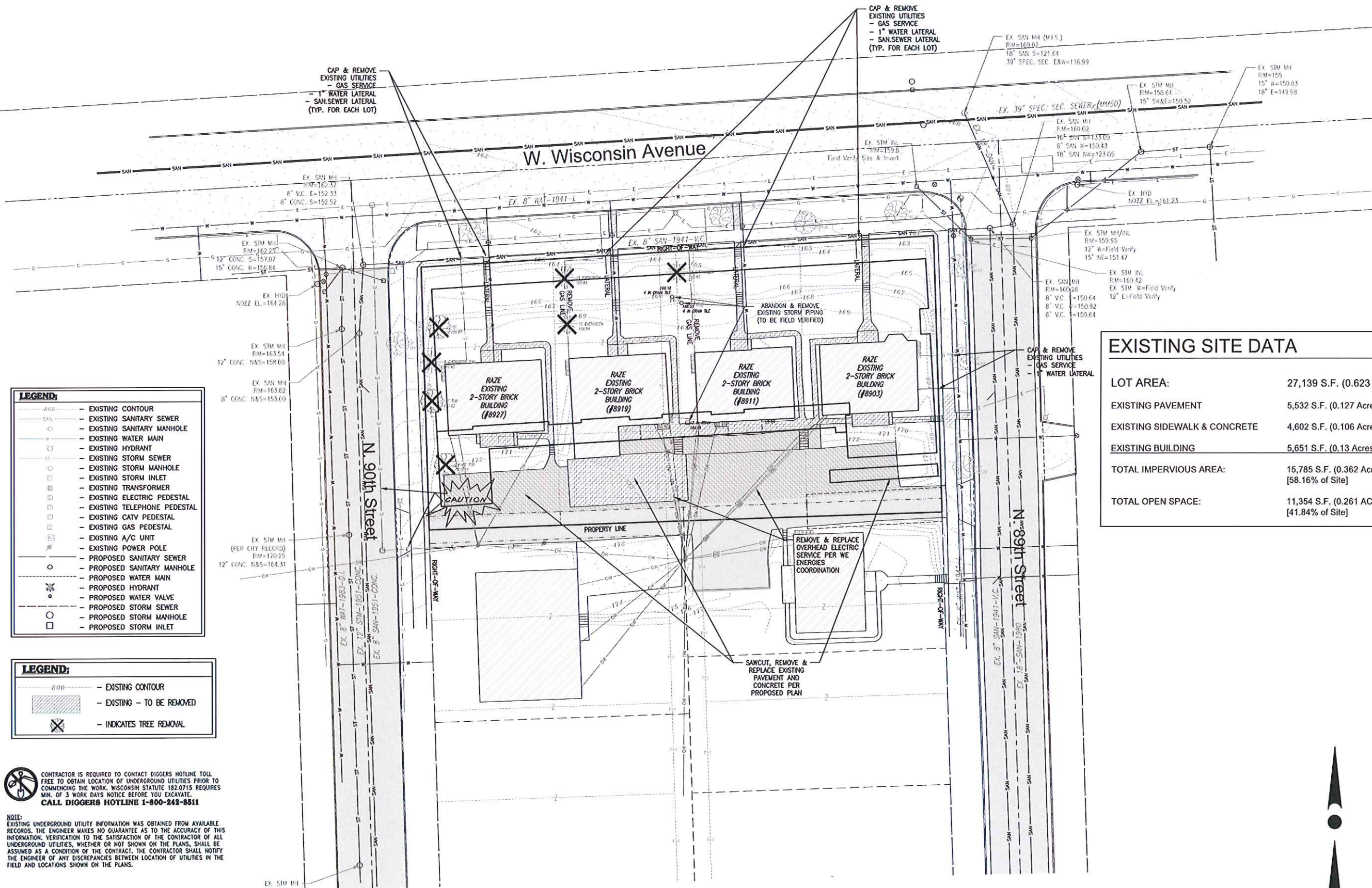


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LEGEND:	
---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
---	EXISTING SANITARY MANHOLE
---	EXISTING WATER MAIN
---	EXISTING HYDRANT
---	EXISTING STORM SEWER
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING TRANSFORMER
---	EXISTING ELECTRIC PEDESTAL
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING CATV PEDESTAL
---	EXISTING GAS PEDESTAL
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---	PROPOSED WATER MAIN
---	PROPOSED HYDRANT
---	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
---	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET

LEGEND:	
---	EXISTING CONTOUR
---	EXISTING - TO BE REMOVED
---	INDICATES TREE REMOVAL

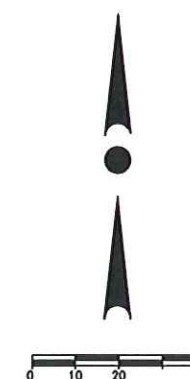
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NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



Wisconsin Lutheran College Student Housing

EXISTING SITE & DEMOLITION PLAN





SITE DATA

LOT AREA:	27,139 S.F. (0.623 Acres)
(EXPOSED) SECOND FLOOR BUILDING FOOTPRINT:	14,526 S.F. (0.333 Acres) [53.52% of Lot]
FIRST FLOOR BUILDING FOOTPRINT: (with underground parking below terrace)	21,145 S.F. (0.485 Acres) [77.91% of Lot]
PROPOSED SIDEWALK & PATIO: (Outside exposed building footprint)	3,149 S.F. (0.072 Acres) [11.60% of lot]
PROPOSED PAVEMENT: (Outside exposed building footprint)	4,085 S.F. (0.094 Acres) [15.05% of lot]
EXISTING PAVEMENT TO REMAIN:	1,589 S.F. (0.037 Acres)
TOTAL IMPERVIOUS AREA:	23,349 S.F. (0.536 Acres) [86.03% of Lot]
NET INCREASE:	7,564 S.F. (0.174 Acres)
TOTAL OPEN SPACE:	3,790 S.F. (0.087 Acres) [13.97% of Lot]
SURFACE PARKING SPACES:	16 SPACES
UNDERGROUND PARKING SPACES:	37 SPACES
TOTAL PARKING COUNT:	53 SPACES

STORM WATER MANAGEMENT is not required per MMSD and City requirements because the total land disturbance is less than 1 acre and no additional impervious area of 0.5 acres or more is added.

PROJECT NOTES

- ONE MULTI-LEVEL BUILDING:
- RESIDENTIAL UNITS = 54 UNITS
 - FIRST FLOOR CLASSROOMS = 3 CLASSROOMS
 - COMMON AREAS: INTERNAL
 - REFUSE COLLECTION: INTERNAL
 - REFER TO ARCHITECTURAL PLANS FOR DETAILED INFORMATION.

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W. Wisconsin Avenue

N. 90th Street

N. 89th Street

PROPOSED BUILDING

FIRST FLOOR PLAN

(W. WISCONSIN AVE. ACCESS FOR LOWER LEVEL)
SCALE: 1"=50' (FULL SIZE)

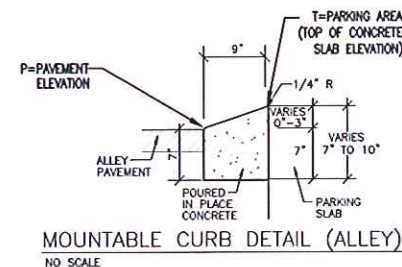
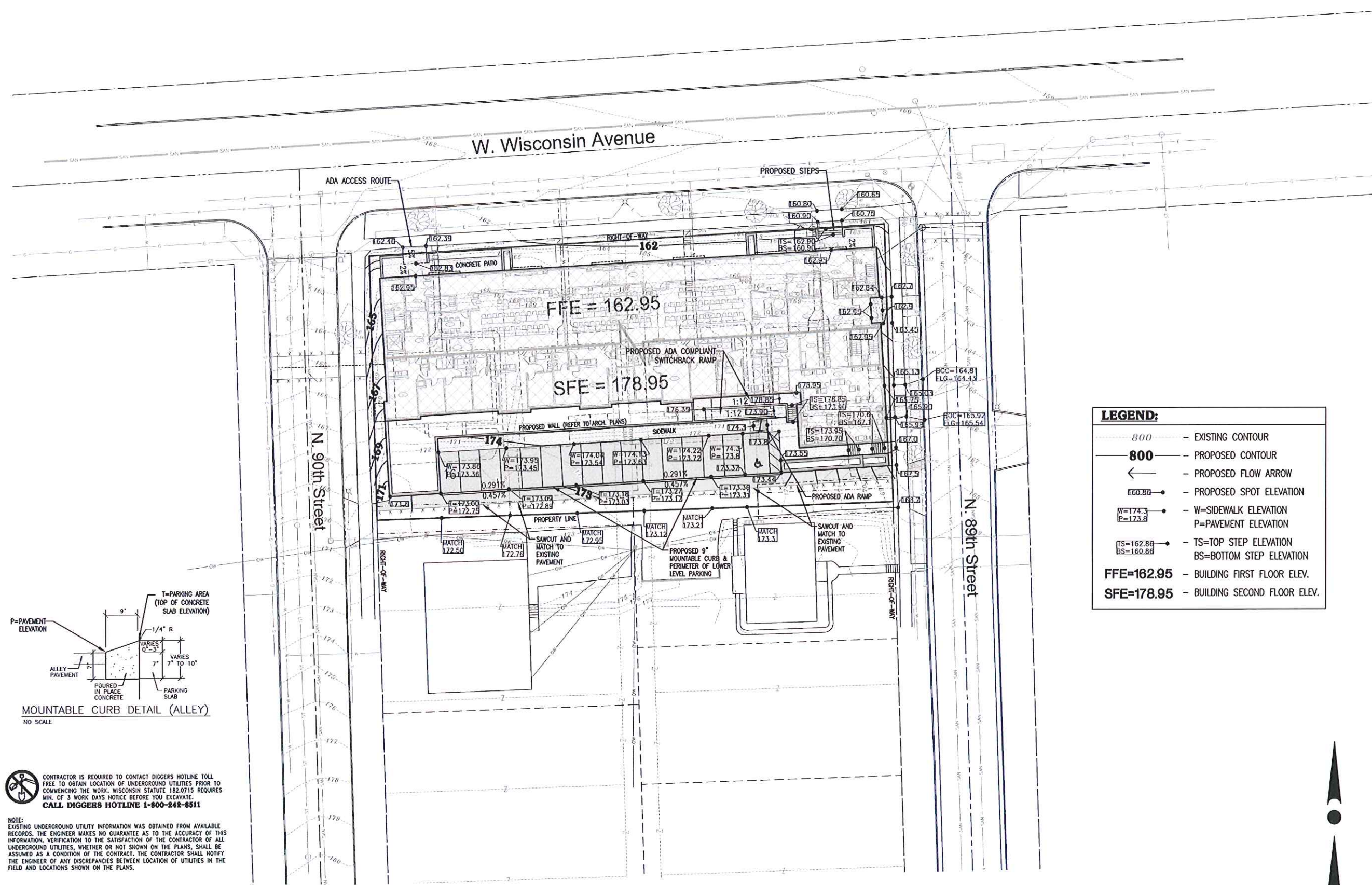
SECOND FLOOR PLAN


(SOUTH ACCESS FOR SECOND LEVEL)
SCALE: 1"=50' (FULL SIZE)

Wisconsin Lutheran College Student Housing

PROPOSED SITE PLAN






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CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



Wisconsin Lutheran College Student Housing

PROPOSED GRADING PLAN

LEGEND:	
800	- EXISTING CONTOUR
800	- PROPOSED CONTOUR
	- PROPOSED FLOW ARROW
160.88	- PROPOSED SPOT ELEVATION
W=174.3 P=173.8	- W=SIDEWALK ELEVATION P=PAVEMENT ELEVATION
TS=162.88 BS=160.88	- TS=TOP STEP ELEVATION BS=BOTTOM STEP ELEVATION
FFE=162.95	- BUILDING FIRST FLOOR ELEV.
SFE=178.95	- BUILDING SECOND FLOOR ELEV.

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LEGEND:	
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
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CALL DIGGERS HOTLINE 1-800-248-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



Wisconsin Lutheran College Student Housing

PROPOSED UTILITY PLAN

SANITARY SEWER & WATERMAIN NOTES

SANITARY SEWER

- ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWCW).
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER LATERALS.
- INSTALLATION, MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE SPECIFICATIONS.

WATERMAIN

- ALL 6" PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE DUCTILE IRON MEETING CITY OF MILWAUKEE PLUMBING SPECIFICATIONS.
- ALL WATERMAINS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSSWCW).
- BLUE TRACER WIRE IS REQUIRED FOR ALL WATERMAIN LATERALS.

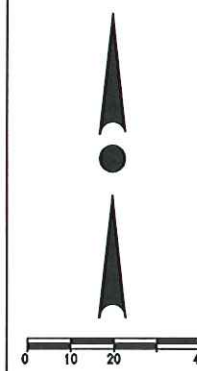
TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COMM 82.30(11)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

STORM SEWER NOTES

STORM SEWER

- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3024, SDR 35. SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- PUBLIC STORM SEWER SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE CONFORMING TO ASTM F2306 AND AASHTO M-294, CURRENT ADDITIONS, AND ALL APPLICABLE CITY OF MILWAUKEE SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER COMM 82 AND CITY OF MILWAUKEE SPECIFICATIONS AND REQUIREMENTS.



PROJECT INFORMATION

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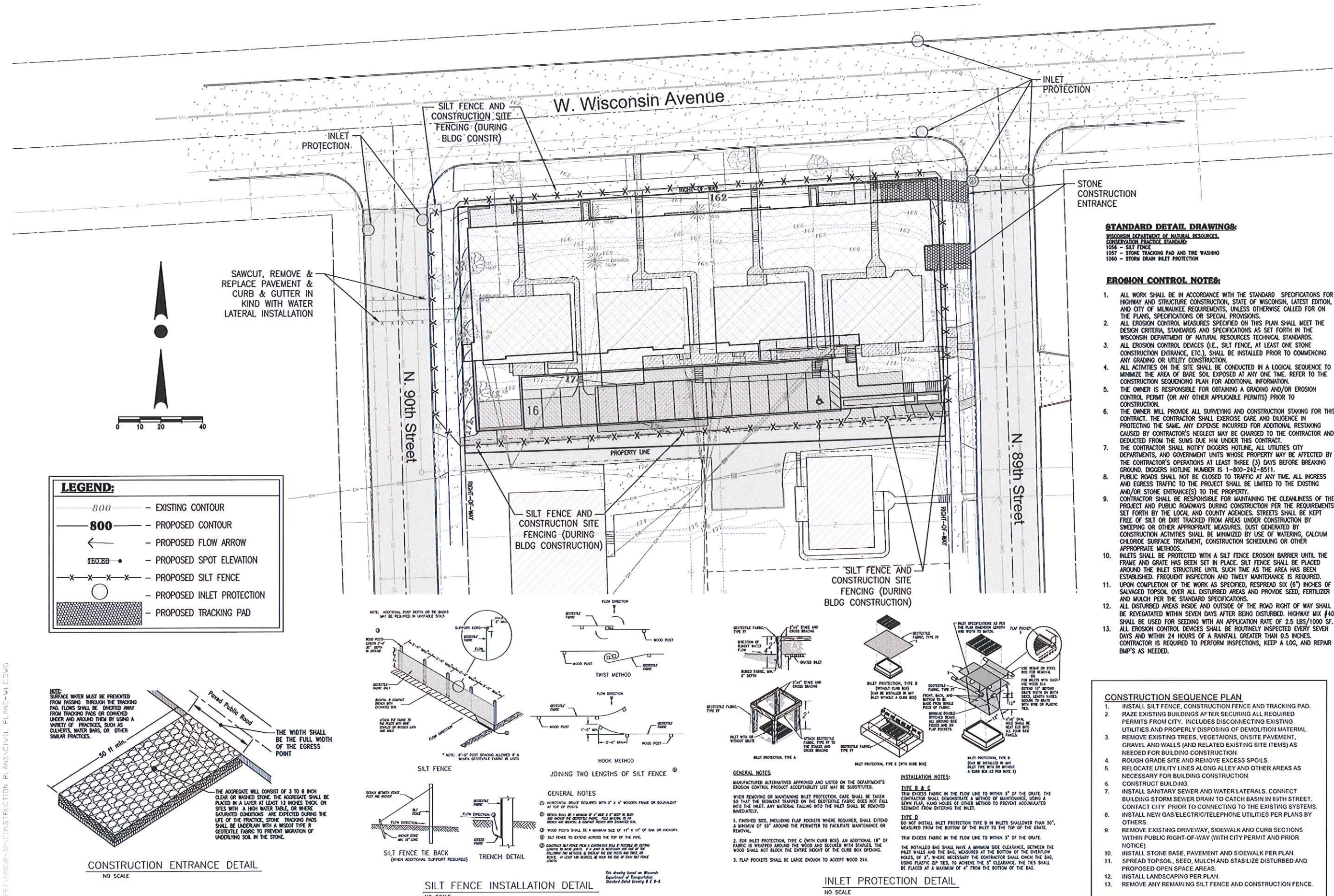


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4:\C\2017-2018\2018-2019\CONSTRUCTION PLANS\CIVIL PLANS-WLC.DWG



STANDARD DETAIL DRAWINGS:
WISCONSIN DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION PRACTICE STANDARD:
1058 - SILT FENCE
1057 - STONE TRACKING PAD AND TIRE WASHING
1060 - STORM DRAIN INLET PROTECTION

EROSION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, AND CITY OF MILWAUKEE REQUIREMENTS, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
2. ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, AT LEAST ONE STONE CONSTRUCTION ENTRANCE, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION.
4. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
6. THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, ALL UTILITIES CITY DEPARTMENTS, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
8. PUBLIC ROADS SHALL NOT BE CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE EXISTING AND/OR STONE ENTRANCE(S) TO THE PROPERTY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
10. INLETS SHALL BE PROTECTED WITH A SILT FENCE EROSION BARRIER UNTIL THE FRAME AND GRATE HAS BEEN SET IN PLACE. SILT FENCE SHALL BE PLACED AROUND THE INLET STRUCTURE UNTIL SUCH TIME AS THE AREA HAS BEEN ESTABLISHED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
11. UPON COMPLETION OF THE WORK AS SPECIFIED, RESURFACING SIX (6") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
12. ALL DISTURBED AREAS INSIDE AND OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED. HIGHWAY MIX #40 SHALL BE USED FOR SEEDING WITH AN APPLICATION RATE OF 2.5 LBS/1000 SF.
13. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.

CONSTRUCTION SEQUENCE PLAN

1. INSTALL SILT FENCE, CONSTRUCTION FENCE AND TRACKING PAD.
2. RAZE EXISTING BUILDINGS AFTER SECURING ALL REQUIRED PERMITS FROM CITY. INCLUDES DISCONNECTING EXISTING UTILITIES AND PROPERLY DISPOSING OF DEMOLITION MATERIAL.
3. REMOVE EXISTING TREES, VEGETATION, ON-SITE PAVEMENT, GRAVEL AND WALLS (AND RELATED EXISTING SITE ITEMS) AS NEEDED FOR BUILDING CONSTRUCTION.
4. ROUGH GRADE SITE AND REMOVE EXCESS SPOILS.
5. RELOCATE UTILITY LINES ALONG ALLEY AND OTHER AREAS AS NECESSARY FOR BUILDING CONSTRUCTION.
6. CONSTRUCT BUILDING.
7. INSTALL SANITARY SEWER AND WATER LATERALS. CONNECT BUILDING STORM SEWER DRAIN TO CATCH BASIN IN 89TH STREET. CONTACT CITY PRIOR TO CONNECTING TO THE EXISTING SYSTEMS.
8. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS.
9. REMOVE EXISTING DRIVEWAY, SIDEWALK AND CURB SECTIONS WITHIN PUBLIC RIGHT-OF-WAY (WITH CITY PERMIT AND PRIOR NOTICE).
10. INSTALL STONE BASE, PAVEMENT AND SIDEWALK PER PLAN.
11. SPREAD TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AND PROPOSED OPEN SPACE AREAS.
12. INSTALL LANDSCAPING PER PLAN.
13. REMOVE ANY REMAINING SILT FENCE AND CONSTRUCTION FENCE.

NOTE THAT CONSTRUCTION MANAGER MAY MODIFY THIS SEQUENCE PLAN TO BEST SUIT THE NEEDS OF THE PROJECT.

PROJECT INFORMATION

Wisconsin Lutheran
College Student
Housing

N. 89th Street &
W. Wisconsin Avenue
City of Milwaukee, WI



eppstein uhen : architects

07/18/13

13033-01

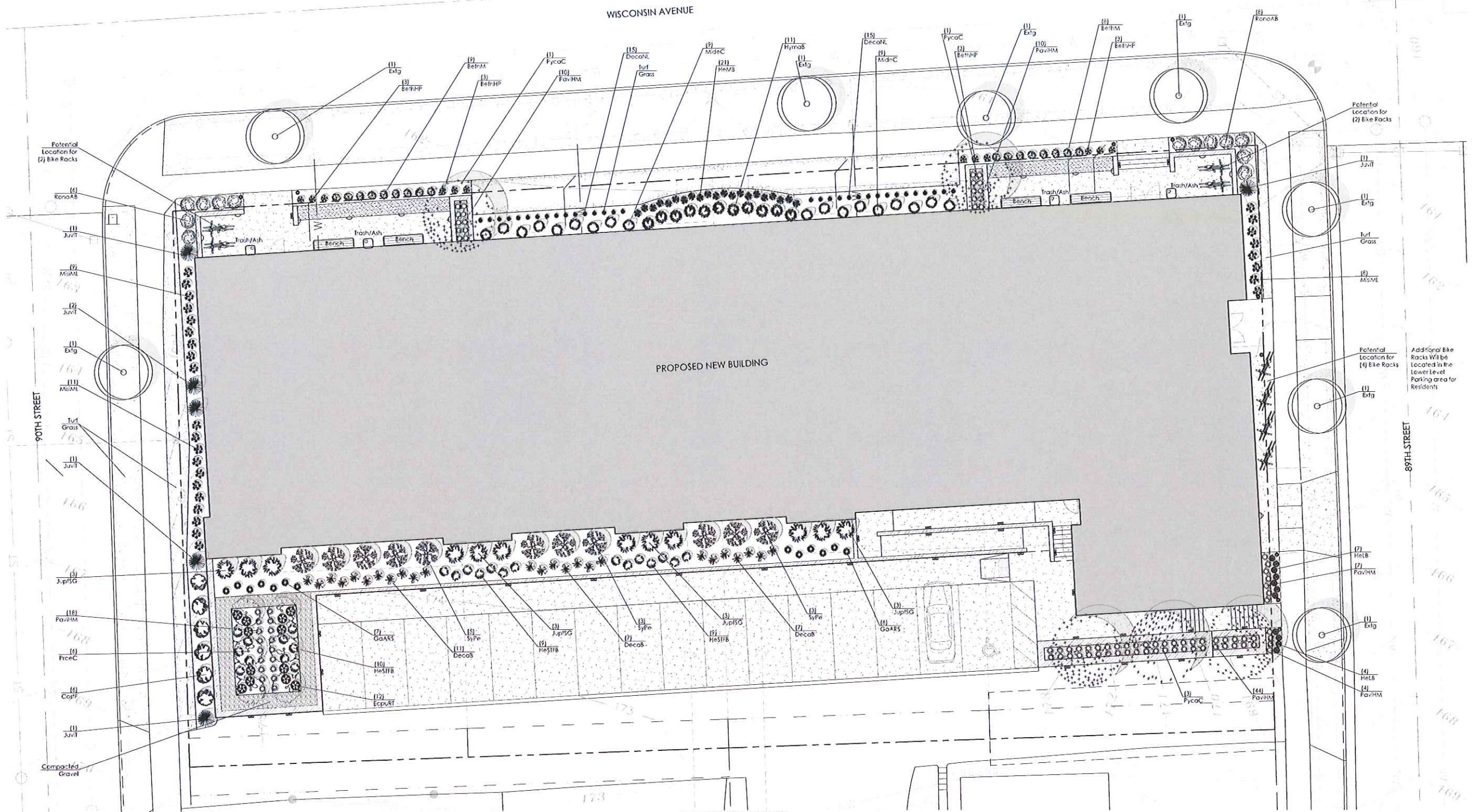
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Wisconsin Lutheran College Student Housing

EROSION CONTROL PLAN

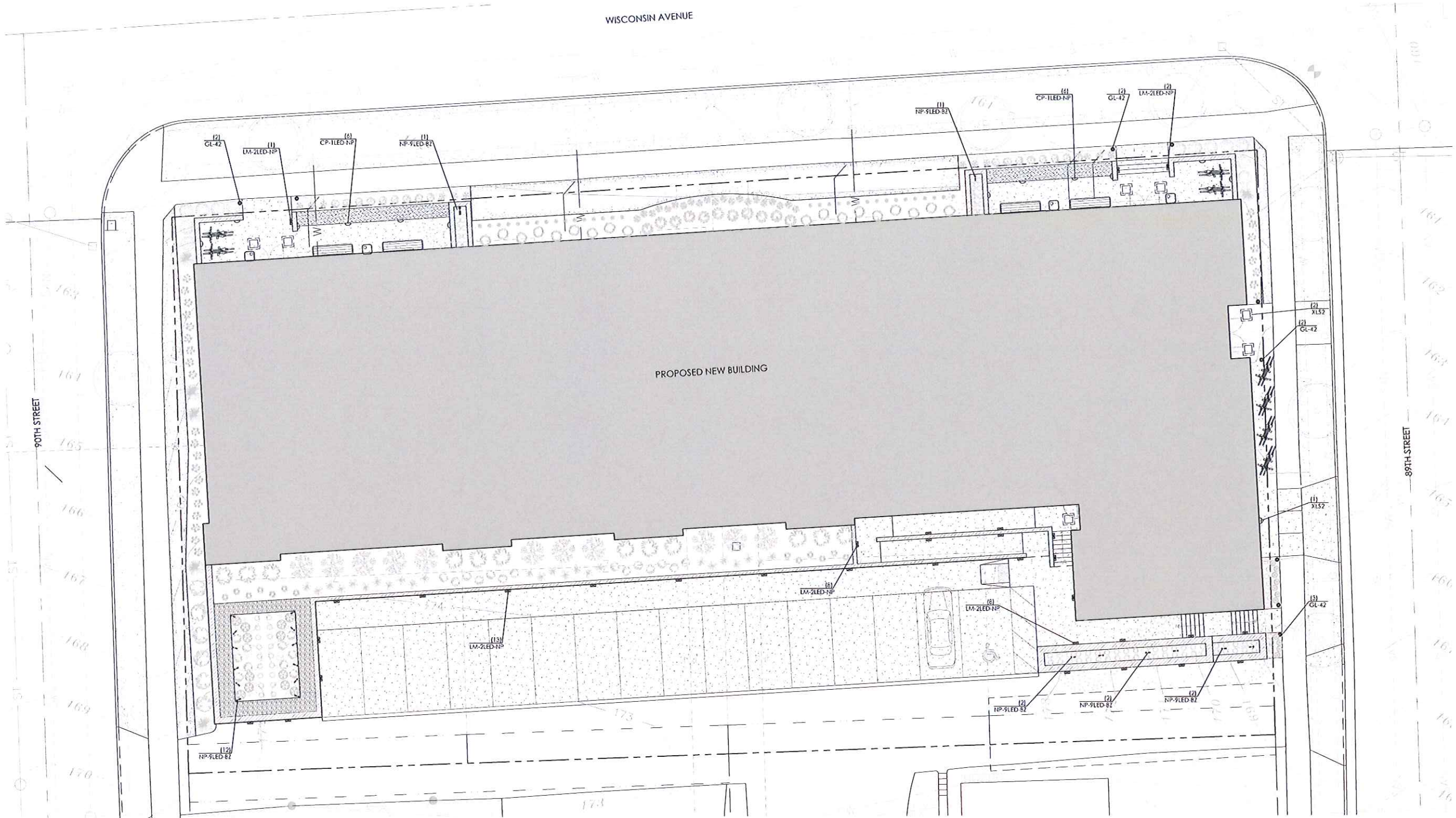


Wisconsin Lutheran College Student Housing OVERALL LANDSCAPE PLAN



Broadleaf Deciduous Tree					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
6	FycoC		Prunus cerasifera 'Cipriani'	Crimson Pointe Flowering Plum	1 1/2' Cal - B&B
5	FycoC		Fyrus californiana 'Chanticleer'	Chanticleer Pear	3' Cal - B&B
-	Exlg		Existing	Existing	Existing
Conifer Evergreen Tree					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
6	JuviT		Juniperus virginiana taylor	Taylor Redcedar	7' - B&B
Broadleaf Deciduous Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
12	BethHP		Berberis thunbergii 'Hermon Pillar'	Hermon Pillar Barberry	18" - Cont
17	BethHP		Berberis thunbergii 'Moria'	Sunjoy Gold Pillar Barberry	18" - Cont
6	CorF		Cornus stolonifera 'Tanow'	Arctic Fire Red Twig Dogwood	18" - 24" - Cont
11	HymaB		Hydrangea macrophylla 'Bernier'	Let's Dance Big Easy Hydrangea	18" - 24" - Cont
13	RonoAB		Rosa x 'Noamel'	Power Carpet Appleblossom Rose	18" - Cont
11	SyPe		Syringa x 'Penda'	Blooming Purple Blac	18" - 24" - B&B

Conifer Evergreen Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
12	JupISG		Juniperus x pfitzeriana 'Monsan'	Sea of Gold Juniper	18" - 24" - B&B
18	MideC		Microbiota decussata 'Conew'	Drew's Blue™ Siberian Carpet Cypress	18" - 24" - B&B
Perennial Grass					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
32	DecoNL		Deschampsia caespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	1-Gal - Cont
25	DecoB		Deschampsia caespitosa 'Bronze Scheeler'	Bronze Veil Tuft Hair Grass	1-Gal - Cont
28	MISAL		Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	1-Gal - Cont
93	PavHM		Panicum virgatum 'Heavy Metal'	Blue Switch Grass	1-Gal - Cont
Perennial					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
12	EcpuRT		Echinacea purpurea 'Raspberry Tart'	Raspberry Tart Coneflower	1-Gal - Cont
13	GoARS		Gaillardia x 'Arizona Red Shades'	Arizona Red Shades Blanket Flower	1-Gal - Cont
11	HeLB		Hemerocallis x 'Little Business'	Little Business Dwarf Daylily	1-Gal - Cont
21	HeMB		Heuchera x 'Midnight Bayou'	Midnight Bayou Coral Bells	1-Gal - Cont
24	HeSTFB		Heuchera 'Sweet Tea'	Sweet Tea Foamy Bells	1-Gal - Cont



Line Voltage Lighting Schedule

Quantity	Code Name	Symbol	Description
1	G53		LSI LED Greenbriar Wall Sconce (KG53W-3). 48 LED Wall Sconce w/ a WT Distribution at the overhead door location. Light color: Cool White. Optional Integral Motion Sensor. Refer to cut sheets for further information and installation instructions.
7	XLS2 at Exit Door Canopy Locations		LSI LED Soffit Light (XLS2). 50 LED recessed soffit light with Type S Light Output / Distribution. Light color: Cool White. Color to match Canopy. Refer to cut sheets for further information and installation instructions.
9	GL-2LED-NP		LSI Greentree Hyperion Series Bollard with a 70 Watt Ceramic Metal Halide Lamp. 42" tall with a flat top and Platinum Plus finish. provide FC 120, 120 Volt Photocell and HSS House Side Shielding as required. Refer to cut sheets for further information and installation instructions.

Low Voltage Lighting Schedule

Quantity	Code Name	Symbol	Description
20	NP-5LED-B2		FX-Luminaire NutPorterake (NP) Up-light w/ 9 LED & bronze finish w/ Variable Height Riser & Super Spike. Refer to cut sheets for further information and installation instructions.
32	LM-2LED-NP		FX-Luminaire LouverMaxima (LM) recessed wall light w/ 2 LED & nickel plate finish. Optional Amber lens included. Refer to cut sheets for further information and installation instructions.
12	CP-1LED-NP		FX-Luminaire CP recessed wall light w/ 1 LED & nickel plate finish. Optional Amber lens included. Refer to cut sheets for further information and installation instructions.
3	Transformer		FX-Luminaire LX 300 watt transformer w/ Stainless Steel finish. Refer to cut sheets for further information and installation instructions. location to be determined.
	Pipe Sleeve and Cable		Approximate locations for pipe sleeve and cabling.



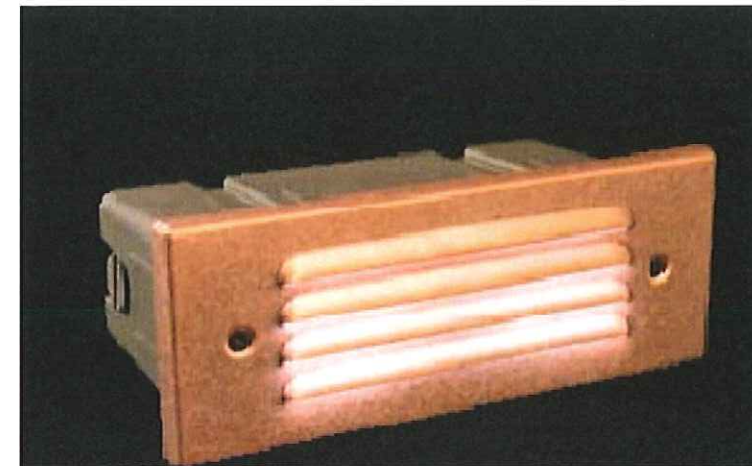
1 GREENBRIAR WALL SCONCE @ OVERHEAD DOOR LOCATION (LINE VOLTAGE)



2 FX-LUMINARE NUITPARTENAIRE (NP) LED UP-LIGHT (LOW VOLTAGE)



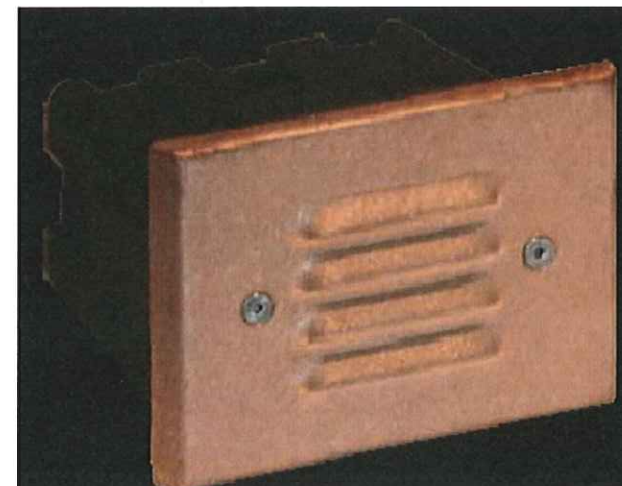
3 SOFFIT LIGHT AT CANOPY LOCATION (LINE VOLTAGE)



4 FX-LUMINARE LOUVERMASSIMO (LM) RECESSED LED WALL LIGHT (LOW VOLTAGE)



5 GREENLEE HYPERION SERIES BOLLARD (LINE VOLTAGE)



6 FX-LUMINARE CP RECESSED LED WALL LIGHT (LOW VOLTAGE)



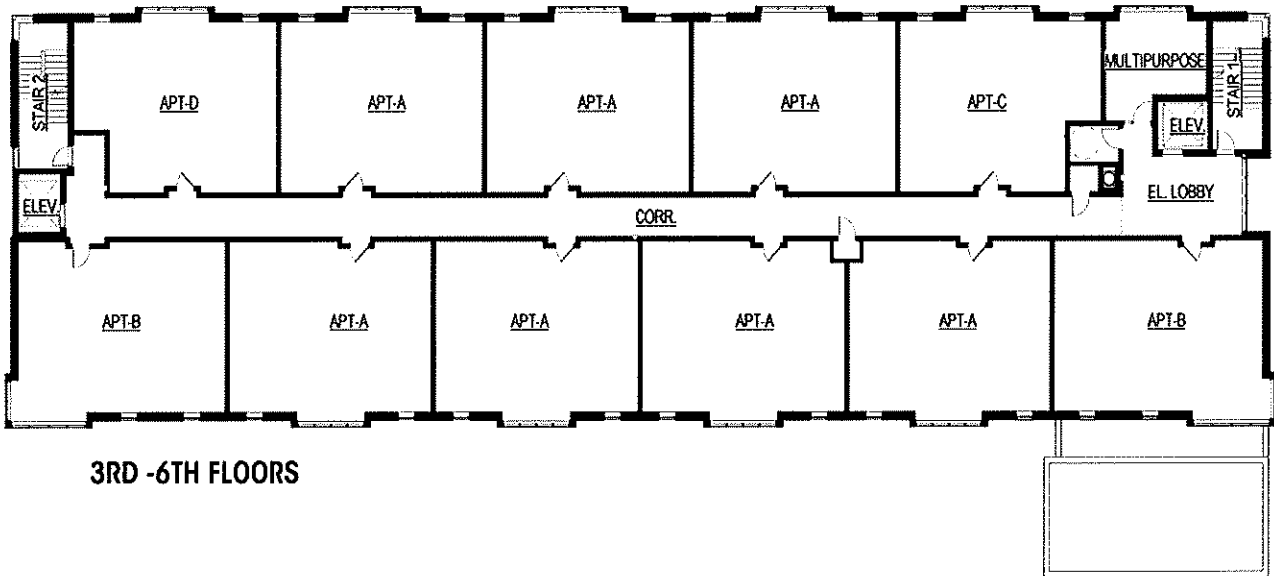
WLC Student Housing / Master Planning

SITE FUNISHINGS

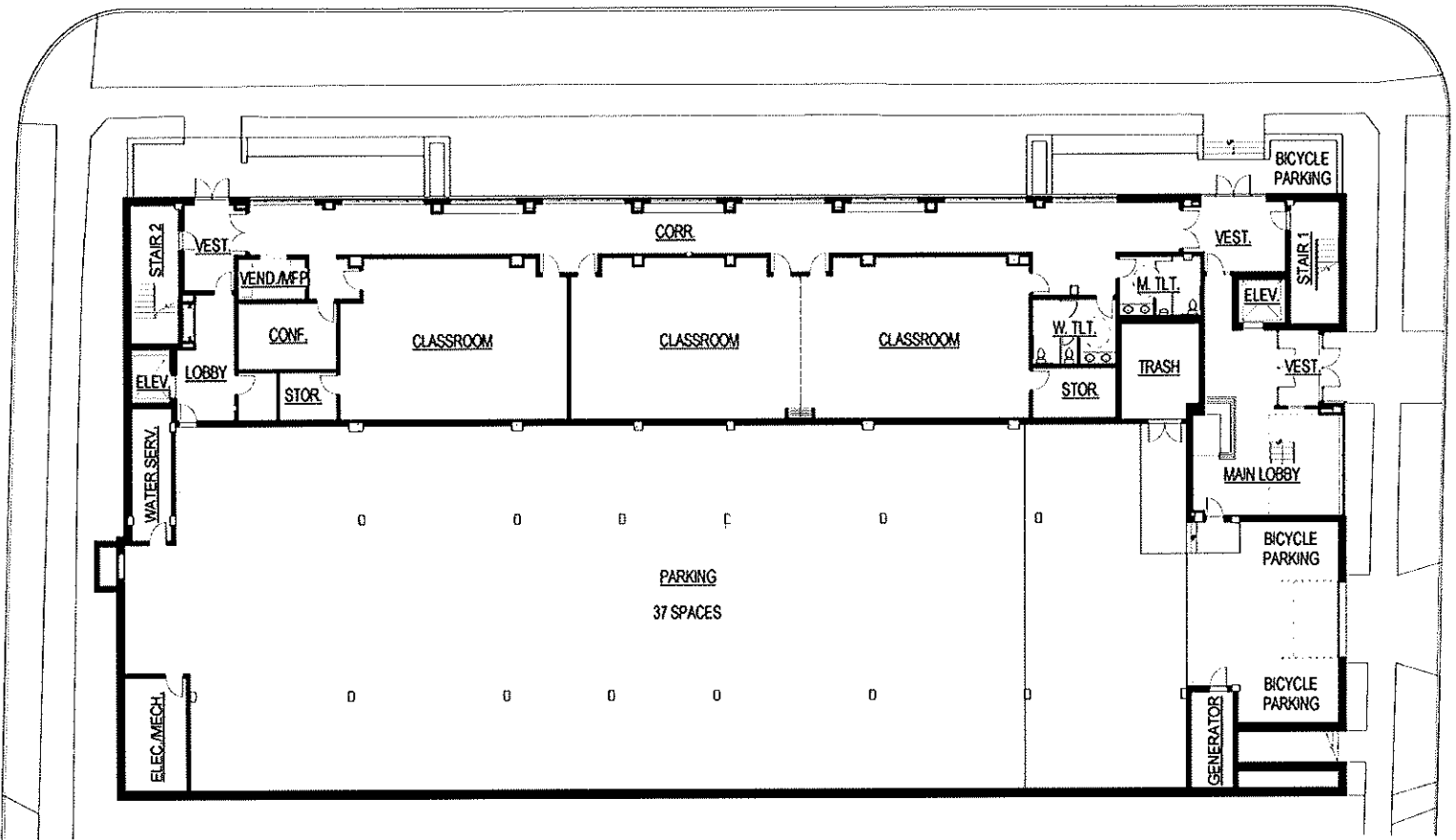


CONCEPT (6 Stories) - Wisconsin Ave. Site

Student Apartments - maximum 4 students per unit												Parking		TOTALS
Floor	height (ft)	apartment GSF	apartment NSF	commons & circulation (sf)	efficiency	avg. sf/unit	# of units	# of 4 Beds	# of 3 Beds	# of 1 Beds	TOTAL BEDS	parking GSF	parking spaces	Total GSF
Floor 1 (Covered Parking/Classrooms)	16	-	-	9,126								11,484	37	20,610
Floor 2	11	14,233	9,510	4,723	66.8%	951	10	8	1	1	36			14,233
Floor 3	11	13,369	10,881	2,488	81.4%	989	11	11	0	0	44			13,369
Floor 4	11	13,369	10,881	2,488	81.4%	989	11	10	1	0	43			13,369
Floor 5	11	13,369	10,881	2,488	81.4%	989	11	11	0	0	44			13,369
Floor 6	11	13,369	10,881	2,488	81.4%	989	11	11	0	0	44			13,369
Totals	71	67,709	53,034	23,801	78.3%	1000	54	51	2	1	211	11,484	37	88,319
average GSF per unit														1,636
average GSF per BR														1,732
average GSF per bed														419
landscaped plaza (sf)														
PARKING														
Covered Parking													37	
Surface Parking													16	
Total parking													53	
Parking ratio per unit													0.98	
Parking ratio per bedroom													0.50	
avg. GSF per parking space												310		
* Includes mech, storage, etc.														

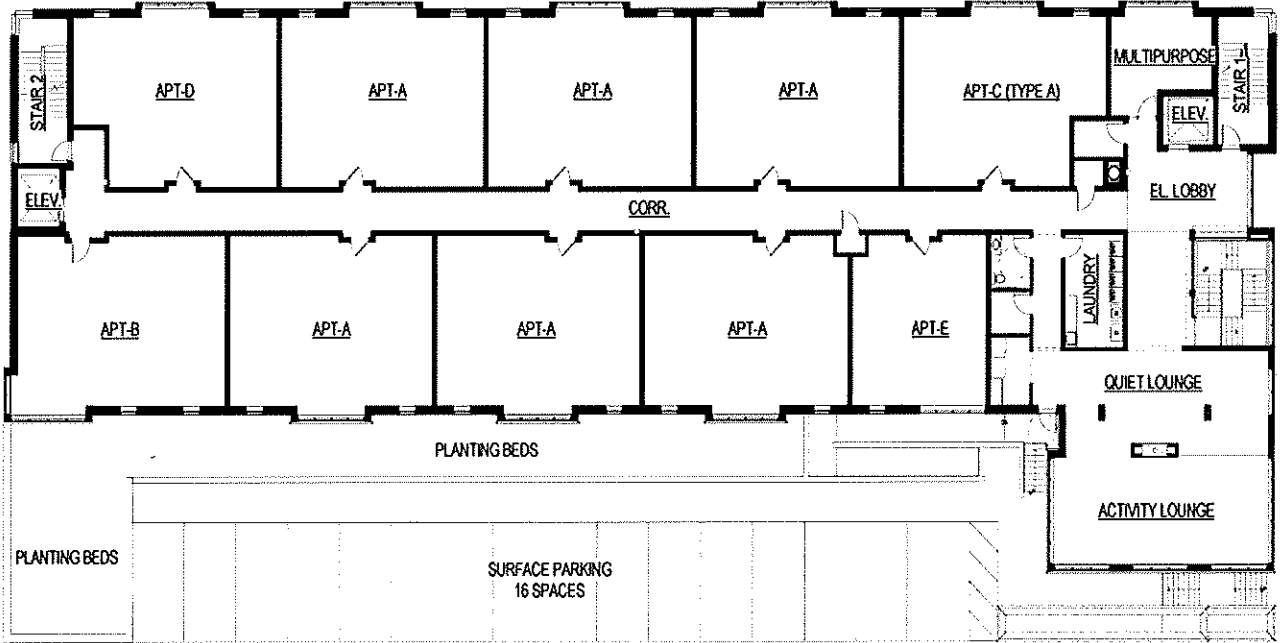


3RD -6TH FLOORS



1ST FLOOR

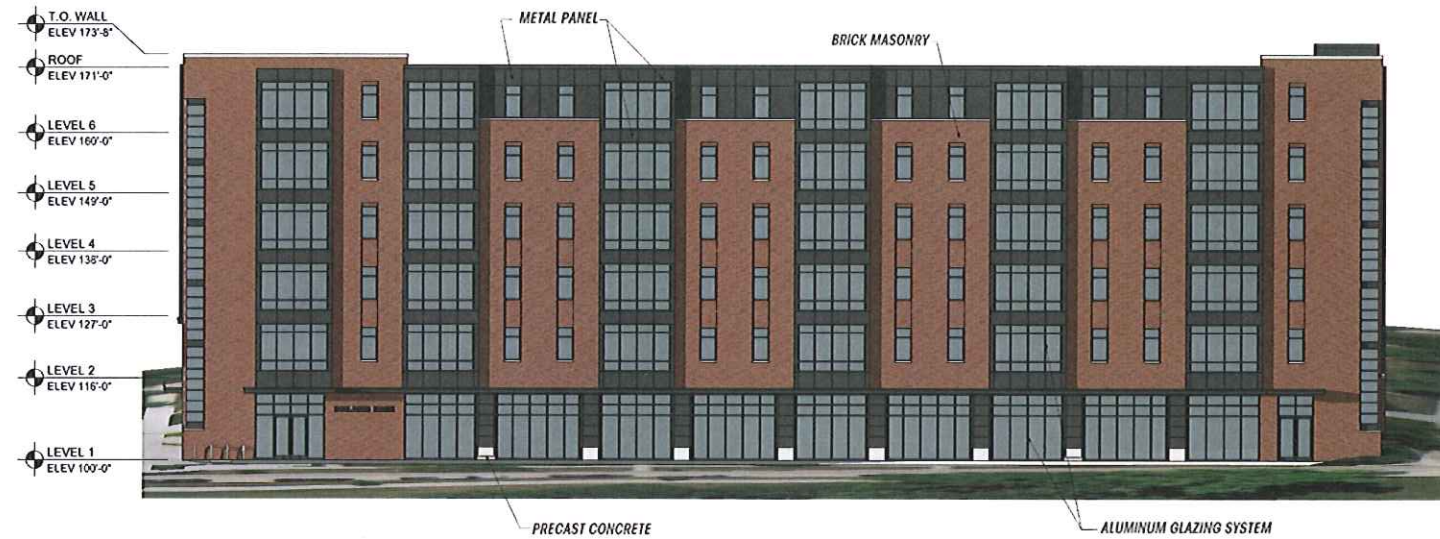
LOT AREA: 27,138 sf



2ND FLOOR



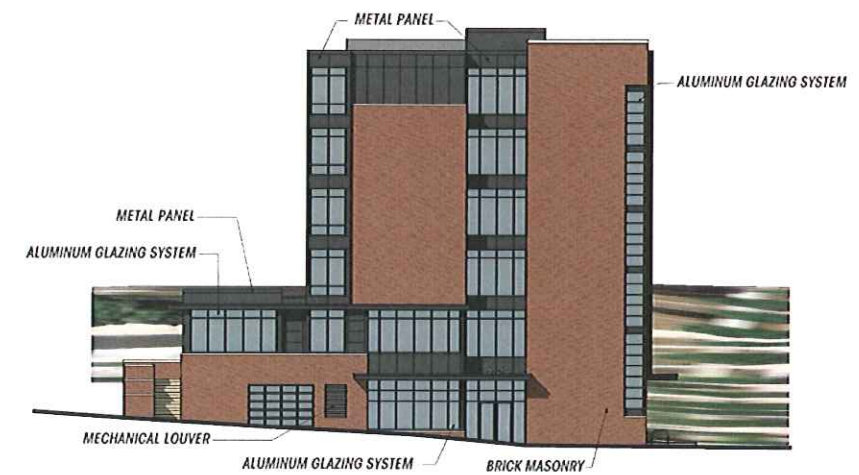
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



