



February 7, 2025

Milwaukee County Department of Administrative Services
633 W Wisconsin Ave
Milwaukee, WI 53203
Attn: Celia Benton

SUBJECT: Bucks Block Five
MMSD Facilities

Property Owner:

The Milwaukee Metropolitan Sewerage District (District) has reviewed the request to make improvements over District facilities at the subject location. Those improvements include excavation, grading, pavement installation, storm sewers, landscaping, lighting, and other associated appurtenances. The plans are titled Block Five Mixed-Use Development, labeled as Progress Documents Not for Construction, dated 2/14/2025. Selected plan sheets and maintenance vehicle layout and turning diagrams were received via email on February 6, 2025.

The District approves the installation with the following District requirements and conditions for the proposed build-over of our facilities:

- The Owner agrees that the existing lease continues or upon sale of the property will be replaced by a permanent easement granted by successor owner for no additional consideration. This is a mandatory condition of this permission letter and the County agrees that it shall be a part of any purchase/sale agreement of the property.
- The Owner understands that District maintenance activities require access with passenger vehicles, box trucks, dump trucks and cranes. The pavement design and the access paths provided can accommodate the sizes of maintenance vehicles including turning movements and boom swing radius. The District will not be responsible for any damage to the pavement or landscaping by vehicle access or turning movements.
- The eastern portion of turf area will be designed to support loading from placement of the removable 8 ft X 14 ft trash rack cover for maintenance activities. The District will use cribbing to support the cover to avoid damage to the turf.
- Bollards shown on the plans will have the ability for District staff to remove as needed for access using District locks.
- The existing ground elevations may not be altered beyond what was detailed in the plans.



- The Owner will ensure that the District's trash rack structure, monitoring manhole, inline storage system dropshaft and air vent manhole are accessible to the District at all times, and construction work around District facilities do not cause damage to District facilities. Owner and any successor owner shall be liable to the District for any resulting damage.
- The Owner will provide a drivable surface (gravel or crushed stone or similar) for District vehicles to the site at all times. This includes providing the ability to enter the site at any time. If locks are installed around the construction site, the District's locks will be daisy chained to the contractor's lock. If the District lock is out of the chain so that the District is not able to access the site, the chain or lock will be cut off to allow access. No reimbursement will be made by the District.
- The Owner will notify the District prior to work on or near District facilities. Please contact Michael Lee at (414) 617-1429 at least seven working days prior to work commencing. An onsite meeting with the Owners representative and the general contractor is required prior to starting work to familiarize all parties with District facilities and the requirements of the build-over.
- Failure to follow the terms set forth may result in permission revocation.
- This permission is based on the plans referenced above. If there are any substantive changes, a new review and approval must be requested, and this permission letter becomes null and void.

Any changes as stated above, please contact me as soon as possible at 414-225-2059 or GHottinger@mmsd.com and let me know if you have any questions.

Sincerely,

Gregory A. Hottinger, PE
Engineering Planning Manager

cc: Mike Oates, EUA (email)
John Donoghue, J. Jeffers & Co (email)
Doug Nysse, Colliers (email)
Ryan Birschbach, Kapur (email)
Dawn Schmidt, City of Milwaukee (email)
Greg Patin, City of Milwaukee (email)
Kristin Connelly, City of Milwaukee (email)

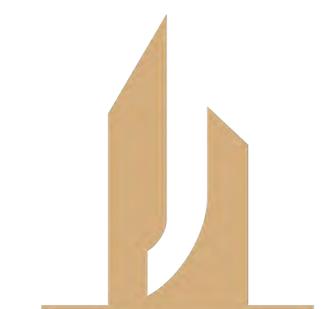


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E



J. JEFFERS & CO.

PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT

D



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER MO
PROJECT NUMBER 123654

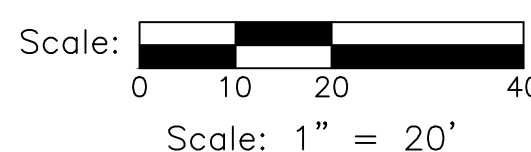
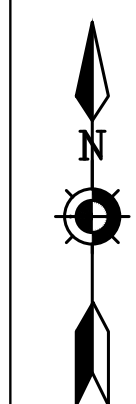
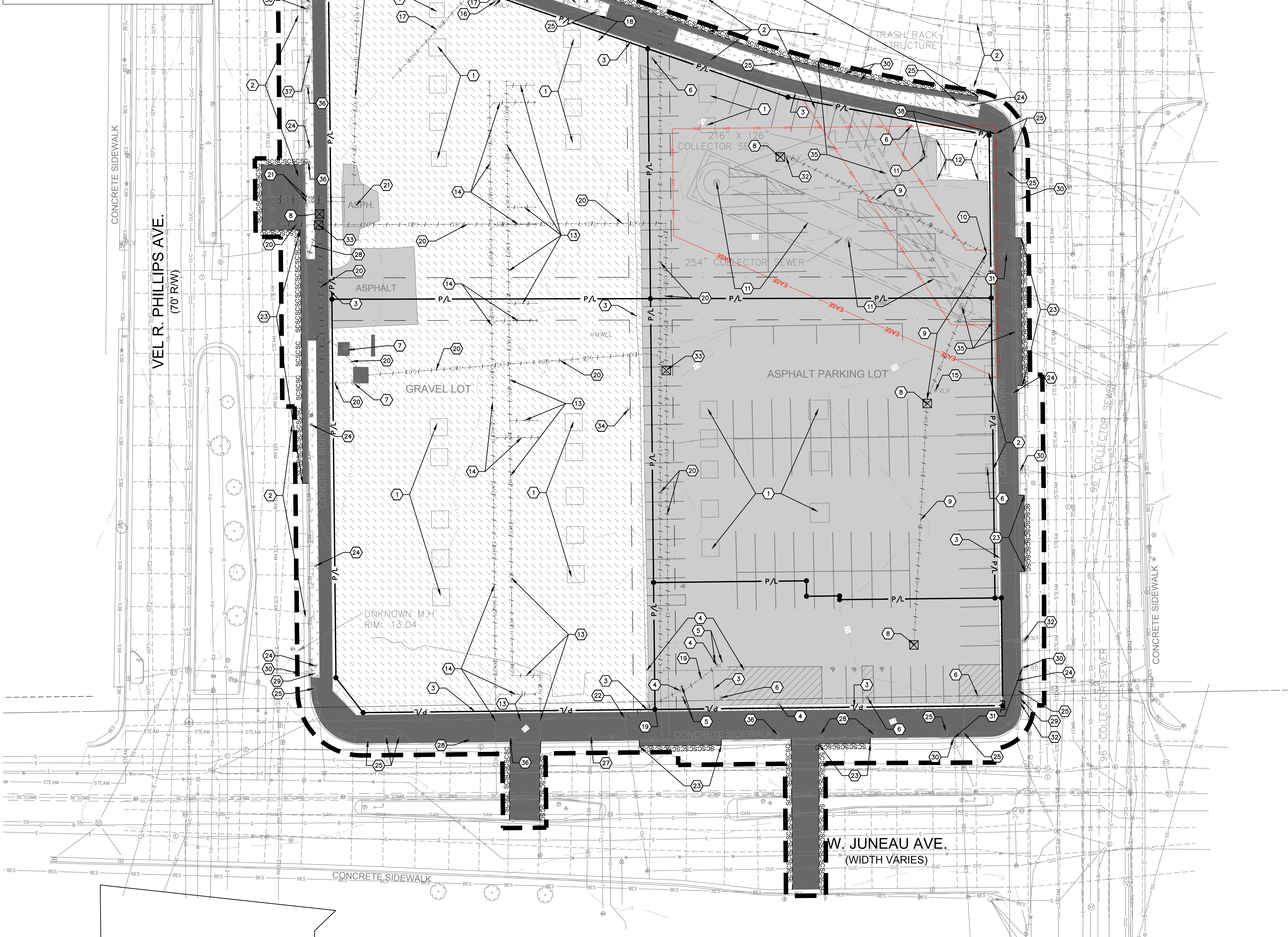
A

EXISTING SITE
CONDITIONS

C100

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1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION, ITEMS SPECIFICALLY SHOULD NOT BE SALVAGED FOR OWNER REUSE, OFFSITE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN ON THE INFORMATION PROVIDED BY THE CITY OF CHICAGO AND PRIVATE UTILITIES COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE, HAS BEEN REVIEWED AND BELIEVED TO BE CORRECT. ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE REMOVAL OF ANY UTILITY. GENERAL CONTRACTOR SHALL PROVIDE COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL, LOCAL PLUMBING, WDW, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGERS' HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCING ANY EXCAVATION.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION OF EXISTING UTILITIES. GENERAL CONTRACTOR SHALL VERIFY UTILITIES WITHIN THE PROJECT LIMITS MAY BE AFFECTED BY TRENCHING OR EXCAVATION. GENERAL CONTRACTOR SHALL OBTAIN PERMISSION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM DRAINAGE. GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES, AND OBTAINING ALL NECESSARY PERMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAVED UTILITIES (AND ANY OTHER UTILITIES) TO THE PROPER LOCATION AND DEPTH TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
8. CONTACT MMSD UTILITY COORDINATOR MICHAEL LEE, AT (414) 617-1428, A MINIMUM OF 7 BUSINESS DAYS PRIOR TO STARTING WORK ON OR NEAR DISTURBED AREAS.



DIGGERS HOTLINE

811 or (800)242-8511
www.DiggersHotline.com

PROJECT LIMITS
PROPERTY LINE
PAVEMENT
EASEMENT LINE

VEGETATION TO BE REMOVED & DISPOSED OF OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED UNLESS OTHERWISE SPECIFIED. TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.

GRAVEL MATERIAL TO BE REMOVED & DISPOSED OF OFFSITE. IF SUITABLE FOR REUSE, GRAVEL TO BE STOCKPILED UNLESS OTHERWISE SPECIFIED. GRAVEL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.


SAW CUT FILL DEPTH

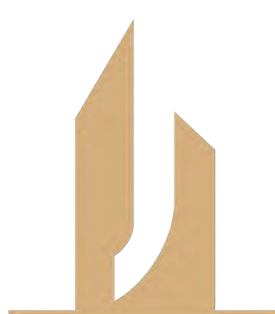
DENOTES UTILITIES TO BE ABANDONED & REMOVED.

DENOTES UTILITIES TO BE ABANDONED IN PLACE.

CAUTION

KNOWN UTILITY AND POTENTIAL CONFLICT EXIST

- | | |
|----|---|
| |  -UTILITY STRUCTURE
REMOVAL/ABANDONMENT |
| 1 | EXISTING PIER - COLUMN REMOVED TO 3' BELOW GRADE WITH FOOTING REMAINING STILL IN PLACE. REMOVE AS NECESSARY FOR BUILDING CONSTRUCTION. |
| 2 | EXISTING PIER - COLUMN AND FOOTING REMOVED. STILL IN PLACE. REMOVE AS NECESSARY FOR BUILDING CONSTRUCTION. |
| 3 | REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE INCLUDING POSTS & FOOTINGS |
| 4 | REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE GATE INCLUDING POST, FOOTINGS, CONTROLLER, PEDESTALS, AND ASSOCIATED ELECTRONICS. |
| 5 | REMOVE & DISPOSE OF EXISTING BOLLARD |
| 6 | REMOVE & DISPOSE OF EXISTING LIGHT FIXTURES. REFER TO SITE SPECIFICATIONS. |
| 7 | REMOVE & DISPOSE OF EXISTING ELECTRICAL BOXES. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 8 | REMOVE & DISPOSE OF EXISTING STORM SEWER STRUCTURE. |
| 9 | REMOVE & DISPOSE OF EXISTING STORM SEWER PIPE. |
| 10 | CAP AND ABANDON EXISTING STORM SEWER PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. |
| 11 | EXISTING MANHOLE DEEP TUNNEL AND STRUCTURES TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 12 | EXISTING DEEP TUNNEL VENT AND ASSOCIATED CONCRETE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 13 | REMOVE & DISPOSE OF EXISTING WATER LINE. CAP AND ABANDON EXISTING WATER LINE. PROPOSED BUILDING PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. |
| 14 | REMOVE & DISPOSE OF EXISTING SANITARY SEWER LINE. CAP AND ABANDON EXISTING SANITARY SEWER LINE. APPROXIMATELY 5' OFF PROPOSED BUILDING PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. |
| 15 | REMOVE & DISPOSE OF EXISTING VALVE. |
| 16 | REMOVE & DISPOSE OF EXISTING PULL BOX. |
| 17 | REMOVE & DISPOSE OF EXISTING FIBER OPTIC LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 18 | REMOVE & DISPOSE OF EXISTING TELEPHONE LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 19 | REMOVE & DISPOSE OF EXISTING COMMUNICATION LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 20 | REMOVE & DISPOSE OF EXISTING ELECTRIC LINE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 21 | REMOVE & DISPOSE OF EXISTING STEAM LINES AND ASSOCIATED STEAM VALVE. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 22 | EXISTING MANHOLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 23 | SAWCUT CONCRETE PAVEMENT APPROXIMATELY 2" OFF THE FACE OF CURB TO PROVIDE A SLOPE FOR CURB AND GUTTER. INSTALLATION OF NEW CURB AND GUTTER. |
| 24 | EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 25 | EXISTING PULL BOX TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 26 | EXISTING TRAFFIC SIGNAL TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 27 | EXISTING PARKING METER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 28 | EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 29 | EXISTING HYDRANT TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 30 | EXISTING STORM STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 31 | EXISTING STORM SEWER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 32 | EXISTING VALVE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 33 | REMOVE & DISPOSE OF EXISTING ELECTRIC SINGLE-CIRCUIT COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 34 | REMOVE & DISPOSE OF EXISTING UTILITY PEDESTAL. COORDINATE REMOVAL WITH EXISTING UTILITY OWNER. |
| 35 | EXISTING MIDWAT STORM SEWER & ASSOCIATED STRUCTURES TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION. |
| 36 | REMOVE AND RETURN EXISTING PARKING METER TO CITY OF MILWAUKEE. CONTRACTOR TO COORDINATE REMOVAL WITH CITY OF MILWAUKEE. |
| 37 | REMOVE AND RETURN EXISTING POLE TO CITY OF MILWAUKEE. CONTRACTOR TO COORDINATE REMOVAL WITH CITY OF MILWAUKEE. |
| 38 | MMSD ELECTRIC AND PNEUMATIC LINES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR TO HAVE ALL LINES LOCATED BY DIGGERS HOTLINE PRIOR TO STARTING WORK. |



**J. JEFFERS
& CO.**

PROJECT INFORMATION

BLOCK FIVE
MIXED-USE
DEVELOPMENT



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

SHEET INFORMATION

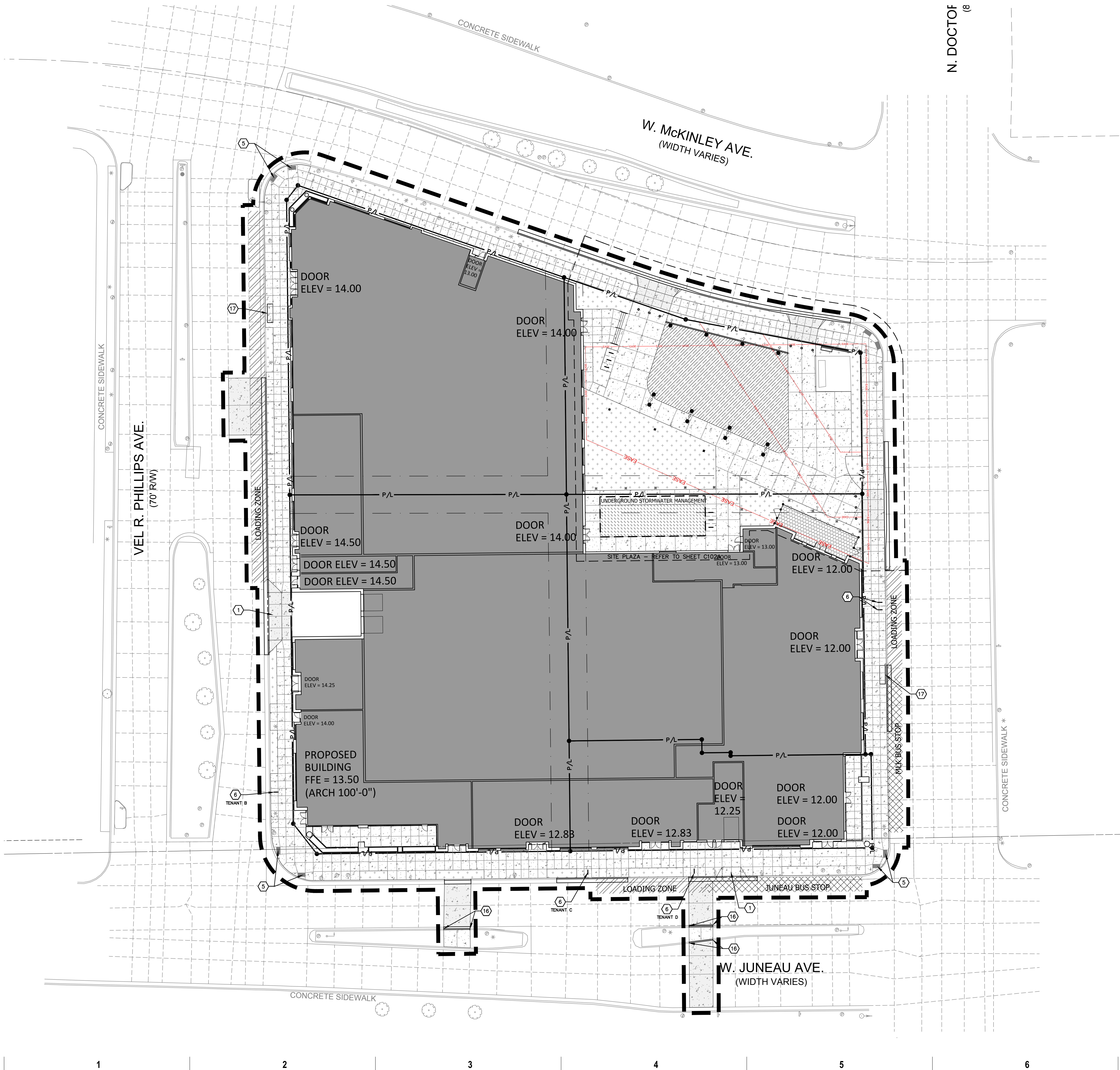
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PROJECT MANAGER	MO
PROJECT NUMBER	123654

OVERALL SITE DEMOLITION PLAN

C101



Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERSHOTLINE
Dial 811 or (800)242-8511
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KEY INDEX

PROJECT LIMITS
PROPERTY LINE
EASEMENT LINE

AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

NEW CONCRETE SLAB

NEW HEAVY DUTY CONCRETE SLAB

STAMPED CONCRETE

SYNTHETIC TURF

DOG RUN AREA
PET ARTIFICIAL TURF WITH DESIGN BUILD SPRAY IRRIGATION.

LOW-SIDE CONCRETE CURB & GUTTER
31" BARRIER UNLESS OTHERWISE NOTED

DEPRESSED CONCRETE CURB & GUTTER
31" DEPRESSED UNLESS OTHERWISE NOTED

1 CONCRETE DRIVEWAY APRON

2 31" MOUNTABLE CURB & GUTTER

3 DEPRESSED INTEGRAL CURB & GUTTER

4 10" TRANSITION FROM 31" MOUNTABLE CURB & GUTTER TO 31" BARRIER CURB & GUTTER.

5 NEW ACCESSIBILITY RAMP WITH TRUNCATED DOME DETECTABLE WARNING FIELDS

6 MADRAX "LOFTY" BIKE RACK OR APPROVED EQUAL. INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.

7 REMOVABLE BOLLARDS

8 6" DIAMETER STEEL BOLLARDS.

9 CONCRETE STAIRS AND HANDRAILS

10 4' HIGH DECORATIVE FENCE

11 4' HIGH BY 5' WIDE SINGLE SWING GATE

12 6" WIDE X 18" HIGH CONCRETE CURB HEAD FLUSH WITH CURB HEAD.

13 LIGHT POLE. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.

14 LIGHTED BOLLARD. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.

15 GROUND UPLIGHTING. REFER TO SITE ELECTRICAL PLANS FOR MORE INFORMATION.

16 MATCH CURB AND GUTTER IN KIND.

17 SHARED ELECTRIC SCOOTER CORRAL

18 MONUMENT SIGN REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.

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J. JEFFERS & CO.
PROJECT INFORMATION
BLOCK FIVE MIXED-USE DEVELOPMENT

MILWAUKEE BUCKS

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

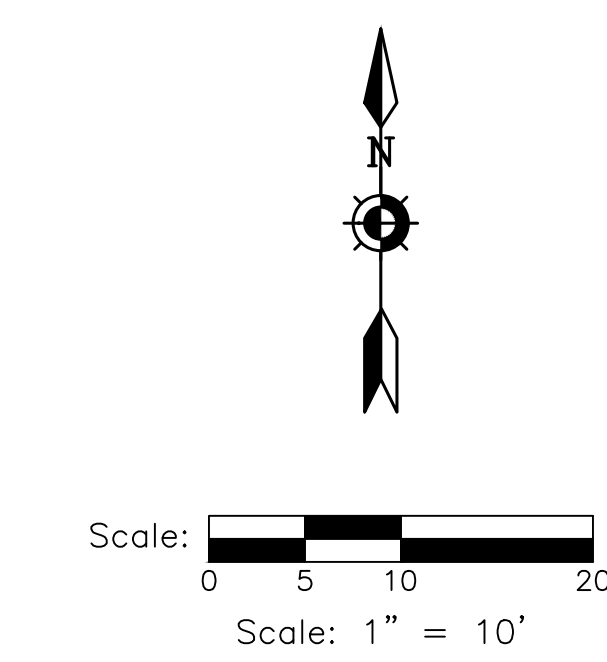
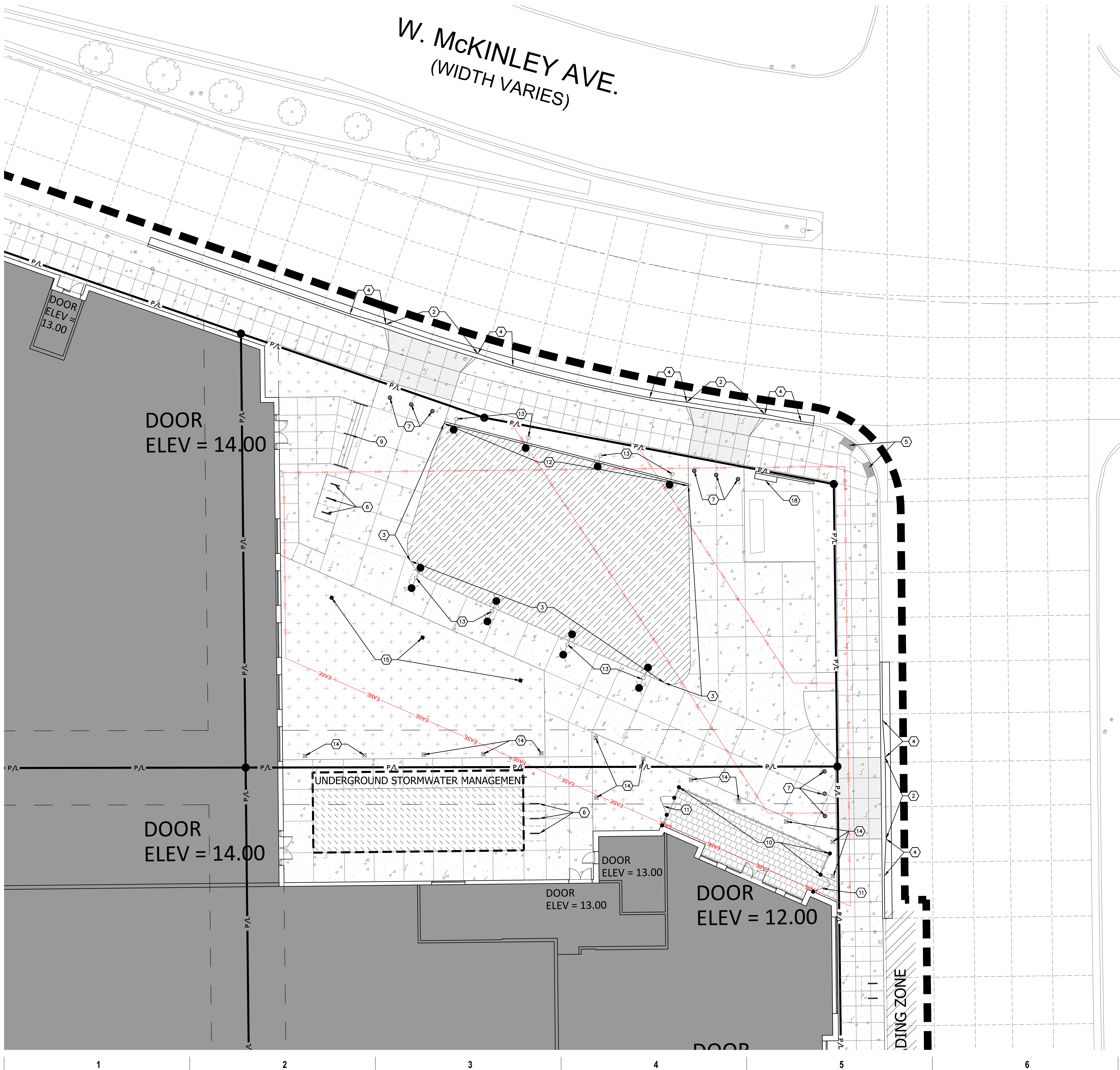
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PROJECT MANAGER MO
PROJECT NUMBER 123654

OVERALL SITE LAYOUT PLAN

C102
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KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
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- NEW HEAVY DUTY CONCRETE SLAB
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- 16 MATCH CURB AND GUTTER IN KIND.
- 17 SHARED ELECTRIC SCOOTER CORRAL
- 18 MONUMENT SIGN REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.



PROJECT INFORMATION
**BLOCK FIVE
MIXED-USE
DEVELOPMENT**



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

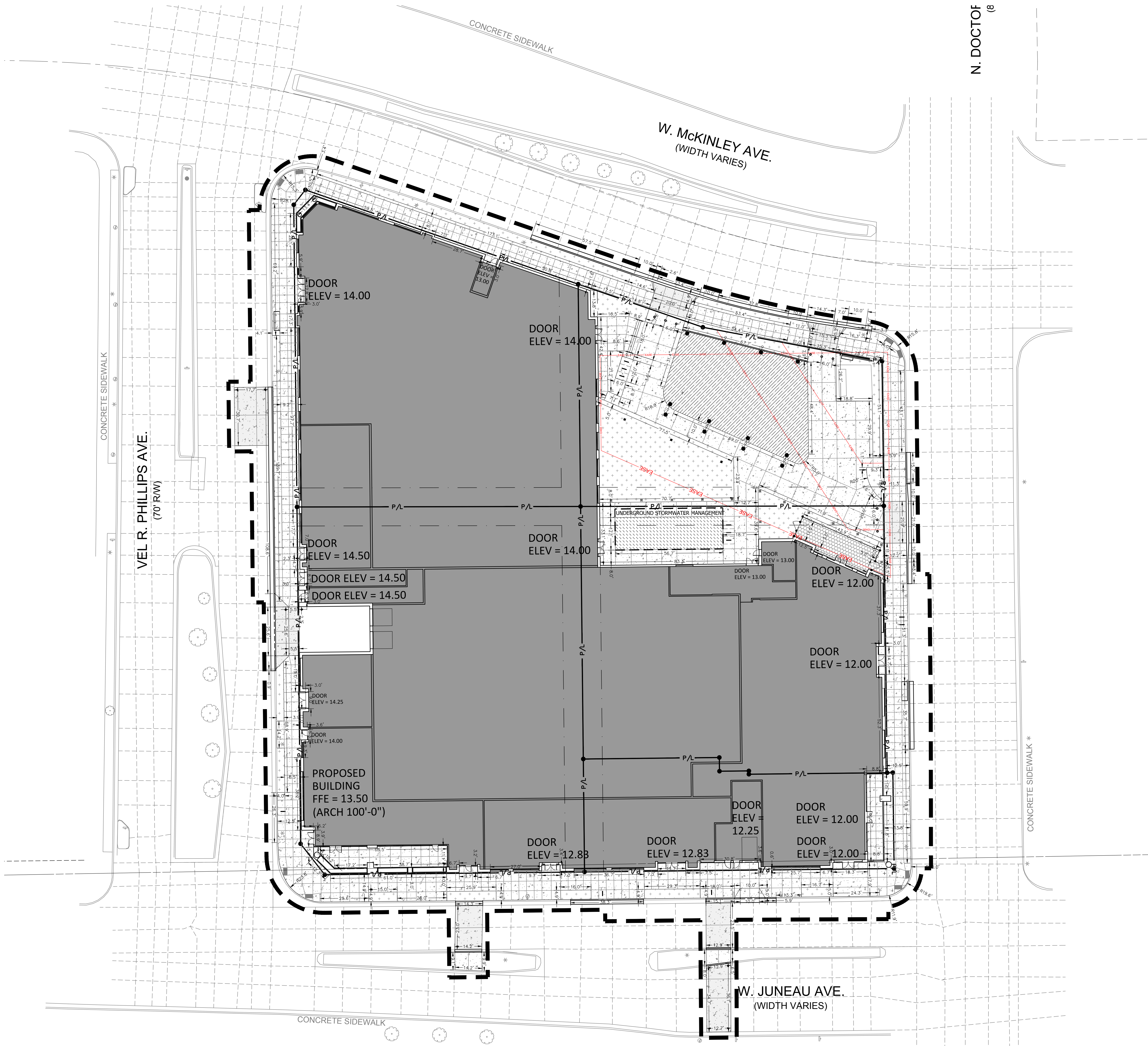
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PROJECT MANAGER MO
PROJECT NUMBER 123654

**SITE LAYOUT PLAN -
PLAZA**

C102A



Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERSHOTLINE
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www.DiggersHotline.com

KEY INDEX

— P/L — PROJECT LIMITS
— P/L — PROPERTY LINE
— EASE — EASEMENT LINE



PROJECT INFORMATION

**BLOCK FIVE
MIXED-USE
DEVELOPMENT**



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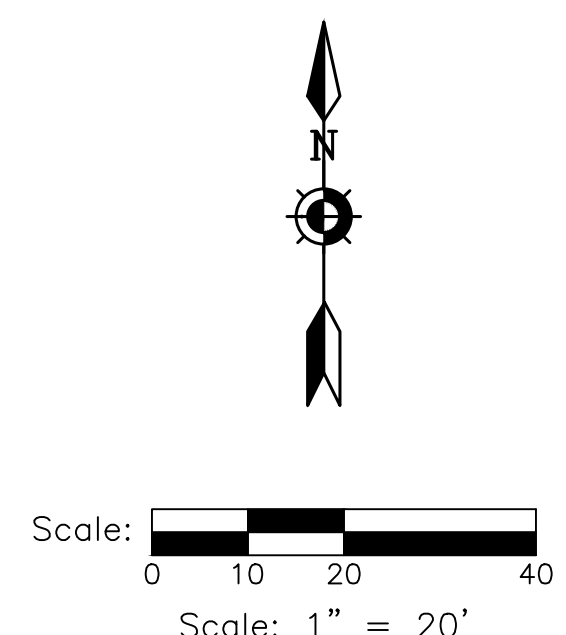
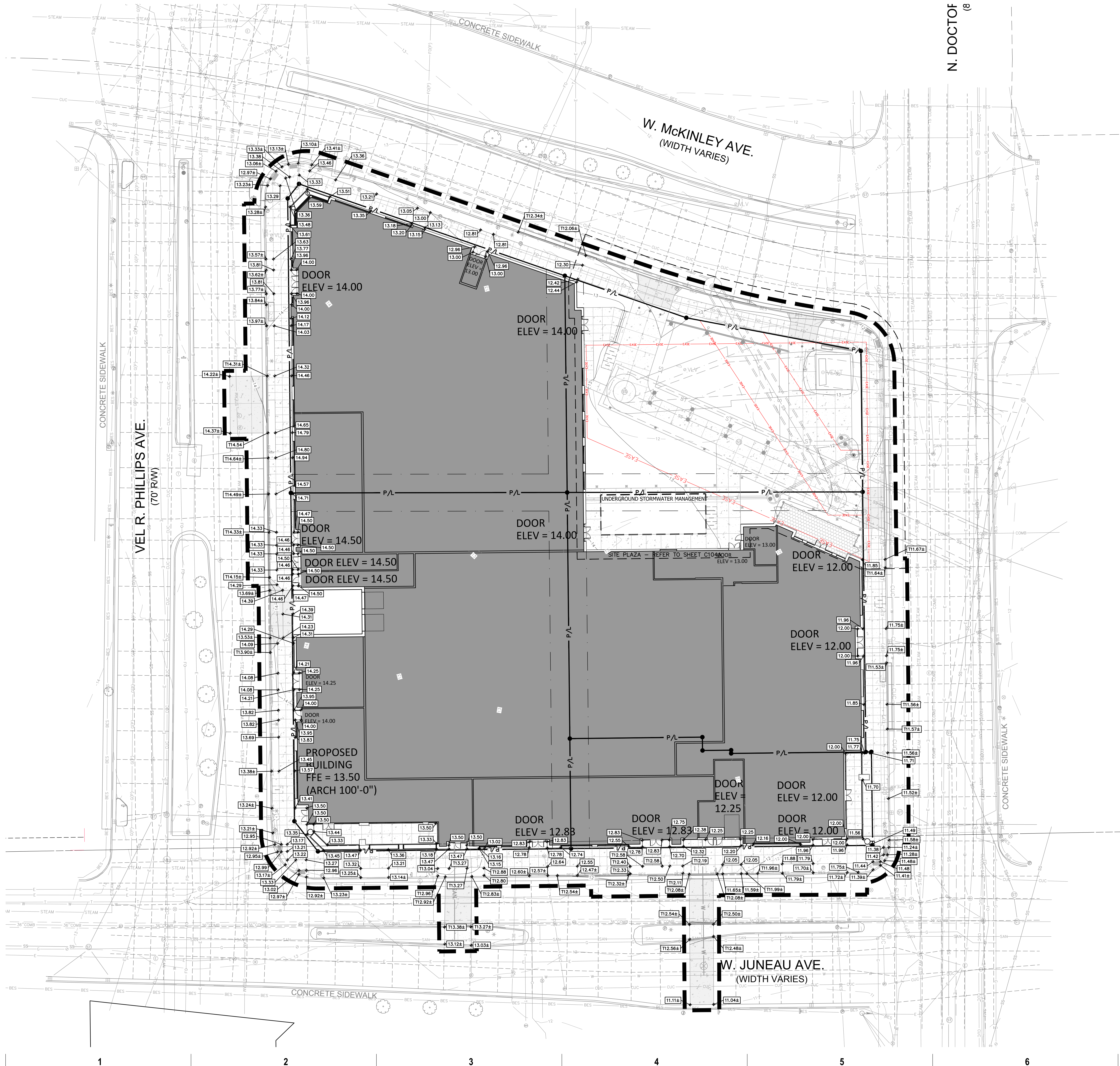
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PROJECT MANAGER MO
PROJECT NUMBER 123654

**OVERALL SITE
GEOMETRICS PLAN**

C103



DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

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- PROPERTY LINE
- EASEMENT LINE
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED SPOT GRADE
- MATCH EXISTING GRADE
- PROPOSED TOP OF CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 4" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.
- MATCH EXISTING TOP OF CURB GRADE
- PROPOSED TOP OF MOUNTABLE CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 4" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.



PROJECT INFORMATION
**BLOCK FIVE
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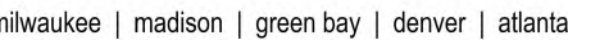
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PROJECT NUMBER 123654

**OVERALL SITE
GRADING PLAN**

C104



PROJECT INFORMATION

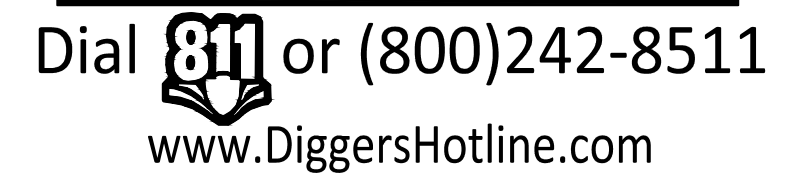
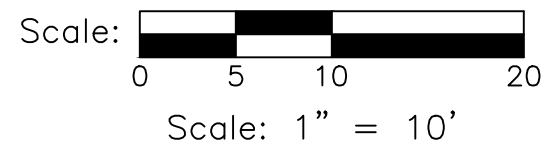
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— 15 — EXISTING CONTOUR MAJOR	
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— 15 — PROPOSED CONTOUR MAJOR	
⚡ T1.00	PROPOSED SPOT GRADE
⚡ T2.00#	MATCH EXISTING GRADE
⚡ T3.00	PROPOSED TOP OF CURB GR LAYOUT PLANS FOR MORE IN 6" BELOW TOP OF CURB UNL
⚡ T4.00#	MATCH EXISTING TOP OF CURB PROPOSED TOP OF MOUNTAIN REFER TO SITE PLAYOUT PLAN INFORMATION. GUTTER IS 4" CURB UNLESS OTHERWISE NO
⚡ T4.00#	

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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PROJECT MANAGER MO

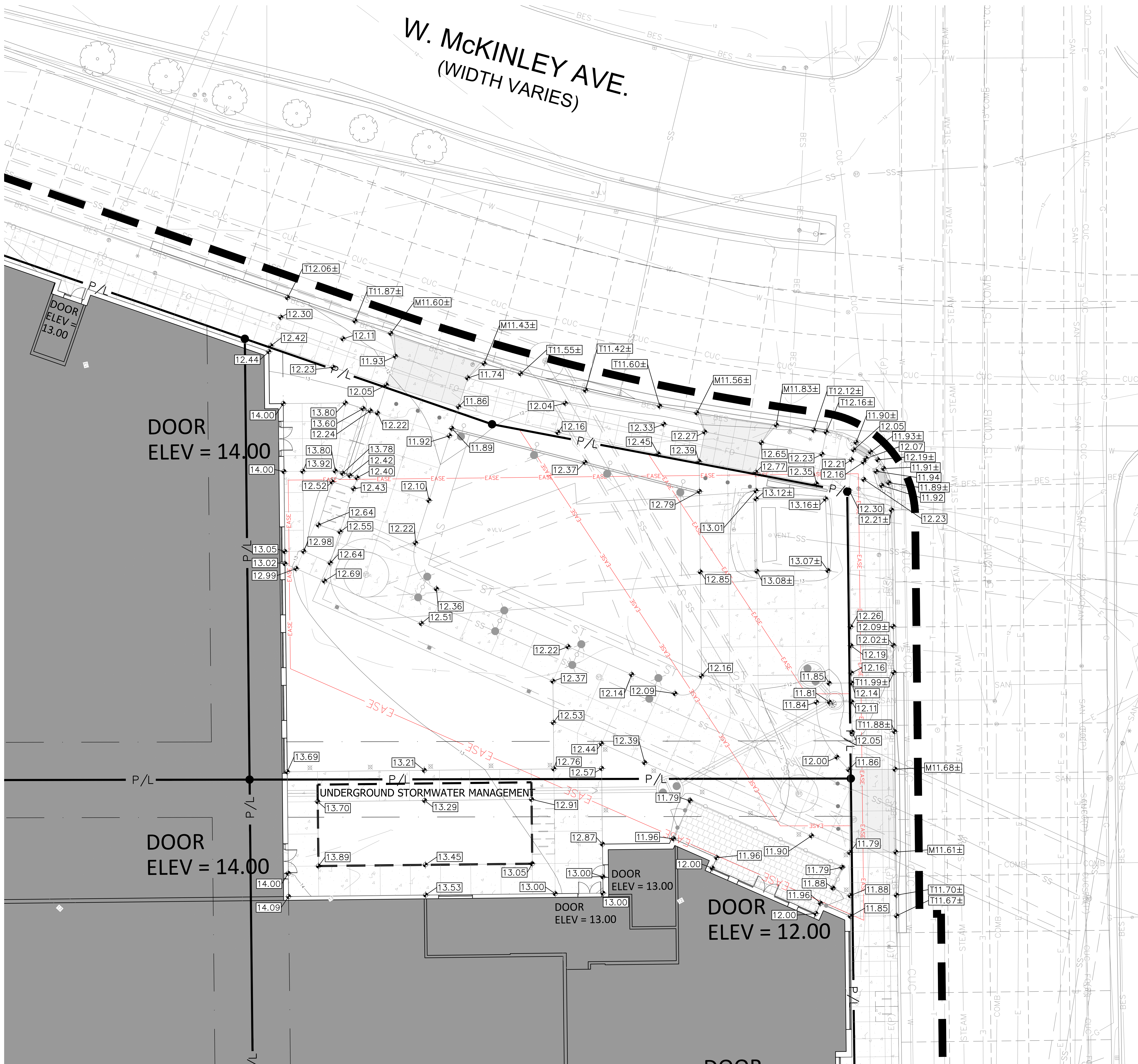
PROJECT NUMBER 123654

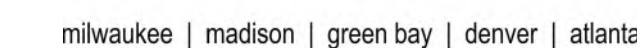
SITE GRADING PLAN

- PLAZA

C104A

024 Eppstein Uhen Architects, Inc.





BLOCK FIVE
MIXED-USE
DEVELOPMENT



DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

C

R

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION


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Scale: 

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EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPOES SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

OWNER REPRESENTATIVE:

JOHN DONOGHUE
J. JEFFERS & CO.
225 E MICHIGAN ST #110
MILWAUKEE, WI 53202
PHONE: (313) 549-5995

PROJECT ENGINEER: _____

RYAN BIRSCHBACH, P.E.
KAPUR & ASSOCIATES, INC
788 N. JEFFERSON STREET SUITE 900
MILWAUKEE, WI 53202
PHONE: (262) 758-6035

CONSTRUCTION MANAGER

TRD

180

KEY INDEX

	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	SILT SOCK

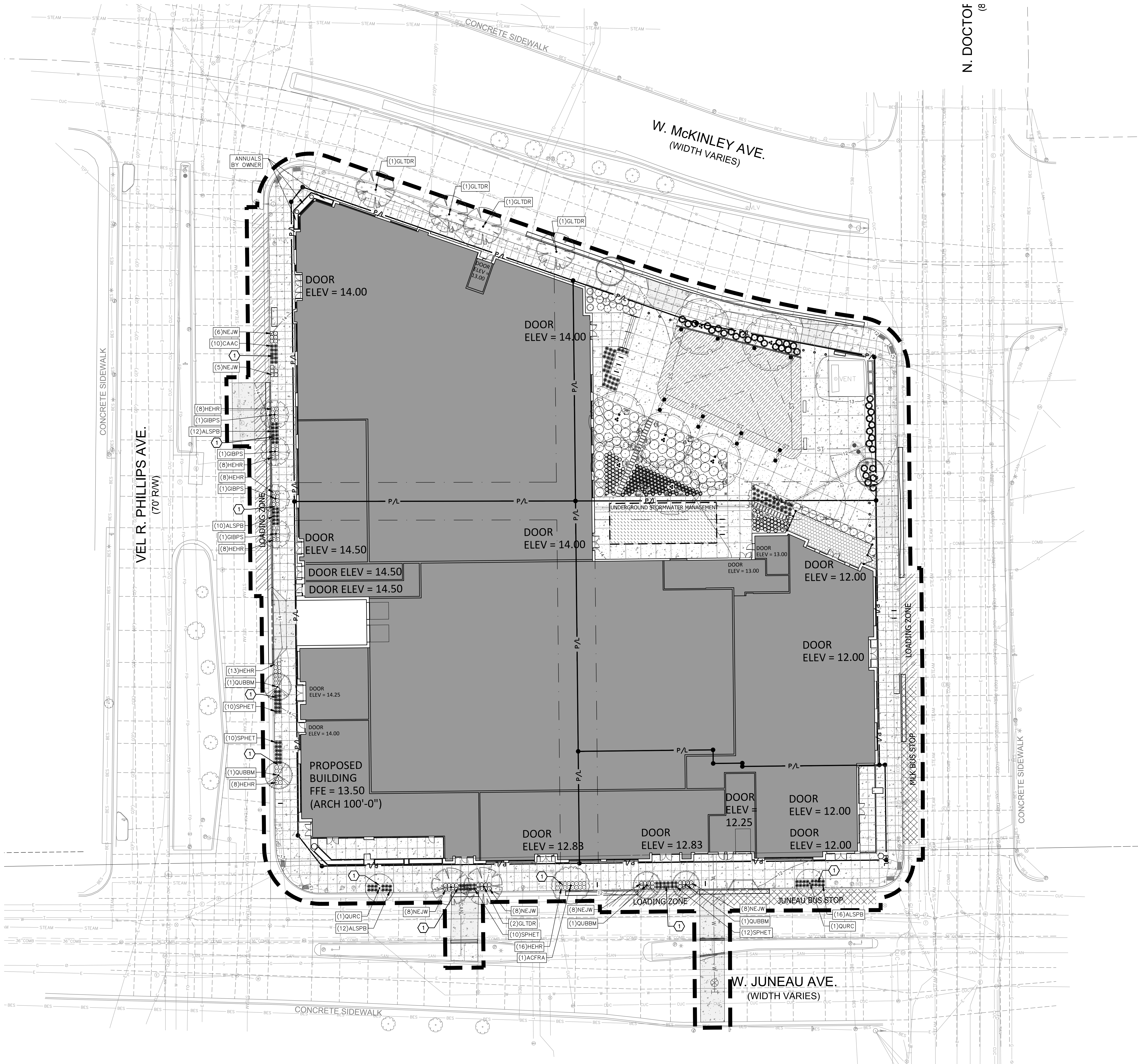
 STONE TRACKING PAD REQUIRED. LOCATION TO BE DETERMINED BY SELECTED CONTRACTOR'S APPROVED WORK PLAN.

DESIGNATES PROPOSED IN

DESIGNATES PROPOSED USE
MUST BE PROTECTED AFTER
HAVE BEEN CONSTRUCTED.

— HAVE BEEN CONSTRUCTED.

 DESIGNATES EXISTING INLET
THAT MUST BE PROTECTED



Scale: 0 10 20 40
Scale: 1" = 20'

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HATCH LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- OUTCROPPING STONE ACCENTS/INFORMAL SEATING
- AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
- QUANTITY OF PLANTS IN THE PLANT GROUPING
- LEADER LINE
- PLANT SYMBOL (SYMBOL VARIES)

KEY INDEX

- SHREDDED HARDWOOD MULCH
- 6 L201

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PROJECT INFORMATION
BLOCK FIVE MIXED-USE DEVELOPMENT

MILWAUKEE BUCKS

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

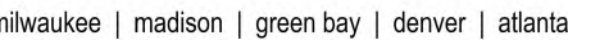
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PROJECT MANAGER MO
PROJECT NUMBER 123654

OVERALL SITE LANDSCAPE PLAN

L101
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PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT

D



DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

3

DPD ZONING SUBMITTAL FOR BLOCK 5
OF MILWAUKEE BUCKS ARENA
DEVELOPMENT - GPD

KEY PLAN

3

SHEET INFORMATION

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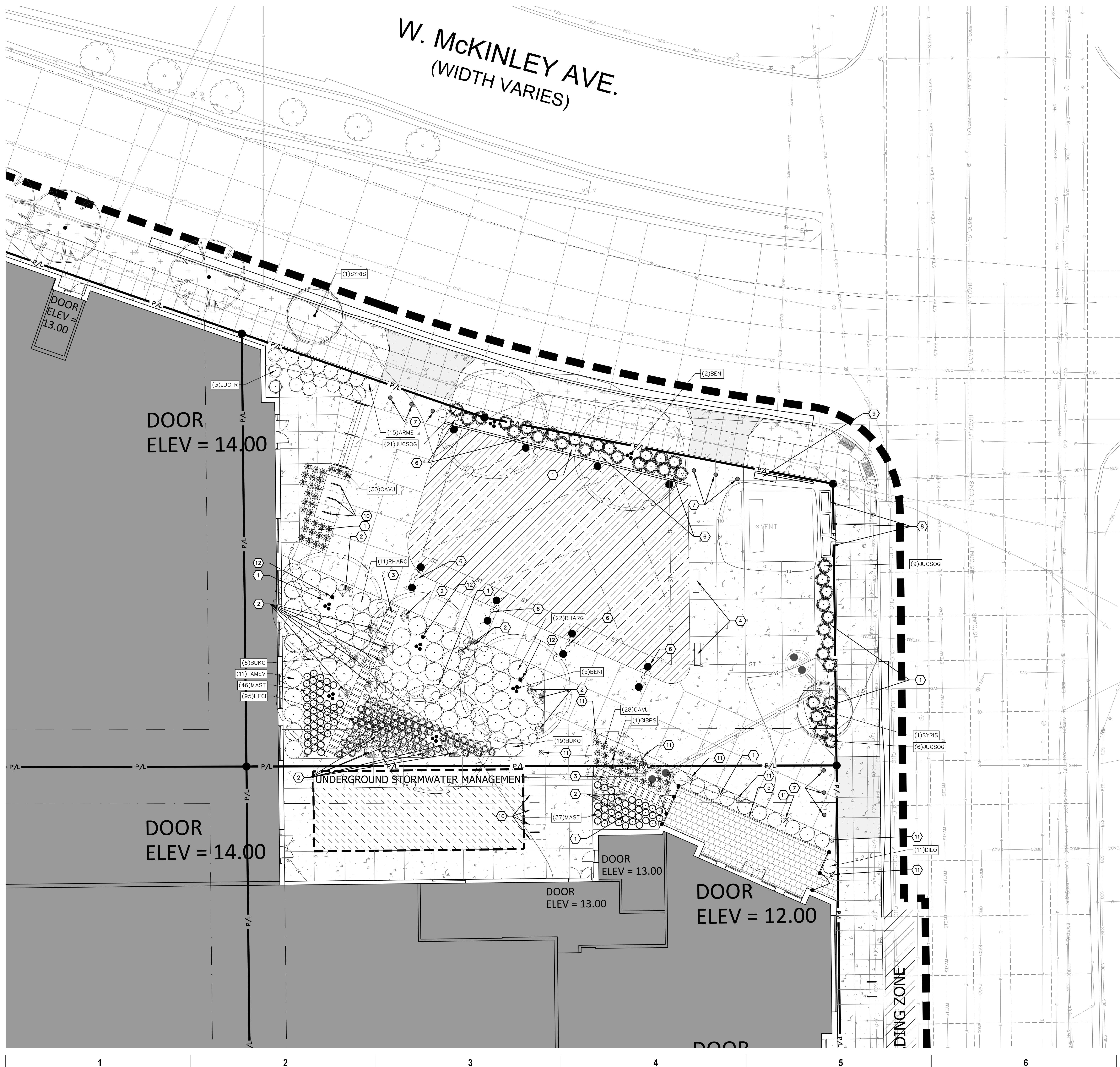
PROJECT MANAGER MO

PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

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Plant Schedule						
Code	Scientific Name	Common Name	Quantity	Spacing	Install Size	Mature Size (Height/Spread)
Canopy Trees: (Install in accordance with detail 3/L201)						
ACFRA	Acer x freemanii 'Armstrong'	Armstrong Maple	1	Per Plan	3" caliper B&B	50'-60'/15'-20'
GIBPS	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo (male)	5	Per Plan	3" caliper B&B	40'/15'
GLTDR	Gleditsia triacanthos 'Draves'	Street Keeper Honeylocust	6	Per Plan	3" caliper B&B	45'/20'
QUBBM	Quercus bicolor 'Bonnie and Mike'	Beacon Swamp White Oak	4	Per Plan	3" caliper B&B	35'/15'
QURC	Quercus robur x alba 'Crimschmidt' PP9,103	Crimson Spire Oak	2	Per Plan	2.5" caliper B&B	45'/15'
Ornamental Trees: (Install in accordance with detail 3/L201)						
BENI	Betula nigra	River Birch	7	Per Plan	16' multi-stem B&B	40'-70'/35'-50'
SYRIS	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	Per Plan	3" caliper B&B	25'/15'
Deciduous Shrubs: (Install in accordance with detail 4/L201)						
ARME	Aronia melanocarpa var. 'Elata'	Glossy Black Chokeberry	15	Per Plan	24" tall pot	5'-7'/4'-6'
DILO	Diervilla lonicera	Dwarf Bush Honeysuckle	11	Per Plan	18" tall pot	2'-3'/4'-5'
RHARG	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	33	Per Plan	18" spread pot	2'-3'/6'-8'
Evergreen Shrubs: (Install in accordance with detail 4/L201)						
BUKO	Buxus koreana 'Green Velvet'	Green Velvet Boxwood	25	Per Plan	18" tall pot	3'-4'/4'-5'
JUCSOG	Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	36	Per Plan	18" spread pot	3-5'/4'
JUCTR	Juniperus chinensis 'Trautman'	Trautman Juniper	3	Per Plan	6' tall B&B	12'/4'
TAMEV	Taxus x media 'Everlow'	Everlow Yew	11	Per Plan	24" spread pot	2'-3'/4'-5'
Perennials: (Install in accordance with detail 5/L201)						
ALSPB	Allium x 'Summer Peek-a-Boo'	Summer Peek-a-Boo Globe Lily	50	Per Plan	#1 cont.	8"-12"/18"-24"
CAAC	Calamagrostis x acutiflora Karl Foerster	Karl Foerster Reed Grass	10	Per Plan	#1 cont.	4'-5'/18"-24"
CAVU	Carex vulpinoidea	Fox Sedge	58	Per Plan	#1 cont.	12"-36'/6"-24"
HECI	Heuchera 'Citronelle' PP17,934	Citronelle Coralbells	95	Per Plan	#1 cont.	12"-14"/14"-18"
HEHR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	69	Per Plan	#1 cont.	12"-18"/16"-24"
MAST	Matteuccia struthiopteris	Ostrich Fern	83	Per Plan	#1 cont.	24"-60"/24"-36"
NEJW	Nepeta x 'Junior Walker'	Junior Walker Catmint	43	Per Plan	#1 cont.	15"-18"/30"-36"
SPHET	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	42	Per Plan	#1 cont.	18"-24"/18"-24"
NOTE: Plant quantities indicated in the plant schedule are for convenience only. Installation contractor is responsible for verifying plant count on the landscape plan. When discrepancies between the plant schedule, labels and the landscape plan occur, the quantity drawn on the landscape plan shall be the official quantity.						

1

L201

PLANT SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

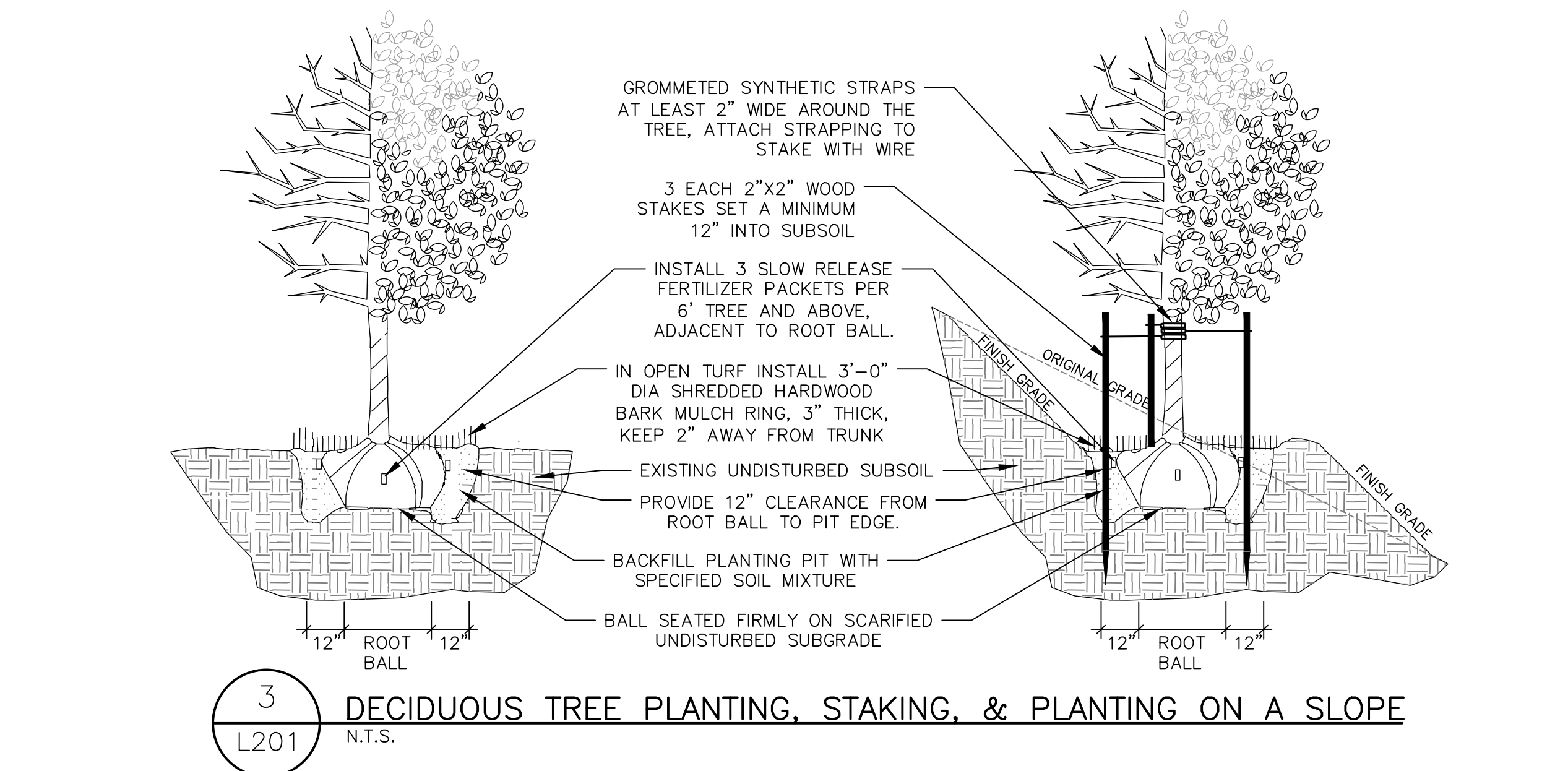
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES" PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED SHREDDED HARDWOOD MULCH. DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF SHREDDED HARDWOOD MULCH OVER TYPAR PROFESSIONAL WEED FABRIC. NO WEED BARRIER FABRIC IN PERENNIAL AREAS.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT SHREDDED HARDWOOD MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES, KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2

L201

LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

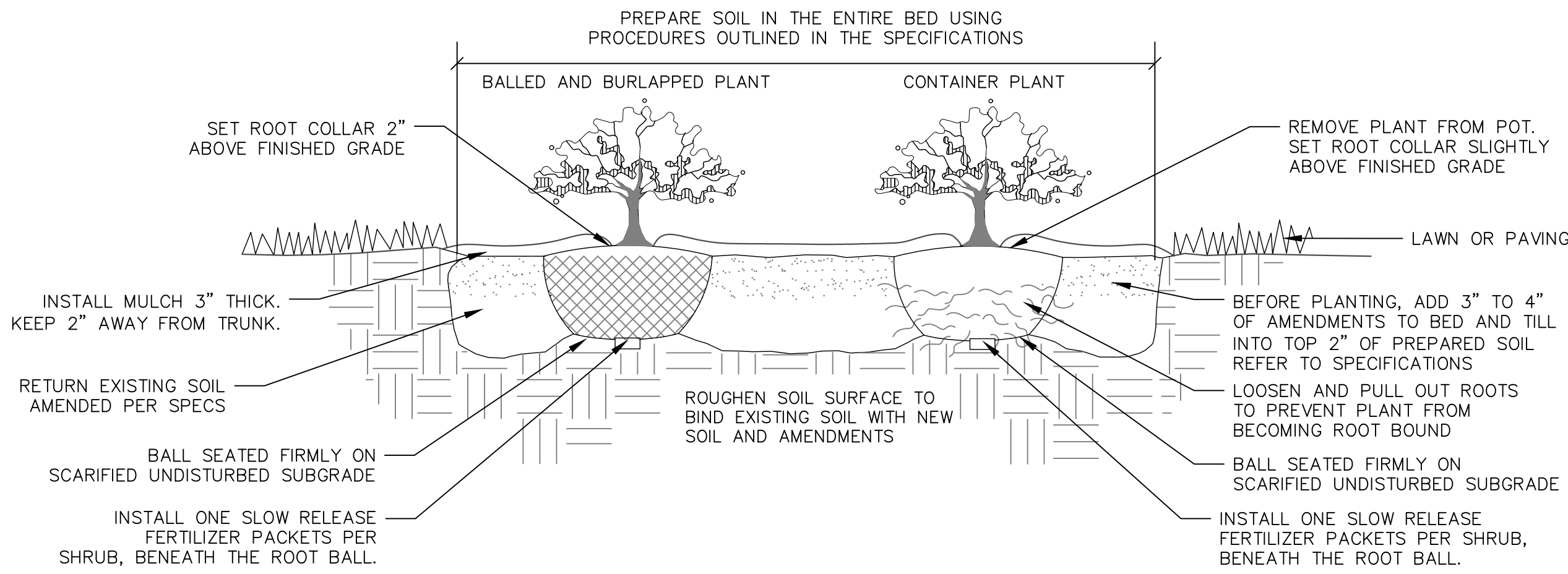


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L201

DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE

N.T.S.

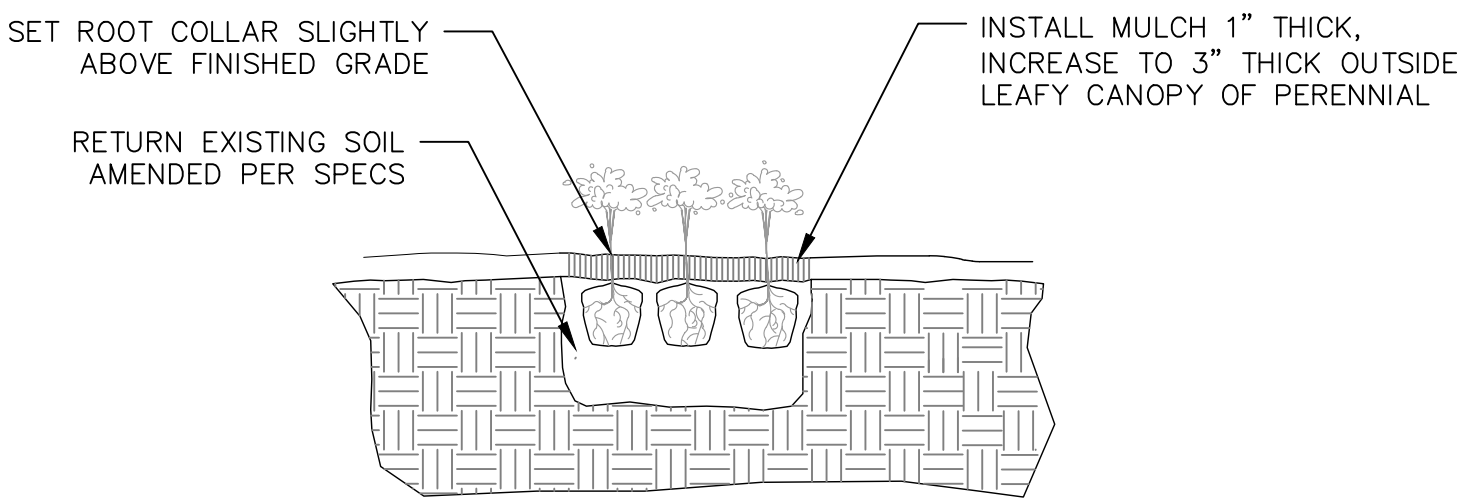


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L201

DECIDUOUS & EVERGREEN SHRUB PLANTING

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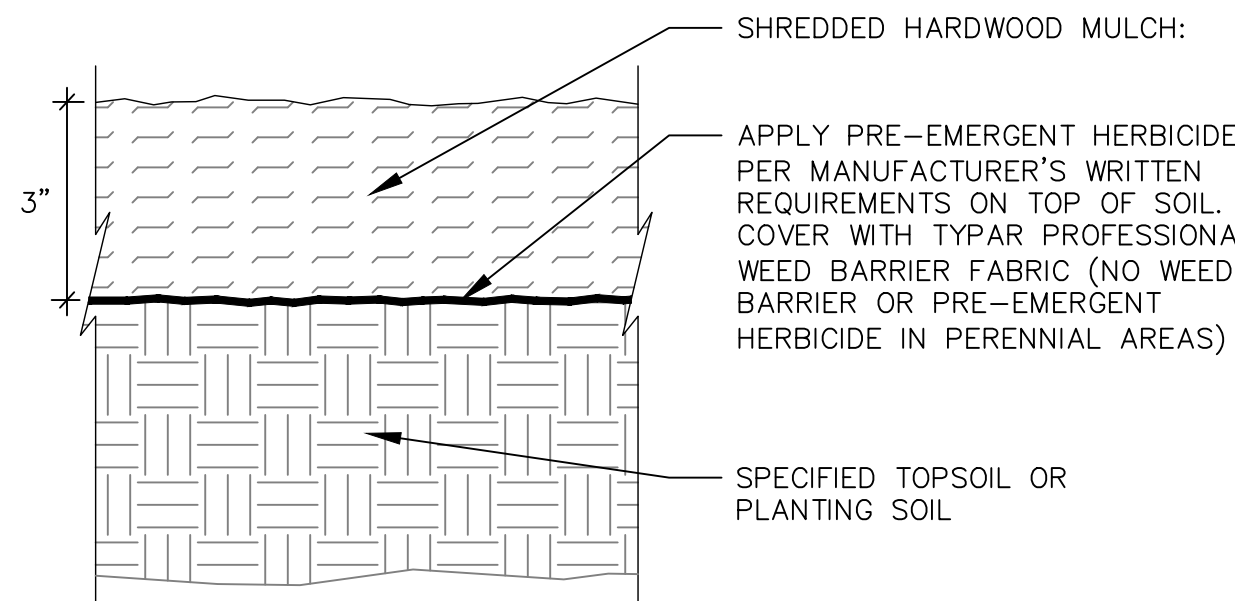


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PERENNIAL PLANTING

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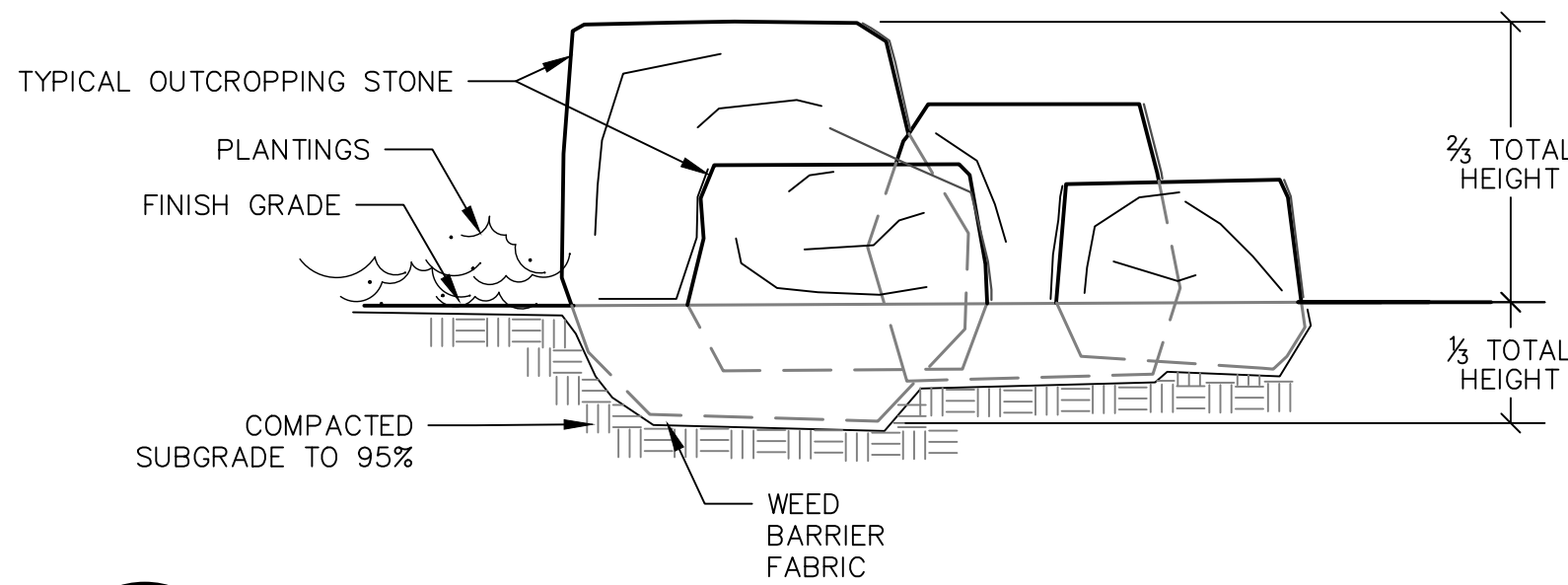


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SHREDDED HARDWOOD MULCH SECTION

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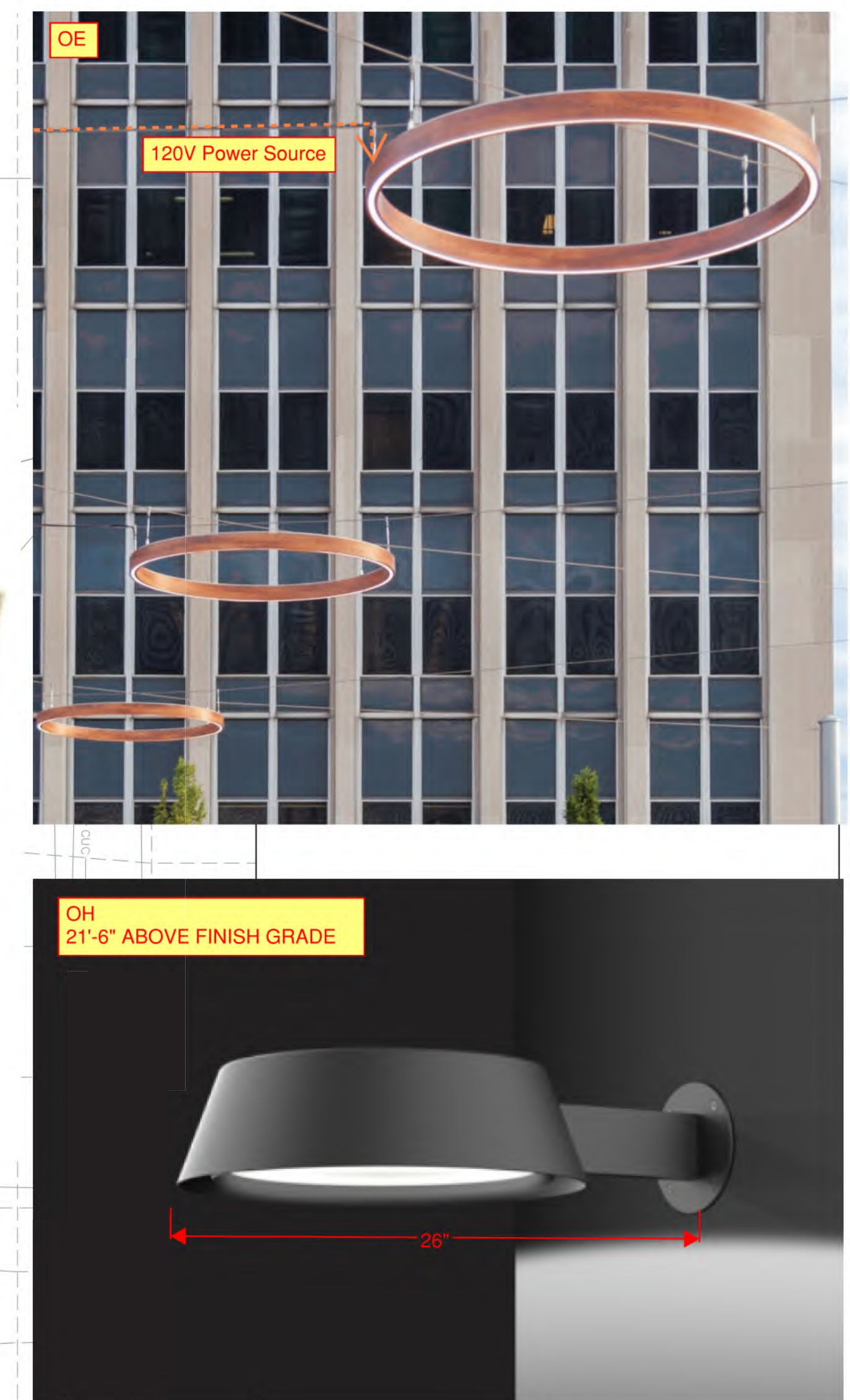
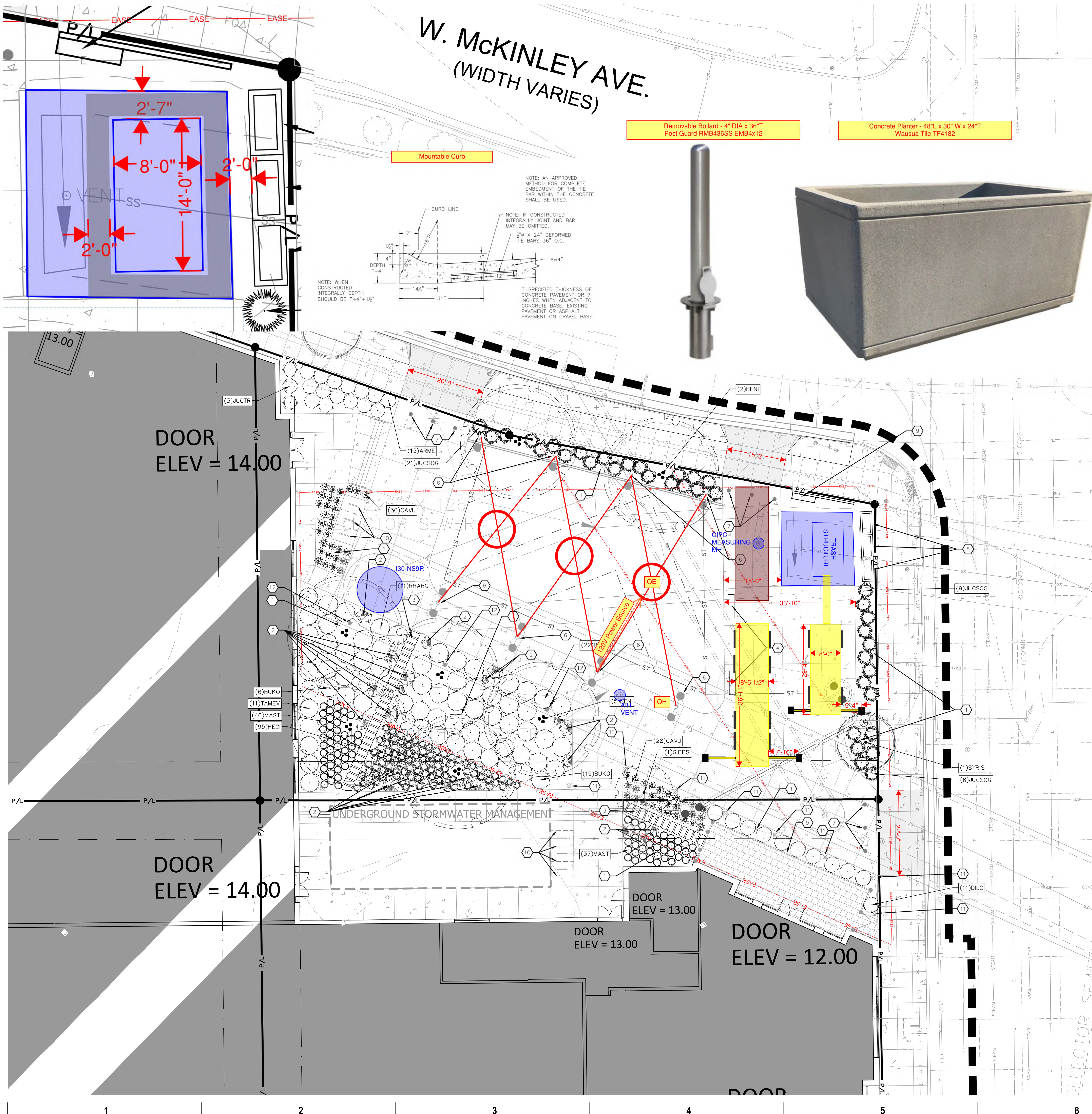
7

L201

TYPICAL OUTCROPPING STONE ACCENT INSTALLATION

N.T.S.

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT



Scale: 1" = 10'

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HATCH LEGEND	
	PROJECT LIMITS
	PROPERTY LINE
	EASEMENT LINE
	OUTCROPPING STONE ACCENTS/INFORMAL SEATING
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
	QUANTITY OF PLANTS IN THE PLANT GROUPING
	LEADER LINE
	PLANT SYMBOL (SYMBOL VARIES)
KEY INDEX	
(1)	SHREDDED HARDWOOD MULCH
(2)	OUTCROPPING STONE ACCENTS/INFORMAL SEATING
(3)	RECTANGULAR PRECAST CONCRETE STEPPERS
(4)	TYPE - SORENO COLOR - LIGHT GRANITE MAFR - UNLOCK SIZE 16"x32"x2"
(5)	BENCH
(6)	FENCE AROUND PATIO (SEE CIVIL AND ARCHITECTURAL DRAWINGS)
(7)	HANGING LIGHT SUPPORT POLE (SEE SITE LIGHTING PLAN)
(8)	REMOVABLE BOLLARDS (SEE CIVIL PLANS)
(9)	RAISED PRECAST CONCRETE PLANTERS
(10)	SIGN/FENCE FEATURE (SEE ARCHITECTURAL PLANS)
(11)	BIKE RACKS (SEE CIVIL PLANS)
(12)	BOLLARD LIGHT (SEE SITE LIGHTING PLAN)
(13)	TREE UP LIGHT (SEE SITE LIGHTING PLAN)

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PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5 OF MILWAUKEE BUCKS ARENA DEVELOPMENT - GPD

KEY PLAN

SHEET INFORMATION

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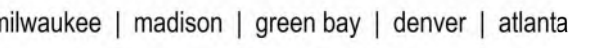
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PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

L101A

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PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT



ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

DPD ZONING SUBMITTAL FOR BLOCK 5
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DEVELOPMENT - GPD

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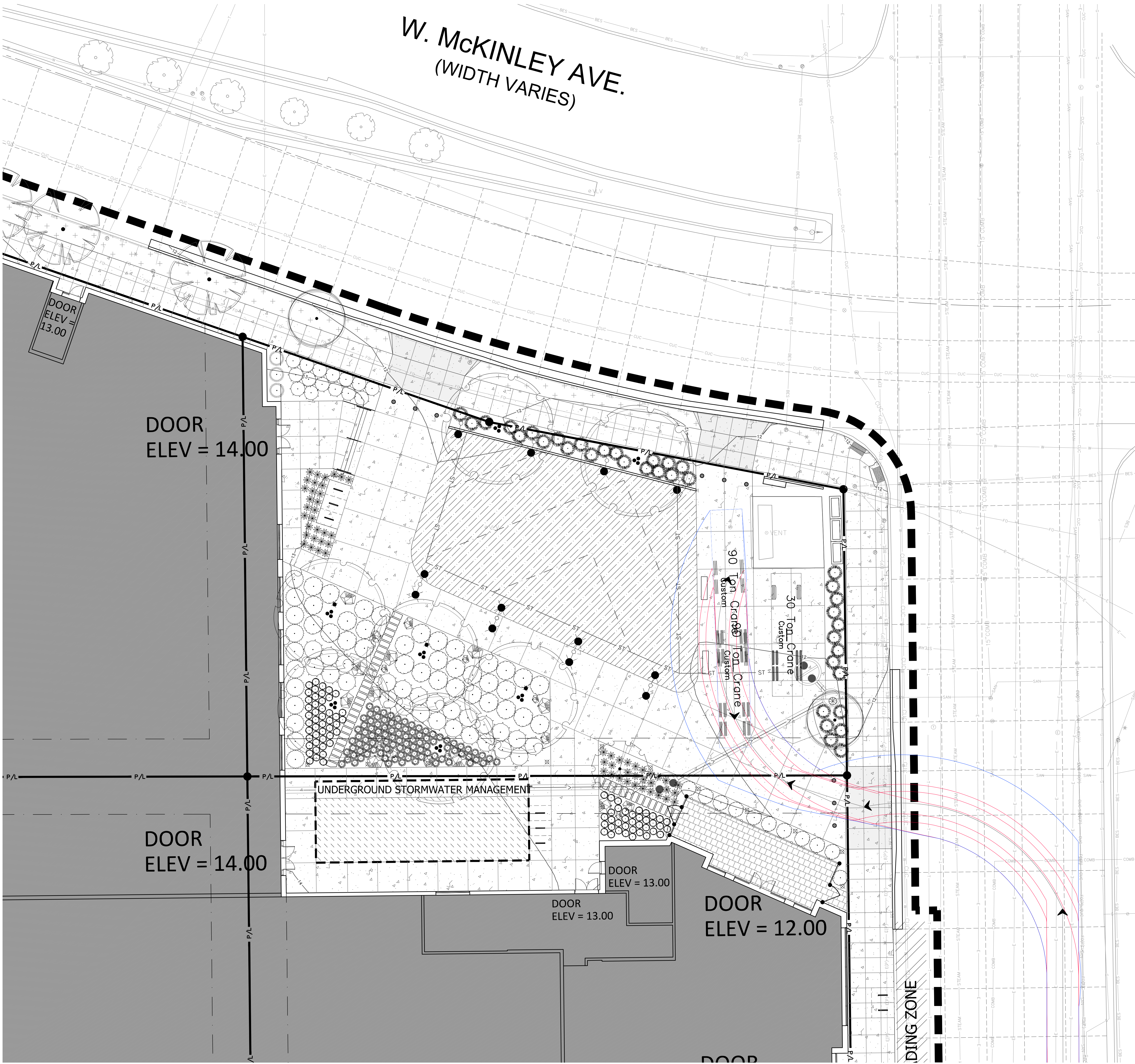
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SITE LANDSCAPE PLAN - PLAZA

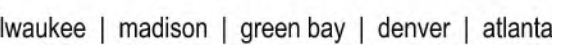
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02/14/2025	DESIGN DEVELOPMENT



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PROJECT INFORMATION

BLOCK FIVE MIXED-USE DEVELOPMENT

D



DATE	DESCRIPTION
02/14/2025	DESIGN DEVELOPMENT

3

PD ZONING SUBMITTAL FOR BLOCK 5
F MILWAUKEE BUCKS ARENA
EVELOPMENT - GPD

KEY PLAN

3

SHEET INFORMATION

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PROJECT MANAGER MO

PROJECT NUMBER 123654

SITE LANDSCAPE PLAN - PLAZA

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