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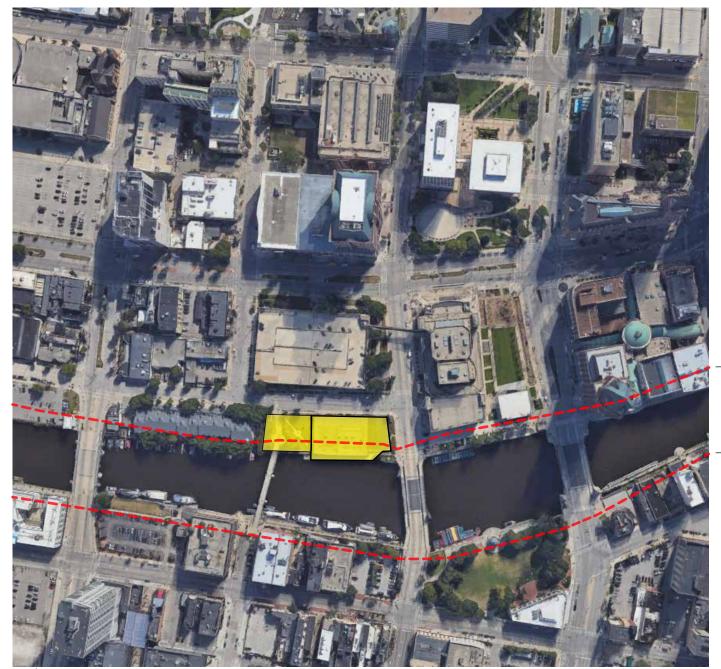
Landscape Documents

Riverwalk Connection Documents

Elevations / Sections

Renderings / Floor Plans

Existing Site Photos



RIVER OVERLAY
DISTRICT

RIVER OVERLAY
DISTRICT

via Google













Edison looking West at Pedestrian Bridge







Edison looking Northwest at Pedestrian Bridge



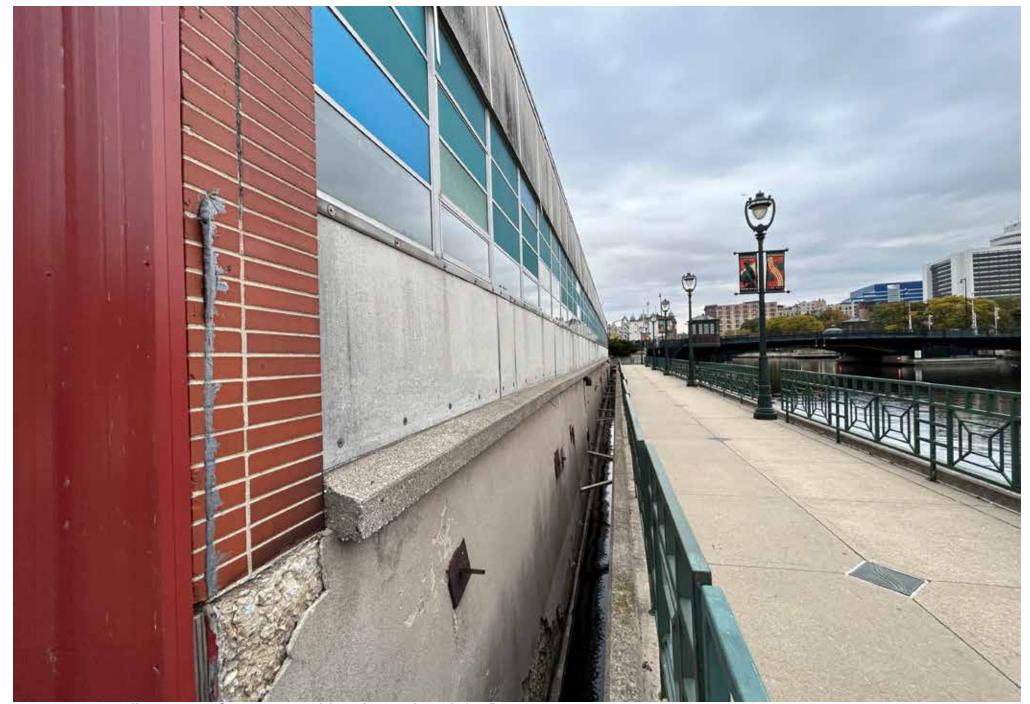




Pedestrian Bridge looking Southeast at Riverwalk







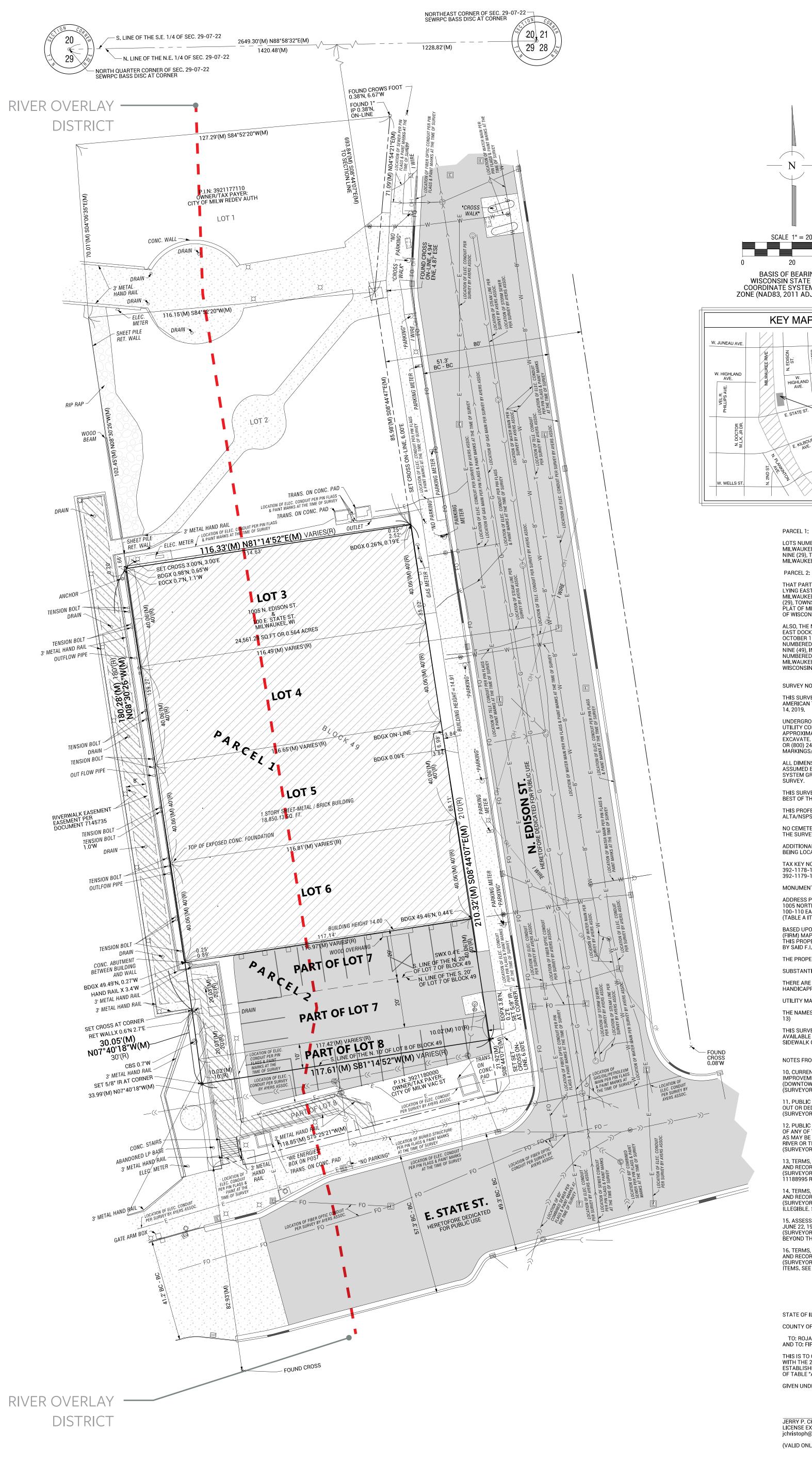
Existing Riverwalk at West of Previous Building (since demolished)

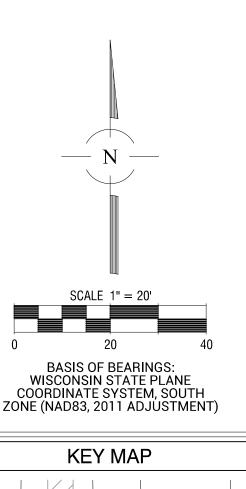


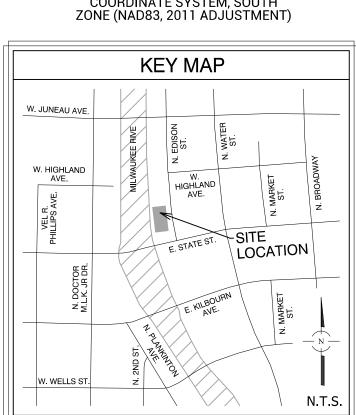


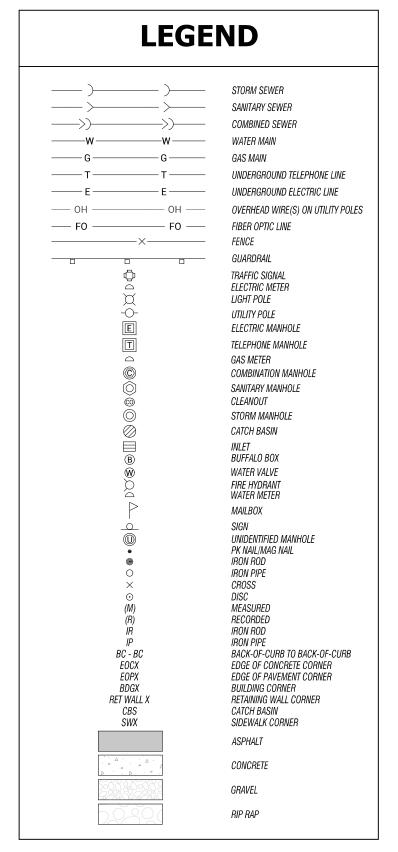
Survey

# A.L.T.A. / N.S.P.S. LAND TITLE SURVEY









LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), AND SIX (6), IN BLOCK NUMBERED FORTY-NINE (49), PLAT OF MILWAUKEE, ORIGINAL BLOCKS EAST OF THE RIVER, IN THE NORTH EAST ONE-QUARTER (NE¼) OF SECTION TWENTY-NINE (29), TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-TWO (22) EAST, IN THE CITY OF MILWAUKEE, COUNTY OF

THAT PART OF THE NORTH TWENTY (20) FEET OF LOT NUMBERED SEVEN (7) IN BLOCK NUMBERED FORTY-NINE (49), LYING EAST OF THE EAST DOCK LINE OF THE MILWAUKEE RIVER AS ESTABLISHED BY THE COMMON COUNCIL OF MILWAUKEE ON OCTOBER 14, 1946, IN THE NORTH EAST ONE-QUARTER (1/4) OF SECTION NUMBERED TWENTY-NINE (29), TOWNSHIP NUMBERED SEVEN (7) NORTH, RANGE NUMBERED TWENTY-TWO (22) EAST, BEING A PART OF THE PLÁT OF MILWAUKEE ON THE EAST SIDE OF THE RIVER, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE

ALSO, THE NORTH THIRTY (30) FEET OF FORMER MARTIN STREET (NOW EAST STATE STREET) LYING EAST OF THE EAST DOCK LINE OF THE MILWAUKEE RIVER AS ESTABLISHED BY THE COMMON COUNCIL OF MILWAUKEE ON OCTOBER 14, 1946, SAID THIRTY (30) FOOT PARCEL ORIGINALLY BEING DESCRIBED AS THE SOUTH 20 FEET OF LOT NUMBERED SEVEN (7) AND THE NORTH TEN (10) FEET OF LOT NUMBERED EIGHT (8) IN BLOCK NUMBERED FORTY-NINE (49), IN THE NORTH EAST ONE-QUARTER (1/4) OF SECTION NUMBERED TWENTY-NINE (29), TOWNSHIP NUMBERÊD SEVEN (7) NORTH, RANGE NUMBERÈD TWENTY-TWO (22) EAST, BEING A PART OF THE PLAT OF MILWAUKEE ON THÈ ÉAST SIDE OF THE RIVER, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF

SURVEY NOTES:

THIS SURVEY REFLECTS MATTERS OF TITLE AS LISTED ON A COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-975515-MAD, WITH A COMMITMENT DATE OF AUGUST

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES, AND/OR ENGINEERING DESIGN PLANS. THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE. OTHER UTILITIES NOT SHOWN MAY EXIST. BEFORE DIGGING CALL WISCONSIN'S ONE-CALL CENTER 811 OR (800) 242-8511. A DIGGERS HOTLINE TICKET WAS CALLED IN BY THE OWNER FOR JANUARY 10, 2023 AND THOSE

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING. BEARINGS SHOWN HEREON ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM GRID, SOUTH ZONE (NAD-83), WISCORS WAS USED TO ESTABLISH THE COORDINATE SYSTEM FOR THIS

THIS SURVEY COMPLIES WITH CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS.

NO CEMETERIES, GRAVESITES OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY. ADDITIONALLY, THIS SURVEYOR HAS NO PRIOR KNOWLEDGE OF CEMETERIES, GRAVESITES OR BURIAL GROUNDS BEING LOCATED ON THE SURVEYED PROPERTY.

TAX KEY NOS.: 392-1178-100 (PARCEL 1) 392-1179-100 (PARCEL 2)

MONUMENTS WERE FOUND/SET AT THE PARCEL CORNERS AS SHOWN. (TABLE A ITEM 1) ADDRESS PER TITLE COMMITMENT: 1005 NORTH EDISON STREET (PARCEL 1) 100-110 EAST STATE STREET (PARCEL 2)

BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 55079C0091E WITH AN EFFECTIVE DATE OF 09/26/2008 IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) — AREA WITH A 0.2% ANNUAL CHANCE FLOOD HAZARD AS IDENTIFIED BY SAID F.I.R.M. MAP. (TABLE A ITEM 3)

THE PROPERTY SURVEYED CONTAINS 24,561 SQUARE FEET, OR 0.564 ACRES, MORE OR LESS. (TABLE A ITEM 4) SUBSTANTIAL FEATURES ARE SHOWN HEREON. (TABLE A ITEM 8)

THERE ARE 20 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY, NONE OF WHICH ARE MARKED HANDICAPPED. (TABLE A ITEM 9)

UTILITY MARKINGS AS FOUND AT THE TIME OF THE SURVEY ARE SHOWN HEREON. (TABLE A ITEM 11(B)) THE NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS ARE SHOWN HEREON. (TABLE A ITEM

THIS SURVEYOR KNOWS OF NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (TABLE A ITEM 17)

NOTES FROM TITLE COMMITMENT:

10. CURRENT AND FUTURE OBLIGATIONS ARISING FROM THE INCLUSION OF THE SUBJECT PARCELS IN BUSINESS IMPROVEMENT DISTRICT NO. 15 (MILWAUKEE RIVER WALKS) AND BUSINESS IMPROVEMENT DISTRICT NO. 21 (SURVEYOR'S NOTE: NOT A SURVEY RÉLATED ITEM.)

11. PUBLIC OR PRIVATE RIGHTS IN SUCH PORTION OF THE SUBJECT PREMISES AS MAY BE PRESENTLY USED, LAID OUT OR DEDICATED IN ANY MANNER WHATSOEVER, FOR STREET, HIGHWAY, AND OR ALLEY PURPOSES. (SURVEYOR'S NOTE: ADJOINING ROADWAYS ARE SHOWN.)

12. PUBLIC RIGHTS OF THE UNITED STATES, THE STATE OF WISCONSIN OR THE CITY OR COUNTY OF MILWAUKEE OR OF ANY OF THEIR AGENCIES IN THAT PORTION OF THE DESCRIBED REAL ESTATE LYING EASTERLY OF THE DOCK LINE AS MAY BE ESTABLISHED FROM TIME TO TIME AND CONSTITUTING THE BED OR THE WATERS OF THE MILWAUKEE RIVER OR THE DOCK LINE, PROTECTION WALLS, BULKHEADS OR OTHER STRUCTURES PERTAINING THERETO.

13. TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS SET FORTH IN WARRANTY DEED DATED JUNE 14, 1954 AND RECORDED ON JUNE 18, 1954, IN VOLUME 3303 OF DEEDS, PAGE 199, AS DOCUMENT NO. 3304054. (SURVEYOR'S NOTE: TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS HAVE BEEN RELEASED PER DOCUMENT

14. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN GRANT OF EASEMENT AGREEMENT DATED APRIL 20, 1995 AND RECORDED ON NOVEMBER 02, 1995, IN REEL 3663, IMAGE 1404, AS DOCUMENT NO. 7145735. (SURVEYOR'S NOTE: THE APPROXIMATE LOCATION OF THE EASEMENT IS SHOWN, SPECIFIC DIMENSIONS ARE NOT ILLEGIBLE, SEE DOCUMENT FOR DETAILS.)

15. ASSESSMENT PROVISIONS AS SET FORTH IN ATTACHMENTS TO AFFIDAVIT OF HARRY A. STEIN RECORDED ON JUNE 22, 1998, IN REEL 4334, IMAGE 1366, AS DOCUMENT NO. 7551859. (SURVEYOR'S NOTE: ASSESSMENTS ARE NOT A SURVEY RELATED ITEM. EASEMENTS TAKEN BY THIS DOCUMENT ARE BEYOND THE LIMITS OF THE SURVEYED PROPERTY.)

16. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN RIVERWALK LICENSE AGREEMENT DATED MARCH 01, 2005 AND RECORDED ON OCTOBER 06, 2006, AS DOCUMENT NO. 09315832.
(SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY BUT DOES NOT CONTAIN ANY PLOTTABLE ITEMS. SEE DOCUMENT FOR SPECIFIC DETAILS.)

COUNTY OF COOK )

TO: ROJAHN AND MALANEY COMPANY AND TO: FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, & 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 11, 2023. GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021 IN ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, WISCONSIN P.L.S. No. 2701-8 LICENSE EXPIRES: 01-31-2024

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

THE NEUTRAL PROJECT 25 W. MAIN SUITE 500 MADISON, WI 53703

**FOR REVIEW PURPOSES ONLY** 





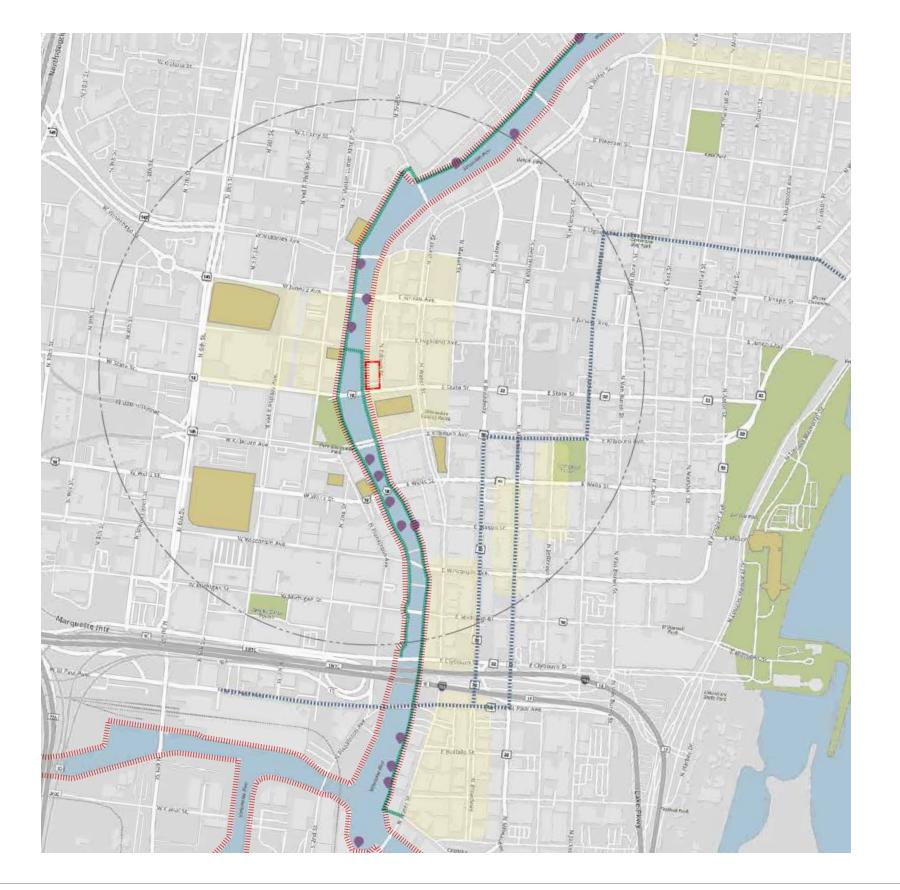
DATE: 1/25/2023 JOB NO: 12416 12416ALTA-01 SHEET

1 OF 1

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065

Contextual Analysis

### CONTEXT ANALYSIS



#### LEGEND

RIVER OVERLAY DISTRICT

- - - 1/2 MILE RADIUS

RIVERWALK

STREETCAR

DOCK

ENTERTAINMENT DISTRICT

ENTERTAINMENT BUILDING





HP/A



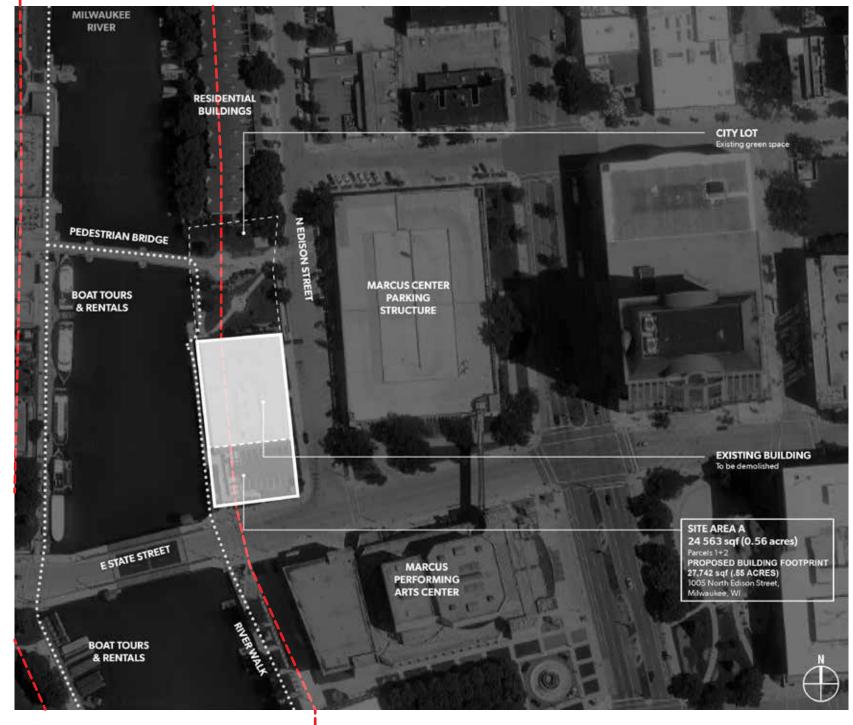
SITE CONTEXT

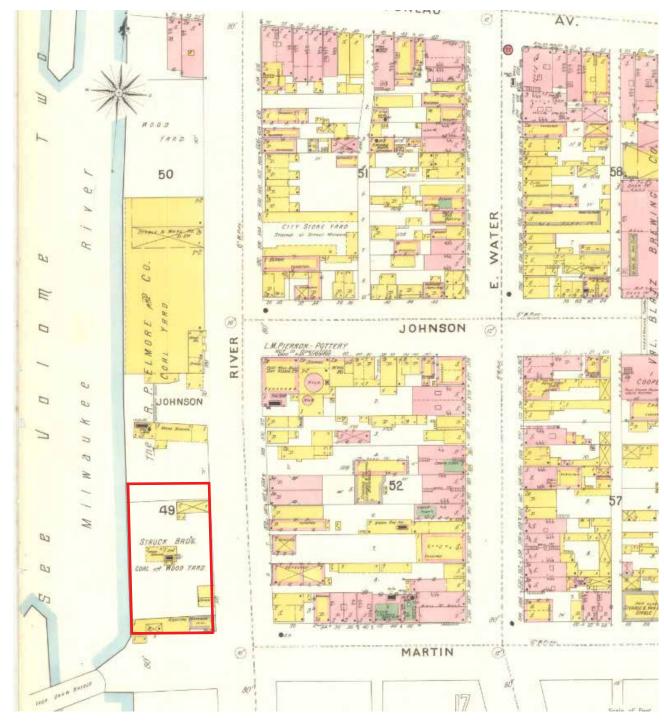
RIVER OVERLAY DISTRICT



### SITE LOCATION

#### • RIVER OVERLAY DISTRICT





HISTORIC MAP

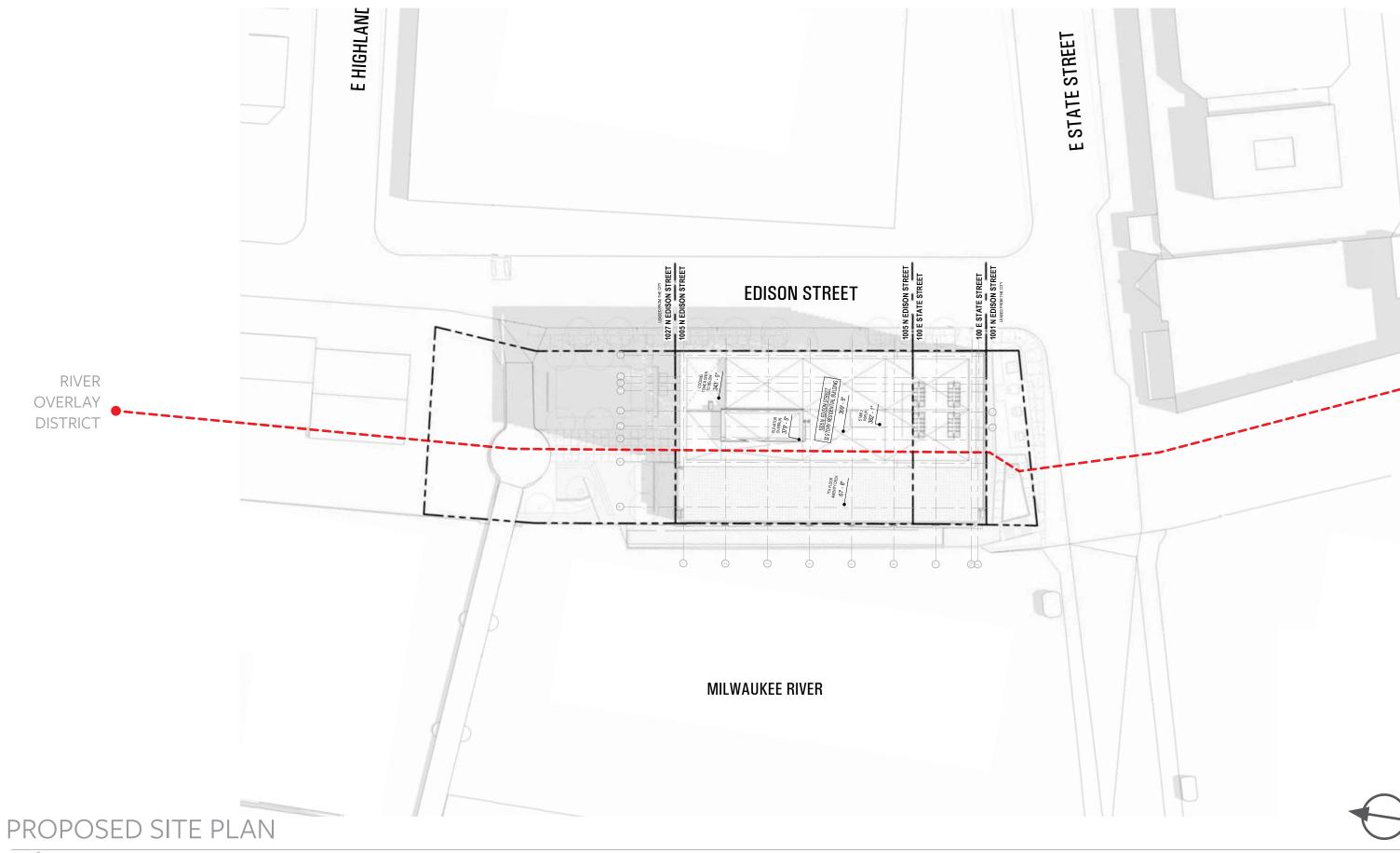
**CURRENT MAP** 

• RIVER OVERLAY DISTRICT



NEUTRAL PROJECT | CD SMITH

Site Plans







**LEGEND** AIR CONDITIONING UNIT BOLLARD TREE WITH SIZE SANITARY SEWER COMBINATION MANHOLE SANITARY MANHOLE TRAFFIC SIGNAL BOX FIR TREE WITH SIZE ──**W** ──**W** WATER MAIN ELECTRIC METER LIGHT POLE GAS MAIN UNIDENTIFIED MANHOLE STORM MANHOLE T UNDERGROUND TELEPHONE LINE — GUY WIRE ANCHOR STONE
RIGHT OF WAY MONUMENT
PK NAIL/MAG NAIL
RAILROAD SPIKE
IRON ROD
IRON PIPE
CROSS CULVERT WINDOW WELL E UNDERGROUND ELECTRIC LINE LANDSCAPE LIGHT/FLOOD LIGHT CATCH BASIN FLARED END SECTION ELECTRIC PEDESTAL — OH — OVERHEAD WIRE(S) ON UTILITY POLES INLET AUXILIARY VALVE BUFFALO BOX ELECTRIC MANHOLE CONCRETE — FO — FIBER OPTIC LINE TELEPHONE PEDESTAL CONCRETE MONUMENT SIAMESE CONNECTION/AUTO SPRINKLER TELEPHONE MANHOLE WATER VALVE CABLE PEDESTAL FIRE HYDRANT WATER METER GUARDRAIL

BOGE OF WATER CABLE MANHOLE ------GQNTOUR GAS METER GAS VALVE —  $\Psi$  — WETLAND LIMITS VALVE AND VAULT × 999.99 SPOT ELEVATION

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN. LAST DATE OF FIELD WORK: FEBRUARY 24, 2023

LINE OF W. EVERETT ST., 3.7' N. OF THE S.W. CORNER OF THE BUILDING SET IN THE TOP OF A LIMESTONE WATER TABLET AND 2.5' ABOVE THE SIDEWALK. DISC IS BATTERED AND STAMP IS NO LONGER LEGIBLE. ELEVATION = (594.55 NAVD88) 14.281' CITY OF MILWAUKEE DATUM SITE BENCHMARK #1: W. FLANGE BOLT OF FIRE HYDRANT LOCATED AT THE N.E. CORNER OF N. ELEVATION OF WATER ON FEBRUARY 24, 2023 EDISON ST. & HIGHLAND AVE. =-0.61 CITY OF MILWAUKEE DATUM ELEVATION = 10.51 CITY OF MILWAUKEE DATUM

> S.W. FLANGE BOLT ON THE FIRE HYDRANT LOCATED ON THE E. SIDE OF N. EDISON ST. AND 50' NORTH OF THE NORTH LINE OF STATE ST. ELEVATION = 11.48 CITY OF MILWAUKEE DATUM SITE BENCHMARK #3: SITE BENCHMARK #3.
>
> S.W. FLANGE BOLT (LOWER) ON THE FIRE HYDRANT AT THE S.E. CORNER
> OF EDISON ST. & STATE ST.
> ELEVATION = 10.69 CITY OF MILWAUKEE DATUM

AT THE N.W. CORNER OF THE INTERSECTION OF N. 3RD ST. AND

EVERETT ST., AT THE S.W. CORNER OF WISCONSIN ELECTRIC COMPANY

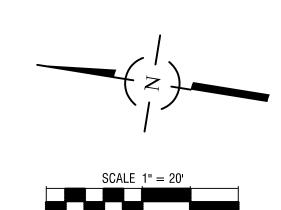
BLDG, 40.5' E. OF THE CENTER LINE OF N. 3RD ST., 26' N. OF THE CENTER

SOURCE BENCHMARK:

SITE BENCHMARK #2:

PID: OL0154

NGS DESIGNATION: 102



S 1=-0.95, 12"UNKNOWN MAT. W I=0.02,8"PVC(PER SURVEY BY AYERS ASSOC.) 1.28,18"RCP(PER SURVEY BY AYERS ASSOC.) T/WATER=6.7 SW 1=3.73,18"X13"RECT. HOLE IN WALL 04"8,01.2=1 WN 04"8,01.2=1 WN E 1=-0.74,12"PVC 8=31 \( \tag{18}, \tag{18} - LOCATION OF ELEC. CONDUIT PER SURVEY BY AYERS ASSOC. 48.8=A OCATION OF WATER MAIN PER PIN ELAGS & TRINE OF SURVEY LOCATION OF TELE. CONDUIT PER SURVEY BY AYERS ASSOC. COCATION OF 60• COMBINED
SEWER PER PIN FLAGS & PAINT
MARKS AT THE TIME OF SURVEY - LOCATION OF STORM SEWER - PER SURVEY BY AYERS ASSOC. LOCATION OF ELEC. CONDUIT PER PIN FLAGS & PAINT MARKS AT THE TIME OF SURVEY TRINGE IN THE TIME OF SUBJECT STANDARD BY A NABLE TO OPEN

UNABLE TO OPEN 67.8=A ✓ OCATION OF TELE. CONDUIT PER PIN FLAGS

& PAINT MARKS AT THE TIME OF SURVEY

EP= EXISTING BUILDING **DEMOLISHED** RIVER OVERLAY — — DISTRICT **MILWAUKEE RIVER** 

EXISTING CONDITIONS

ARCH. ELEV: 0'-0'' = +9.50

AREA FOR CITY APPROVAL STAMP

verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request. Hartshorne Plunkard, LLC shall retain all copyrights, statutory and common la

right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

> THE EDISON 1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 5320

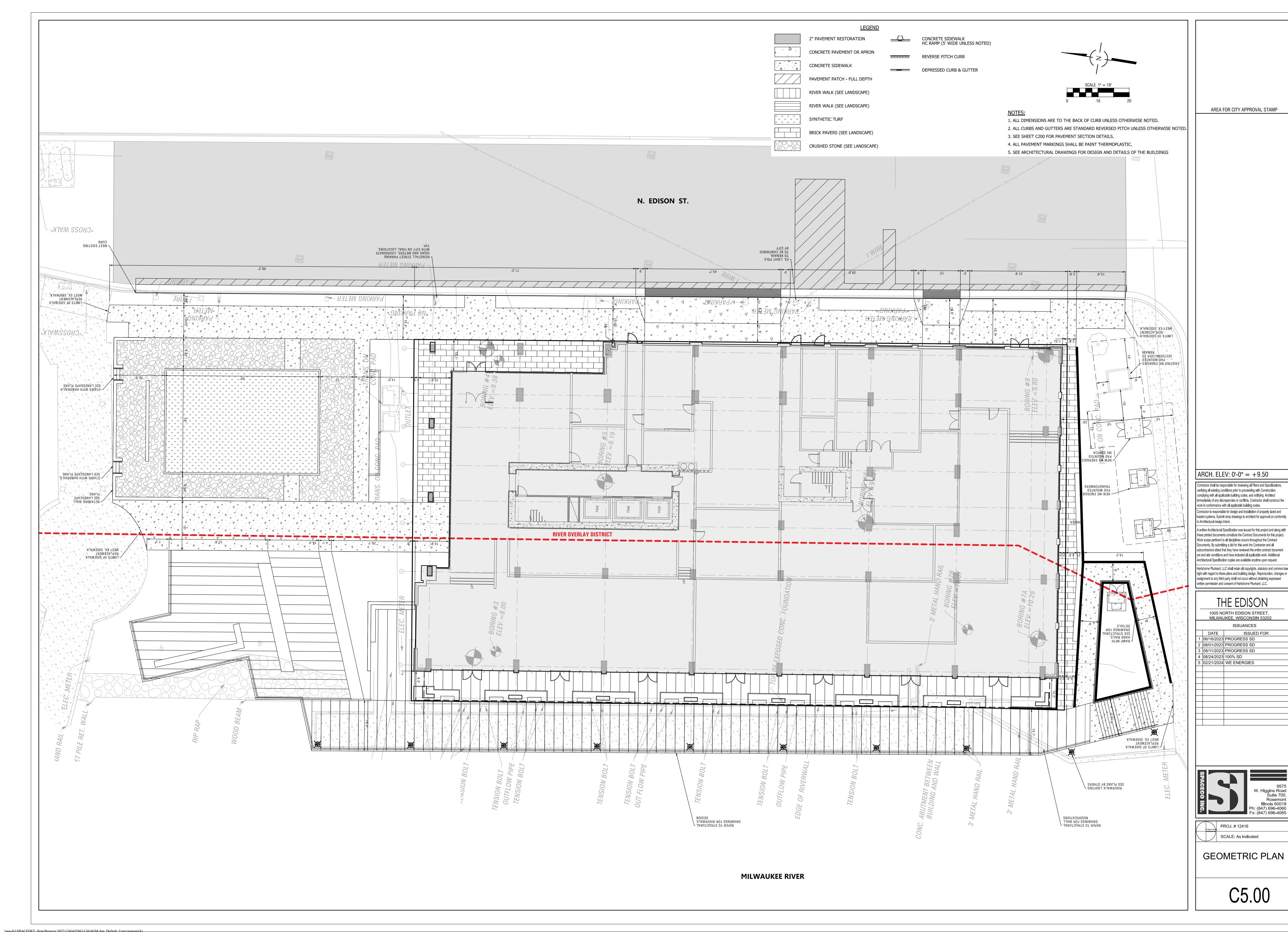
		ISSUANCES
	DATE	ISSUED FOR
1	06/16/2023	PROGRESS SD
2	08/01/2023	PROGRESS SD
		·

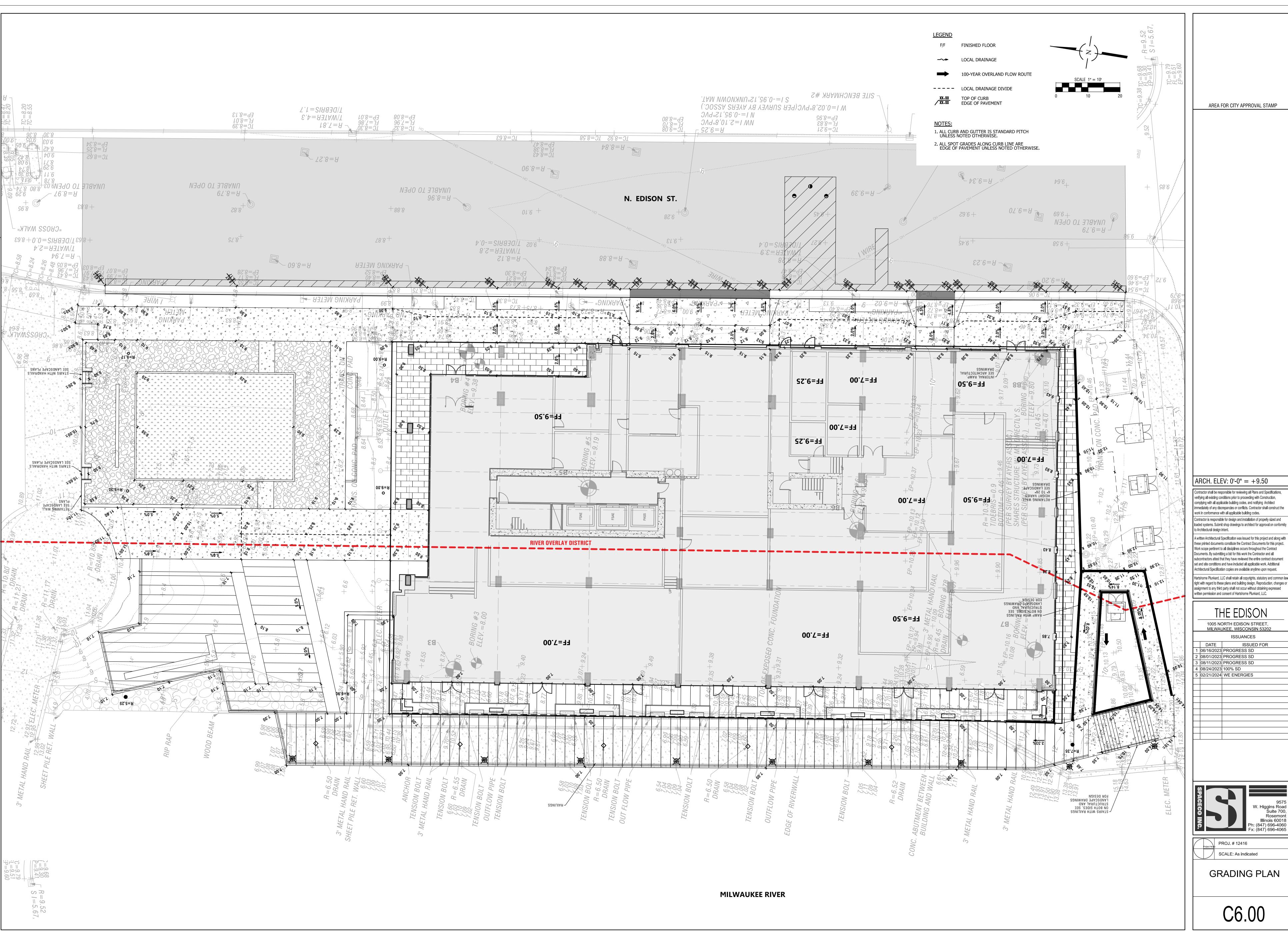


SCALE: As indicated

**EXISTING CONDITIONS** 

C3.00





AREA FOR CITY APPROVAL STAMP

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Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity

assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard, LLC.

1005 NORTH EDISON STREET,

ISSUANCES

2 08/01/2023 PROGRESS SD 3 08/11/2023 PROGRESS SD 5 02/21/2024 WE ENERGIES



SCALE: As indicated

**GRADING PLAN** 

C6.00

Retail

Back of House

Parking

Circulation



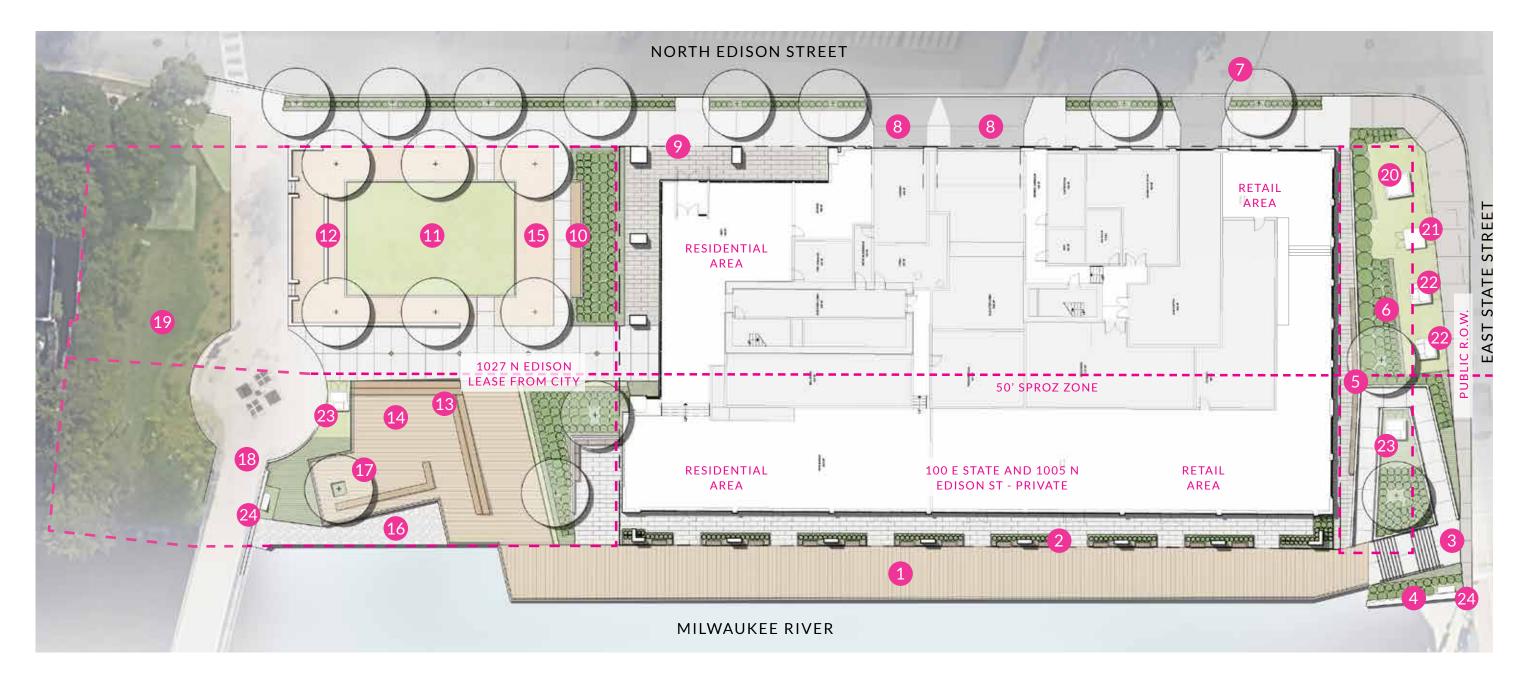
**GROUND FLOOR** 

Scale: 1/32" = 1'-0"





Landscape Documents



#### **LEGEND**

- 1 RIVERWALK
- 2 RAISED PLANTERS AND BENCHES
- 3 RIVERWALK STAIRS AND RAMP
- 4 HISTORIC WALL
- 5 FLOATING BENCH

- 6 SCREEN PLANTING
- 7 STREET TREE
- 8 GARAGE ENTRANCE
- PROPERTY LINE
- 10 WOOD BENCH SEAT WALL

- 11 OPEN LAWN
- 12 FOCAL WALL
- 13 STADIUM SEATING
- 14 OVERLOOK
- DECOMPOSED GRANITE WITH STABILIZER

- 6 RIPRAP
- 17 EXISTING TREE
- 18 EXISTING PEDESTRIAN BRIDGE
- 19 EXISTING PARK
- SECTIONALIZER CITY EQUIPMENT TO REMAIN

- MV SWITCH BUILDING EQUIPMENT; NEW UNIT
- 22 TRANSFORMER BUILDING EQUIPMENT; NEW UNIT
- 23 TRANSFORMER CITY EQUIPMENT RELOCATED
- 24 ELECTRIC METER CITY EQUIPMENT EXSITING TO REMAIN

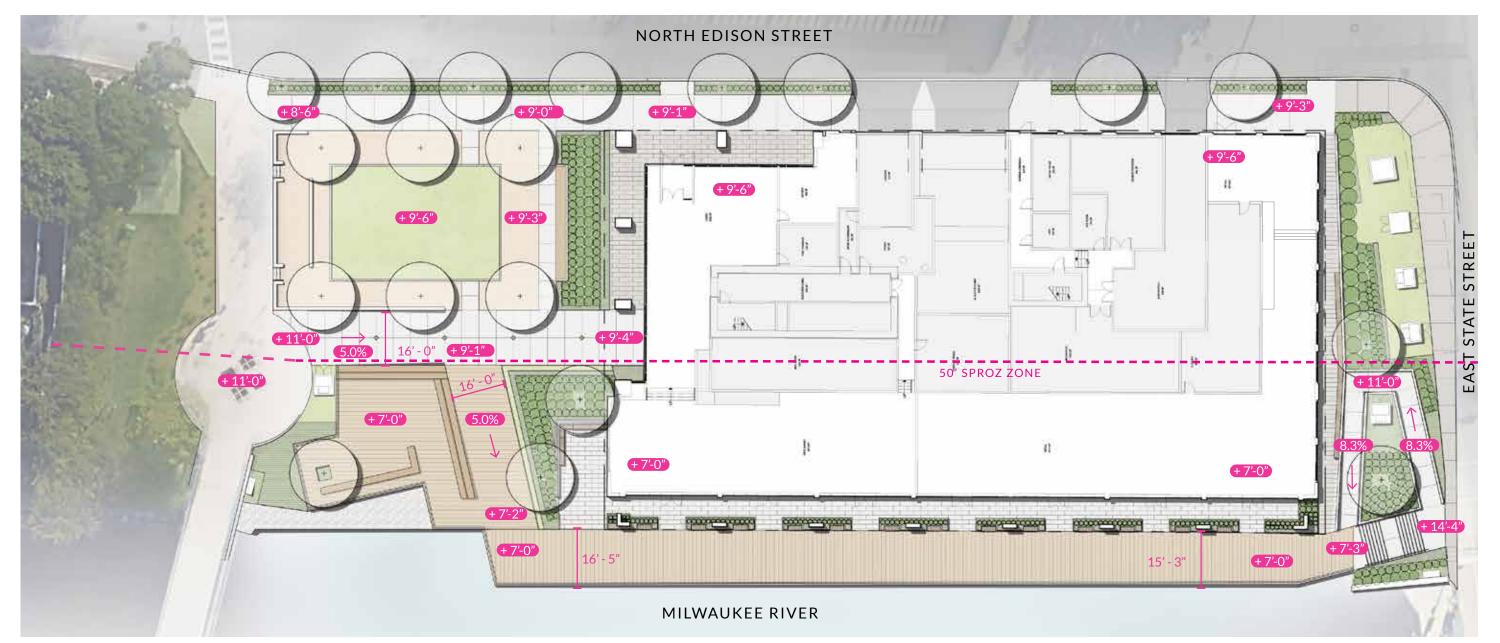
#### **SCHEMATIC DESIGN**

THE EDISON | SCHEMATIC DESIGN









#### **LEGEND**

0'-0" ⊢ DIMENSION

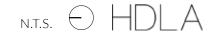
+0'-0"

**SPOT ELEVATION** 

0.0%  $\rightarrow$  SLOPE

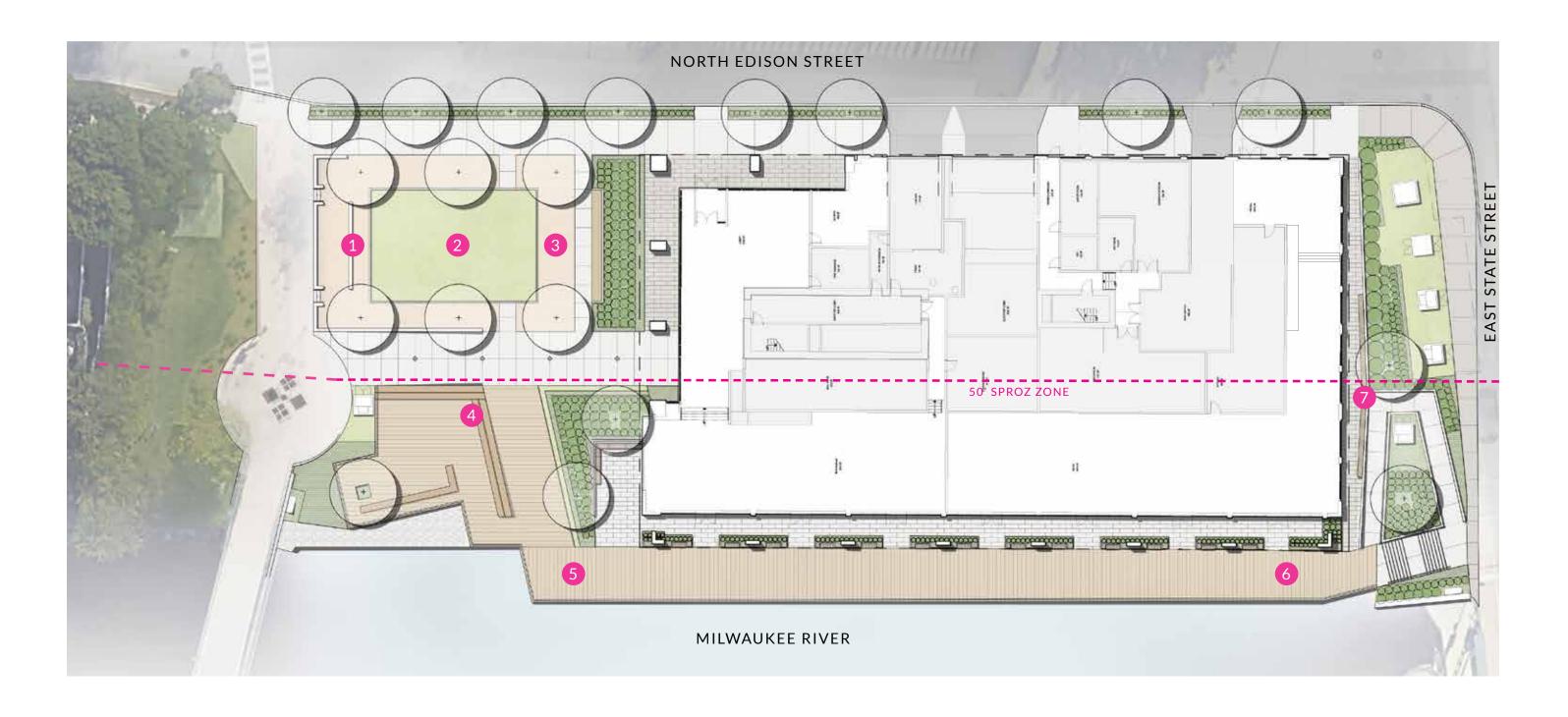
#### **SCHEMATIC DESIGN**

THE EDISON | SCHEMATIC DESIGN GRADING











SCHEMATIC DESIGN
THE EDISON | SCHEMATIC DESIGN & PRECEDENT IMAGERY

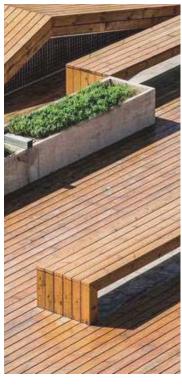








WOOD DECK along the river



LANDSCAPE ELEMENTS furnishing



VERTICAL FIN DARK METAL RAILING LANDSCAPE ELEMENTS color and design to match existing



Bollards with guard lights, planters



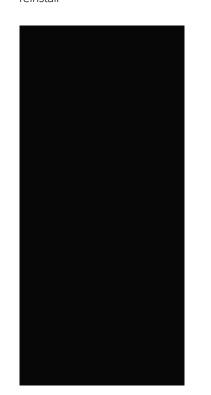
**EXISTING HARP LIGHT POLES** Remove existing finish, repaint and reinstall



LANDSCAPE ELEMENTS planters, edging





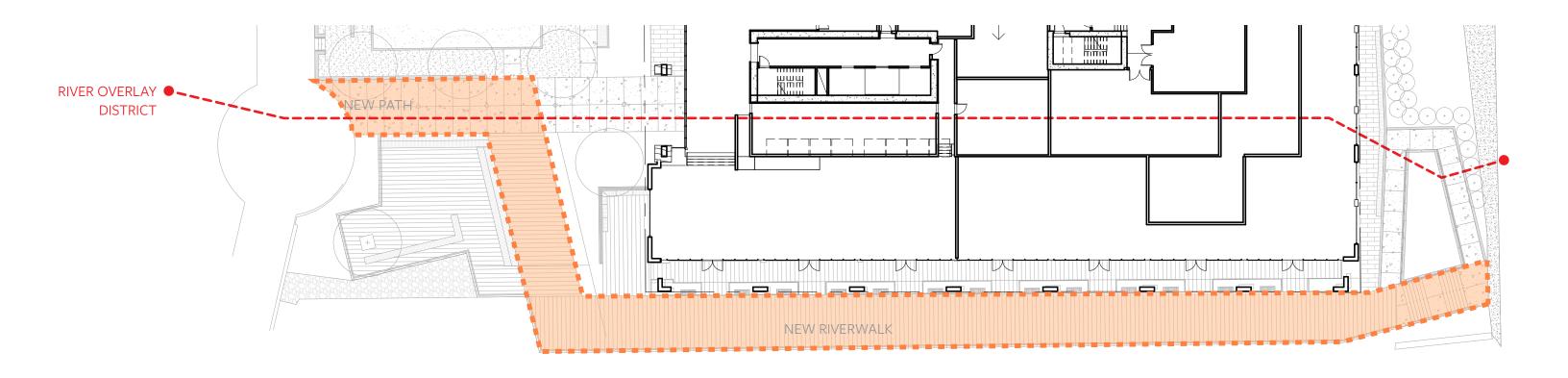




RIVERWALK - DESIGN

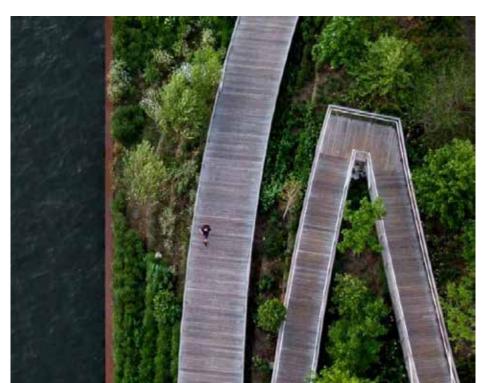


NEUTRAL PROJECT | CD SMITH











**HUNTERS POINT** NYC

PIER 26 NYC

RIVER WALK CHICAGO

**SØRENGA HARBOR POOL** OSLO

RIVERWALK - PAVING





NEUTRAL PROJECT | CD SMITH











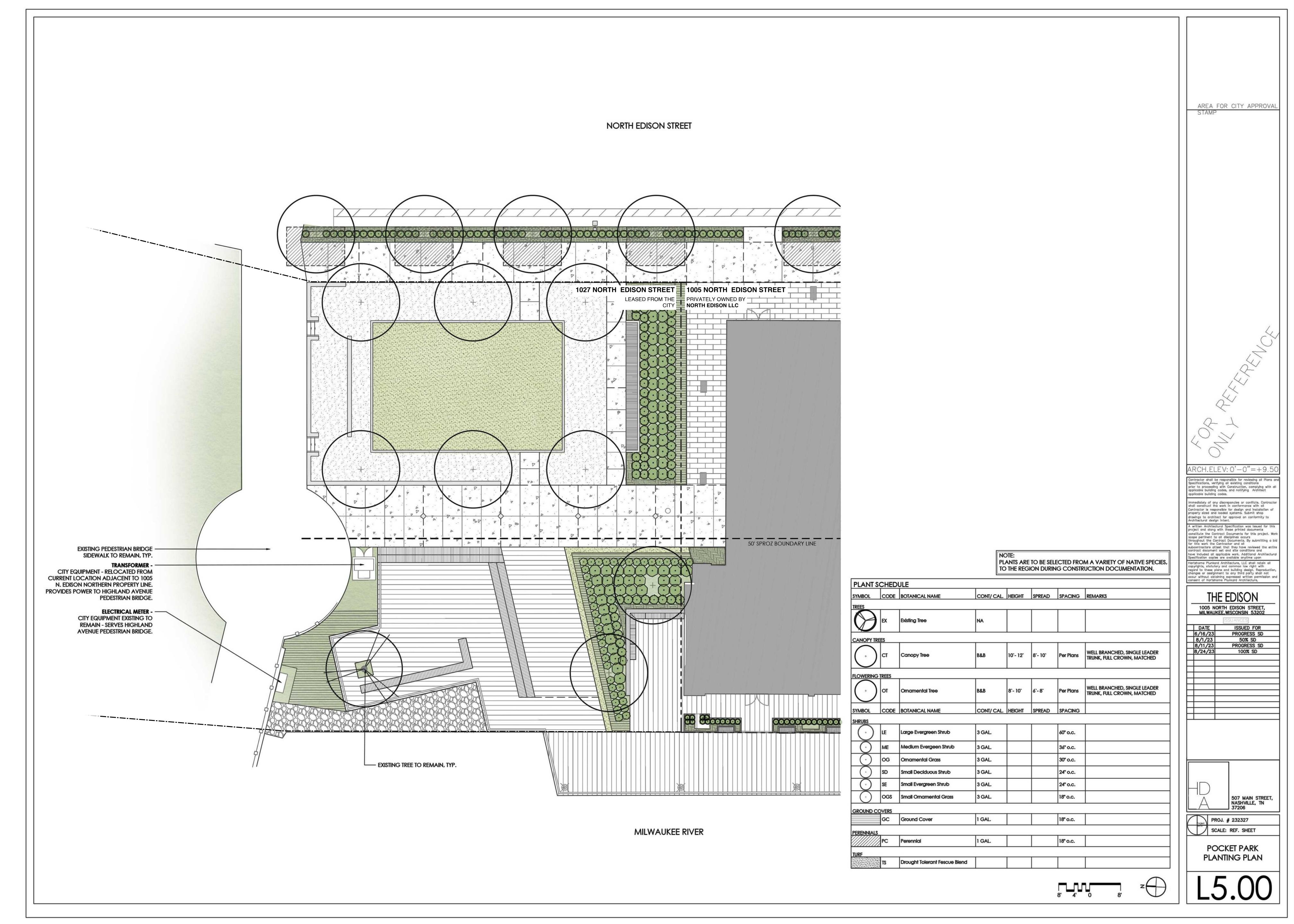


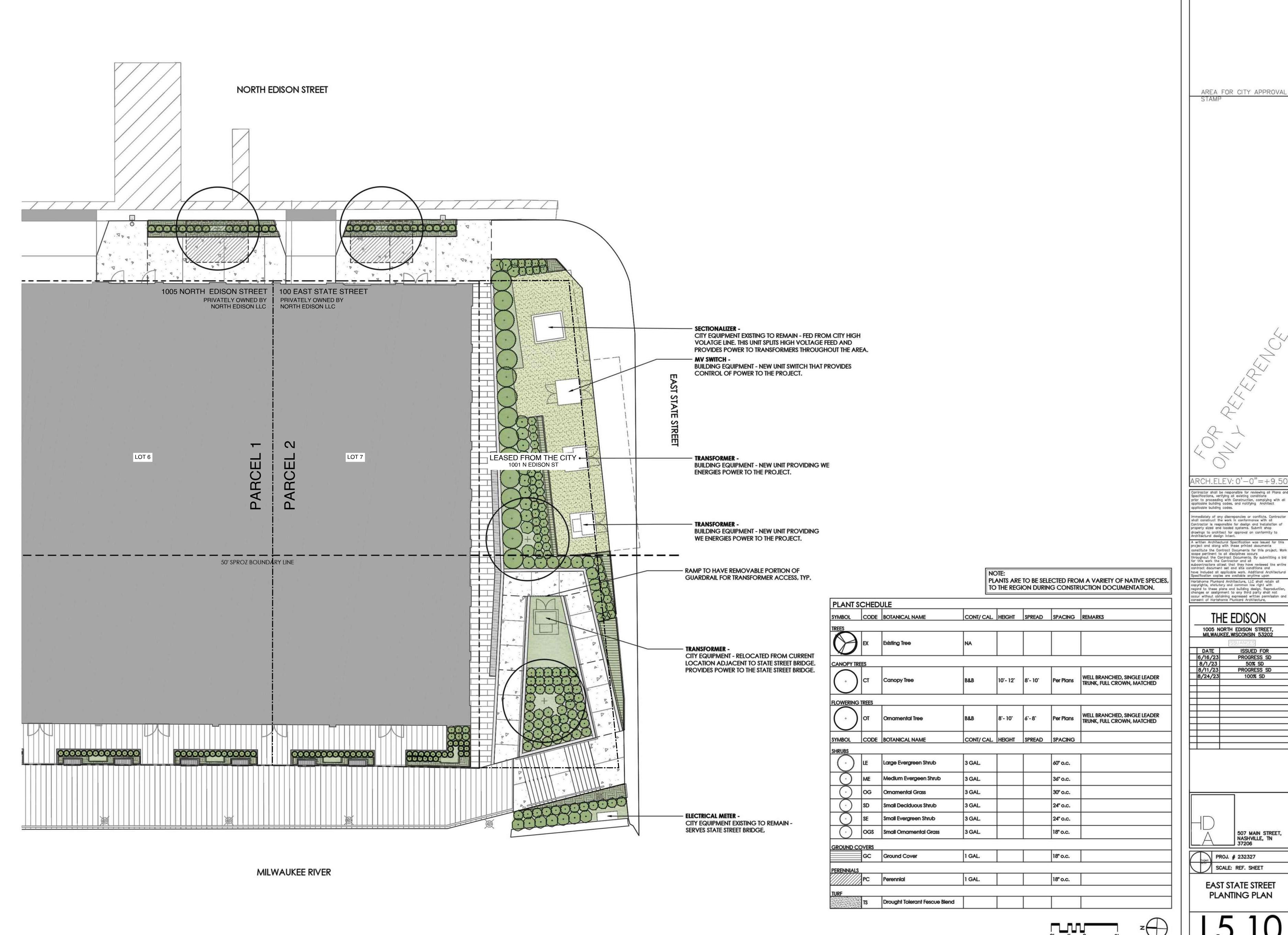
SCHEMATIC DESIGN
THE EDISON | PRECEDENT IMAGERY

HDLA









Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying. Architect applicable building codes.

immediately of any discrepancies or conflicts. Contracts shall construct the work in conformance with all Contractor is responsible for design and installation of drawings to architect for approval an conformity to Architectural design intent.

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contract document set and site conditions and Specification copies are available anytime upon Hartshorne Plunkard Architecture, LLC shall retain all capyrights, statutary and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshorne Plunkard Architecture.

1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 53202

SSUANCES				
DATE	ISSUED FOR			
6/16/23	PROGRESS SD			
8/1/23	50% SD			
8/11/23	PROGRESS SD			
8/24/23	100% SD			

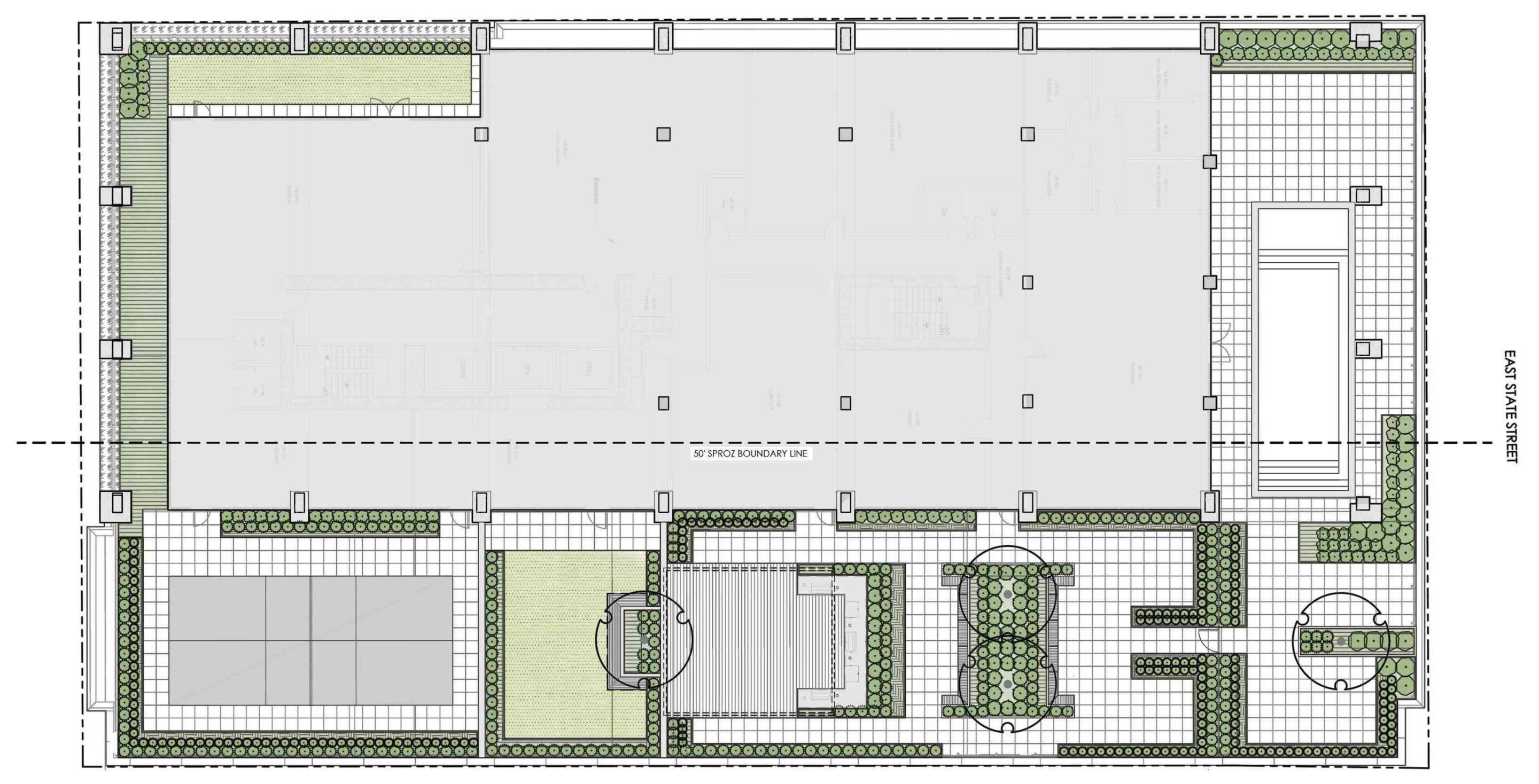
507 M NASH\ 37206
•

MAIN STREET, VILLE, TN

PROJ. # 232327
SCALE: REF. SHEET

EAST STATE STREET PLANTING PLAN

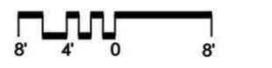
### NORTH EDISON STREET



MILWAUKEE RIVER

			1			1		I	consent	of Hartshorne	expressed written permiss Plunkard Architecture,
SYMBOL	CODE	BOTANICAL NAME	CONT/ CAL.	HEIGHT	SPREAD	SPACING		REMARKS		TUE	EDICON
TREES											EDISON
X	i I									1005 NORTI	H EDISON STREET, WISCONSIN 53202
()	EX	Existing Tree	NA								SSUANCES
$\bigvee J$	i I								<del>    ,</del>	DATE	ISSUED FOR
$\sim$	-1		:					.1		16/23	PROGRESS SD
CANOPY TI	REES									/1/23	50% SD
$\overline{}$										/11/23	PROGRESS SD
( , )	CT	Canony Tree	B&B	10'- 12'	8'- 10'	Per Plans			8/	24/23	100% SD
( )	СТ	Canopy Tree	DOLD	10 - 12	0 - 10	Per Piaris				-	
$\overline{}$		J								-	
					- 411						
FLOWERING	REES		1		1		1				
1											
	ОТ	Ornamental Tree	B&B	8'- 10'	6'-8'	Per Plans				-	
7 5										-	
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	_						1				
$\left( \cdot \right)$	ME	Medium Evergeen Shrub	3 GAL.				36" o.c.				
		meann Evergeen ernee	0 0/12.				00 0.0.				٦
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3.	SE	Small Evergreen Shrub	3 GAL.				24" o.c.			Д	NASHVILLE, TN
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PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES, TO THE REGION DURING CONSTRUCTION DOCUMENTATION.



AREA FOR CITY APPROVAL

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes. immediately of any discrepancies or conflicts. Contracto shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent. A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scape pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon

ARCH.ELEV: 0'-0"=+9.50

	ISSUANCES
DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD
	·



# PLANTING NOTES

1. TREAT ALL GROUNDCOVER BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.

2. ALL PLANT BEDS TO BE NEATLY LAID IN WITH 3" DEEP TRENCH EDGING BORDER.

3. ALL GROUNDCOVER AND PLANT BEDS SHALL MEET LANDSCAPE ARCHITECT'S SPECIFICATIONS. FINAL GRADES FOR ALL PLANT BEDS SHALL BE 1" BELOW EDGE OF WALK OR CURBING SO THAT WHEN 3" OF MULCH IS ADDED THE MULCH WILL BE 2" ABOVE THE WALKS. TAPER MULCH DOWN TO EDGE OF WALK OR CURB.

4. ALL AREAS WITHIN PLANT BEDS TO BE MULCHED WITH 3" DEEP LAYER OF 15. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTAIN TREES, DECOMPOSED SHREDDED PINE BARK.

5. ALL TREES OF A SIMILAR SPECIES TO BE MATCHED IN SIZE AND UNIFORMITY.

INCLUDE ALL DEFECTS INCLUDING DEATH OR UNSATISFACTORY GROWTH; SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS. MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD.

7. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANTS UNTIL TIME OF FINAL ACCEPTANCE.

8. PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. HEIGHT AND WIDTH SHOWN ARE MINIMUM

9. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM A MINIMUM OF 6 SUPPLIERS TO LANDSCAPE ARCHITECT, TOGETHER WITH A PROPOSAL FOR USE OF EQUIVALENT MATERIAL PRIOR TO FINAL BID DATE.

10. SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR; SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.

11. DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM PRUNING. DETERIORATION DURING DELIVERY AND WHILE STORED AT THE SITE.

12. DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAS BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED

MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE,

MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

13. DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM

14. PROVIDE 24" OF NEW TOPSOIL TO ALL PLANTING AREAS PER LANDSCAPE ARCHITECT'S SPECIFICATIONS. OBTAIN TOPSOIL FROM SOURCES LISTED IN SPECIFICATIONS.

SHRUBS, AND OTHER PLANTINGS BY PRUNING, WATERING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWN BY WATERING, FERTILIZING, 6. CONTRACTOR TO WARRANTY ALL PLANTINGS FOR A PERIOD OF ONE WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS YEAR AFTER DATE OF FINAL ACCEPTANCE BY OWNER. WARRANTY TO ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A

EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE 16. WHERE INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED BY LANDSCAPE ARCHITECT AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS PROMPTLY FROM PROJECT SITE.

> 17. ANY AND ALL QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE

> APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

19. SCARIFY ALL TREE PITS BEFORE PLANTING. VERIFY THAT ALL TREE PITS ADEQUATELY DRAIN BEFORE PLANTING TREES.

20. IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK AND PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.

21. SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR

22. PROVIDE TRUE RADII FOR THE LAYOUT OF ALL PLANT BEDS.

23. REFER TO PROJECT MANUAL REGARDING TREE FERTILIZATION AND

PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS

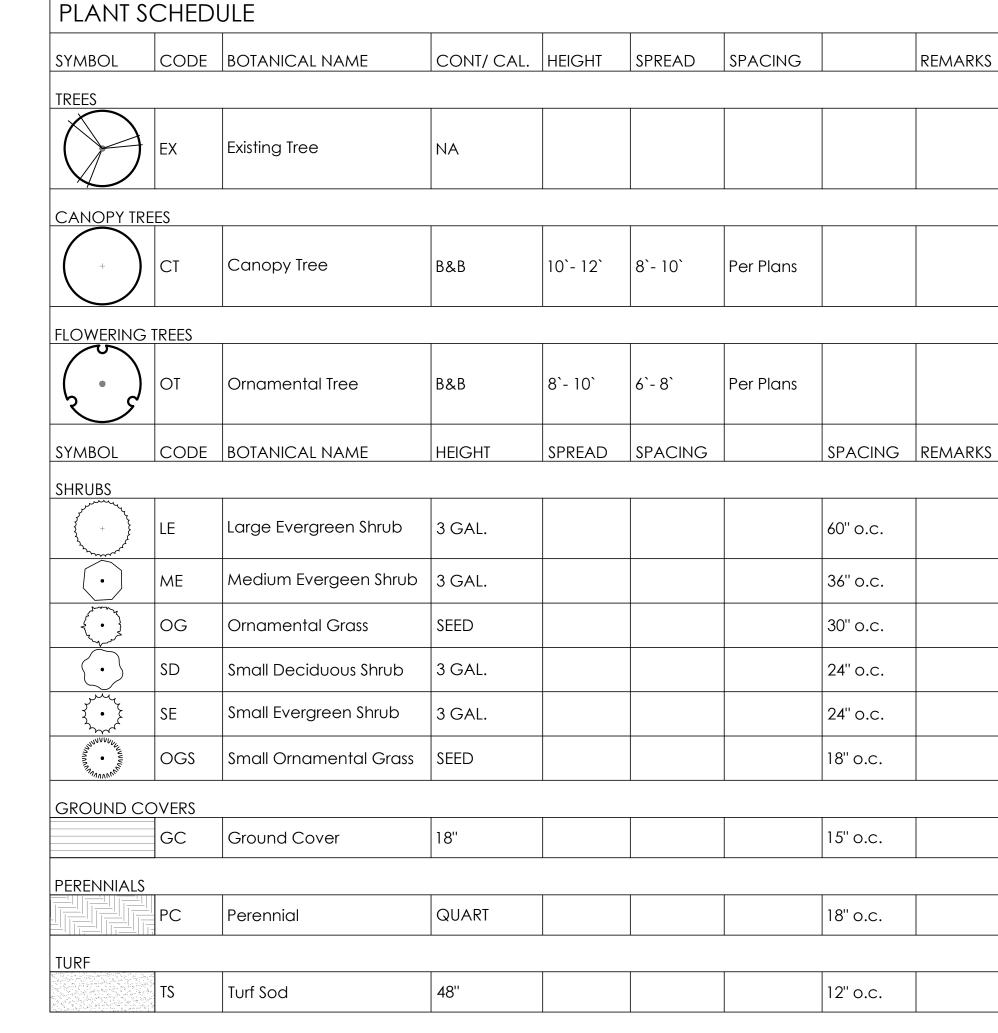
WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.

LANDSCAPE ARCHITECT IMMEDIATELY.

18. LOCATIONS OF ALL PLANT BEDS AND TREES TO BE STAKED AND

SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.

24. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH FULLY AUTOMATED IRRIGATION SYSTEM. IRRIGATION SYSTEM TO USE EXISTING WATER SOURCE ON SITE. BACK FLOW PREVENTER, CONTROLLER AND METER TO BE



TREES OF THE SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY DO NOT PRUNE BEFORE **ACCEPTANCE** ROOT BALL AND ROOT FLARE TO BE VISIBLE AND EVEN W/ PROPOSED GRADE TOP OF ROOT BALL TO MATCH PREVIOUS GROWING CONDITIONS. - FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND & 12" MIN. TWO PARTS NATIVE TOPSOIL NEATLY TRENCH EDGE OF SAUCER (4" SAUCER) SCARIFY BEFORE PLANTING - PLANTER SOIL MIXTURE TAMPED FIRM (3" TYP.)

VERGREEN TREE PLANTING

**VARIES** 

PLANTING SCHEDULE NOTES

CRAWFORD, GA - (706)743-5124

HAWKINSVILLE, GA - (478)783-4975

ORANGEBURG, SC - (803)534-5683

MIDLOTHIAN, VA. - (804)379-8733

BIRMINGHAM, AL - (866)348-6837

TULLAHOMA, TN - (931)455-5436

SOUTHEASTERN GROWERS, INC.

WATKINSVILLE, GA - (706)310-1151

2. IF TREES ARE NOT AVAILABLE AT THE INDICATED NURSERIES,

OBTAINED AT LISTED NURSERIES MUST MEET ALL OF THE

CONTRACTOR TO SUBMIT ALTERNATIVE NURSERIES. ALL TREES

HUNTER TREES NURSERY, LLC.

HAWKERSMITH NURSERY

PLANTATION TREE CO.

SPECIFICATIONS REQUIRED

SELMA, AL - (334)875-9176

SHADY GROVE PLANTATION AND NURSERY

SELECTED VENDORS ONLY:

WATKINS NURSERIES

**BOLD SPRINGS NURSERY** 

SELECT TREES

1. TREES TO BE OF THE HIGHEST GRADE AND PURCHASED FROM THESE

REMOVE TOP 1/3 PORTION OF BURLAP

DO NOT PRUNE BEFORE

FOR HEDGE PLANTING ON SLOPED AREA, FORM

SAUCER FOR EACH SHRUB

PREVIOUS GROWING

TOP OF ROOTBALL TO MATCH

- COVER SAUCER W/ 3" OF MULCH

- FILL W/ PLANT SOIL MIXTURE, ONE

NOT TO SCALE

PART PEAT, ONE PART SAND &

TWO PARTS NATIVE TOPSOIL

SCARIFY SIDES OF TRENCH

TOPSOIL MIXTURE TAMPED

BEFORE PLANTING

FIRM (4" MIN.)

CONDITIONS. REMOVE TOP

1/3 PORTION OF BURLAP

ACCEPTANCE

NOT TO SCALE

- TREES OF THE SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY SELECT PRUNE 1/2 BRANCHING HABIT. CONFORM TO HORTICULTURAL PRACTICES AS ESTABLISHED BY AMERICAN ASSOC. OF NURSERYMEN AMERICAN STANDARD FOR NURSERY STOCK, 1980. (TYP. FOR ALL TREE AND SHRUB MATERIAL) - ROOT BALL AND ROOT FLARE TO BE VISIBLE AND EVEN W/ PROPOSED GRADE - REMOVE TOP  $lac{1}{2}$  PORTION OF BURLAP, NEATLY TRENCH EDGE OF SAUCER - NEATLY TRENCH EDGE OF SAUCER FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND & TWO PARTS NATIVE TOPSOIL - PLANTER SOIL TAMPED FIRM SCARIFY BEFORE PLANTING

ORNAMENTAL TREE PLANTING

- TREES OF THE SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK TO LIMITS SHOWN AND PROVIDE DRAINAGE AWAY FROM EACH TREE PIT - TOP OF ROOTBALL TO MATCH PREVIOUS GROWING CONDITIONS THIN BRANCHES BY 25% TO RETAIN NATURAL SHAPE IN GROWTH AND UNIFORMITY PROTECT SMOOTH BARK FROM SUN SCALD PRIOR TO PLANTING - DO NOT MULCH AROUND TRUNK - ROOT BALL AND FLARE TO BE VISIBLE AND EVEN WITH PROPOSED GRADE

FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND & TWO PARTS NATIVE TOPSOIL SCARIFY BEFORE PLANTING - PLANTER SOIL MIXTURE TAMPED FIRM (3" TYP.)

NOT TO SCALE

TOP OF ROOTBALL TO MATCH REMOVE TOP  $\frac{1}{3}$  PORTION OF BURLAP, PREVIOUS GROWING CONDITIONS NEATLY TRENCH EDGE OF SAUCER 4" SAUCER FILLED WITH MULCH & WATER IMMEDIATELY AFTER PLANTING

TREE PLANTING

PROJ. # 232327 SCALE: REF. SHEET

PLANTING SCHEDULE, NOTES AND DETAILS

507 MAIN STREET,

NASHVILLE, TN

AREA FOR CITY APPROVA

ARCH.ELEV:0´-0´'=+9.5

prior to proceeding with Construction, complying with capplicable building codes, and notifying Architect

immediately of any discrepancies or conflicts. Contrac

Contractor is responsible for design and installation o properly sized and loaded systems. Submit shop

A written Architectural Specification was issued for this project and along with these printed documents

constitute the Contract Documents for this project. W

scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a b

subcontractors attest that they have reviewed the ent contract document set and site conditions and

have included all applicable work. Additional Architectu pecification copies are available anytime upon

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THE EDISON

ISSUANCES

ISSUED FOR

PROGRESS SD

50% SD PROGRESS SD

100% SD

1005 NORTH EDISON STREET,

MILWAUKEE, WISCONSIN 53202

copyrights, statutory and common law right with

for this work the Contractor and all

DATE

[6/16/23]

8/24/23

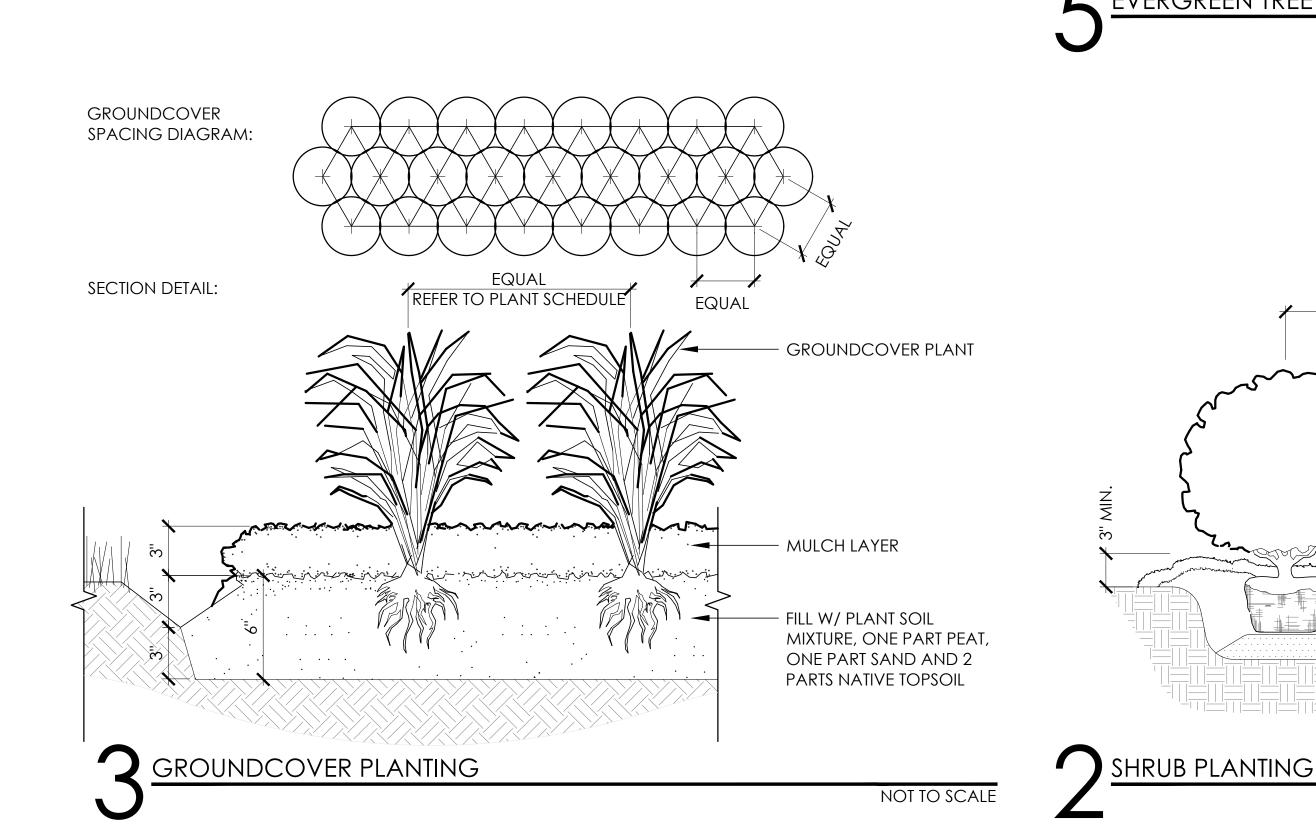
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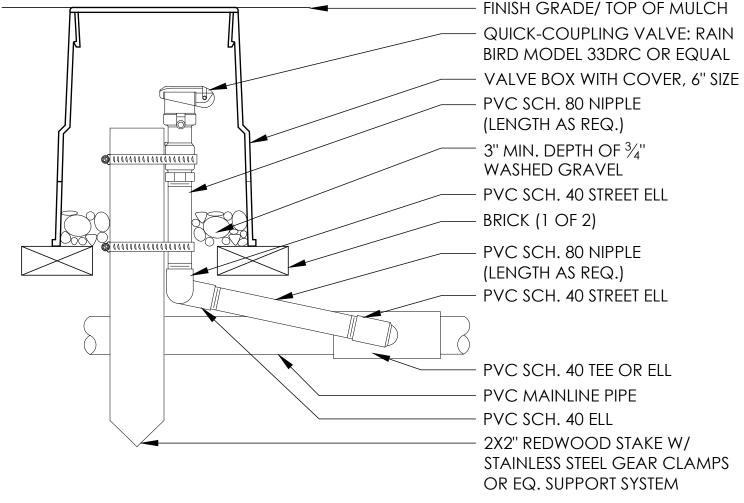
drawings to architect for approval on conformity to

shall construct the work in conformance with all

applicable building codes.

Contractor shall be responsible for reviewing all Plans an





1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

**OUTSIDE WALL** 

QUICK COUPLING VALVE NOT TO SCALE

HYBRID CONTROLLER:

PVC SCH 40 CONDUIT

- PVC SCH 40 CONDUIT

WIRES TO REMOTE CONTROL

AND FITTINGS TO POWER SUPPLY

NOT TO SCALE

NOT TO SCALE

AND FITTINGS

JUNCTION BOX

VALVES

OR EQUAL

RAIN BIRD ESP-C SERIES

**OUTDOOR WALL MOUNT** 

PIPES WITH FLORESCENT ORANGE PAINT. - ROAD, WALK OR CURB PAVEMENT — FINISHED GRADE VARIES - SOIL CONDITION VARIES FILL/PLANTING FILL/EXISTING —COMPACTED SUB-BASE -CAP BOTH ENDS OF PVC SLEEVE BELOW GRADE AND LEAVE CAPS UNGLUED ON PVC SLEEVE EXTEND ALL SLEEVES 2'-0" BEYOND EDGE OF PAVEMENT, OR BACK OF CURB, TYPICAL SDR-21, CLASS 200 PVC SLEEVE SIZE NOTED ON PLANS

MARK LOCATION OF ALL SLEEVE ENDS WITH 2"

ABOVE GRADE. SPRAY PAINT TOP OF LOCATOR

DIAMETER PVC PIPE FROM SLEEVE END TO 4'

NOTE: PROVIDE AN AS-INSTALLED IRRIGATION SLEEVE PLAN. INDICATE THE ROAD STATION OF EACH IRRIGATION SLEEVE LOCATION UNDER ROADWAYS.

LEEVES UNDER WALK/ ROAD

NOT TO SCALE

PVC SCH 40 TEE OR ELL

NOT TO SCALE

NOT TO SCALE

ALIGN EDGE OF VALVE BOX PARALLEL TO PLANT ROW, TYPICAL -IRRIGATION VALVE BOX \_SHRUB/GROUNDCOVER PLANTING AREA PLANT LOCATION (TRIANGULAR SPACING OR SINGLE ROW SPACING) NOTE: VERIFY ALL VALVE BOX LOCATIONS WITH LANDSCAPE ARCHITECT

GROUPINGS IN SHRUB/GROUNDCOVER CONDITIONS

-IRRIGATION VALVE BOX EDGE OF VALVE BOX SHALL BE PARALLEL TO EDGES OF CONCRETE CURBS/SIDEWALKS/WALLS, ETC. -CONCRETE CURB/SIDEWALK

NOTE: VERIFY ALL VALVE BOX LOCATIONS WITH LANDSCAPE ARCHITECT

GROUPINGS IN TURF CONDITIONS

VALVE BOX GROUPINGS

NOT TO SCALE

PLANT MATERIAL FINISH GRADE - TOP OF MULCH COMPRESSION X 1/2-INCH FPT FITTING: RAIN BIRD CF-12 OR CF-13 SINGLE-OUTLET EMITTER: RAIN BIRD ROTOR POP-UP SPRINKLER: PRESSURE-COMPENSATING RAIN BIRD T-BIRD MODULE PC-24 OR EQUAL MODEL T-12-C OR EQUAL - COMPRESSION RAIN BIRD CF-21 OR EQUAL **PVC SCH 80 NIPPLE** TIE-DOWN STAKE: (LENGTH AS REQUIRED) RAIN BIRD TDS-050 OR EQUAL PE PIPE: RAIN BIRD PVC SCH 40 ELL RAIN-TUBE RT-050-500 PVC SCH 40 STREET ELL OR EQUAL **PVC SCH 80 NIPPLE** PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) (LENGTH AS REQUIRED) – PVC SCH 40 STREET ELL - LATERAL PIPE

> NOTE: XERI-TUBE AND RAIN TUBE OR EQUAL.

1. USE RAIN BIRD BUG GUN MODEL EMA-BG TO INSERT EMITTER DIRECTLY INTO

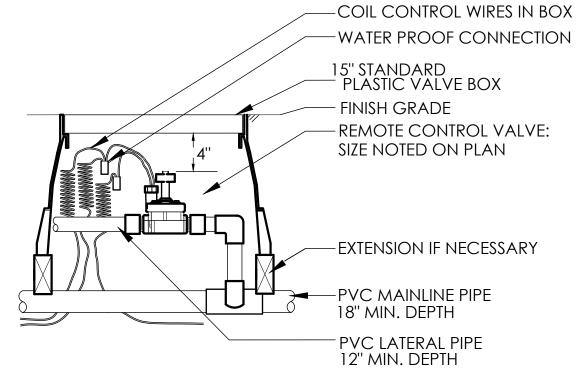
PVC TO PIPE CONNECTION

NOT TO SCALE

FINISH GRADE/TOP OF MULCH POP-UP SPRAY SPRINKLER: RAIN BIRD 1802 OR EQUA W/PLASTIC MPR NOZZLE PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) - PVC SCH 40 ELL - PVC SCH 40 STREET ELL PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) PVC SCH 40 STREET ELL — PVC LATERAL PIPE - PVC SCH 40 TEE OR ELL

POP-UP SPRAY SPRINKLER

HYBRID CONTROLLER

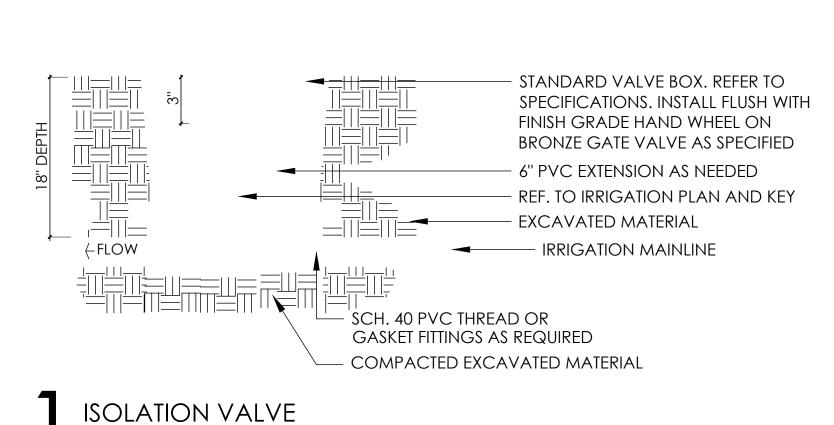


REMOTE TO PIPE CONNECTION

-PVC LATERAL PIPE

ROTOR POP-UP SPRINKLER

1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.



NOT TO SCALE

STANDARD IRRIGATION NOTES

1) CONTRACTOR TO SUBMIT SHOP DRAWING OF IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

IRRIGATION NOTES

1) SITE TO BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR IN ACCORDANCE TO STATE LAW.

2) CONTRACTOR SHALL SUPPLY AND INSTALL ALL VALVES, HEADS, PIPE, CONTROLLING, WIRING, BACKFLOW PREVENTOR AND CONTROLLER FOR A TWO WIRE IRRIGATION SYSTEM.

3) COORDINATE LOCATION OF WATER SOURCE AND BACKFLOW PREVENTOR WITH GENERAL CONTRACTOR COORDINATE LOCATION OF CONTROLLER WITH OWNER.

4) INSTALL SYSTEM AS PER SPECS. REFERENCE SPECIFICATIONS FOR MEETING AND MATCHING EXISTING IRRIGATION SYSTEM.

5) CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING SITE UTILITIES PRIOR TO COMMENCING WITH WORK, CONTRACTOR RESPONSIBLE FOR DAMAGE CAUSED DURING CONSTRUCTION TO ANY SITE UTILITIES AND SITE FEATURES.

6) FOR ALL PIPE PENETRATIONS REFER TO ARCHITECTS PLANS.

7) CONTRACTOR TO PROVIDE FULL SHOP DRAWINGS PER SPECIFICATIONS FOR DESIGN BUILD IRRIGATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. REF. DESIGN BUILD IRRIGATION SPECIFICATION AND NOTES ON SHEET L730. REF. LANDSCAPE PLANS FOR SPECIFIC PLANT TYPES AND LOCATIONS. COMMUNICATE SITE WATER CONNECTIONS WITH PROJECT CIVIL, M.E.P. ENGINEERS, CONTRACTOR AND LANDSCAPE ARCHITECT.

# DESIGN BUILD IRRIGATION NOTES

1) ALL WORK SHALL CONFORM TO ANY AND ALL APPLICABLE REGULATIONS AND CODES FOR THE LOCATION OF THE WORK. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES PERMITS AND INSPECTIONS.

2) ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS, REFER TO LANDSCAPE AND UTILITIES PLANS WHEN TRENCHING TO AVOID TREES, SHRUBS AND UNDERGROUND UTILITIES

3) ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK. WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS.

4) THE CONTRACTOR SHALL PREPARE A DESIGN HARD COPY DRAWINGS ON REPRODUCIBLE PAPER SHOWING ALL IRRIGATION INSTALLATION. A HARDCOPY OF THE ORIGINAL LANDSCAPE PLAN MAYBE OBTAINED FROM THE DESIGNER. THE DRAWING SHALL LOCATE ALL MAINLINE VALVES AND HEADS BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. PLEASE SHOW WIRE DIRECTION. PROVIDE DESIGN DRAWINGS FOR DESIGNER APPROVAL.

5) ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE AREAS WHERE LOCATED AND SHALL BE INSTALLED TO THE PROPER HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCE FROM ALL HARD-SCAPING, TO MINIMIZE WATER OVER SPRAY ON IMPERVIOUS AREAS. ALL HEADS SHALL BE MOUNTED WITH POLY PIPE WITH BARBED ELBOWS.

6) CONTRACTOR TO DESIGN SYSTEM BASED ON AVAILABLE WATER PRESSURE AT THE SITE. PRESSURE TEST SYSTEM AND SUBMIT TO OWNER.

7. MAKE USE OF EXISTING POWER SUPPLY PROVIDED BY GENERAL CONTRACTOR.

8) CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE. LOW VOL T AGE WIRING SHALL BE UF"14 THE DESIGN BUILD CONTRACTOR.

PVC JACKETED, SINGLE CONDUCTOR CABLE. USE RED WIRES FOR 'HOT' AND WHITE FOR VALVE COMMON. WIRES SHALL BE INSTALLED WITH ADEQUATE SLACK AND SURGE/EXPANSION LOOPS, AND SHALL BE SPLICED ONLY IN VALVE BOXES, USING 3-1.4 DIRECT BURY CDBY> WIRE CONNECTORS

9) ALL PIPING AND WIRE PASSING UNDER PAVED AREAS SHALL BE SLEEVED WITH SCH 40 PVC PIPE. SIZED A MINIMUM OF TWO NOMINAL SIZES LARGER THAN CONTAINED PIPE. ALL SLEEVING SHALL BE PROVIDED.

10) ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.

11) PROVIDE A MINIMUM OF 8" OF COVER OVER LATERAL PIPING.PROVIDE A MINIMUM OF 12" OF COVER OVER MAINLINE PIPING,

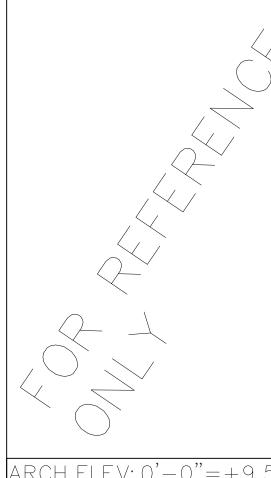
12) LATERAL LINES SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES. MAIN LINE PIPE SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES.

14) CONDUCT AN INSPECTION OF THE SYSTEM IN OPERATION WITH THE DESIGNER.

15) THE CONTRACTOR IS RESPONSIBLE FOR WINTERIZING THE SYSTEM THE FIRST YEAR OF INSTALLATION. DURING THE WINTERIZATION OF THE SYSTEM, THE CONTRACTOR WILL SHOW THE OWNER'S DESIGNATED REPRESENTATIVE THE PROPER PROCEDURES FOR WINTERIZING THE SYSTEM. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR RESTARTING THE SYSTEM IN THE SPRING OF THE FOLLOWING YEAR.

16) CONTRACTOR TO GUARANTEE IRRIGATION SYSTEM, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM SUBSTANTIAL COMPLETION.

17) ANY ADDITIONAL NEEDED SLEEVES WILL BE PROVIDED BY



\RCH.ELEV: 0'-0"=+9.5

Contractor shall be responsible for reviewing all Plans ar prior to proceeding with Construction, complying with c applicable building codes, and notifying Architect

immediately of any discrepancies or conflicts. Contrac shall construct the work in conformance with all Contractor is responsible for design and installation o properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to

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have included all applicable work. Additional Architectu pecification copies are available anytime upor Hartshorne Plunkard Architecture, LLC shall retain al copyrights, statutory and common law right with regard to these plans and building design. Reproduction changes or assignment to any third party shall not occur without obtaining expressed written permission consent of Hartshorne Plunkard Architecture,

THE EDISON 1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 53202

ISSUANCES DATE ISSUED FOR 6/16/23 PROGRESS SD 50% SD PROGRESS SD 8/24/23 100% SD

> 507 MAIN STREET, NASHVILLE, TN

PROJ. # 232327

/ SCALE: REF. SHEET

IRRIGATION NOTES AND DETAILS

# Riverwalk Connection Documents

Previously Approved



## Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property
Description of work

1005 N. EDISON ST. State Street Bridge (northeast abutment)

Alter NE bridge abutments to accommodate a change in riverwalk alignment and new construction on the site of the Rojahn-Malaney Building. The primary purpose of the project is to straighten the riverwalk and eliminate an awkward triangular recess created by the design of the bridge abutments. Part of the angled portion of the bridge abutment will be shortened and capped so that the riverwalk can rise over it.

Historic railing on bridge is only to be removed from the portion of the abutment being shortened. All other existing railing on the abutment shall remain and not be replaced with a new style.

Date issued

12/9/22 PTS ID 115168 COA:BRIDGE ABUTMENT ALTERATIONS

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

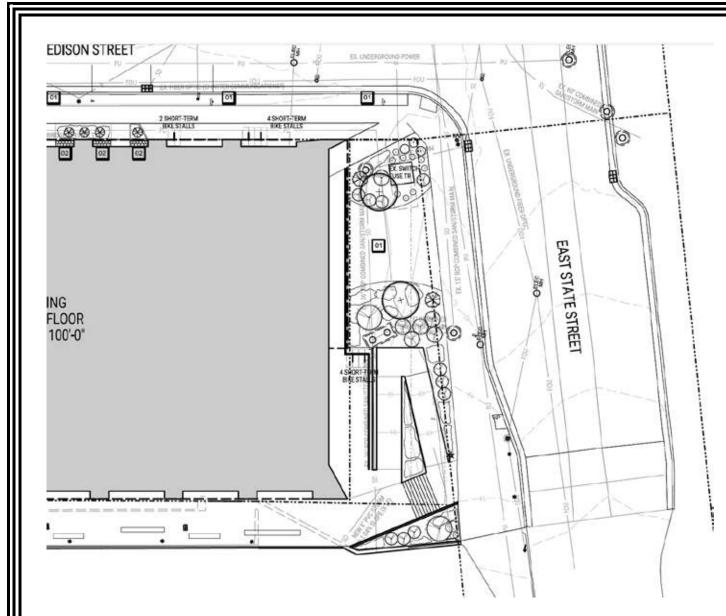
Return all removed sections of railing to Department of Public Works, Bridges & Buildings Division.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, <a href="https://www.milwaukee.gov/build">www.milwaukee.gov/build</a>, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

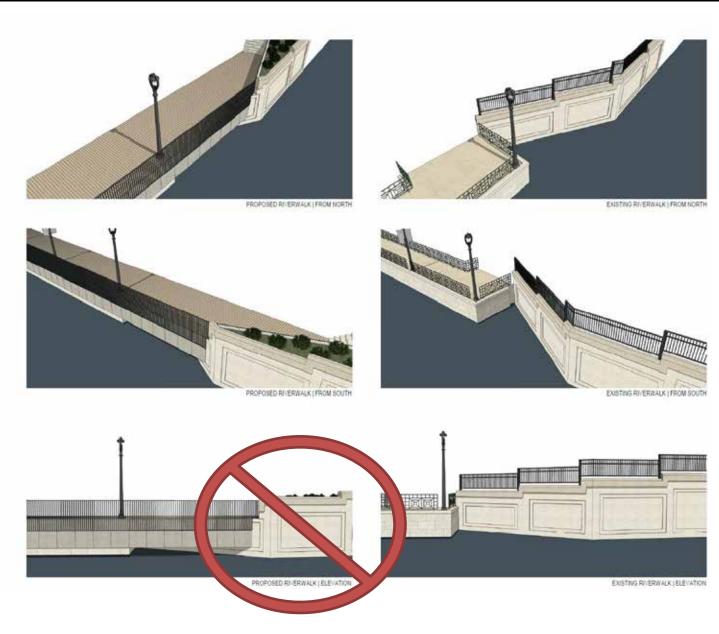
Copies to: Development Center, Ald. Robert Bauman, Contractor



Approved site plan.

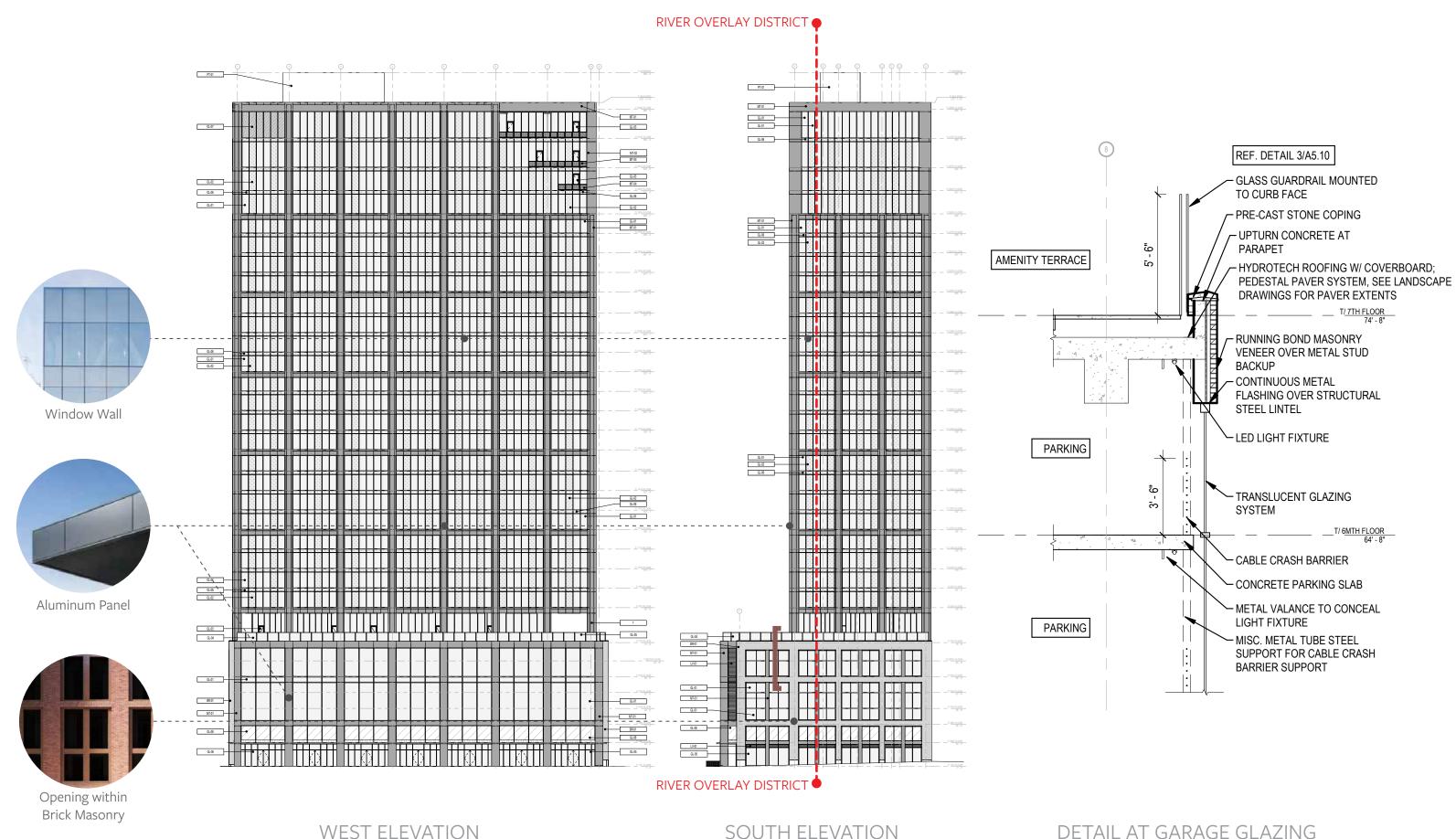


Original railing



Original railing must remain in place to the maximent extent possible. Remove railing only from the tier that is being shortened.

Elevations / Sections

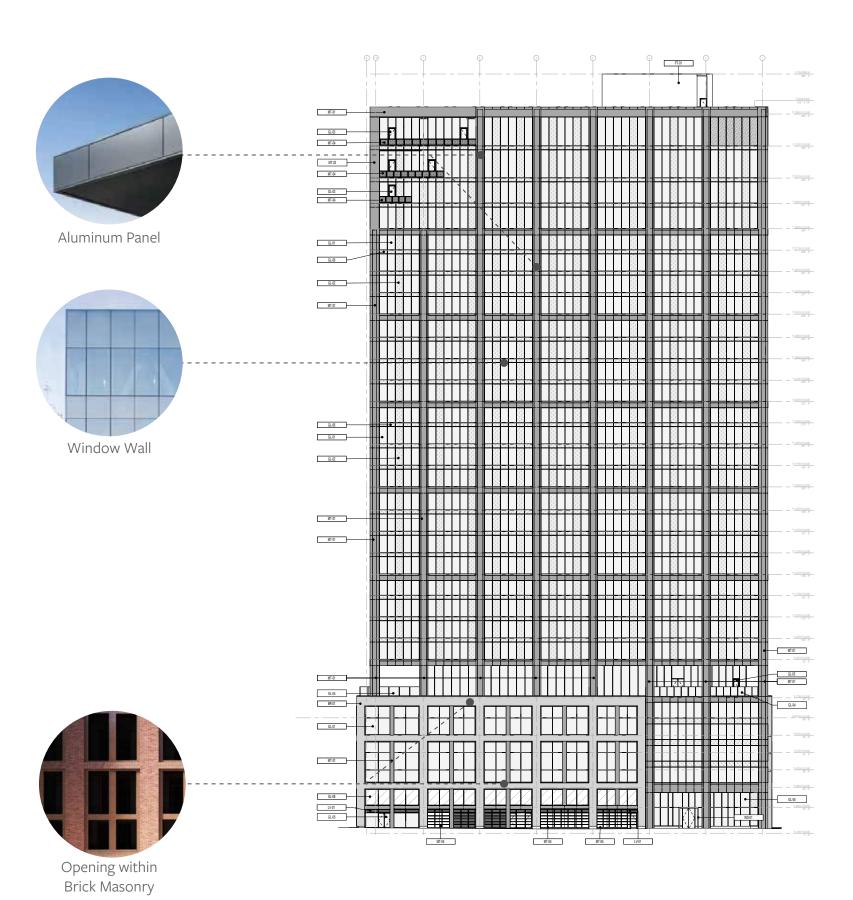


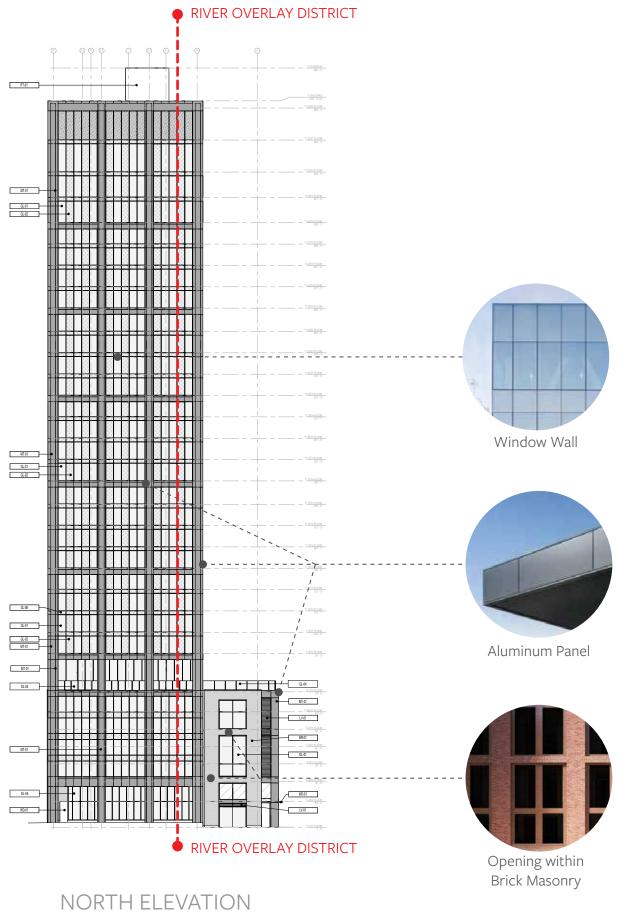
THE NEUTRAL PROJECTS

SOUTH ELEVATION

DETAIL AT GARAGE GLAZING RIVER OVERLAY APPLICABLE

RIVER OVERLAY APPLICABLE

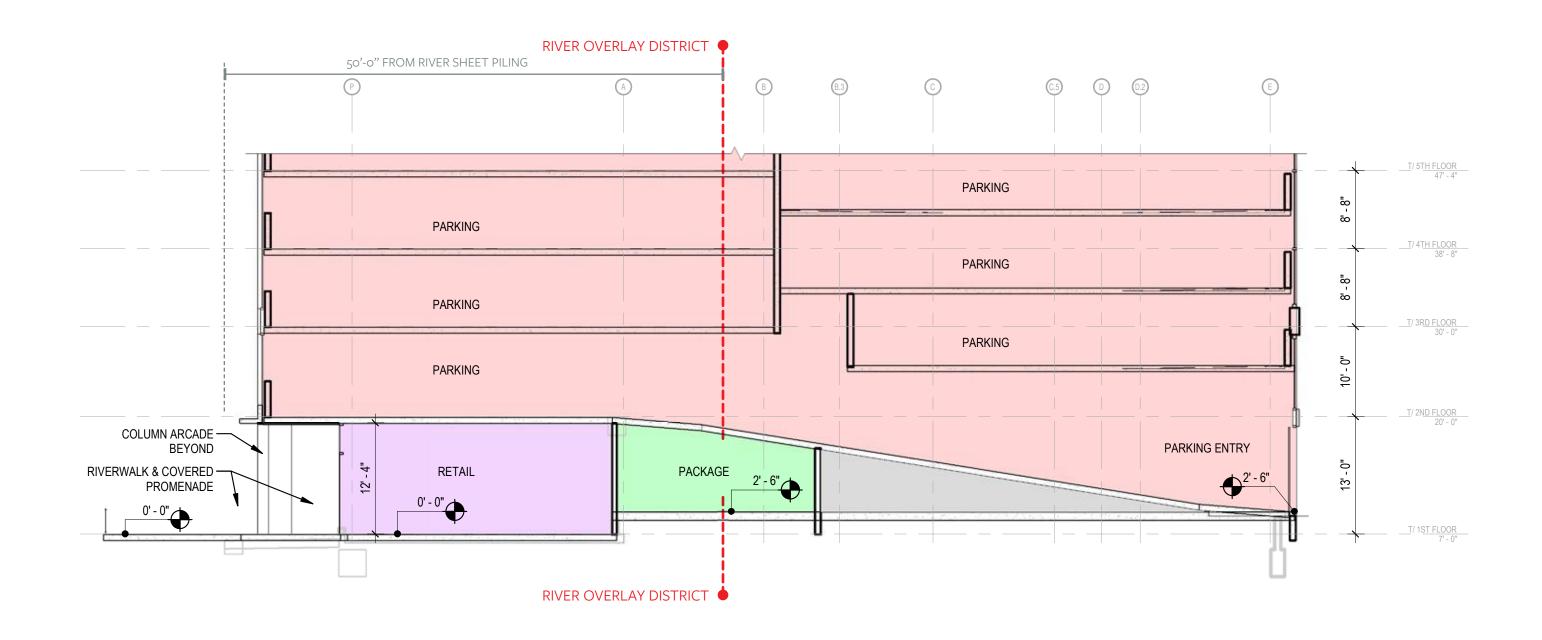




EAST ELEVATION RIVER OVERLAY APPLICABLE

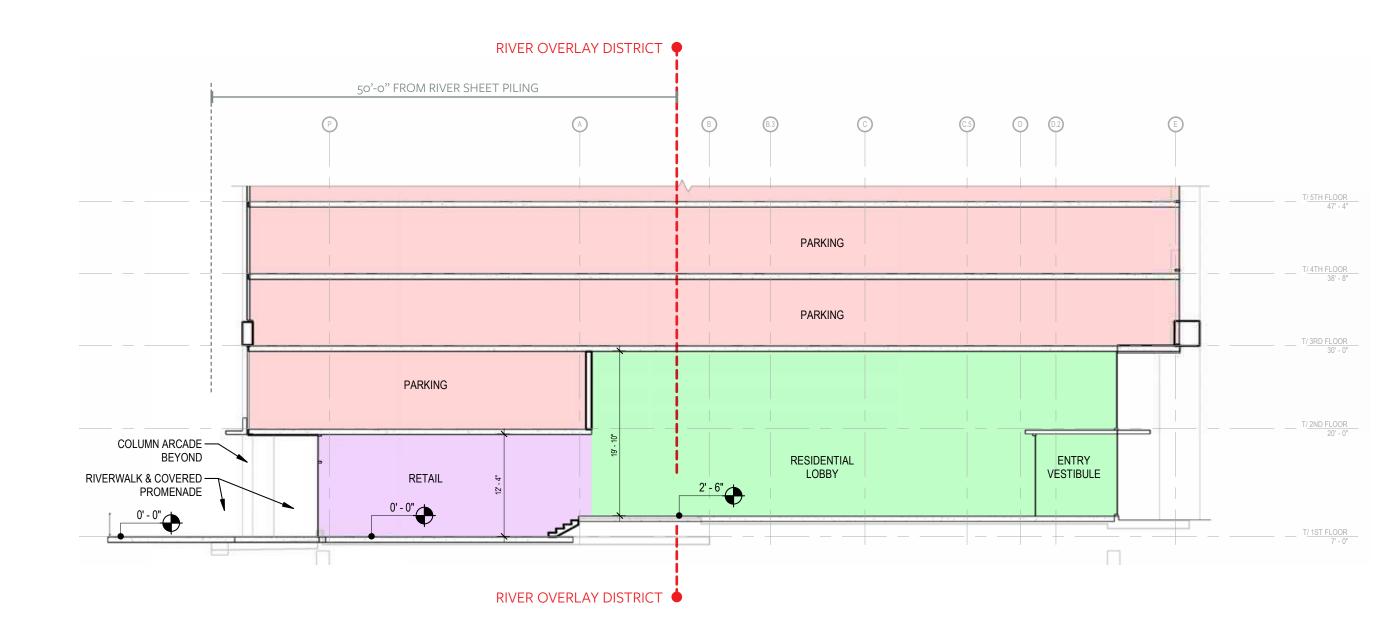


DOCNEUTRAL PROJECT



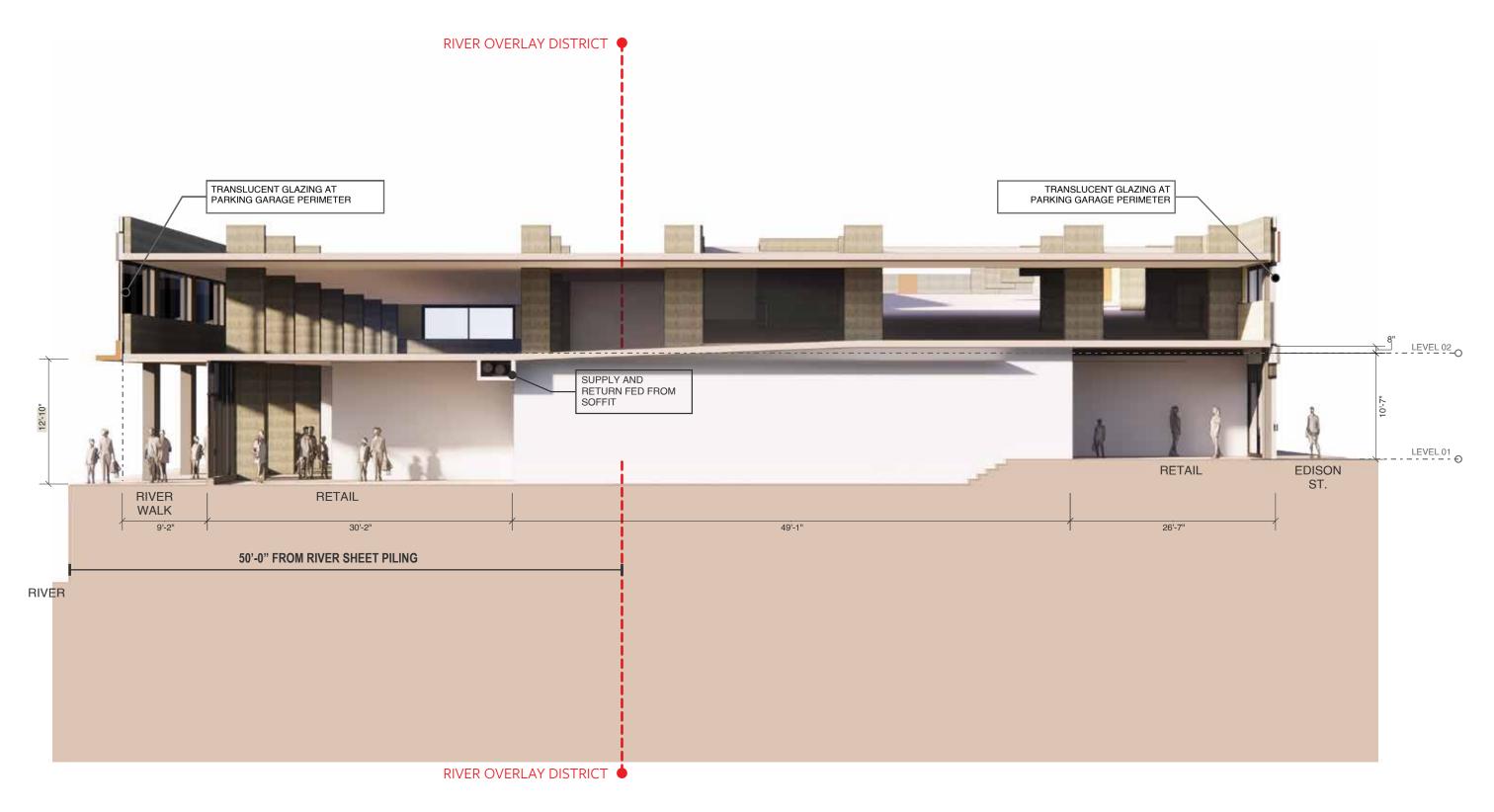
E/W SECTION THROUGH PARKING RAMP AND RETAIL LOOKING NORTH

THE NEUTRAL PROJECTS



E/W SCHEMATIC SECTION THROUGH LOBBY AND RETAIL LOOKING NORTH SCALE: 3/32" = 1'-0"

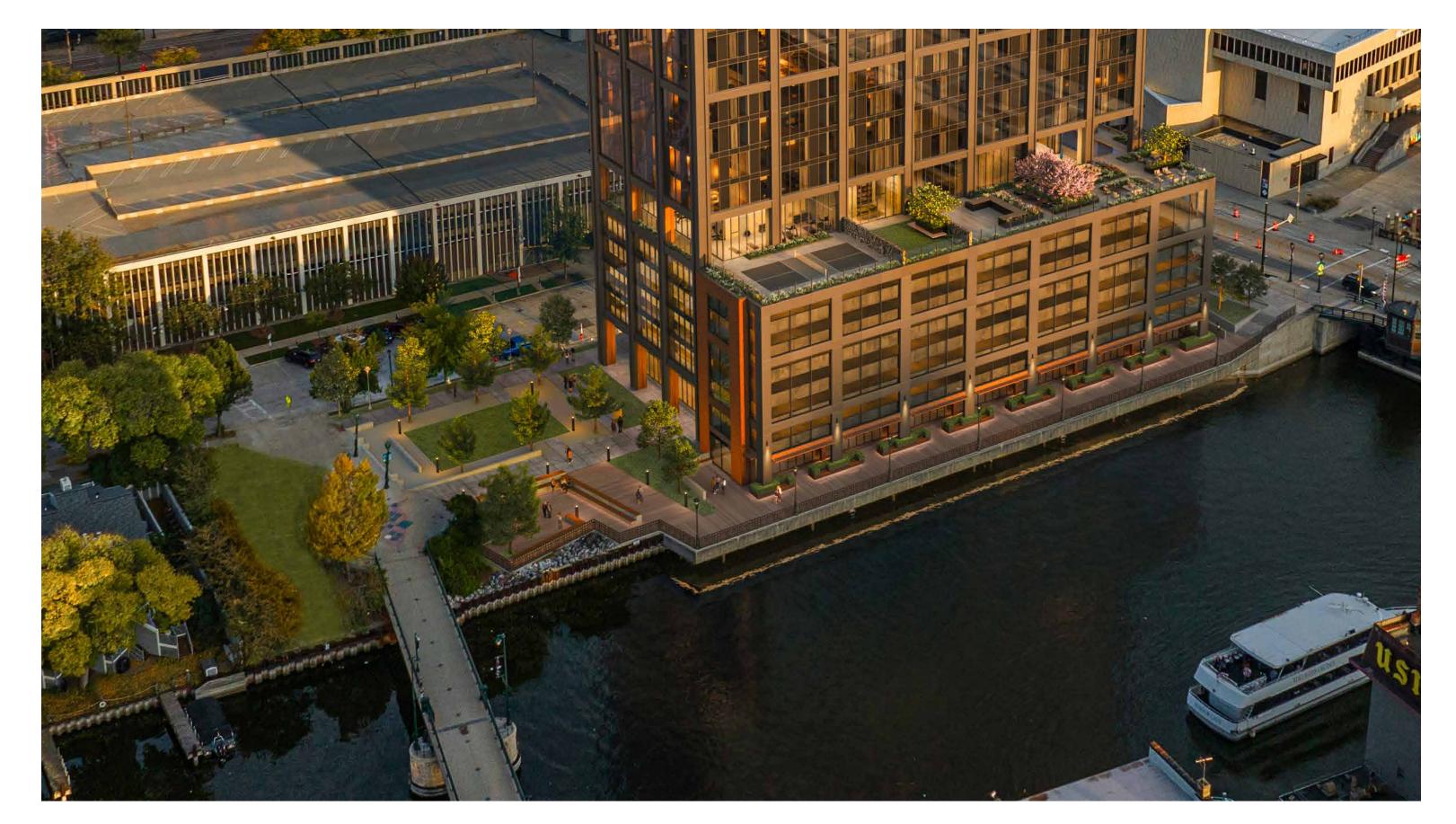




SECTION THROUGH RETAIL



Renderings / Floor Plans

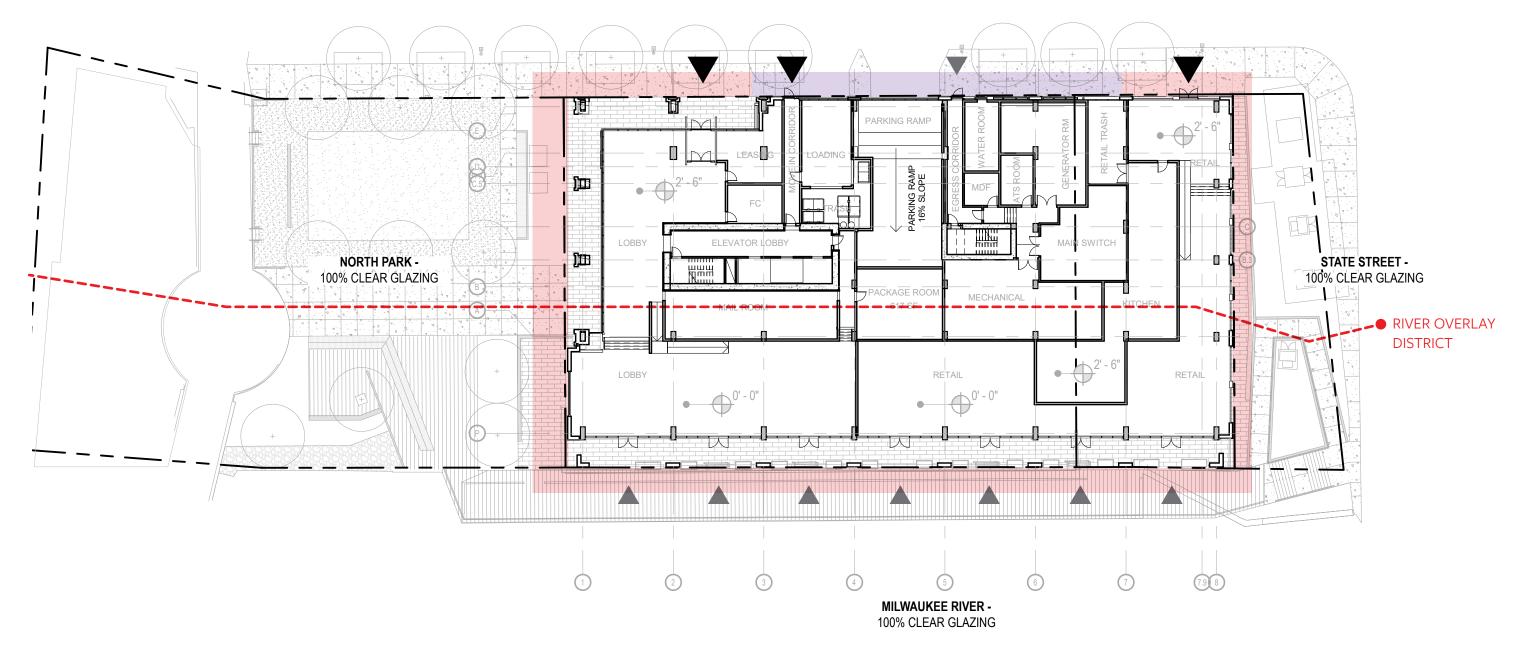


AERIAL VIEW FROM WEST - PROPOSED



- Exterior Open Glazing
- No Exterior Open Glazing
- Primary Entrace
- Secondary Entrace

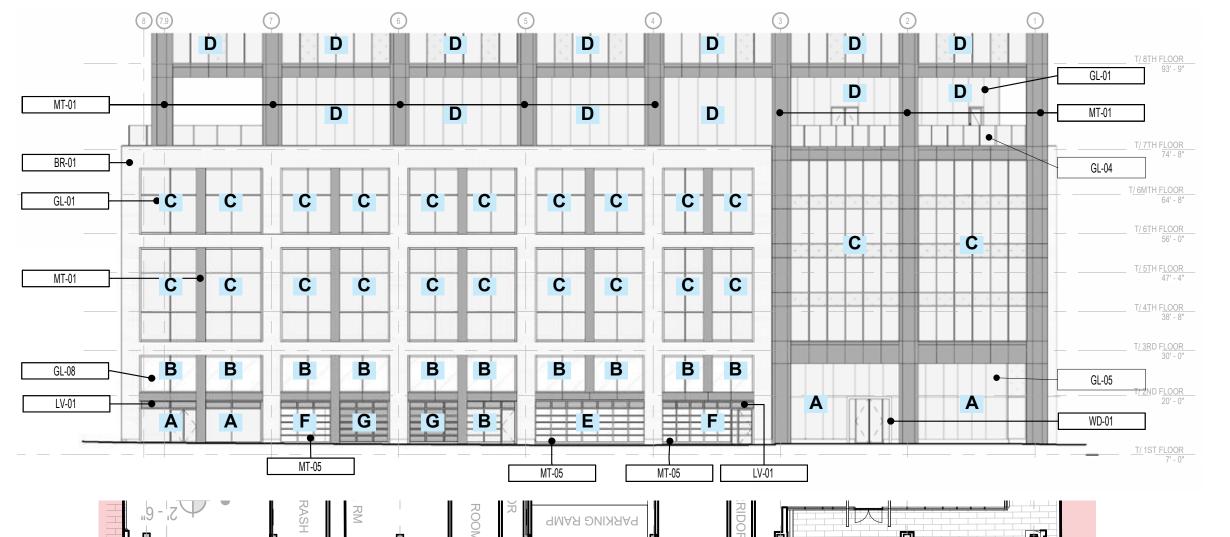
#### NORTH EDISON ST. -60.8% TRANSLUCENT FROSTED GLAZING 39.2% CLEAR GLAZING



**GROUND FLOOR - GLAZING** 





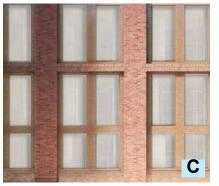


- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver

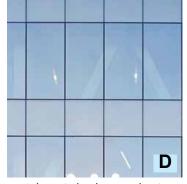




Overhead Garage Door with Clear Glazing



Plinth Level Translucent Frosted Glazing



Residential Clear Glazing

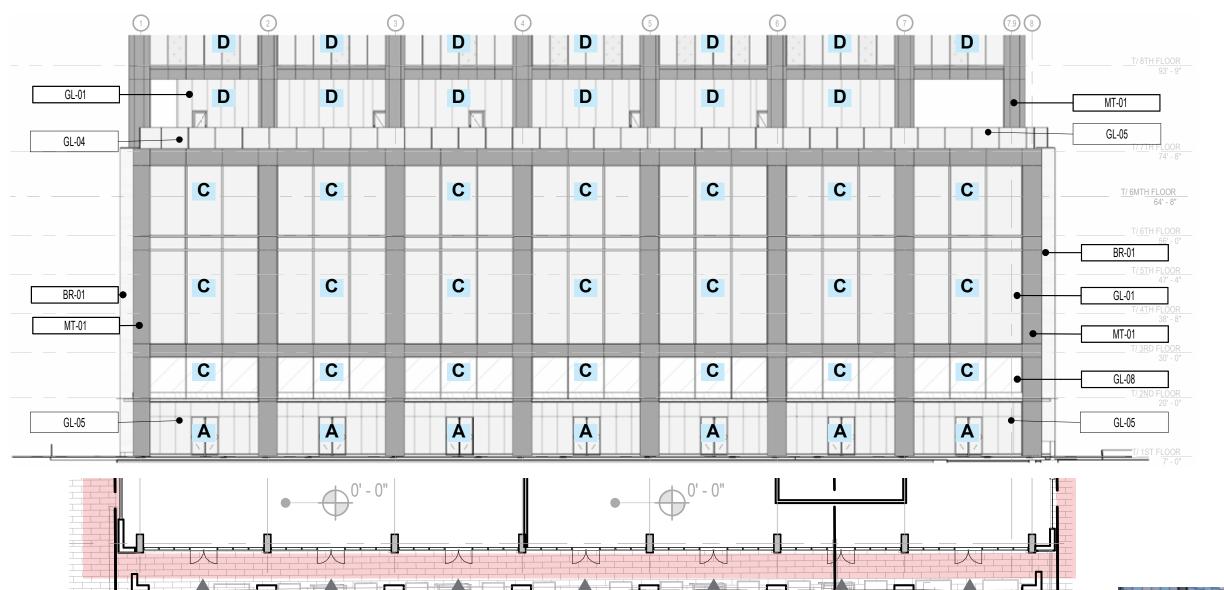


Metal Spandrel



# GROUND FLOOR - GLAZING





Riverwalk

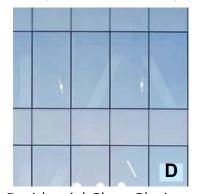
- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver



Wood Awning & Arcade Ceiling



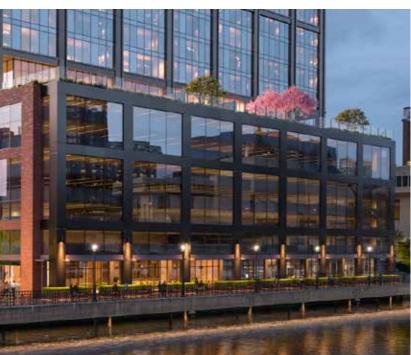
Plinth Level Translucent Frosted Glazing



Residential Clear Glazing



Metal Spandrel



# GROUND FLOOR - GLAZING



#### Passive Urban

residential pedestrian density

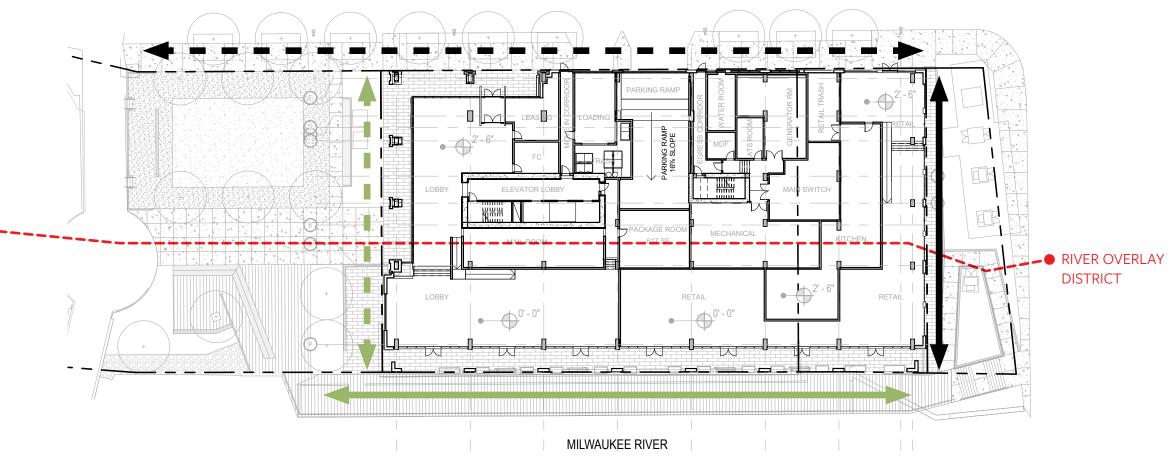




#### Active Urban

fast movement
commercial
engaging
visual connection
defined edges

#### NORTH EDISON ST.



### Green Plaza

pause + leisure meeting point playground smooth edge small commercial



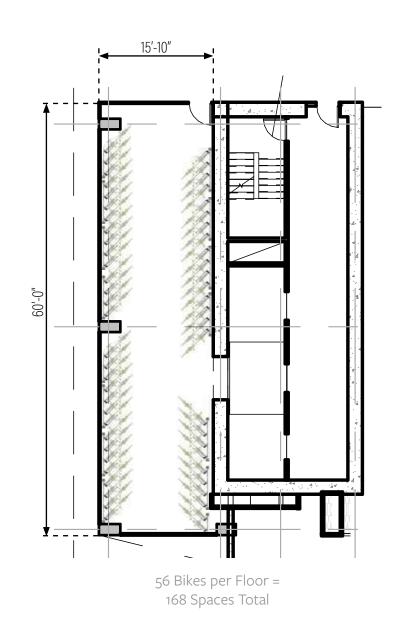


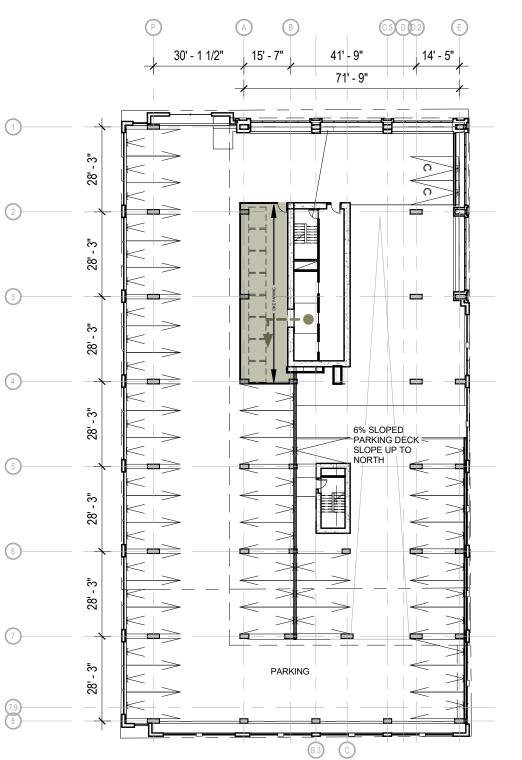
River Walk
slow movement
linkage
pedestrian
smooth edge

#### **USE ADJACENCIES**









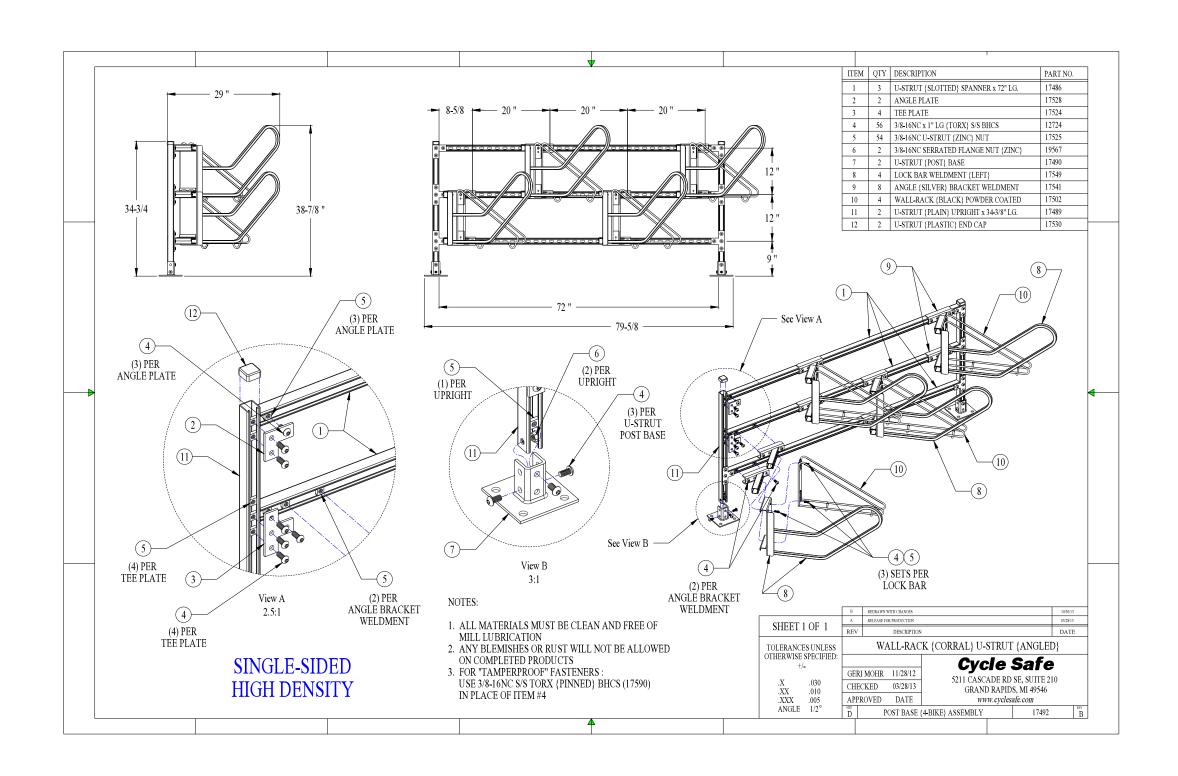
Ħ PARKING RAMP 16% SLOPE GROUND FLOOR

4TH-6TH FLOOR - BIKE STORAGE ROOM

4TH-6TH FLOOR - PARKING LEVEL

# LONG TERM BIKE PARKING

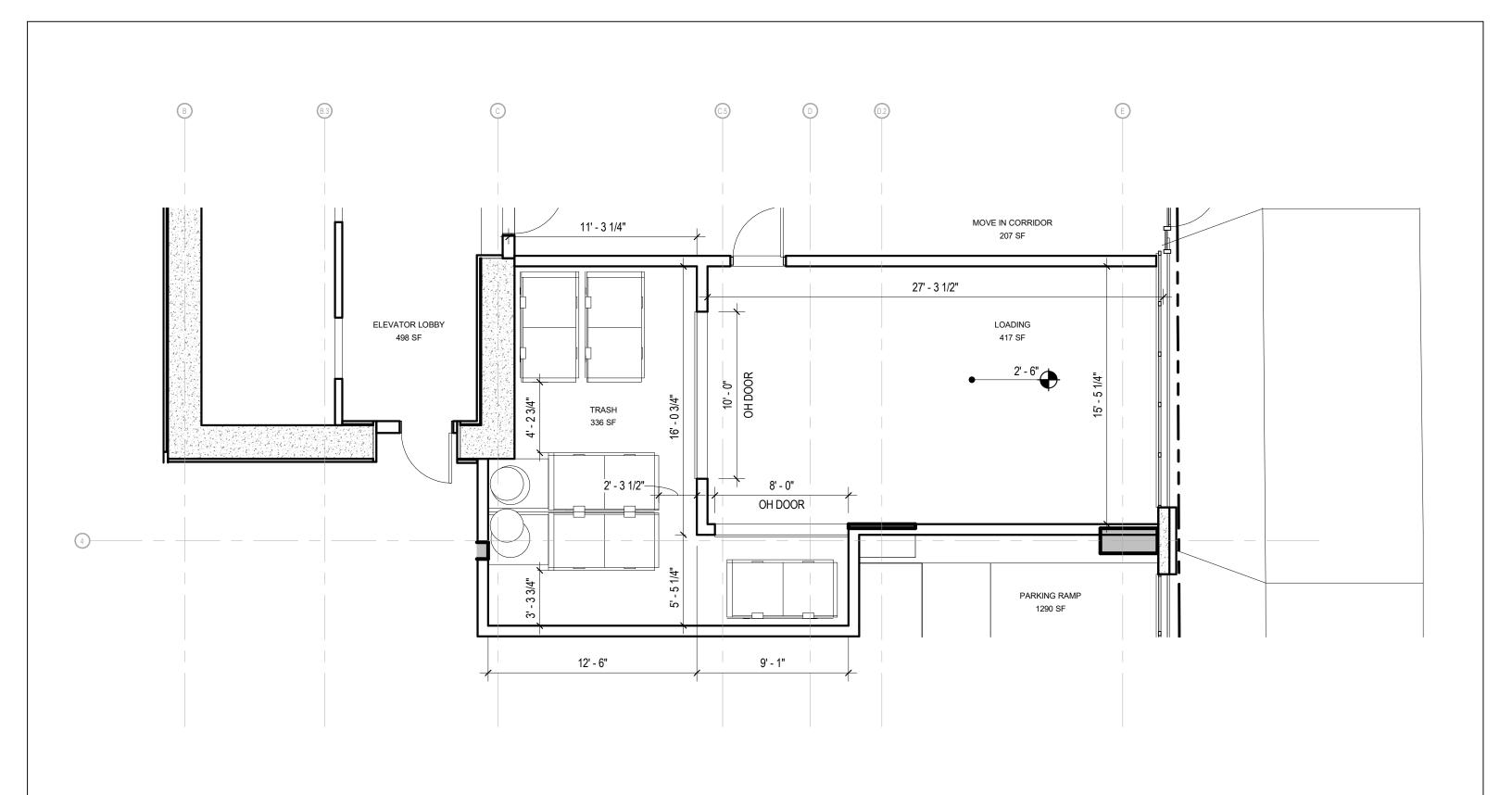




# LONG TERM BIKE PARKING - CUT SHEET



HP/A



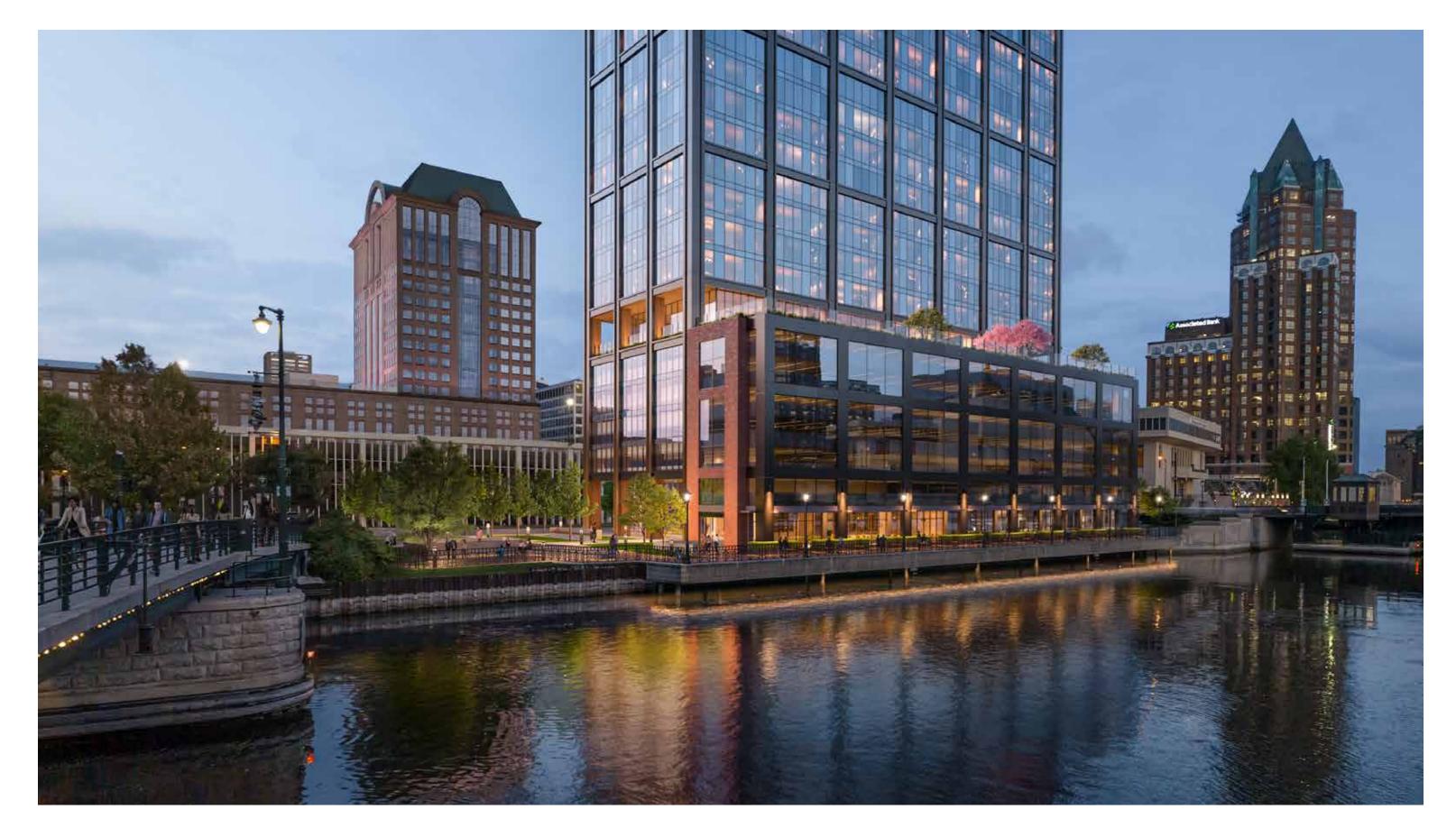


232 NORTH CARPENTER STREET CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PLANS AND ALL
SPECIFICATIONS ARE
SUBJECT TO REVISION
AS DEEMED NECESSARY
OR ADVISABLE BY
BUILDER, ARCHITECT, OR
AS REQUIRED BY LAW.

# THE EDISON

Project North	SCALE	DRAWING	SK#
Project	3/16" = 1'-0"	TRASH ROOM	03
	DATE		
	02/29/24		



RIVERWALK - PROPOSED

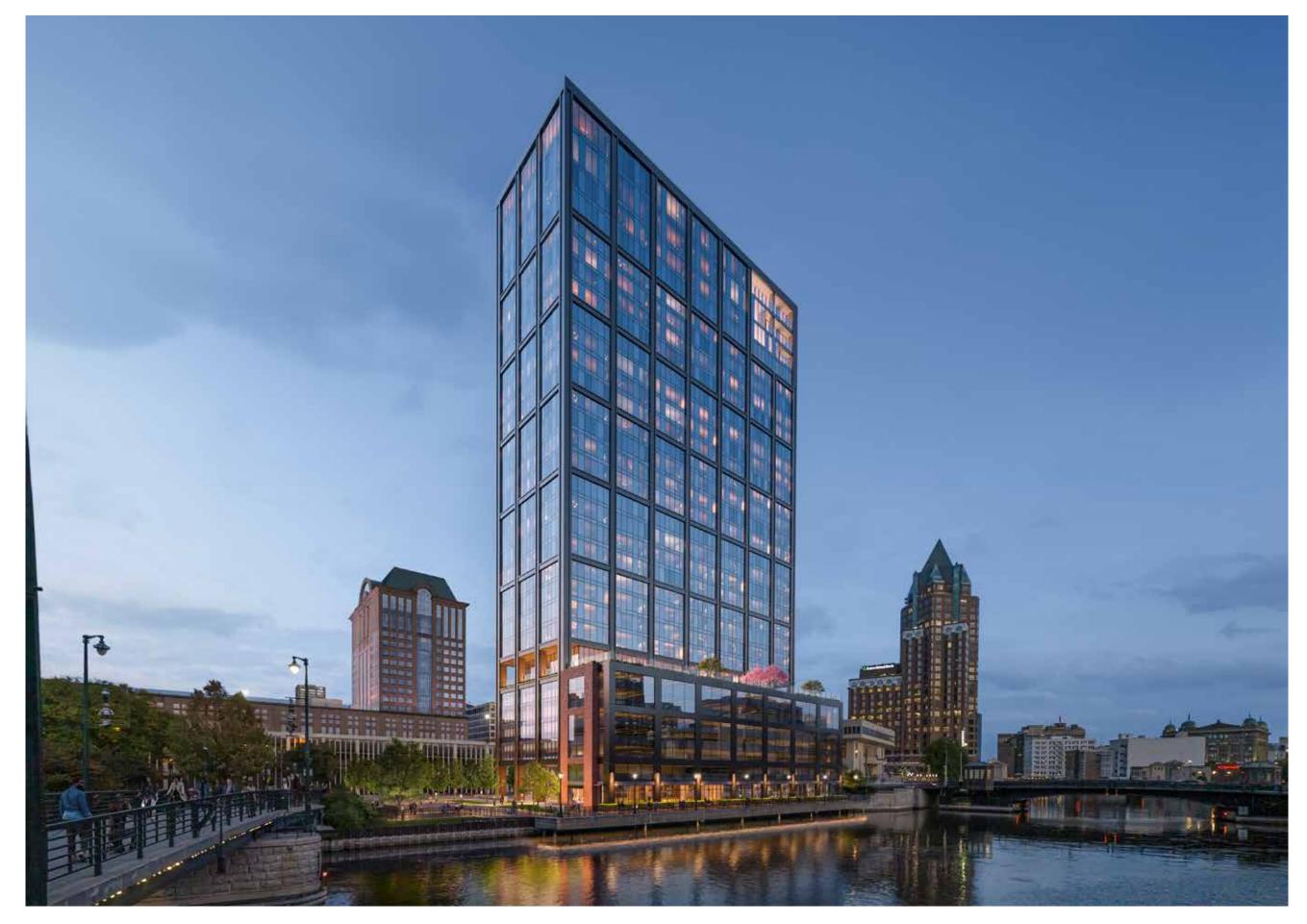


HPA



EDISON STREET - PROPOSED







HD/2