



IMPORTANT NOTICE: A \$25 FILING FEE MUST ACCOMPANY THIS APPEAL, WITHIN THE DEADLINE REFERENCED BY THE BILL.

Checks should be made payable to: City of Milwaukee and a copy of the bill should be included with your appeal

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account, or to process the payment as a check transaction.

IF THE CHARGES HAVE ALREADY APPEARED ON YOUR TAX BILL, THIS APPEAL CANNOT BE FILED.

TO: Administrative Review Board of Appeals
City Hall, Rm. 205
200 E. Wells St.
Milwaukee, WI 53202
(414) 286-2231

DATE: 2-10-23

RE: 3429 W. Parnell Ave
(Address of property in question)

Under ch. 68, Wis. Stats., s. 320-11 of the Milwaukee Code of Ordinances, this is a written petition for appeal and hearing.

I am appealing the administrative procedure followed by Neighborhood Services
(Name of City Department)

Amount of the charges \$ 203.30

Charge relative to: Code non compliance 1-200-24 & 275-81.5

I feel the City's procedure was improper due to the following reasons and I have attached any supporting evidence, including city employee's names/dates which I spoke to regarding this issue and copies of any city orders received:

Please see Attached

CITY OF MILWAUKEE
2023 FEB 15 P 1:15
CITY CLERK'S OFFICE

Douglas Dorger Rep: Brian & Amy Huber LIV TRT
Signature

Douglas Dorger
Name (please print)

3429 W. Parnell Ave 414-9403193
Mailing address and zip code Daytime phone number

ddorger@ATI.net / brianh899@gmail.com
E-Mail/Address(es)

RE: 3429 W. Parnell Code appeal

Home owner Brian Huber (Son) Rep: Doug Dorger (occupant of property)

Inspector Michael Stahler had called me inquiring why I moved the garage without a permit. Confused I pointed out we were in the middle of a permitted approved addition and the garage was part of it. He said well you don't have a permit to move the garage. I stated the garage was being reused and it would be difficult to put in the foundation without setting the garage aside and then resetting it. He then said I'd need to get the landscaping done and I mentioned we're still working on the building and would complete it as soon as possible.

He apparently then sent the letter to Brian who called and asked "what's with the Garage" I explained I talked with the inspector and we thought all was good. Afterword we didn't hear anything till getting the letter regarding the re-inspection fees.

While I've been retired from contracting for 8 years now I've never seen a code enforcement inspector try to control a building project while its ongoing. Also with new construction you have up to a year after the project is done to complete the landscaping. I'm asking for 90 days after the exterior is completed and that will include driveway yard, plants ETC.

Since purchasing this property we have turned it from a raccoon invested hoarder home into a thing of beauty that the neighbors constantly complement us on. (Except the one Inspector Stahler is talking to) We were also invited to be part of a neighborhood improvement award this past year and said we'd wait till the back yard is completed and finished with the same love and care.

Furthermore, Inspector Stahler is coming across as uncooperative and even hostile as he has accused me of running a welding business when all I did was build my wife some raised planters (due to her health) and I built a rack for my truck all of which was done during the daytime hours.

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We're asking that the re-inspection fee be removed, the appeal fee be refunded and inspector Stahler asked to refrain from harassing us so this will stop at this point.

Doug Dorger
3429 W. Parnell Ave.
Milwaukee WI. 53221
414-940-3193

Brian and Amy Huber LIV TRT DTD 07-15-2009 20575
Catskill Rd
Waukesha WI
53186



Department of Neighborhood Services
Enforcement Section
841 N. Broadway
Milwaukee, WI 53202

Inspection Date
02/03/2022
ORD-22-01473

INSPECTION REPORT AND ORDER TO CORRECT CONDITION

Department Copy

Re: 3429 W PARNELL AV

Taxkey #: 668-0066-000

A recent inspection of the premises at the above address revealed conditions that violate the Milwaukee Code of Ordinances. You are hereby ordered to correct each violation listed below by date indicated.

Correct By Date: 03/08/2022

1) 200-24 Permit required. Obtain proper permits for all garage removal and new garage alterations. "Permits must be issued, inspections conducted, alteration approved and then closed out"

Correct By Date: 05/08/2022

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For any additional information, please phone Inspector **Michael Stahler** at **414-286-3603** or

MSTAHL@milwaukee.gov between the hours of **8:00 a.m. to 10:00 a.m. Monday through Friday.**

Violations can also be viewed on our website at www.milwaukee.gov/lms.

Per Commissioner of Neighborhood Services By -

Michael Stahler
Inspector

Recipients:

BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009, 20575 CATSKILL RD, WAUKESHA, WI 53186

FAILURE TO COMPLY

Failure to correct the violations noted herein within the time set, or failure to comply with the order as modified by an appellant board and maintain compliance, may subject you to prosecution and to daily penalties of \$150.00 to \$10,000 in the manner provided in Section 200-19.

Also, any infraction of this order may result in a citation under Section 200-12-5 of the Milwaukee Code of Ordinances Volume II.

OFFICIAL NOTICE OF VIOLATION

The City of Milwaukee - Department of Neighborhood Services

For all permit fees and submittal information, please see our Info Sheets page.

<https://city.milwaukee.gov/DNS/permits/DNSinfo>

6680066000

Q

Home Building Development [Enter Account](#) Licenses Public Works

Create an Application Search Records

Record ORD-22-01473:
Order Violation
Record Status: Reinspection

Record Info Payments

Location

3425 W PARNELL AV *
MILWAUKEE WI 532214052

Record Details

To see additional information, including Contacts and Application details expand [More Details](#).

[Historical violation records](#) including inspection dates and violation details are now available and can be viewed in the Application Information Table, expand to view details.

Description:

Order Violation

Moving garage no permit

Owner:

BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009 *

20575 CATSKILL RD

WAUKESHA WI 53186



Department of Neighborhood Services
Enforcement Section
841 N. Broadway
Milwaukee, WI 53202

Inspection Date
02/03/2022
ORD-22-01473

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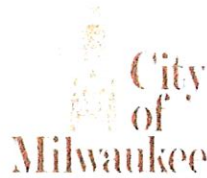
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OFFICIAL NOTICE OF VIOLATION

The City of Milwaukee - Department of Neighborhood Services



**Department of Neighborhood Services
Enforcement Section
841 N. Broadway
Milwaukee, WI 53202**

January 19, 2023
Order #: ORD-22-01473

BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009
20575 CATSKILL RD
WAUKESHA, WI 53186

Re: 3429 W PARNELL AV

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First reinspection \$203.20
Second reinspection \$406.40
All subsequent reinspections \$406.40

There is no charge for the reinspection that shows compliance with all violations.

All reinspections which show noncompliance with the order will be charged at the above rate. These fees will be assessed against the property as a special charge and will appear on the tax bill for this property. **On 01/18/2023, we imposed a \$203.20 reinspection fee, which includes a 1.6% training and technology surcharge. Any outstanding fees not paid by August 31, 2023 will automatically be assessed to your 2023 tax bill.**

As you can see, the cost of noncompliance with the code can add up quickly. The Department would prefer to see you put the money into correcting the violations and not into paying reinspection fees. Please contact me as soon as the violations have been corrected. If I do not hear from you, we will continue to reinspect until the property has been brought into compliance with the code. Please do not put us in that situation.

If you wish to appeal this charge you must file that appeal within 30 days of the date of this letter. It must be filed with the: Administrative Review and Appeals Board, Office of the City Clerk, Room 205 City Hall, 200 E Wells Street, Milwaukee Wisconsin 53202, 414-286-2221. Please contact them to obtain the proper application form. There is a \$25 fee required when filing this appeal.

Please be advised that if you have filed for bankruptcy, this letter is for informational purposes and is not intended as to be construed as an attempt to collect a debt during the pendency of your bankruptcy as other conditions may apply.

To discuss the violations, please contact the inspector listed below. Please contact your attorney with any legal questions as this office cannot give legal advice

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THIS ORDER MAY BE REFERRED TO COURT SECTION FOR ENFORCEMENT.

Michael Stahler

Recipients

BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009, 20575 CATSKILL RD, WAUKESHA WI 53186





Welcome Home!



**Inlanta
Mortgage**



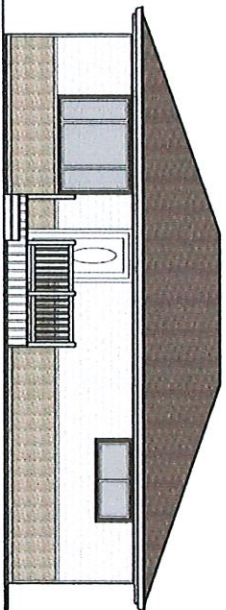
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5	6/23/21 0.5

Client:
Dong
DORGER

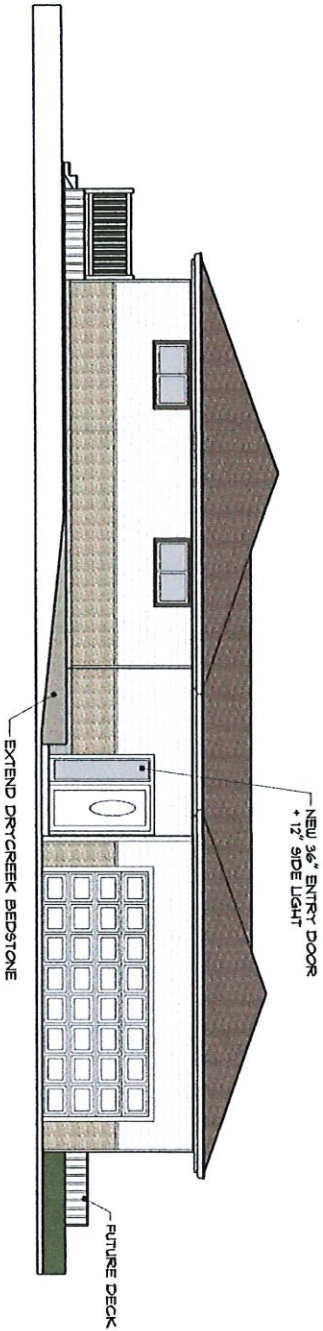
Project Type:
Addition

Address:
3429 W. Parnell Ave
Milwaukee, WI
53221

NORTH ELEVATION



WEST ELEVATION



EXTERIOR MATERIALS:
VINYL 4X4 SIDING, FAUX STONE TO MATCH EXISTING

ROOFING NOTES:
30YR DIMENSIONAL SHINGLES TO MATCH EXISTING, LOW PITCH ROOF #5 WILL BE SINGLE PLY TPO
NEW ALUMINUM SOFFIT + FASCIA THROUGHOUT, REUSE GUTTERS W/ NEW AS NEEDED, VENTILATION TO MEET OR EXCEED CODES

NEW ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: 5/25/21

REVISIONS		
NO./DAY	VERSION	
1	3/25/21	0.1
2	3/29/21	0.2
3	3/30/21	0.3
4	3/25/21	0.4
5	6/23/21	0.5

CLIENT INITIALS

Client:
Dong
DORGER

Project Type:
Addition

Address:
3429 W. Parnell Ave
Milwaukee, WI
53221

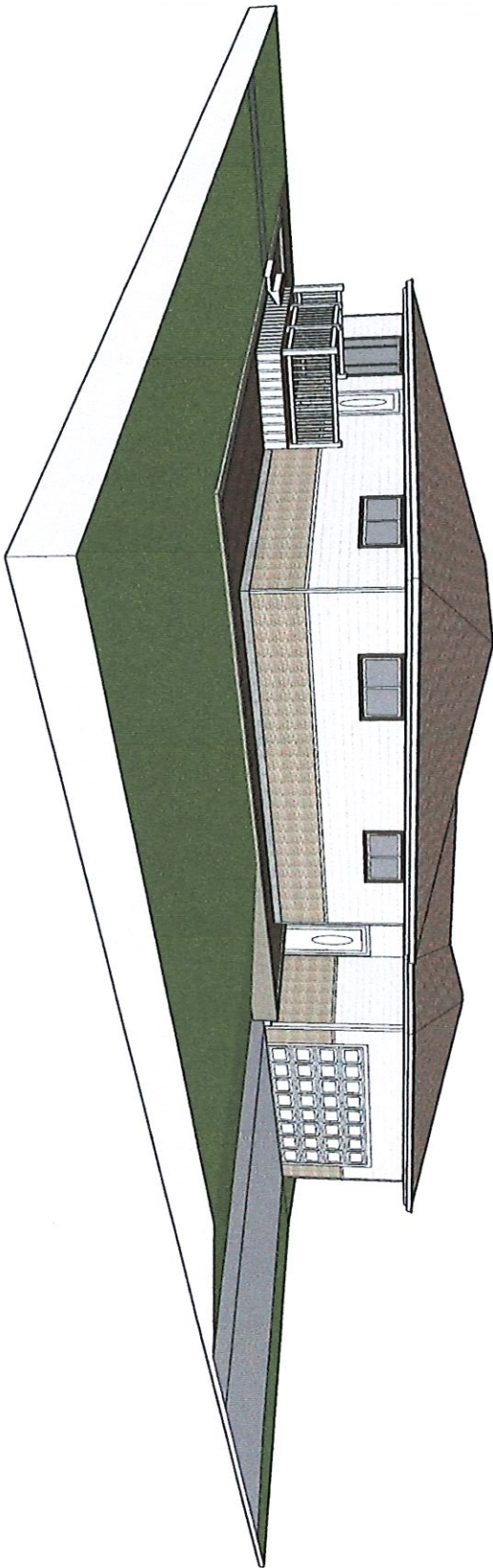


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- A3 PAGE 5 - NEW EXTERIOR ELEVATIONS
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- R1 PAGE 7 - NEW ROOF PLAN
- S1 PAGE 8 - NEW SECTION
- S2 PAGE 9 - NEW CONNECTION DETAILS
- CODE PAGE 10 - WIND BRACING

REVISIONS

NO.	DATE	BY	REVISION
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2	5/26/21	02	
3	5/26/21	03	
4	5/25/21	04	
5	6/2/21	04	

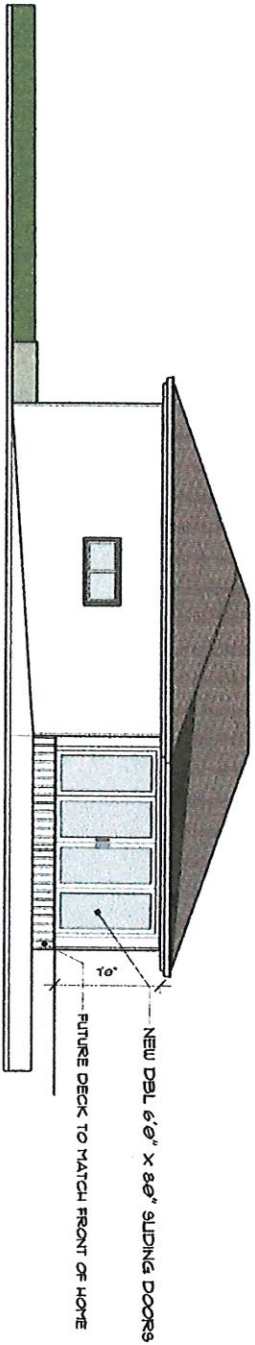
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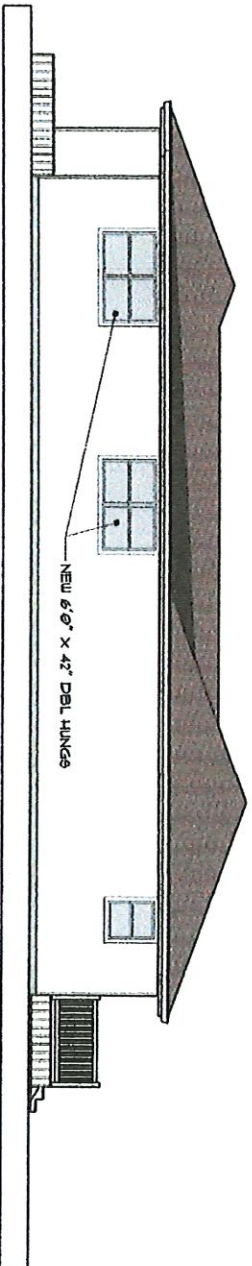
Project Type:
Addition

Address:
3429 W. Pamela Ave
Milwaukee, WI
53221

SOUTH ELEVATION



EAST ELEVATION



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Catskill Rd
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53186



Department of Neighborhood Services
Enforcement Section
841 N. Broadway
Milwaukee, WI 53202

Inspection Date
02/03/2022
ORD-22-01473

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BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009, 20575 CATSKILL RD, WAUKESHA, WI 53186

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6680066000 

- Home Building Development  Licenses Public Works
- Create an Application Search Records

Record ORD-22-01473:
Order Violation
Record Status: Reinspection

Record Info  Payments 

Location

3429 W PARNELL AV *
MILWAUKEE WI 532214052

Record Details

To see additional information, including Contacts and Application details expand More Details.

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Description:

Order Violation
Moving garage no permit

Owner:

BRIAN AND AMY HUBER LIV TRT DTD 07-15-2009 *
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WAUKESHA WI 53186



Department of Neighborhood Services
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Inspection Date
02/03/2022
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841 N. Broadway
Milwaukee, WI 53202**

January 19, 2023
Order #: ORD-22-01473

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20575 CATSKILL RD
WAUKESHA, WI 53186

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Welcome Home!

**Inlanta
Mortgage**



REVISIONS

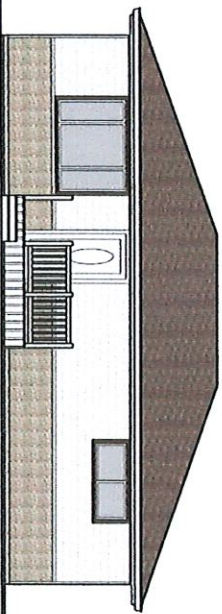
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CLIENT INITIALS

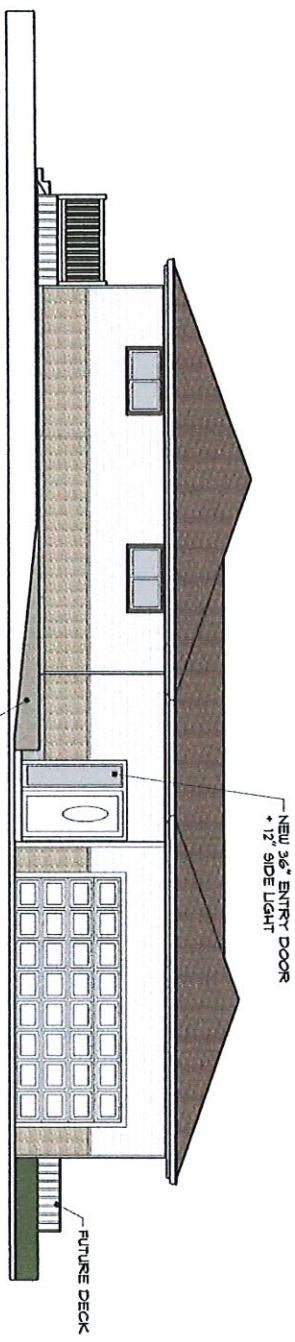
Client:
Doug
DORGER

Project Type:
Addition

Address:
3429 W. Parnell Ave
Milwaukee, WI
53221



NORTH ELEVATION



WEST ELEVATION

EXTERIOR MATERIALS:
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NEW ELEVATIONS

SCALE: 1/8" = 1'-0"



DATE: 5/25/21

REVISIONS		
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DORGER

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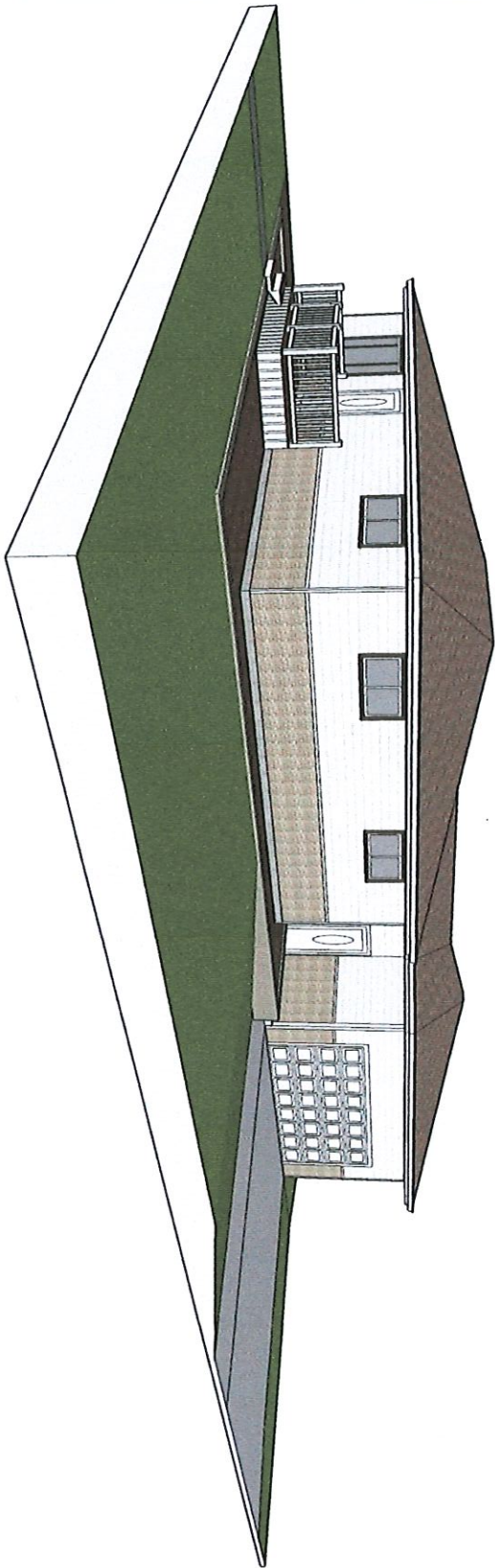


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- CODE PAGE 10 - WIND BRACING

New Elevations

DATE: 5/25/21

SCALE: 1/8" = 1'-0"

REVISIONS

NO./DATE	VERSION
1	3/25/21 0.1
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4	3/26/21 0.4
5	6/23/21 0.5

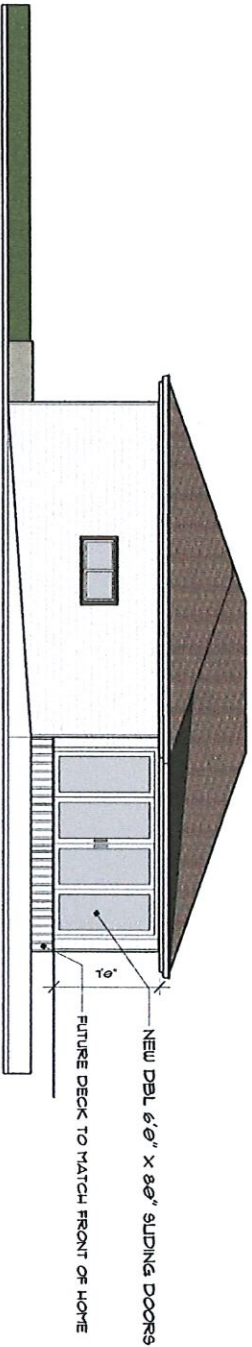
CLIENT INITIALS

Client:
Doug
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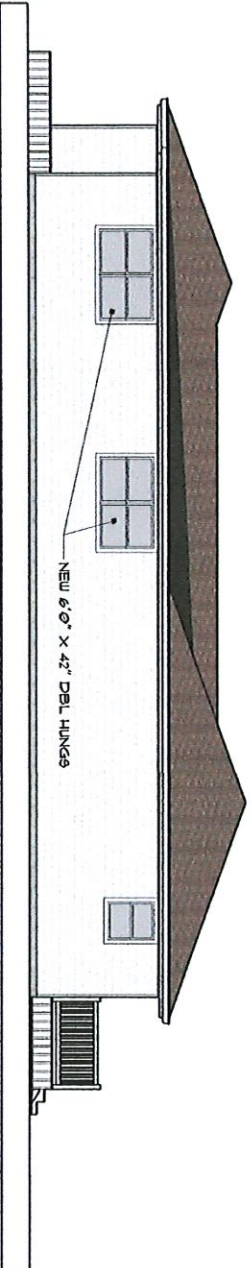
Project Type:
Addition

Address:
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Milwaukee, WI
53221

SOUTH ELEVATION



EAST ELEVATION



EXTERIOR MATERIALS:
VINYL 4X4 SIDING, FAUX STONE TO MATCH EXISTING

ROOFING NOTES:
30YR DIMENSIONAL SHINGLES TO MATCH EXISTING, LOW PITCH ROOF #5 WILL BE SINGLE PLY TPO
NEW ALUMINUM SOFFIT + FASCIA THROUGHOUT, REUSE GUTTERS W/ NEW AS NEEDED, VENTILATION TO MEET OR EXCEED CODES

NEW ELEVATIONS

SCALE 1/8" = 1'-0"

Receipt of A.R.B.A.

Date:	2/15/2023
Received Of:	Doug Dorger Rep for Brian & Amy Huber
Property at:	3429 W Parnell Ave
Received By:	JP
Check # (If Applicable):	Cash
Amount Received	\$25.00

CITY OF MILWAUKEE
2023 FEB 15 P 1:15
CITY CLERKS OFFICE