

THE KUBALA WASHATKO ARCHITECTS

Frederick T. and Eleanor Goll House

Certificate of Appropriateness Application | 13 December 2022

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WA



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CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Freerick T. and Eleanor Goll House

ADDRESS OF PROPERTY:

1550 N. Prospect Avenue

2. NAME AND ADDRESS OF OWNER:

Name(s): Willow 1550 LLC

Address: 725 E Johnson St

City: Madison State: WI ZIP: 53703

Email: chris@willow-partners.com

Telephone number (area code & number) Daytime: 608.405.1771 Evening: 608.405.1771

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): The Kubala Washatko Architects

Address: W61 N617 Mequon Ave

City: Cedarburg State: WI ZIP Code: 53012

Email: avoltz@tkwa.com

Telephone number (area code & number) Daytime: 262.377.6039 Evening: 262.377.6039

4. ATTACHMENTS: (Because projects can vary in size and scope, please call the HPC Office at 414-286-5712 for submittal requirements)

A. REQUIRED FOR MAJOR PROJECTS:

☒ Photographs of affected areas & all sides of the building (annotated photos recommended)

☒ Sketches and Elevation Drawings (1 full size and 1 reduced to 11" x 17" or 8 1/2" x 11")
A digital copy of the photos and drawings is also requested.

☒ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION ALSO REQUIRES:

_____ Floor Plans (1 full size and 1 reduced to a maximum of 11" x 17")

_____ Site Plan showing location of project and adjoining structures and fences

PLEASE NOTE: ***YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED
AND SIGNED.***

5. DESCRIPTION OF PROJECT:

Tell us what you want to do. Describe all proposed work including materials, design, and dimensions. Additional pages may be attached via email.

Please see attached description of project.

6. SIGNATURE OF APPLICANT:

Signature

Adam Voltz

Please print or type name

12 Decemeber 2022

Date

Hand Deliver or Mail Form to:

Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI 53202

PHONE: (414) 286-5712 or 286-5722

www.milwaukee.gov/hpc

Or click the SUBMIT button to automatically email this form for submission.



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM
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Please print legibly.

DESCRIPTION OF PROJECT [CONTINUATION]:

This Certificate of Appropriateness (COA) application has been prepared by The Kubala Washatko Architects to renew the lapsed COA dated July 5, 2016 - included below (PTS ID 111314 COA Reposition Goll House on site).



Certificate of Appropriateness
Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 1550 N. PROSPECT AV. The Goll House, an individually designated historic property

Description of work The Goll House has been locally designated since December 11, 2002. It has been a contributing building to the Prospect Avenues Mansions National Register Historic District since April 7, 1990.

The current proposal to approve the relocation of the Goll House on its same lot to accommodate new high rise construction to the rear of the property. The house will be moved back to allow for the construction of underground parking, then moved forward closer to Prospect Avenue. The house will remain on the same property and thereby retain its connection to Prospect Avenue.

Date issued 7/5/2016 PTS ID 111314 COA Reposition Goll House on site

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

There is precedent for the HPC approving the move of historic buildings. In this case, the developer and moving contractor have outlined how they will stabilize the house for the move and secure it during the construction of the new residential tower behind the Goll House.

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As proposed in 2016, the Frederick T. and Eleanor Goll House is proposed to be repositioned on the existing site, to make it more visible and accessible from Prospect Avenue, and as part of the overall redevelopment of the site that includes a new 24-story residential tower - see design drawings from Solomon Cordwell Buenz.

Willow Partners, the developer, is working with general contractor C.D. Smith and their sub-contractors who have experience moving historic structures. It's worth noting that C.D. Smith served as the Construction Manager for the successful Warner Grand Theatre project in Milwaukee, which included moving a 625-ton wall over 30'. Sub-contractor Heritage Movers is a fourth-generation moving company with extensive experience moving historic structures.

The proposed relocation of the Goll House will move the structure to the northwest approximately 36'-11" from its current location, giving it a similar setback to the adjacent structures on Prospect Avenue. The entry terrace will be retained and moved in conjunction with the rest of the structure.

Whereas the former application included two moves of the Goll House due to its relationship with planned underground parking, the current proposal requires moving the house only one time. The current proposal will allow for the Goll House to be placed on its own independent foundation - remaining separate from the tower structure at all levels.

New concrete foundations are currently being engineered by Pierce Engineers to support the existing structure. LiDar scanning of the exterior and interior provide the design team with highly accurate details of the existing structure in order to closely match the existing wall configuration and relationship of the building to the adjacent grades.

Once permitting and approvals are obtained, the site will be secured by the Construction Manager with fencing around the perimeter. Heritage Movers will then proceed with the significant effort of securing the structure for the move - adding reinforcement and support on the interior and exterior of the structure. Within the building, bracing lumber, metal strapping, misc. steel, and plastic are all used to protect the structure during the move. In similar fashion, the exterior of the building is braced and secured prior to moving the structure, including the chimney structures.

The main infrastructure built to move the building will be a designed steel beam system. The steel beams will be positioned below the first floor of the building in predetermined locations bearing on box cribs (cribbing). This will allow for the removal of existing foundations so the structure can be moved via a track system. This tracking system minimizes any major disruption in movement. All moves are slow with very small increments of moving distance along the tracking system. The process of stabilizing and moving the house is planned over a two-month duration.

Once moved to the final location, the foundations will be completed and the house lowered back into place and permanently connected. Following inspections and removal of bracing, the construction team will set up a temporary construction office for the construction of the residential tower - see the preservation plan at the rear of the application.

A separate COA will be submitted for interior and exterior improvements to meet the approval of those having jurisdiction. The following application will describe the repair and restoration work at the exterior as well as the renovation of the interior to complement the overall development - see proposed use at the rear of the application.

Photo Key

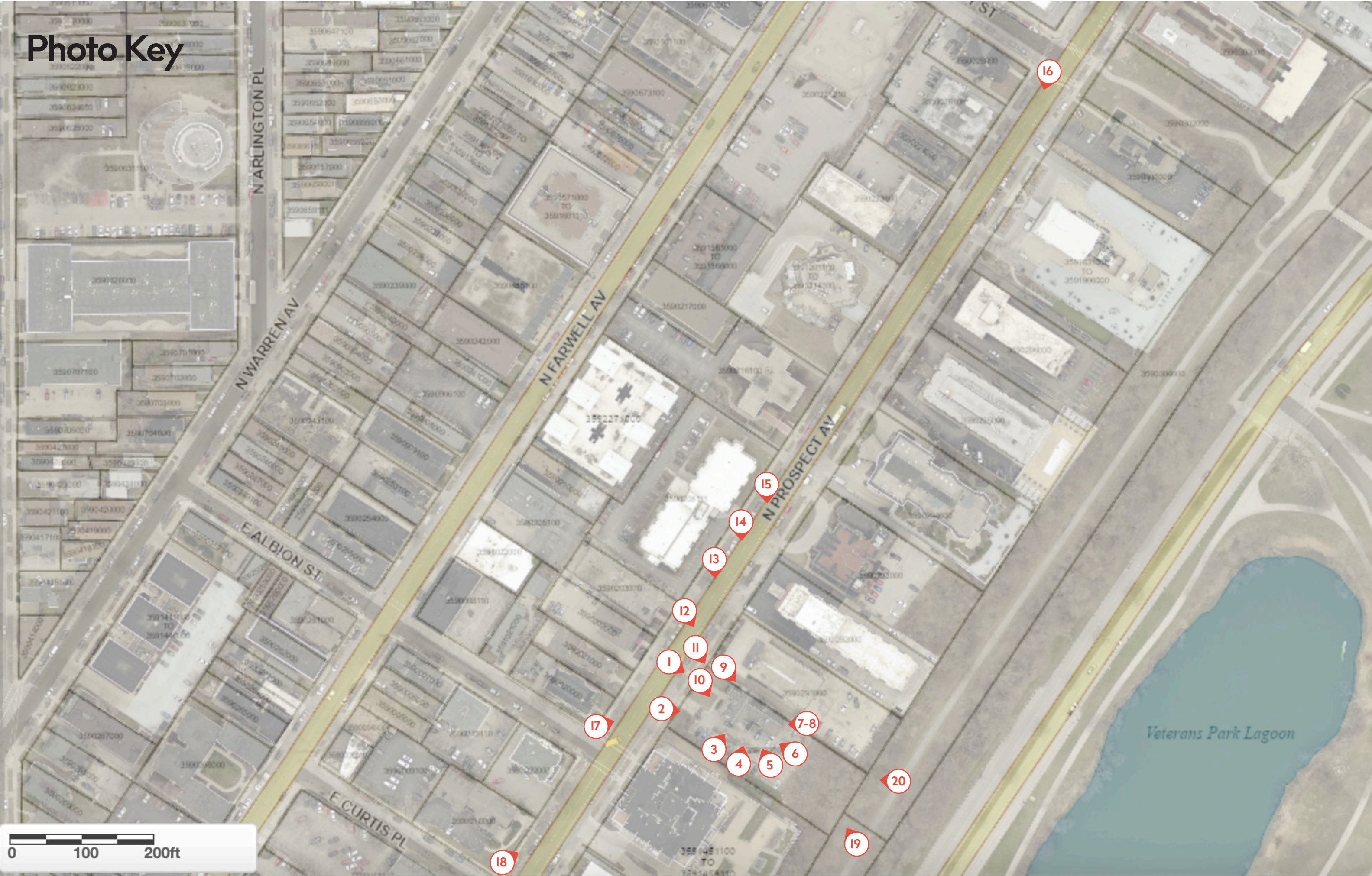




IMAGE 01: View from the west



IMAGE 03: View from the south



IMAGE 02: View from the southwest



IMAGE 04: View from the southeast



IMAGE 05: View from the southeast



IMAGE 07: View from the northeast (upper)



IMAGE 06: View from the east

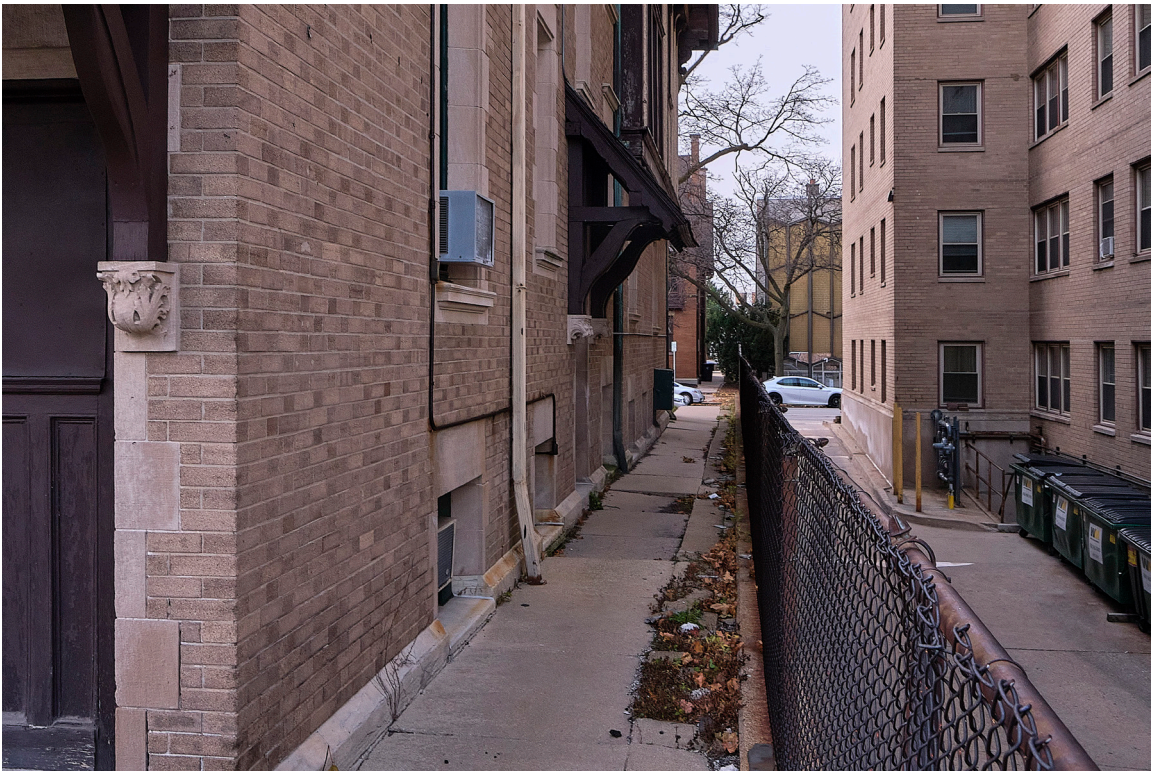


IMAGE 08: View from the northeast (lower)



IMAGE 09: View from the northwest



IMAGE 11: View from the northwest



IMAGE 10: View of the existing entry terrace



IMAGE 12: View from the northwest - opposite sidewalk



IMAGE I3: View from the northwest - opposite sidewalk



IMAGE I5: View from the northwest - opposite sidewalk



IMAGE I4: View from the northwest - opposite sidewalk



IMAGE I6: View from the northwest - opposite sidewalk