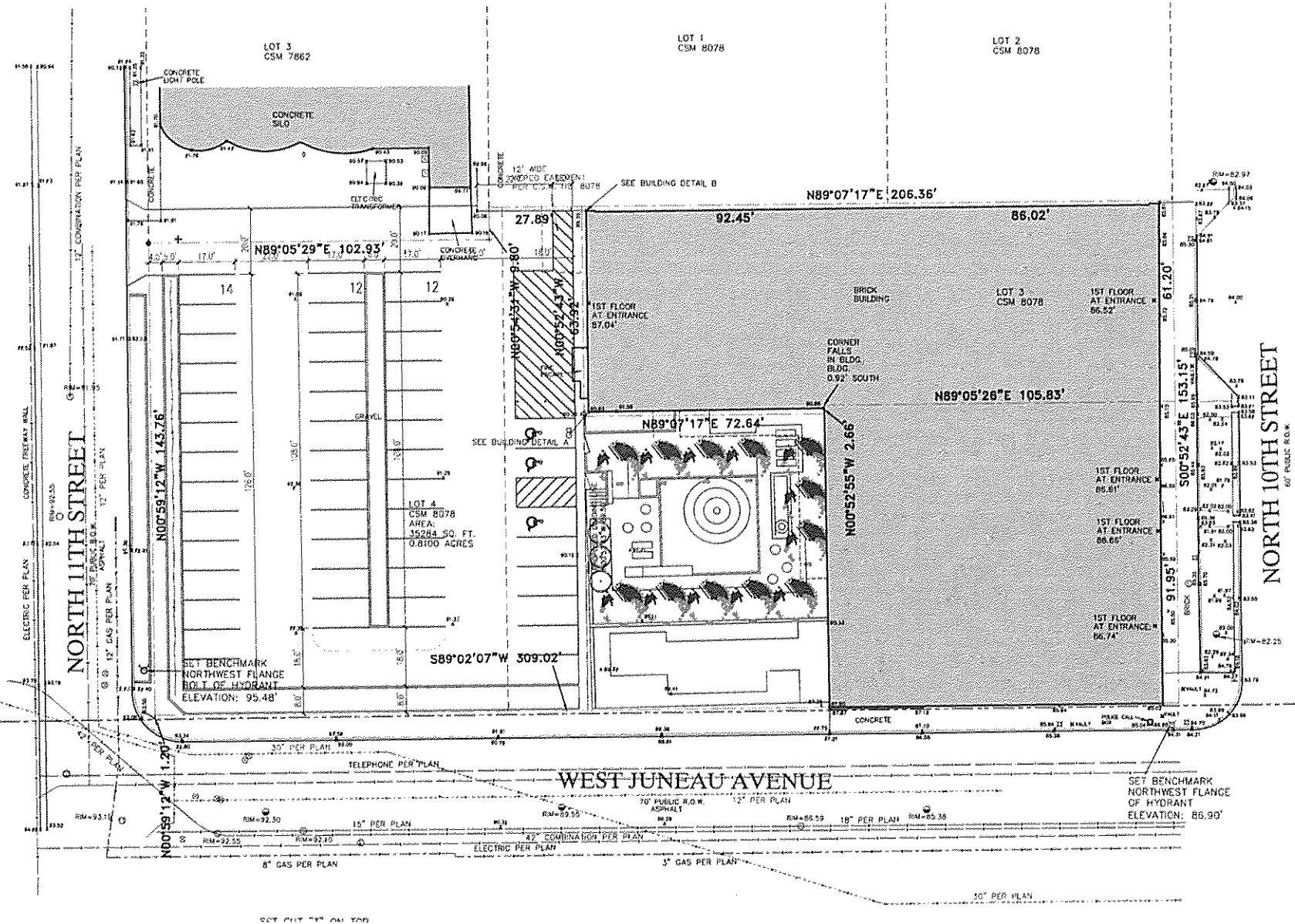
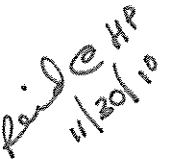


N88°57'51"E 618.75'
SOUTH LINE OF THE SW 1/4, SEC. 20-7-22



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10' - 0"

[illegible]

11/29/2010 12:45 PM

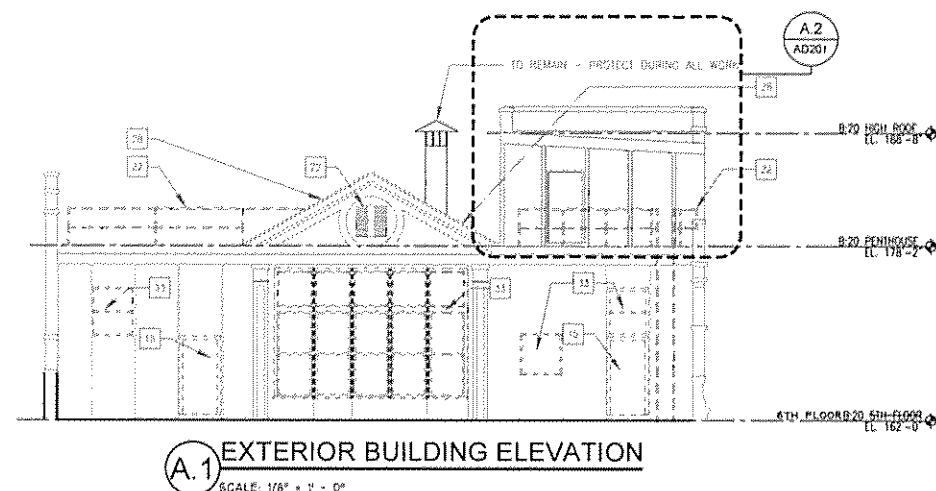
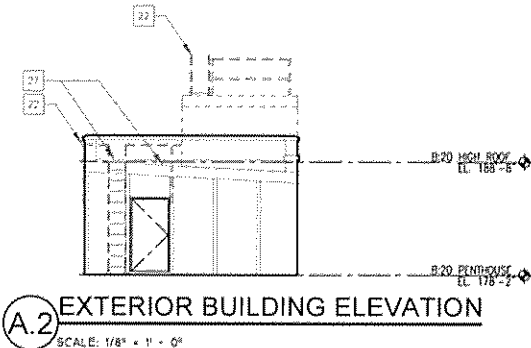
THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER ALL SPECIFIC ITEMS OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT NOR ARE THEY INTENDED TO. THE DEMOLITION PLANS SHOW AS MUCH DETAIL AS POSSIBLE, BUT FINAL DETERMINATION OF REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE THE BASIS FOR EXTRA COMPENSATION UNLESS CLEARLY OUTSIDE THE SCOPE AND INTENT OF THE DRAWINGS AND SPECIFICATIONS.

1. PRIOR TO THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL INSPECT ENTIRE BUILDING WITH THE OWNER'S REPRESENTATIVE TO INVENTORY ITEMS THAT SHALL BE SALVAGED FOR THE OWNER'S USE. THE DEMOLITION CONTRACTOR SHALL SALVAGE SUCH ITEMS & TRANSPORT TO THE OWNER'S STORAGE AREA.
2. SEE STRUCTURAL PLANS FOR DEMOLITION RELATED TO STRUCTURAL MODIFICATIONS AND ADDITIONS. SEE STRUCTURAL PLANS FOR AREAS OF NEW WORK REQUIRING DEMOLITION.
3. SEE PROPOSED FLOOR PLANS, ROOF PLAN AND ELEVATION SHEETS FOR ADDITIONAL DEMOLITION THAT MAY BE REQUIRED.
4. ELECTRICAL CONTRACTOR TO DISCONNECT ALL ELECTRICAL POWER. REMOVE ALL REMAINING WIRING.
5. COORDINATE WITH UTILITY COMPANIES TO DISCONNECT ALL UTILITIES REQUIRED FOR DEMOLITION WORK.
6. DEMOLITION OF ALL PLUMBING, PIPING AND HVAC EQUIP. IS BY DEMOLITION CONTRACTOR. PLUMBING & HVAC CONTRACTOR SHALL MARK ALL PIPING & EQUIPMENT TO BE REMOVED WITH "GREEN" SPRAY PAINT AND ALL PIPING & EQUIPMENT TO REMAIN WITH "RED" SPRAY PAINT.

2 DEMOLITION & REHABILITATION NOTES

SCALE: N/A

7. REMOVE ALL SIGNAGE, AND MISC. ITEMS NOT MARKED AS SALVAGE.
8. DEMOLITION CONTRACTOR TO SCRAPE & REMOVE EXISTING PAINT FROM ALL SURFACES TO REMAIN INCLUDING WALL, CEILING, STRUCTURAL FRAMING & EXISTING MILLWORK TO REMAIN IN NEED OF WORK. REFER TO SPECIFICATIONS FOR WORK RELATED TO LEAD PAINT.
9. REMOVE ALL WALLS SHOWN DASHED.
10. REMOVE ALL EXISTING FLOORING FINISHES EXCEPT AS NOTED.



DEMOLITION & REHABILITATION KEY	
1	CLEAN EXISTING CONCRETE FLOOR - PROTECT DURING WORK
2	CLEAN EXISTING WALLS, CEILINGS, COLLARS TO RECEIVE PAINT - PROTECT DURING WORK
3	EXISTING MILLWORK TO BE SALVAGED, CLEANED & REINSTALLED - STORE IN A SECURE LOCATION ON SITE
4	EXISTING CERAMIC FLOOR TILES TO REMAIN - TO BE RESTORED & CLEANED - PROTECT DURING ALL WORK
5	EXISTING CONCRETE CURB TO REMAIN - PROTECT DURING ALL WORK
6	EXISTING COPPER ELEMENTS TO REMAIN IN PLACE - TO BE CLEANED & POLISHED & SEALED - PROTECT DURING ALL WORK
7	EXISTING DOOR & FRAME TO BE SALVAGED - REMOVE INTACT & - PROTECT DURING ALL WORK
8	EXISTING DOOR & FRAME TO REMAIN IN PLACE - PROTECT DURING ALL WORK
9	EXISTING FLOOR FINISH TO REMAIN - CLEAN & PROTECT DURING WORK
10	EXISTING METAL STAIRS TO CLEAN & REMAIN IN PLACE - PROTECT DURING WORK
11	EXISTING STAIN GLASS TO REMAIN - REMOVE EXISTING PROTECTION SCREENING ON EXTERIOR - STAIN GLASS TO BE RESTORED AND CLEANED BY RESTORATION SPECIALIST - PROTECT INTERIOR AND EXTERIOR GLASS PAGES FOR THE DURATION OF ALL WORK
12	EXISTING STAIR TO REMAIN - REMOVE CARPET AND ROSSING - CLEAN TO ORIGINAL SURFACES - PROTECT DURING ALL WORK
13	REMOVE EXISTING 5th FLOOR TILES - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
14	REMOVE EXISTING CONCRETE CURB / PAD
15	REMOVE EXISTING DOOR & FRAME
16	REMOVE EXISTING FLOOR FINISH TO ORIGINAL SURFACE
17	REMOVE EXISTING FLOOR INFILL / COVER
18	REMOVE EXISTING FLOOR SYSTEM - TO BE INFILLED
19	REMOVE EXISTING GLAZED MASONRY VAINSCOTING - MAXIMIZE SALVAGED PIECES FOR REUSE & PALLETIZE PRODUCT FOR STORAGE ON SITE
20	REMOVE EXISTING MASONRY TO CREATE NEW OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - TOOTH-FINISHED EDGES - SEE STRUCTURAL FOR LINTEL REQUIREMENTS - BY MASONRY CONTRACTOR
21	REMOVE EXISTING MASONRY TO RESTORE ORIGINAL OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - BY MASONRY CONTRACTOR
22	REMOVE EXISTING METAL ELEMENTS
23	REMOVE EXISTING PAINT FROM ALL REMAINING SURFACES
24	REMOVE EXISTING PLASTER TO ORIGINAL WALL SYSTEM
25	REMOVE EXISTING PROTECTION SCREENING AT STAIN GLASS WINDOW - PROTECT OPENING DURING ALL CONSTRUCTION
26	REMOVE EXISTING ROOF SYSTEM & FRAMING POST SKYLIGHT REMOVAL
27	REMOVE EXISTING ROOFING SYSTEM TO ORIGINAL DECK - BY ROOFING CONTRACTOR
28	REMOVE EXISTING SKYLIGHT SYSTEM - EXISTING CURBS TO BE BRACED & PROTECTED
29	REMOVE EXISTING STAIR / RAILING SYSTEM
30	REMOVE EXISTING STAIR SYSTEM - SALVAGE DECORATIVE ELEMENTS - STORE IN SECURE LOCATION ON SITE
31	REMOVE EXISTING STRUCTURAL ELEMENTS - SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REMOVED
32	REMOVE EXISTING STRUCTURAL ELEMENTS @ CEILING
33	REMOVE EXISTING POLY WINDOW PROTECTION SYSTEM
34	REMOVE EXISTING WOOD FRAMING
35	REMOVE EXISTING CEILING TILES, COLUMN COVERS, CROWN MOLDING - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
36	EXISTING WINDOW TO REMAIN & RESTORED IN PLACE - PROTECT DURING ALL WORK

1 DEMOLITION & REHABILITATION KEY



GORMAN
CONSTRUCTION

REAL ESTATE DEVELOPMENT
& MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53575

The Brewhouse
EXTENDED STAY HOTEL

1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

Revisions	

Issue Date: 2010.11.12
Project No. 2010.3
Drawn: ccd
Checked: bmd
Approved: bmd

Sheet Title
DEMOLITION - EAST
EXTERIOR
ELEVATION

Sheet No.
AD201

THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER ALL SPECIFIC ITEMS OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT NOR ARE THEY INTENDED TO. THE DEMOLITION PLANS SHOW AS MUCH DETAIL AS POSSIBLE, BUT FINAL DETERMINATION OF REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE THE BASIS FOR EXTRA COMPENSATION UNLESS CLEARLY OUTSIDE THE SCOPE AND INTENT OF THE DRAWINGS AND SPECIFICATIONS.

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2. SEE STRUCTURAL PLANS FOR DEMOLITION RELATED TO STRUCTURAL MODIFICATIONS AND ADDITIONS. SEE STRUCTURAL PLANS FOR AREAS OF NEW WORK REQUIRING DEMOLITION.
3. SEE PROPOSED FLOOR PLANS, ROOF PLAN AND ELEVATION SHEETS FOR ADDITIONAL DEMOLITION THAT MAY BE REQUIRED.
4. ELECTRICAL CONTRACTOR TO DISCONNECT ALL ELECTRICAL POWER. REMOVE ALL REMAINING WIRING.
5. COORDINATE WITH UTILITY COMPANIES TO DISCONNECT ALL UTILITIES REQUIRED FOR DEMOLITION WORK.
6. DEMOLITION OF ALL PLUMBING, PIPING AND HVAC EQUIP. IS BY DEMOLITION CONTRACTOR. PLUMBING & HVAC CONTRACTOR SHALL MARK ALL PIPING & EQUIPMENT TO BE REMOVED WITH "GREEN" SPRAY PAINT AND ALL PIPING & EQUIPMENT TO REMAIN WITH "RED" SPRAY PAINT.

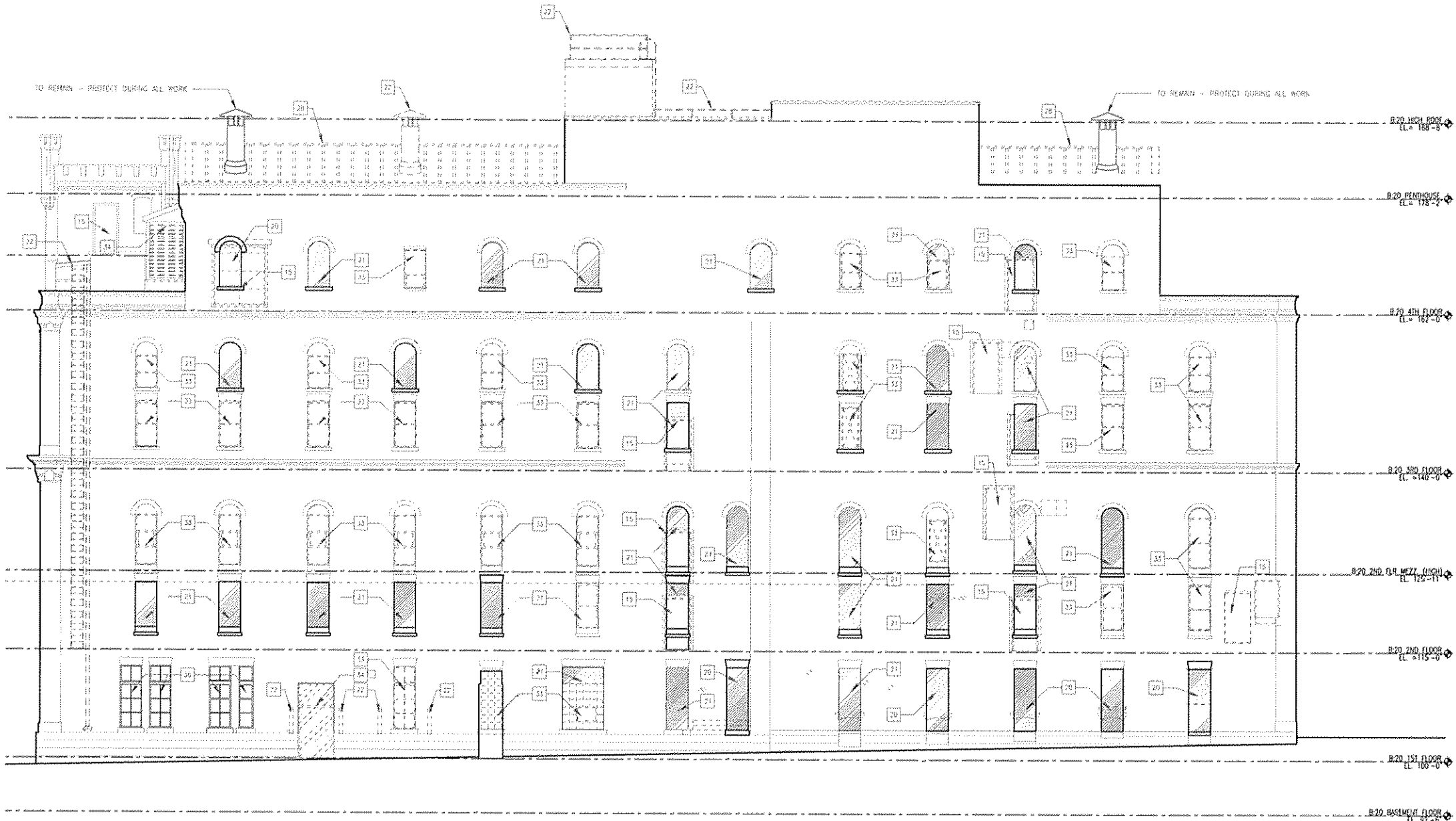
7. REMOVE ALL SIGNAGE, AND MISC. ITEMS NOT MARKED AS SALVAGE.
8. DEMOLITION CONTRACTOR TO SCRAPE & REMOVE EXISTING PAINT FROM ALL SURFACES TO REMAIN INCLUDING WALL, CEILING, STRUCTURAL FRAMING & EXISTING MILLWORK TO REMAIN IN REED OF WORK. REFER TO SPECIFICATIONS FOR WORK RELATED TO LEAD PAINT.
9. REMOVE ALL WALLS SHOWN DASHED.
10. REMOVE ALL EXISTING FLOORING FINISHES EXCEPT AS NOTED.

2 DEMOLITION & REHABILITATION NOTES

SCALE: 1/4"

DEMOLITION & REHABILITATION KEY	
1	CLEAN EXISTING CONCRETE FLOOR - PROTECT DURING WORK
2	CLEAN EXISTING WALLS, CEILINGS, COLUMNS TO RECEIVE PAINT - PROTECT DURING WORK
3	EXISTING MILLWORK TO BE SALVAGED, CLEANED & REINSTALLED - STORE IN A SECURE LOCATION ON SITE
4	EXISTING CERAMIC FACE TILES TO REMAIN - TO BE RESTORED & CLEANED - PROTECT DURING ALL WORK
5	EXISTING CONCRETE CURB TO REMAIN - PROTECT DURING ALL WORK
6	EXISTING COPPER ELEMENTS TO REMAIN IN PLACE - TO BE CLEANED & POLISHED & SEALED - PROTECT DURING ALL WORK
7	EXISTING DOOR & FRAME TO BE SALVAGED - REMOVE INTACT & - PROTECT DURING ALL WORK
8	EXISTING DOOR & FRAME TO REMAIN IN PLACE - PROTECT DURING ALL WORK
9	EXISTING FLOOR FINISH TO REMAIN - CLEAN & PROTECT DURING WORK
10	EXISTING METAL STAIRS TO CLEAN & REMAIN IN PLACE - PROTECT DURING WORK
11	EXISTING STAIN GLASS TO REMAIN - REMOVE EXISTING PROTECTION SCREENING ON EXTERIOR - STAIN GLASS TO BE RESTORED AND CLEANED BY RESTORATION SPECIALIST - PROTECT INTERIOR AND EXTERIOR GLASS PAGES FOR THE DURATION OF ALL WORK
12	EXISTING STAIR TO REMAIN - REMOVE CARPET AND NOSING - CLEAN TO ORIGINAL SURFACES - PROTECT DURING ALL WORK
13	REMOVE EXISTING 8X8 FLOOR TILES - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
14	REMOVE EXISTING CONCRETE CURB / PAD
15	REMOVE EXISTING DOOR & FRAME
16	REMOVE EXISTING FLOOR FINISH TO ORIGINAL SURFACE
17	REMOVE EXISTING FLOOR INFILL / COVER
18	REMOVE EXISTING FLOOR SYSTEM - TO BE INFILLED
19	REMOVE EXISTING GLAZED MASONRY VANDICORING - MAXIMIZE SALVAGED PIECES FOR REUSE & PALLETIZE PRODUCT FOR STORAGE ON SITE
20	REMOVE EXISTING MASONRY TO CREATE NEW OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - TOOTH IN FINISHED EDGES - SEE STRUCTURAL FOR UNFILL REQUIREMENTS - BY MASONRY CONTRACTOR
21	REMOVE EXISTING MASONRY TO RESTORE ORIGINAL OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - BY MASONRY CONTRACTOR
22	REMOVE EXISTING METAL ELEMENTS
23	REMOVE EXISTING PAINT FROM ALL REMAINING SURFACES
24	REMOVE EXISTING PLASTER TO ORIGINAL WALL SYSTEM
25	REMOVE EXISTING PROTECTION SCREENING AT STAIN GLASS WINDOW - PROTECT OPENING DURING ALL CONSTRUCTION
26	REMOVE EXISTING ROOF SYSTEM & FRAMING POST SKYLIGHT REMOVAL
27	REMOVE EXISTING ROOFING SYSTEM TO ORIGINAL DECK - BY ROOFING CONTRACTOR
28	REMOVE EXISTING SKYLIGHT SYSTEM - EXISTING CURBS TO BE BRACED & PROTECTED
29	REMOVE EXISTING STAIR RAILING SYSTEM
30	REMOVE EXISTING STAIR SYSTEM - SALVAGE DECORATIVE ELEMENTS - STORE IN SECURE LOCATION ON SITE
31	REMOVE EXISTING STRUCTURAL ELEMENTS - SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REMOVED
32	REMOVE EXISTING STRUCTURAL ELEMENTS @ CEILING
33	REMOVE EXISTING POLY WINDOW PROTECTION SYSTEM
34	REMOVE EXISTING WOOD FRAMING
35	REMOVE EXISTING CEILING TILES, COLUMN COVERS, CROWN MOLDING - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
36	EXISTING WINDOW TO REMAIN & RESTORED IN PLACE - PROTECT DURING ALL WORK

1 DEMOLITION & REHABILITATION KEY



R NORTH EXTERIOR BUILDING ELEVATION

GORMAN
COMPANY INC.

REAL ESTATE DEVELOPMENT
& MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53575

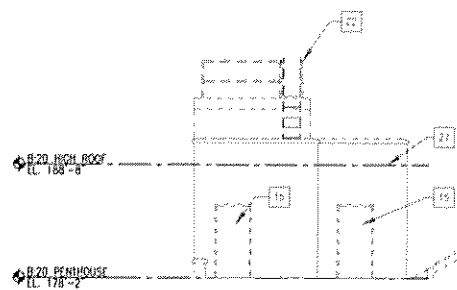
The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

Revisions	

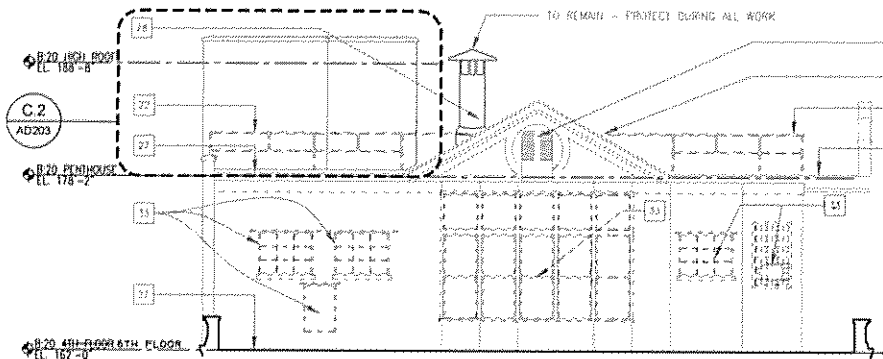
Issue Date: 2010.11.12
Project No. 2010.3
Drawn: cnd
Checked: bnm
Approved: bnm

Sheet Title
DEMOLITION -
NORTH EXTERIOR
ELEVATION

Sheet No.
AD202



C.2 EXTERIOR BUILDING ELEVATION
SCALE: 1/8" = 1' - 0"



C.1 EXTERIOR BUILDING ELEVATION
SCALE: 1/8" = 1' - 0"

THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER ALL SPECIFIC ITEMS OF DEMOLITION REQUIRED TO COMPLETE THE PROJECT NOR ARE THEY INTENDED TO. THE DEMOLITION PLANS SHOW AS MUCH DETAIL AS POSSIBLE, BUT FINAL DETERMINATION OF REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE THE BASIS FOR EXTRA COMPENSATION UNLESS CLEARLY OUTSIDE THE SCOPE AND INTENT OF THE DRAWINGS AND SPECIFICATIONS.

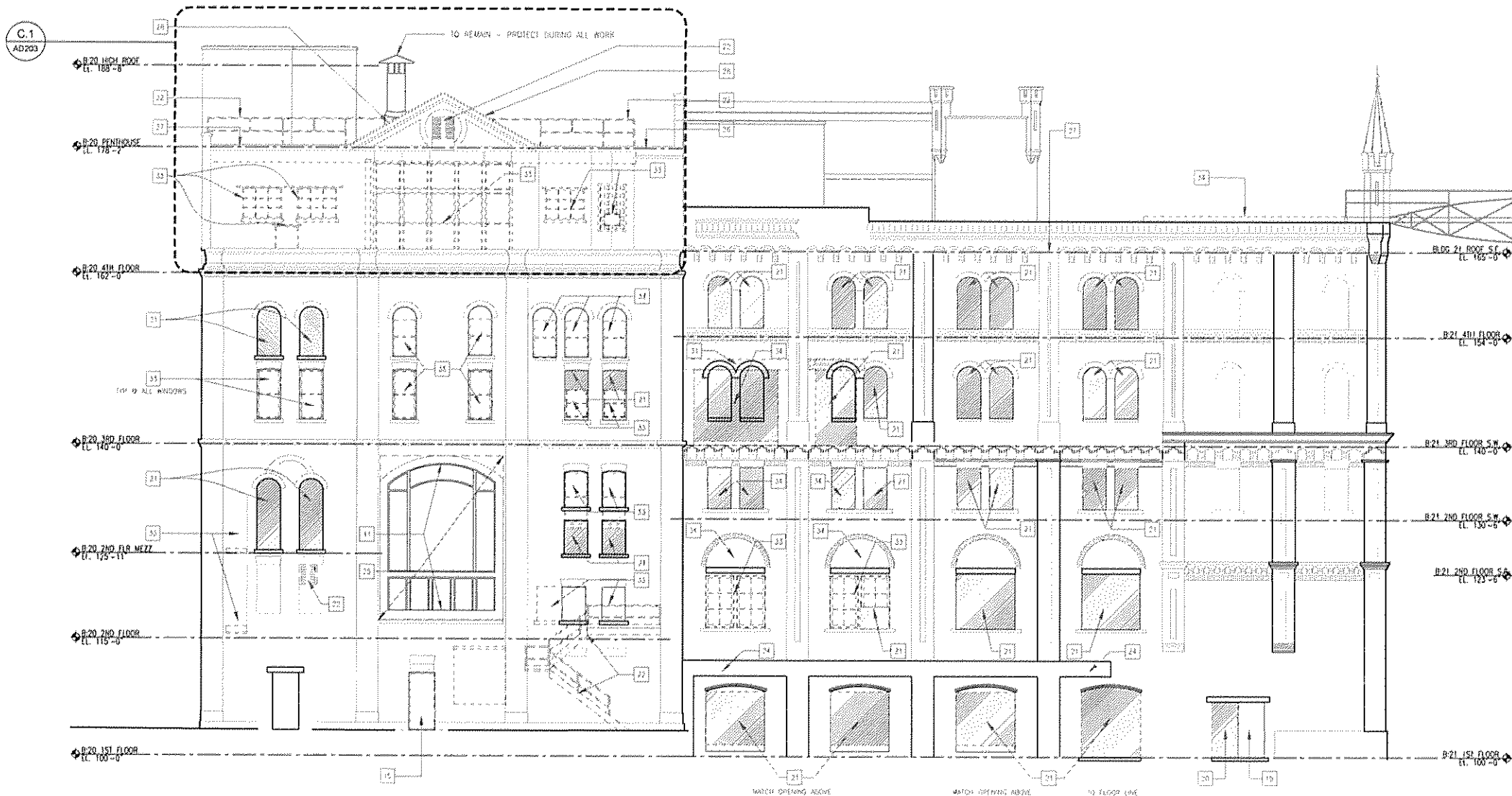
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4. ELECTRICAL CONTRACTOR TO DISCONNECT ALL ELECTRICAL POWER. REMOVE ALL REMAINING WIRING.
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7. REMOVE ALL SIGNAGE, AND MISC. ITEMS NOT MARKED AS SALVAGE.
8. DEMOLITION CONTRACTOR TO SCRAPE & REMOVE EXISTING PAINT FROM ALL SURFACES TO REMAIN INCLUDING WALL, CEILING, STRUCTURAL FRAMING & EXISTING MILLWORK TO REMAIN IN NEED OF WORK. REFER TO SPECIFICATIONS FOR WORK RELATED TO LEAD PAINT.
9. REMOVE ALL WALLS SHOWN DASHED.
10. REMOVE ALL EXISTING FLOORING FINISHES EXCEPT AS NOTED.

2 DEMOLITION & REHABILITATION NOTES
SCALE: N/A

DEMOLITION & REHABILITATION KEY	
1	CLEAN EXISTING CONCRETE FLOOR - PROTECT DURING WORK
2	CLEAN EXISTING WALLS, CEILINGS, COLUMNS TO RECEIVE PAINT - PROTECT DURING WORK
3	EXISTING MILLWORK TO BE SALVAGED, CLEANED & REINSTALLED - STORE IN A SECURE LOCATION ON SITE
4	EXISTING CERAMIC FLOOR TILES TO REMAIN - TO BE RESTORED & CLEANED - PROTECT DURING ALL WORK
5	EXISTING CONCRETE CURB TO REMAIN - PROTECT DURING ALL WORK
6	EXISTING COPPER ELEMENTS TO REMAIN IN PLACE - TO BE CLEANED & POLISHED & SEALED - PROTECT DURING ALL WORK
7	EXISTING DOOR & FRAME TO BE SALVAGED - REMOVE BRICK & - PROTECT DURING ALL WORK
8	EXISTING DOOR & FRAME TO REMAIN IN PLACE - PROTECT DURING ALL WORK
9	EXISTING FLOOR FINISH TO REMAIN - CLEAN & PROTECT DURING WORK
10	EXISTING METAL STAIRS TO CLEAN & REMAIN IN PLACE - PROTECT DURING WORK
11	EXISTING STAIN GLASS TO REMAIN - REMOVE EXISTING PROTECTION SCREENING ON EXTERIOR - STAIN GLASS TO BE RESTORED AND CLEANED BY RESTORATION SPECIALIST - PROTECT INTERIOR AND EXTERIOR GLASS PAGES FOR THE DURATION OF ALL WORK
12	EXISTING STAIR TO REMAIN - REMOVE CARPET AND HOSING - CLEAN TO ORIGINAL SURFACES - PROTECT DURING ALL WORK
13	REMOVE EXISTING FLOOR TILES - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
14	REMOVE EXISTING CONCRETE CURB / PAD
15	REMOVE EXISTING DOOR & FRAME
16	REMOVE EXISTING FLOOR FINISH TO ORIGINAL SURFACE
17	REMOVE EXISTING FLOOR DRILL / COVER
18	REMOVE EXISTING FLOOR SYSTEM - TO BE INFILLED
19	REMOVE EXISTING GLAZED MASONRY VANDICOTTING - MAXIMIZE SALVAGED PIECES FOR REUSE & PALLETIZE PRODUCT FOR STORAGE ON SITE
20	REMOVE EXISTING MASONRY TO CREATE NEW OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - TOOTH IF FINISHED EDGES - SEE STRUCTURAL FOR LINTEL REQUIREMENTS - BY MASONRY CONTRACTOR
21	REMOVE EXISTING MASONRY TO RESTORE ORIGINAL OPENING - MAXIMIZE SALVAGED PIECES FOR REUSE - BY MASONRY CONTRACTOR
22	REMOVE EXISTING METAL ELEMENTS
23	REMOVE EXISTING PAINT FROM ALL REMAINING SURFACES
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25	REMOVE EXISTING PROTECTION SCREENING AT STAIN GLASS WINDOW - PROTECT OPENING DURING ALL CONSTRUCTION
26	REMOVE EXISTING ROOF SYSTEM & FRAMING POST SKYLIGHT REMOVAL
27	REMOVE EXISTING ROOFING SYSTEM TO ORIGINAL DECK - BY ROOFING CONTRACTOR
28	REMOVE EXISTING SKYLIGHT SYSTEM - EXISTING CURBS TO BE BRACED & PROTECTED
29	REMOVE EXISTING STAIR / RAILING SYSTEM
30	REMOVE EXISTING STAIR SYSTEM - SALVAGE DECORATIVE ELEMENTS - STORE IN SECURE LOCATION ON SITE
31	REMOVE EXISTING STRUCTURAL ELEMENTS - SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REMOVED
32	REMOVE EXISTING STRUCTURAL ELEMENTS @ CEILING
33	REMOVE EXISTING POLY WINDOW PROTECTION SYSTEM
34	REMOVE EXISTING WOOD FRAMING
35	REMOVE EXISTING CERAMIC TILES, COLUMN COVERS, CROWN MOULDING - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
36	EXISTING WINDOW TO REMAIN & RESTORED IN PLACE - PROTECT DURING ALL WORK

1 DEMOLITION & REHABILITATION KEY



C WEST EXTERIOR BUILDING ELEVATION

GORMAN
REAL ESTATE DEVELOPMENT
& MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53575

The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

Revisions	

Issue Date: 2010.11.12
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Drawn: crd
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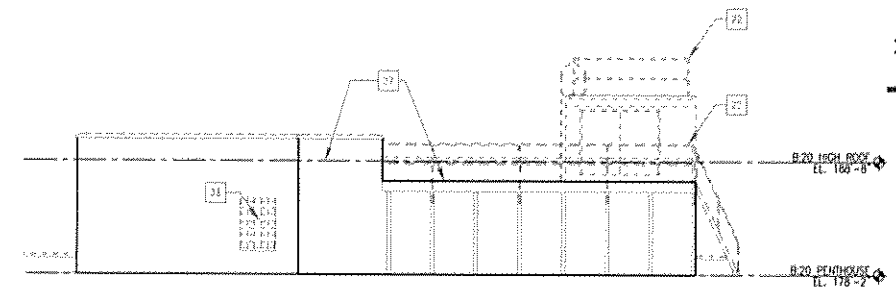
Sheet Title
DEMOLITION - WEST
EXTERIOR
ELEVATION

Sheet No.
AD203

1. PRIOR TO THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL INSPECT ENTIRE BUILDING WITH THE OWNER'S REPRESENTATIVE TO INVENTORY ITEMS THAT SHALL BE SALVAGED FOR THE OWNER'S USE. THE DEMOLITION CONTRACTOR SHALL SALVAGE SUCH ITEMS & TRANSPORT TO THE OWNER'S STORAGE AREA.
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SCALE: N/A

7. REMOVE ALL SIGNAGE, AND MISC. ITEMS NOT MARKED AS SALVAGE.
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9. REMOVE ALL WALLS SHOWN DASHED
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SCALE: 118° • 1° • 0°

DEMOLITION & REHABILITATION KEY	
1	CLEAN EXISTING CONCRETE FLOOR - PROTECT DURING WORK
2	CLEAN EXISTING WALLS, CEILINGS, COLUMNS TO RECEIVE PAINT - PROTECT DURING WORK
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4	EXISTING CERAMIC FACE TILES TO REMAIN - TO BE RESTORED & CLEANED - PROTECT DURING ALL WORK
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9	EXISTING FLOOR FINISH TO REMAIN - CLEAN & PROTECT DURING WORK
10	EXISTING METAL STAIRS TO CLEAN & REMAIN IN PLACE - PROTECT DURING WORK
11	EXISTING STAIN GLASS TO REMAIN - REMOVE EXISTING PROTECTION SCREENING ON EXTERIOR GLASS TO BE RESTORED AND CLEANED BY RESTORATION SPECIALIST - PROTECT INTERIOR AND EXTERIOR GLASS AREAS FOR THE DURATION OF ALL WORK
12	EXISTING STAIR TO REMAIN - REMOVE CARPET AND LOSSING - CLEAN TO ORIGINAL SURFACE - PROTECT DURING ALL WORK
13	REMOVE EXISTING 9X9 FLOOR TILES - MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
14	REMOVE EXISTING CONCRETE CURB / PAD
15	REMOVE EXISTING DOOR & FRAME
16	REMOVE EXISTING FLOOR FINISH TO ORIGINAL SURFACE
17	REMOVE EXISTING FLOOR J/FILL & COVER
18	REMOVE EXISTING FLOOR SYSTEM - TO BE INFILLED
19	REMOVE EXISTING GLAZED MASONRY WAINSCOTING - MAXIMIZE SALVAGED PIECES FOR REUSE & PALETTEZ PRODUCT FOR STORAGE ON SITE
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26	REMOVE EXISTING ROOF SYSTEM & FRAMING POST SKYLIGHT REMOVAL
27	REMOVE EXISTING ROOFING SYSTEM TO ORIGINAL DECK - BY ROOFING CONTRACTOR
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30	REMOVE EXISTING STAIR SYSTEM - SALVAGE DECORATIVE ELEMENTS - STORE IN SECURE LOCATION ON SITE
31	REMOVE EXISTING STRUCTURAL ELEMENTS - SEE STRUCTURAL DRAWINGS FOR ITEMS TO BE REMOVED
32	REMOVE EXISTING STRUCTURAL ELEMENTS @ CEILING
33	REMOVE EXISTING POLY WINDOW PROTECTION SYSTEM
34	REMOVE EXISTING WOOD FRAMING
35	REMOVE EXISTING CEILING TRUSS COLLEEN COVERS, CHOWN MOLDING, MAXIMIZE SALVAGED PIECES FOR REUSE - STORE IN SECURE AREA ON SITE
36	EXISTING WINDOW TO REMAIN & BE RESTORED IN PLACE - PROTECT DURING ALL WORK

Y



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REAL ESTATE DEVELOPMENT
& MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53575

The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

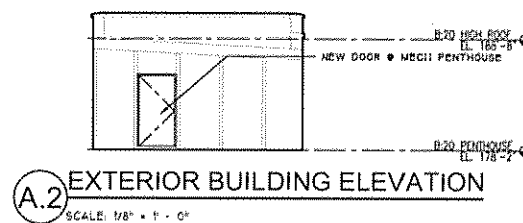
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Issue Date: 2010.11.12
Project No. 2010.3
Drawn: crd
Checked: bm
Approved:

Sheet Title

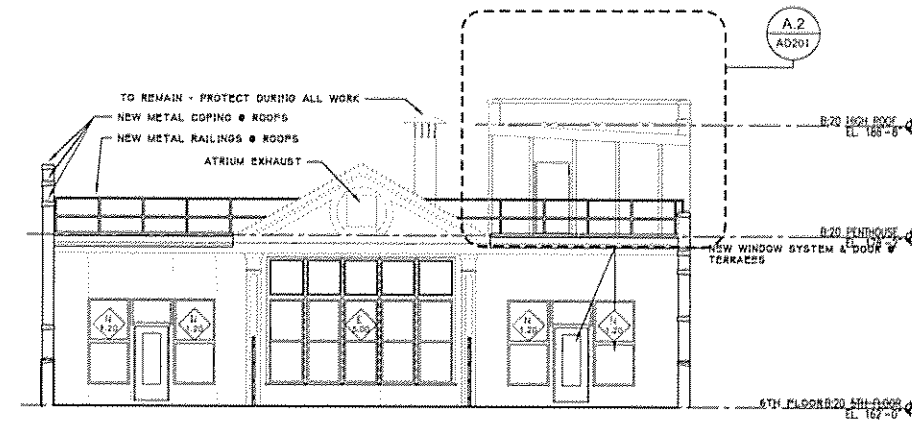
DEMOLITION -
SOUTH EXTERIOR
ELEVATION

Sheet No. **AD204**



A.2 EXTERIOR BUILDING ELEVATION

SCALE: 1/8" = 1' - 0"



A.1 EXTERIOR BUILDING ELEVATION

SCALE: 1/8" = 1' - 0"



A EAST EXTERIOR BUILDING ELEVATION

SCALE: 1/8" = 1' - 0"

The Brewhouse
EXTENDED STAY HOTEL

1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

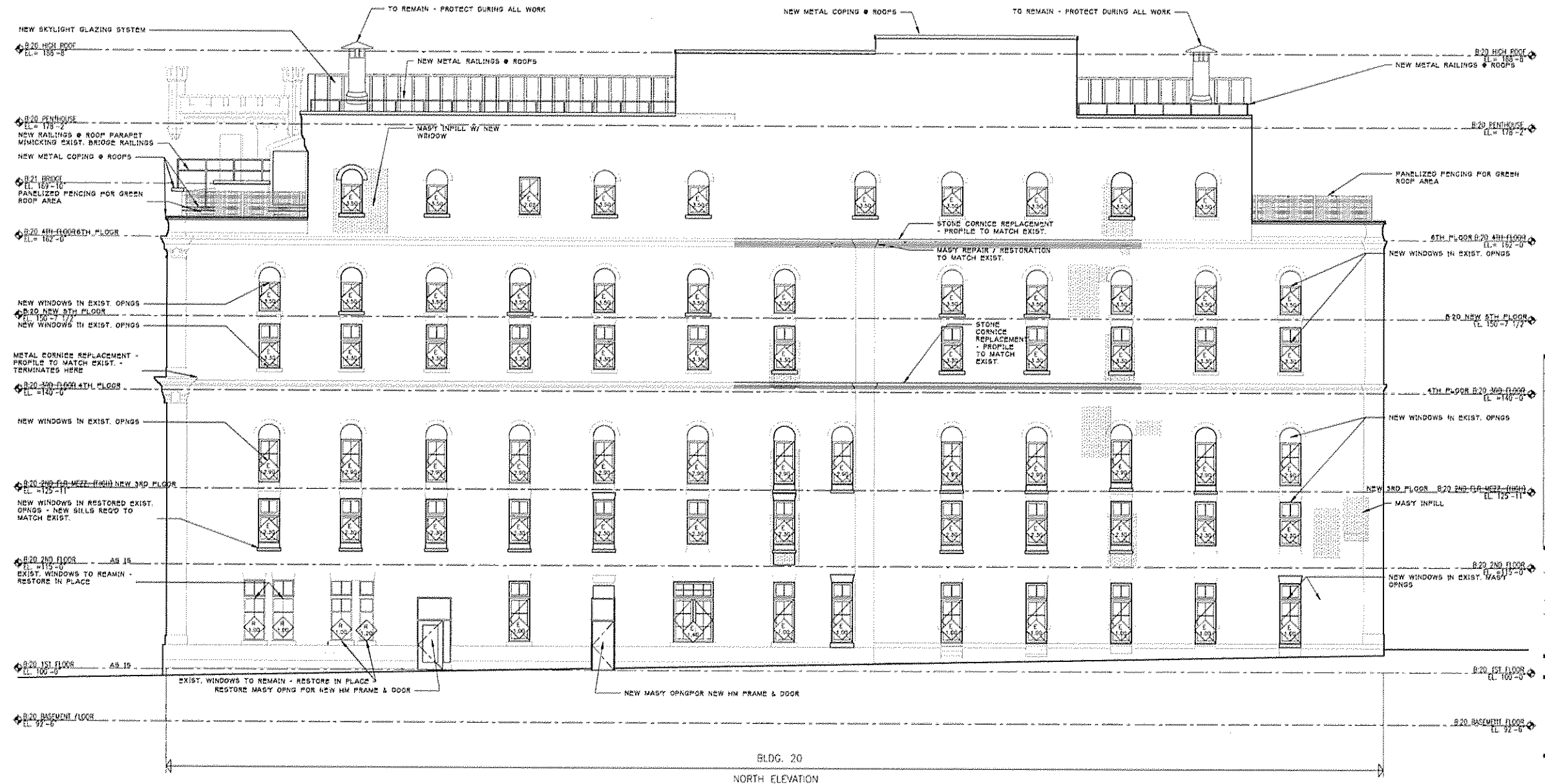
Revisions	

Issue Date: 2010.11.12
Project No. 2010.3
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Checked: b.m
Approved:

Sheet Title
BUILDING EXTERIOR
ELEVATION

Sheet No.
A201

The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN



(B) NORTH EXTERIOR BUILDING ELEVATION

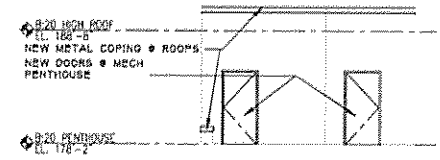
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Issue Date: 2010.11.12
Project No. 2010.3
Drawn: erd
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Approved:

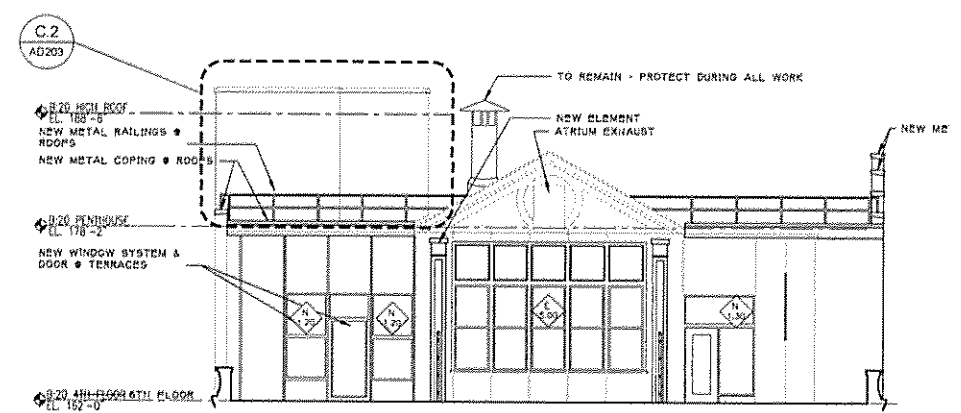
Sheet Title

BUILDING EXTERIOR
ELEVATION

Sheet No. **A202**



C.2 EXTERIOR BUILDING ELEVATION
SCALE: 1/8" = 1' - 0"



C.1 EXTERIOR BUILDING ELEVATION
SCALE: 1/8" = 1' - 0"



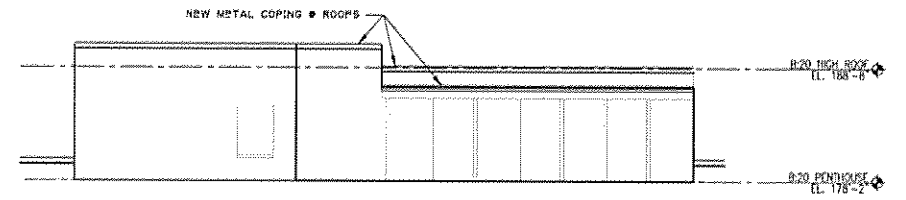
The Brehouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

Revisions

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BUILDING EXTERIOR ELEVATION

Sheet No.
A203



D.1 SOUTH EXTERIOR BUILDING ELEVATION
SCALE: 1/8" = 1' = 0"



The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

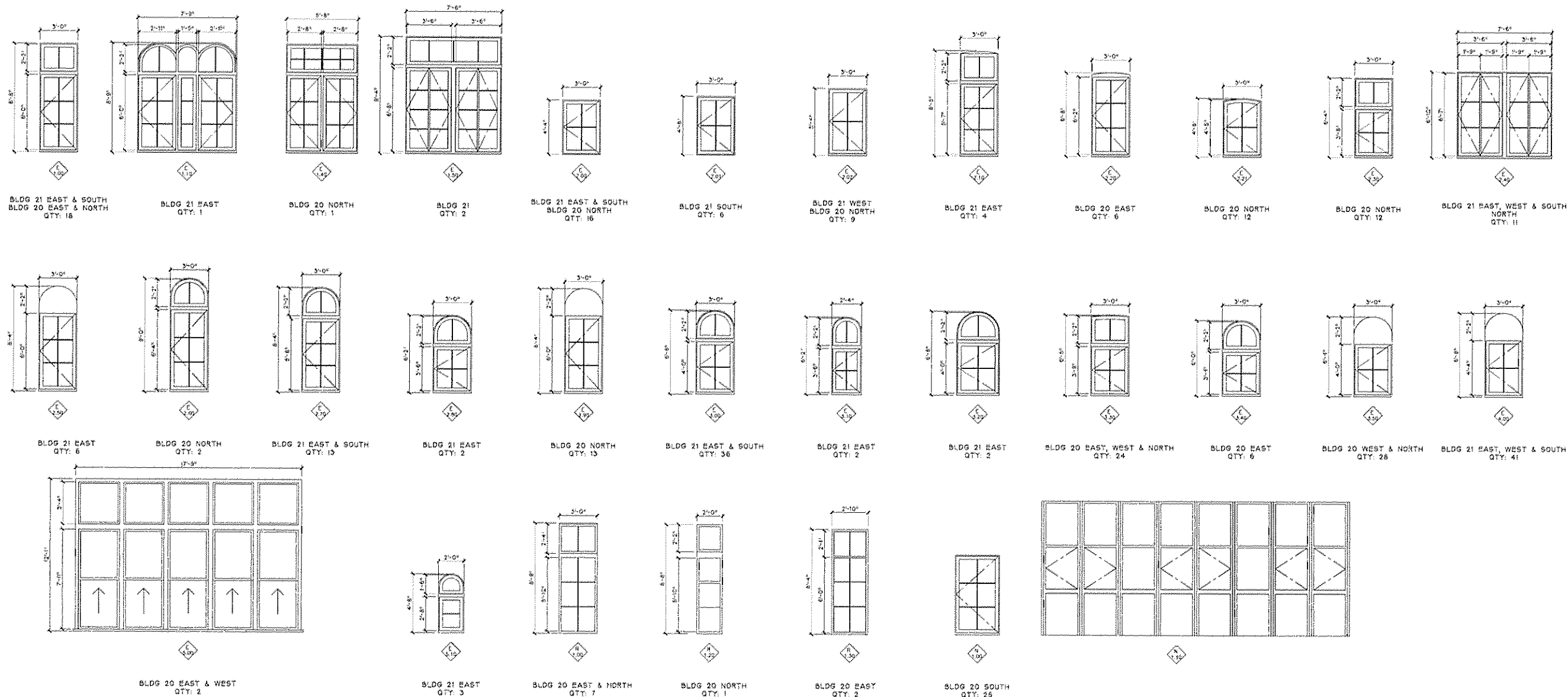
Revisions

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Sheet Title

BUILDING EXTERIOR
ELEVATION

Sheet No.
A204



The Brewhouse
EXTENDED STAY HOTEL
1207 & 1217 NORTH 10TH STREET
MILWAUKEE, WISCONSIN

3 EXISTING EXTERIOR WINDOW ELEVATIONS

SCALE 1/4" = 1' - 0"

COUNT	
E 1.00	18
E 1.10	1
E 1.40	1
E 1.50	2
E 2.00	16
E 2.01	6
E 2.02	9
E 2.10	4
E 2.20	6
E 2.21	12
E 2.30	12
E 2.40	11
E 2.50	6
E 2.60	2
E 2.70	13
E 2.80	2
E 2.90	13
E 3.00	28
E 3.10	2
E 3.20	2
E 3.30	24
E 3.40	6
E 3.50	28
E 4.00	41
E 5.00	2
E 5.10	5
N 1.00	25
305	

2 WINDOW KEY

N.A.

WINDOW KEYS

E - EXISTING WINDOWS TO BE REPLACED

R - EXISTING WINDOWS TO BE RESTORED IN PLACE

N - NEW WINDOWS IN NEW OPENINGS

THE WINDOW COUNT IS APPROXIMATE: IT IS THE WINDOW CONTRACTOR'S RESPONSIBILITY TO VERIFY THE COUNT AND FIELD VERIFY EACH OPENING DIMENSION.

EXISTING WINDOW NOTES:

- WINDOWS SHOWN APPROXIMATE DIMENSIONS ONLY FOR PRICING. EACH WINDOW OPENING TO BE FIELD VERIFIED.
- TYPICAL REPLACEMENT UNITS SHALL BE WOOD CLAD WINDOWS WITH LOW E INSULATING GLASS.
- ALL REPLACEMENT WINDOWS AND DETAILS MUST BE SUBMITTED TO AND APPROVED BY THE STATE HISTORICAL SOCIETY AND THE NATIONAL PARKS SERVICE.
- REPLACEMENT WINDOWS SHALL MATCH EXISTING CONFIGURATIONS AS CLOSELY AS POSSIBLE - SEE EXISTING AND PROPOSED DETAILS ON FOLLOWING SHEETS

Revisions	

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Sheet Title
EXTERIOR WINDOW ELEVATIONS

Sheet No.
A205

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