



## Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

LIVING WITH HISTORY

Property	135 W. WELLS ST.	Germania Building	
<b>Description of work</b>	Cornice repair and light re	ofing per conditions below and attached drawing	igs.
Date issued	1/13/2022	PTS ID 115233 COA: Cornice repairs	

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

### Masonry

New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books *As Good As New* or *Good for Business*, Masonry Chapters, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

New brick/stone/terra cotta must match as closely as possible the color texture, size, and finish of the original. A sample panel of the masonry materials and their mortar must be reviewed and approved by HPC staff prior to general installation of the material. UNDER NO CIRCUMSTANCES SHALL UNPAINTED MASONRY BE PAINTED, BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS; THIS STATEMENT SUPERSEDES ANY OTHER WORDING IN THIS DOCUMENT INDICATING THE CONTRARY.

### **Masonry Cleaning**

Abrasive cleaning methods are prohibited on historic buildings by Wisconsin state law. Exceptions can only be granted in writing by the Wisconsin Historical Society. Chemical and power-washing are acceptable methods of cleaning that the city can approve. Pressure washing is to be conducted ONLY with fan tips with a spread of 15-50 degrees, maximum 800psi at the tip, flow rate less than 8gpm, and from a distance from the surface of a minimum of 12" inches. PSI of 400-600 is typically adequate, though it may take more time and more passes than higher pressures.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact hpc@milwaukee.gov.

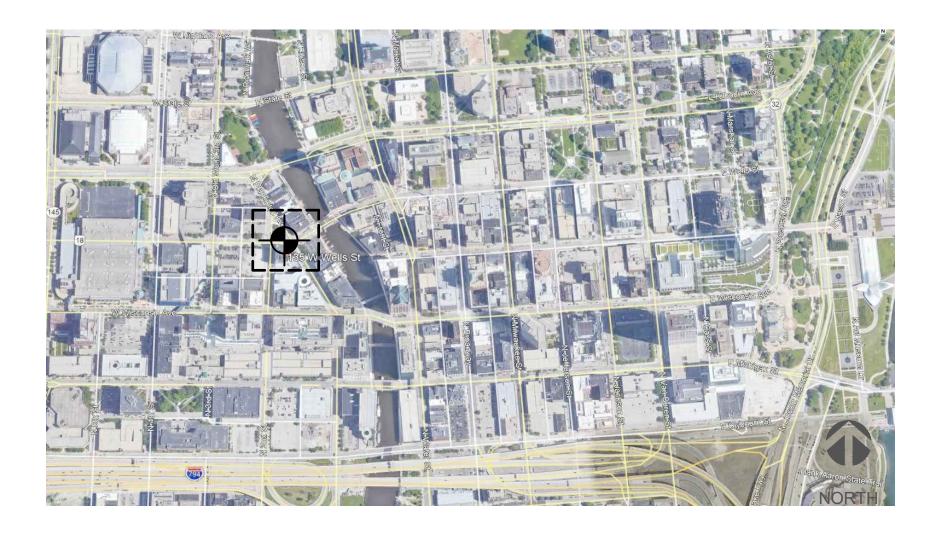
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, <u>www.milwaukee.gov/build</u>, or call (414) 286-8210.

Im ans

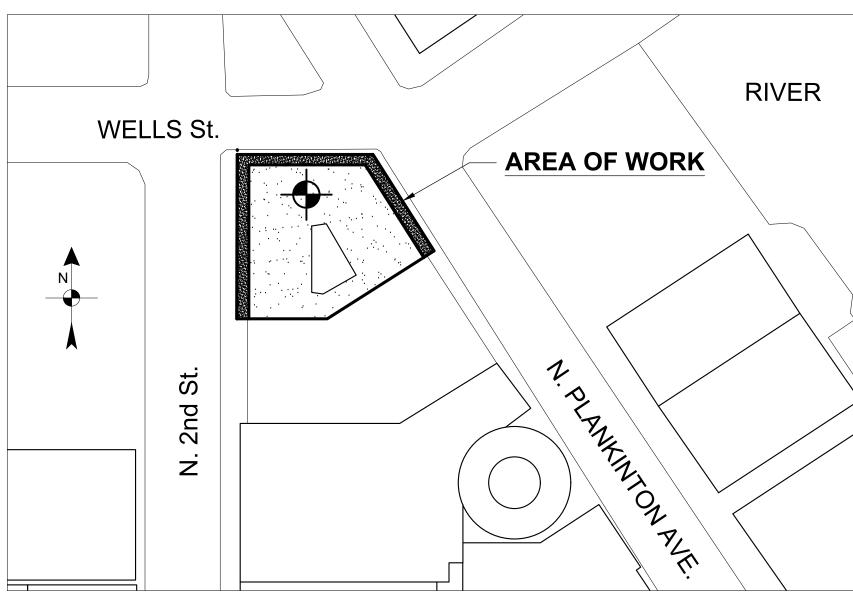
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor

## **PROJECT LOCATION**



### SITE MAP



## **PROJECT INFO**

### PLANS PREPARED FOR: CARDINAL CAPITAL MANAGEMENT

901 S 70th St. WEST ALLIS, WI 53214

## **DRAWING INDEX**

SHT	SHEE
T-1	TITLE SHE
S-000	GENERAL
S-001	SITE PLAN
S-100	SAMPLE E
S-101	ROOF PLA
S-200	ROOF PLA
S-300	NUMBER
S-400	DETAILS
S-401	DETAILS
S-402	DETAILS

## **PROJECT DATA**

ALL REPAIRS ARE TO BE PERFORMED ACCORDING TO THESE PLANS AND AS REQUIRED BY WISCONSIN BUILDING CODE

- 4. MISCELLANEOUS TUCKPOINTING IN CAULKED, ERODED MORTAR JOINTS

# CORNICE REPAIRS GERMANIA BUILDING 135 W. WELLS STREET - MILWAUKEE, WI 53202

HEET TITLE E SHEET

NERAL NOTES E PLAN MPLE ELEVATION OF PLAN - DEMOLITION OF PLAN - NEW CONSTRUCTION IBER RETAINED FOR FUTURE USE TAILS TAILS

PHASE ΒY

2015 INTERNATIONAL EXISTING BUILDING CODE WITH APPLICABLE CODES: WISCONSIN MODIFICATIONS

DATE OF CONSTRUCTION: 1896

NATIONAL REGISTER OF HISTORIC PLACES, LISTED 1983 HISTORIC STATUS:

BUILDING USE: MIXED - RESIDENTIAL / COMMERCIAL

## **SCOPE OF WORK\***

1. REMOVE AND REPLACE ROOF AND TERRA COTTA BOOK TILE SUBSTRATE ON ALL THREE SECTIONS OF 8TH LEVEL CORNICE AND ROOF SCOPE.

2. REMOVE AND REPLACE / RESTORE STEEL STRAPS WITHIN ACCESSIBLE PORTIONS OF TERRA COTTA CONSTRUCTION OF CORNICE.

MISCELLANEOUS TERRA COTTA REPAIRS / SECUREMENT AS DIRECTED BY A/E.

5. SURFACE CLEAN ALL STAINED PORTIONS OF CORNICE AND IMMEDIATELY ADJACENT ACCESSIBLE PORTIONS OF FACADE.

6. SEE GENERAL NOTES FOR INSTALLATION PROCEDURES AND SAMPLE TRIALS, MOCK-UPS, AND TESTING REQUIRED.

7. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY BE REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THIS PROCESS.

UNIT PRICES - FOR POTENTIAL ADDITIONAL WORK NOT ALREADY ILLUSTRATED ON THESE DRAWINGS. (SEE EXAMPLE DETAILS AT END OF THIS SET): 

1. INSTALLATION OF 16" HELICAL TIES	EA.
2. TERRA COTTA PATCH	SQ. FT.
3. TERRA COTTA CRACK REPAIR	LN. FT.
4. ISOLATED BRICK REBUILDING	SQ. FT.
5. ROUT OUT AND TUCK POINTING MORTAR JOINTS	LN. FT.

-SCOPE OF WORK FOCUSED ON CORNICE AND ADJACENT AREAS ONLY. WORK ON PEDIMENT AND PARAPET WALLS ACCESSIBLE FROM ROOF NOT INCLUDED IN THIS SET OF DRAWINGS. -IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES PROJECT WORK DURING FALL/WINTER MONTHS MAY FOR DRYING MAY BE REQUIRED. COMPLICATE THIS PROCESS.

SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING OF THE CARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE. AND FOR THE PROTECTION OF THE PEOPLE AND CONJUNCTION WITH ALL THE SPECIFICATIONS. TRADE PRACTICES. OR APPLICABLE STANDARDS. CODES. ETC. INCORPORATE THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING

5. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN

THE CONTRACT. 7. ALL STATE, LOCAL AND OSHA SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.



## **GENERAL NOTES**

1. ILLUSTRATED DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR

2. ANY OTHER WORK NOT NOTED IN THESE PLANS IS TO BE DESIGNED BY OTHERS.

3. ANY DISCREPANCIES / UNFORESEEN CONDITIONS TO BE BROUGHT TO ATTENTION OF OWNER/ENGINEER PRIOR TO EXECUTION OF WORK.

4. THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES. FOR THE METHODS USED. OR LACK THEREOF. IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE

IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ENGINEER

PROVIDE TEMPORARY BRACING AS REQUIRED BY OSHA, THE AISC "CODE OF STANDARD PRACTICE", AND ANY CORRESPONDING GOVERNING MATERIAL CODE REQUIREMENTS.

10. HVAC, ELECTRICAL, AND OTHER EQUIPMENT & ACCESSORIES RELOCATIONS AND DESIGNS BY OTHERS. 11. RETRIEVAL OF REQUIRED PERMITS TO BE COMPLETED BY OTHERS

## **TYPICAL HATCH PATTERNS**

UNDISTURBED SO COMPACTED FILL
GRAVEL
SAND
CLAY
BAR GRATING
STEEL

JRBED SOIL / CTED FILL	CONCRETE
	LOAD BEARING WO
	CONCRETE MASO
	BRICK
ATING	GROUT / MORTAR

LOAD BEARING WOOD FRAMED WALL
CONCRETE MASONRY UNI

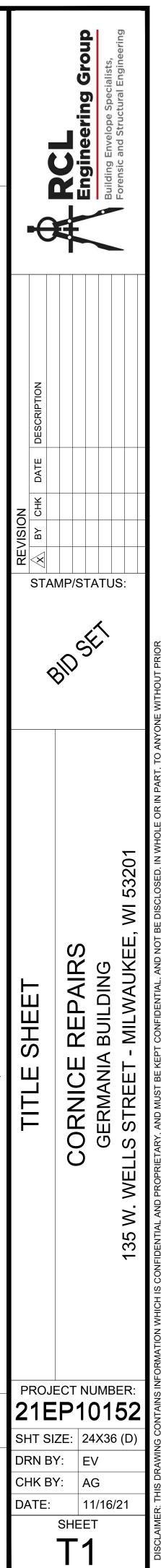
ALUMINUM
BRASS OR BRONZE
WOOD FRAMING
WOOD BLOCKING
RIGID INSULATION
BATT INSULATION

## **ABBREVIATIONS**

AND	E.F.	EACH FACE	0.C.	ON CENTER
ANCHOR BOLT	E.W.	EACH WAY	O.H.	OPPOSITE HAND
ALTERNATE	EX.	EXISTING	OPNG.	OPENING
ARCHITECT	FDN.	FOUNDATION	PL	PLATE
AT	F.F.	FINISHED FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
BUILDING	FLR.	FLOOR	P.T.	PRESSURE TREATED
BEAM	FTG.	FOOTING	REINF.	REINFORCING
BOTTOM	GA.	GAUGE	R.O.	ROUGH OPENING
BEARING	GALV.	GALVANIZED	SCH.	SCHEDULE
BRIDGING	HDR.	HEADER	SIM.	SIMILAR
BEYOND	HGR.	HANGER	S.L.	STEEL LINE
CONSTRUCTION JOINT	HORIZ.	HORIZONTAL	STAGG.	STAGGERED
CENTERLINE	HT.	HEIGHT	STD.	STANDARD
CLEAR	I.D.	INSIDE DIAMETER	STIFF.	STIFFENER
CONCRETE MASONRY UNIT	JST.	JOIST	THK.	THICK
COLUMN	LG.	LONG	THRU.	THROUGH
CONCRETE	L.L.	LIVE LOAD	T.B.R.	TO BE REMOVED
CENTER	LLH	LONG LEG HORIZONTAL	T.O.S.	TOP OF STEEL
DOUBLE	LLV	LONG LEG VERTICAL	T.O.W.	TOP OF WALL
DIAMETER	L.W.C.	LIGHT WEIGHT CONCRETE	TYP.	TYPICAL
DIAPHRAGM	MAX.	MAXIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DEAD LOAD	MECH.	MECHANICAL	VERT.	VERTICAL
DOWELS	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
EACH	NO (#)	NUMBER	W/	WITH
ELEVATION	N.T.S.	NOT TO SCALE	W.W.F.	WELDED WIRE FABRIC

## SCOPE OF DRAWINGS

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.



Α.	GENERAL REQUIREMENTS

- 1. APPLICABLE CODES
- 1.1. 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN MODIFICATIONS CHAPTER 12 - HISTORIC BUILDINGS - REPAIRS

2. STRUCTURAL LOADING CRITERIA\_USED FOR DESIGN

2.1. LIVE LOADS

2.1.	ROOF	30 PSF
2.2.	WIND DESIGN DATA WIND UPLIFT:	90 PSF
2.3.	SNOW LOAD DESIGN DATA DRIFT:	90 PSF

### MATERIAL DESIGN PROPERTIES

1.1	MASONRY STRENGTHS:	
	CONCRETE MASONRY UNIT (CMU) ASTM C 90, GRADE N	FM= 2500 PSI
	CONCRETE BRICK ASTM C 55, GRADE N	FM =2500 PSI
	CLAY BRICK ASTM C 216, C 67, GRADE SW	TYPE FBS
1.2	MORTAR (ASTM C 270)	
	TYPE O (ABOVE GRADE)	FU =350 PSI
1.3	STRUCTUAL STEEL STRENGTHS:	
	WF SHAPES (ASTM A 992)	FY= 50,000 PSI
	ANGLES, CHANNELS, PLATES, & BARS (ASTM A36)	FY= 36,000 PSI
	SQUARE & RECTANGULAR TS OR HSS SECTIONS	FY= 46,000 PSI
	ROUND HSS SECTIONS (ASTM A500, GRADE B)	FY= 42,000 PSI
	STEEL PIPE (ASTM A53, GRADE B)	FY= 35,000 PSI

### 1.4 WOOD STRENGTHS

DIMENSIONAL LUMBER (SEE PLANS & WOOD FRAMING NOTES	5)
LAMINATED VENEER LUMBER (LVL)	E= 1,900 KSI

### C. 1.

	IEMBR	
a b		STEM: SINGLE-PLY PE: EPDM (ETHYLENE PROPYLENE DIENE MONO
С	. AP	- BLACK CURED THERMOSET ELASTOMER PLICATION: FULLY ADHERED
d	. PH 1)	YSICAL PROPERTIES THICKNESS: 60 MIL
	2) 3)	REINFORCEMENT: NONE SHEET WIDTH: 20' (MINIMUM)
	4)	WEIGHT: .35 LB/FT <sup>2</sup>
	5) 6)	
	7) 8)	ELONGATION 465% (ASTM D412) WATER VAPOR PERMEANCE 0.03
e	. SE	AMING: 6" SEAM TAPE (FACTORY PRE-APPLIED PREFERRED)
	2)	SEAM TAPE THICKNESS:.030"
	3) 4)	SITUATE SEAMS DOWNSLOPE WHERE FEASIBLE. STRIP IN ALL SEAMS WITH 6" WIDE, PRESSURE SENSIT
f.	. FLA 1)	
	2) 3)	6", 45 MIL, REINFORCED EPDM SECUREMENT STRIP AT ATTACH SECUREMENT STRIP WITH FASTENERS & 2" S
g	4) SP	WHEREVER POSSIBLE SECUREMENT STRIP WILL BE A ECIAL FLASHING MEMBRANE
3	1) 2)	UNCURED, NON-REINFORCED EPDM
	3)	USED TO WRAP PIPES, CONDUITS, PITCH PANS AND O
	4) 5)	NOMINAL THICKNESS 60 MIL PRESSURE SENSITIVE.
h	. AD 1)	HESIVES/SEALANTS/CLEANERS/PRIMERS: BONDING ADHESIVE: HIGH STRENGTH, SYNTHETIC RU
	2) 3)	SPLICE CLEANERS: SOLVENT BASED CLEANER TO PR SPLICING CEMENT: HIGH STRENGTH, BUTYL BASED, E
	4)	WATER CUT-OFF MASTIC: ONE COMPONENT, LOW VIS SUMPS, EDGE FASCIA FLANGES AND BEHIND THE TOP
	5)	LAP SEALANT: BLACK, HEAVY BODIED CAULK USED TO
i.	6) ALI	OTHER CLEANERS/PRIMERS AS REQUIRED TO PROPE L PRODUCTS AND PROCEDURES USED TO INSTALL THE
N a		NICAL FASTENERS: DOD FASTENERS:
u	1)	MASONRY ANCHORS / METAL PANELS
		b) SIZE # 10 DIAMETER
		<ul> <li>c) 300 SERIES STAINLESS STEEL</li> <li>c) LENGTH TO ACHIEVE MINIMUM OF 2" EMBEDMEN"</li> </ul>
	2)	PERIMETER WOOD BLOCKING - MULTI LAYERS TO WO
		<ul> <li>a) THREADED SCREWS - NAILS WILL NOT BE ACCEP</li> <li>b) SIZE: #10 DIAMETER</li> </ul>
		c) 300 SERIES STAINLESS STEEL d) LENGTH TO ACHIEVE MINIMUM OF 1" EMBEDMEN
		e) NEW PERIMETER WOOD BLOCKING, IF REQUIRED
	5)	PERIMETER WOOD BLOCKING - TO TERRA COTTA
		<ul> <li>a) THREADED SCREWS - NAILS WILL NOT BE ACCEF</li> <li>b) STAINLESS STEEL - AGGREGATOR 300 SERIES OF</li> </ul>
		c) SIZE: ¼" DIAMETER
		<ul> <li>d) LENGTH TO ACHIEVE MINIMUM OF 1 3/4" EMBEDN</li> <li>e) NEW PERIMETER WOOD BLOCKING, IF REQUIRED</li> </ul>
	6)	WOOD CONSTRUCTIONS TO BE FASTENED AS COMMC
-	7)	ALL WOOD FASTENERS TO BE GALVANIZED OR COATE
b	. га 1)	STENING PLATES USED AS PART OF HORIZONTAL-VERTICAL FLASHING E
	2) 3)	2 3/8" METAL PLATES. BARBED
С	,	SONRY FASTENERS: - SECUREMENT STRIP
	1) 2)	
	3)	LENGTH TO ACHIEVE MINIMUM OF 1 1/2" EMBEDMENT
	4)	DRIVEN INTO PRE-DRILLED HOLES.
d		SONRY FASTENERS: - ROOF DECK SUPPORT THREADED SCREWS - NAILS WILL NOT BE ACCEPTABL
	1) 2)	STAINLESS STEEL - AGGREGATOR 300 SERIES OR APP
	3) 4)	SIZE: 1/4" DIAMETER LENGTH TO ACHIEVE MINIMUM OF 1 3/4" EMBEDMENT
	5)	DECKING SUPPORT METAL, TO BE FASTENED 12" O.C.
٧	VOOD	MATERIALS
а	. DIN	IENSION LUMBER
	1) 2)	2" X 8" WOOD FRAMING/BLOCKING 2" X 6" WOOD BLOCKING
	3)	1" X 6" WOOD BLOCKING
	4) 5)	SPRUCE PINE OR FIR SPECIES NO. 2 OR BETTER KILN DRIED PRESSURE TREATED - (FOR ALL WALL FRA
	6)	WOOD BLOCKING AT PERIMETER EDGES FASTENED 8
b	. PL` 1)	YWOOD ROOF SHEATHING 3/4" THICK PLYWOOD (OSB NOT ACCEPTABLE)
	2)	EXTERIOR EXPOSURE RATED.
	3) 4)	
c	,	METAL ITEMS:
a		METALTTEMS: PIECE EDGE METAL:
	1)	REFER TO CONSTRUCTION DETAIL FOR SPECIFIC DES
	2)	INSTALLATION: a) INSTALL NEW WOOD BLOCKING ON TOP OF PROF
		<ul><li>b) 24 GA. PREFINISHED STEEL SNAP-ON FACIA</li><li>c) 12' SECTIONS.</li></ul>
		d) COLOR TO BE DETERMINED AND APPROVED BY (
		<ul><li>e) 22 GA. GALVANIZED STEEL CLIPS</li><li>f) FASTEN CLIPS TO WOOD BLOCKING WITH #12 X 1</li></ul>
		g) INCORPORATE ALL NECESSARY MITERS AND END
		h) INCORPORATE FASCIA EXTENDER WITH CONTINU
	3)	INCORPORATE ALL NECESSARY MITERS, END CAPS AN

- 3) INCORPORATE ALL NECESSARY MITERS, END CAPS AND TRANSITION PIECES.
- 4) WRAP AROUND PENETRATIONS, SCUPPERS AND RAILING POSTS IN SIMILAR FASHION AS EXISTING. b. TERMINATION BARS:
- 1) 1 3/4" DEEP X 1/8" THICK EXTRUDED ALUMINUM.
- 2) PRE-PUNCHED & FASTENED 6" O.C. 3) LIP TO RECEIVE CAULK.
- 4) INSTALLED ACROSS THE TOP EDGE OF ALL FLASHING TERMINATED ON THE VERTICAL PLANE.
- 5) LEAVE ¼" GAP BETWEEN ADJOINING BARS TO ALLOW FOR EXPANSION. c. 2 PIECE REGLET:
- 1) SAW CUT EXISTING JOINT TO RECEIVE NEW METAL REGLET TO MAINTAIN LOCATION OF TOP OF FLASHING
- 2) INSTALL NEW REGLET AS DETAILED ON PLANS 3) EXPOSED SEALANT TO BE SILICONE: DOWSIL 756 OR TREMCO SPECTRUM 3

### 5. STRUCTURAL METAL DECKING: a) 1.5B 1 1/2" DEEP

- b) F20 DECK TYPE
- c) G 90 GALVANIZED
  - d) FASTENED AS NOTED ON DRAWING e) #12 S.S TEK - SUPPORTS
  - f) #10 S.S TEK SIDE LAPS

### 6. MASONRY a. REPLACEMENT BRICK (IF REQUIRED)

- 1) CLAY BRICK ASTM C 216, C 67, GRADE SW 2) MATCH EXISTING BRICK AS CLOSE AS POSSIBLE FOR SIZE AND COLOR.
- 3) PERFORM FIELD INITIAL RATE OF ABSORPTION TEST TO DETERMINE IF PRE-WETTING IS REQUIRED b. MORTAR
- 1) FOR TUCK-POINTING AND OR REBUILDING SECTIONS
- 2) TYPE O MORTAR 3) MIX PROPORTION AND GRADATION TO MATCH EXISTING

### OMER)

(ASTM E96)

TIVE, EPDM FLASHING PLY.

T ALL VERTICAL TRANSITIONS. SEAM PLATES @ 12" O.C.

ANCHORED INTO THE VERTICAL PLANE.

CORNERS. OTHER AWKWARD TRANSITIONS.

UBBER ADHESIVE FOR ADHERING THE EPDM MEMBRANE TO INSULATION SUBSTRATES, WALLS AND CURBS. REPARE BOTH SURFACES OF EPDM BEFORE APPLYING SEAM TAPE OR SPLICING CEMENT.

BLACK CEMENT. TO BE USED TO MATE ALL EPDM SEAMS AT AREAS WHERE THE USE OF TAPE ADHESIVE IS NOT PRACTICAL. ISCOSITY, SELF-WETTING, BUTYL BLEND MASTIC. TO BE USED BENEATH THE EPDM MEMBRANE AT DRAIN SUMPS, SCUPPER

OP EDGE OF ALL WALL AND CURB FLASHINGS. O SEAL ALL SEAMS WITH EXPOSED CUT EDGES AND TO SEAL THE EDGES OF ALL UNCURED EPDM REINFORCEMENT PATCHES. ERLY PREPARE SUBSTRATES FOR APPLICATION OF FIELD AND FLASHING MEMBRANE. E FIELD AND FLASHING MEMBRANE SHALL BE SUPPLIED AND/OR APPROVED BY THE MEMBRANE MANUFACTURER.

EPTABLE

NT IN TO STUDS

EPTABLE

NT (OR) LENGTH TO PENETRATE THROUGH PLYWOOD A MINIMUM OF 1/4". ED, TO BE FASTENED 8" O.C. STAGGERED.

EPTABLE OR APPROVED EQUAL

MENT

ED, TO BE FASTENED 8" O.C. STAGGERED.

ION TO STANDARD INDUSTRY PRACTICES OR CALLED OUT ON PLANS. TED AND APPROVED FOR INSTALLATION IN PRESSURE TREATED LUMBER

BASE SECUREMENT WITH FASTENERS

PROVED EQUAL

LE PROVED EQUAL

. STAGGERED.

AMING AND ROOF BLOCKING)

8" O.C. STAGGERED.

OPERLY FASTENED WALL TOP PLATES WALL WITH FASTENERS @ 12" O.C. STAGGERED.

OWNER.

1 1/2" SCREWS.

ID PIECES. NUOUS CLEAT ON EXTERIOR FACE AS REQUIRED TO COVER WOOD BLOCKING AS DETAILED ON PLANS.

g) ALL SUPPORT STEEL TO BE GALVANIZED OR COATED WITH ZINC RICH EPOXY PRIMER

TYPE FBS

4) MATCH COLOR OF EXISTING MORTAR

- SOLID BED 6) STRIKE JOINTS TO MATCH EXISTING.
- 7) JOINT THICKNESS TO MATCH EXISTING
- c. STITCH TIES (HELICAL) 1) 16" LONG
- 2) S.S AS DIRECTED SHORTER
- d. MASONRY CLEANING
- 1) FINALIZED CLEANING PROCEDURE TO BE VERIFIED BASED ON A/E REVIEWED AND APPROVED RESULTS OF CLEANING TRIAL IN TEST AREA. 2) WATER (LOW PRESSURE POWER WASHER) AND STIFF BRUSH 3) IF NECESSARY, USE PROSOCO 2010 ALL PURPOSE CLEANER FOR DIFFICULT STAINS 4) USE OF ANY OTHER CLEANING AGENTS TO BE REVIEWED AND APPROVED BY A/E BASED ON RESULTS OF SAMPLE AREA
- D. INSTALLATION PROCEDURES

IN-PLACE MOCK-UP , ANCHOR PULL-OUT TESTING

INSTALLATION PROCEDURES ARE BASED ON VISUAL OBSERVATION AND ASSUMPTIONS OF STABILITY AND SOUNDNESS OF EXISTING MATERIALS TO BE FASTENED INTO. CONTRACTOR TO INCLUDE AN INITIAL IN-PLACE MOCK-UP OF 8' SECTION OF CORNICE REPAIRS, ROOF INSTALLATION, TUCK POINTING, AND SURFACE CLEANING. CONTRACTOR TO PROVIDE 3RD PARTY PULL-OUT TESTING OF SCREW FASTENERS INTO MASONRY AND TERRA COTTA AND STITCH ANCHORS INTO MASONRY IN CORNICE CAVITY. CONTRACTOR TO COORDINATE SCHEDULE WITH ARCHITECT / ENGINEER TO ALLOW FOR IN-PROGRESS OBSERVATIONS TO BE MADE. ALL OBSERVATIONS AND TEST RESULTS OF MOCK UP ASSEMBLY TO BE REVIEWED AND APPROVED BY ARCHITECT / ENGINEER PRIOR TO AUTHORIZING FULL SCALE PRODUCTION WORK OF REPAIRS OUTLINED IN THESE DRAWINGS.

1. <u>CORNICE DEMOLITION, INSPECTION, REINFORCE</u>

- NOTE: TO MAINTAIN STABILITY OF CORNICE, SEQUENCE STEPS a e TO BE COMPLETED IN SECTIONS NOT LONGER THAN 10 FEET. a. REMOVE
  - 1) METAL ROOFING 2) 3" TERRA COTTA BOOK TILE
  - BED MORTAR
  - b. REMOVE ALL DEMOLITION DEBRIS FROM CORES OF STACKED TERRA COTTA. 1) LARGE PIECES BY HAND 2) SMALL PIECES WITH SHOP VAC

  - d. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY REQUIRED.
  - PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THE PROCESS.

  - f. INSTALL TWO ROWS OF STITCH ANCHORS IN CORNICE CAVITY AS CALLED OUT ON DETAIL
  - g. THESE STEPS MUST BE PERFORMED ON A "ONE STRAP AT A TIME" BASIS 1) TOP METAL STRAP (CUT OFF FROM WALL, PULL OUT OF SLOT IN TERRA COTTA) 2) INSPECT BOTTOM METAL STRAP FOR SOUNDNESS
  - 3) IF BOTTOM STRAP NOT SOUND, INSTALL NEW PER DETAIL PRIOR TO REMOVING EXISTING
  - CHEMBUILD 135 5) INSTALL TOP STAINLESS STEEL METAL STRAPS PER DETAIL.

### 2. MASONRY FACADE

- b. FIELD TEST FOR INITIAL RATE OF ABSORPTION TO BE CONDUCTED BY CONTRACTOR TO VERIFY NECESSITY OF PRE-WETTING BRICK b. INSTALL REPLACEMENT MASONRY FACADE AS DETAILED ON PLANS AND IN THESE WORK INSTRUCTIONS.
- c. ROUT OUT AND TUCK POINT ANY JOINTS THAT ARE CAULKED, ERODED, OR LOST BOND.
- 3. MASONRY CLEANING
- b. WATER (LOW PRESSURE POWER WASHER) AND STIFF BRUSH c. IF NECESSARY, USE PROSOCO 2010 ALL PURPOSE CLEANER FOR DIFFICULT STAINS d USE OF ANY OTHER CLEANING AGENTS TO BE REVIEWED AND APPROVED BY A/E BASED ON RESULTS OF SAMPLE AREA
- 4. MEMBRANE INSTALLATION FIELD
- a. INSTALL BLOCKING, ROOF DECK SUPPORT, METAL AND PLYWOOD DECKING AS DETAILED IN PLANS.
- STEN INTO THE VERTICAL PLANE AS SHOWN ON SECTION DETAILS USING APPROPRIATE FA c. PRIOR TO INSTALLATION OF EPDM FIELD MEMBRANE ROLL OUT SHEETS AND ALLOW TO RELAX FOR A MINIMUM OF ½ HOUR:
- d. ADHERE THE MEMBRANE OUT OVER THE FIELD OF THE ROOF WITHOUT WRINKLES.
- e. MINIMIZE FIELD SEAMS. SITUATE ALL SEAMS DOWN SLOPE WHERE FEASIBLE. ALL SEAMS SHALL BE SEALED WITH 6" SPLICE TAPE ADHESIVE. f. INCORPORATE ALL NECESSARY "T" JOINT REINFORCEMENT PATCHES. APPLY LAP SEALANT TO PERIMETER OF PATCHES.
- 5. MEMBRANE INSTALLATION WALL & CURB FLASHINGS
- a. ADHERE FIELD MEMBRANE OVER SECUREMENT STRIPS AND UP ALL VERTICAL SUBSTRATES IN BONDING ADHESIVE. WITHOUT COVERING THEM.) INCORPORATE A CONTINUOUS BEAD OF WATER CUT-OFF MASTIC BEHIND THE TOP EDGE OF THE FLASHING.
- SEAMS MAY BE SEALED WITH SPLICING CEMENT.
- d. WRAP FLASHINGS INTO DOOR OPENING ON THRESHOLD AND JAMBS.
- 6. <u>SHEET METAL WORK</u>
- b. INSTALL NEW REGLET MOUNTED 2- PIECE COUNTERFLASHING OVER THE TOP EDGE OF THE NEW FLASHINGS ON THE WALLS.
- c. REGLET TO BE CUT IN SAME GROOVE AS EXISTING. d. INSTALL NEW FACIA EDGE METAL. MOUNT 22 GA. CONCEALED CLIPS THROUGH MEMBRANE INTO WOOD BLOCKING. FASTEN AS DETAILED. SNAP-ON 24 GA. PRE-FINISHED STEEL EDGE METAL. INCORPORATE ALL NECESSARY MITERS, END AND TRANSITION PIECES. ALL COPING WORK SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.

c. ENGINEER TO PERFORM THOROUGH INSPECTION OF TERRA COTTA TO INCLUDE VISUAL OBSERVATION AND SOUNDING WITH PLASTIC HAMMER.

e. AT DIRECTION OF ENGINEER, PERFORM ISOLATED REPAIRS TO TERRA COTTA TO INCLUDE CRACK REPAIRS, SPALL REPAIRS, PINNING AND PATCHING AS NECESSARY

4) IF BOTTOM STRAP IS SOUND, CLEAN TO BRIGHT METAL FINISH AND INSTALL ZINC ENRICHED PRIMER PAINT COVERED WITH A HIGH QUALITY ZINC RICH EPOXY PAINT OR INSTALL TWO COATS OF TNEMEC

a. IF NEW BRICK IS TO BE INSTALLED, COLOR SAMPLES AND TEST DATA / ASTM CERTIFICATION ARE TO BE PROVIDED FOR OWNER APPROVAL PRIOR TO INSTALLATION.

a. FINALIZED CLEANING PROCEDURE TO BE VERIFIED BASED ON A/E REVIEWED AND APPROVED RESULTS OF CLEANING TRIAL IN TEST AREA.

b. INSTALL BASE SECUREMENT STRIPS AT ALL HORIZONTAL-TO-VERTICAL TRANSITION LOCATIONS. UTILIZE 6", 45 MIL, REINFORCED EPDM STRIPS AT THE BASE OF ALL WALLS, CURBS AND OTHER VERTICAL TRANSITIONS. ERS AND 2" SEAM PLATES SPACED 12" ON CENTER

b. AT WALLS EXTEND THE FLASHING TO A MINIMUM HEIGHT OF 8" ABOVE THE FINISHED ROOF SURFACE. (IF THROUGH-WALL FLASHINGS OR WEEP HOLES ARE ENCOUNTERED, INSTALL FLASHING AS HIGH AS POSSIBLE c. WHEREVER REASONABLY POSSIBLE, VERTICAL FLASHING SEAMS WILL BE SEALED WITH 6" SPLICE TAPE ADHESIVE. WHERE NOT PRACTICAL TO USE SEAM TAPE, AND UPON APPROVAL FROM CONSULTANT, FLASHING

e. REINFORCE ALL INSIDE AND OUTSIDE CORNERS WITH 6" X 6" UNCURED EPDM PATCHES PER MANUFACTURER'S REQUIREMENTS. APPLY LAP SEALANT TO THE PERIMETERS OF ALL PATCHES.

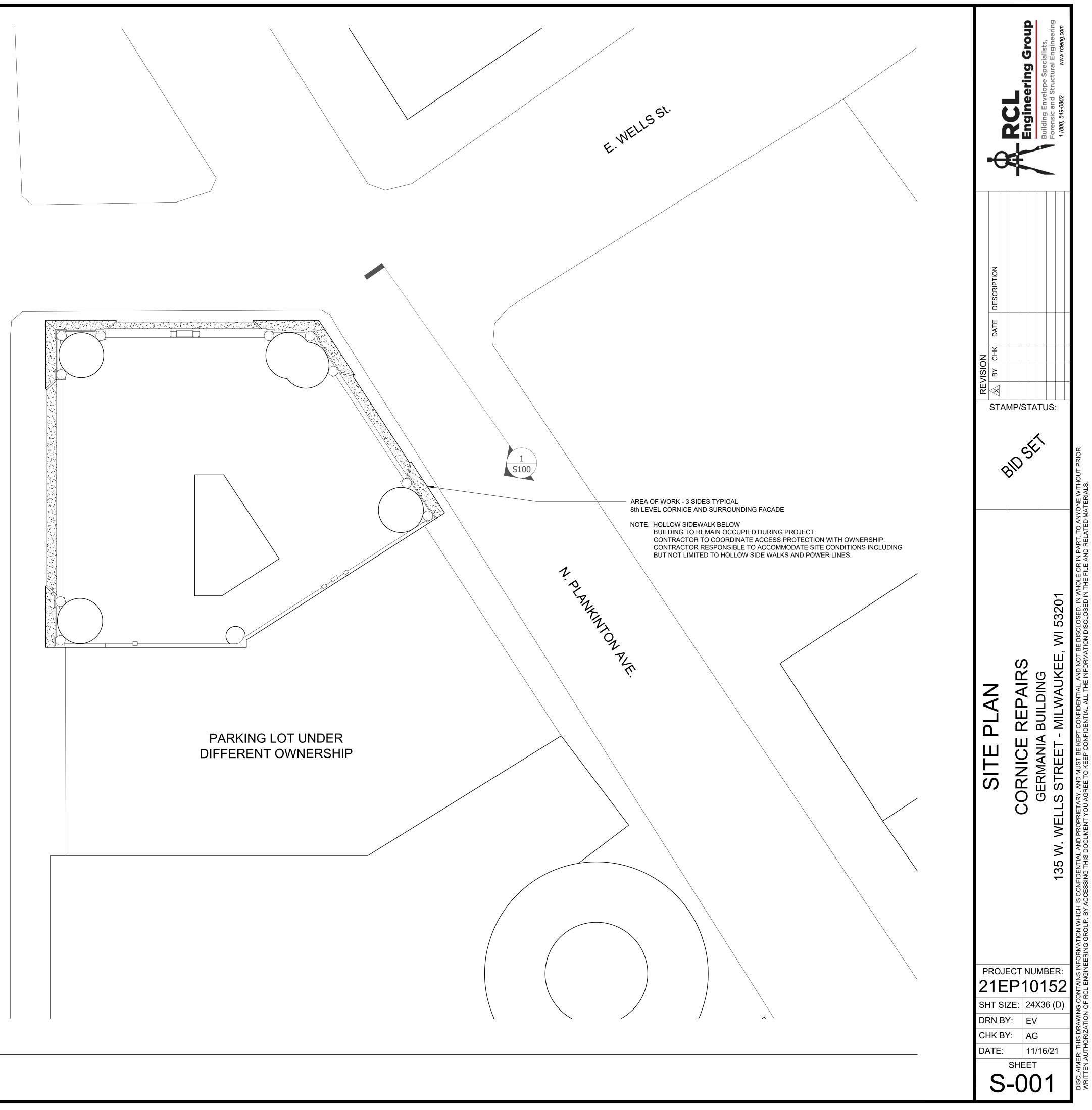
a. SECURE THE TOP EDGE OF ALL FLASHINGS ON VERTICAL PLANES WITH AN ALUMINUM TERMINATION BAR. SECURE TERMINATION BAR TO SUBSTRATE MATERIAL WITH APPROPRIATE FASTENERS SPACED A MAXIMUM OF SIX (6") INCHES ON CENTER. DO NOT BUTT ENDS OF ADJOINING TERMINATION BARS TOGETHER - LEAVE A 1/4" GAP BETWEEN BARS TO ALLOW FOR EXPANSION. CAULK TOP EDGE OF TERMINATION BAR.

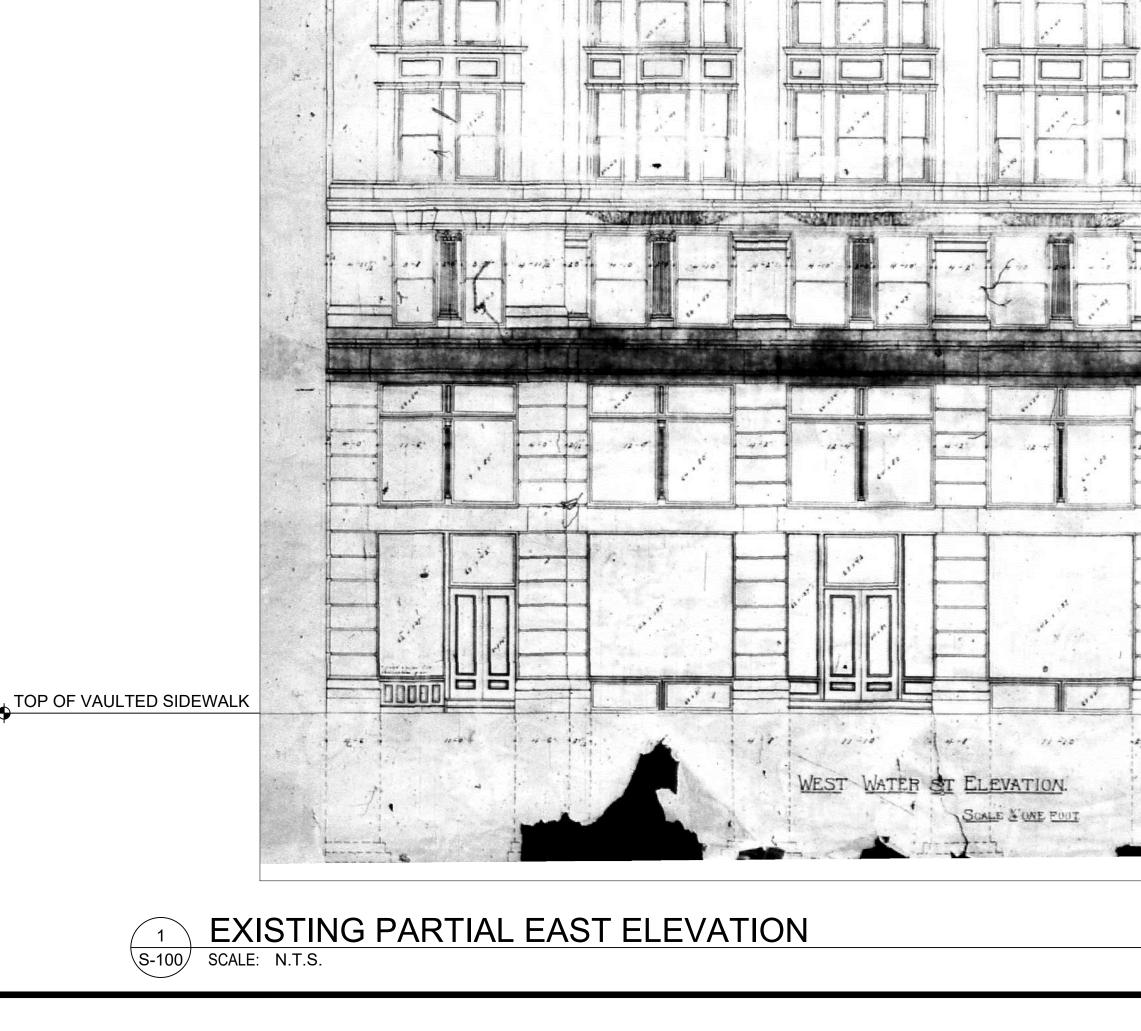
AD **2** × STAMP/STATUS: 810 0 0 S AIRS Ш DING O D Z ш  $\mathbf{\gamma}$ RAL ORNICI RMA TRE GENEI C  $\bigcirc$ PROJECT NUMBER 21EP10152 SHT SIZE: 24X36 (D) DRN BY: EV CHK BY: AG DATE: 11/16/21 SHEET

W. WELLS St.

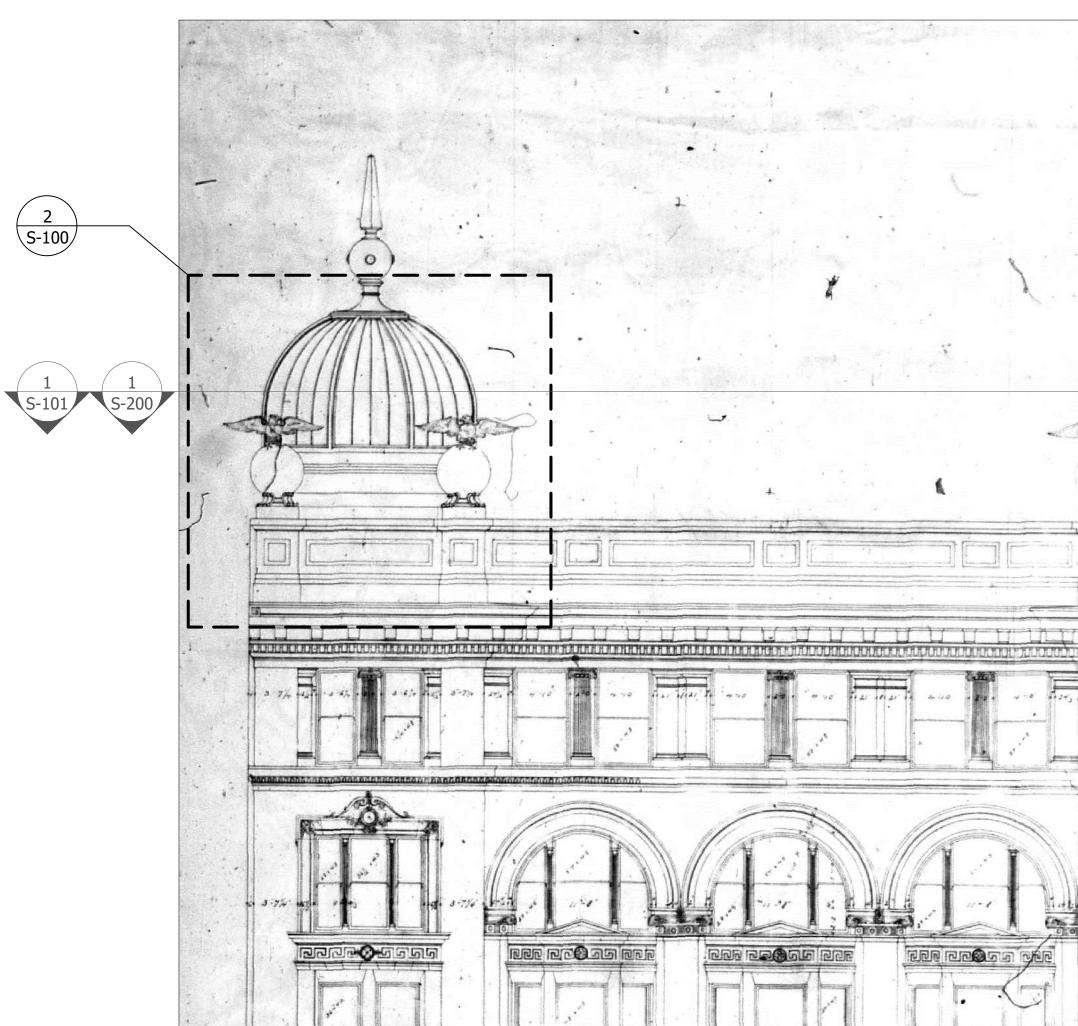








10 3-14 Alar 34



and a 2 1000 a 714 124124 are water

-- 3 44 3-

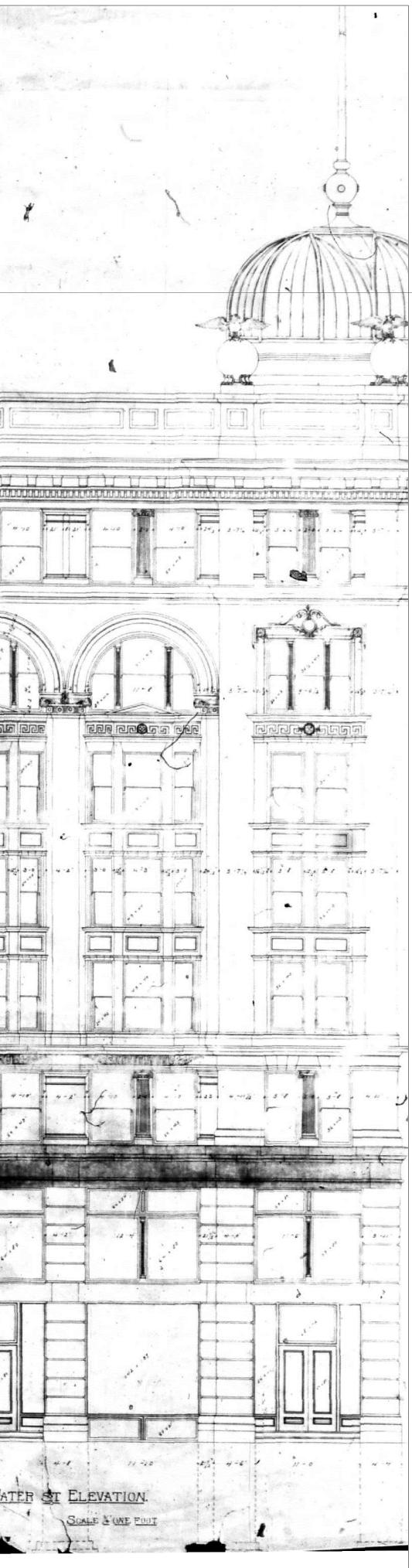
 $\Box$ 

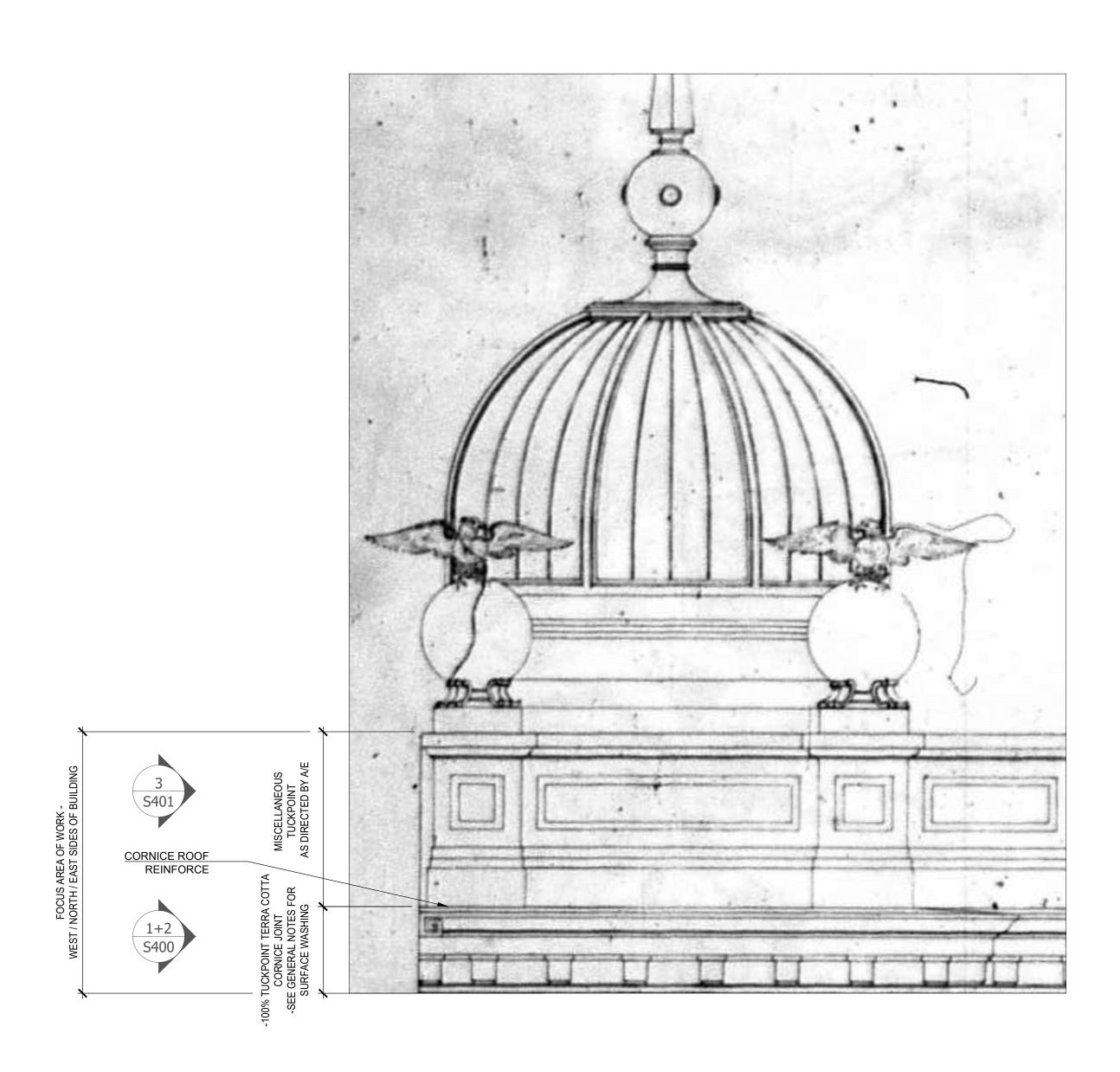
4 44 - 4

Ň

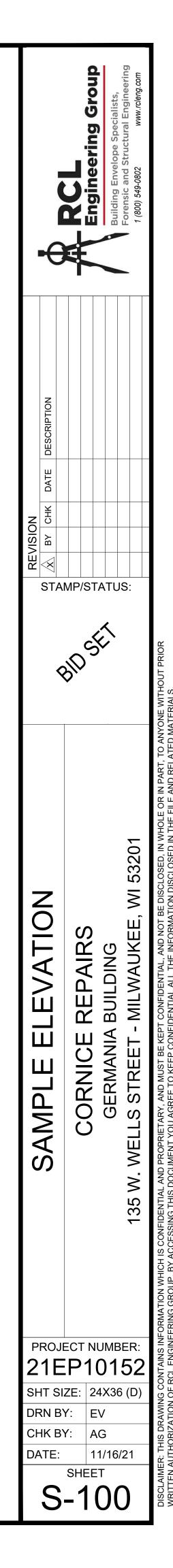
3-0 442 - 14-3"

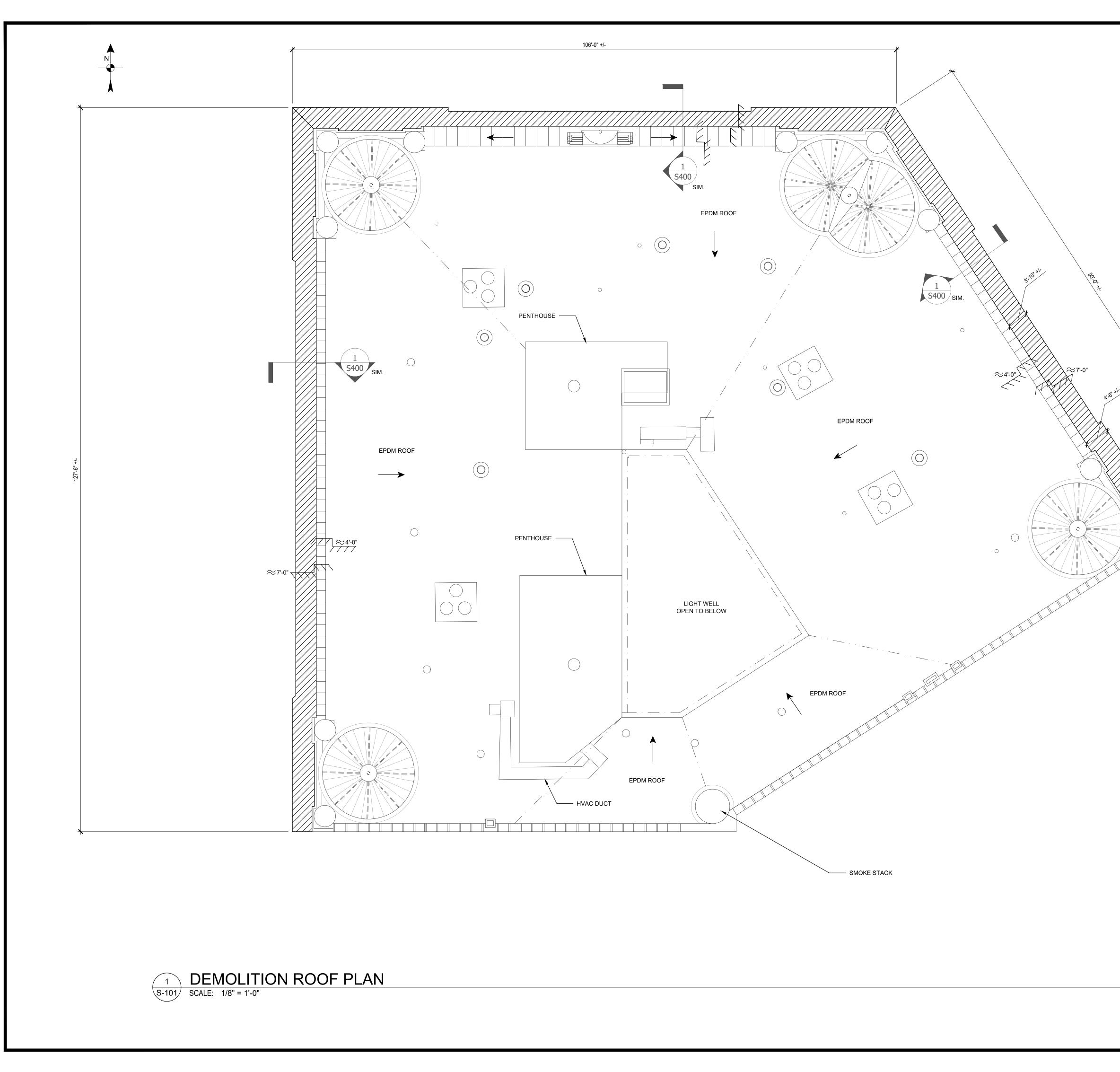
e







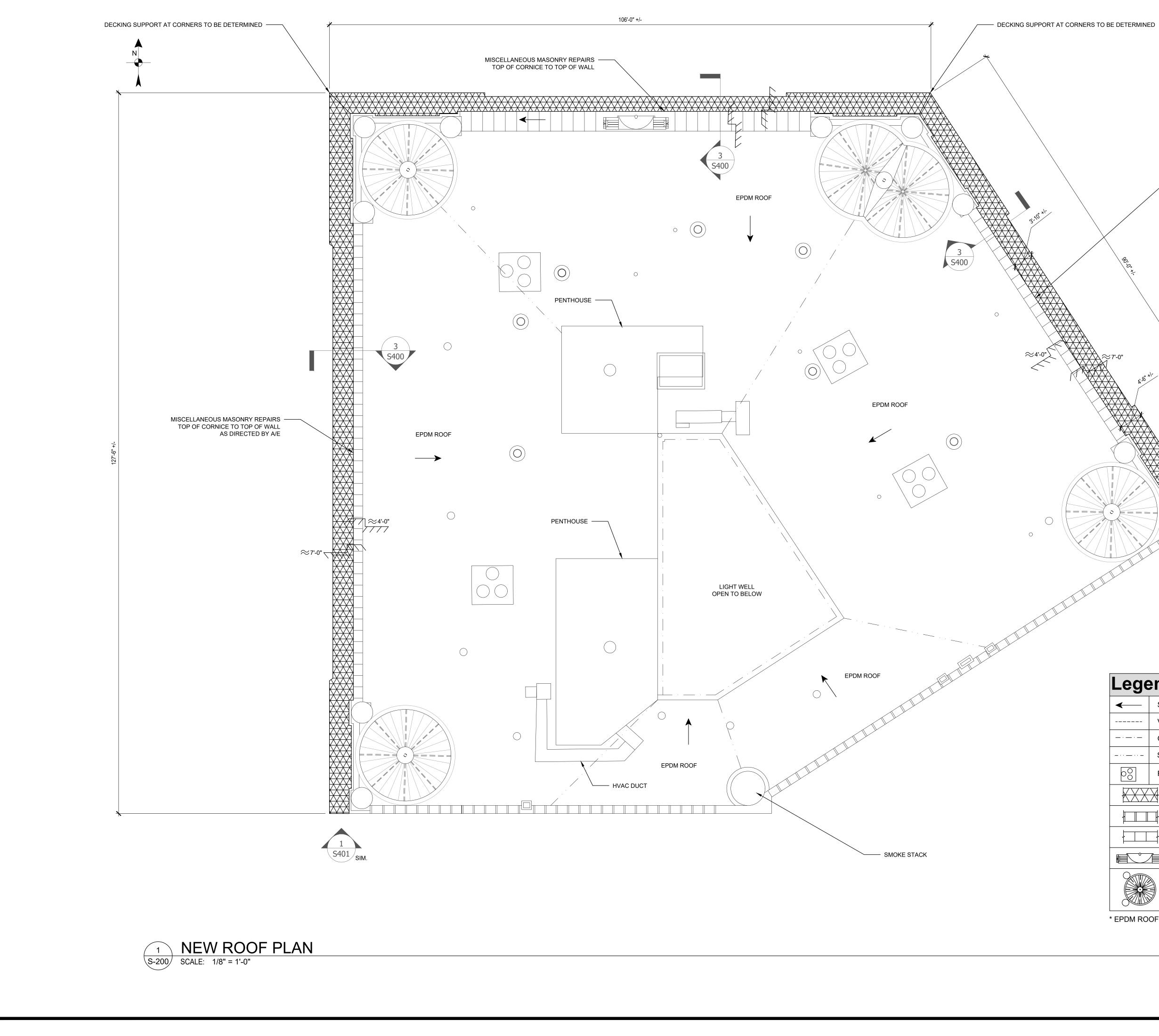




Legend							
<	Slope Direction		0	Soil Vent			
	Valle	Эу	Ø	Stack Vent			
	Gutter/D⊑wnspout		$\bigcirc$	Power Vent			
	Slop	e Transition	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Height Varies			
00	RTU on Steel Frame Typ.						
		Cornice Roof + Book Tile Substrate To Be Removed					
		Parapet W/ Terra Cotta Block Coping - Not In Scope					
		Parapet W/ Bell CopingTile - Not In Scope					
		Terra Cotta Decoration at Peak of Pediment - Not in Scope					
		Copper Clad Dome Typ Not in Scope					

\* 3...

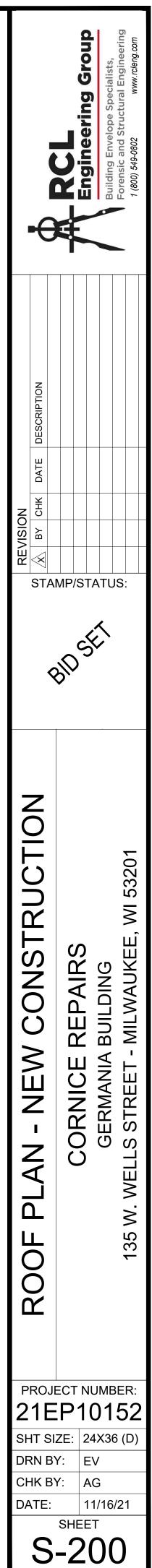
<u>א</u>ראו STAMP/STATUS: BIDSEI 53201 DEMOLITION REPAIRS ш AUKI ROOF PLAN WELL 135 W. PROJECT NUMBER: 21EP10152 SHT SIZE: 24X36 (D) DRN BY: EV CHK BY: AG DATE: 11/16/21 SHEET S-101

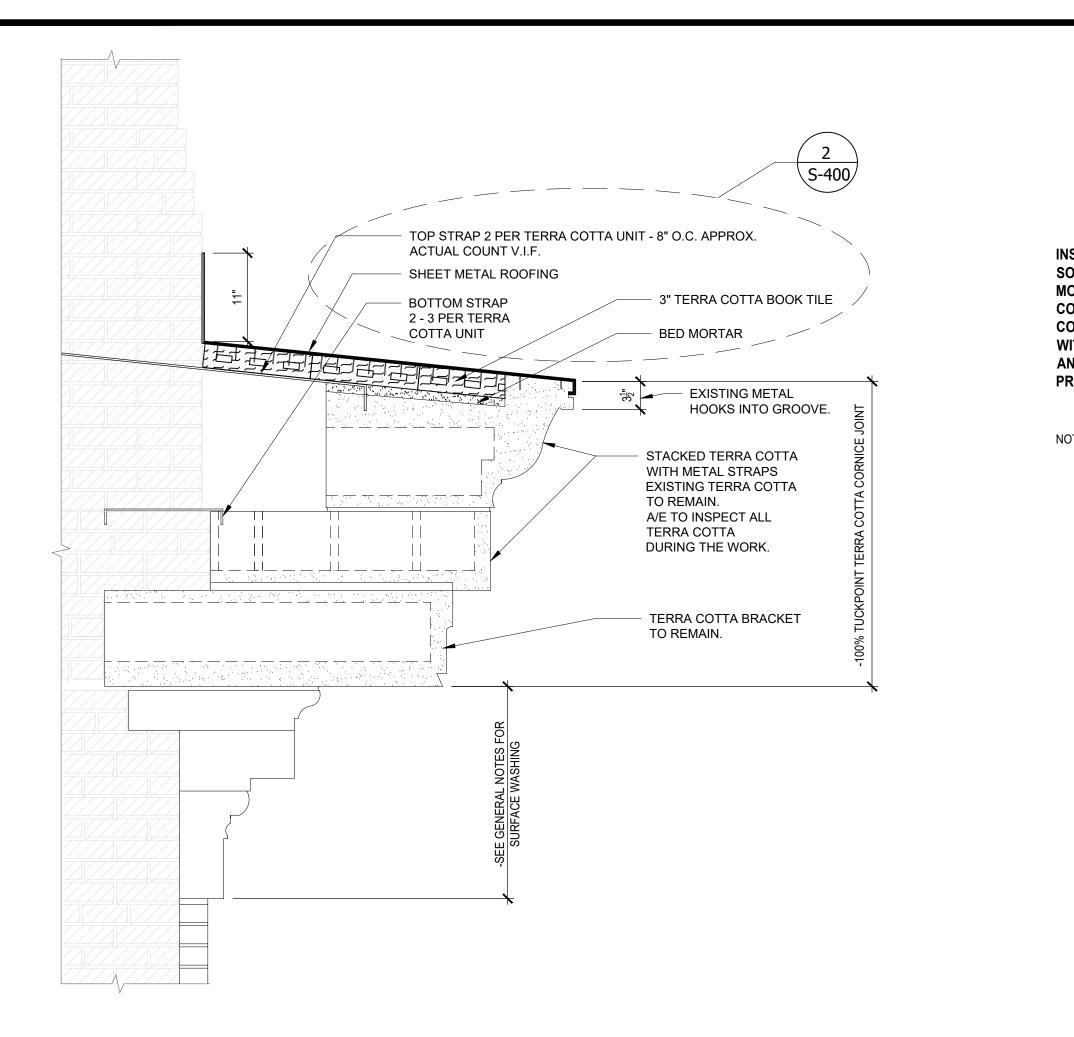


MISCELLANEOUS MASONRY REPAIRS TOP OF CORNICE TO TOP OF WALL

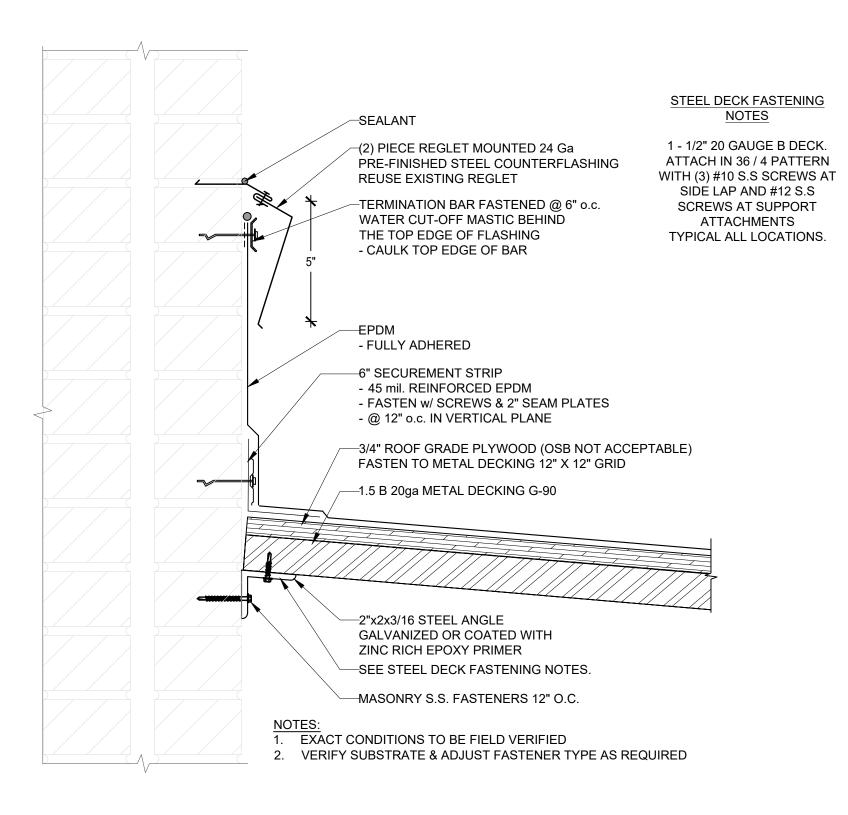
Legend								
←	Slop	e Direction	0	Soil Vent				
	Valley		Ø	Stack Vent				
·	Gutter/Downspout		0	Power Vent				
_ · · _ · · _	Slope Transition		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Height Varies				
00	RTU on Steel Frame Typ.							
		New Cornice Roof System / Asses Terra Cotta Cornice (S-400)						
		Parapet W/ Bell CopingTile - Not In Scope						
		Parapet W/ Terra Cotta Block Coping - Not In Scope						
		Terra Cotta Decoration at Peak of Pediment - Not in Scope						
		Copper Clad Dome - Not in Scope						

\* EPDM ROOF TO BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION









## **REGLET MOUNTED COUNTER FLASHING**

S-400 SCALE: 3" = 1'-0"

**IN-PLACE MOCK-UP**, ANCHOR PULL-OUT TESTING

INSTALLATION PROCEDURES ARE BASED ON VISUAL OBSERVATION AND ASSUMPTIONS OF STABILITY AND SOUNDNESS OF EXISTING MATERIALS TO BE FASTENED INTO. CONTRACTOR TO INCLUDE AN INITIAL IN-PLACE MOCK-UP OF 8' SECTION OF CORNICE REPAIRS, ROOF INSTALLATION, TUCK POINTING, AND SURFACE CLEANING. CONTRACTOR TO PROVIDE 3RD PARTY PULL-OUT TESTING OF SCREW FASTENERS INTO MASONRY AND TERRA COTTA AND STITCH ANCHORS INTO MASONRY IN CORNICE CAVITY. CONTRACTOR TO COORDINATE SCHEDULE WITH ARCHITECT / ENGINEER TO ALLOW FOR IN-PROGRESS OBSERVATIONS TO BE MADE. ALL OBSERVATIONS AND TEST RESULTS OF MOCK UP ASSEMBLY TO BE REVIEWED AND APPROVED BY ARCHITECT / ENGINEER PRIOR TO AUTHORIZING FULL SCALE PRODUCTION WORK OF REPAIRS OUTLINED IN THESE DRAWINGS.

### 1. <u>CORNICE DEMOLITION, INSPECTION, REINFORCE</u>

NOTE: TO MAINTAIN STABILITY OF CORNICE, SEQUENCE STEPS a - e TO BE COMPLETED IN SECTIONS NOT LONGER THAN 10 FEET.

a. REMOVE 1) METAL ROOFING

2

- 2) 3" TERRA COTTA BOOK TILE
- 3) BED MORTAR
- b. REMOVE ALL DEMOLITION DEBRIS FROM CORES OF STACKED TERRA COTTA.
- 1) LARGE PIECES BY HAND 2) SMALL PIECES WITH SHOP VAC

c. ENGINEER TO PERFORM THOROUGH INSPECTION OF TERRA COTTA TO INCLUDE VISUAL OBSERVATION AND SOUNDING WITH PLASTIC HAMMER.

d. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THE PROCESS.

e. AT DIRECTION OF ENGINEER, PERFORM ISOLATED REPAIRS TO TERRA COTTA TO INCLUDE CRACK REPAIRS, SPALL REPAIRS, PINNING AND PATCHING AS NECESSARY

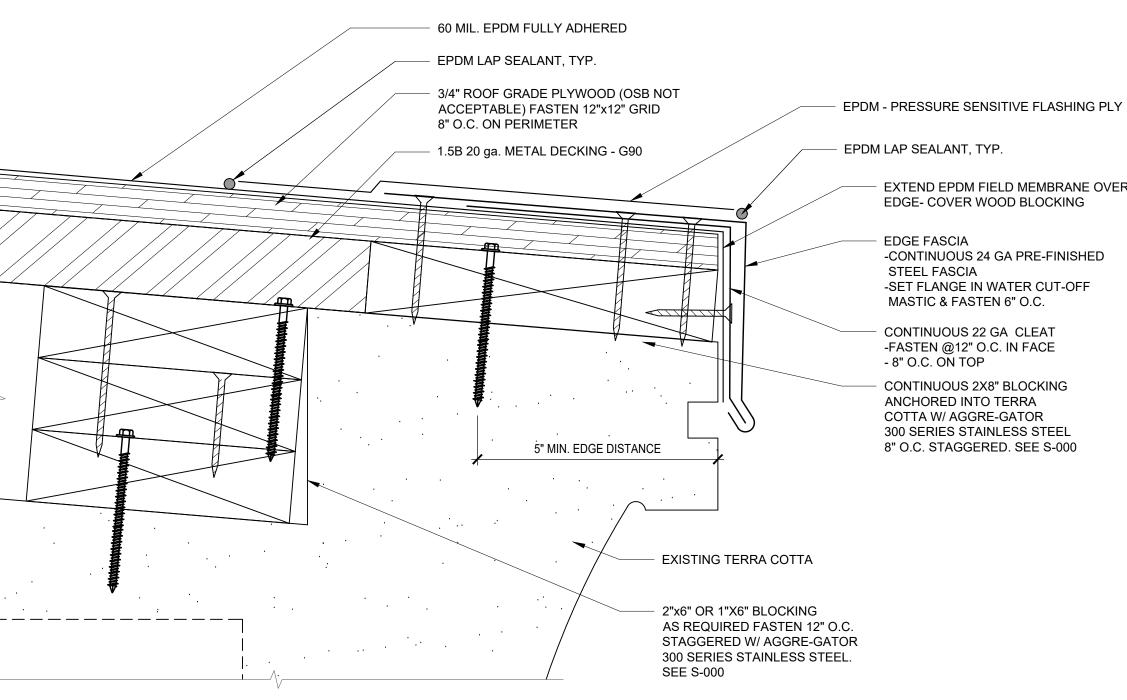
f. INSTALL TWO ROWS OF STITCH ANCHORS IN CORNICE CAVITY AS CALLED OUT ON DETAIL

g. THESE STEPS MUST BE PERFORMED ON A "ONE STRAP AT A TIME" BASIS

- 1) TOP METAL STRAP (CUT OFF FROM WALL, PULL OUT OF SLOT IN TERRA COTTA)
- 2) INSPECT BOTTOM METAL STRAP FOR SOUNDNESS
- 3) IF BOTTOM STRAP NOT SOUND, INSTALL NEW PER DETAIL PRIOR TO REMOVING EXISTING
- 4) IF BOTTOM STRAP IS SOUND, CLEAN TO BRIGHT METAL FINISH AND INSTALL ZINC ENRICHED PRIMER PAINT COVERED WITH A HIGH QUALITY ZINC RICH EPOXY PAINT OR INSTALL TWO COATS OF TNEMEC CHEMBUILD 135
- 5) INSTALL TOP STAINLESS STEEL METAL STRAPS PER DETAIL.





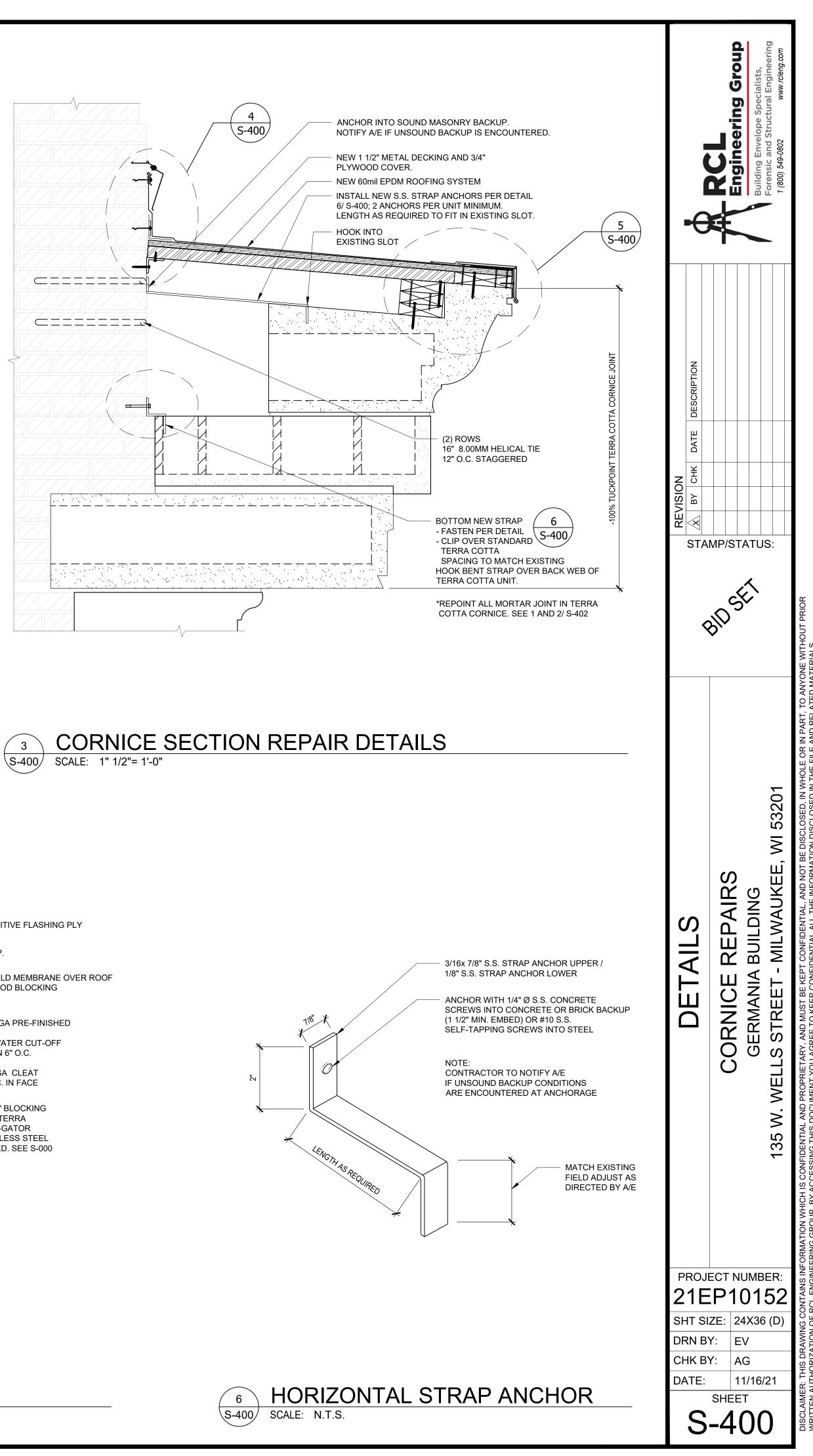


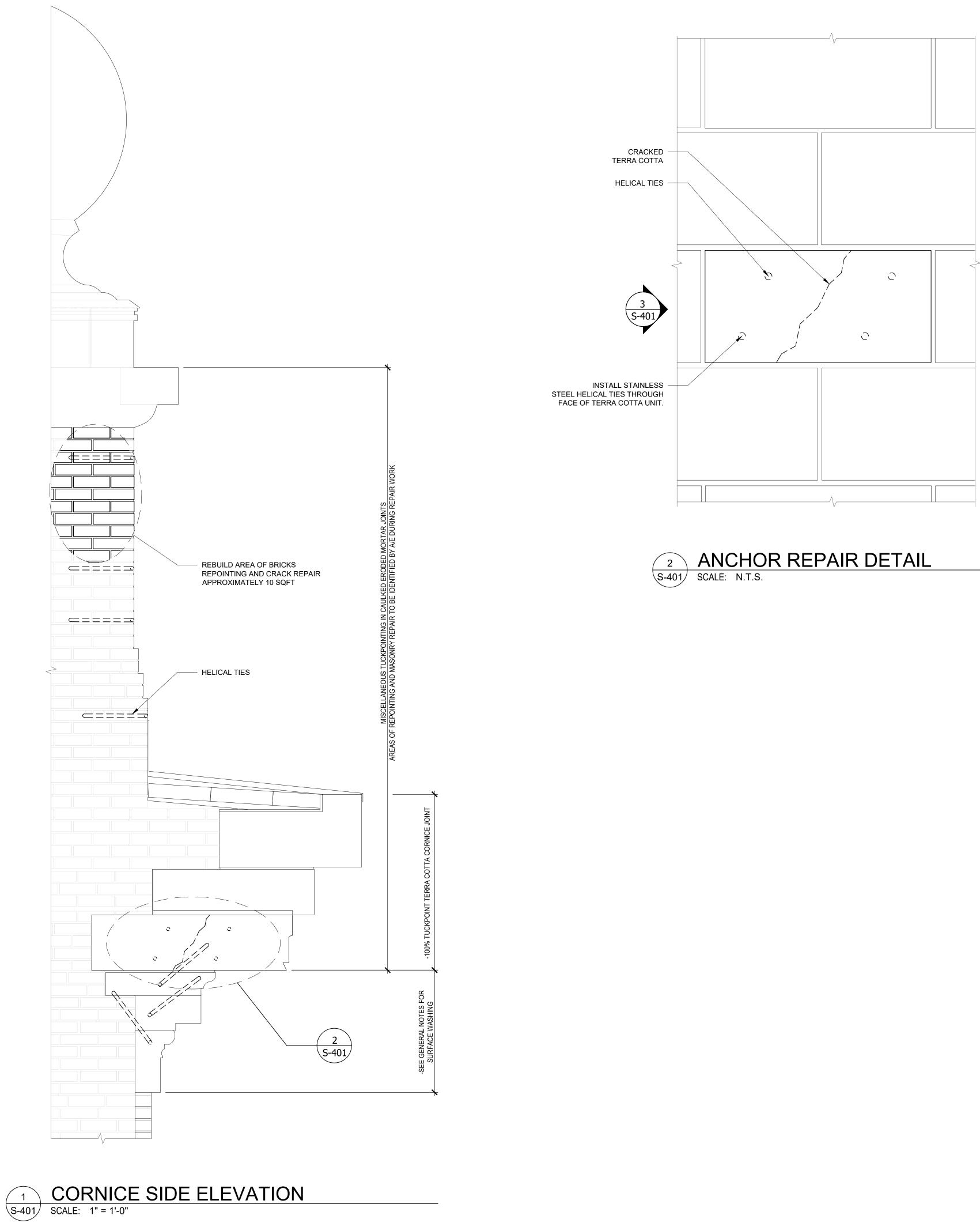


5

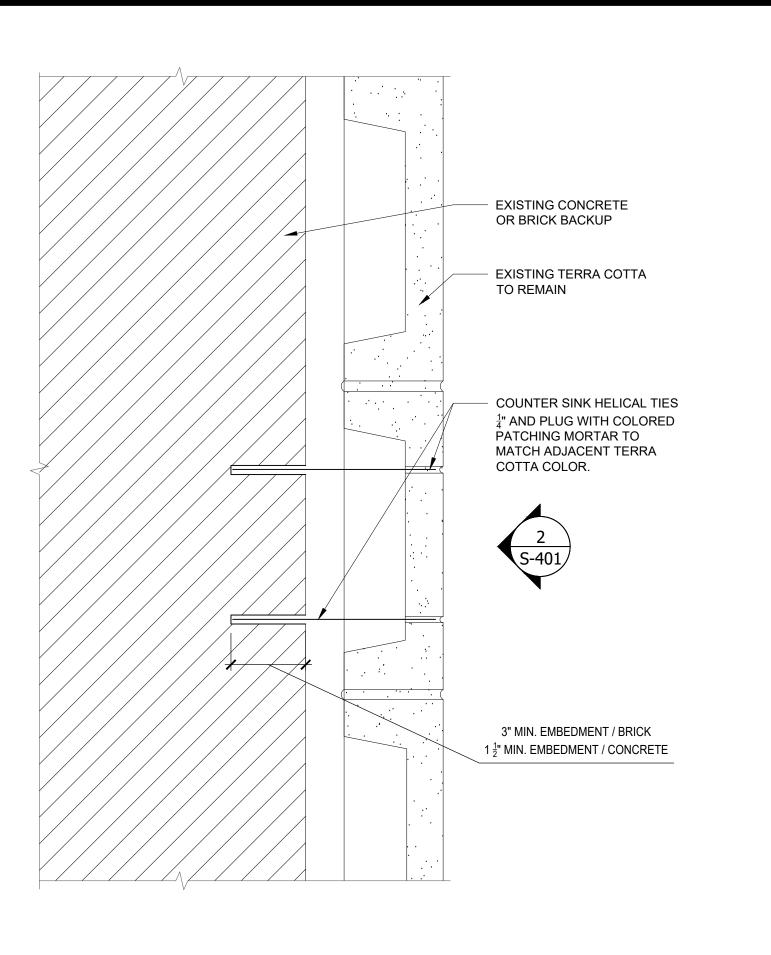


EXTEND EPDM FIELD MEMBRANE OVER ROOF









### TYP. HELICAL ANCHOR REPAIR 3 TYP. HE S-401 SCALE: N.T.S.

