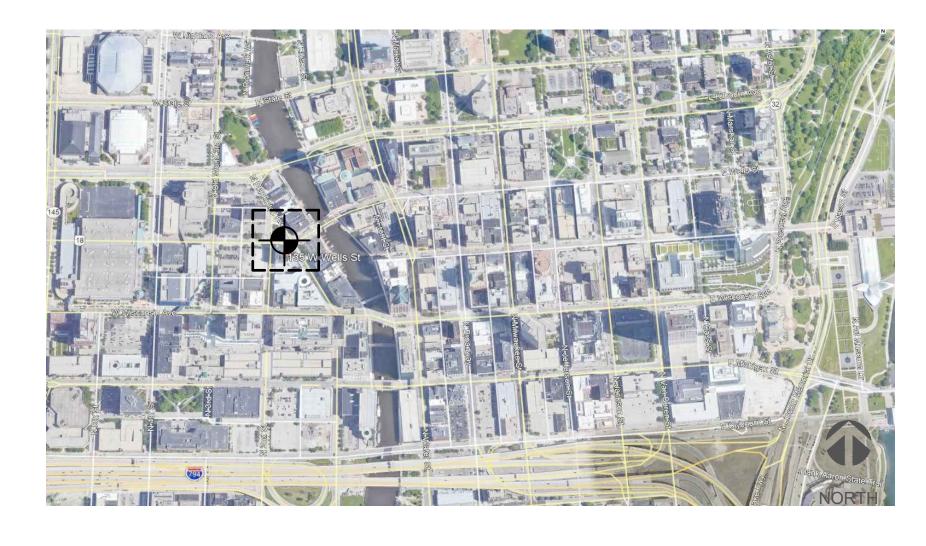
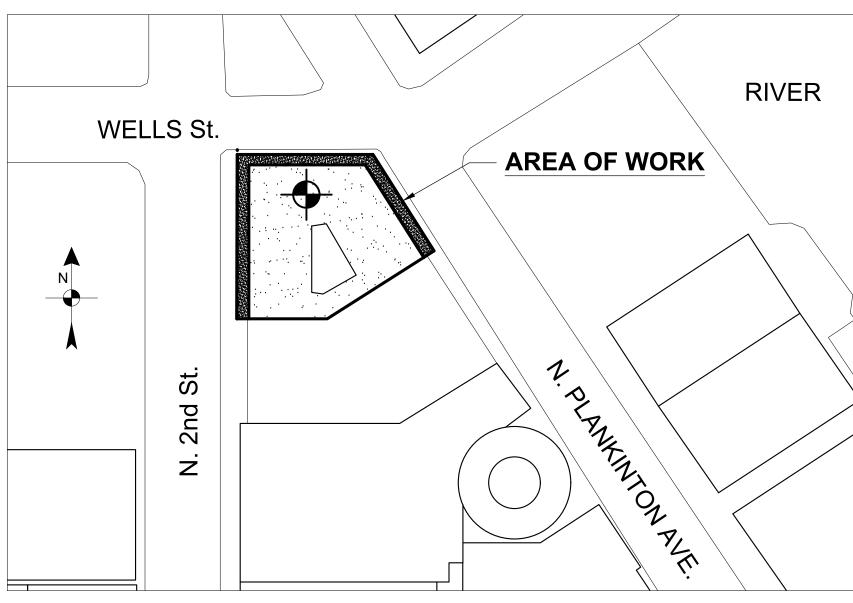
PROJECT LOCATION



SITE MAP



PROJECT INFO

PLANS PREPARED FOR: CARDINAL CAPITAL MANAGEMENT

901 S 70th St. WEST ALLIS, WI 53214

DRAWING INDEX

SHT	SHEE
T-1	TITLE SHE
S-000	GENERAL
S-001	SITE PLAN
S-100	SAMPLE E
S-101	ROOF PLA
S-200	ROOF PLA
S-300	NUMBER
S-400	DETAILS
S-401	DETAILS
S-402	DETAILS

PROJECT DATA

ALL REPAIRS ARE TO BE PERFORMED ACCORDING TO THESE PLANS AND AS REQUIRED BY WISCONSIN BUILDING CODE

- 4. MISCELLANEOUS TUCKPOINTING IN CAULKED, ERODED MORTAR JOINTS

CORNICE REPAIRS GERMANIA BUILDING 135 W. WELLS STREET - MILWAUKEE, WI 53202

HEET TITLE E SHEET

NERAL NOTES E PLAN MPLE ELEVATION OF PLAN - DEMOLITION OF PLAN - NEW CONSTRUCTION IBER RETAINED FOR FUTURE USE TAILS TAILS

PHASE ΒY

2015 INTERNATIONAL EXISTING BUILDING CODE WITH APPLICABLE CODES: WISCONSIN MODIFICATIONS

DATE OF CONSTRUCTION: 1896

NATIONAL REGISTER OF HISTORIC PLACES, LISTED 1983 HISTORIC STATUS:

BUILDING USE: MIXED - RESIDENTIAL / COMMERCIAL

SCOPE OF WORK*

1. REMOVE AND REPLACE ROOF AND TERRA COTTA BOOK TILE SUBSTRATE ON ALL THREE SECTIONS OF 8TH LEVEL CORNICE AND ROOF SCOPE.

2. REMOVE AND REPLACE / RESTORE STEEL STRAPS WITHIN ACCESSIBLE PORTIONS OF TERRA COTTA CONSTRUCTION OF CORNICE.

MISCELLANEOUS TERRA COTTA REPAIRS / SECUREMENT AS DIRECTED BY A/E.

5. SURFACE CLEAN ALL STAINED PORTIONS OF CORNICE AND IMMEDIATELY ADJACENT ACCESSIBLE PORTIONS OF FACADE.

6. SEE GENERAL NOTES FOR INSTALLATION PROCEDURES AND SAMPLE TRIALS, MOCK-UPS, AND TESTING REQUIRED.

7. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY BE REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THIS PROCESS.

UNIT PRICES - FOR POTENTIAL ADDITIONAL WORK NOT ALREADY ILLUSTRATED ON THESE DRAWINGS. (SEE EXAMPLE DETAILS AT END OF THIS SET):

1. INSTALLATION OF 16" HELICAL TIES	EA.
2. TERRA COTTA PATCH	SQ. FT.
3. TERRA COTTA CRACK REPAIR	LN. FT.
4. ISOLATED BRICK REBUILDING	SQ. FT.
5. ROUT OUT AND TUCK POINTING MORTAR JOINTS	LN. FT.

-SCOPE OF WORK FOCUSED ON CORNICE AND ADJACENT AREAS ONLY. WORK ON PEDIMENT AND PARAPET WALLS ACCESSIBLE FROM ROOF NOT INCLUDED IN THIS SET OF DRAWINGS. -IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES PROJECT WORK DURING FALL/WINTER MONTHS MAY FOR DRYING MAY BE REQUIRED. COMPLICATE THIS PROCESS.

A.B. ALT. ARCH. BLDG. BM. BOT. BRDG. BYD. C.J CL. (¢) CLR. CMU COL. CONC. CTR. DBI DIA (Ø DIAPH. D.L. DWLS. EA.

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

GENERAL NOTES

1. ILLUSTRATED DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR

2. ANY OTHER WORK NOT NOTED IN THESE PLANS IS TO BE DESIGNED BY OTHERS.

3. ANY DISCREPANCIES / UNFORESEEN CONDITIONS TO BE BROUGHT TO ATTENTION OF OWNER/ENGINEER PRIOR TO EXECUTION OF WORK.

4. THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE

5. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING OF THE CARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATE THEREIN BY REFERENCE. OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING

THE CONTRACT. 7. ALL STATE, LOCAL AND OSHA SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB

SITE COMPLY WITH SAME. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ENGINEER

PROVIDE TEMPORARY BRACING AS REQUIRED BY OSHA, THE AISC "CODE OF STANDARD PRACTICE", AND ANY CORRESPONDING GOVERNING MATERIAL CODE REQUIREMENTS.

10. HVAC, ELECTRICAL, AND OTHER EQUIPMENT & ACCESSORIES RELOCATIONS AND DESIGNS BY OTHERS. 11. RETRIEVAL OF REQUIRED PERMITS TO BE COMPLETED BY OTHERS.

TYPICAL HATCH PATTERNS

	UNDISTU COMPAC
	GRAVEL
$ \begin{array}{c} \left\{ \begin{array}{c} x_{1} & x_{2} \\ x_{2} & x_{3} \\ x_{2} & x_{3} \\ x_{4} & x_{4} \\ x_{4} & x_{4} \\ x_{4} $	SAND
	CLAY
	BAR GRA

RBED SOIL / ED FILL	
TING	

 CONCRETE
LOAD BEARING WOOD FRAMED WALL
CONCRETE MASONRY UN
BRICK

GROUT / MORTAR

RNS	
	ALUMINUM
	BRASS OR BRONZ
	WOOD FRAMING
	WOOD BLOCKING
	RIGID INSULATION
	BATT INSULATION

ABBREVIATIONS

AND ANCHOR BOLT ALTERNATE ARCHITECT AT BUILDING BEAM BOTTOM BEARING BRIDGING BEYOND CONSTRUCTION JOINT CONSTRUCTION JOINT CONSTRUCTION JOINT CONSTRUCTION JOINT CONSTRUCTION JOINT CONCRETE MASONRY UNIT COLUMN CONCRETE EENTER DOUBLE DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMETER DIAMET	E.F. E.W. EX. FDN. F.F. FLR. FTG. GA. GALV. HDR. HORIZ. HT. I.D. JST. LG. L.L. LLH LLV L.W.C. MAX. MECH. MIN. NO (#) N.T.S.	EACH FACE EACH WAY EXISTING FOUNDATION FINISHED FLOOR FLOOR FOOTING GAUGE GALVANIZED HEADER HANGER HORIZONTAL HEIGHT INSIDE DIAMETER JOIST LONG LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIGHT WEIGHT CONCRETE MAXIMUM MECHANICAL MINIMUM NUMBER NOT TO SCALE	O.C. O.H. OPNG. PL P.S.F. P.T. REINF. R.O. SCH. SIM. S.L. STAGG. STD. STIFF. THK. THRU. T.B.R. T.O.S. T.O.W. TYP. U.N.O. VERT. V.I.F. W/ W.W.F.	ON CENTER OPPOSITE HAND OPENING PLATE POUNDS PER SQUARE FOOT PRESSURE TREATED REINFORCING ROUGH OPENING SCHEDULE SIMILAR STEEL LINE STAGGERED STANDARD STIFFENER THICK THROUGH TO BE REMOVED TOP OF STEEL TOP OF WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL VERIFY IN FIELD WITH WELDED WIRE FABRIC	
					Р

SCOPE OF DRAWINGS

-0	Engineering Group Building Envelope Specialists, Forensic and Structural Engineering
REVISION STAL BY CHK DATE DESCRIPTION	MP/STATUS:
TITLE SHEET	CORNICE REPAIRS GERMANIA BUILDING 135 W. WELLS STREET - MILWAUKEE, WI 53201
	Y: EV

Α.	GENERAL REQUIREMENTS

- 1. APPLICABLE CODES
- 1.1. 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN MODIFICATIONS CHAPTER 12 - HISTORIC BUILDINGS - REPAIRS

2. STRUCTURAL LOADING CRITERIA_USED FOR DESIGN

2.1. LIVE LOADS

2.1.	ROOF	30 PSF
2.2.	WIND DESIGN DATA WIND UPLIFT:	90 PSF
2.3.	SNOW LOAD DESIGN DATA DRIFT:	90 PSF

MATERIAL DESIGN PROPERTIES

1.1	MASONRY STRENGTHS:	
	CONCRETE MASONRY UNIT (CMU) ASTM C 90, GRADE N	FM= 2500 PSI
	CONCRETE BRICK ASTM C 55, GRADE N	FM =2500 PSI
	CLAY BRICK ASTM C 216, C 67, GRADE SW	TYPE FBS
1.2	MORTAR (ASTM C 270)	
	TYPE O (ABOVE GRADE)	FU =350 PSI
1.3	STRUCTUAL STEEL STRENGTHS:	
	WF SHAPES (ASTM A 992)	FY= 50,000 PSI
	ANGLES, CHANNELS, PLATES, & BARS (ASTM A36)	FY= 36,000 PSI
	SQUARE & RECTANGULAR TS OR HSS SECTIONS	FY= 46,000 PSI
	ROUND HSS SECTIONS (ASTM A500, GRADE B)	FY= 42,000 PSI
	STEEL PIPE (ASTM A53, GRADE B)	FY= 35,000 PSI

1.4 WOOD STRENGTHS

DIMENSIONAL LUMBER (SEE PLANS & WOOD FRAMING NOTES	5)
LAMINATED VENEER LUMBER (LVL)	E= 1,900 KSI

C. 1.

	IEMBR	
a b		STEM: SINGLE-PLY PE: EPDM (ETHYLENE PROPYLENE DIENE MONO
С	. AP	- BLACK CURED THERMOSET ELASTOMER PLICATION: FULLY ADHERED
d	. PH 1)	YSICAL PROPERTIES THICKNESS: 60 MIL
	2) 3)	REINFORCEMENT: NONE SHEET WIDTH: 20' (MINIMUM)
	4)	WEIGHT: .35 LB/FT ²
	5) 6)	
	7) 8)	ELONGATION 465% (ASTM D412) WATER VAPOR PERMEANCE 0.03
e	. SE	AMING: 6" SEAM TAPE (FACTORY PRE-APPLIED PREFERRED)
	2)	SEAM TAPE THICKNESS:.030"
	3) 4)	SITUATE SEAMS DOWNSLOPE WHERE FEASIBLE. STRIP IN ALL SEAMS WITH 6" WIDE, PRESSURE SENSIT
f.	. FLA 1)	
	2) 3)	6", 45 MIL, REINFORCED EPDM SECUREMENT STRIP AT ATTACH SECUREMENT STRIP WITH FASTENERS & 2" S
g	4) SP	WHEREVER POSSIBLE SECUREMENT STRIP WILL BE A ECIAL FLASHING MEMBRANE
3	1) 2)	UNCURED, NON-REINFORCED EPDM
	3)	USED TO WRAP PIPES, CONDUITS, PITCH PANS AND O
	4) 5)	NOMINAL THICKNESS 60 MIL PRESSURE SENSITIVE.
h	. AD 1)	HESIVES/SEALANTS/CLEANERS/PRIMERS: BONDING ADHESIVE: HIGH STRENGTH, SYNTHETIC RU
	2) 3)	SPLICE CLEANERS: SOLVENT BASED CLEANER TO PR SPLICING CEMENT: HIGH STRENGTH, BUTYL BASED, E
	4)	WATER CUT-OFF MASTIC: ONE COMPONENT, LOW VIS SUMPS, EDGE FASCIA FLANGES AND BEHIND THE TOP
	5)	LAP SEALANT: BLACK, HEAVY BODIED CAULK USED TO
i.	6) ALI	OTHER CLEANERS/PRIMERS AS REQUIRED TO PROPE L PRODUCTS AND PROCEDURES USED TO INSTALL THE
N a		NICAL FASTENERS: DOD FASTENERS:
u	1)	MASONRY ANCHORS / METAL PANELS
		b) SIZE # 10 DIAMETER
		 c) 300 SERIES STAINLESS STEEL c) LENGTH TO ACHIEVE MINIMUM OF 2" EMBEDMEN"
	2)	PERIMETER WOOD BLOCKING - MULTI LAYERS TO WO
		 a) THREADED SCREWS - NAILS WILL NOT BE ACCEP b) SIZE: #10 DIAMETER
		c) 300 SERIES STAINLESS STEEL d) LENGTH TO ACHIEVE MINIMUM OF 1" EMBEDMEN
		e) NEW PERIMETER WOOD BLOCKING, IF REQUIRED
	5)	PERIMETER WOOD BLOCKING - TO TERRA COTTA
		 a) THREADED SCREWS - NAILS WILL NOT BE ACCEF b) STAINLESS STEEL - AGGREGATOR 300 SERIES OF
		c) SIZE: ¼" DIAMETER
		 d) LENGTH TO ACHIEVE MINIMUM OF 1 3/4" EMBEDN e) NEW PERIMETER WOOD BLOCKING, IF REQUIRED
	6)	WOOD CONSTRUCTIONS TO BE FASTENED AS COMMC
-	7)	ALL WOOD FASTENERS TO BE GALVANIZED OR COATE
b	. га. 1)	STENING PLATES USED AS PART OF HORIZONTAL-VERTICAL FLASHING E
	2) 3)	2 3/8" METAL PLATES. BARBED
С	,	SONRY FASTENERS: - SECUREMENT STRIP
	1) 2)	
	3)	LENGTH TO ACHIEVE MINIMUM OF 1 1/2" EMBEDMENT
	4)	DRIVEN INTO PRE-DRILLED HOLES.
d		SONRY FASTENERS: - ROOF DECK SUPPORT THREADED SCREWS - NAILS WILL NOT BE ACCEPTABL
	1) 2)	STAINLESS STEEL - AGGREGATOR 300 SERIES OR APP
	3) 4)	SIZE: 1/4" DIAMETER LENGTH TO ACHIEVE MINIMUM OF 1 3/4" EMBEDMENT
	5)	DECKING SUPPORT METAL, TO BE FASTENED 12" O.C.
٧	VOOD	MATERIALS
а	. DIN	IENSION LUMBER
	1) 2)	2" X 8" WOOD FRAMING/BLOCKING 2" X 6" WOOD BLOCKING
	3)	1" X 6" WOOD BLOCKING
	4) 5)	SPRUCE PINE OR FIR SPECIES NO. 2 OR BETTER KILN DRIED PRESSURE TREATED - (FOR ALL WALL FRA
	6)	WOOD BLOCKING AT PERIMETER EDGES FASTENED 8
b	. PL` 1)	YWOOD ROOF SHEATHING 3/4" THICK PLYWOOD (OSB NOT ACCEPTABLE)
	2)	EXTERIOR EXPOSURE RATED.
	3) 4)	
c	,	METAL ITEMS:
a		METALTTEMS: PIECE EDGE METAL:
	1)	REFER TO CONSTRUCTION DETAIL FOR SPECIFIC DES
	2)	INSTALLATION: a) INSTALL NEW WOOD BLOCKING ON TOP OF PROF
		b) 24 GA. PREFINISHED STEEL SNAP-ON FACIAc) 12' SECTIONS.
		d) COLOR TO BE DETERMINED AND APPROVED BY (
		e) 22 GA. GALVANIZED STEEL CLIPSf) FASTEN CLIPS TO WOOD BLOCKING WITH #12 X 1
		g) INCORPORATE ALL NECESSARY MITERS AND END
		h) INCORPORATE FASCIA EXTENDER WITH CONTINU
	3)	INCORPORATE ALL NECESSARY MITERS, END CAPS AN

- 3) INCORPORATE ALL NECESSARY MITERS, END CAPS AND TRANSITION PIECES.
- 4) WRAP AROUND PENETRATIONS, SCUPPERS AND RAILING POSTS IN SIMILAR FASHION AS EXISTING. b. TERMINATION BARS:
- 1) 1 3/4" DEEP X 1/8" THICK EXTRUDED ALUMINUM.
- 2) PRE-PUNCHED & FASTENED 6" O.C. 3) LIP TO RECEIVE CAULK.
- 4) INSTALLED ACROSS THE TOP EDGE OF ALL FLASHING TERMINATED ON THE VERTICAL PLANE.
- 5) LEAVE ¼" GAP BETWEEN ADJOINING BARS TO ALLOW FOR EXPANSION. c. 2 PIECE REGLET:
- 1) SAW CUT EXISTING JOINT TO RECEIVE NEW METAL REGLET TO MAINTAIN LOCATION OF TOP OF FLASHING
- 2) INSTALL NEW REGLET AS DETAILED ON PLANS 3) EXPOSED SEALANT TO BE SILICONE: DOWSIL 756 OR TREMCO SPECTRUM 3
- 5. STRUCTURAL METAL DECKING:

- a) 1.5B 1 1/2" DEEP b) F20 DECK TYPE
- c) G 90 GALVANIZED
 - d) FASTENED AS NOTED ON DRAWING
 - e) #12 S.S TEK SUPPORTS f) #10 S.S TEK - SIDE LAPS
 - g) ALL SUPPORT STEEL TO BE GALVANIZED OR COATED WITH ZINC RICH EPOXY PRIMER

6. MASONRY a. REPLACEMENT BRICK (IF REQUIRED)

- 1) CLAY BRICK ASTM C 216, C 67, GRADE SW 2) MATCH EXISTING BRICK AS CLOSE AS POSSIBLE FOR SIZE AND COLOR.
- 3) PERFORM FIELD INITIAL RATE OF ABSORPTION TEST TO DETERMINE IF PRE-WETTING IS REQUIRED b. MORTAR
- 1) FOR TUCK-POINTING AND OR REBUILDING SECTIONS 2) TYPE O MORTAR
- 3) MIX PROPORTION AND GRADATION TO MATCH EXISTING

OMER)

(ASTM E96)

TIVE, EPDM FLASHING PLY.

T ALL VERTICAL TRANSITIONS. SEAM PLATES @ 12" O.C.

ANCHORED INTO THE VERTICAL PLANE.

CORNERS. OTHER AWKWARD TRANSITIONS.

UBBER ADHESIVE FOR ADHERING THE EPDM MEMBRANE TO INSULATION SUBSTRATES, WALLS AND CURBS. REPARE BOTH SURFACES OF EPDM BEFORE APPLYING SEAM TAPE OR SPLICING CEMENT.

BLACK CEMENT. TO BE USED TO MATE ALL EPDM SEAMS AT AREAS WHERE THE USE OF TAPE ADHESIVE IS NOT PRACTICAL. ISCOSITY, SELF-WETTING, BUTYL BLEND MASTIC. TO BE USED BENEATH THE EPDM MEMBRANE AT DRAIN SUMPS, SCUPPER

OP EDGE OF ALL WALL AND CURB FLASHINGS. O SEAL ALL SEAMS WITH EXPOSED CUT EDGES AND TO SEAL THE EDGES OF ALL UNCURED EPDM REINFORCEMENT PATCHES. ERLY PREPARE SUBSTRATES FOR APPLICATION OF FIELD AND FLASHING MEMBRANE. E FIELD AND FLASHING MEMBRANE SHALL BE SUPPLIED AND/OR APPROVED BY THE MEMBRANE MANUFACTURER.

EPTABLE

NT IN TO STUDS

EPTABLE

NT (OR) LENGTH TO PENETRATE THROUGH PLYWOOD A MINIMUM OF 1/4". ED, TO BE FASTENED 8" O.C. STAGGERED.

EPTABLE OR APPROVED EQUAL

MENT

ED, TO BE FASTENED 8" O.C. STAGGERED.

ION TO STANDARD INDUSTRY PRACTICES OR CALLED OUT ON PLANS. TED AND APPROVED FOR INSTALLATION IN PRESSURE TREATED LUMBER

BASE SECUREMENT WITH FASTENERS

PROVED EQUAL

LE PROVED EQUAL

. STAGGERED.

AMING AND ROOF BLOCKING)

8" O.C. STAGGERED.

OPERLY FASTENED WALL TOP PLATES WALL WITH FASTENERS @ 12" O.C. STAGGERED.

OWNER.

1 1/2" SCREWS.

ID PIECES. NUOUS CLEAT ON EXTERIOR FACE AS REQUIRED TO COVER WOOD BLOCKING AS DETAILED ON PLANS.

TYPE FBS

4) MATCH COLOR OF EXISTING MORTAR

- SOLID BED 6) STRIKE JOINTS TO MATCH EXISTING.
- 7) JOINT THICKNESS TO MATCH EXISTING c. STITCH TIES (HELICAL)
- 1) 16" LONG
- 2) S.S AS DIRECTED SHORTER
- d. MASONRY CLEANING
- 1) FINALIZED CLEANING PROCEDURE TO BE VERIFIED BASED ON A/E REVIEWED AND APPROVED RESULTS OF CLEANING TRIAL IN TEST AREA. 2) WATER (LOW PRESSURE POWER WASHER) AND STIFF BRUSH 3) IF NECESSARY, USE PROSOCO 2010 ALL PURPOSE CLEANER FOR DIFFICULT STAINS 4) USE OF ANY OTHER CLEANING AGENTS TO BE REVIEWED AND APPROVED BY A/E BASED ON RESULTS OF SAMPLE AREA
- D. INSTALLATION PROCEDURES

IN-PLACE MOCK-UP , ANCHOR PULL-OUT TESTING

INSTALLATION PROCEDURES ARE BASED ON VISUAL OBSERVATION AND ASSUMPTIONS OF STABILITY AND SOUNDNESS OF EXISTING MATERIALS TO BE FASTENED INTO. CONTRACTOR TO INCLUDE AN INITIAL IN-PLACE MOCK-UP OF 8' SECTION OF CORNICE REPAIRS, ROOF INSTALLATION, TUCK POINTING, AND SURFACE CLEANING. CONTRACTOR TO PROVIDE 3RD PARTY PULL-OUT TESTING OF SCREW FASTENERS INTO MASONRY AND TERRA COTTA AND STITCH ANCHORS INTO MASONRY IN CORNICE CAVITY. CONTRACTOR TO COORDINATE SCHEDULE WITH ARCHITECT / ENGINEER TO ALLOW FOR IN-PROGRESS OBSERVATIONS TO BE MADE. ALL OBSERVATIONS AND TEST RESULTS OF MOCK UP ASSEMBLY TO BE REVIEWED AND APPROVED BY ARCHITECT / ENGINEER PRIOR TO AUTHORIZING FULL SCALE PRODUCTION WORK OF REPAIRS OUTLINED IN THESE DRAWINGS.

1. <u>CORNICE DEMOLITION, INSPECTION, REINFORCE</u>

- NOTE: TO MAINTAIN STABILITY OF CORNICE, SEQUENCE STEPS a e TO BE COMPLETED IN SECTIONS NOT LONGER THAN 10 FEET. a. REMOVE
 - 1) METAL ROOFING 2) 3" TERRA COTTA BOOK TILE
 - BED MORTAR
 - b. REMOVE ALL DEMOLITION DEBRIS FROM CORES OF STACKED TERRA COTTA. 1) LARGE PIECES BY HAND 2) SMALL PIECES WITH SHOP VAC

 - d. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY REQUIRED.
 - PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THE PROCESS.

 - f. INSTALL TWO ROWS OF STITCH ANCHORS IN CORNICE CAVITY AS CALLED OUT ON DETAIL
 - g. THESE STEPS MUST BE PERFORMED ON A "ONE STRAP AT A TIME" BASIS 1) TOP METAL STRAP (CUT OFF FROM WALL, PULL OUT OF SLOT IN TERRA COTTA) 2) INSPECT BOTTOM METAL STRAP FOR SOUNDNESS
 - 3) IF BOTTOM STRAP NOT SOUND, INSTALL NEW PER DETAIL PRIOR TO REMOVING EXISTING
 - CHEMBUILD 135 5) INSTALL TOP STAINLESS STEEL METAL STRAPS PER DETAIL.

2. MASONRY FACADE

- b. FIELD TEST FOR INITIAL RATE OF ABSORPTION TO BE CONDUCTED BY CONTRACTOR TO VERIFY NECESSITY OF PRE-WETTING BRICK
- b. INSTALL REPLACEMENT MASONRY FACADE AS DETAILED ON PLANS AND IN THESE WORK INSTRUCTIONS.
- c. ROUT OUT AND TUCK POINT ANY JOINTS THAT ARE CAULKED, ERODED, OR LOST BOND.
- 3. MASONRY CLEANING
- b. WATER (LOW PRESSURE POWER WASHER) AND STIFF BRUSH c. IF NECESSARY, USE PROSOCO 2010 ALL PURPOSE CLEANER FOR DIFFICULT STAINS d USE OF ANY OTHER CLEANING AGENTS TO BE REVIEWED AND APPROVED BY A/E BASED ON RESULTS OF SAMPLE AREA
- 4. MEMBRANE INSTALLATION FIELD
- a. INSTALL BLOCKING, ROOF DECK SUPPORT, METAL AND PLYWOOD DECKING AS DETAILED IN PLANS.
- STEN INTO THE VERTICAL PLANE AS SHOWN ON SECTION DETAILS USING APPROPRIATE FA c. PRIOR TO INSTALLATION OF EPDM FIELD MEMBRANE ROLL OUT SHEETS AND ALLOW TO RELAX FOR A MINIMUM OF ½ HOUR:
- d. ADHERE THE MEMBRANE OUT OVER THE FIELD OF THE ROOF WITHOUT WRINKLES.
- e. MINIMIZE FIELD SEAMS. SITUATE ALL SEAMS DOWN SLOPE WHERE FEASIBLE. ALL SEAMS SHALL BE SEALED WITH 6" SPLICE TAPE ADHESIVE. f. INCORPORATE ALL NECESSARY "T" JOINT REINFORCEMENT PATCHES. APPLY LAP SEALANT TO PERIMETER OF PATCHES.
- 5. MEMBRANE INSTALLATION WALL & CURB FLASHINGS
- a. ADHERE FIELD MEMBRANE OVER SECUREMENT STRIPS AND UP ALL VERTICAL SUBSTRATES IN BONDING ADHESIVE. WITHOUT COVERING THEM.) INCORPORATE A CONTINUOUS BEAD OF WATER CUT-OFF MASTIC BEHIND THE TOP EDGE OF THE FLASHING.
- SEAMS MAY BE SEALED WITH SPLICING CEMENT. d. WRAP FLASHINGS INTO DOOR OPENING ON THRESHOLD AND JAMBS.
- 6. <u>SHEET METAL WORK</u>
- b. INSTALL NEW REGLET MOUNTED 2- PIECE COUNTERFLASHING OVER THE TOP EDGE OF THE NEW FLASHINGS ON THE WALLS.
- c. REGLET TO BE CUT IN SAME GROOVE AS EXISTING. d. INSTALL NEW FACIA EDGE METAL. MOUNT 22 GA. CONCEALED CLIPS THROUGH MEMBRANE INTO WOOD BLOCKING. FASTEN AS DETAILED. SNAP-ON 24 GA. PRE-FINISHED STEEL EDGE METAL. INCORPORATE ALL NECESSARY MITERS, END AND TRANSITION PIECES. ALL COPING WORK SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.

c. ENGINEER TO PERFORM THOROUGH INSPECTION OF TERRA COTTA TO INCLUDE VISUAL OBSERVATION AND SOUNDING WITH PLASTIC HAMMER.

e. AT DIRECTION OF ENGINEER, PERFORM ISOLATED REPAIRS TO TERRA COTTA TO INCLUDE CRACK REPAIRS, SPALL REPAIRS, PINNING AND PATCHING AS NECESSARY

4) IF BOTTOM STRAP IS SOUND, CLEAN TO BRIGHT METAL FINISH AND INSTALL ZINC ENRICHED PRIMER PAINT COVERED WITH A HIGH QUALITY ZINC RICH EPOXY PAINT OR INSTALL TWO COATS OF TNEMEC

a. IF NEW BRICK IS TO BE INSTALLED, COLOR SAMPLES AND TEST DATA / ASTM CERTIFICATION ARE TO BE PROVIDED FOR OWNER APPROVAL PRIOR TO INSTALLATION.

a. FINALIZED CLEANING PROCEDURE TO BE VERIFIED BASED ON A/E REVIEWED AND APPROVED RESULTS OF CLEANING TRIAL IN TEST AREA.

b. INSTALL BASE SECUREMENT STRIPS AT ALL HORIZONTAL-TO-VERTICAL TRANSITION LOCATIONS. UTILIZE 6", 45 MIL, REINFORCED EPDM STRIPS AT THE BASE OF ALL WALLS, CURBS AND OTHER VERTICAL TRANSITIONS. IERS AND 2" SEAM PLATES SPACED 12" ON CENTER

b. AT WALLS EXTEND THE FLASHING TO A MINIMUM HEIGHT OF 8" ABOVE THE FINISHED ROOF SURFACE. (IF THROUGH-WALL FLASHINGS OR WEEP HOLES ARE ENCOUNTERED, INSTALL FLASHING AS HIGH AS POSSIBLE c. WHEREVER REASONABLY POSSIBLE, VERTICAL FLASHING SEAMS WILL BE SEALED WITH 6" SPLICE TAPE ADHESIVE. WHERE NOT PRACTICAL TO USE SEAM TAPE, AND UPON APPROVAL FROM CONSULTANT, FLASHING

e. REINFORCE ALL INSIDE AND OUTSIDE CORNERS WITH 6" X 6" UNCURED EPDM PATCHES PER MANUFACTURER'S REQUIREMENTS. APPLY LAP SEALANT TO THE PERIMETERS OF ALL PATCHES.

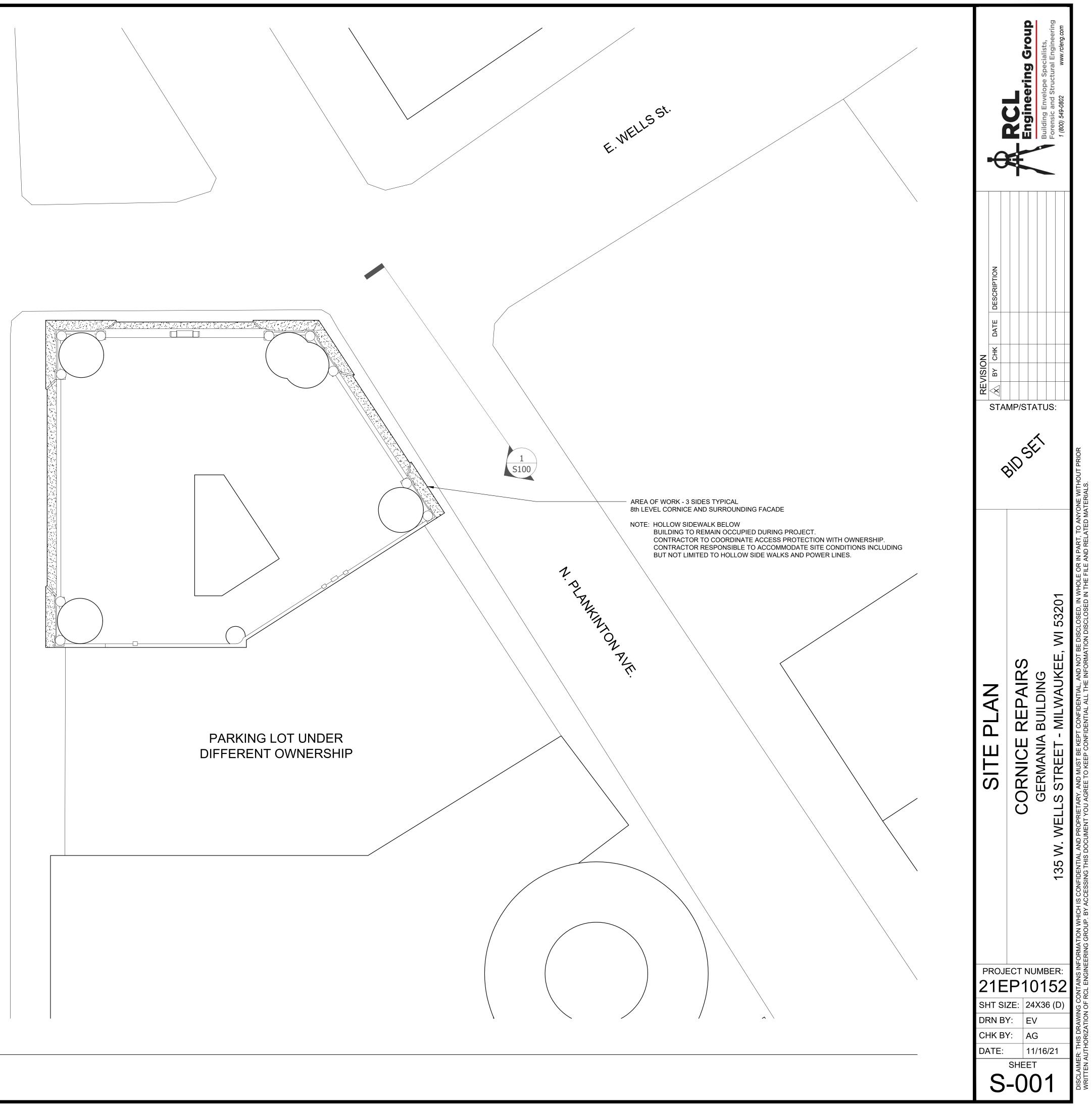
a. SECURE THE TOP EDGE OF ALL FLASHINGS ON VERTICAL PLANES WITH AN ALUMINUM TERMINATION BAR. SECURE TERMINATION BAR TO SUBSTRATE MATERIAL WITH APPROPRIATE FASTENERS SPACED A MAXIMUM OF SIX (6") INCHES ON CENTER. DO NOT BUTT ENDS OF ADJOINING TERMINATION BARS TOGETHER - LEAVE A 1/4" GAP BETWEEN BARS TO ALLOW FOR EXPANSION. CAULK TOP EDGE OF TERMINATION BAR.

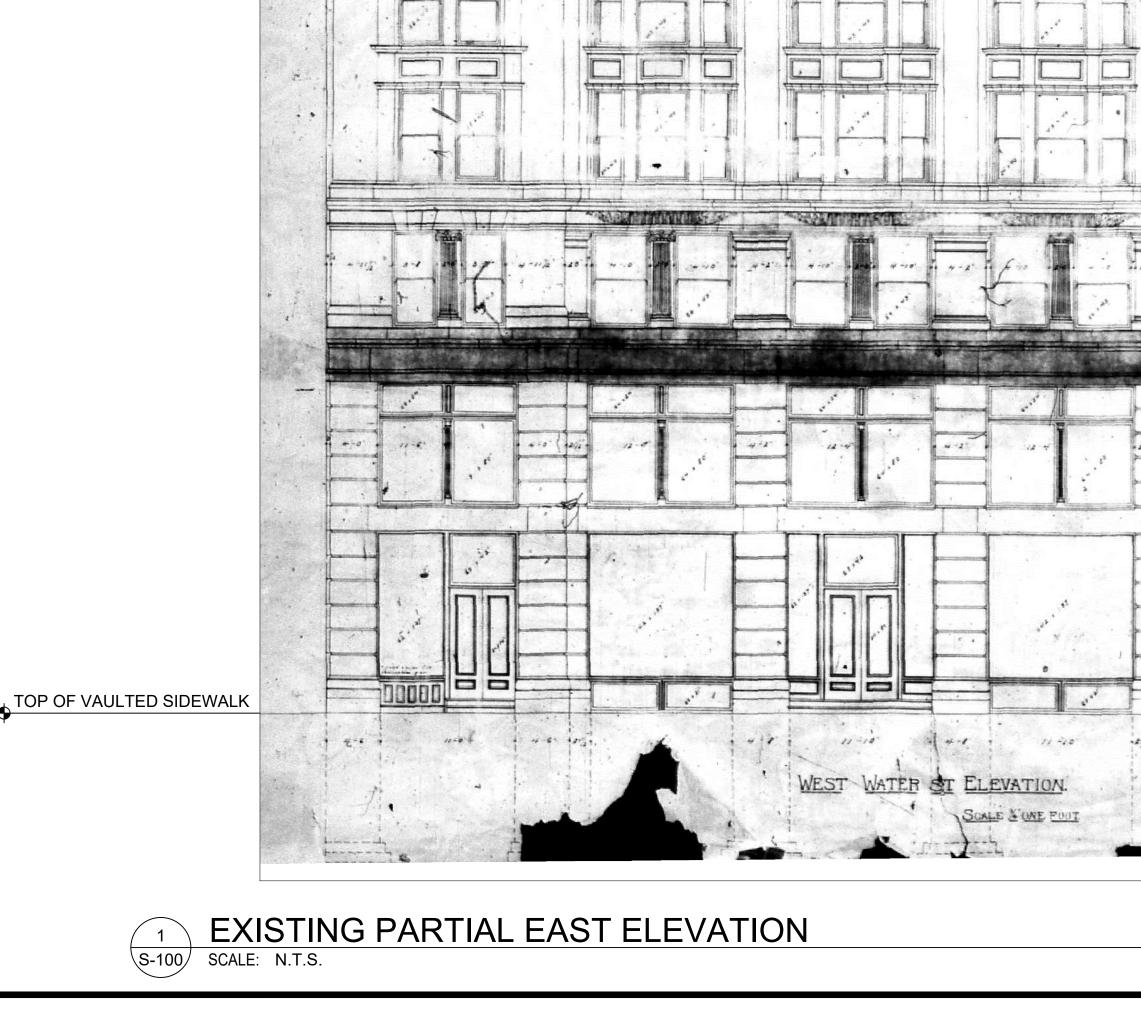
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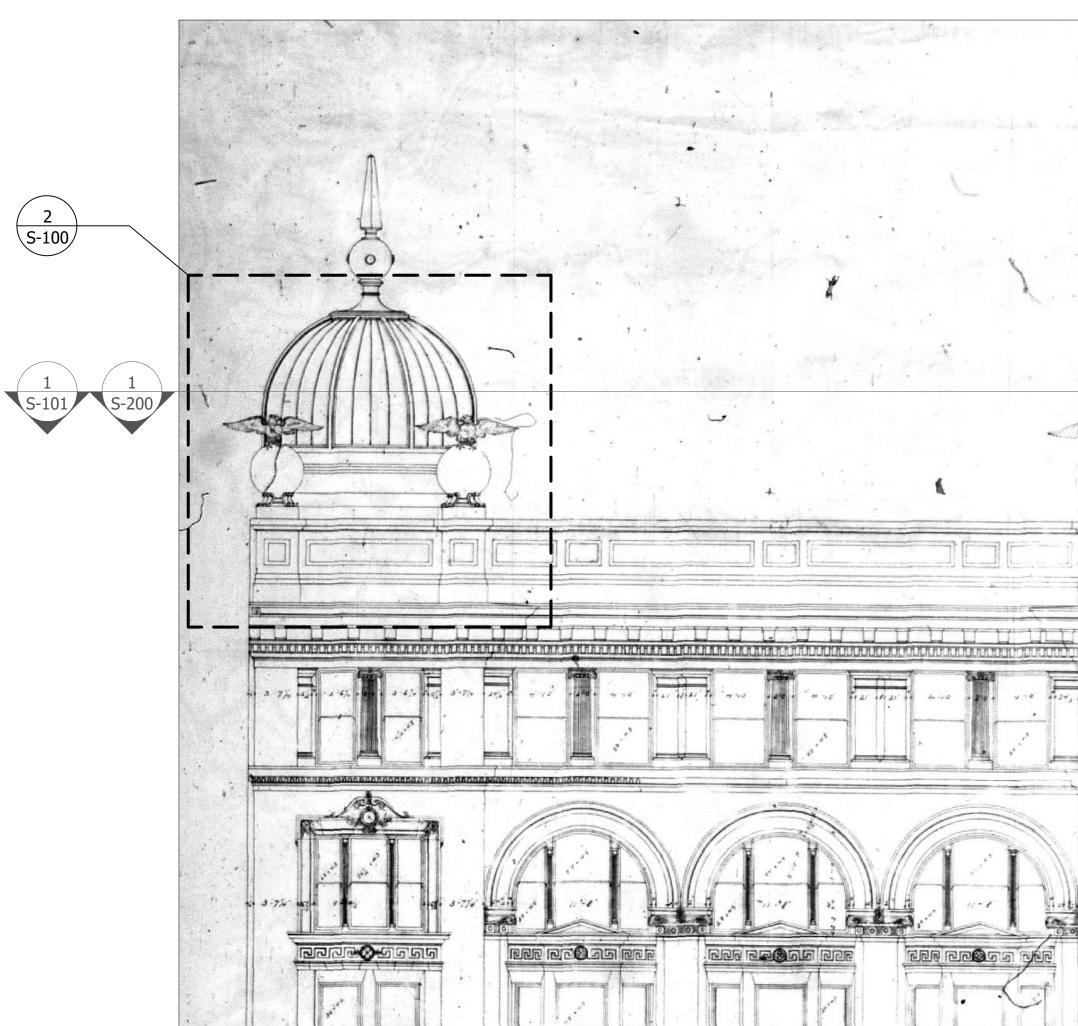








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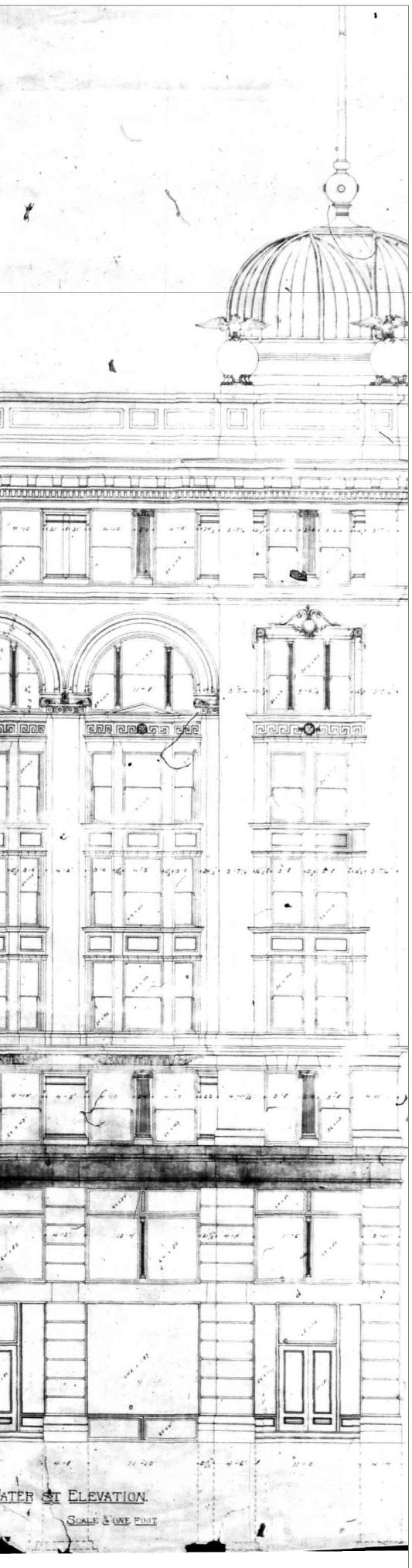
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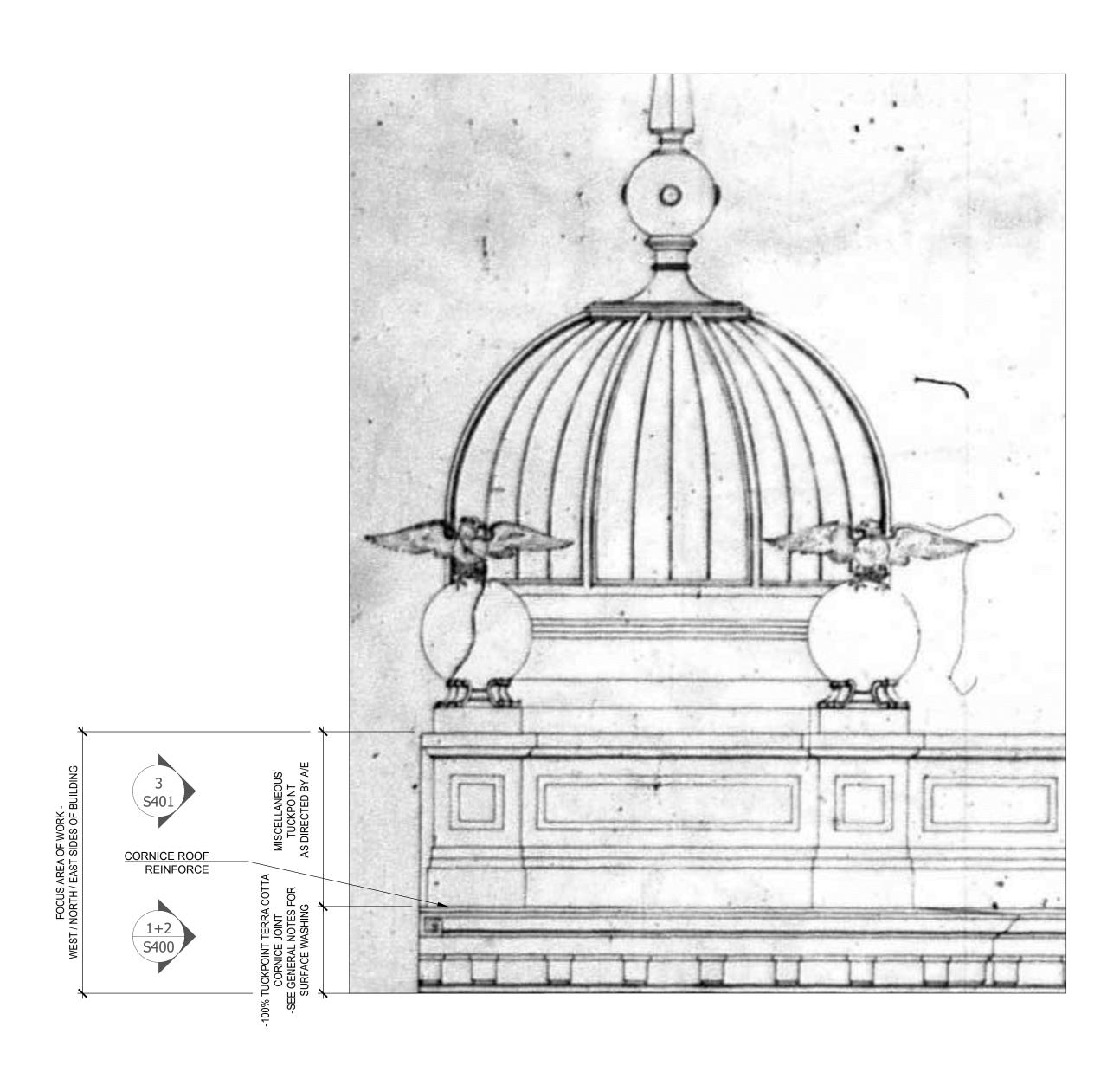
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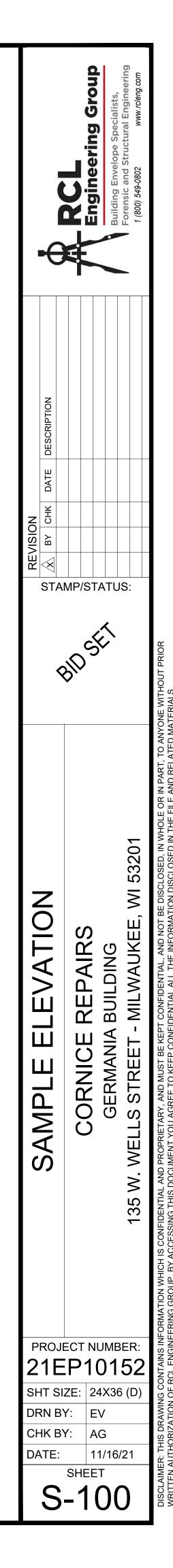
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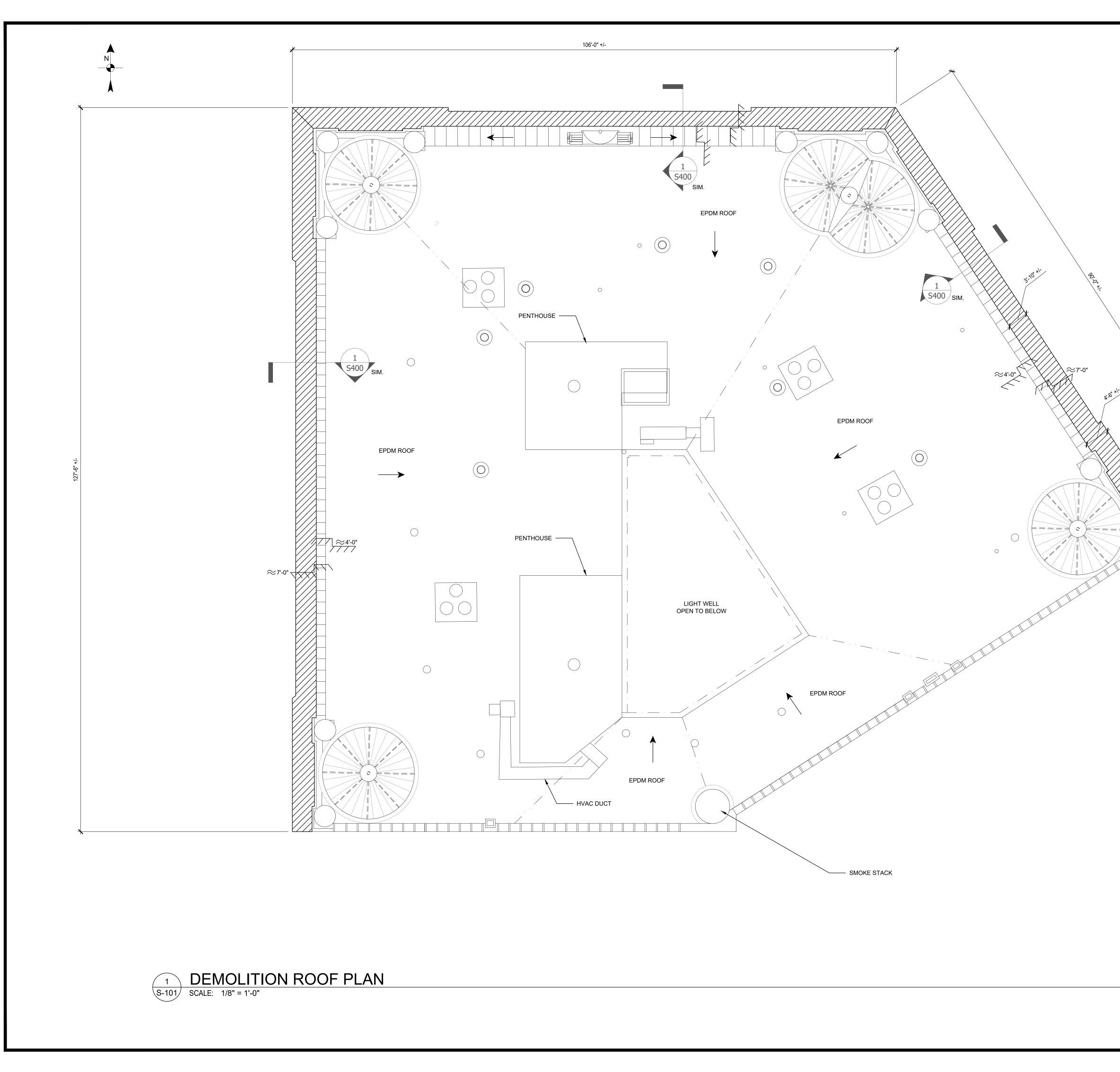
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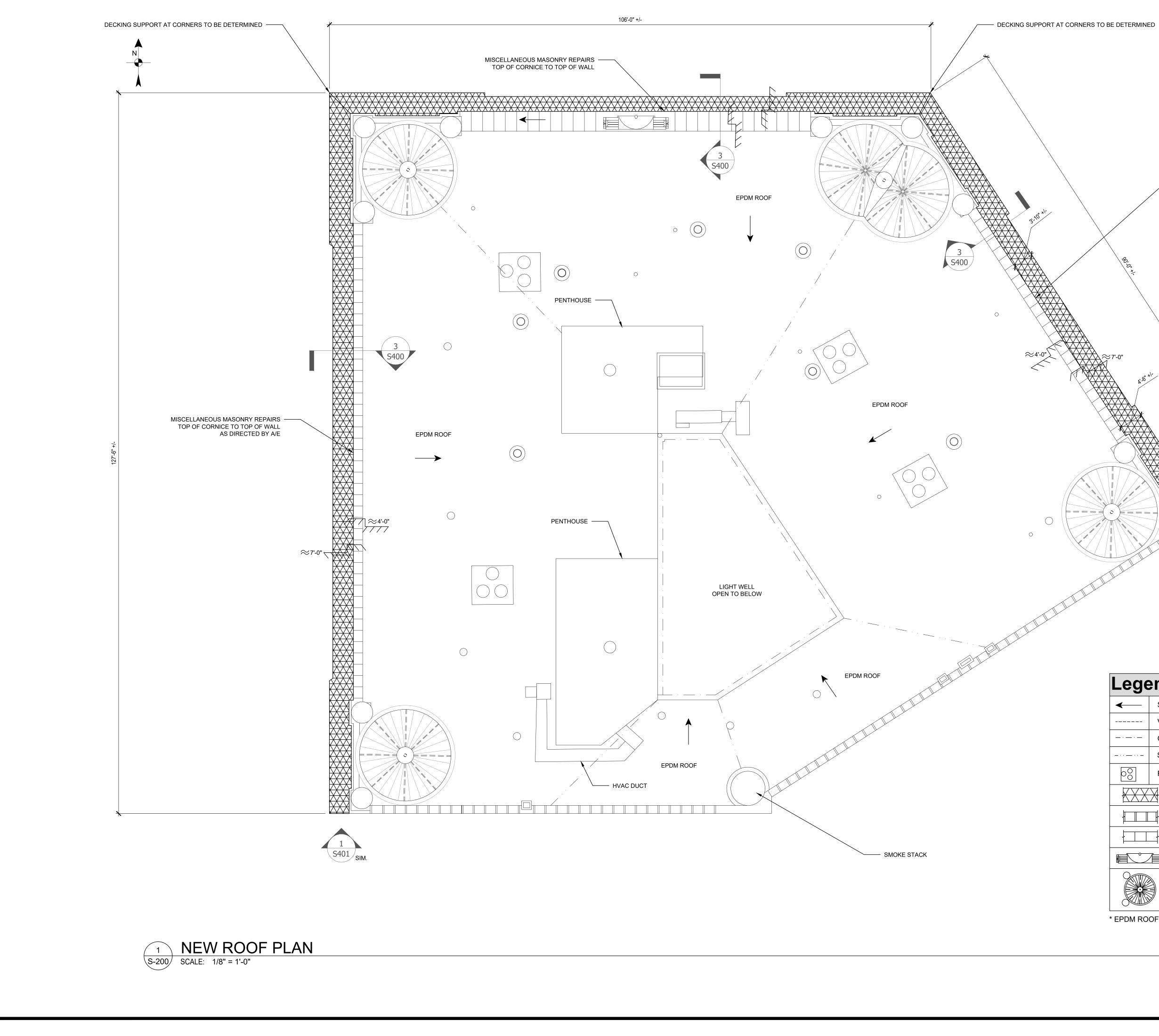




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		Cornice Roof + Book Tile Substrate To Be Removed					
		Parapet W/ Terra Cotta Block Coping - Not In Scope					
		Parapet W/ Bell CopingTile - Not In Scope					
		Terra Cotta Decoration at Peak of Pediment - Not in Scope					
		Copper Clad Dome Typ Not in Scope					

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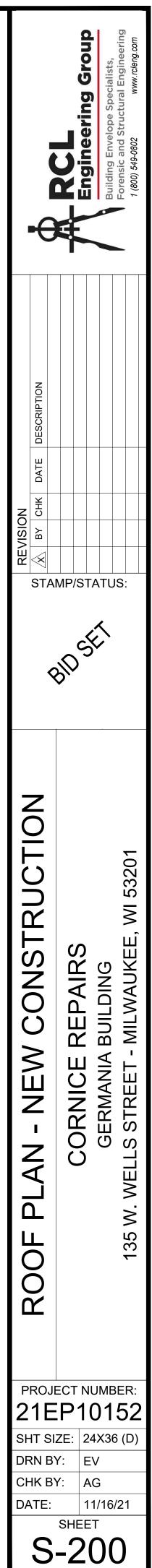
2 × STAMP/STATUS: BIDSEI 53201 DEMOLITION REPAIRS ш AUKI ROOF PLAN WELL 135 W. PROJECT NUMBER: 21EP10152 SHT SIZE: 24X36 (D) DRN BY: EV CHK BY: AG DATE: 11/16/21 SHEET S-101

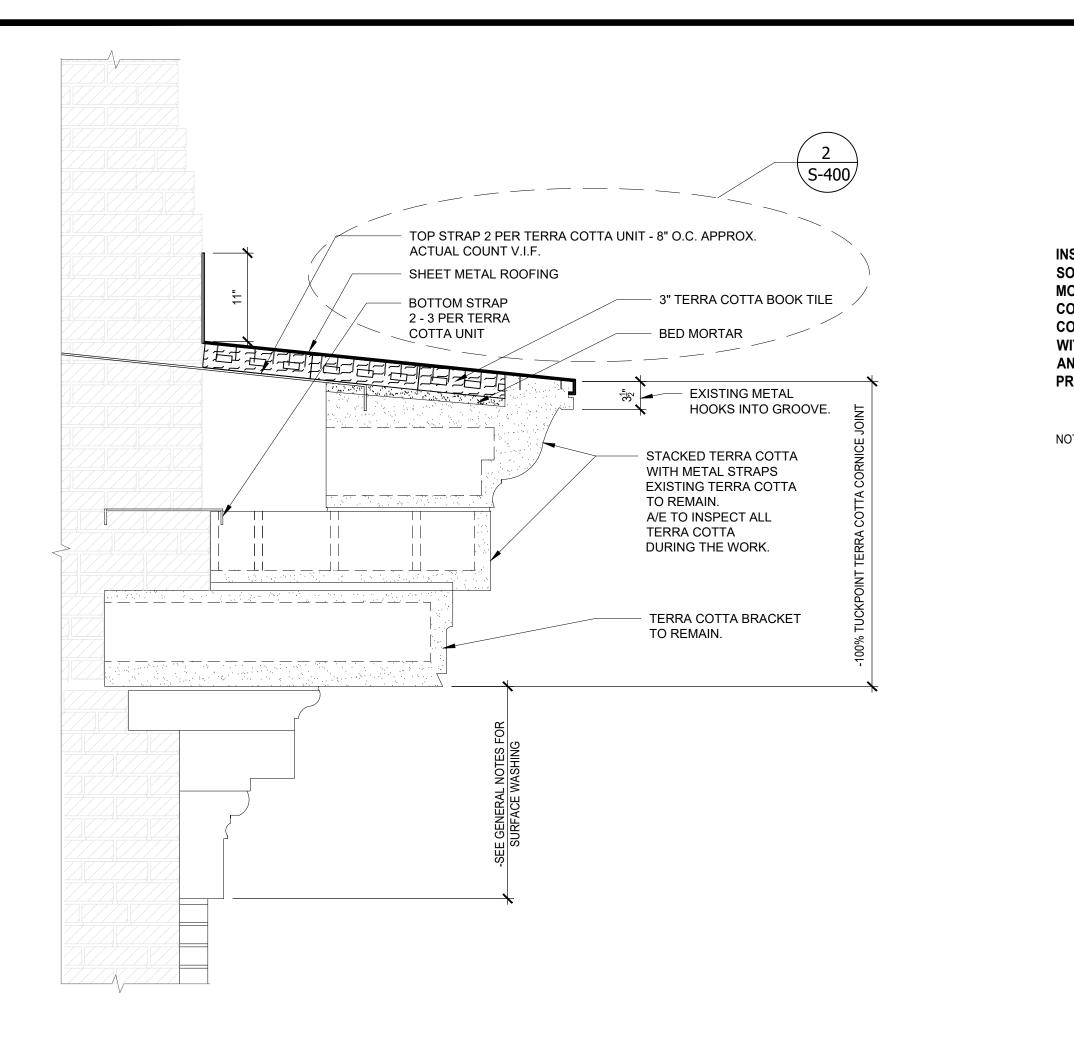


MISCELLANEOUS MASONRY REPAIRS TOP OF CORNICE TO TOP OF WALL

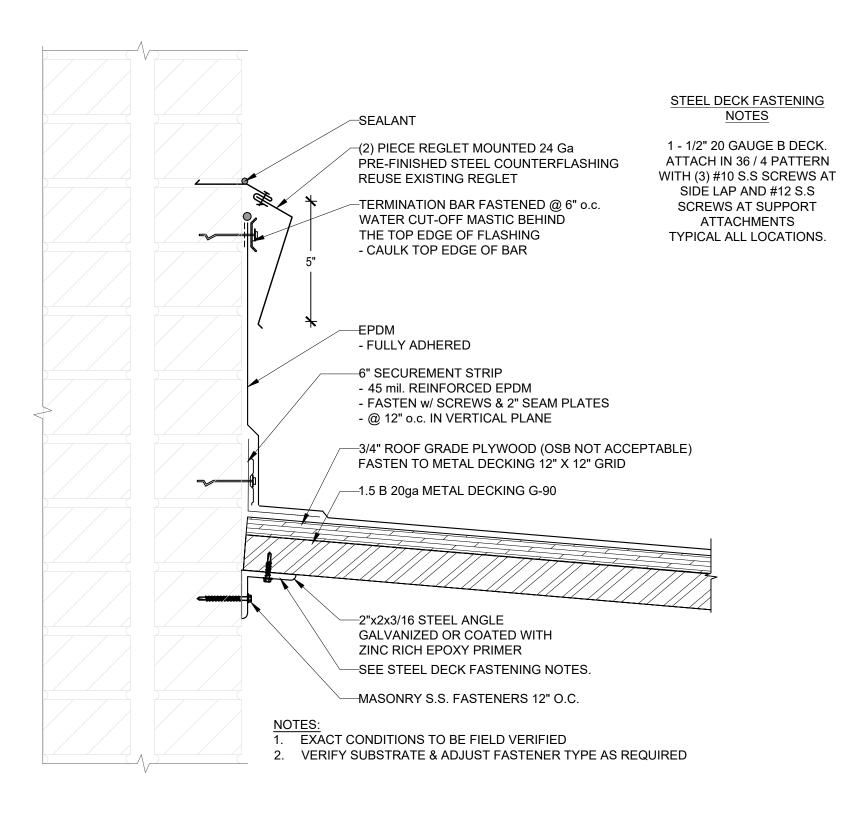
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		New Cornice Roof System / Asses Terra Cotta Cornice (S-400)						
		Parapet W/ Bell CopingTile - Not In Scope						
		Parapet W/ Terra Cotta Block Coping - Not In Scope						
		Terra Cotta Decoration at Peak of Pediment - Not in Scope						
		Copper Clad Dome - Not in Scope						

* EPDM ROOF TO BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION









REGLET MOUNTED COUNTER FLASHING

S-400 SCALE: 3" = 1'-0"

IN-PLACE MOCK-UP, ANCHOR PULL-OUT TESTING

INSTALLATION PROCEDURES ARE BASED ON VISUAL OBSERVATION AND ASSUMPTIONS OF STABILITY AND SOUNDNESS OF EXISTING MATERIALS TO BE FASTENED INTO. CONTRACTOR TO INCLUDE AN INITIAL IN-PLACE MOCK-UP OF 8' SECTION OF CORNICE REPAIRS, ROOF INSTALLATION, TUCK POINTING, AND SURFACE CLEANING. CONTRACTOR TO PROVIDE 3RD PARTY PULL-OUT TESTING OF SCREW FASTENERS INTO MASONRY AND TERRA COTTA AND STITCH ANCHORS INTO MASONRY IN CORNICE CAVITY. CONTRACTOR TO COORDINATE SCHEDULE WITH ARCHITECT / ENGINEER TO ALLOW FOR IN-PROGRESS OBSERVATIONS TO BE MADE. ALL OBSERVATIONS AND TEST RESULTS OF MOCK UP ASSEMBLY TO BE REVIEWED AND APPROVED BY ARCHITECT / ENGINEER PRIOR TO AUTHORIZING FULL SCALE PRODUCTION WORK OF REPAIRS OUTLINED IN THESE DRAWINGS.

1. <u>CORNICE DEMOLITION, INSPECTION, REINFORCE</u>

NOTE: TO MAINTAIN STABILITY OF CORNICE, SEQUENCE STEPS a - e TO BE COMPLETED IN SECTIONS NOT LONGER THAN 10 FEET.

a. REMOVE 1) METAL ROOFING

2

- 2) 3" TERRA COTTA BOOK TILE
- 3) BED MORTAR
- b. REMOVE ALL DEMOLITION DEBRIS FROM CORES OF STACKED TERRA COTTA.
- 1) LARGE PIECES BY HAND 2) SMALL PIECES WITH SHOP VAC

c. ENGINEER TO PERFORM THOROUGH INSPECTION OF TERRA COTTA TO INCLUDE VISUAL OBSERVATION AND SOUNDING WITH PLASTIC HAMMER.

d. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THE PROCESS.

e. AT DIRECTION OF ENGINEER, PERFORM ISOLATED REPAIRS TO TERRA COTTA TO INCLUDE CRACK REPAIRS, SPALL REPAIRS, PINNING AND PATCHING AS NECESSARY

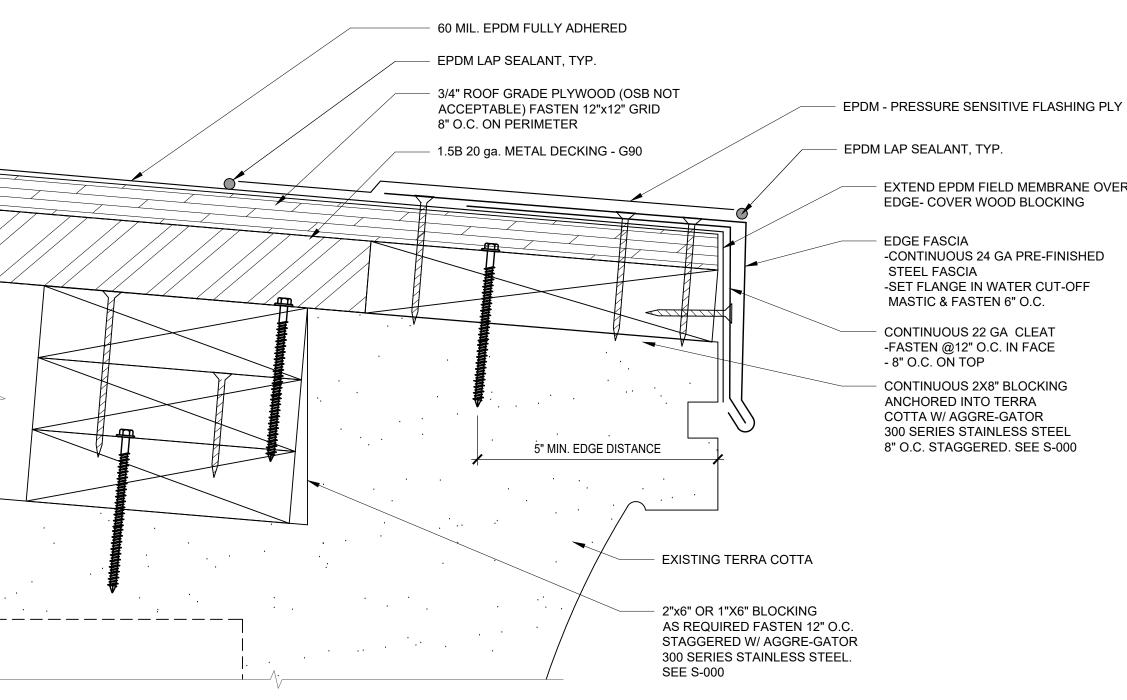
f. INSTALL TWO ROWS OF STITCH ANCHORS IN CORNICE CAVITY AS CALLED OUT ON DETAIL

g. THESE STEPS MUST BE PERFORMED ON A "ONE STRAP AT A TIME" BASIS

- 1) TOP METAL STRAP (CUT OFF FROM WALL, PULL OUT OF SLOT IN TERRA COTTA)
- 2) INSPECT BOTTOM METAL STRAP FOR SOUNDNESS
- 3) IF BOTTOM STRAP NOT SOUND, INSTALL NEW PER DETAIL PRIOR TO REMOVING EXISTING
- 4) IF BOTTOM STRAP IS SOUND, CLEAN TO BRIGHT METAL FINISH AND INSTALL ZINC ENRICHED PRIMER PAINT COVERED WITH A HIGH QUALITY ZINC RICH EPOXY PAINT OR INSTALL TWO COATS OF TNEMEC CHEMBUILD 135
- 5) INSTALL TOP STAINLESS STEEL METAL STRAPS PER DETAIL.





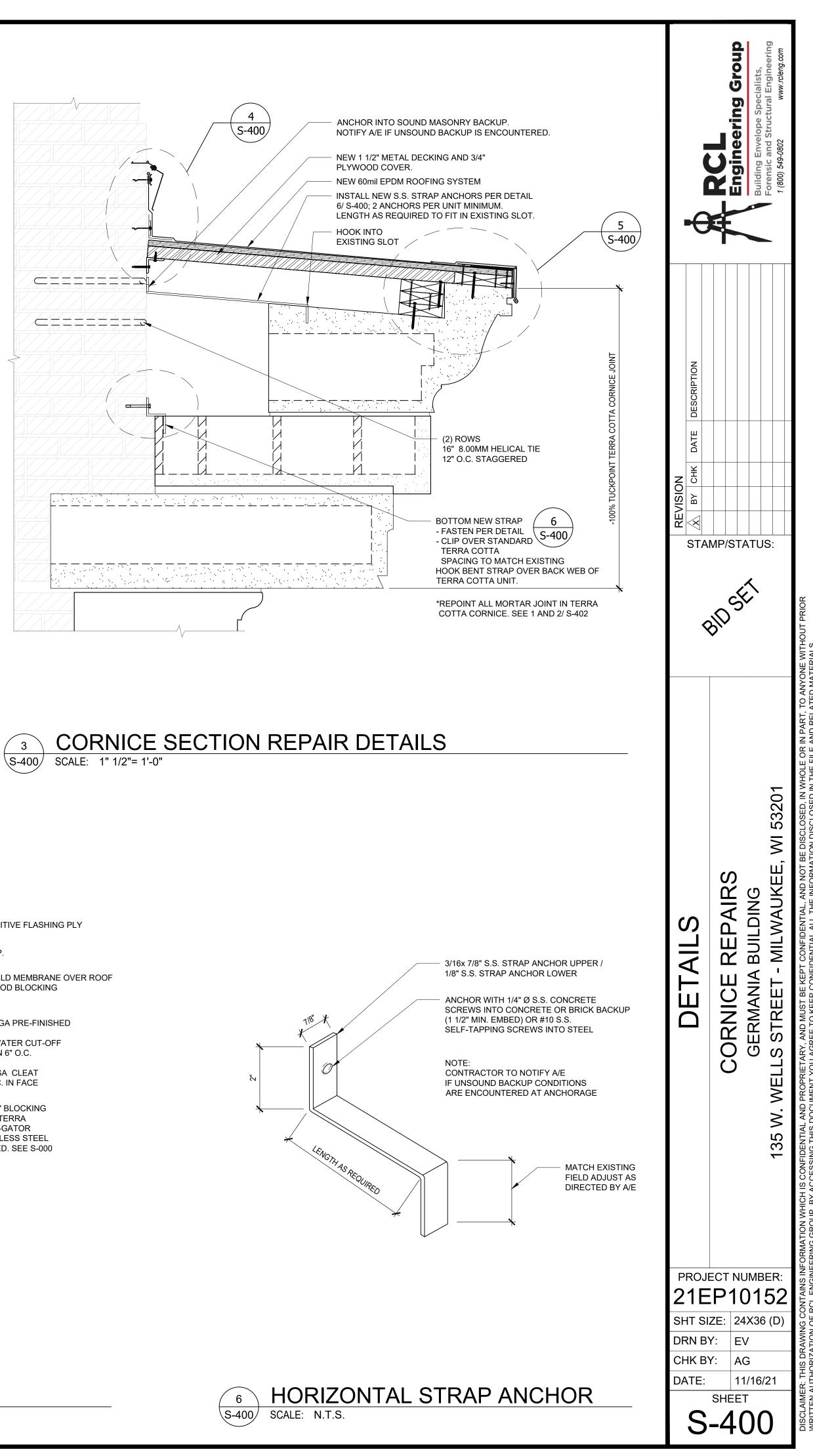


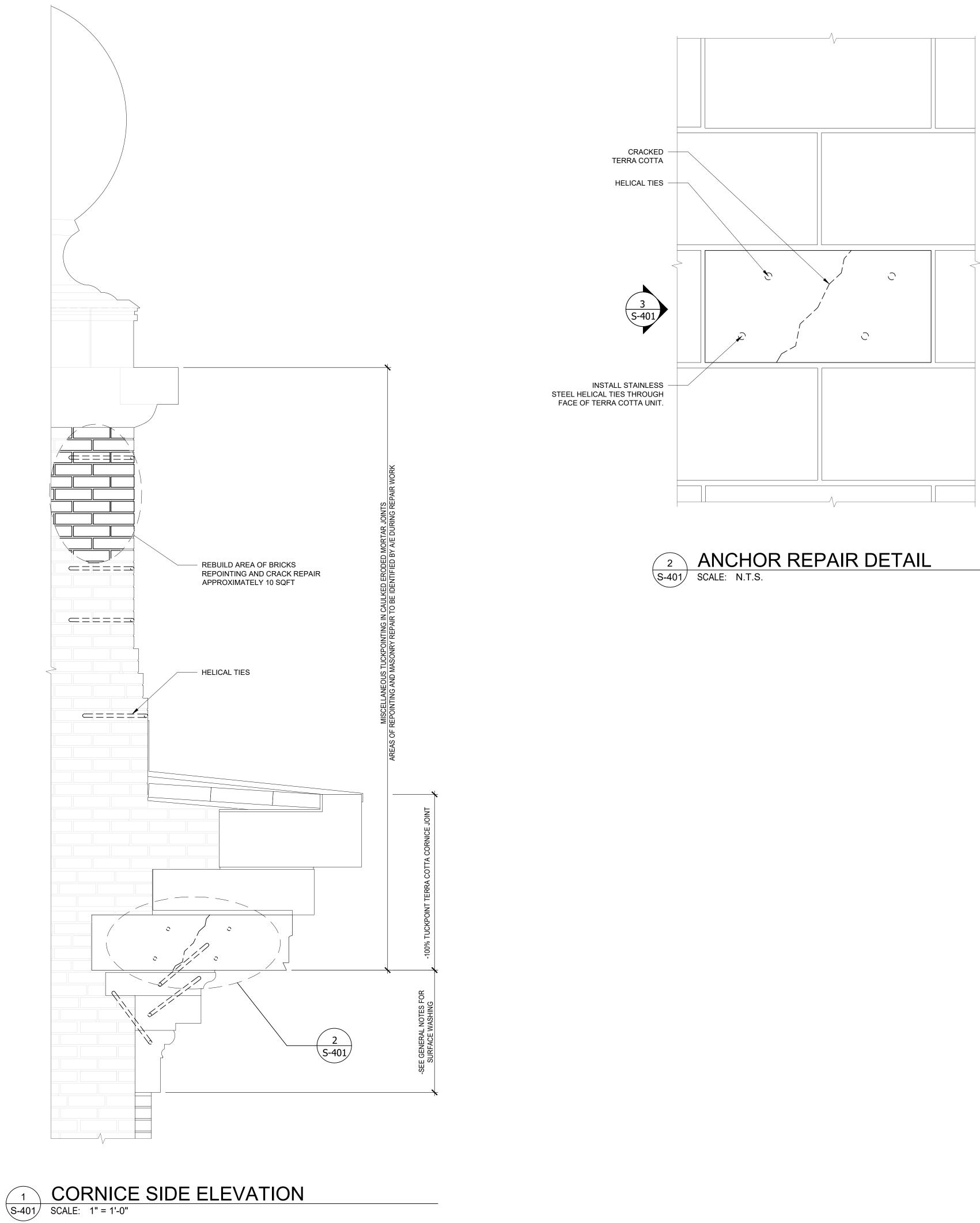


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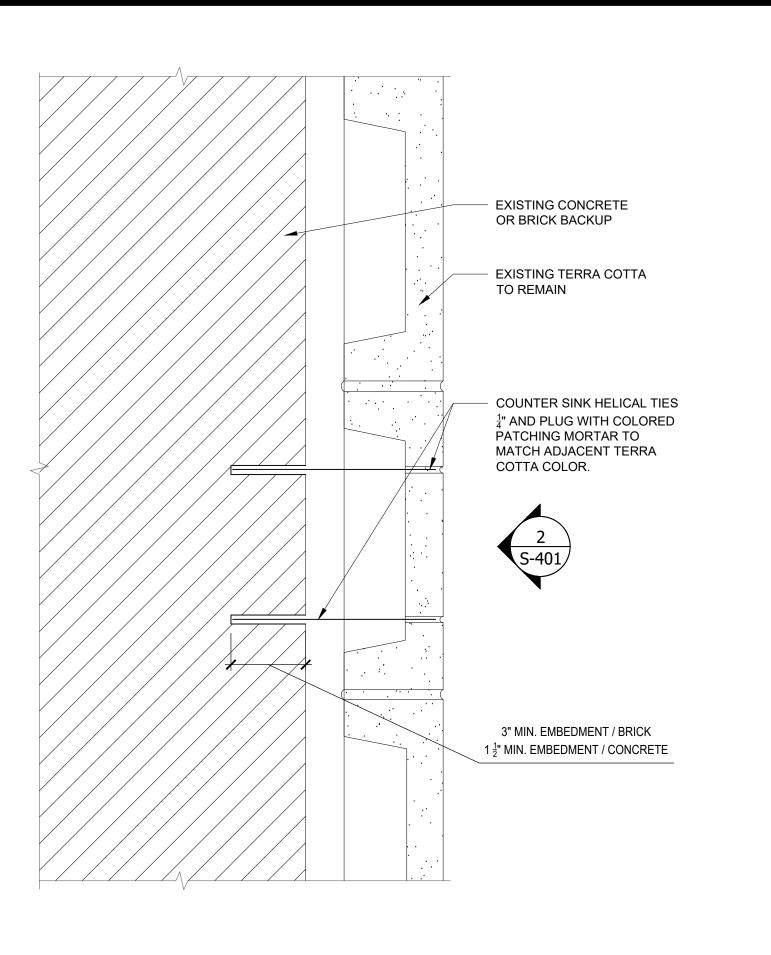


EXTEND EPDM FIELD MEMBRANE OVER ROOF









TYP. HELICAL ANCHOR REPAIR 3 TYP. HE S-401 SCALE: N.T.S.

