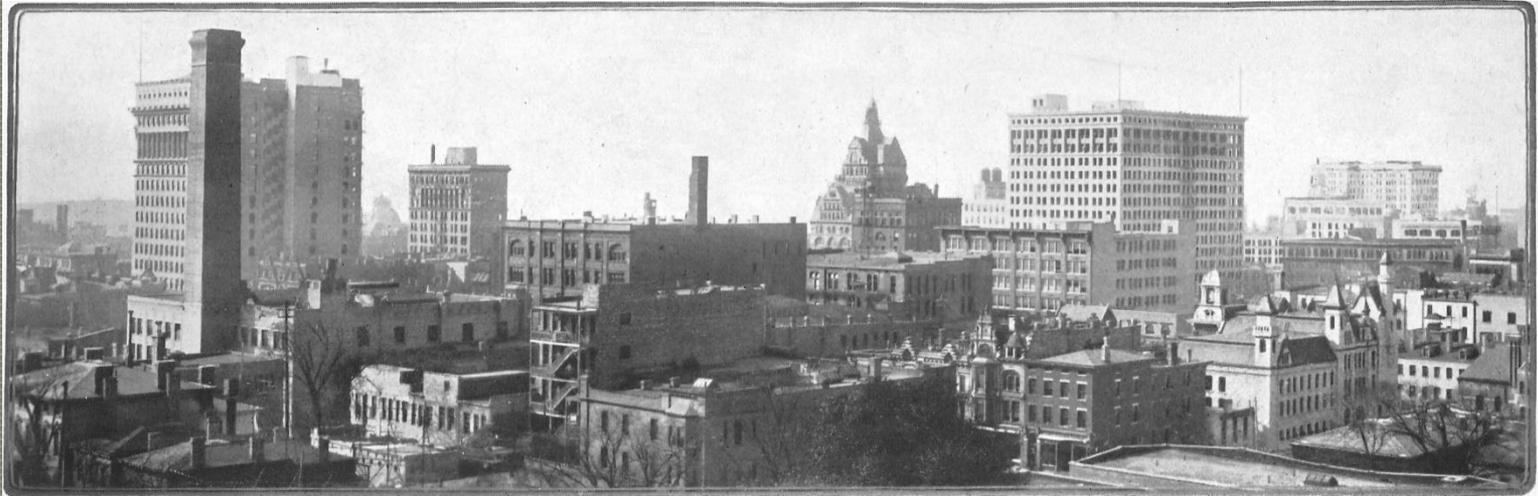


Milwaukee Historic Preservation Commission

June 1, 2020



If you wish to speak on an issue or have your opinion noted by the commission, please fill out a form at the door and hand it to us

1. 140672

Resolution relating to a Certificate of
Appropriateness for a mothball
certificate for portions of the Henry Palmer
Lodge/Love Tabernacle, an
individually designated structure at 2640 N.
1st Street.

October 2017
Google view



6/1/2020

2. 180407

Resolution relating to a Certificate of
Appropriateness for replacement of
windows and for mothball status at 1688 -
1690 N. Franklin Place in the
Brady Street Historic District for Iliya Torbica
of Shepards LLC.



Front
Completed last
year

6/1/2020



Window Form Options

TRUE ARCH, NEEDED ON
REAR



WOOD ARCH, ADEQUATE
FOR SIDES



Recommendation

- Economic changes in last 6 months
- Bad time to change windows in occupied building
- One final 6 month extension
- Consider additional extension for rear if south side is done by end of this year.

3. 191520

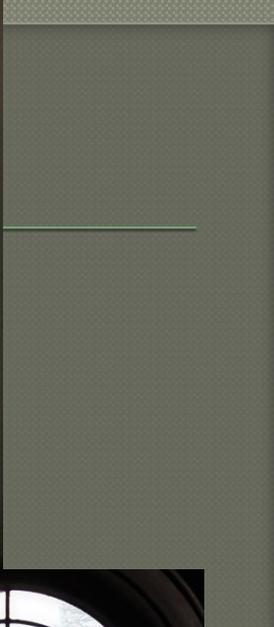
Resolution relating to a Certificate of Appropriateness for mothball status at 2804 - 2810 W. Kilbourn Avenue, in the Concordia Historic District, for Sam Stair of S2M2 Real Estate.

Street view of the building ca. 2015



6/1/2020





6/1/2020

Recommendation

- Extend to August meeting
- NPS bears 100% of responsibility for delays

4/29/2007



Subject Bridge



proached from the north and south by branches from the main walk which reach the bridge at an easy grade, and in the center of a short flight of granolithic stone steps, all these meeting in a wide platform at the approach to the bridge. Another bridge that is very pleasing to the eye, is a rustic foot bridge about 60 feet in length built across South Ravine. This bridge was planned by President Wahl and built under his personal direction, which may also be said of the other rustic bridges, quite a number of which were built across the brooks in the bottom of the ravines. One of the most unique is built of an old tree stump.

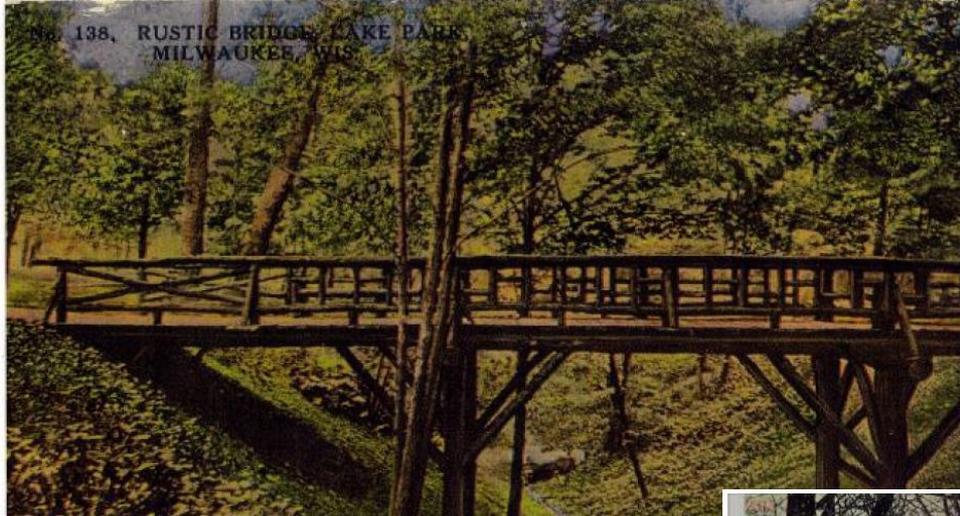


Photo Bi. Circa 1906 Bridge.

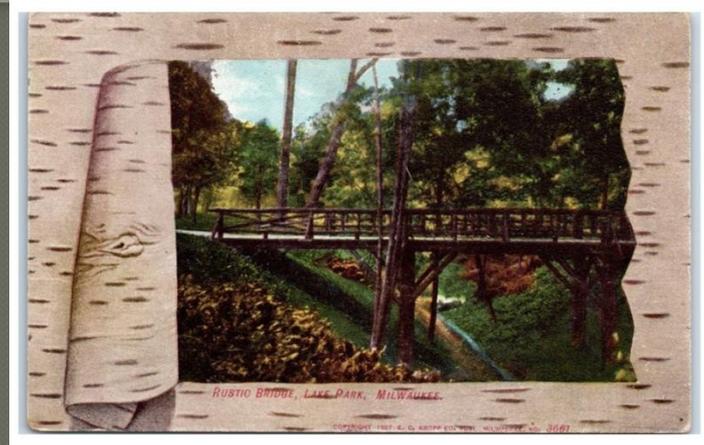


Photo by Miller Bros.

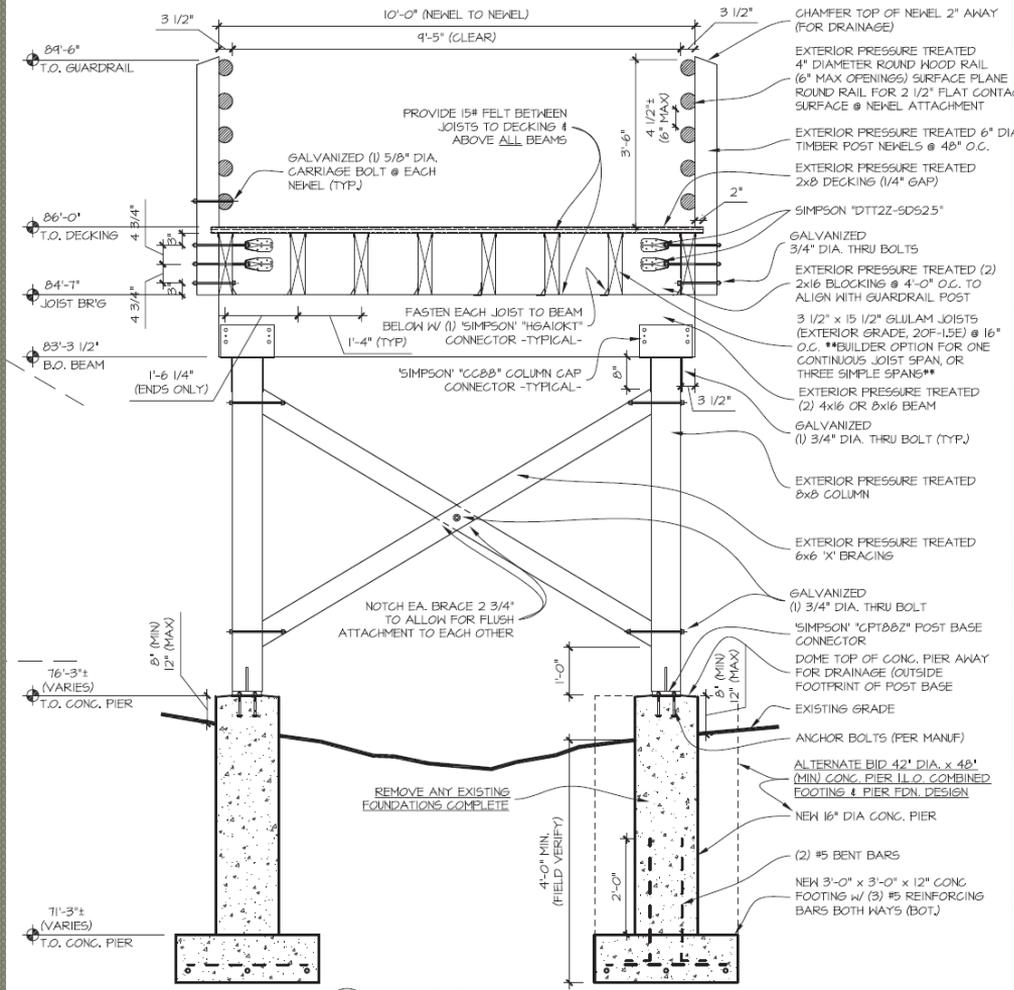
Rustic Bridge, Lake Park.



Photo Bi. Circa 1906 Bridge.







4 SECTION
1/2" = 1'-0"



Approve with conditions

- ~~Wisconsin Historical Society review is required pursuant to Wis. Stats. §§ 44.42 and 66.1111. County must submit proof of WHS approval before the COA will be issued. On file~~
- Wood should be dry and pressure-treated material may not have a noticeable change in color from natural wood nor may show any of the incisions from the pressure-treating process. The typical green color of copper-based treatments is not appropriate.
- Provide material samples of wood components to staff for approval.
- Consider acetylated wood decking.

5. 200025

Resolution relating to a Certificate of
Appropriateness for removal of a
chimney at 2239 N. Terrace Avenue, in the
North Point South Historic
District, for Thomas and Suzanne Roepsch



Typical Views

FROM WATERTOWER PARK



FROM LAKE DRIVE



From Watertower Park

Powerful zoom
lens required for
this view



07/17/2020

Recommendation

- Approve as proposed.

6. 200026

Resolution relating to a Certificate of
Appropriateness for storefront
modifications and new storm windows
at 729 W. Historic Mitchell Street, in
the Mitchell Street Historic District, for
Historic Mitchell Revitalization LLC.

2019



1988

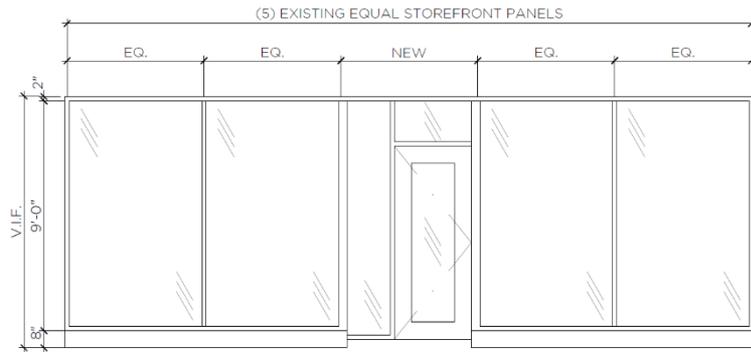
731



NEW EXTERIOR STORM WINDOWS OVER EXISTING WINDOWS

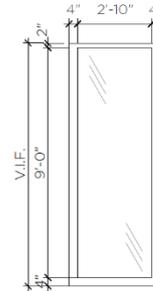
NEW STOREFRONT DOOR TO MATCH EXISTING STOREFRONT

CURB CUT FOR RECESSED ENTRANCE

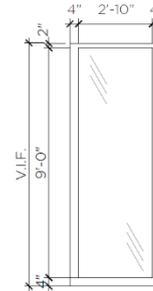


02 STOREFRONT ELEVATION SCALE - 1/2" = 1'-0"

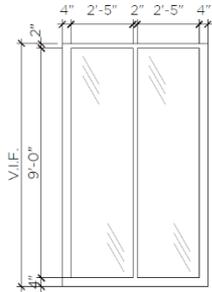
NEW STOREFRONT COLOR AND PROFILE TO MATCH EXISTING.
 NEW STOREFRONT INSTALL DOUBLE 1/4" TEMPERED GLASS. LOW E. PER TABLE 502.3 ZONE 6 REQ'D U VALUE = .45



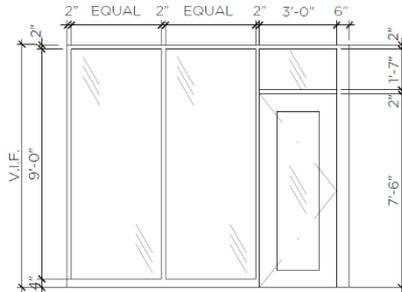
03 STOREFRONT ELEVATION SCALE - 1/2" = 1'-0"



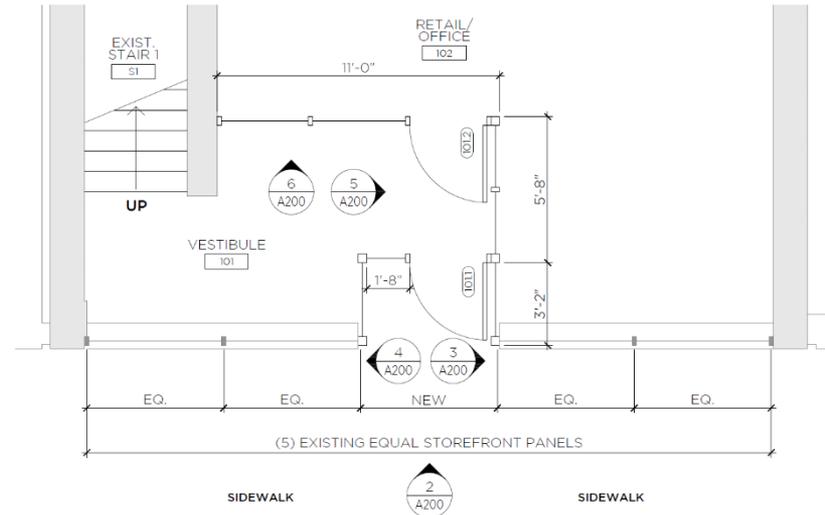
04 STOREFRONT ELEVATION SCALE - 1/2" = 1'-0"



05 STOREFRONT ELEVATION SCALE - 1/2" = 1'-0"



06 STOREFRONT ELEVATION SCALE - 1/2" = 1'-0"



Rec: Approve with conditions

- Submit specific wood storm design for staff approval
- Consider centering new entry door
- Applicant cannot be present, requests HOLD if you do not agree with staff conditions.

7. 200039

Resolution relating to a Certificate of
Appropriateness for a curb cut,
concrete driveway, HVAC equipment,
and related landscaping at 826 N.
29th Street, in the Concordia Historic
District, for David Marshall.



FLOORPLAN SKETCH

Borrower: DAVID MARSHALL

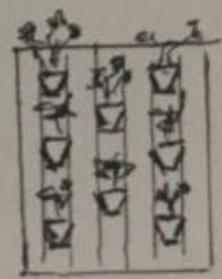
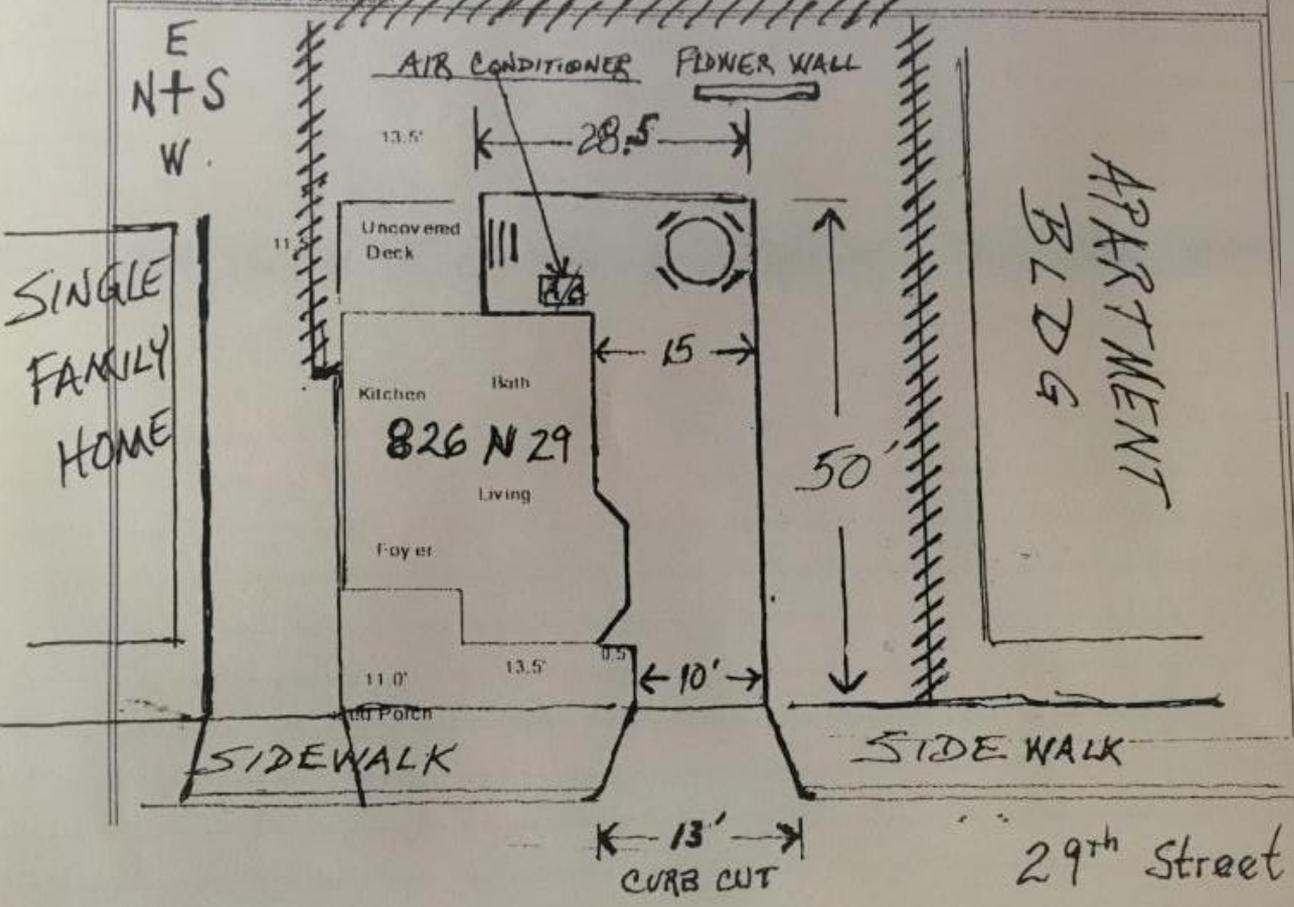
Property Address: 826 N 29TH ST

City: Milwaukee

State: WI

Zip: 53208-401

Lender: See Attached Addendum



FLOWER WALL



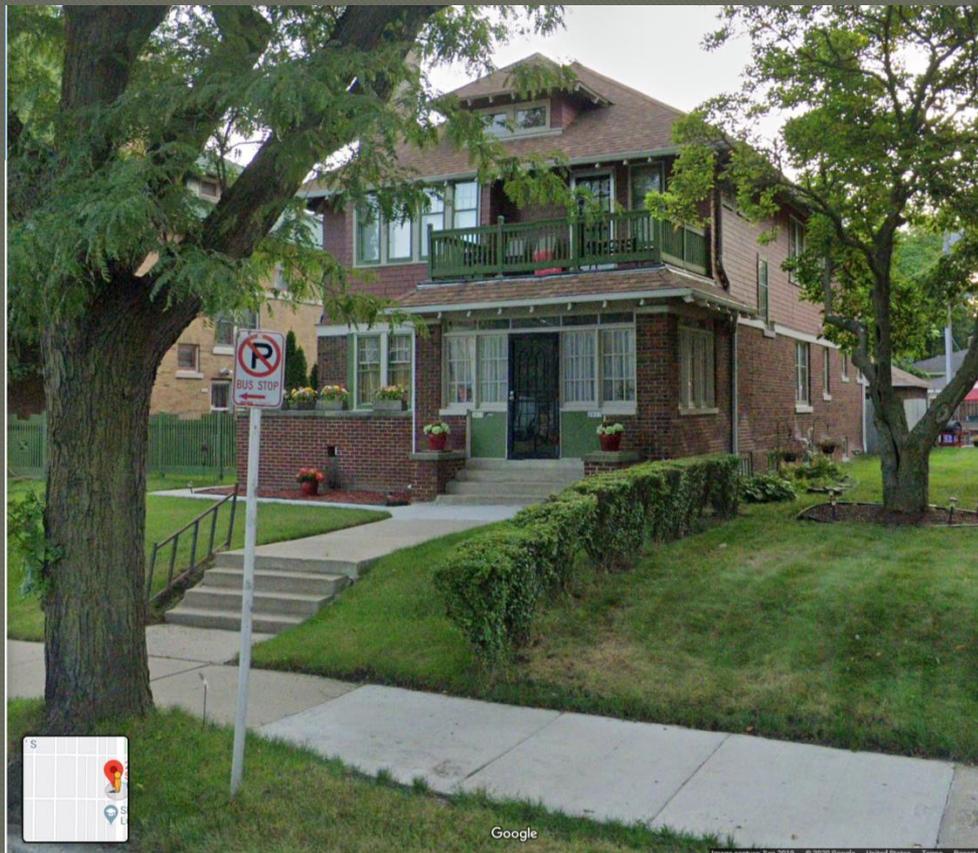
Paved area outlined in spray paint
Garden wall is for obscuring unsightly fan

Recommendation

- Approve concrete work and a/c as proposed
- Hold garden wall for material info and design work

8. 200040

Resolution relating to a Certificate of Appropriateness for handrails at the sidewalk stairs at 2813 N. Sherman Boulevard, in the Sherman Boulevard Historic District, for Lynda Tucker.



6/1/2020



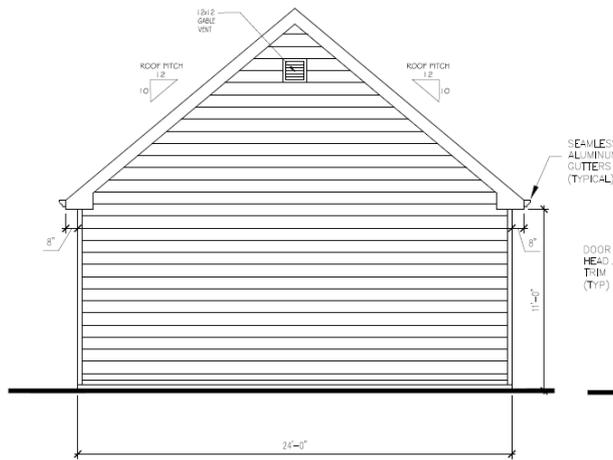
- Exterior mounted balusters not permitted
- Top rail itself must be the graspable surface
- Do not use interior handrail and brackets

Recommendation

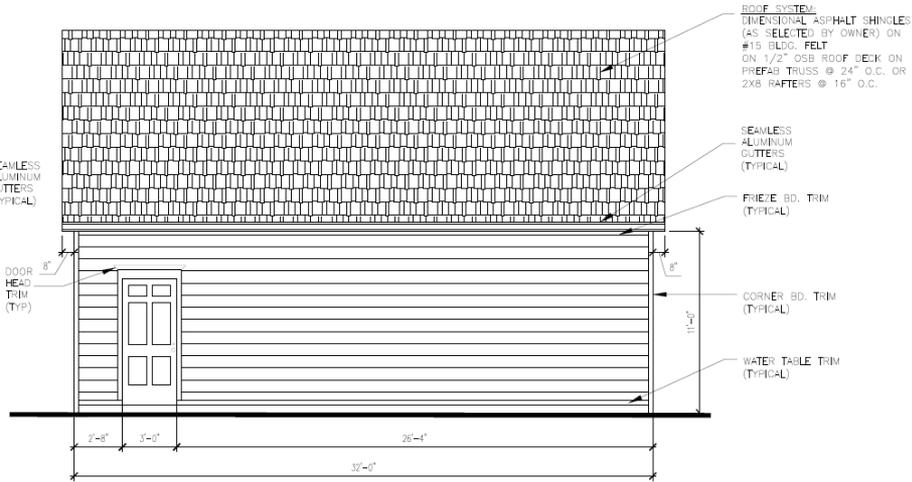
- Approve with conditions
 - Keep posts
 - Replace railings with standard design
 - Paint all

9. 200041

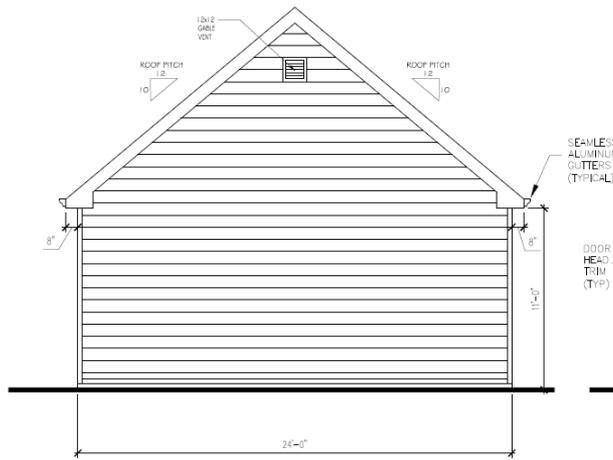
Resolution relating to a Certificate of Appropriateness for construction of a 3-car garage at 2908 W. McKinley Boulevard, in the Cold Spring Park Historic District, for Russell Rueden.



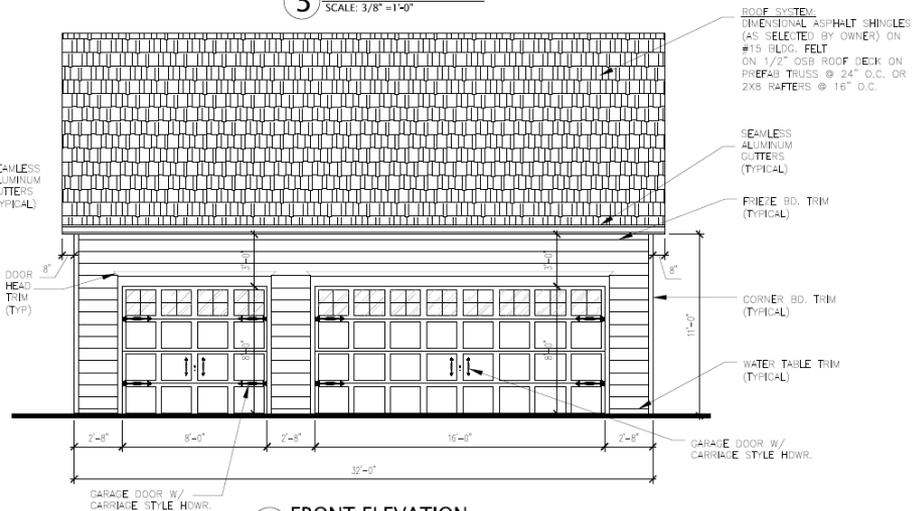
4 LEFT ELEVATION
SCALE: 3/8"=1'-0"



3 REAR ELEVATION
SCALE: 3/8"=1'-0"



2 RIGHT ELEVATION
SCALE: 3/8"=1'-0"

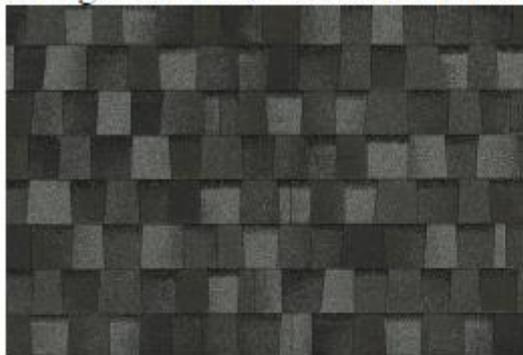


1 FRONT ELEVATION
SCALE: 3/8"=1'-0"

Siding: Smooth Fiber Cement Lap Siding; Brand: James Hardie or LP SmartSide, Spaced to a 3inch Lap to Match the House Dimensions - - Trim is Solid Pine 1x4 Boards Painted White



Shingles: Color: Driftwood; Either Owens Corning® Oakridge® Limited Lifetime Shingles or Atlas Briarwood Pro™ High Definition Limited Lifetime

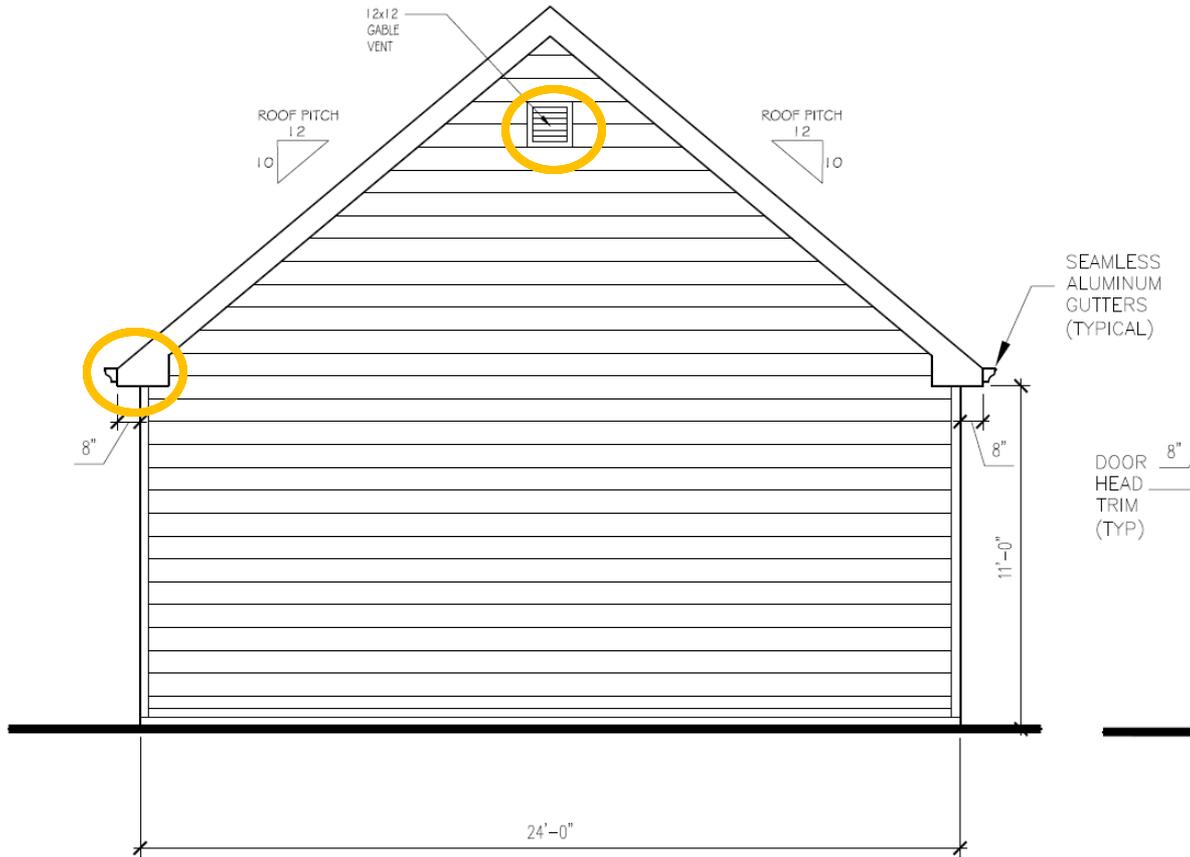


Garage Door: Ideal Door 16' x 8' White Non-Insulated Garage I



Gable Vent: 12-inch x 12-inch





4 LEFT ELEVATION
SCALE: 3/8" = 1'-0"

BEFORE
PORK CHOP



Pork chop eaves are clunky, top-heavy, and not faithful to traditional architecture. Yet they're almost universal in production housing. Why? Because they're simple to build.

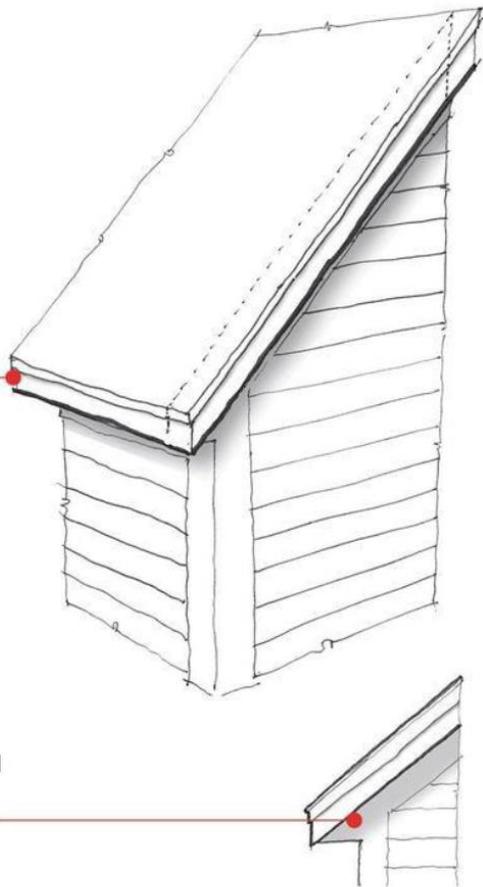


AFTER

SIMPLER BOX RAFTER TAIL

Plumb-out fascia can accept popular K-style gutters.

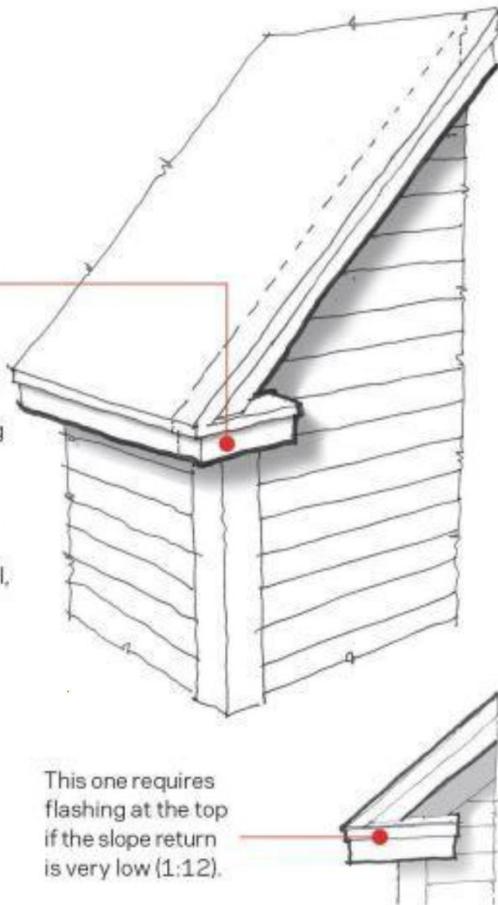
Also best used on farmhouse, Craftsman, and cottage homes, this return has the pros of the boxed rafter tail less the hard-to-install sloping soffit. By keeping the pork chop in shadow behind the extended rake, you still get the clean lines of the boxed rafter.



AFTER

TRADITIONAL RETURN

The return can be built with plumb fascia to receive a K-style gutter, or with a projecting cornice profile and half-round gutter. It's hardest to build, but the most elegant and versatile. Depending on the amount of detail, it can be used on cottage and farmhouse, or Georgian, Federal, or Colonial Revival homes.



This one requires flashing at the top if the slope return is very low (1:12).

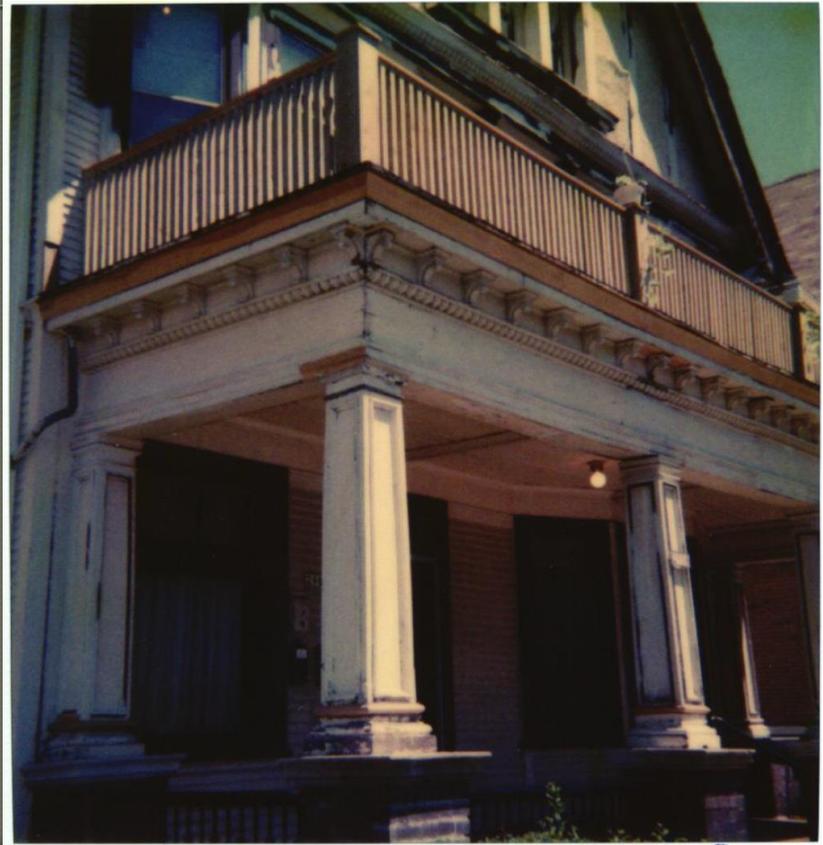
Recommendation

- As proposed with two conditions
 - Change eave return detail
 - Larger gable vent

10. 200042

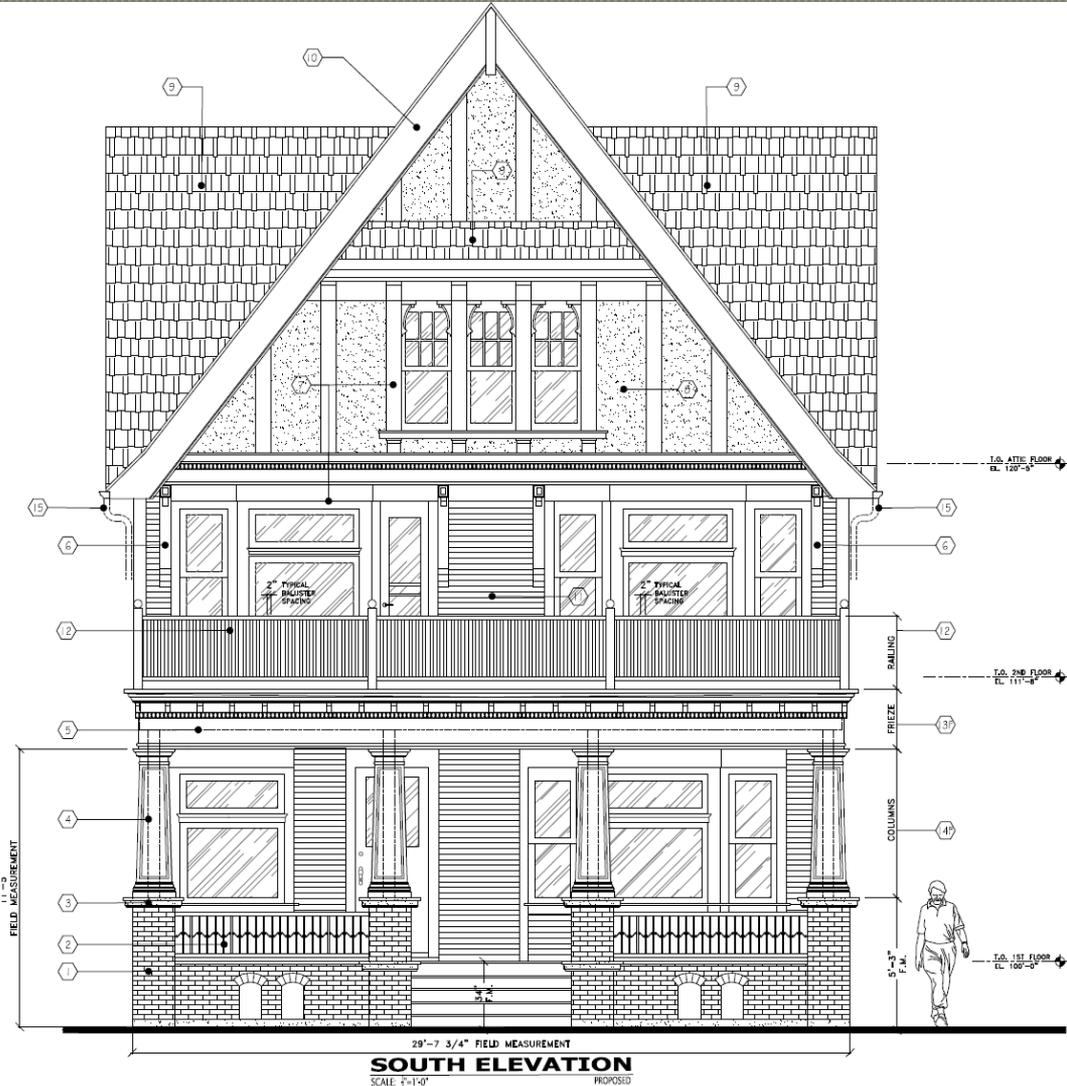
Resolution relating to a Certificate of
Appropriateness for general
rehabilitation of the property at 2908 W.
McKinley Boulevard, in the Cold
Spring Park Historic District, for Russell
Rueden.

Current vs. 1991



1991



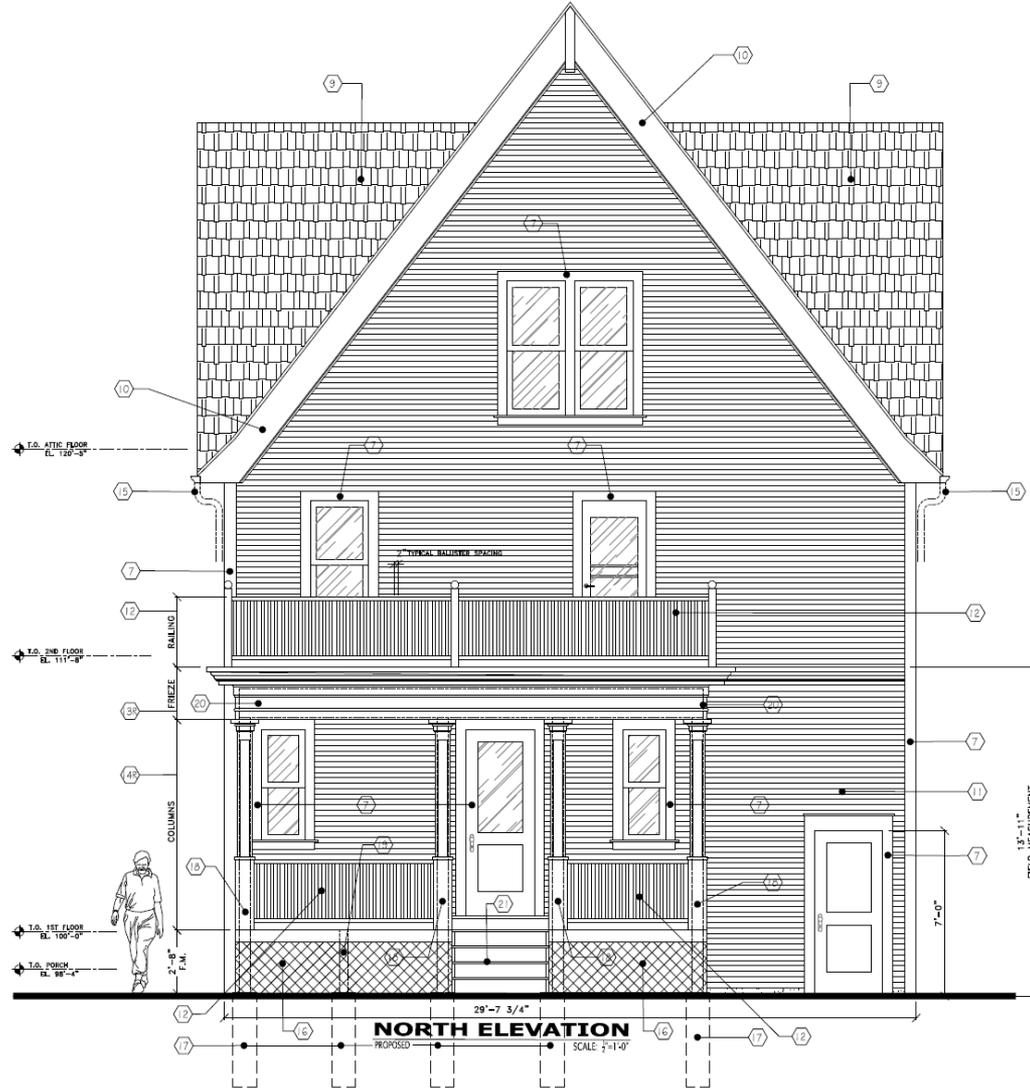


ELEVATION

- (1) EXISTING BRICK PIERS - REPAIR AS REQD.
- (2) EXISTING METAL RAILING - PAINT COLOR SELECTED BY OWNER.
- (3) CONCRETE CAPS - TO REMAIN AS IS.
- (4) EXISTING TREATED GIG COLUMNS TO REMAIN.
- (5) EXISTING LVL BEAM TO REMAIN.
- (6) EXISTING KORBELS TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (7) EXISTING WOOD TRIM TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (8) EXISTING STUCCO SURFACE TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (9) NEW DIMENSIONAL ASPHALT SHINGLES.
- (10) EXISTING FASCIA & RAKE MLDG. WOOD TRIM TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (11) EXISTING WOOD SIDING TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (12) UPPER PORCH RAILING - RAILING - SEE MATERIAL SPECIFICATION DOCUMENT. POSTS - SEE MATERIAL SPECIFICATION DOCUMENT. FINALS - SEE MATERIAL SPECIFICATION DOCUMENT. BALLUSTERS - SEE MATERIAL SPECIFICATION DOCUMENT. (PAINT COLOR TO BE SELECTED BY OWNER)
- (13) FRIEZE TRIM - CROWN - SEE MATERIAL SPECIFICATION DOCUMENT. CORBEL - SEE MATERIAL SPECIFICATION DOCUMENT. EGG AND DART - SEE MATERIAL SPECIFICATION DOCUMENT. BEAD - SEE MATERIAL SPECIFICATION DOCUMENT. BOX BEAM - SEE MATERIAL SPECIFICATION DOCUMENT. (PAINT COLOR TO BE SELECTED BY OWNER)
- (14) COLUMNS - TAPPED BOX COLUMNS - SEE MATERIAL SPECIFICATION DOCUMENT. CROWN - SEE MATERIAL SPECIFICATION DOCUMENT. BEAD - SEE MATERIAL SPECIFICATION DOCUMENT. PANELS - SEE MATERIAL SPECIFICATION DOCUMENT. UPPER BASE - SEE MATERIAL SPECIFICATION DOCUMENT. LOWER BASE - SEE MATERIAL SPECIFICATION DOCUMENT. (PAINT COLOR TO BE SELECTED BY OWNER)
- (15) Replace Existing Gutters With Half-Round Gutters, As Specified.



Steel door
requested here for
security and
ground contact.
Present door is in
poor condition



ELEVATION SYMBOL KEY:

- (7) EXISTING WOOD TRIM TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (9) NEW DIMENSIONAL ASPHALT SHINGLES.
- (10) EXISTING FASCIA & RAKE MLDG. WOOD TRIM TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (11) EXISTING WOOD SIDING TO BE PAINTED COLOR TO BE SELECTED BY OWNER.
- (12) UPPER & LOWER PORCH RAILING:
RAILING - SEE MATERIAL SPECIFICATION DOCUMENT.
POSTS - SEE MATERIAL SPECIFICATION DOCUMENT.
PINALS - SEE MATERIAL SPECIFICATION DOCUMENT.
BALUSTERS - SEE MATERIAL SPECIFICATION DOCUMENT.
(PAINT COLOR TO BE SELECTED BY OWNER)
- (38) FRIEZE TRIM:
CROWN - SEE MATERIAL SPECIFICATION DOCUMENT.
QUARTER ROUND - SEE MATERIAL SPECIFICATION DOCUMENT.
TOP ARCHIV - SEE MATERIAL SPECIFICATION DOCUMENT.
BEAD - SEE MATERIAL SPECIFICATION DOCUMENT.
BOX BEAM - SEE MATERIAL SPECIFICATION DOCUMENT.
(PAINT COLOR TO BE SELECTED BY OWNER)
- (48) COLUMNS:
BOX UPPER COLUMN - SEE MATERIAL SPECIFICATION DOCUMENT.
CAPITAL TOP CAP - SEE MATERIAL SPECIFICATION DOCUMENT.
TOP ARCHIV - SEE MATERIAL SPECIFICATION DOCUMENT.
BOX LOWER COLUMN - SEE MATERIAL SPECIFICATION DOCUMENT.
BEAD - SEE MATERIAL SPECIFICATION DOCUMENT.
HALF ROUND - SEE MATERIAL SPECIFICATION DOCUMENT.
CORNER GUARDS - SEE MATERIAL SPECIFICATION DOCUMENT.
(PAINT COLOR TO BE SELECTED BY OWNER)
- (15) Replace Existing Gutters With Half Round Gutters, As Specified
- (16) PORCH SKIRT - Picture-Framed 4 ft. x 8 ft. Wood Lattice.
- (17) 12" DIAMETER x 48" DEPTH SOLID CONCRETE PIERS ON COMPACTED GRAVEL BASE.
- (18) 6x6 PRESSURE TREATED WOOD COLUMNS.
- (19) 4x4 PRESSURE TREATED WOOD COLUMN.
- (20) LVL BEAM SIZE TO MATCH EXISTING LVL BEAM AT FRONT PORCH.
- (21) 2x WOOD STEPS, TO BE PAINTED COLOR TO BE SELECTED BY OWNER.

11. 200047

Resolution relating to a Certificate of
Appropriateness for changing the
type of roofing material at 2720 E
Bradford Avenue, in the North Point
North Historic District, for Matthew and
Mary Flynn.





LANDMARK®

Garage



Recommend Denial

- Deny house
- Allow for garage

12. 191940

Resolution relating to a Certificate of
Appropriateness for alterations to a
monument sign at 814 W. Wisconsin
Avenue, the Milwaukee Public Library
(Central), an individually designated
historic property, for the Milwaukee
Public Library.

Cream of the Cream City Awards

Cancelled