



City of Milwaukee

200 E. Wells Street
Milwaukee, Wisconsin
53202

Meeting Agenda HISTORIC PRESERVATION COMMISSION

ALLYSON NEMEC, CHAIR

*Patricia Balon, Randy Bryant, Ald. Robert Bauman, Matt Jarosz,
Ann Pieper Eisenbrown and Blair Williams
Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,
clee@milwaukee.gov*

*HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;
Paul Jakubovich, 286-5712, pjakub@milwaukee.gov*

Tuesday, February 14, 2012

3:00 PM

Room 301-B, City Hall

1. Roll Call.
2. Review and approval of the previous minutes of January 10, 2012.
3. [111367](#) Resolution relating to a Certificate of Appropriateness for renovations to driveway and walkway and landscaping at 2635 N. Wahl Avenue for David Olsen.
Sponsors: THE CHAIR
4. [111375](#) Resolution relating to a Certificate of Appropriateness for gate, fence and in-ground swimming pool at 2221 N. Terrace Avenue for Andrew Nunemaker.
Sponsors: THE CHAIR
5. [111430](#) Resolution relating to a Certificate of Appropriateness for new second story and rear addition at 728 E. Brady Street for Alaa Musa.
Sponsors: THE CHAIR
6. Election of a Vice-Chair.
7. Announcements and Updates.
8. The following files represent staff approved Certificates of Appropriateness:
 - a. [111251](#) Resolution relating to a Certificate of Appropriateness for restoration of windows at 2360 N. Terrace Avenue for Leniwati Siker.
Sponsors: THE CHAIR
 - b. [111255](#) Resolution relating to a Certificate of Appropriateness for installing of new signage at 1300 E. Brady Street for JWK Management LLC.
Sponsors: THE CHAIR

- c. [111279](#) Resolution relating to a Certificate of Appropriateness for installation of new wood doors at 3014 W. McKinley Blvd. for Stephanie Powe.
Sponsors: THE CHAIR

- d. [111304](#) Resolution relating to a Certificate of Appropriateness for installing of new signage at 1150 E. Brady Street for Three Holy Women Congregation.
Sponsors: THE CHAIR

- e. [111305](#) Resolution relating to a Certificate of Appropriateness for installation of a new dormer at 2210 N. Sherman Blvd. for the City of Milwaukee.
Sponsors: THE CHAIR

- f. [111316](#) Resolution relating to a Certificate of Appropriateness for installation of stone curbing and plantings along the service walk at 2878 N. Sherman Blvd. for Art Dahlberg and Karen Johnson.
Sponsors: THE CHAIR

- g. [111341](#) Resolution relating to a Certificate of Appropriateness for replacement of the front door at 2822 E. Bellevue Place for Michael and Cindy Hosale and Dianne Dziengel.
Sponsors: THE CHAIR

- h. [111343](#) Resolution relating to a Certificate of Appropriateness for installation of a central air conditioning unit at 2221 N. Terrace Avenue for Andrew Nunemaker.
Sponsors: THE CHAIR

- i. [111348](#) Resolution relating to a Certificate of Appropriateness for exterior renovations at 1009-1011 N. 33rd Street for the Forest County Potawatomi Community.
Sponsors: THE CHAIR

- j. [111358](#) Resolution relating to a Certificate of Appropriateness for installation of PVC vent for heating at 3002 W. Kilbourn Ave. for Brian Janis.
Sponsors: THE CHAIR

- k. [111377](#) Resolution relating to a Certificate of Appropriateness for installation of a boiler and venting at 2359 N. Sherman Blvd. for Sharon Lockhart.
Sponsors: THE CHAIR

- l. [111413](#) Resolution relating to a Certificate of Appropriateness for exterior repairs at 2470 N. Grant Blvd. for Thaddeus Harrison.
Sponsors: THE CHAIR

This meeting will be webcast live at www.milwaukee.gov/channel25.

Members of the Common Council and its standing committees who are not members of this committee may attend this meeting to participate or to gather information. Notice is given that this meeting may constitute a meeting of the Common Council or any of its standing committees, although they will not take any formal action at this meeting.

Upon reasonable notice, efforts will be made to accommodate the needs of persons with disabilities through sign language interpreters or auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at 286-2998, (FAX)286-3456, (TDD)286-2025 or by writing to the Coordinator at Room 205, City Hall, 200 E. Wells Street, Milwaukee, WI 53202.

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Persons engaged in lobbying as defined in s. 305-43-4 of the Milwaukee Code of Ordinances are required to register with the City Clerk's Office License Division. Registered lobbyists appearing before a Common Council committee are required to identify themselves as such. More information is available at www.milwaukee.gov/lobby.



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200 E. Wells Street
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53202

Meeting Minutes HISTORIC PRESERVATION COMMISSION

ALLYSON NEMEC, CHAIR

Patricia Balon, Randy Bryant, Ald. Robert Bauman, Matt Jarosz, Ann Pieper Eisenbrown and Blair Williams
Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,
clee@milwaukee.gov

HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;
Paul Jakubovich, 286-5712, pjakub@milwaukee.gov

Tuesday, January 10, 2012

3:00 PM

Room 301-B, City Hall

Meeting convened at 3:01p.m.

Individual also present:

Paul Jakubovich, Historic Preservation Commission Planner

1. Roll Call.

Present: 6 - Nemec, Balon, Pieper Eisenbrown, Jarosz, Bauman, Bryant

Excused: 1 - Williams

2. Review and approval of the previous minutes of December 19, 2011.

Ald. Bauman moved to accept minutes from the December 19, 2011 meeting, seconded by Mr. Bryant. Mrs. Balon excused from voting. There were no objections

3. 110226 Resolution relating to a Certificate of Appropriateness for exterior renovations at 611 N. Broadway for First MKD, LLC.

Sponsors: THE CHAIR

Individuals present:

David Plank, Kahler Slater

Kevin Donahue, Historic Milwaukee Inc.

Motion by Ald. Bauman, seconded by Mr. Jarosz to move approval. There were no objections.

A motion was made by ALD. BAUMAN, seconded by Matt Jarosz, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 6 - Balon, Jarosz, Bryant, Nemec, Pieper Eisenbrown, and Bauman

No: 0

Excused: 1 - Williams

4. Announcements and Updates.

5. The following files represent staff approved Certificates of Appropriateness:

- a. 111195 Resolution relating to a Certificate of Appropriateness for installation of air conditioning units and air handlers at 2574 N. Terrace Avenue for Allen Cooper.

Sponsors: THE CHAIR

A motion was made by Patricia Balon, seconded by Ann Pieper Eisenbrown, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 6 - Balon, Jarosz, Bryant, Nemec, Pieper Eisenbrown, and Bauman

No: 0

Excused: 1 - Williams

- b. 111230 Resolution relating to a Certificate of Appropriateness for installation of sidewall venting for a hot water heater at 2851 N. Grant Blvd. for Thomas Roberts.

Sponsors: THE CHAIR

A motion was made by Patricia Balon, seconded by Ann Pieper Eisenbrown, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 6 - Balon, Jarosz, Bryant, Nemec, Pieper Eisenbrown, and Bauman

No: 0

Excused: 1 - Williams

- c. 111231 Resolution relating to a Certificate of Appropriateness for replacement of air conditioning units and installation of sidewall venting for a new furnace at 3047 N. Sherman Blvd. for Lakeia Jones.

Sponsors: THE CHAIR

A motion was made by Patricia Balon, seconded by Ann Pieper Eisenbrown, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:

Aye: 6 - Balon, Jarosz, Bryant, Nemec, Pieper Eisenbrown, and Bauman

No: 0

Excused: 1 - Williams

Meeting adjourned at 3:16 p.m.
Joanna Polanco, Staff Assistant

This meeting can be viewed in its entirety through the City's Legislative Research Center at <http://milwaukee.legistar.com/calendar>.



Legislation Details (With Text)

File #:	111367	Version:	0
Type:	Resolution	Status:	In Committee
File created:	2/1/2012	In control:	HISTORIC PRESERVATION COMMISSION
On agenda:		Final action:	
Effective date:			
Title:	Resolution relating to a Certificate of Appropriateness for renovations to driveway and walkway and landscaping at 2635 N. Wahl Avenue for David Olsen.		
Sponsors:	THE CHAIR		
Indexes:	HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION		
Attachments:	Application, HPC Staff Report		

Date	Ver.	Action By	Action	Result	Tally
2/1/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111367
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for renovations to driveway and walkway and landscaping at 2635 N. Wahl Avenue for David Olsen.

Requestor

Drafter
CC-CC
dkf
2/1/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Historic Watertown Neighborhood

ADDRESS OF PROPERTY:

2635 N. Wahl Avenue, Milwaukee, WI

2. NAME AND ADDRESS OF OWNER:

Name(s): David A. Olsen and Janet D. Olsen Joint Revocable Trust, David A. and Janet D. Olsen, Trustees

Address: 2635 N. Wahl Avenue

City: Milwaukee

State: Wisconsin

ZIP 53211

Email: jolsen@wi.rr.com

Telephone number (area code & number) Daytime: 414/350-1709

Evening: 414/350-1709

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Proposed work will affect the following:

1. The tile floor and entrance wall of the entrance porch.
The wall measures 17" high, 15" wide with a 3" x 17" x 17" rock-faced limestone cap. The wall is wet-laid, random ashlar limestone in very good condition.
2. The 4' wide concrete entrance walk and two concrete steps with risers of uneven heights.
3. The 13' wide concrete driveway that widens to 19"
4. The concrete walk and landing at the rear entrance
5. The plant materials that surround the east side of the house excluding the crabapple on the northeast corner. These are a Sargent crabapple, groups of spreading yews, a burning bush and upright yew. These plants are large and overgrown.

Photo No. 1-6

Drawing No. _____

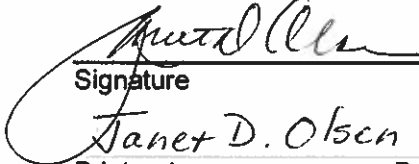
- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See attached sheet.

Photo No. _____

Drawing No. 1-4

6. **SIGNATURE OF APPLICANT:**


Signature
Janet D. Olson 1-20-12
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

5. B

The proposed work will be:

1. A 4' wide opening on the south side of existing wall surrounding the entrance porch.
There will be two bluestone steps, 3'6" x 15" x 6", leading to a dry-laid pattern bluestone terrace at grade level surrounded by a 19" high seat wall that will replicate the wall at the entrance porch. The tile on the existing entrance porch will be replaced with wet-laid pattern bluestone. The bluestone terrace will be bordered by a double row of 5" x 5" tumbled Lannon stone cobbles. Bluestone paving, 6' wide, will connect the terrace to the driveway.

A railing will be placed on the north side of the steps to the entrance.
See railing detail.

Two basement windows will be blocked up to allow space for plantings between bluestone paving and house.
2. A new 5'6" wide dry-laid bluestone entrance walk will replace the existing concrete walk. Two 5'6" x 15" x 6" steps constructed of 2" bluestone treads and 4" wet-laid Lannon stone risers will connect the entrance walk to the entrance porch. There will be a 13'6" landing of the same material at the curb.
3. The existing concrete driveway will be widened to 25'9" near the garage. A new concrete driveway with a 15" wide border of Germantown pavers will replace the drive. The pavers measure 5" x 5" x 2".
4. New foundation plantings consisting of spreading yews, boxwood, dwarf lilac, low juniper and pachysandra will surround the east side of the house. An ornamental pear tree under-planted with groundcover will be placed on the lawn.
5. The concrete landing at the side entrance will be clad in wet-laid pattern bluestone.



1. Partial view of driveway and southeast corner of house



2. East elevation showing concrete walk and foundation plantings



3. Side entrance from driveway



4. Partial view, south border of concrete drive



5. Entrance porch with stone wall and tile paving.



6. South and east section of entrance porch wall.



7. Existing Driveway



1/4" = 1'-0"



WALL ONLY $\frac{1}{4}" = 1'-0"$
EAST ELEVATION
2635 N WAHL AVE

①



WALL ONLY
EAST ELEVATION
2635 N WAHL AVE
1/4" = 1'-0"

Architectural elevation drawing of a house, likely a side or rear elevation, showing a gabled roof, multiple windows, a central door, and decorative elements. The drawing includes numerous handwritten annotations and callouts:

- Line of bldg sect**: A dashed line indicating the section line.
- Side**: A label indicating the side of the building.
- Line of slate roof**: A dashed line indicating the roofline.
- Wood frame**: A label pointing to a structural element.
- Corred. see detail**: A label pointing to a correction or detail reference.
- For pitch of roof - between dormers see sheet 4**: A note regarding the roof pitch.
- hood**: A label pointing to a roof feature.
- store**: A label pointing to a storage area or window.
- Outer**: A label pointing to an exterior feature.
- Cond**: A label pointing to a condensation or condition note.
- Inside cond**: A label pointing to an interior condition note.
- Outlet**: A label pointing to an outlet feature.
- wood sculler**: A label pointing to a wooden sculler or similar feature.
- For bay window see sheet 2**: A note regarding a bay window detail.
- 7'6"**: A dimension line indicating a height or width.
- 8'0"**: A dimension line indicating a height or width.
- Full end of bay**: A label pointing to the end of a bay window.

The drawing also features decorative elements such as trees, shrubs, and a central arched doorway. The overall style is that of a traditional architectural sketch or elevation.

WALL & PLANTS $\frac{1}{8}" = 1'-0"$
EAST ELEVATION
2635 N WAHL AVE

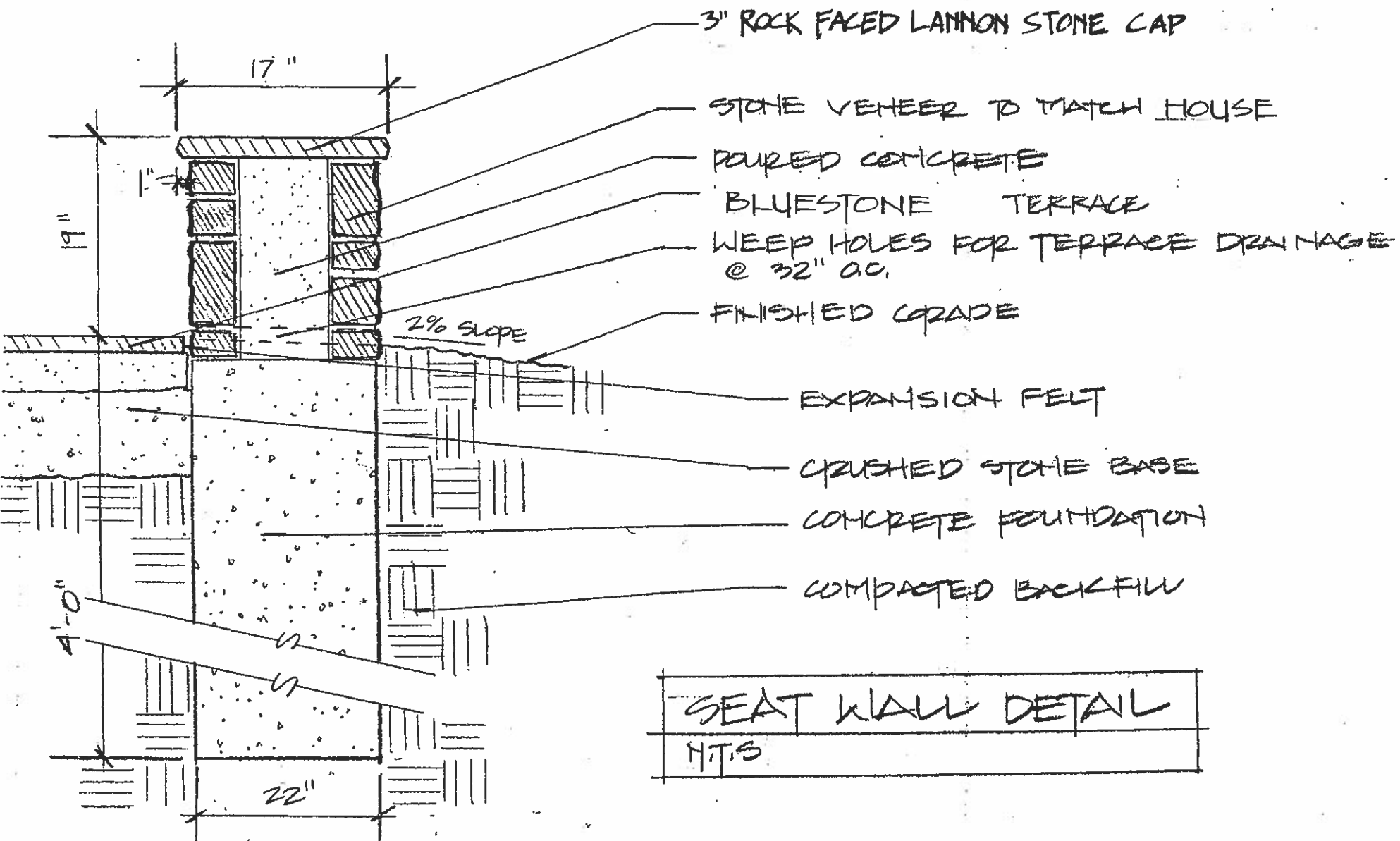
2



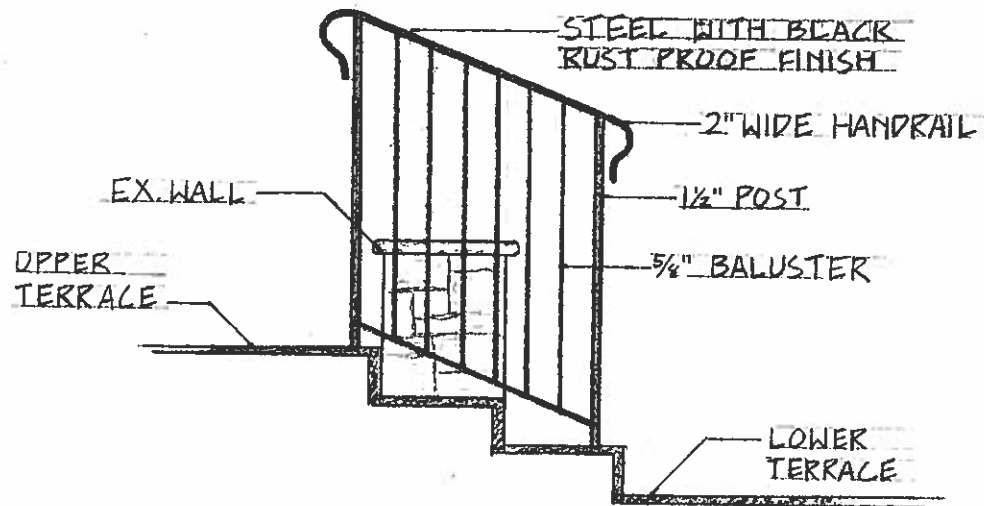
WALL & PLANTS $\frac{1}{8}" = 1'-0"$
 EAST ELEVATION
 2635 N WAHL AVE

②





SEAT WALL DETAIL
H.T.S



RAILING DETAIL

1/2" = 1'-0"

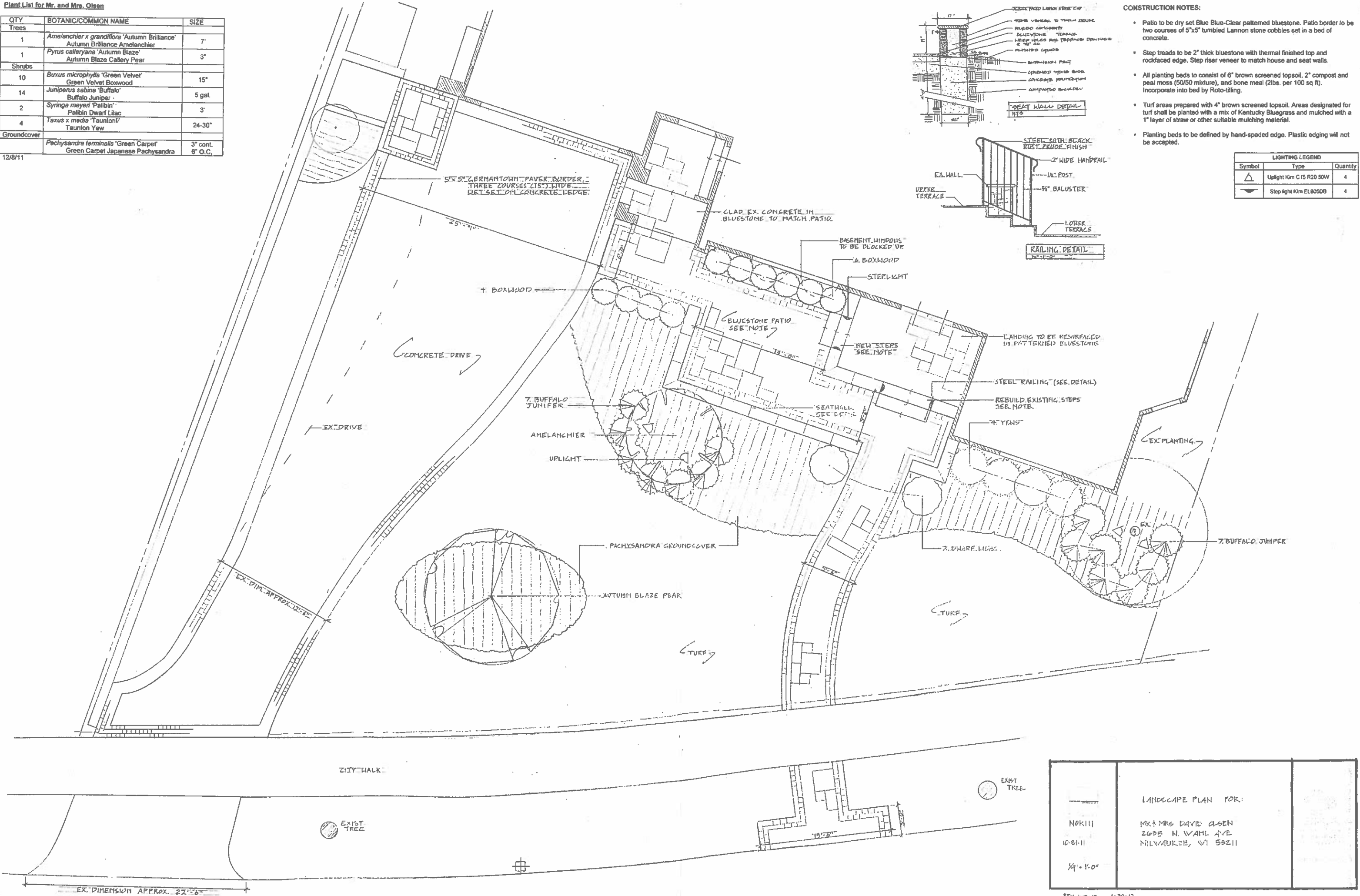
CONSTRUCTION NOTES:

- Patio to be dry set Blue Blue-Clear patterned bluestone. Patio border to be two courses of 5"x5" tumbled Lannon stone cobbles set in a bed of concrete.
- Step treads to be 2" thick bluestone with thermal finished top and rockfaced edge. Step riser veneer to match house and seat walls.
- All planting beds to consist of 6" brown screened topsoil, 2" compost and peat moss (50/50 mixture), and bone meal (2lbs. per 100 sq ft). Incorporate into bed by Roto-tilling.
- Turf areas prepared with 4" brown screened topsoil. Areas designated for turf shall be planted with a mix of Kentucky Bluegrass and mulched with a 1" layer of straw or other suitable mulching material.
- Planting beds to be defined by hand-spaded edge. Plastic edging will not be accepted.

Plant List for Mr. and Mrs. Olsen

QTY	BOTANIC/COMMON NAME	SIZE
Trees		
1	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Amelanchier	7'
1	Pyrus calleryana 'Autumn Blaze' Autumn Blaze Callery Pear	3"
Shrubs		
10	Buxus microphylla 'Green Velvet' Green Velvet Boxwood	15"
14	Juniperus sabina 'Buffalo' Buffalo Juniper	5 gal.
2	Syringa meyeri 'Palibin' Palibin Dwarf Lilac	3"
4	Taxus x media 'Tauntoni' Tauntoni Yew	24-30"
Groundcover		
	Pachysandra terminalis 'Green Carpet' Green Carpet Japanese Pachysandra	3" cont. 8" O.C.

12/8/11





Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 2/14/2012
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #76599

Property	2635 N. WAHL AV. North Point North Historic District	
Owner/Applicant	DAVID A OLSEN & JANET D OLSEN JT REVOCABLE TRUST 2635 N WAHL AVE MILWAUKEE WI 53211	DAVID OLSEN 10429 PINE RIDGE CIRCLE MEQUON, WI 53092 Phone: (262) 241-5826
Proposal	Install low, limestone seat wall near front of house to enclose a small walkway/ patio. Rebuild metal porch railings and install new bluestone walk from driveway and bluestone steps and porch deck. Install related landscaping and new paver brick-bordered concrete driveway.	
Staff comments	The house was constructed in 1925 according to the designs of Milwaukee architect Herman Buemming. Little, if anything has changed on the exterior of the house since it was built. The new owners are proposing a low, stone seat wall of no more than 19 inches in height, to enclose an area of the front lawn next to the house for an outdoor patio/walkway. There is already a low seat wall surrounding the existing front terrace which will be continued to the meet the driveway. The wall would be made of Niagara formation limestone to match the walls of the house and would feature a permanent masonry foundation that extends 4 feet below grade. The entire wall would be mortared. This is the most desirable way to construct these types of walls. The proposed materials massing and scale are all compatible with the house and the surrounding historic district.	
Recommendation	Recommend HPC Approval	
Conditions	All new stonework on the new wall must match the existing stone walls on the house. Mortar, color, texture, joint width and joint finish must also match the original walls.	
Previous HPC action	Elevator addition in form of chimney approved for rear elevation at Dec. 2011 HPC meeting	
Previous Council action		



Legislation Details (With Text)

File #: 111375 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 2/1/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for gate, fence and in-ground swimming pool at 2221 N. Terrace Avenue for Andrew Nunemaker.
Sponsors: THE CHAIR
Indexes: FENCES, HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, HPC Staff Report

Date	Ver.	Action By	Action	Result	Tally
2/1/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111375
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for gate, fence and in-ground swimming pool at 2221 N. Terrace Avenue for Andrew Nunemaker.

Requestor

Drafter
CC-CC
dkf
2/1/12

Clerical corrections 2/7/12 CL



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)
Green Gate (W. Sawyer House) / Northpoint South Hist. District
 ADDRESS OF PROPERTY:
2221 N. Terrace Ave., Milw., WI 53202
2. NAME AND ADDRESS OF OWNER:
 Name(s): ANDREW NUNEMAKER
 Address: 2221 N. Terrace Ave.
 City: Milw. State: WI ZIP 53202
 Email: andy.nunemaker@intermedix.com
 Telephone number (area code & number) Daytime: 424-424-7391 Evening: same
3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)
 Name(s): Living Space Design-Build Co., Inc.
 Address: 9055 N. 51st St., Suite J
 City: Milw. State: WI ZIP Code: 53223
 Email: j.m@living spacedesign-build.com
 Telephone number (area code & number) Daytime: 414-975-7773 Evening: 414-975-7773
4. ATTACHMENTS
 - A. REQUIRED FOR ALL PROJECTS:
 - ☒ Photographs of affected areas & all sides of the building (annotated photos recommended)
 - ☒ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
 - ☒ Material and Design Specifications (see next page)
 - B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES: (POOL & FENCE)
 - ☒ Floor Plans (1 full size and 1 reduced to 11" x 17")
 - ☒ Site Plan showing location of project and adjoining structures and fences
 - ☒ Other (explain): POOL SPECS.

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

FENCE & GATES - Wood fence on the west property line will remain. Existing chain link fence on south property line is dilapidated and will be replaced. The coach house & main house form the north & east boundaries of the pool area. South neighbor's garage forms the south boundary. Pool area is currently clear of all trees, shrubs & structures.

Photo No. #1-8

Drawing No. Living Space #1.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

FENCE & GATE - Masonry piers will match existing piers in both brick & mortar. Fences & Gate shall be welded steel sections bolted at piers, matching existing as shown in attached drawings. Fence & gate components to be epoxy painted black to match existing.

POOL, DECK & EQUIPMENT - See Neuman Pool CD's.

Photo No. #1-8

Drawing No. Living Space #1, 2 & 3

Neuman Pool # PL1.0, PL1.1
& PL2.0

6. SIGNATURE OF APPLICANT:

Signature

Print or type name

Date

James R. Dorr 1-27-12

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

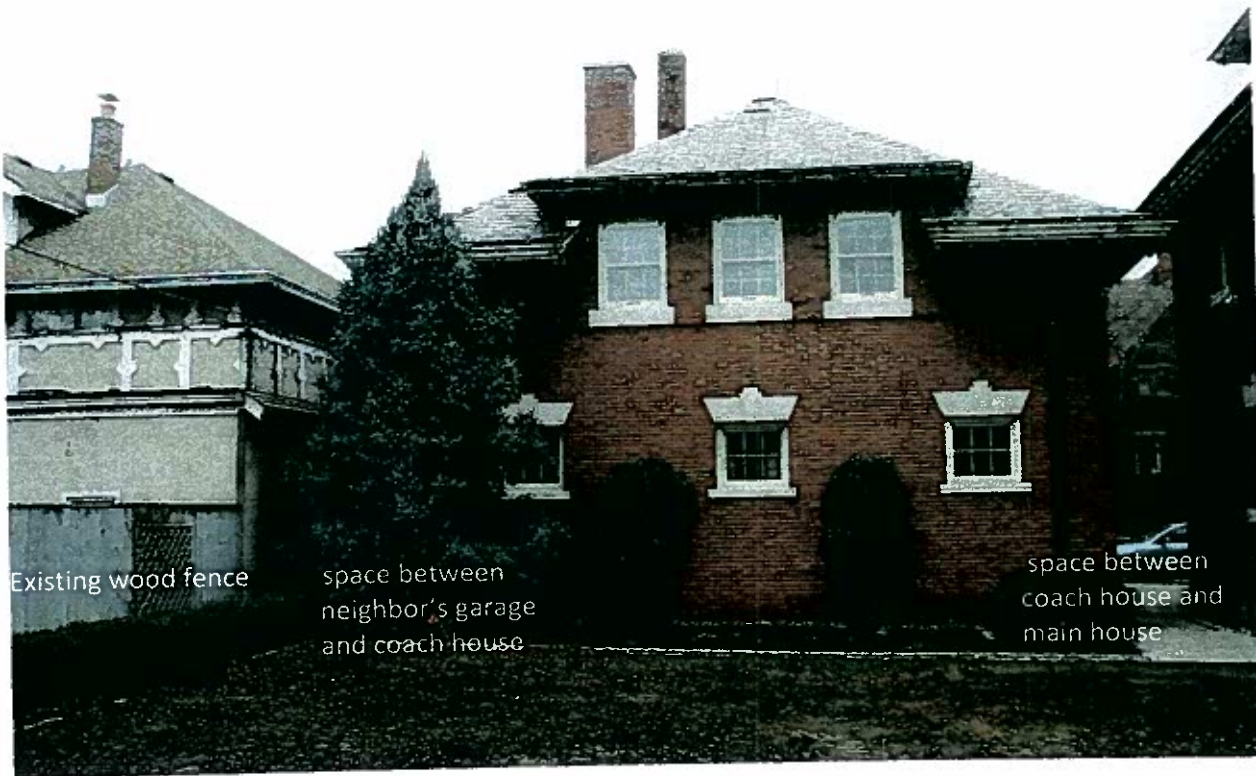
PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



Detail A: Existing View of future Pool Gate – Main, from Terrace Avenue



Detail B: Existing View of future Side Gate and Fence from yard



New gate
will copy
some of
the details
of the existing
gate.

Detail C: Existing Main Gate – Close-Up



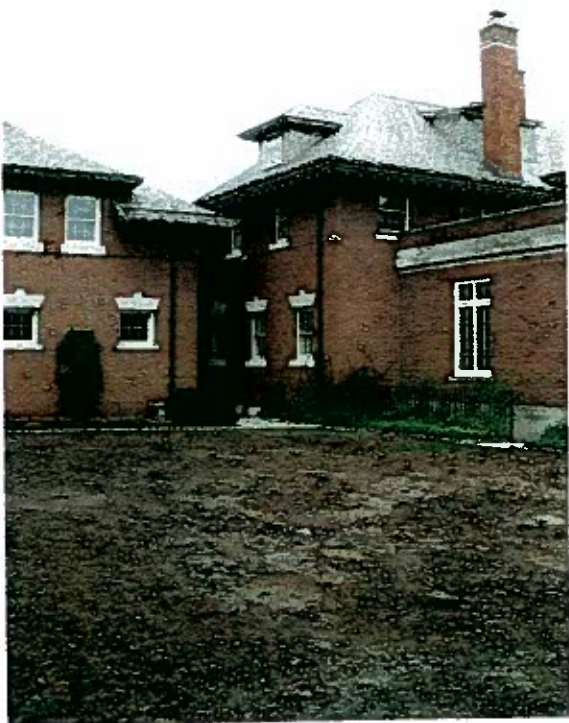
Main House Elevation(east) - from North Terrace Avenue



Main House Elevation(north) – from East Ivanhoe Place



Main House Elevation (west) – From Driveway



Main House Elevation (west) – from Backyard



Main House Elevation(south) – from backyard



Main House Elevation (south) – continued

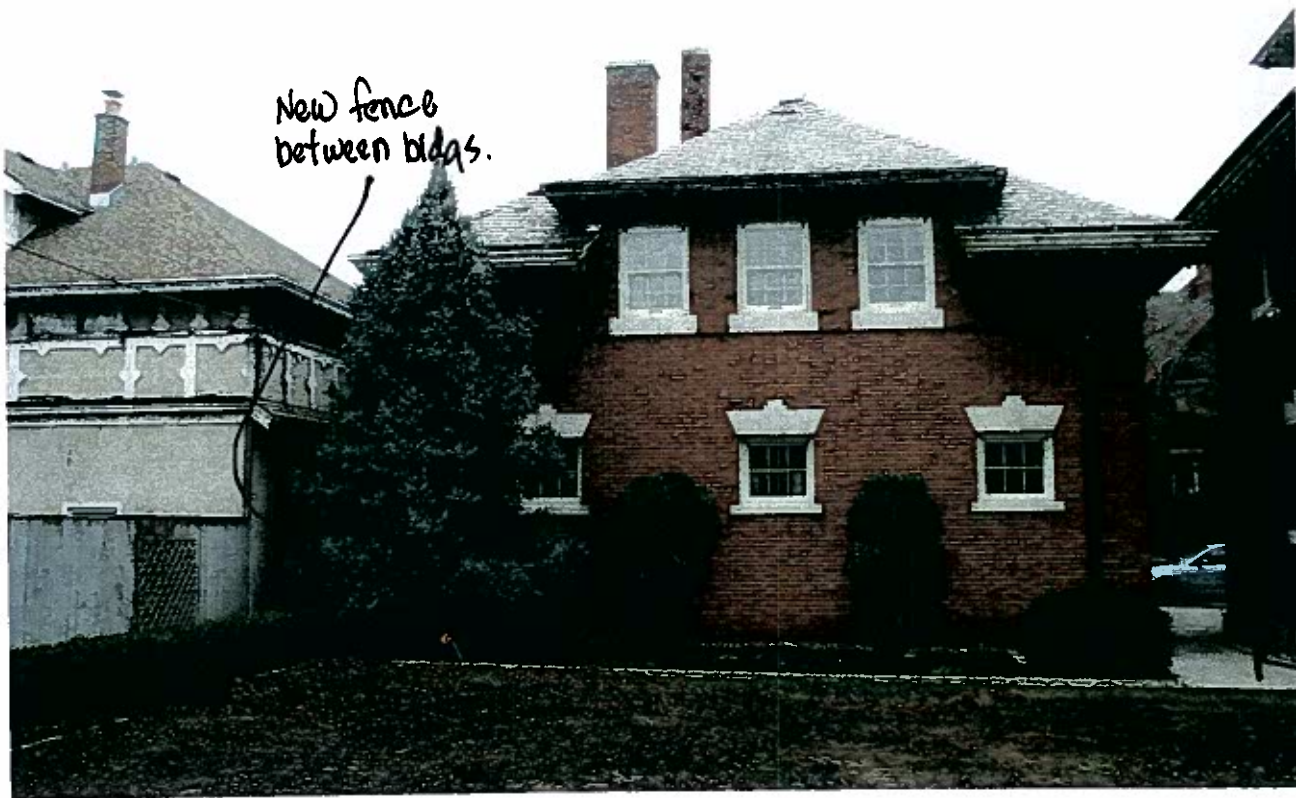


Coach house – From East Ivenhoe Place



Coach house Elevation (west)

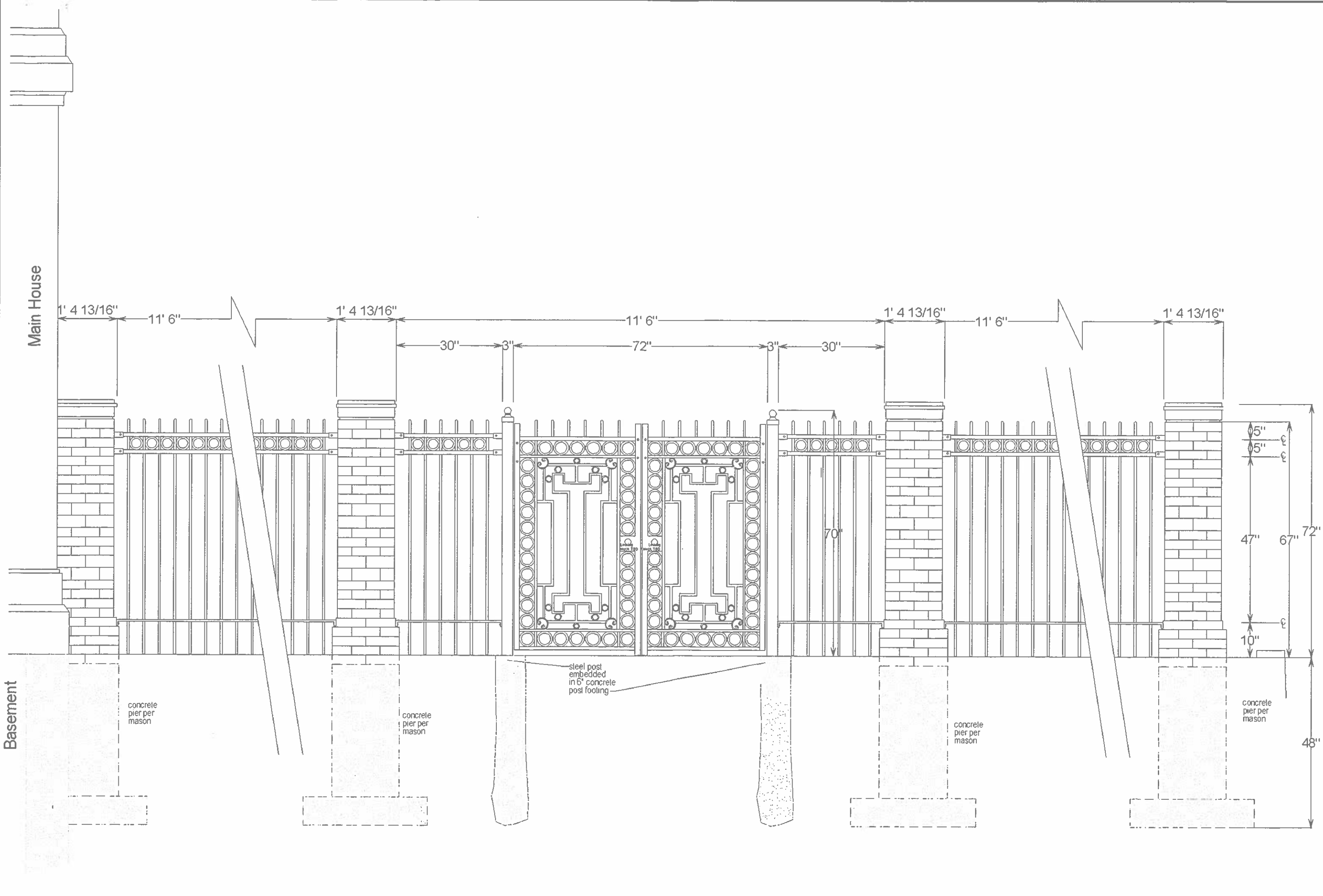
New fence between bldgs.



Coach house Elevation (south)







3

Person

By

Date

Scale: 1/8" = 1'-0"

Date: January 27, 2012

PROPOSED REMODELING

Andrew Nunemaker
2221 North Terrace Ave.
Milwaukee, WI 53202

Proposed Pool Fences
and Gate (East End)

Living Space
Design-Build Co., Inc.
9055 N. 51st St. Suite J
Milwaukee, WI 53223
414-355-4216
414-355-5437 Fax

Project Mgr: James R. Dorr - 414-975-7773
Construction Mgr: Pat Dolan - 414-975-7792



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 2/14/2012
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #77846

Property	2221 N. TERRACE AV., North Point South Historic District	
Owner/Applicant	ANDREW NUNEMAKER 2221 N TERRACE AVE MILWAUKEE WI 53202	Living Space Design-Build Co 1205A E Meinecke Ave Milwaukee, WI 53212 Phone: 372-5722
Proposal	Install in-ground swimming pool at the rear, southwest corner of the property and enclose with an ornamental metal fence to match the existing historic fence that currently borders much of the property.	
Staff comments	<p>The historic Sawyer-Vogel house was built in 1905 according to the designs of the prestigious Boston architects Parker and Thomas with the assistance of local architects Buemming and Dick. Along with its massive brick carriage barn it is one of the finest estate properties, located upon a very large lot, on the upper east side in Milwaukee. A new owner is currently dressing up the mansion in preparation for its presentation as the 2012 Breast Cancer Show house.</p> <p>Most of the exterior projects proposed can be handled via HPC staff approval and are routine in nature. The installation of the proposed in-ground swimming pool and related landscaping is a major landscape change and requires the approval of the full Historic Preservation Commission. The swimming pool will be located behind and to the side of the house next to the carriage house. The pool will measure 20'-0" x 42'-0" and will be partially enclosed by a welded steel and masonry pier fence facing the street that will be six feet in height and will reflect the design of the existing historic fence that is such a prominent feature of the property. The area around the pool will be bordered by a stone tiled patio. A wood privacy fence will screen the pool from the neighbors' properties to the west and south. The pool and fence will be visible from the street, but it is at the far rear corner of the lot and will not have a negative impact on the house.</p> <p>The construction of an in-ground swimming pools is a relatively rare occurrence on the city's upper east side, but it is not new to the district. The historic MacLaren estate at 3230 E. Kenwood Boulevard built in 1923 featured an original in-ground pool that was reported to have been the largest private pool in the state. That pool was filled in many years ago but its concrete cap outline is still clearly visible on the front lawn of the estate.</p>	
Recommendation	Recommend HPC Approval	
Conditions	New masonry piers for the steel fence must match the original piers in terms of brick color, texture and size and the mortar must match the original mortar on the house in terms of color, texture, joint width and joint finish.	
Previous HPC action		
Previous Council action		



Legislation Details (With Text)

File #:	111430	Version:	0
Type:	Resolution	Status:	In Committee
File created:	2/8/2012	In control:	HISTORIC PRESERVATION COMMISSION
On agenda:		Final action:	
Effective date:			
Title:	Resolution relating to a Certificate of Appropriateness for new second story and rear addition at 728 E. Brady Street for Alaa Musa.		
Sponsors:	THE CHAIR		
Indexes:	ADMINISTRATIVE REVIEW APPEALS BOARD		
Attachments:	Application		

Date	Ver.	Action By	Action	Result	Tally
2/8/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111430
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for new second story and rear addition at 728 E. Brady Street for Alaa Musa.

Requestor

Drafter
CC-CC
dkf
2/8/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Brady Street

ADDRESS OF PROPERTY:

728 East Brady Street

2. NAME AND ADDRESS OF OWNER:

Name(s): Alaa Musa

Address: 728 East Brady

City: Milwaukee

State: WI

ZIP 53202

Email: alaamusa@msn.com

Telephone number (area code & number) Daytime: (414) 350-3785

Evening: Same

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Jim French - JFrench and Associates, Inc.

Address: 5028 North Lake Drive

City: Whitefish Bay

State: WI

ZIP Code: 53217

Email: jfrench@jf-architects.com

Telephone number (area code & number) Daytime: (414) 234-0299

Evening: Same

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

- ☒ Photographs of affected areas & all sides of the building (annotated photos recommended)
- ☒ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
- ☒ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

- ☒ Floor Plans (1 full size and 1 reduced to 11" x 17")
- ☒ Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. _____

Drawing No. _____

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

The project is designed to reflect the middle eastern aesthetic and culture, which is the basis of the menu. The existing kitchen on the first floor is planned to expand, with the addition of an entire second floor. The second floor will be additional seating, bar and a balcony facing Brady Street.

We are proposing to face the addition with EIFS, to match the existing stucco in color and texture. The railing will be designed and proportioned as discussed. We have added brackets to the underside of the balcony as discussed as well. The windows and doors will be aluminum clad in a color to match the existing doors.

Please see attached outline specification for additional information.

Photo No. _____

Drawing No. _____

6. **SIGNATURE OF APPLICANT:**


Signature

JAMES FRENCH 1/26/12
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc





N Cass ST

sablan





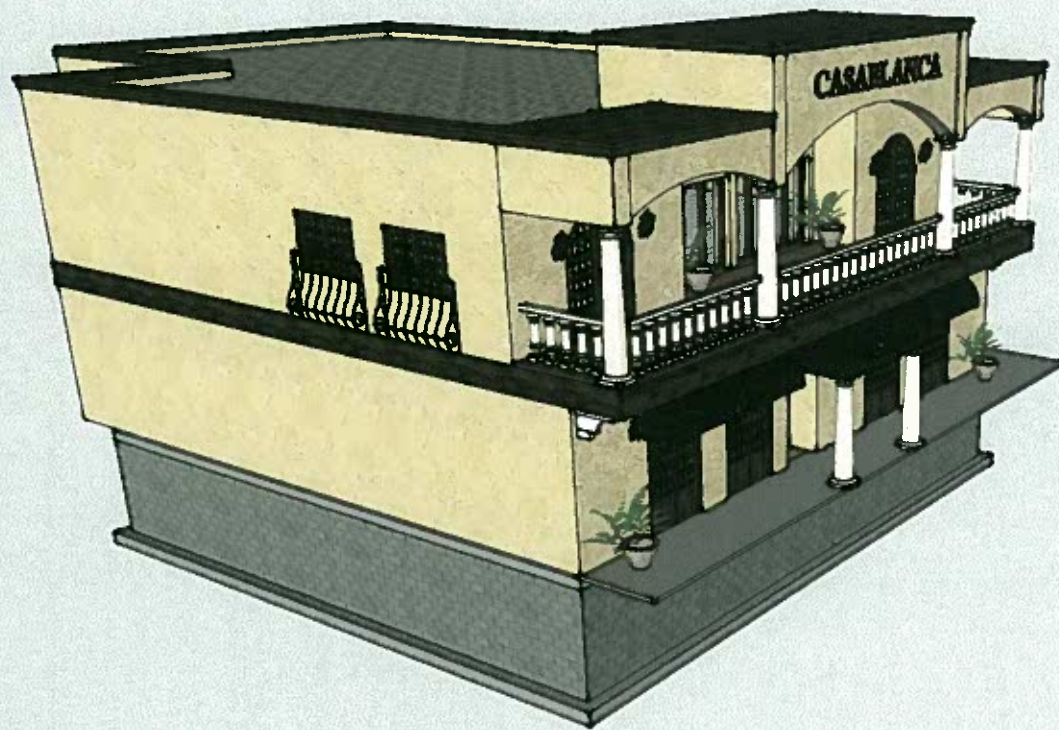


Casablanca

Casablanca
Middle Eastern Restaurant



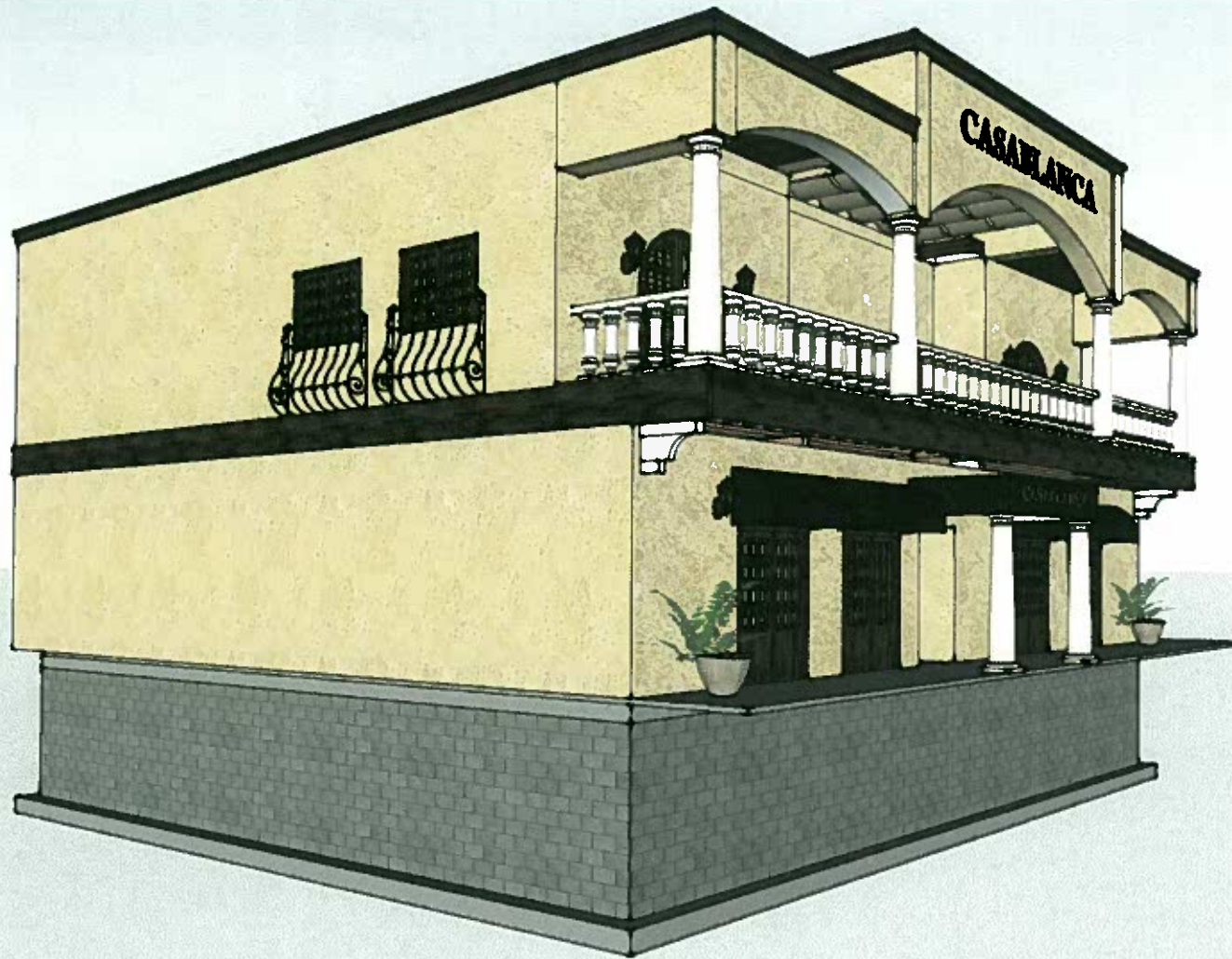
SOUTH BIRD'S EYE VIEW



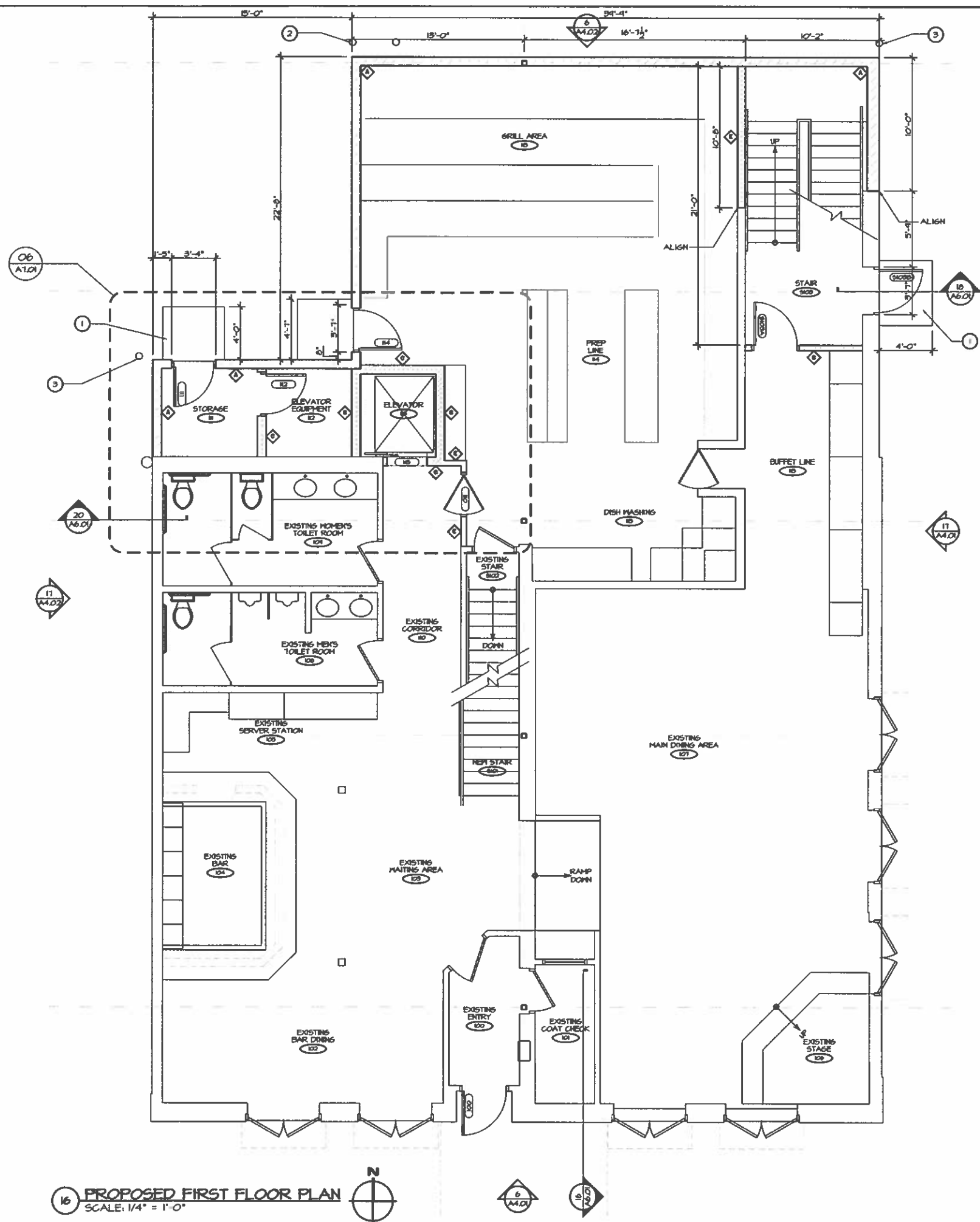
SOUTHWEST BIRD'S EYE VIEW



SOUTH ELEVATION - NTS



SOUTH WEST STREET ELEVATION PERSPECTIVE



WALL TYPES	
GENERAL NOTES: 1. WALLS SHOWN WITH HATCH ARE NEW CONSTRUCTION 2. SEE WALL TYPES BELOW FOR REQUIREMENTS AT NEW WALLS. 3. REFER TO A6.01 AND A1.01 FOR MORE INFORMATION	
	NEW EXTERIOR WALL NEW 2X6 WOOD STUDS @ 16" O.C., W/ 3/4" BATT INSUL., 5/8" TYPE "X" GMB ON INTERIOR FACE, 1/2" PLYWOOD SHEATHING ON EXTERIOR FACE, TYVEK PAPER, WITH EIFS EXTERIOR SURFACE TO MATCH EXISTING STUCCO. REFERENCE SHEET A6.01.
	NEW INTERIOR WALL NEW 2X4 WOOD STUDS @ 16" O.C., EXTEND TO DECK ABOVE, 5/8" TYPE "X" GMB BOTH SIDES.
	NEW INTERIOR WALL NEW 2X6 WOOD STUDS @ 16" O.C., EXTEND TO DECK ABOVE, 5/8" TYPE "X" GMB BOTH SIDES.
	NEW INTERIOR WALL NEW 2X6 WOOD STUDS @ 16" O.C., W/ 3/4" SOUND BATT, EXTEND TO DECK ABOVE, 5/8" TYPE "X" GMB BOTH SIDES.
	NEW INTERIOR WALL NEW 2X4 WOOD STUDS @ 16" O.C., W/ 3/4" SOUND BATT, EXTEND TO DECK ABOVE, 5/8" TYPE "X" GMB BOTH SIDES.

PLAN KEYNOTES	
1	CONCRETE STOOP - PITCH SLAB 1/8" FT FROM DOORWAY.
2	BOLLARDS @ GAS METER- SEE DETAIL SP1.02 - 6
3	SINGLE 6" DIAMETER CON. FILLED 60" HIGH STEEL BOLLARD - SEE DETAIL SP1.02 - 1



French and Associates, Inc.

Architecture

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE

J. French
Principal Architect

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are for the use of the Owner and shall not become the property of the Contractor. The Contractor shall not be permitted to make any copies of these documents for use on other projects. The Contractor shall not be permitted to use any of the drawings, specifications or other documents for any purpose other than that for which they were prepared. The Contractor shall not be permitted to use any of the drawings, specifications or other documents for any purpose other than that for which they were prepared.

SHEET TITLE

Proposed First Floor Plan

REVISIONS

PROJECT DATA

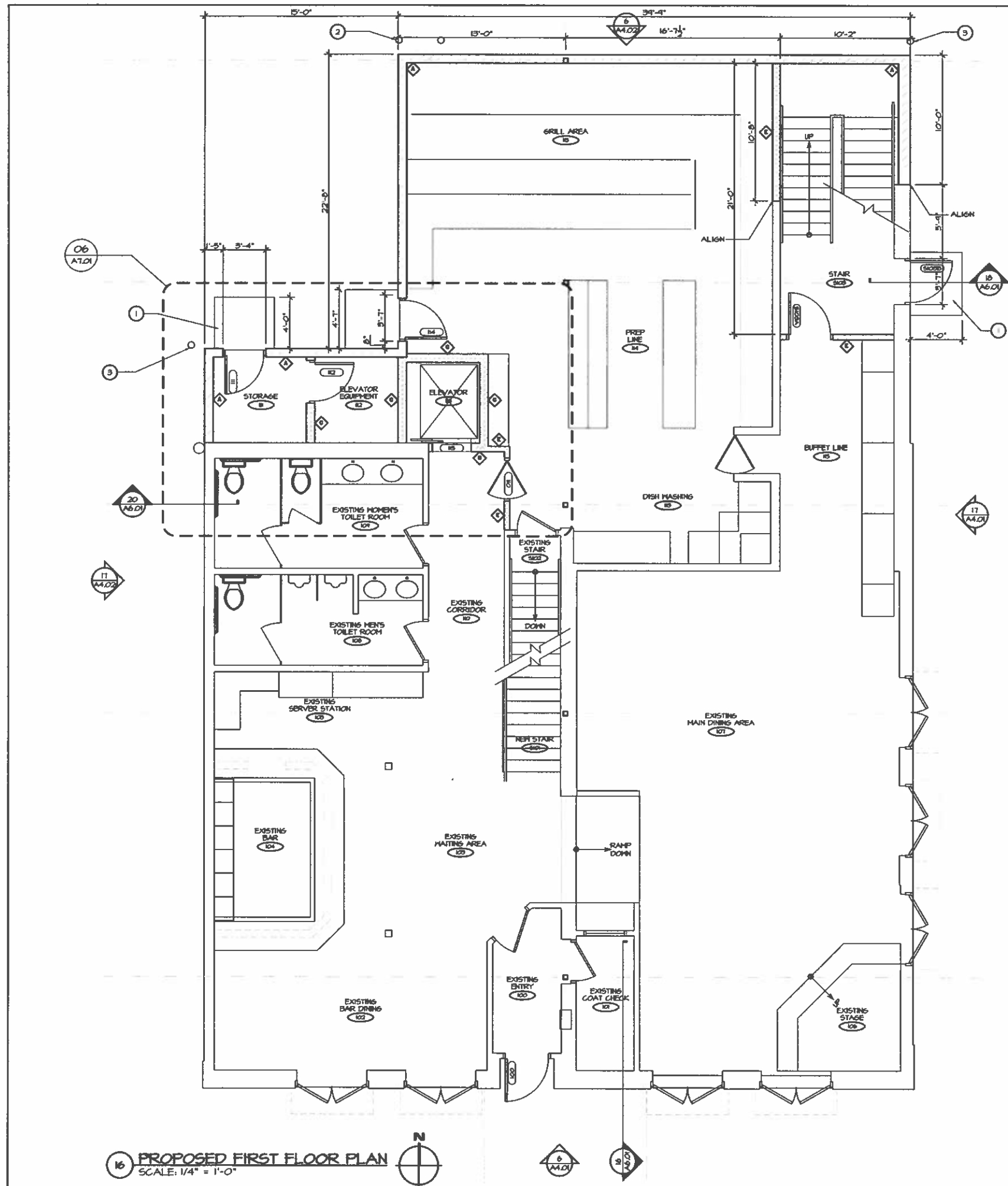
Date: December 30, 2011

Job No.: 11134

Drawn By: French

SHEET NO.

A1.03



JFrench and Associates, Inc.
 Architecture
 5028 North Lake Drive
 Milwaukee, WI 53217
 ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
 728 East Brady Street
 Milwaukee, WI

AUTHORIZATION SIGNATURE

[Signature]

GENERAL AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are for the use of the Owner and shall not become the property of the Owner. The drawings, specifications and other documents shall not be used for any other purpose, in whole or in part, without the written consent of the Architect. The Architect's liability is limited to the design and construction of the building and shall not extend to any other matters.

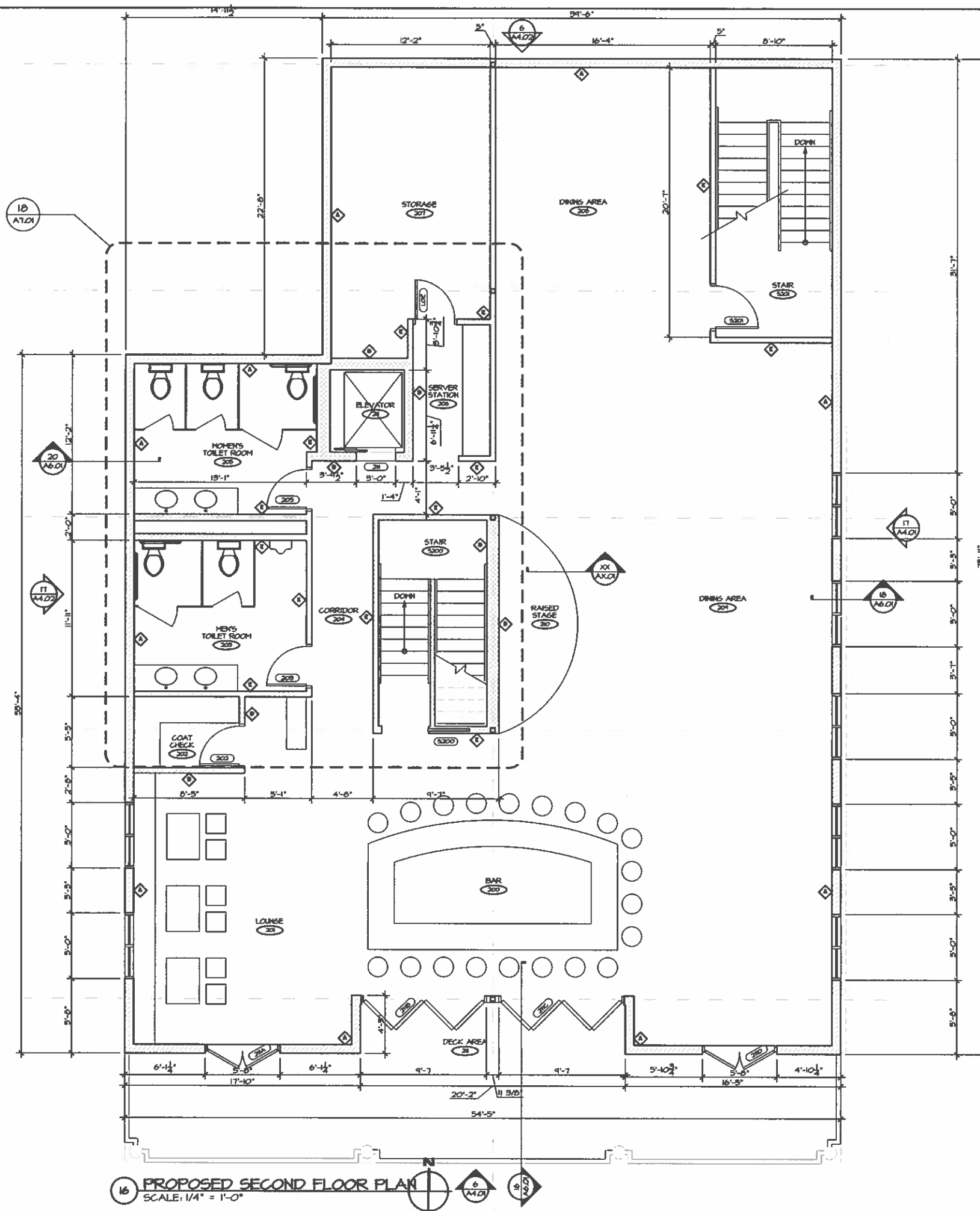
SHEET TITLE
 Proposed First Floor Plan

REV SIGNS

PROJECT DATA
 Date: December 30, 2011
 Job No.: 11194
 Drawn By: French
 SHEET NO.

A1.03

GNP Bid Set - Not For Construction

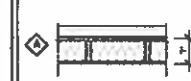


16 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPES

GENERAL NOTES:

1. WALLS SHOWN WITH HATCH ARE NEW CONSTRUCTION.
2. SEE WALL TYPES BELOW FOR REQUIREMENTS AT NEW WALLS.
3. REFER TO A6.01 AND A4.01 FOR MORE INFORMATION.



NEW EXTERIOR WALL
NEW 2X6 WOOD STUDS @ 16" O.C. W/ BATT INSUL.
1/2" TYPE "X" GHB ON INTERIOR FACE, 1/2" PLYWOOD
SHEATHING ON EXTERIOR FACE, TYVEK PAPER,
1/2" EPS TO MATCH EXISTING STUCCO.
REFERENCE SHEET A6.01.



NEW INTERIOR WALL
NEW 2X4 WOOD STUDS @ 16" O.C., EXTEND TO
DECK ABOVE, 1/2" TYPE "X" GHB BOTH SIDES.



NEW INTERIOR WALL
NEW 2X6 WOOD STUDS @ 16" O.C., EXTEND TO
DECK ABOVE, 1/2" TYPE "X" GHB BOTH SIDES.



NEW INTERIOR WALL
NEW 2X6 WOOD STUDS @ 16" O.C. W/ 1/2" SOUND
BATTS, EXTEND TO DECK ABOVE, 1/2" TYPE "X"
GHB BOTH SIDES.



NEW INTERIOR WALL
NEW 2X4 WOOD STUDS @ 16" O.C. W/ 1/2" SOUND
BATTS, EXTEND TO DECK ABOVE, 1/2" TYPE "X"
GHB BOTH SIDES.

JFA

JFrench and Associates, Inc.

Architecture

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE

[Signature]
J. French, Architect
JFA, Inc. 5028 North Lake Drive
Milwaukee, WI 53217
414-234-0299

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are the property of the Architect and shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in the drawings, specifications and other documents furnished by the Architect. The Architect shall not be responsible for any errors or omissions in the drawings, specifications and other documents furnished by the Architect. The Architect shall not be responsible for any errors or omissions in the drawings, specifications and other documents furnished by the Architect.

SHEET TITLE

Proposed Second Fl Plan

REV SIGNS

PROJECT DATA

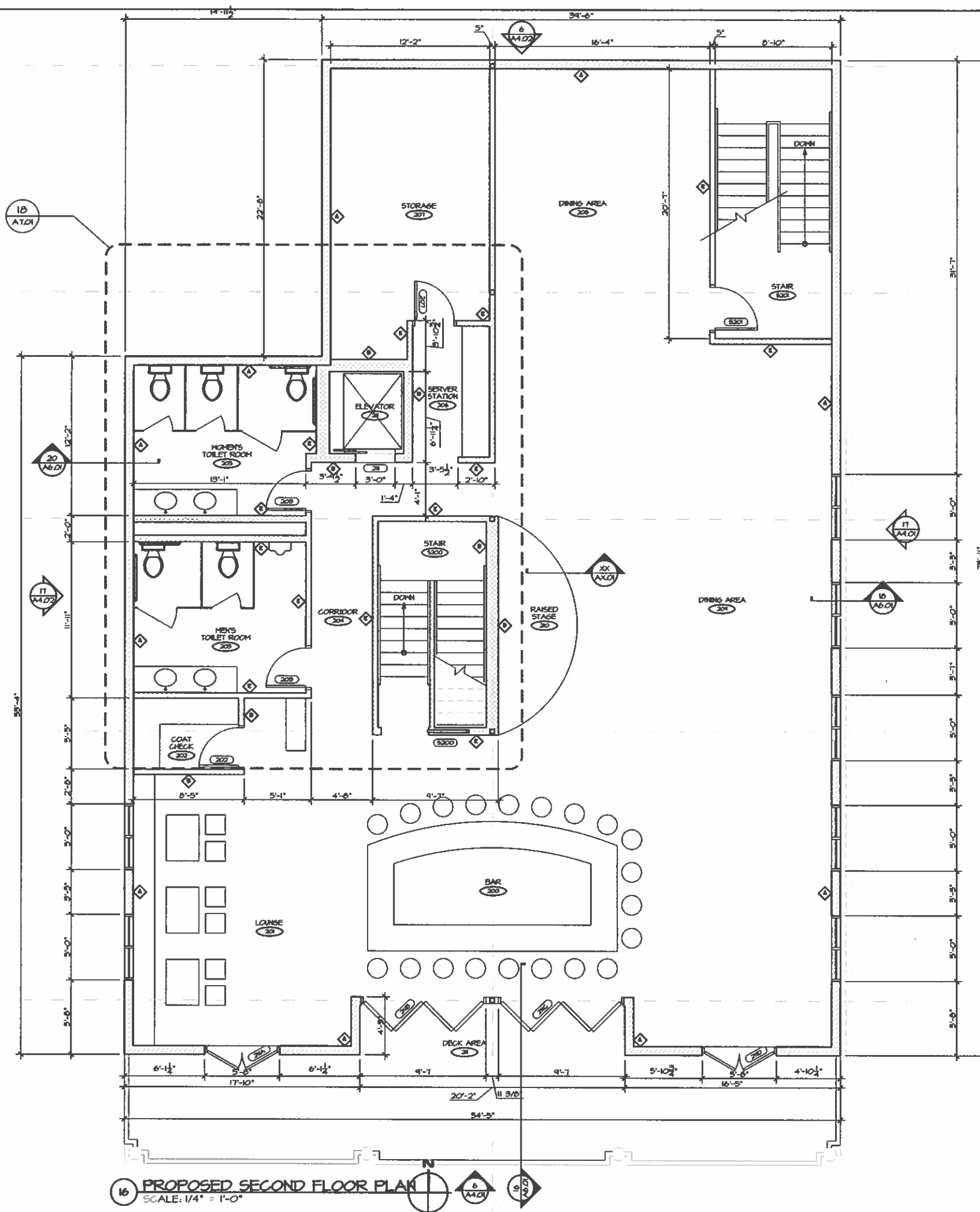
Date: December 30, 2011

Job No.: 11184

Drawn By: French

SHEET NO.

A1.04



16 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPES

GENERAL NOTES:

1. WALLS SHOWN WITH HATCH ARE NEW CONSTRUCTION
2. SEE WALL TYPES BELOW FOR REQUIREMENTS AT NEW WALLS.
3. REFER TO A6.01 AND A4.01 FOR MORE INFORMATION

- NEW EXTERIOR WALL**
NEW 2X6 WOOD STUDS @ 16" O.C. W/ BATT INSUL.
3/4" TYPE "X" G&B ON INTERIOR FACE, 1/2" FLYWOOD
SHEATHING ON EXTERIOR FACE, TYVEK PAPER,
WITH EIFS TO MATCH EXISTING STUCCO.
REFERENCE SHEET A6.01.
- NEW INTERIOR WALL**
NEW 2X4 WOOD STUDS @ 16" O.C., EXTEND TO
DECK ABOVE, 3/4" TYPE "X" G&B BOTH SIDES.
- NEW INTERIOR WALL**
NEW 2X6 WOOD STUDS @ 16" O.C., EXTEND TO
DECK ABOVE, 3/4" TYPE "X" G&B BOTH SIDES.
- NEW INTERIOR WALL**
NEW 2X6 WOOD STUDS @ 16" O.C. W/ 5/8" SOUND
BATTIS, EXTEND TO DECK ABOVE, 3/4" TYPE "X"
G&B BOTH SIDES.
- NEW INTERIOR WALL**
NEW 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" SOUND
BATTIS, EXTEND TO DECK ABOVE, 3/4" TYPE "X"
G&B BOTH SIDES.

JFA

JFrench and Associates, Inc.

Architecture

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For Casablanca On Brady

728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE

[Signature]
J. French, Architect
J. French and Associates, Inc.
5028 North Lake Drive
Milwaukee, WI 53217
414-234-0299

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SHEET TITLE

Proposed Second Fl Plan

REV SIONS

PROJECT DATA

Date: December 30, 2011

Job No.: 11154

Drawn By: French

SHEET NO.

A1.04



JFrench and Associates, Inc.

Architecture

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE

X

J. French

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are the property of the Architect and shall not be used for any other project without the written consent of the Architect. The drawings, specifications and other documents are to be used only for the project and shall not be reproduced, copied, or otherwise used for any other purpose without the written consent of the Architect. The Architect's copyright in the drawings, specifications and other documents shall not be infringed.

SHEET TITLE
Building Elevations

REV 5/15

PROJECT DATA

Date December 30, 2011

Job No. 11234

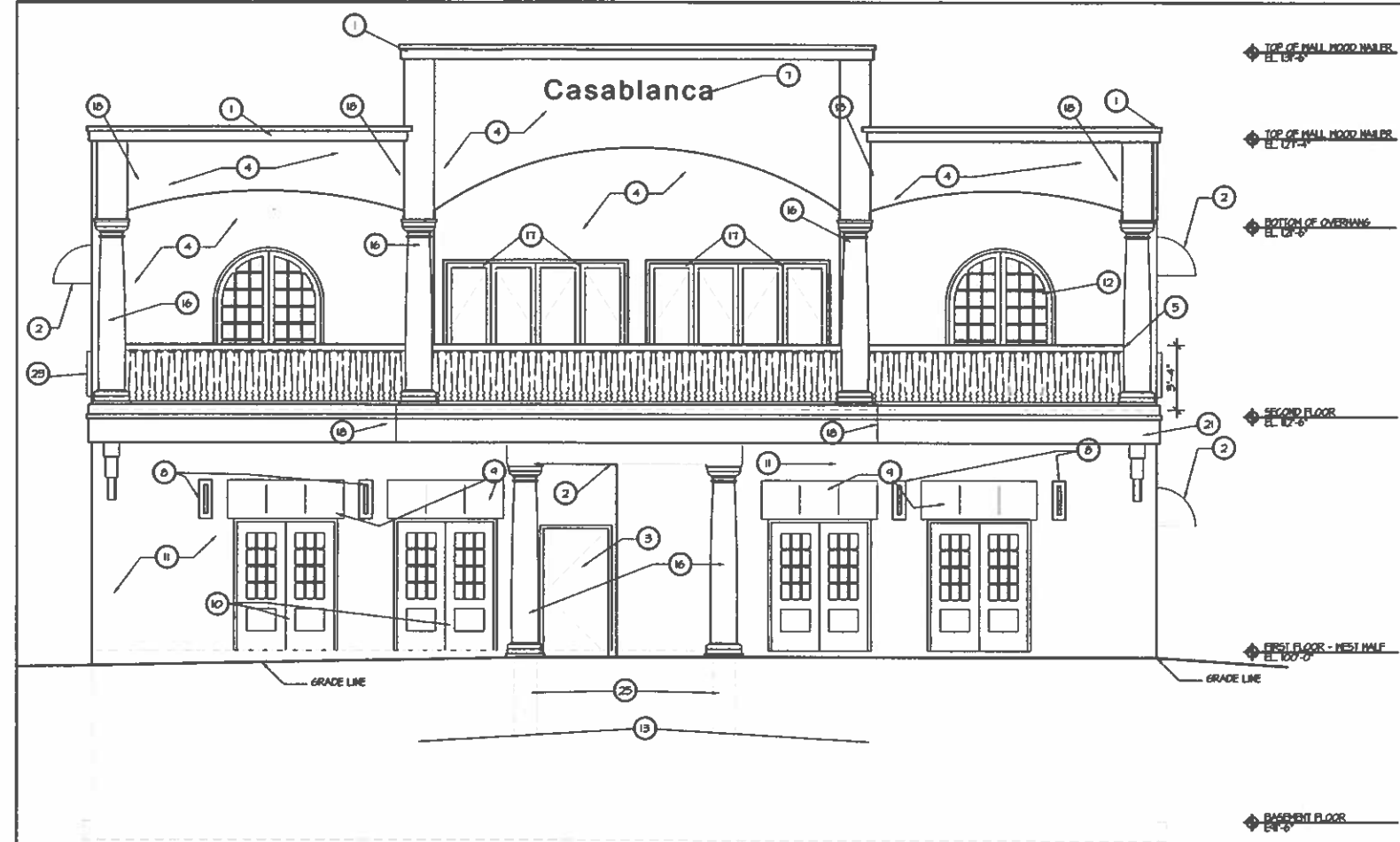
Drawn By: French

SHEET NO.

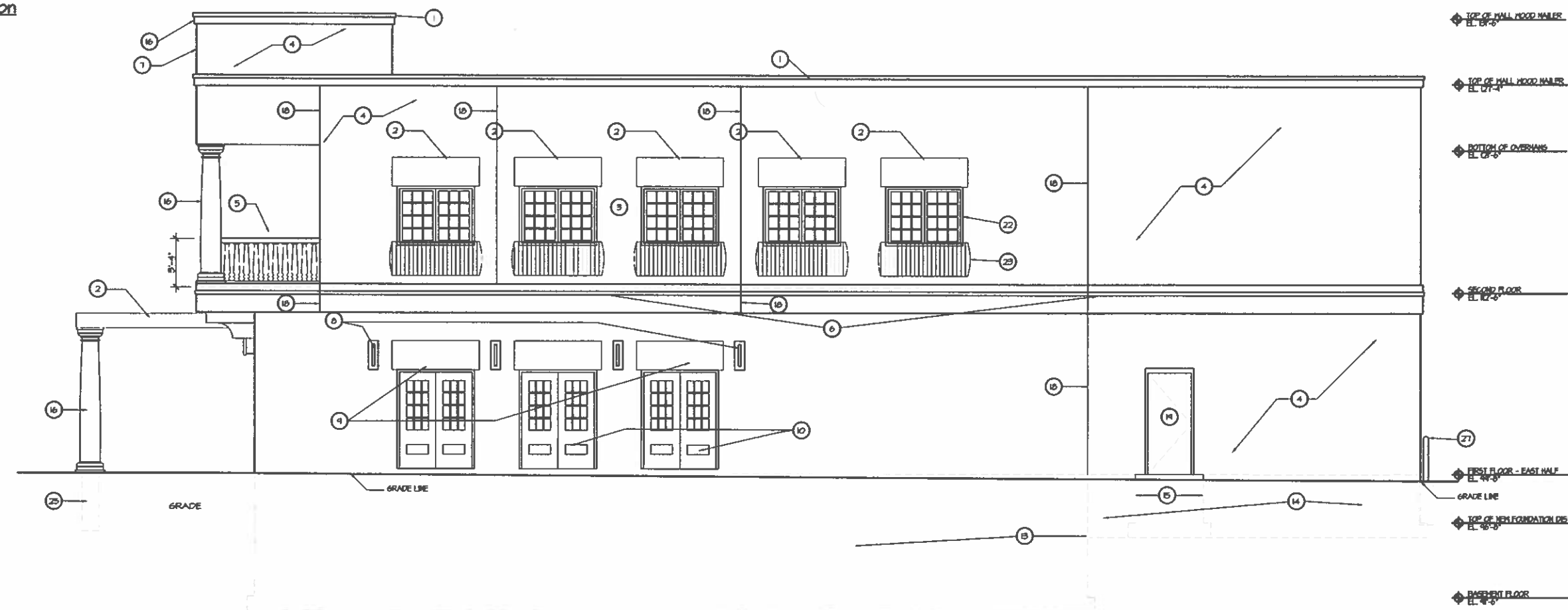
A4.01

ELEVATION KEYNOTES

- 1 P.F. METAL PARAPET CAP/TRIM & EIFS TRIM - SEE DETAIL (X/XX)
- 2 NEW FABRIC AWNINGS - SEE DETAIL (X/XX)
- 3 NEW ENTRY DOOR & FRAME SEE DOOR SCHEDULE.
- 4 WOOD STUD MALL W/ EIFS FINISH SEE DETAILS A6.01
- 5 ALUMINUM DECK RAILING W/ WOOD CAP SEE DETAILS ON A6.01
- 6 NEW EIFS ACCENT TRIM @ EXISTING MALL.
- 7 SURFACE MOUNTED SIGNAGE
- 8 EXISTING MALL MOUNTED LIGHTS TO REMAIN
- 9 EXISTING FABRIC AWNINGS TO REMAIN
- 10 EXISTING DOORS REMAIN - CLEAN & PAINT
- 11 EXISTING STUCCO FINISH MALL TO REMAIN, RE-PAINT COLOR AS SELECTED
- 12 P.F. ALUM. DOOR
- 13 EXISTING BASEMENT
- 14 NEW FOUNDATION WALL ADDITION
- 15 NEW FOUNDATION AND STOOP - SEE STRUCTURAL
- 16 ACCENT COLUMNS @ BALCONY & FRONT ENTRY AWNINGS.
- 17 P.F. ALUM. DOORS - NANA MALL SYSTEM.
- 18 CONTROL JOINT - SEE DETAILS (X/XX)
- 19 NEW HOLLOW METAL DOOR & FRAME W/ 2" HEAD
- 20 EIFS ACCENT TRIM - SEE DETAIL (X/XX)
- 21 ALUM. CLAD WINDOW
- 22 DECORATIVE IRON RAILING.
- 23 NEW ELEVATOR FOUNDATION
- 24 NEW CONCRETE FOUNDATIONS FOR COLUMNS.
- 25 P.F. METAL PARAPET CAP SEE DETAIL
- 26 SINGLE BOLLARD SEE DETAIL (1/2) (SPL/22)
- 27 DOUBLE BOLLARD SEE DETAIL (6) (SPL/22)



6 South Elevation
SCALE: 1/4" = 1'-0"



7 East Elevation
SCALE: 1/4" = 1'-0"

CHP Bldg Set - Not For Construction



JFrench and Associates, Inc.
Architecture
5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE
DATE: _____
SIGNATURE: _____
TITLE: _____

OWNERSHIP AND USE OF DOCUMENTS
The drawings, specifications and other documents furnished by the Architect are instruments of service and shall not become the property of the Owner. Neither the Project nor the documents shall be used by the Owner on other projects, for addition to the project or for completion or to use, totally and completely, in whole or in part, for any other purpose in connection with the Project or for other purposes in connection with the Project or for other purposes in connection with the Project or for other purposes in connection with the Project.

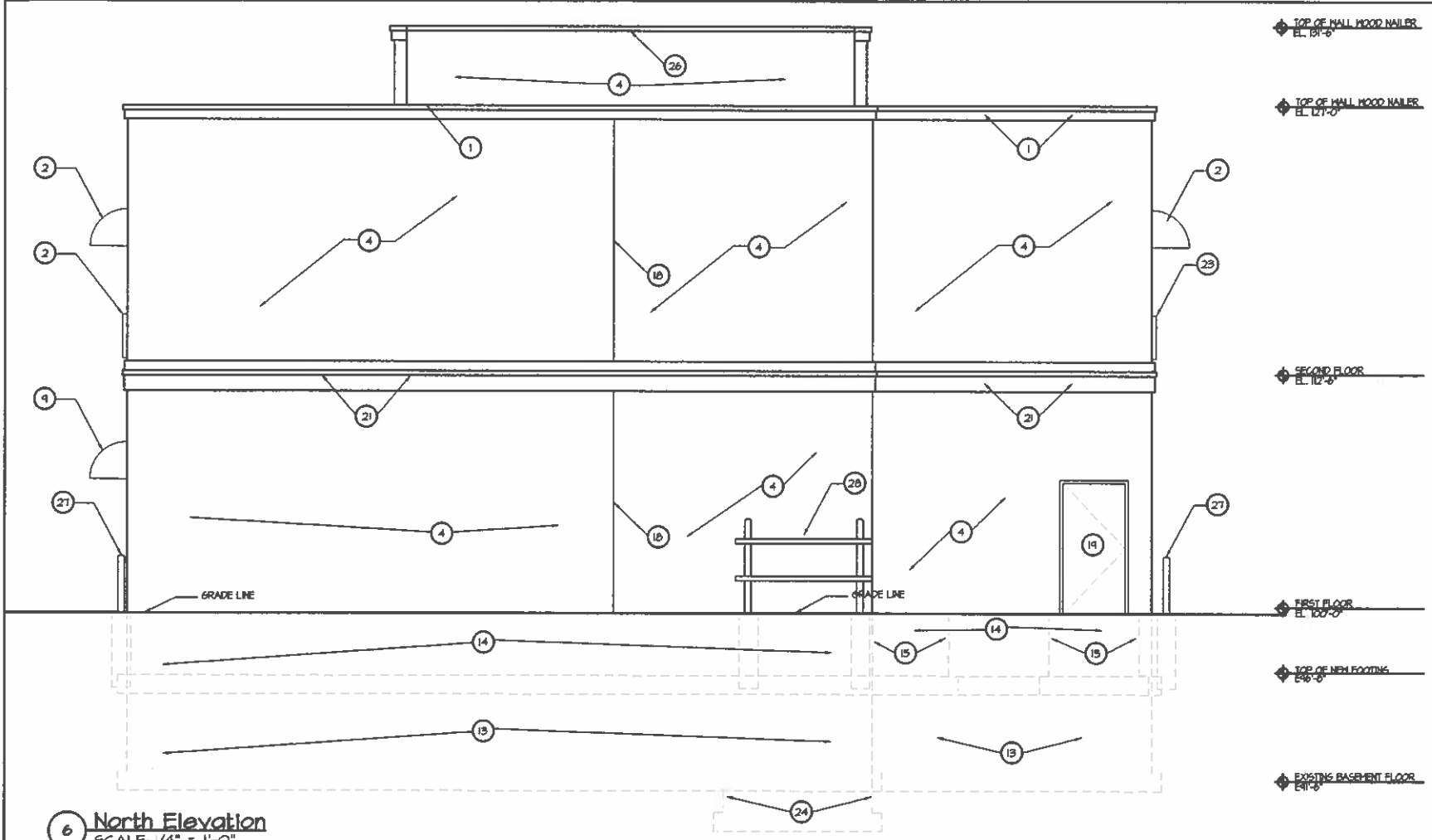
SHEET TITLE
Building Elevations

REVISIONS

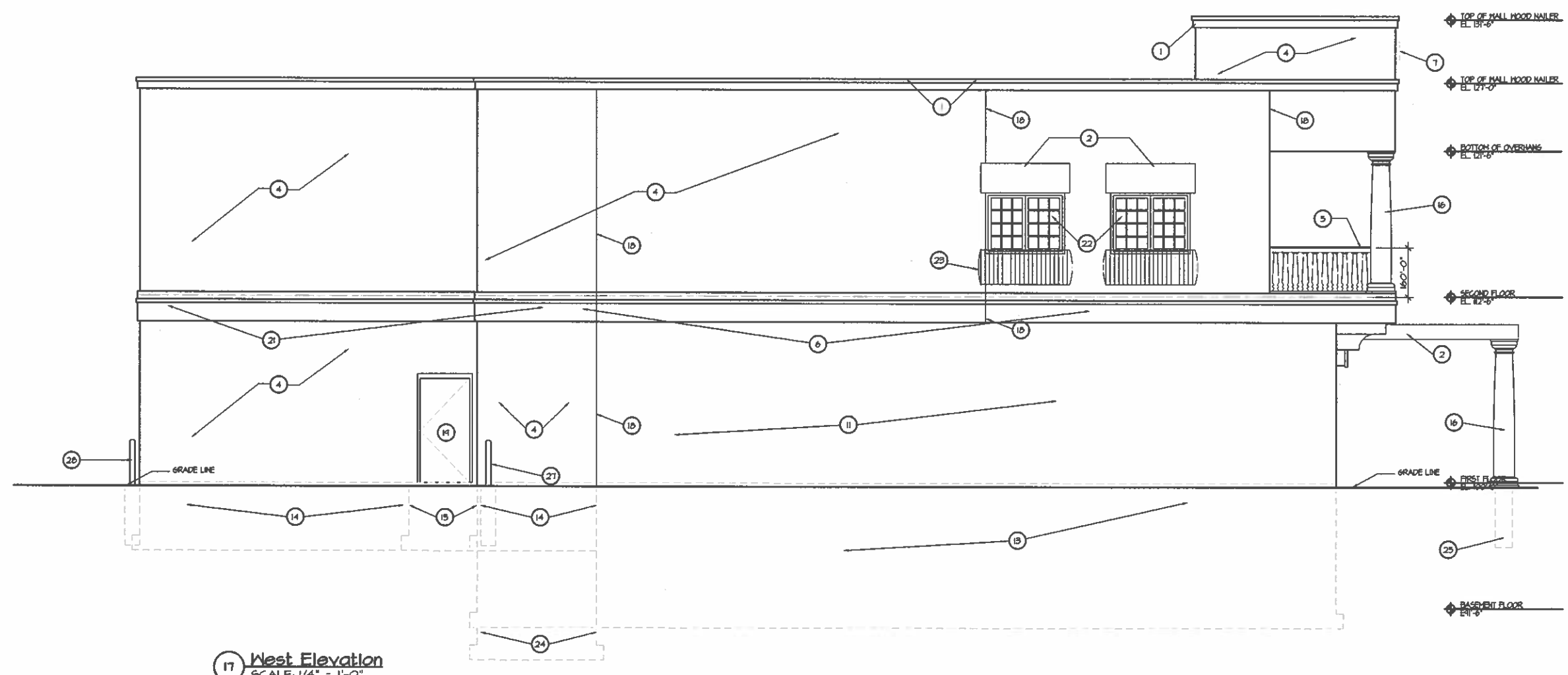
PROJECT DATA
Date: December 30, 2011
Job No.: 11134
Drawn By: French
SHEET NO.

A4.02

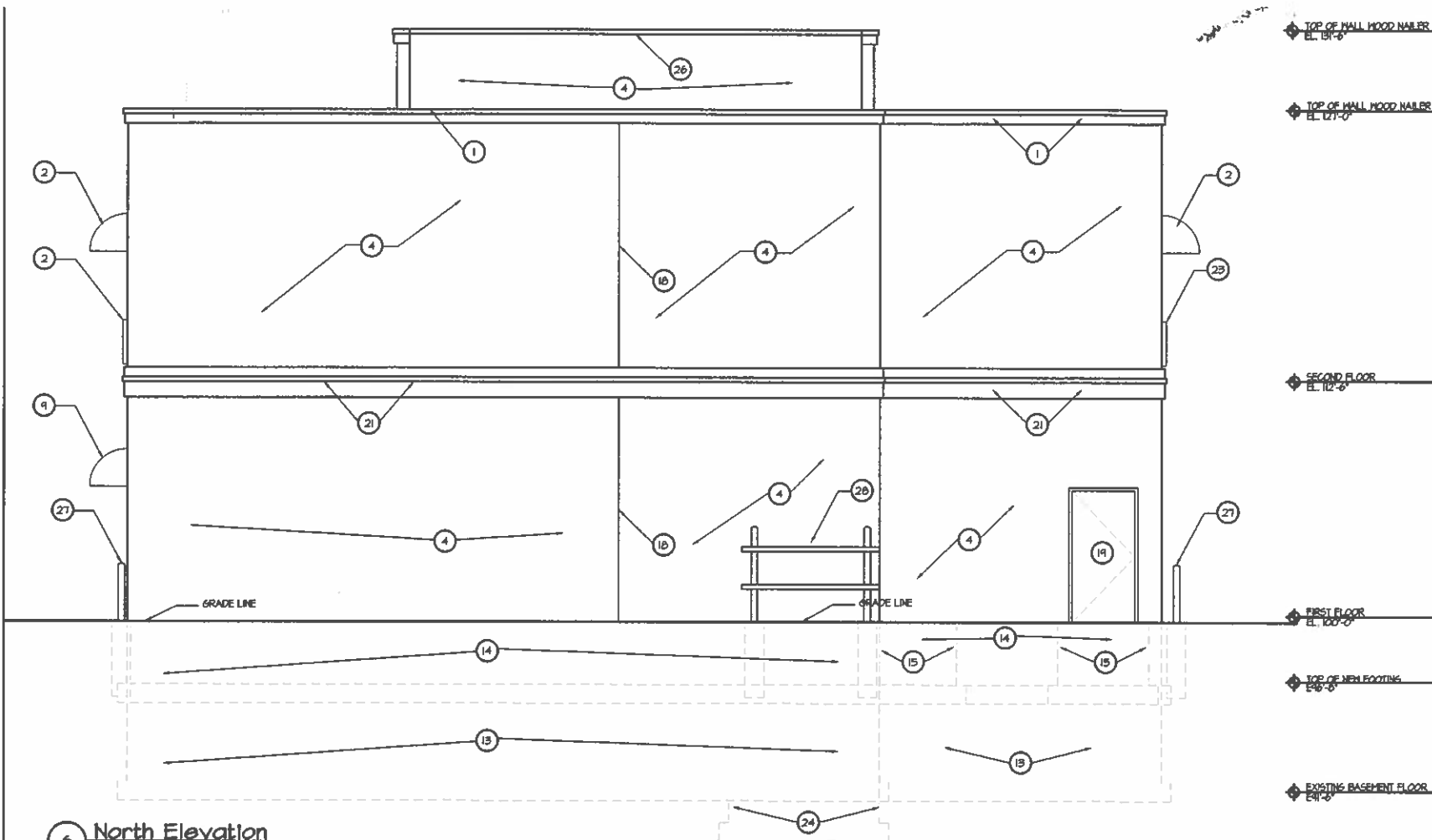
- ELEVATION KEYNOTES**
- 1 P.F. METAL PARAPET CAP/TRIM & EIFS TRIM - SEE DETAIL (X/XX)
 - 2 NEW FABRIC AWNINGS -SEE DETAIL (X/XX)
 - 3 NEW ENTRY DOOR & FRAME SEE DOOR SCHEDULE.
 - 4 WOOD STUD WALL W/ EIFS FINISH SEE DETAILS A6.01
 - 5 ALUMINUM DECK RAILING W/ WOOD CAP SEE DETAILS ON A6.01
 - 6 NEW EIFS ACCENT TRIM @ EXISTING WALL
 - 7 SURFACE MOUNTED SIGNAGE
 - 8 EXISTING WALL MOUNTED LIGHTS TO REMAIN
 - 9 EXISTING FABRIC AWNINGS TO REMAIN
 - 10 EXISTING DOORS REMAIN - CLEAN & PAINT
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 - 16 ACCENT COLUMNS @ BALCONY & FRONT ENTRY AWNINGS.
 - 17 P.F. ALUM. DOORS - NANA WALL SYSTEM.
 - 18 CONTROL JOINT - SEE DETAILS (X/XX)
 - 19 NEW HOLLOW METAL DOOR & FRAME W/ 2" HEAD
 - 20 EIFS ACCENT TRIM -SEE DETAIL (X/XX)
 - 21 ALUM. CLAD WINDOW
 - 22 DECORATIVE IRON RAILING.
 - 23 NEW ELEVATOR FOUNDATION
 - 24 NEW CONCRETE FOUNDATIONS FOR COLUMNS.
 - 25 P.F. METAL PARAPET CAP SEE DETAIL
 - 26 SINGLE BOLLARD SEE DETAIL (1/EPLO2)
 - 27 DOUBLE BOLLARD SEE DETAIL (6/EPLO2)



6 North Elevation
SCALE: 1/4" = 1'-0"

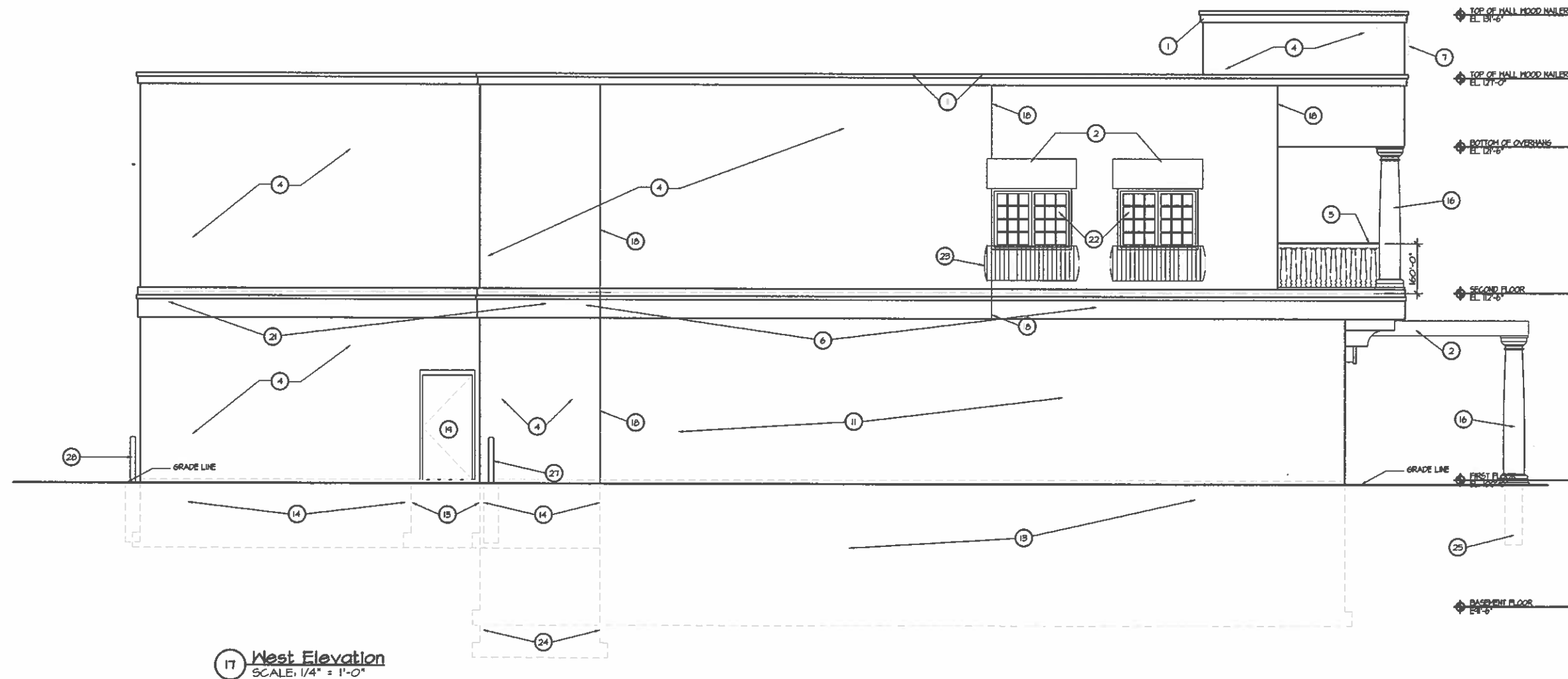


17 West Elevation
SCALE: 1/4" = 1'-0"



6 North Elevation
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
1 P.F. METAL PARAPET CAP/TRIM & EIFS TRIM - SEE DETAIL	(X/XX)
2 NEW FABRIC AWNINGS -SEE DETAIL	(X/XX)
3 NEW ENTRY DOOR & FRAME SEE DOOR SCHEDULE.	
4 WOOD STUD WALL W/ EIFS FINISH SEE DETAILS A6.01	
5 ALUMINUM DECK RAILING W/ WOOD CAP SEE DETAILS ON A6.01	
6 NEW EIFS ACCENT TRIM @ EXISTING WALL	
7 SURFACE MOUNTED SIGNAGE	
8 EXISTING WALL MOUNTED LIGHTS TO REMAIN	
9 EXISTING FABRIC AWNINGS TO REMAIN	
10 EXISTING DOORS REMAIN - CLEAN & PAINT	
11 EXISTING STUCCO FINISH WALL TO REMAIN. RE-PAINT COLOR AS SELECTED	
12 P.F. ALUM. DOOR	
13 EXISTING BASEMENT	
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15 NEW FOUNDATION AND STOOP - SEE STRUCTURAL	
16 ACCENT COLUMNS @ BALCONY & FRONT ENTRY AWNING.	
17 P.F. ALUM. DOORS - NANA WALL SYSTEM.	
18 CONTROL JOINT - SEE DETAILS	(X/XX)
19 NEW HOLLOW METAL DOOR & FRAME W/ 2" HEAD	
20 EIFS ACCENT TRIM -SEE DETAIL	(X/XX)
21 ALUM. GLAD WINDOW	
22 DECORATIVE IRON RAILINGS.	
23 NEW ELEVATOR FOUNDATION	
24 NEW CONCRETE FOUNDATIONS FOR COLUMNS.	
25 P.F. METAL PARAPET CAP SEE DETAIL	(1/SP1.02)
26 SINGLE BOLLARD SEE DETAIL	(6/SP1.02)
27 DOUBLE BOLLARD SEE DETAIL	(6/SP1.02)



17 West Elevation
SCALE: 1/4" = 1'-0"



JFrench and Associates, Inc.
Architecture
5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE
DATE

OWNERSHIP AND USE OF DOCUMENTS
The drawings, specifications and other documents furnished by the Architect are instruments of service and shall not become the property of the Owner, whether or not the Project for which they are made is completed. Drawings, specifications and other documents furnished by the Architect shall not be used by the Owner or other parties for additions to the Project or for completion or for use, locally and compensation, for other projects or for other purposes in connection with the Project or for other purposes in connection with the Project or for other purposes in connection with the Project or for other purposes in connection with the Project.

SHEET TITLE
Building Elevations

REVISIONS

PROJECT DATA
Date: December 30, 2011
Job No.: 11134
Drawn By: French
SHEET NO.

A4.02

Not For Construction



6 North Elevation
SCALE: 1/4" = 1'-0"

JFA

JFrench and Associates, Inc.

A r c h i t e c t u r e

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299



9 East Elevation
SCALE: 1/4" = 1'-0"

Used Building Expansion For
Ablanca On Brady

East Brady Street
Milwaukee, WI



Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

HPC meeting date: 2/14/2012
Ald. Nik Kovac District: 3
Staff reviewer: Paul Jakubovich
PTS #77621

Property 728 E. BRADY ST. **Brady Street Historic District**

Owner/Applicant AIM INVESTMENTS, LLC
728 E BRADY ST
MILWAUKEE WI 53202
Jim French
J French & Associates
5028 N Lake Dr.
Milwaukee, WI 53217
Phone: (414) 234-0299

Proposal Add a second floor to existing one story building and construct small rear addition.

Staff comments The building known today as the Casablanca restaurant is one of the newer buildings on Brady Street constructed in 1956 as a one story masonry block for a fish market owned by Tony Tarantino. In 1960 Mr. Tarantino converted the building into a restaurant. The current owner is proposing a substantial expansion of the restaurant with a new second story added to the top of the building along with a small rear addition.

The building as it stands today is a non-contributing structure yet it is important that the alterations are compatible with the overall character of the Brady Street local and national register historic district. A wide range of designs and styles are possible for the addition and the owner decided on a Mediterranean look to compliment the restaurant's business.

The architect and owner have met with HPC staff to discuss a number of design revisions. Many but not all of the suggestions made by staff were incorporated into the re-design. Only the Brady Street and Cass Street elevations will be substantially articulated. The two-story size of the building will be compatible with the existing buildings in the district.

At the time of this writing the specifications call for an EIFS (exterior insulation and finish system) to clad the upper story and rear addition. The commission has not approved any completely new EIFS installations in historic districts in at least the past decade. Ald. Nik Kovac, whose district includes the restaurant, and HPC staff have recommended that plaster stucco be used to clad the exterior which will match the existing plaster stucco on the first story. The owner is considering that recommendation. Staff also recommends that the cornice at the top of the building, which is presently specified as EIFS material, be made of pre-formed metal instead.

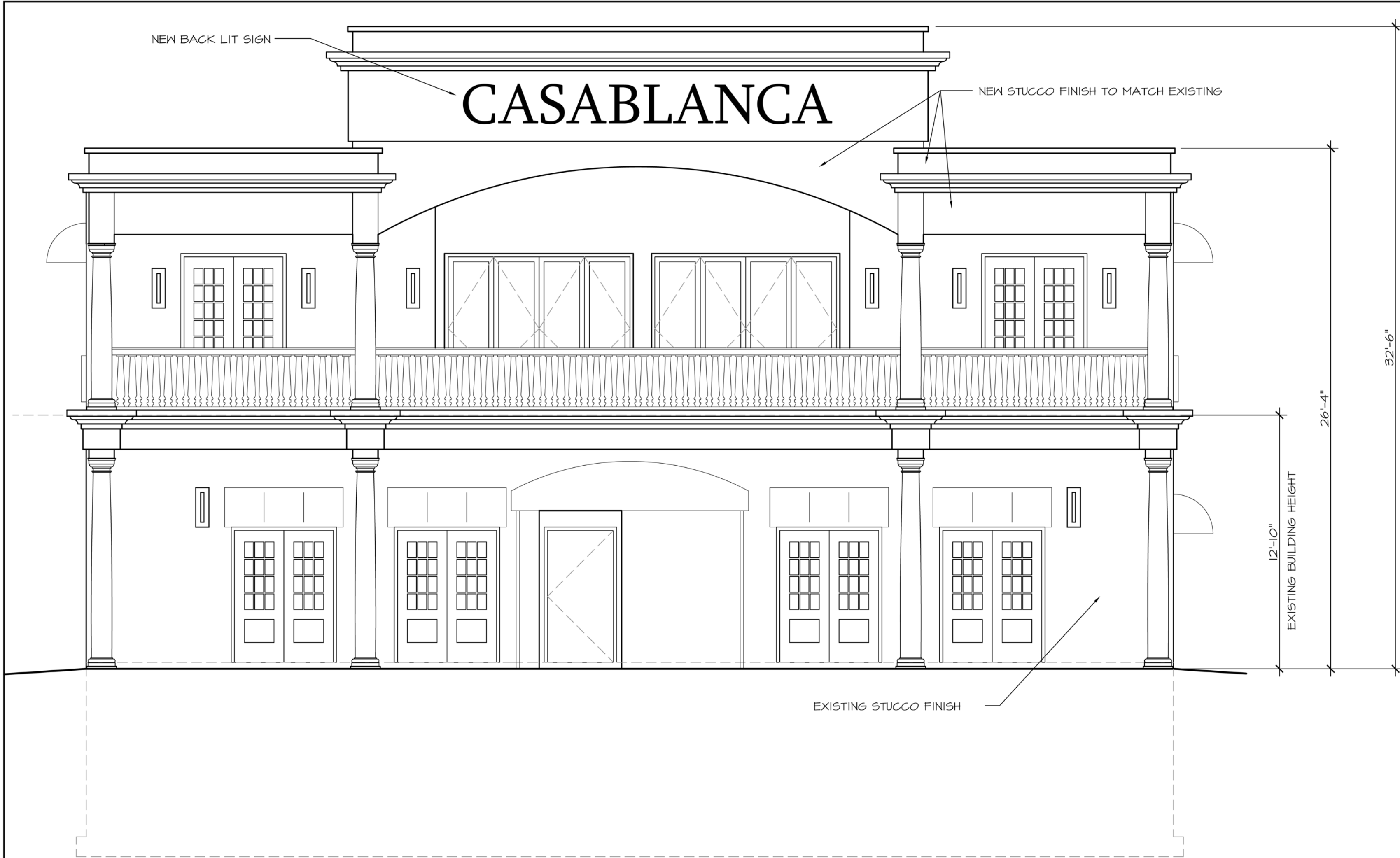
The sign at the apex of the front facade will be made of halo-lighted, pin-set, individual letters. No electrical raceways or channels will be visible on the facade. The signage is compatible with the historic district.

Recommendation Approve

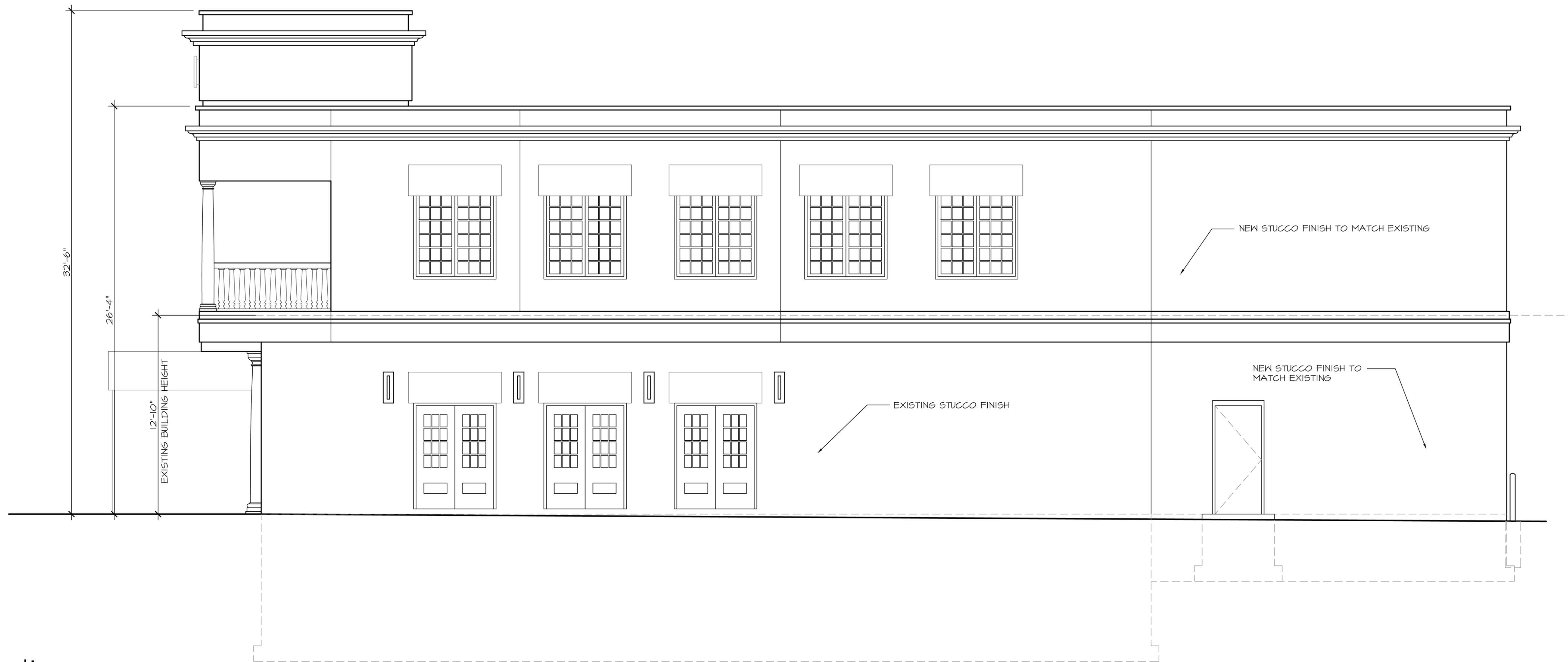
Conditions Submit construction details, consider staff recommendations on wall and cornice finish materials.

Previous HPC action

Previous Council action



6 North Elevation
SCALE: 1/4" = 1'-0"



16 East Elevation
SCALE: 1/4" = 1'-0"



JFrench and Associates, Inc.

Architecture

5028 North Lake Drive
Milwaukee, WI 53217
ph. 414-234-0299

Proposed Building Expansion For
Casablanca On Brady
728 East Brady Street
Milwaukee, WI

AUTHORIZATION SIGNATURE

SIGNATURE: DATE:

THE ARCHITECT, ARCHITECTS, ENGINEER AND ASSOCIATES, INC. IS PROVIDING TO THE BEST OF HIS KNOWLEDGE AND BELIEF THAT THE INFORMATION CONTAINED HEREIN IS CORRECT AND COMPLETE. THE ARCHITECT, ARCHITECTS, ENGINEER AND ASSOCIATES, INC. IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT, ARCHITECTS, ENGINEER AND ASSOCIATES, INC. IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THE INFORMATION CONTAINED HEREIN.

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are instruments of service and shall not become the property of the Owner whether or not the project for which they are made is commenced. Drawings, specifications and other documents furnished by the Architect shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of the Architect's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

SHEET TITLE

Building Elevations

REVISIONS

PROJECT DATA

Date: February 2, 2012

Job No.: 11134

Drawn By: French

SHEET NO.

A4.02

Elevation Options



Legislation Details (With Text)

File #: 111251 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/3/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for restoration of windows at 2360 N. Terrace Avenue for Leniwati Siker.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/3/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111251
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for restoration of windows at 2360 N. Terrace Avenue for Leniwati Siker.

Requestor

Drafter
CC-CC
dkf
1/3/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Leniwati M. Siker

ADDRESS OF PROPERTY:

2360 North Terrace Avenue

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Leniwati M. Siker

Address: 2360 North Terrace Avenue

City: Milwaukee

State: WI

ZIP 53211

Email: lenisiker@voguewater.com

Telephone number (area code & number) Daytime: 414-265-7388 W

Evening: 414-899-8500 Cell

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Rivercity Woodworking LLC

Address: 607A South 6th Street

City: Milwaukee

State: WI

ZIP Code: 53204

Email: rivercitywoodwrk@sbcglobal.net

Telephone number (area code & number) Daytime: 414-272-0437

Evening:

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

____ Photographs of affected areas & all sides of the building (annotated photos recommended)

____ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

____ Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

____ Floor Plans (1 full size and 1 reduced to 11" x 17")

____ Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached):

See Rivercity Woodwork LLC description in Quote

Photo No. _____

Drawing No. _____

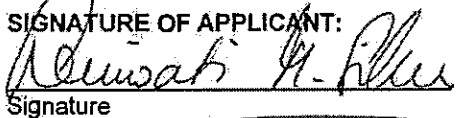
B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See Rivercity Woodwork LLC description in Quote

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:


Signature

Leniwati Siker Dec 20, 2011

Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Juanita M. Ellias
Rivercity Woodworking, LLC
607 A. S. 6th St.
Milwaukee, WI 53204

December 1, 2011

Leni Siker
2360 N. Terrace
Milwaukee, WI 53211

Dear Leni,

Enclosed please find a proposal for the restoration of windows in the Sun Room in the house at the above address. This document is submitted for your consideration and comments. The subject areas are as follows.

Description.....	Page 1
Restoration Procedures	Page 2
Cost and Payment Schedules	Page 5
Policy on Change Orders.....	Page 6
Conditions of Work	Page 5
Schedule of Work.	Page 6
Policy on Warranty.	Page 6
Lien Rights & Cancellation Rights	Page 5
Signature Page	Page 6

I thank you for the opportunity to submit this proposal to you. I thank you in advance for providing me with the opportunity to work with you on your important project.

Sincerely

Juanita M. Ellias
dba Rivercity Woodworking, LLC
607 S. 6th St.
Milwaukee, WI 53204

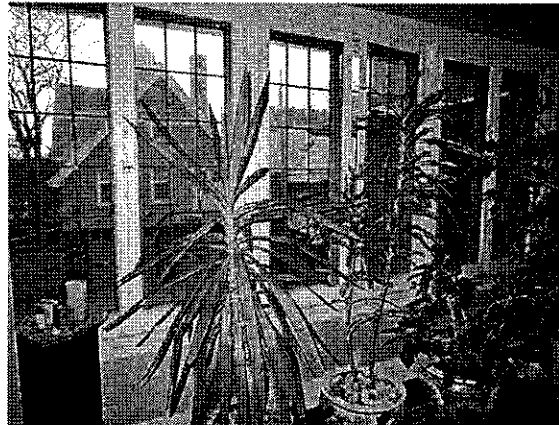
Proposal

Leni M. Siker
2360 N. Terrace Av
Milwaukee, WI 53211
Tel: 414-899-8500
Fax: 414-265-7394
www.sikerconsultinginc.com

Rivercity Woodworking LLC
607 A S. 6th St
Milwaukee, WI 53204
rivercitywoodwrk@sbcglobal.net
1-414-272-0437

Re: L. O. Heussler House (1915)
Architect, George W. Maher (Chicago)
Current Owner: Leni M. Siker
North Point (North) Historic District
Milwaukee, WI 53211

The following is a proposal for the restoration of windows in the above property located 2360 N. Terrace Av, Milwaukee, 53211 in the North Point (North) Historic District designated as an historic district (bot locally and nationally) in accordance with the provisions of section 2-235 of the Milwaukee Code of Ordinances. If all parties agree to the terms outlined in the following document, it will serve as the contract for work. The signature page is found on the last page of this document.



The work proposed in the following will satisfy the requirements of the conservation work. However, this document, nor any information provide herein will constitute a "Condition Report" preliminary to the approval of the destruction of any of the historic fabric in the building.

Rivercity Woodworking LLC is a drug free employer. This business holds policies for bonding, professional liability, general liability, and workman's compensation in amounts that are

or will be sufficient to cover work on the proposed project. The owner and/or business holds certifications from the Building Performance Institute (Building Performance Analyst), RESNET (Residential Energy Network as an Energy Consultant and Rater in partnership with Focus on Energy), the State of Wisconsin, Department of Health [Lead Abatement Supervisor (LSC-123470, exp. 6/26/2012)]. The business and/or owner holds membership in the Better Business Bureau of Wisconsin and NARI (National Association of Remodelers Institute). My minority does not qualify as a Minority Owned Business in the State of Wisconsin. The workforce will include qualified minority workers (who may include with agreements received from owners of the project and federal rules governing work on National Landmarks) felons in special training programs. The work outlined in the following pages will proceed using safe building practices that conform to best practices outlined by the Wisconsin Department of Natural Resources, the Federal Department of Energy, Federal Environmental Protection Agency, and Occupational Safety and Health Association guidelines. Material Safety Data Sheets (MSDS) information is available upon request for all products used in the restoration processes. All materials used in this work have been approved by the Office of Technical Preservation in the National Parks Service in the Department of Interior as outlined in their *Preservation Briefs*. Cost estimates are located at the end of this document.

Scope of Work

The restoration plan currently addresses 9 sets of casement windows that are located in the sun room at the back of the house. All nine are fitted with multiple lights framed in zinc/lead kames. Two are fitted with storm windows. Seven require storm windows which may or may not be still located on site in storage. At some future date, the restoration plan will address the remaining windows in the property. Currently, the costs listed below are for the windows in the sun room only and presume that original storm windows cannot be located.

Original Windows Hazardous & Defective Material Removal

Restoration engages, in principle, the idea that salvaging existing materials is preferred over sending still useable materials to landfills because: (1) surface defects are ugly, or unhealthy, or (2) building components fail to meet current energy standards. Thus, my standard restoration plan involves 2 parts: removing hazardous and defective materials and bringing existing windows to acceptable energy efficiency standards by reducing infiltration and providing storm windows.

A. Sash Restoration

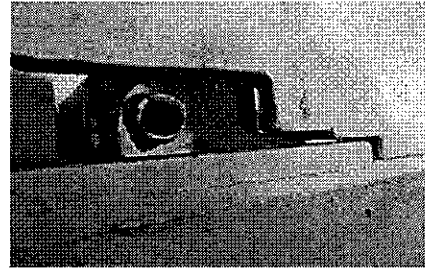
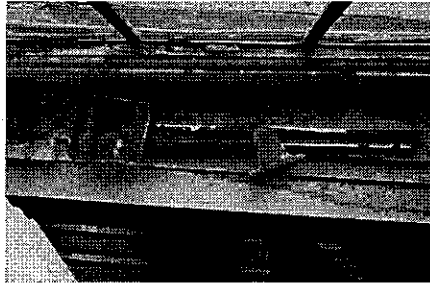
1. Each sash that is designated for restoration will be removed from its frame and the site. All paint and putty will be removed by a commercial stripper. Once cleaned, the sash is removed to my shop (607 A S. 6th St, Milwaukee, WI) where it

is disassembled to remove the glass, safely, and to remove all metal that had been used to secure sash sticks. Original glass is cleaned. The sash sticks are wetted continuously with steam to remove safely *all* of the glazing compound that survived the stripping work. This is an important step to ensure that all asbestos has been removed from wood and glass and to ensure that new putty will be bedded into a solid substrate.

2. When damaged, individual sticks are repaired with Dutchmen, or filled with formulated epoxy liquid and putty.
3. Deteriorating sections of the sash are treated with a formulated epoxy consolidating material or a wood stabilizer (depending on the moisture content of the wood and whether cracks are developing).
4. Parts are sanded and prepared for re-assembly.
5. Once reassembled, the sash is secured with formulated epoxy adhesives and wood pins. The assembled sash is sanded. In sanding, the goal is two-fold--to ensure a clean, smooth surface in the rabbets for new glazing compound and to ensure a solid surface for new finishes.
6. The inside of the sash is treated with an oil based finish. The exterior of the sash is treated with a stabilizer, treated with a linseed oil formula.
7. The "leaded-glass" panels are laid on a flat to allow the bows to flatten out. If necessary, reinforcing bars will be added to prevent future bowing of the panels. The kames are cleaned and inappropriate glazing compound is removed. Once the panels are flattened, they will be evaluated and sub-contracted to a specialist for the installation of re-inforcing bars. Otherwise, specialized glazing compound will be used to secure the glass in the kames. Once repaired, the panels will be secured into the wood frames with points and glazing compound.
8. The sash is prepared with grooves to receive tradition metal weather-stripping (zinc or bronze).
9. The exterior is treated with a stabilizer and two coats of primer and top coated with a colored paint.
10. The interior face of the sash frame is finished with a stain and clear top coat.

Installation follows after the frame is restored.

B. Hardware Cleaning and repair. Many of the casement operators and hold down bolts have been damaged by paint, the build up of oxidation, or lack of regular maintenance.



Non-abrasive cleaners are used to lift the oxidation and remove paint accumulation. Lubricating oil typically is sufficient to return hardware to “as-good-as-new operating condition.” All hardware is removed, cleaned, polished, oiled (when appropriate) and returned to good working condition

Improving Energy Performance

An essential part of the restoration work is to improve the energy performance of the building envelop by reducing the infiltration around windows. The restoration strategy categorizes infiltration into one of 4 problem areas:

- (1) the gap between the frame and the brick wall;
- (2) the gap between the sash and the frame;
- (3) the gaps between the sash frame and the glass.
- (4) the gaps in joinery

The gaps that form between the frame and the wall are addressed in the restoration of the frame. Additionally, the interior casing is removed to seal the gap between brick and window frame, and to seal any cracks that may have developed in the weight cavity, where these exist. The gaps in joinery and where glass is seated into the sash are addressed in the restoration of the sashes. Each sash is reinstalled with the addition of a metal weather-stripping conforming to a type popular in the early 1900s. Because of the possibility a sash may be bowed, a flexible bulb weather-strip may be substituted for the interlocking metal weather-strip. Bulb weatherstripping does not have the durability of the metal weather-strip; it does however accommodate the deformation in the sashes and allows for a functional weather seal. These are addressed with weatherstripping.

Finally the energy performance of the window is improved by the installation of a secondary storm sash. With the installation of 1/4 inch laminated glass in the first floor units, the storm sash will provide security on the first floor.

Cost Estimates

Base Cost: \$1000.00 per double casement sash

Includes all steps excepting the manufacturing and installation of storm sashes for the all arched windows and for the first floor windows and special repairs to frames and sashes.

Up Charges:

Repair to sashes will not exceed an up charge of \$100.00 per sash

Replacement of frame parts will be charged at \$55.00 per hour plus the cost of materials.

Storm Sashes

Charges include fitting, primed, painted and installed.

\$250 per storm sash for rectangular shapes fitted with 1/4 laminated glass

Charges Presuming All Sashes/Frames Restored- 28 windows

Total Charge for 9 prime sashes: \$9,000.00 est

Total Charge for 7 new storm : \$1,750.00 est

V. Policy On Change Orders

If the owner, construction lender, or any local governmental authority directs any modification or addition to the work covered by this proposal, the amount for such extra work shall be determined in advance, and the cost shall be added to the Proposal price. Payment for any extra order(s) are due and payable prior to the commencement of such extra work. Rivercity Woodworking shall do no extra work without the agreed terms and shall be approved by both parties and shall also be subject to all terms and conditions of this Proposal.

Conditions of Work

Electricity: 2 - 15 amp grounded circuits available in work site with one dedicated circuit for site

Water: access to water on site

Work Site Preparation Enclosures: work space sealed and secured. exterior work areas will be supplied with heat so that the working temperature is a minimum of 60°F; floors covered with 6 mil plastic

Accessibility: work space should be accessible to workers 24 hours, 7 days a week.

Weather: Work must be suspended if wind speeds exceed 20mph

Disclosures: None

Schedule of Work

Rivercity Woodworking LLC agrees to diligently pursue the work through the completion but will not be responsible for delays caused by any or one of the following events:

Acts of God¹

Acts of Public Enemy

Inability to secure material through recognized channels

Failure of the owner to make payments as they are due

Acts of Independent Contractors

Holidays

Other causes beyond the control of Rivercity Woodworking, LLC.

VI. Policy on Warranty.

Rivercity Woodworking LLC guarantees that all materials furnished by the aforesaid company will be of standard quality appropriate to and for restoration work and will be installed or applied following the instructions of the manufacture in a good and workmanlike manner and in conformity with industry standards. Reasonable service requests submitted by the owner in writing with payment terms will be handled in the same manner. Rivercity Woodworking, LLC agrees to replace or repair at its own expense, any materials found to be defective, excluding reasonable wear and tear, within one (1) year from substantial completion, when subject to normal use and care. This warranty covers defects in materials only and not workmanship.

Notwithstanding anything to the contrary, Rivercity Woodworking LLC has not investigated, tested, or determined the current condition or integrity of the superstructure of the project. This warranty shall exclude specifically remedy for any damage or for any defect caused directly or indirectly, or in whole or in part by any deformation in the superstructure of the project that impinges upon the basic integrity of the frame.

¹ Definition. *Acts of God*. In addition to the normal understanding of such acts, Rivercity Woodworking draws special attention to the impact weather conditions will have the on the materials being used in restoration work. Epoxies will not cure below 50 degrees Fahrenheit, they will cure at a very slow rate when the humidity rises above 80%, and they cannot be applied to wood with a moisture content above 16%. If, and when, any of these conditions exist, progress will be slowed and / or delayed.

VII. Policy on Insurance

Rivercity Woodworking LLC will carry General Liability, Worker's Compensation, and Professional Liability insurance to protect itself and its employees during the progress of the work. The Owner shall obtain and pay for liability insurance against injury to other employees, who under their own direction, another contractor's direction, or the owner's direction, attempt to use any part of the work covered under this contract prior to the work being completed.

VIII. Lien Right (Wisconsin Statutes Chapter 779.01) & Cancellation Rights

As required by the Wisconsin Lien Law, Rivercity Woodworking, LLC notifies Stephanie L. Powe, that persons contracted to provide services and /or materials for restoration work on 3014 W. McKinley Av, Milwaukee, WI may have the right to apply a lien on the property under the circumstance that any payment for work fails to be submitted in accordance with the schedule for payment as outlined above.

Signature Page

Rivercity Woodworking LLC and Leni Siker agree that the terms outlined in the above proposal will form the basis of a contract for work on the property whose historical designation is known as the L. O. Heusser House designed by George W. Maher and built in 1915 at 2360 N. Terrace Av, Milwaukee, WI 53211

Juanita M. Ellias *dba* Rivercity Woodworking, LLC

Date

Leni Siker, owner, 2360 N. Terrace Av, Milwaukee, WI 53211

Date



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 2360 N. TERRACE AV. North Point North Historic District
Description of work Restore original wood casement windows in sunroom at rear of house. Install protective, laminated glass storms in windows as needed. Install weather-stripping and reinforcing bars on leaded glass windows as needed.
Date issued 12/27/2011 PTS ID 77321 COA, window restoration

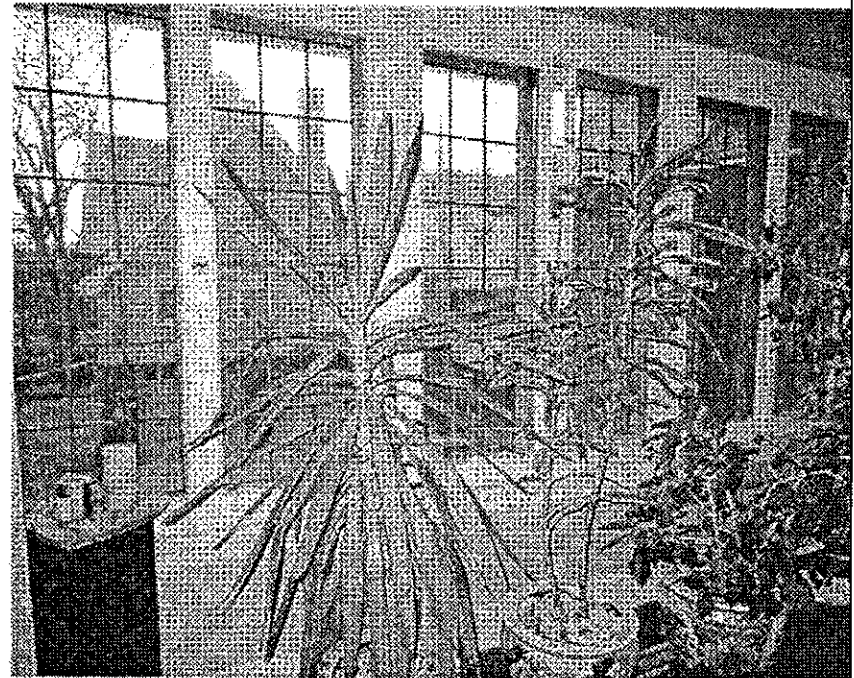
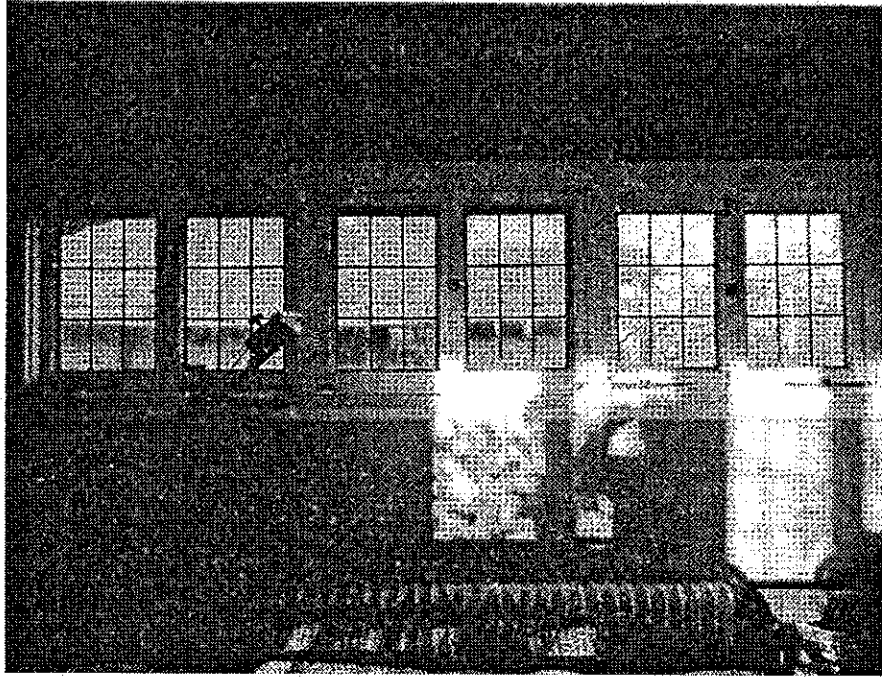
In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and description. Windows will be restored and repainted. No metal coverings over wood will be installed. All leaded glass will be preserved and restored. All work will be done in a manner that will renew the original windows to their original condition as closely as possible.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor Juanita Elias, Inspector Jim Friedrichs (286-5982)



Wood casement windows to be restored at rear of building. Windows will be stripped, metal or bulb-type weather strip will be installed and reinforcing bars will be added to leaded glass where necessary. All original materials will be preserved as much as possible. Any new materials will match the originals exactly. No metal will be used to cover wood.



Legislation Details (With Text)

File #: 111255 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/6/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installing of new signage at 1300 E. Brady Street for JWK Management LLC.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/6/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111255
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installing of new signage at 1300 E. Brady Street for JWK Management LLC.

Requestor

Drafter
CC-CC
dkf
1/6/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM
Incomplete applications will not be processed for Commission review.
Please print legibly.

sent @ 11/12/11

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

BRADY STREET

ADDRESS OF PROPERTY:

1300 Brady Street

2. NAME AND ADDRESS OF OWNER:

Name(s): JWK Management LLC

Address: 1224 E. Brady Street

City: Milwaukee

State: WI

ZIP 53202

Email:

Telephone number (area code & number) Daytime: Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Signs By Tomorrow

Address: 11280 W. Lincoln Ave.

City: West Allis

State: WI

ZIP Code: 53227

Email: dbruk@signsbytomorrow.com

Telephone number (area code & number) Daytime: 414-328-8939 Evening: 262-853-6678

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

6/10/10

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

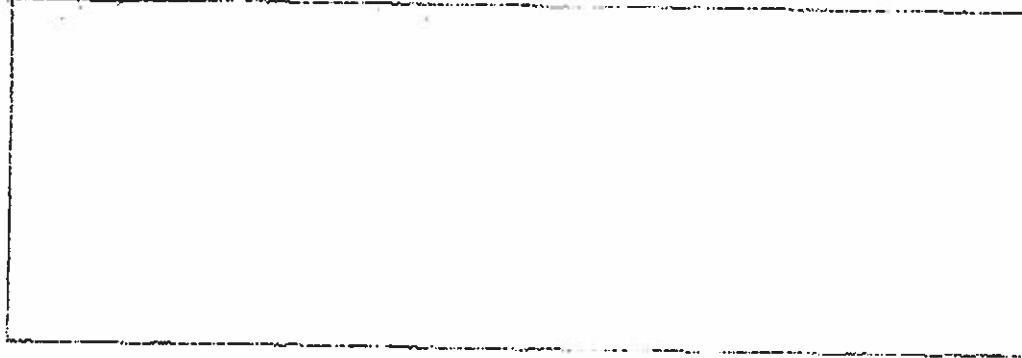


Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Install new - according to attached drawing

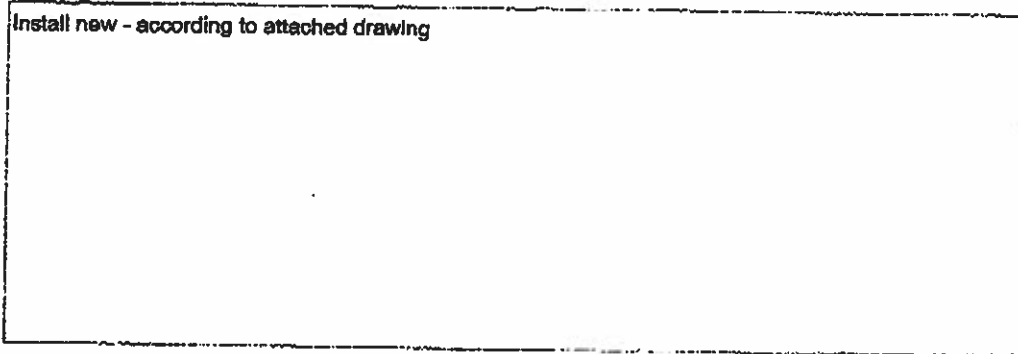


Photo No. _____ Drawing No. _____

6. SIGNATURE OF APPLICANT:


Signature

Daniel Bruk
Print or type name Date

11/17/11

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

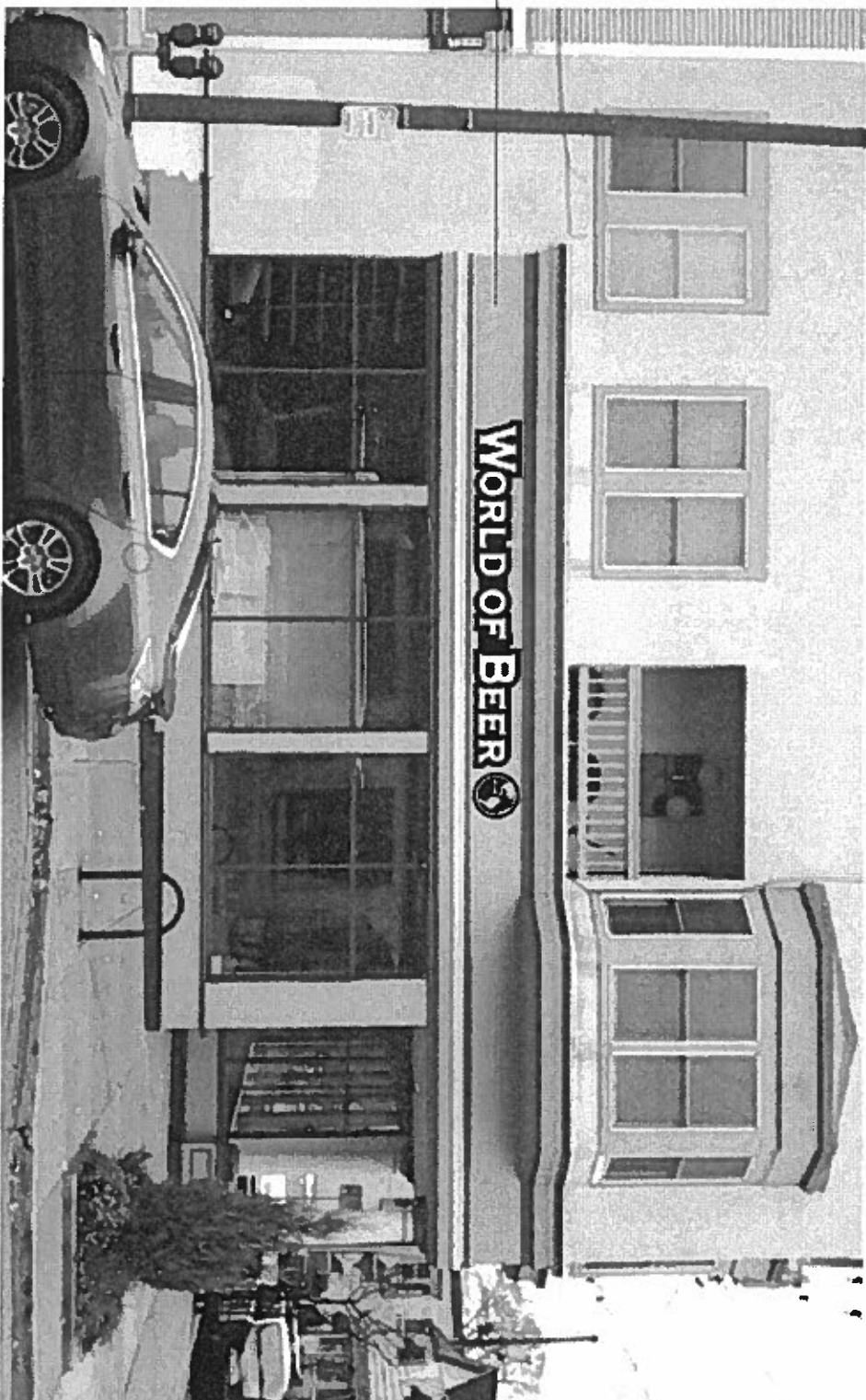
www.milwaukee.gov/hpc

6/10/10

20'h x 170.5"w

Invoice#: TBD
Client: World of Beer

Proof: 5 - WEST SIDE
Item#: 1
Product: LED Backlit Channel Letters
Qty: 1
Color: Black, White & PMS 116C Yellow
Additional: Mounted to Raceway



Proofs are subject to limited changes. Signs By Tomorrow - West Allis will allow up to 2 additional electronic proofs at no charge. Any subsequent changes will be subject to a \$50 re-proofing charge per proof. Final production will not proceed without written or electronic proof approval. All artwork above is property of Signs By Tomorrow - West Allis and cannot be reproduced without the express written permission of Signs By Tomorrow - West Allis (2011).



Invoice#: TBD
Client: World of Beer

20" h x 170.5" w

Proof: 2 - SOUTH SIDE
Item#: 1
Product: LED Backlit Channel Letters
Qty: 1
Color: Black, White & PMS 116C Yellow
Additional: Mounted to Raceway



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LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 1300 E. BRADY ST. **Brady Street Historic District**
Description of work Install new individual letter, internally-illuminated sign on south and west elevations.
Date issued 1/4/2012 **PTS ID 76725 COA, signage**

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and illustrations. Raceway for individual letters will be no more than 4 inches in depth.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.


Paul Jakubovich
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor, Inspector Jim Friedrichs (286-5982)

Proof: 5 - WEST SIDE

Item#: 1

Product: LED Backlit Channel Letters

Qty: 1

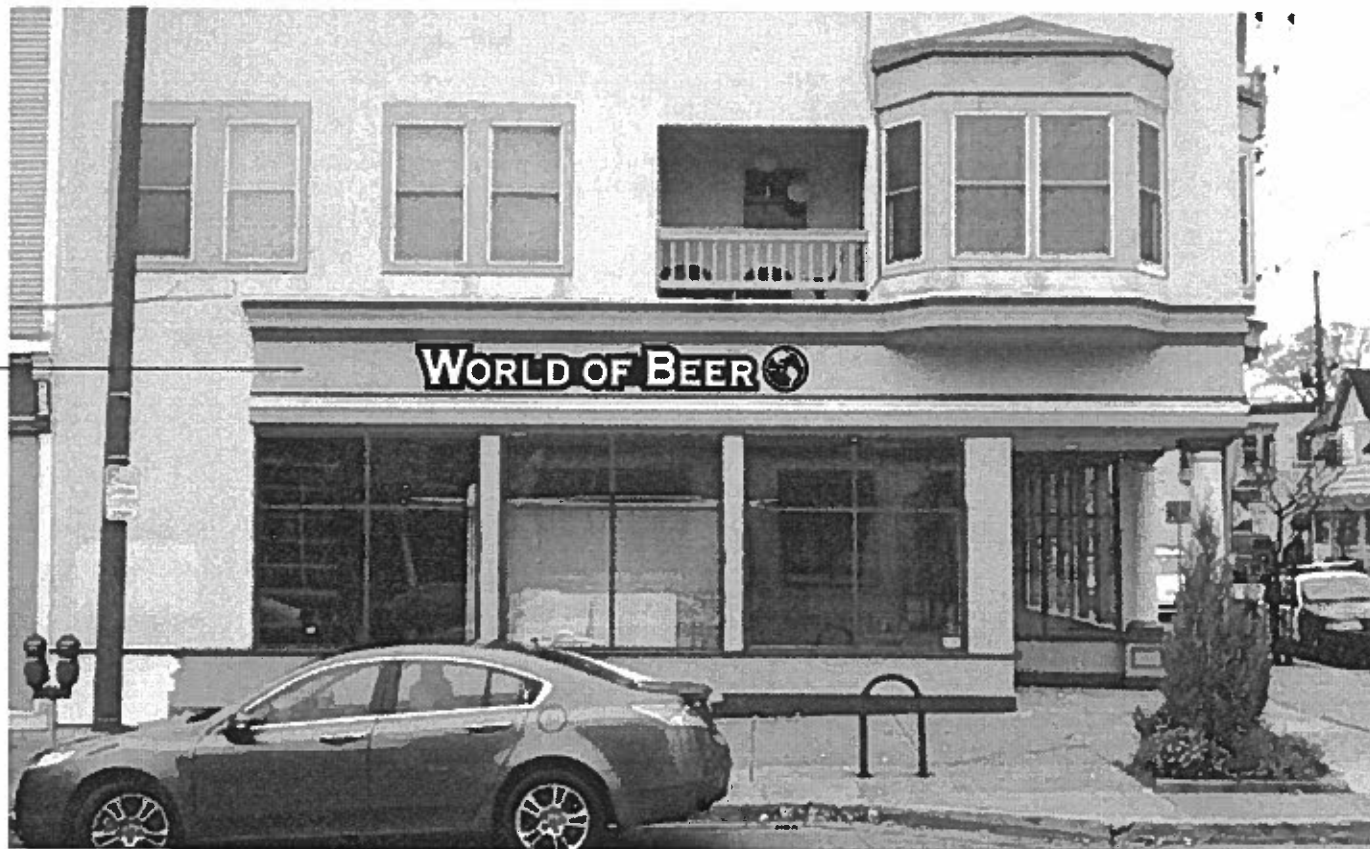
Color: Black, White & PMS 116C Yellow

Additional: Mounted to Raceway

Invoice#: TBD

Client: World of Beer

20"h x 170.5"w



← 45"w →

Proofs are subject to limited changes. Signs By Tomorrow - West Allis will allow up to 2 additional electronic proofs at no charge. Any subsequent changes will be subject to a \$50 re-proofing charge per proof. Final production will not proceed without written or electronic proof approval. All artwork above is property of Signs By Tomorrow - West Allis and cannot be reproduced without the express written permission of Signs By Tomorrow - West Allis (2011).



Proof: 2 - SOUTH SIDE

Item#: 1

Product: LED Backlit Channel Letters

Qty: 1

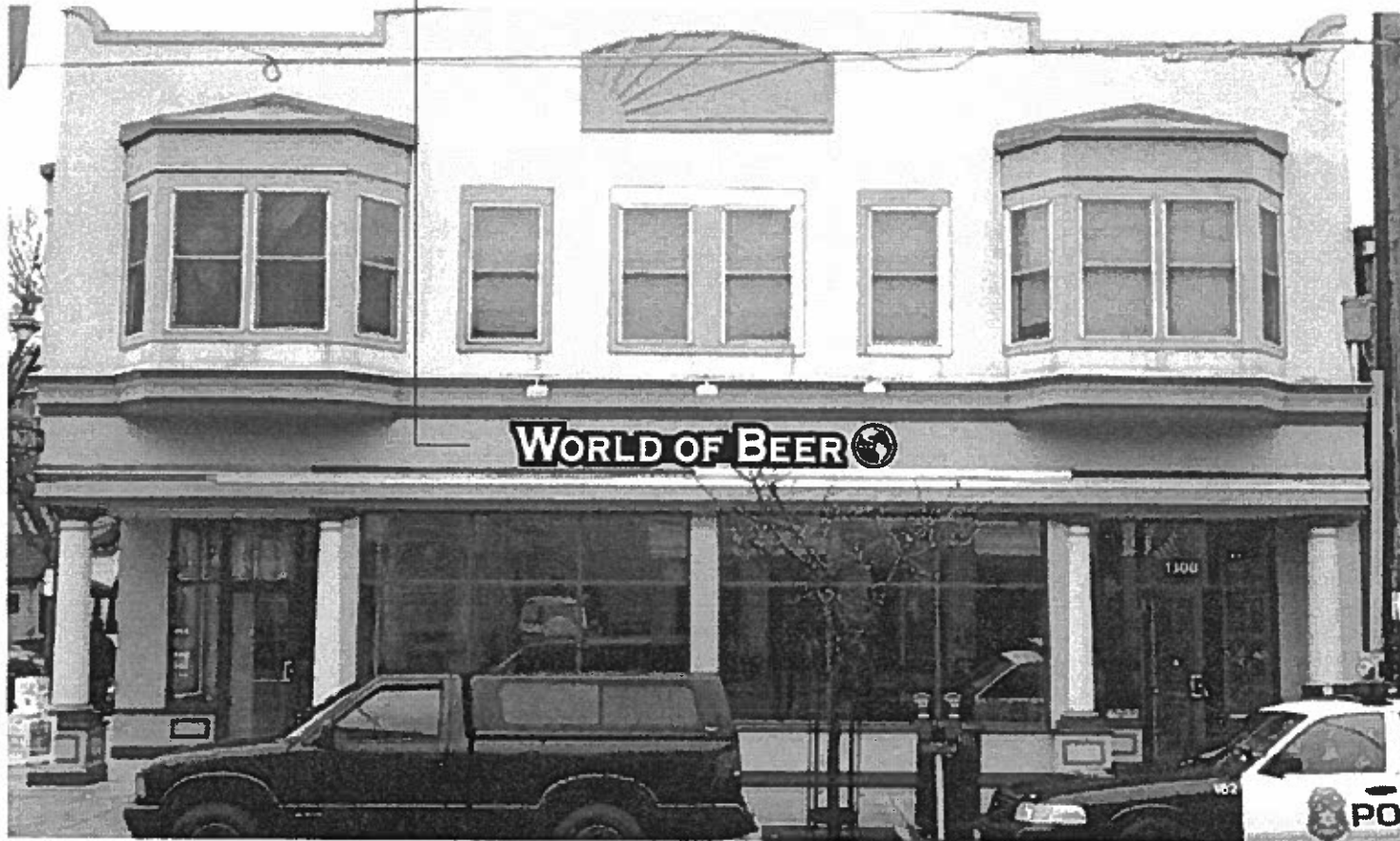
Color: Black, White & PMS 116C Yellow

Invoice#: TBD

Client: World of Beer

20"h x 170.5"w

Additional: Mounted to Raceway



Proofs are subject to limited changes. Signs By Tomorrow - West Allis will allow up to 2 additional electronic proofs at no charge. Any subsequent changes will be subject to a \$50 re-proofing charge per proof. Final production will not proceed without written or electronic proof approval. All artwork above is property of Signs By Tomorrow - West Allis and cannot be reproduced without the express written permission of Signs By Tomorrow - West Allis (2011).





Legislation Details (With Text)

File #: 111279 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/11/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of new wood doors at 3014 W. McKinley Blvd. for Stephanie Powe.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/11/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111279
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of new wood doors at 3014 W. McKinley Blvd. for Stephanie Powe.

Requestor

Drafter
CC-CC
dkf
1/11/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

*Filed
9/28/11*

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

3014 West McKinley Blvd., Milwaukee, WI 53208

2. NAME AND ADDRESS OF OWNER:

Name(s): Stephanie Powe

Address: 3014 W. McKinley Blvd.

City: Milwaukee

State: Wisconsin

ZIP 53208

Email: slpowe@hotmail.com

Telephone number (area code & number) Daytime: 414-899-7693

Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

1. Replace current door with original doors (2).
2. Repair the weathering of side doors and add storm doors.

Photo No. _____

Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

River City Woodworking
607 South 6th Street
Milwaukee, Wisconsin 53204
414-272-0437

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:

Signature

Stephanie L. Powe September 5, 2011
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Google maps

Address **West McKinley Boulevard**

Address is approximate

Save trees. Go green!

Download Google Maps on your
phone at google.com/gmm



Juanita M. Ellias
Rivercity Woodworking, LLC
607 A. S. 6th St.
Milwaukee, WI 53204

December 10, 2011

Stephanie L. Powe
3014 W. McKinley
Milwaukee, WI 53208

Dear Stephanie,

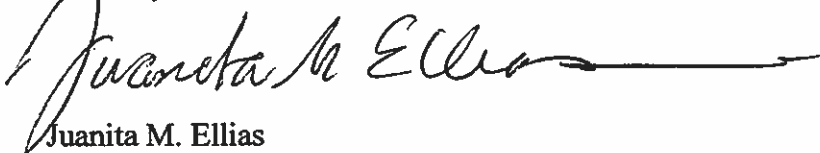
Enclosed please find a proposal for the restoration of front entrance and doors, repair of side entrance doors, and the manufacture of 4 storm doors for your residence at the above address. This document is submitted for your consideration and comments. The subject areas are as follows.

I.	Description	Page 1
II	Restoration Procedures	Page 2
III	Cost and Payment Schedules	Page 4
IV	Conditions of Work	Page 5
V	Policy on Change Orders	Page 6
VI	Policy on Warrant	Page 6
VII	Policy on Insurance	Page 6
VIII	Lien Rights & Cancellation Rights	Page 7
IX	Signature Page	Page 8
X	Photographs and Sketches	Page 9-18

The illustrations attached at the end include photographs and sketches detailing the framework design, and storm door designs.

I thank you for the opportunity to submit this proposal to you. I thank you in advance for providing me with the opportunity to work with you on your important project.

Sincerely



Juanita M. Ellias
dba Rivercity Woodworking, LLC
607 S. 6th St.
Milwaukee, WI 53204

I. Description

The following proposal addresses the restoration of doors in the residential property owned by Stephanie L. Powe located at 3014 W. McKinley Blvd, Milwaukee, WI, 53208.(Fig.1-5) in Cold Springs Park Historic District. The doors that are subject for this restoration proposal are located in the front / primary entrances (south) (Fig. 1) and the secondary entrances (east) (Fig. 14-16) on first floor of the building.

The proposal and estimate is based on information gleaned from the material evidence of the abandoned doors found on site, de-construction of the primary door frame, and partial de-construction of one door in the side entrance.

Project I: Front Entrance

A. Description of Project

This project involves the restoration of the prime doors serving as the front entrance to the house at 3014 W. McKinley Av, located in the historic district of Coldwater Springs in Milwaukee, WI. The door, now in service as the front door, was installed in the 1970s to conform with the requirements of the American Disabilities Act. It included a 40 inch wide metal door with two fixed panels which closed the original opening of 74 inches by 96 inches down to 40 inches by 72 inches (Fig. 1, 2).

In returning the entrance to its original condition, it was necessary to consider several design questions:

1. What was the original material?
2. What was the original framing lay-out?
3. Did the door swing inwardly, or outwardly?
4. What was the dimension of the door and the layout of the stiles and rails?
5. Was the glass etched?

No photographs survive to guide answering the above questions. Fortunately, there is material evidence that can provide some direction. What are presumed to have been the original doors survived, although damaged, on site in a shed at the rear of the property (Fig. 3). Thus it can be said that the original entrance consisted of a double door, Northern White Pine core with 1/4 inch quarter-sawn White Oak veneer, two raised panels each, and 22 x 52 inch glass panels each (Fig. 3). Once the metal door frame was removed, two more important question were answered. First, it was determined, that the rough opening on the interior side is 70 inches, and not the 72 inches that is measured from brick face to brick face on the outside of the opening. Second, and based on residual caulk showing where the original doors were set (Fig. 4), the doors were in-swinging. Further, the cutouts into each door leaf indicate that the doors closed into each other with a doubled astragal feature closing the gap between them and anchor bolts, top and bottom, holding the right hand door (as you face the doors from the outside) secure.

Based on this information, the overall dimension of the framing could be inferred.

Knowing that the original configuration consisted of two doors with a total dimension of 62 inches, to which it would be necessary to add two jambs and spacing to separate from direct contact with the framing, the following calculations emerge. There are two 5/4 jambs (minimal dimensions); add 1/2 inch (minimal dimension) space on each side; add 1/4 inch space between brick and frame for introducing a moisture barrier: this brings the overall dimension of the door assembly to 66 inches. The frame for the door could be no more than 2 inches on the inside dimension and 4 inches on the outside dimension. Based on this information, other design questions could be answered. There is not enough room to introduce a fixed side light; the interior trim would be about 5-6 inches wide. The exterior trim would be about 6" wide on the sides and 2 1/2 to 3 inches on the top. Questions relating to the material, trimming details, glass, and hardware became necessarily based on the material evidence offered by details in other parts of the house.

Excepting for the anchor bolts, all of the original hardware was missing. The hole for a mortice lock in the left hand leaf tells us that there was a mortice lock. The faint shadow left by the original esche plate indicates the original lock set consisted of a latch knob and deadbolt.

B. Restoration Products and Procedures

Once several layers of paint had been removed the scope of the restoration project became clear. The doors had been in a fire which damaged the top rail and one stile in one leaf. This surface damage, plus water damage that had deteriorated the laminations in the core, plus physical damage that had resulted from an inartistic lock extraction, plus the extreme difficulty in locating quartered White Oak that would match the existing flake pattern, led to the following decisions. First, two new stiles, and 1 new rail would be fabricated. And second, the damaged rails and stile became a source for veneers that were used to patch the numerous holes (such as mail slots, peep holes, abandoned lock holes, etc) that had been crudely patched.

New Stile and Rail Fabrication. A new stile and rail were manufactured conforming to the construction of the existing parts of the door. The core, made up of Northern White Pine, was laid up with grain running in opposing directions and glued with *Eptron*® structural epoxy adhesive.¹ The face veneer cut for one side from the abandoned stiles, and from new wood for the reverse side, was selected based on matching flake patterns. It consists of 1/4 inch quartered sawn White Oak, and 1" edge bands on the two long sides (Fig. 12, 13).

New Astragals. New astragals and mouldings were manufactured to match existing moulding profiles. The new parts replace parts too greatly damaged. Both astragals are completely replaced. About 30% of the original mouldings have been reused.

¹Abatron, 5501-95th Av, Kenosha, WI 53144, 262-653-2000, www.abatron.com

Framing. No parts from the original framing remained. Thus, the new sills, jambs, and box frames were fabricated. The jambs and sill, cut from rift White Oak, have integral stops and accommodate both the prime doors and storm doors (Fig. 5, 6, 12, 13). The box frame members were fabricated from White Northern Pine, glued and joined with *Dominos*®.² The box frame was based on a tradition of framing windows and doors in solid masonry and brick veneer buildings, and from publications.³ This box frame forms a ground casing for decorative White Northern Pine moulding on the exterior and for the White Oak trim on the interior.

Hardware and Glass. The anchor bolts were the only original hardware to survive. But, they could not be fully repaired. Thus, all hardware is new. The mechanical choices were limited, however, because: (1) modern mortice locks are too deep at over 4 ½ inches; (2) the doors, at 2 1/8 inches thick restricted choices to the only manufacture remaining that provides a lock set for a 2 1/8 inch door;⁴ and (3) the doors, at 8 feet necessitated the installation of commercial anchor bolts. The stylistic choices were based on their similarity to historically correct prototypes and the faint outline of the original lock set imprinted into one of the door leafs. The three hinges on each door are 4 ½ inch squared, blackened solid bronze with ball tips. The prime door has been fitted with tempered insulated glass panels.

Interior and Exterior Trim. The interior trim is manufactured from rift White Oak. Back band moulding was cut to match the back band that surrounds the moulding on the door (which matches as well the band framing the dining room windows). The inside edge of the trim is built out with a moulding based on the base cap moulding. The exterior trim is manufacturer from clear White Northern Pine. It consists of a brick mould, based on the profile that surrounds the exterior of the windows in the front parlor. This is set to match the reveal on the windows.

Storm Doors. The storm doors are manufacturer using 5/4 clear White Northern Pine. The configuration matches the layout of the rails and stiles outline in the prime doors. Deltana 3 ½ inch squared blackened solid bronze hinges, and Emtek latch and lock set provide finishing details. They are to be fitted with laminated glass (Fig. 7).

Finishes. All finishes have been selected from General Finishes Exterior 450 Pigmented wood stain (3 colors/coats), clear finish (3 coats), and Exterior 450 Primer which contain UV absorbers

²Domino DF 500 Joining System. www.festoolusa.com Christopher Schwarz Review.

³William A. Radford, *Architectural Details For Every Type of Building, A Practical Drafting Room Guide for Contractors, Builders, Lumber Dealers, Millmen, Draftsmen, and Architects* (Chicago, IL: The Radford Architectural Company, 1902).

⁴Lockset and handle set: www.emtek.com. Hinges and anchor bolts: www.deltana.net:Deltana, DT-SDL688U10B with ball finials DT-6SBC5109.

and mildewcides.⁵

Project 2: Side Doors

A. Description of Work

About five years ago, two side entrance doors replaced the metal doors that had been installed at the same time the front entrance had been reconfigured. These doors were part of the original historic restoration plan. Over the past 5 years, they have weathered poorly and now require extensive repair. Their advancing deterioration has been caused by a poor choice of materials, finishes, and construction design. They were constructed from Red Oak (which does not survive exposure to the elements); an interior grade plywood (which is now delaminating) was used for the panels which are not captured into the framing; trim is set into the re-entrant angle between frame and panel to hold the panels in place. Because the panels are not captured, and because the moulding is not "wrapped around" the framing edge, the assembly has deformed beyond repair. The moulding has warped and the plywood has delaminated. In short, the design and material have not survived the elements (Figs. 14, 15, 16).

B. Repair Procedures

The repair strategy is to remove all the trim, remove the plywood panels, attempt to reattach the delaminating veneers on the bottom rail, replace the plywood panels with solid wood raised panels, replace the trim with a bolection moulding, sand the surface, and apply an exterior grade paint. Most important, each door will be fitted with a storm door that is designed to protect the prime door from the elements.

C. Storm Door Design and Construction

The design of the storm doors follows the basic outlines of the prime door. They are constructed from clear White Northern Pine, dried to 8%, and constructed with full mortice and tenon joinery. The raised panels are captured in ½ inch grooves and so will not depend upon a moulding to keep the panels in place (Fig. 17).

III. Costs and Payment Schedule

The following estimates are classified as follows: Prime Windows, Apt 1, Second Floor, Third Floor, Front Facade, Rear Facade; Apt 2, Second Floor, Front Facade, Rear Facade, Storm Sashes, Primed Painted, Installed. All prices *are not to exceed* quotations. And all prices include a predicted petroleum price increase. See Figures 4 and 5.

⁵General Finishes, www.generalfinishes.com.

Front Entrance Prime Doors, Frame, Hardware, Glass, Installation.	\$5000.00
Repair Side Doors	\$2500.00
Storm Doors, Installation.	
Front Door	\$750.00
Side Doors	\$750.00
Total (excluding tax)	\$9000.00

Payment Amounts

Down Payment	\$5000.00
Final Payment at substantial completion	\$4000.00

IV. Conditions of Work

1. A secure place will be made available for repairing the side entrance doors.
2. The work site will be accessible 7 days a week throughout the contract period.
3. Electricity will be made available: 2-110 amp circuits, with multiple duplex outlets, GFI protected.
4. The work site will be free of standing water, wet surfaces, and unsound walls, or floors.
5. Secure storage space will be made available.

Rivercity Woodworking LLC agrees to diligently pursue the work through the completion but will not be responsible for delays caused by any or one of the following events:

Acts of God⁶

Acts of Public Enemy

Inability to secure material through recognized channels

Failure of the owner to make payments as they are due

Acts of Independent Contractors

Holidays

Other causes beyond the control of Rivercity Woodworking, LLC.

⁶ Definition. *Acts of God.* In addition to the normal understanding of such acts, Rivercity Woodworking draws special attention to the impact weather conditions will have on the materials being used in restoration work. Epoxies will not cure below 50 degrees Fahrenheit, they will cure at a very slow rate when the humidity rises above 80%, and they cannot be applied to wood with a moisture content above 16%. If, and when, any of these conditions exist, progress will be slowed and / or delayed.

V. Policy On Change Orders

If the owner, construction lender, or any local governmental authority directs any modification or addition to the work covered by this proposal, the amount for such extra work shall be determined in advance, and the cost shall be added to the Proposal price. Payment for any extra order(s) are due and payable prior to the commencement of such extra work. Rivercity Woodworking shall do no extra work without the agreed terms and shall be approved by both parties and shall also be subject to all terms and conditions of this Proposal.

VI. Policy on Warranty.

Rivercity Woodworking LLC guarantees that all materials furnished by the aforesaid company will be of standard quality appropriate to and for restoration work and will be installed or applied following the instructions of the manufacture in a good and workmanlike manner and in conformity with industry standards. Reasonable service requests submitted by the owner in writing with payment terms will be handled in the same manner. Rivercity Woodworking, LLC agrees to replace or repair at its own expense, any materials found to be defective, excluding reasonable wear and tear, within one (1) year from substantial completion, when subject to normal use and care. This warranty covers defects in materials only and not workmanship.

Notwithstanding anything to the contrary, Rivercity Woodworking LLC has not investigated, tested, or determined the current condition or integrity of the superstructure of the project. This warranty shall exclude specifically remedy for any damage or for any defect caused directly or indirectly, or in whole or in part by any deformation in the superstructure of the project that impinges upon the basic integrity of the frame.

VII. Policy on Insurance

Rivercity Woodworking LLC will carry General Liability, Worker's Compensation, and Professional Liability insurance to protect itself and its employees during the progress of the work. The Owner shall obtain and pay for liability insurance against injury to other employees, who under their own direction, another contractor's direction, or the owner's direction, attempt to use any part of the work covered under this contract prior to the work being completed.


VIII. Lien Right (Wisconsin Statutes Chapter 779.01) & Cancellation Rights

As required by the Wisconsin Lien Law, Rivercity Woodworking, LLC notifies Stephanie L. Powe, that persons contracted to provide services and /or materials for restoration work on 3014 W. McKinley Av, Milwaukee, WI may have the right to apply a lien on the property under the circumstance that any payment for work fails to be submitted in accordance with the schedule for payment as outlined above.

X. Signature Page

In signing, the terms spelled out in the above Proposal have been accepted as a Contract Agreement among the owners of the property at 3014 W. McKinley, Milwaukee, WI 53208 and Rivercity Woodworking, LLC, 607 A. S. 6th St., Milwaukee, WI 53204.

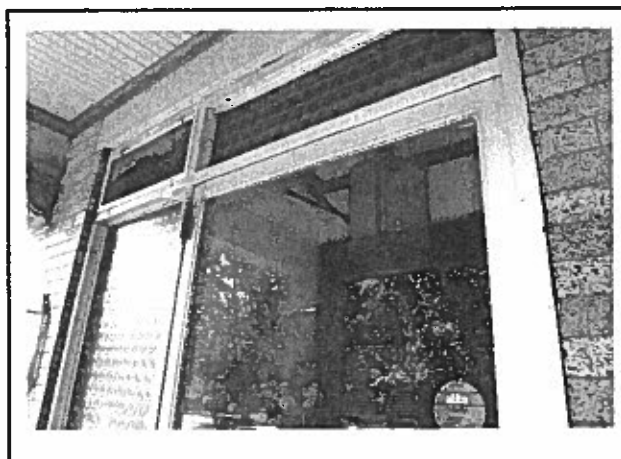
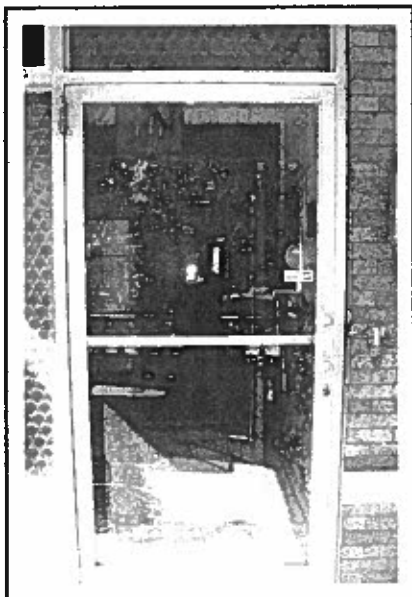
Stephanie L. Powe
3014 W. McKinley
Milwaukee, WI 53208



Juanita M. Elias
dba Rivercity Woodworking LLC
607 A S. 6th St.
Milwaukee, WI 53204
1-414-227-0437

..... 12/10/2011

Date



Figs. 1, 2 Doors installed in 1970. Doors to be replaced in the restoration project.

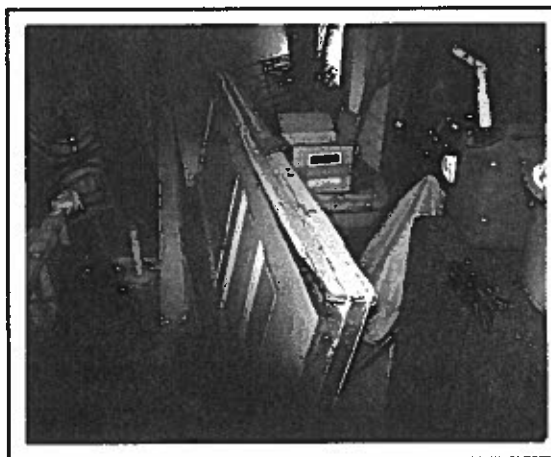
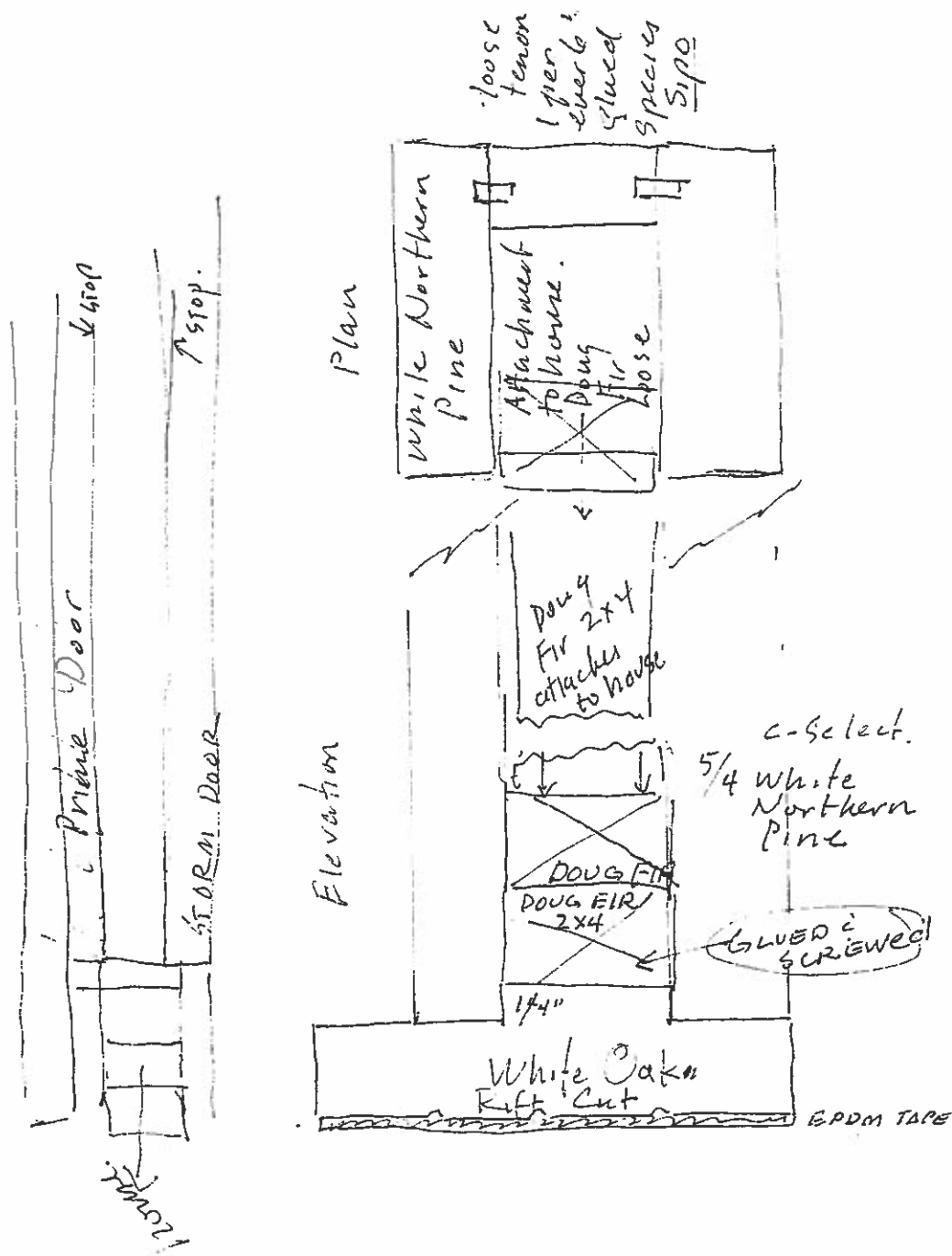


Fig. 3. Doors Found on Site in Back Shed



Fig. 4 Caulk Lines Indicating Original Set Back

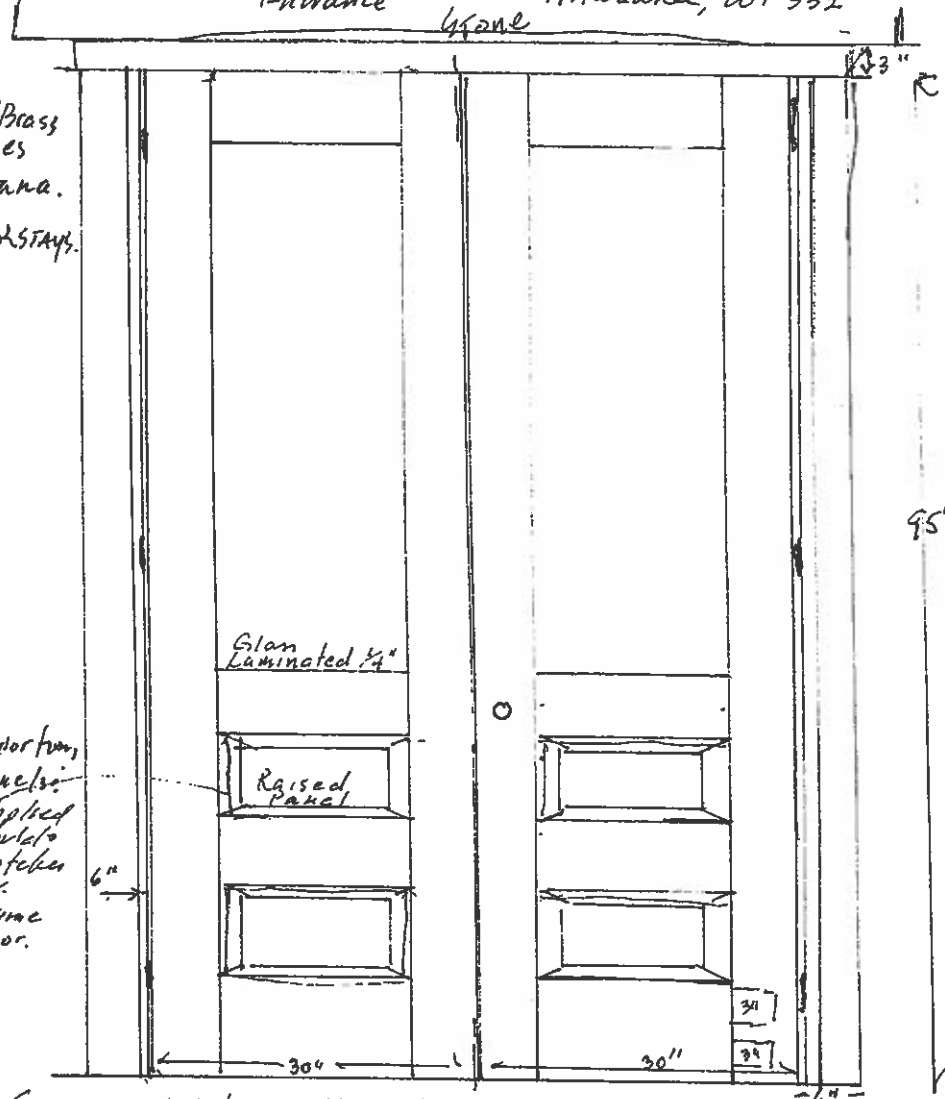


STORM DOORS - Front Entrance

Stephanie L. Powe
3014 W McKinley
M.waukee, WI 532

Solid Brass
handles
Delta.
Door Stays.

proportion
panels:
applied
moldings
match
100%
prime
door.

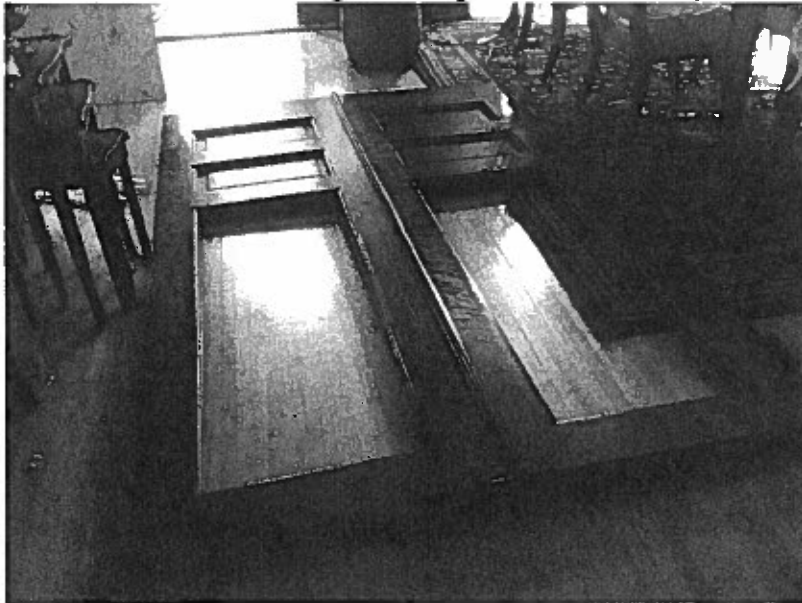


Species: White Northern Pine
Grade - Clear on Door
- C. L. L. - E.

FULL MORTICE : TENON
JOINERY



Fig. 8, Restoration in Process; Fig. 9, Completed Doors Ready for Installation



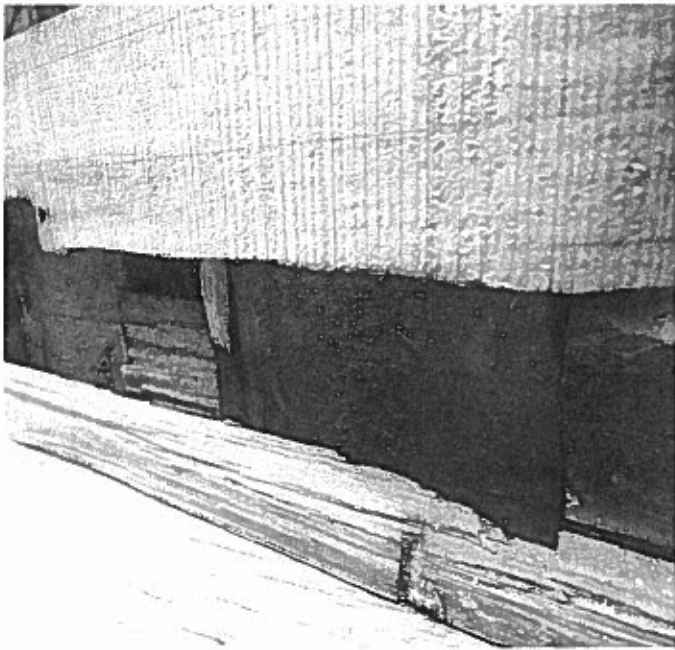
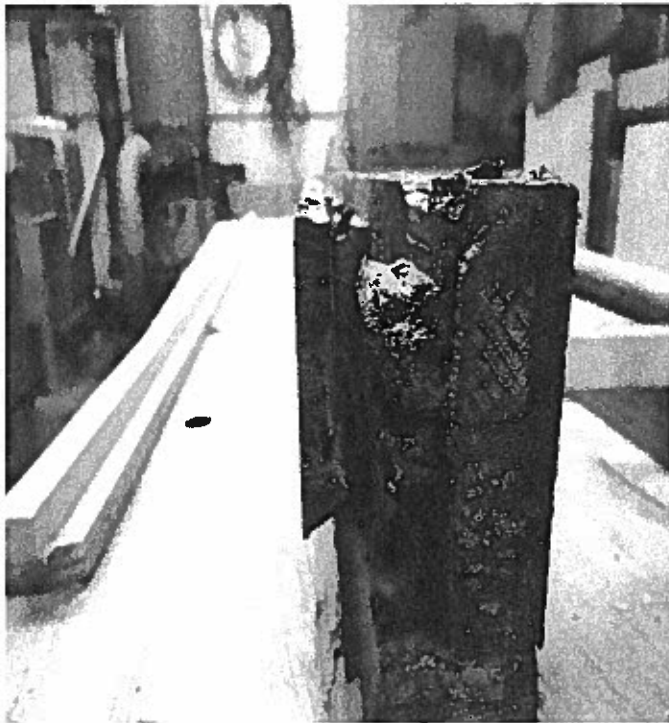


Fig. 10, Stile showing internal damage; Fig. 11, Stile showing end grain damage



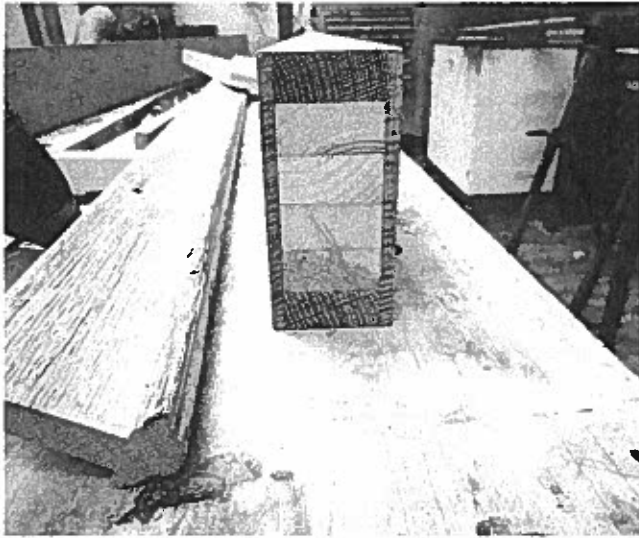
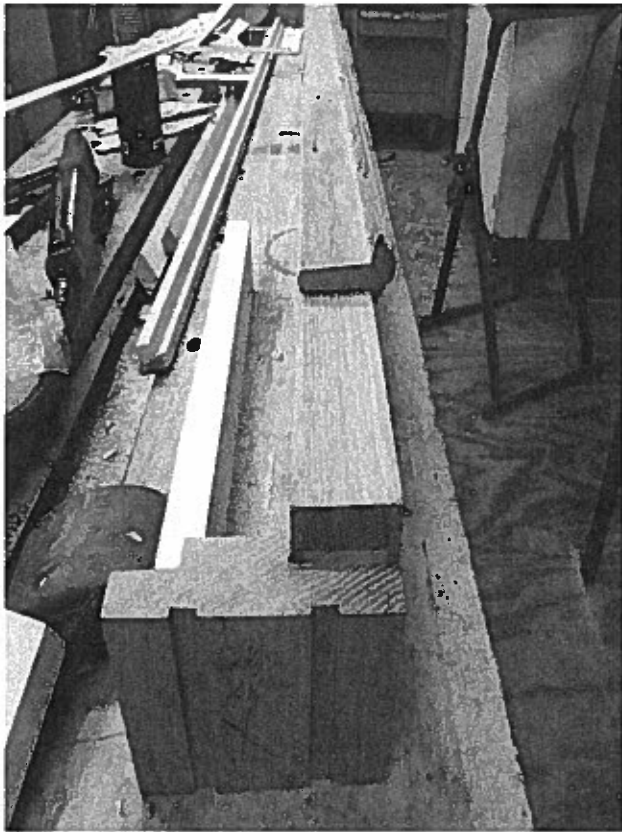


Fig. 12 Replacement Stile

Fig. 12 Replacement Stile, Sill, Astragal, showing placement in Sill.



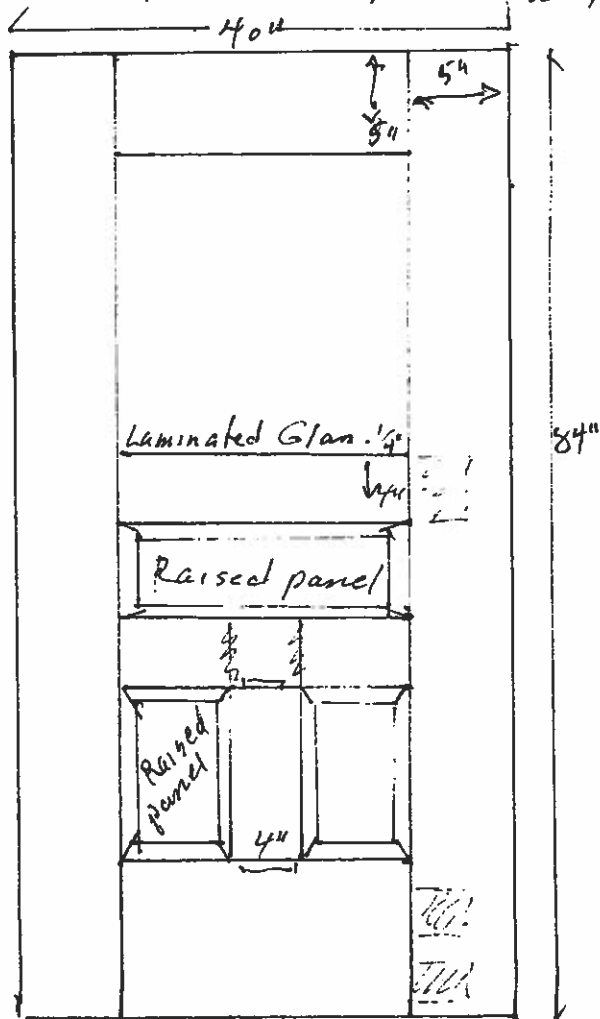
Figs. 14-16 Side Doors, Details showing damage from weather exposure.



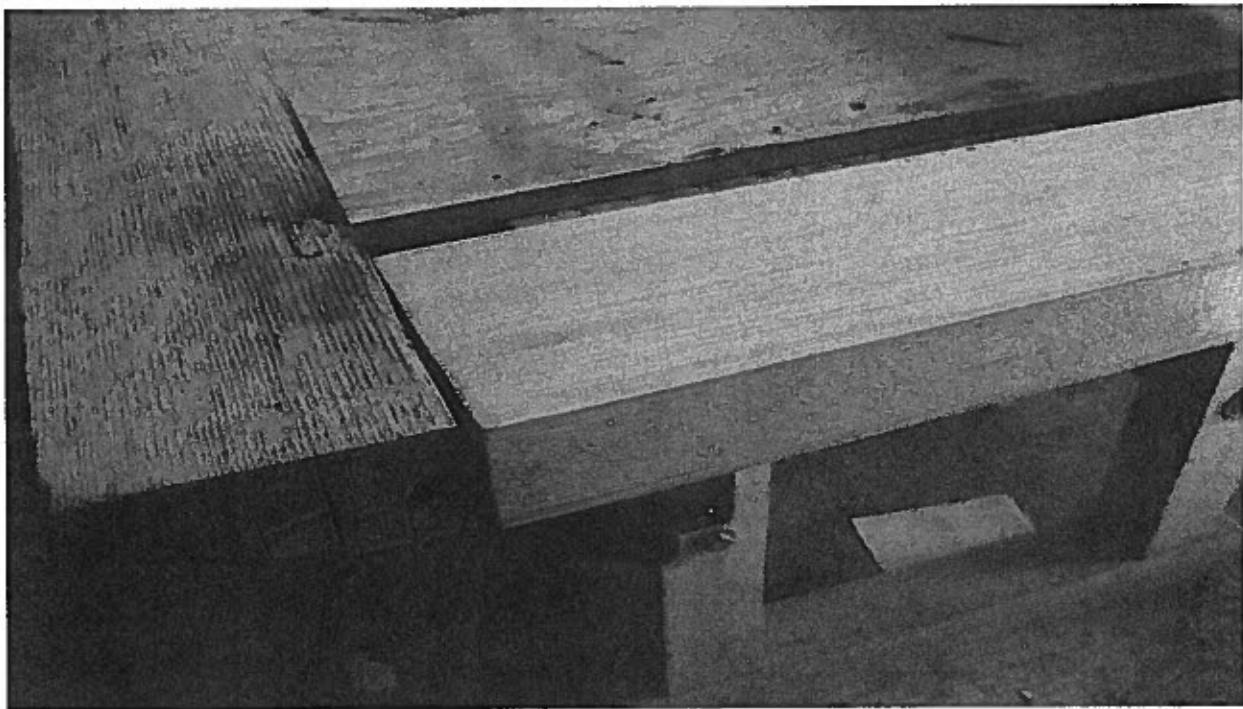
Fig. 17. Storm Door for Side Entrance (2)

Storm Doors
(2) Back entrance, N. Waukegan, WI

Stephanie Powe
3014 McKinley



Species: White Northern Pine (Grade) 1 1/4"
select and Better.
Full mortice & tenon joinery.



Figs. 5 and 6. Repairs in progress.



Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street, Room B-4 Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property	3014 W. MCKINLEY	Cold Spring Park Historic District
Description of work	Remove existing front metal doors; install restored double leaf wood doors at front entrance. Restore wood side doors on west elevation. Install new wood storms over side doors.	
Date issued	1/9/2012	PTS ID 13197 COA, install new wood doors

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a Certificate of Appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

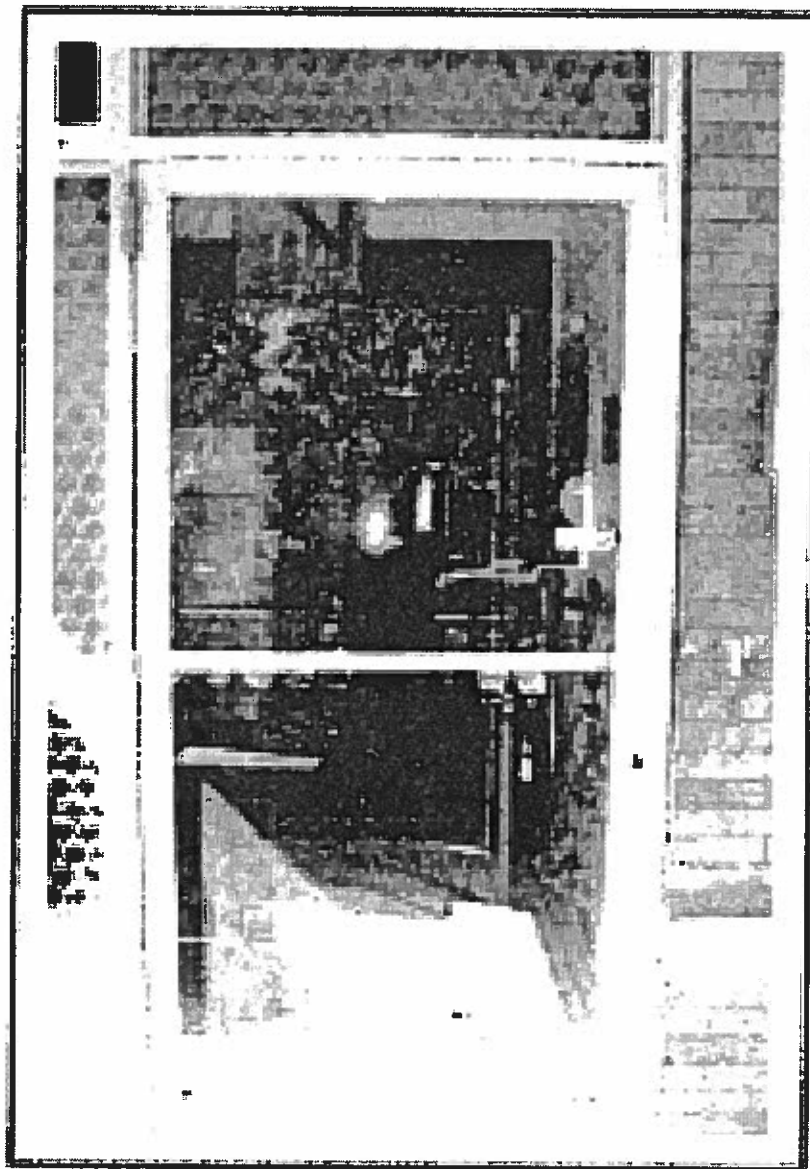
All work will be done according to attached drawings, photos and specifications supplied by the contractor in the application. All doors will be finished to protect them from the weather.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation Department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
Office of the Common Council/City Clerk
Department of Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor Juanita Ellias, Inspector Joel Walloch (286-8160)



Existing metal front door (not original) to be removed; restored, all wood front doors will be installed in its place

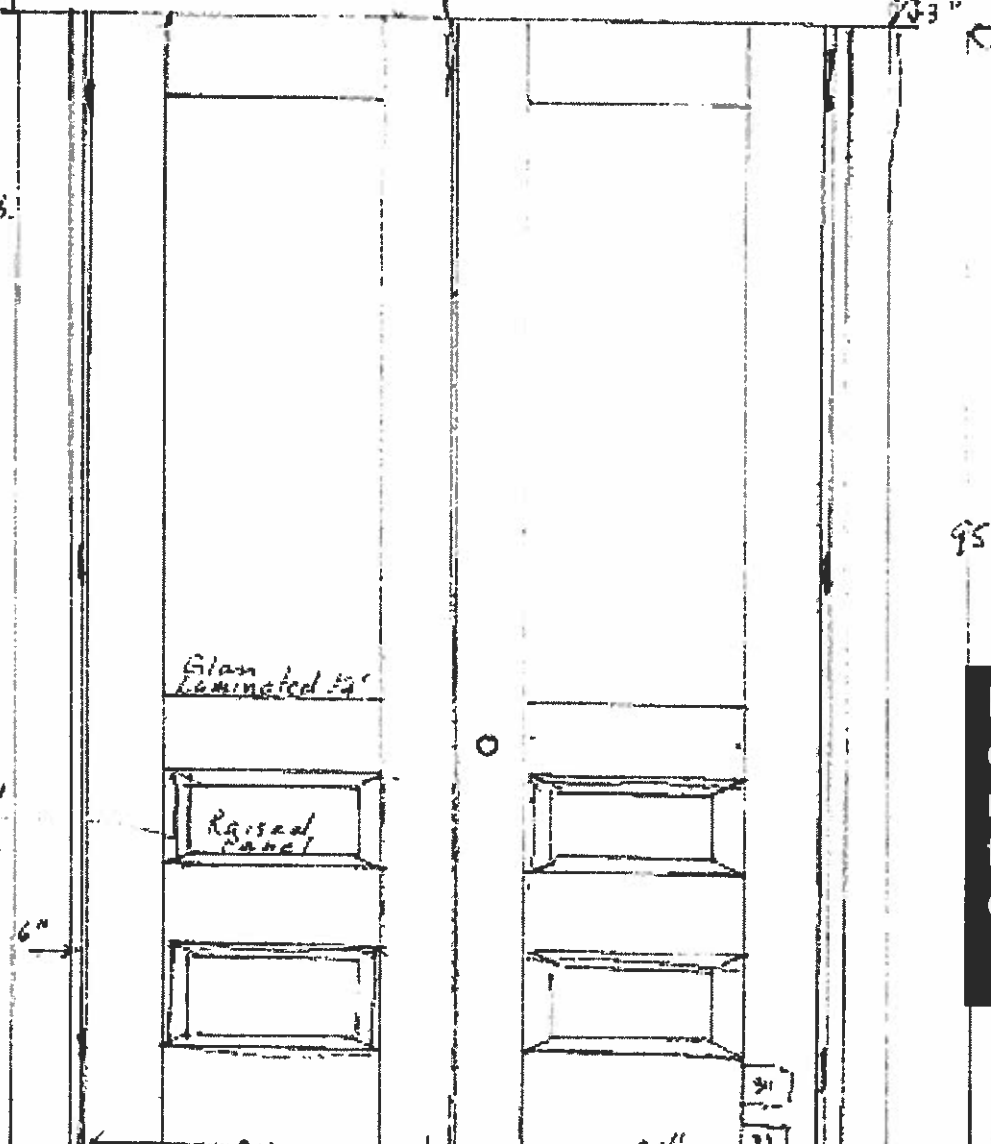
STORM DOORS - FRONT
Entrance

Stephanie L. Poore
3014 W. McKinley
M.waukee, WI 532

WONE

inlaid Brass
knobs
Delta
Door Stays

proportion
panels
applied
mouldings
match
100%
prime
door.



95"

Restored, all-wood, double leaf doors to be installed in place of metal door. Doors will be the full height of the original opening.



One of two doors restored
including new astragal

8. Restoration in Process: Fig. 9. Completed Doors Ready for Installation

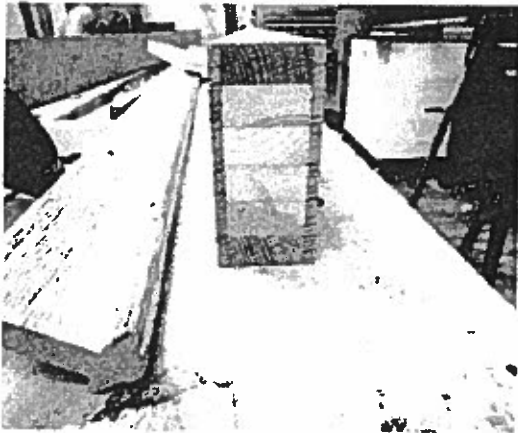
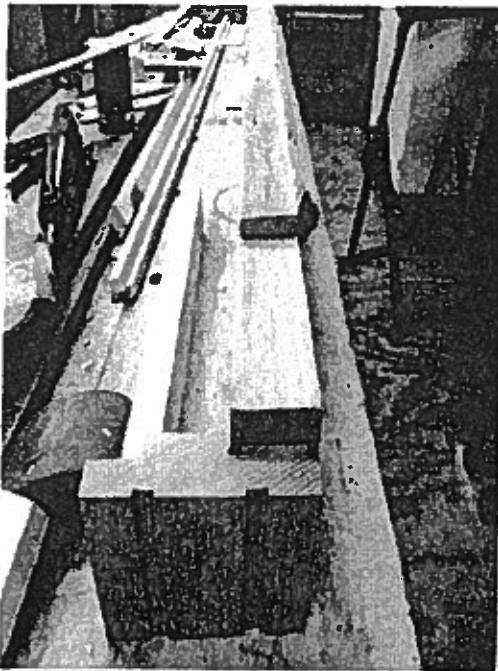


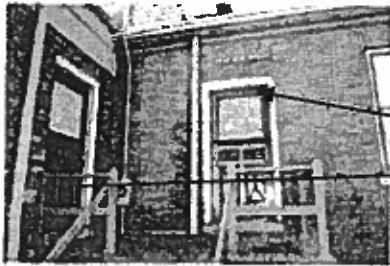
Fig. 12 Replacement Stile

Fig. 12 Replacement Stile, Sill, Astragal, showing placement in Sill.



Details of restoration and new millwork
for sill and astragal

Figs. 14-16 Side Doors, Details showing damage from weather exposure.



Two side doors on west elevation that are to be restored and then fitted with a new all-wood storm door

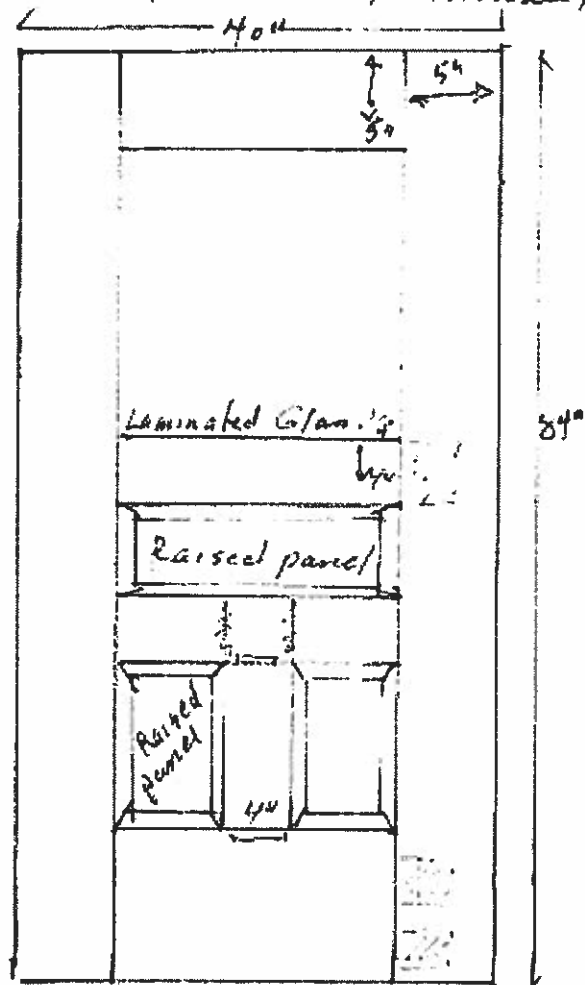


Details of doors showing deterioration



Storm Doors
(2) Back entrance,
Milwaukee, WI

Stephanie Powe
3014 W. McKinley
Milwaukee, WI



Drawing of new all wood storm door for west elevation

Species: White Northern Pine (Solid) 1 1/4"
Stain and Finish
Full Mortise & Tenon Joinery.



Legislation Details (With Text)

File #: 111304 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 1/12/2012 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installing of new signage at 1150 E. Brady Street for Three Holy Women Congregation.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, SIGNS

Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/12/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111304
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installing of new signage at 1150 E. Brady Street for Three Holy Women Congregation.

Requestor

Drafter
CC-CC
dkf
1/12/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

2. NAME AND ADDRESS OF OWNER:

Name(s): Three Holy Women Congregation

Address: 1150 E. Brady St.

City: Milwaukee State: WI ZIP 53202

Email: _____

Telephone number (area code & number) Daytime: _____ Evening: _____

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Tamarack Waldorf School

Address: 1150 E. Brady St.

City: Milwaukee State: WI ZIP Code: 53202

Email: info@tamarackwaldorf.org

Telephone number (area code & number) Daytime: 414 277-0009 Evening: _____

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

xxx Photographs of affected areas & all sides of the building (annotated photos recommended)

xxx Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

_____ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

_____ Floor Plans (1 full size and 1 reduced to 11" x 17")

_____ Site Plan showing location of project and adjoining structures and fences

_____ Other (explain):

PLEASE NOTE: **YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. _____

Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

~~bl ambl un f th bees ft qbr vf bee upe ewj on de fougdbp o t phot po Cbez Jus fuf mbl p o/~~
Fastail metal address plaque & Building I.D.
Signage on Brady elevation.

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:

Jo Yanish
Signature

Jo Yanish 1-12-12
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 1150 E. BRADY ST. **Brady Street Historic District**
Description of work Install one cast metal address plaque and two small building identification signs on the far corners of the Brady street elevation.
Date issued 1/12/2012 PTS ID 46416 COA, metal signage

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

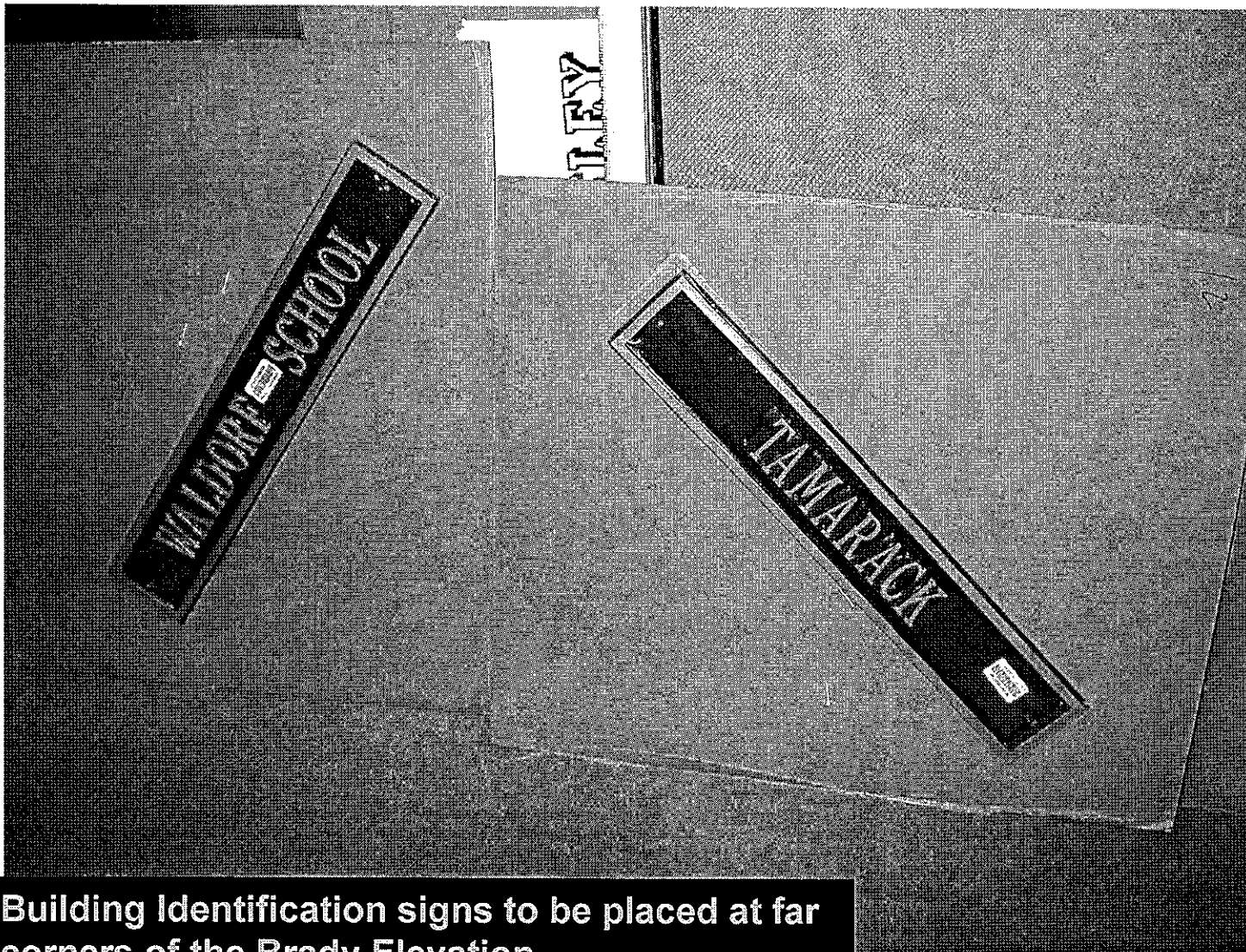
All work will be done according to attached photos and specifications.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation Department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

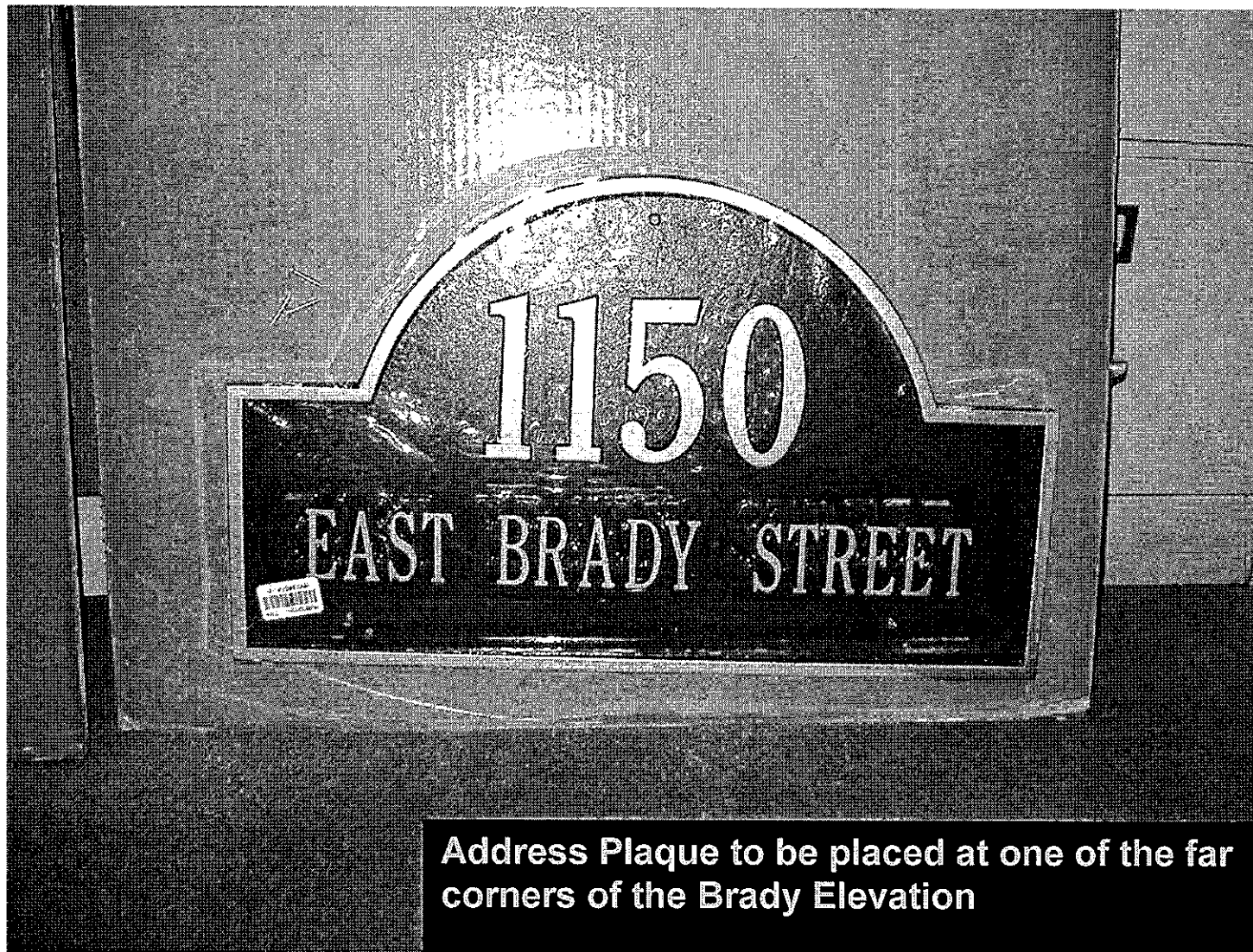
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
Dept. of Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Urban Waldorf School, Inspector Jim Friedrichs (286-5982)



Building Identification signs to be placed at far corners of the Brady Elevation



Address Plaque to be placed at one of the far corners of the Brady Elevation



Legislation Details (With Text)

File #: 111305 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/12/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of a new dormer at 2210 N. Sherman Blvd. for the City of Milwaukee.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/12/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111305
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of a new dormer at 2210 N. Sherman Blvd. for the City of Milwaukee.

Requestor

Drafter
CC-CC
dkf
1/12/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (If known)

Sherman Boulevard Historic district

ADDRESS OF PROPERTY:

2210 N. Sherman Blvd.

2. **NAME AND ADDRESS OF OWNER:**

Name(s): N.I.D.C. Department of City Development

Address: 809 N Broadway

City: Milwaukee

State: Wisconsin

ZIP 53202

Email: Robert.McInnes@milwaukee.gov

Telephone number (area code & number) Daytime: 414-286-6458

Evening: 414-708-3258

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): Robert McInnes -Housing rehabilitation specialist N.I.D.C.

Address: 809 N Broadway

City: Milwaukee

State: Wisconsin

ZIP Code: 53202

Email: Robert.McInnes@milwaukee.gov

Telephone number (area code & number) Daytime: 414-286-6458

Evening: 414-708-3258

4. **ATTACHMENTS**

A. REQUIRED FOR ALL PROJECTS:

☒ Photographs of affected areas & all sides of the building (annotated photos recommended)

☒ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

☐ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

☐ Floor Plans (1 full size and 1 reduced to 11" x 17")

☐ Site Plan showing location of project and adjoining structures and fences

☐ Other (explain):

PLEASE NOTE:

YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Construct dormer per attached plans and elevation.

Photo No. _____

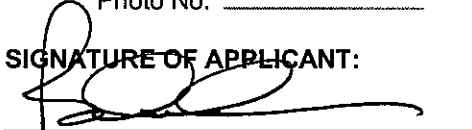
Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Photo No. _____

Drawing No. _____

6. **SIGNATURE OF APPLICANT:**



Signature

ROBERT MCINNES 12-28-2011

Print or type name

Date

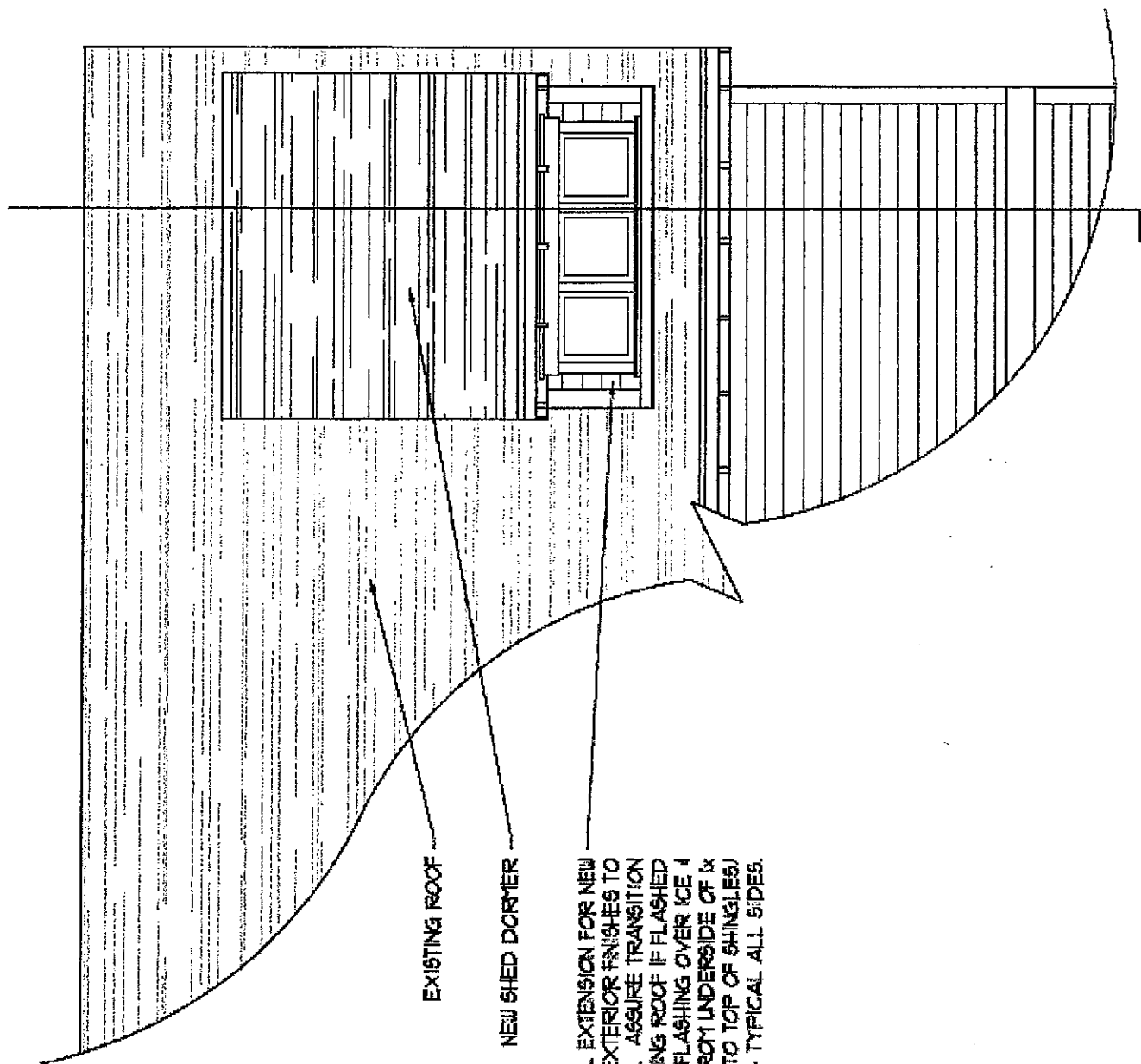
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
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200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



(2) 2x2 RAFTER HEADER (SFF NO2) ATTACHED TO TRIPLED PERIMETER RAFTER (GIRDER TRUSS) W/ JOIST HANGERS, TYPICAL.

NEW ASPHALT SHINGLES TO MATCH EXISTING OVER 15' FELT, INSTALL ICE & WATER BARRIER FROM GUTTER TO 24' FAST EXTERIOR WALL.

NEW 2x8 RASFERS @ 24" o.c. TO BE ALIGNED WITH EXISTING RASFERS AND ATTACHED TO HEADER WITH RASFER HANGERS, TYPICAL.

R-13 MIN BATT INSULATION ON SIDE WALLS

INSTALL R-25 BATT INSULATION BETWEEN RASFERS AND 5/8" GUEB OVER VAPOR BARRIER TO UNDERSIDE - INSULATION BAFFLES TO BE INSTALLED AS NECESSARY TO SATISFY VENTING REQUIREMENTS, TYPICAL.

INSTALL H5 CLIPS AT ALL RAFTER BEARING LOCATIONS, TYP.

(2) 2x10 SFF NO2 HEADER W/ 16d NAILS AT 12" o/c T4B AND BEARING ON (2) SFF NO2 SHOULDER STUDS AND (1) COMMON STUD ON EACH END.

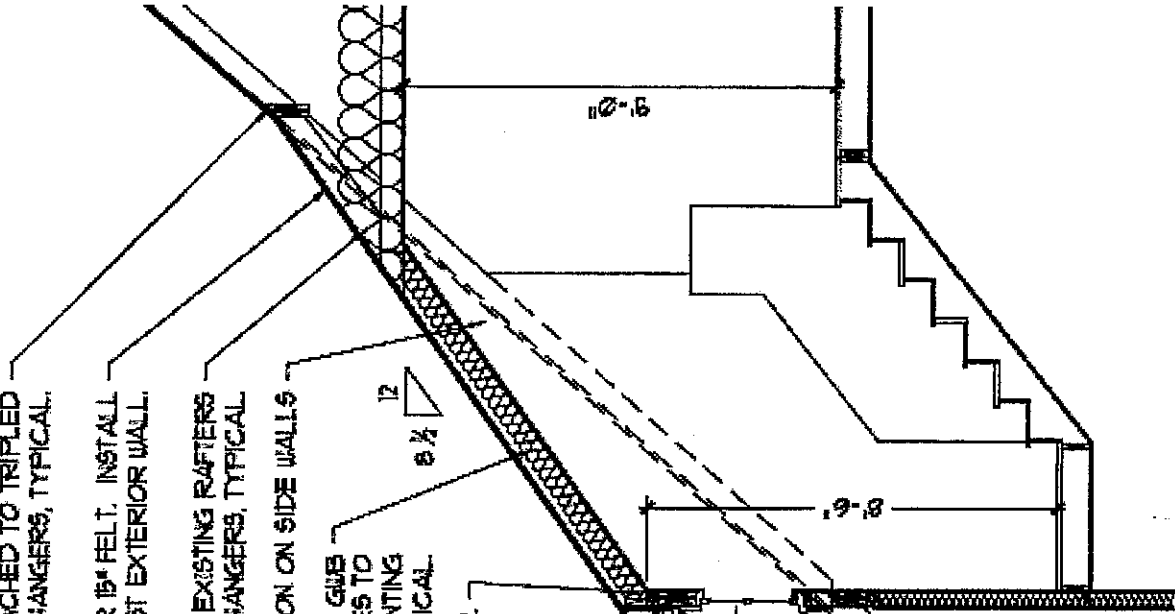
NEW OVERHANG, FASCIA, SOFFIT, AND DETAILING TO MATCH EXISTING, TYPICAL.

WINDOW TRIM TO MATCH EXISTING, TYPICAL.

(3) 24" TALL FIXED SASH WINDOWS, GC TO DETERMINE WIDTH (3 WINDOWS + 2 INTERMEDIATE COLUMNS TO MATCH EXISTING)

ALL NEW WINDOWS TO BE APPROVED BY CLIENT AND TO BE MINIMUM SHGC & UFACTOR OF 3 W/ INSULATED LOW E GLAZING.

1 1/2" FT WOOD SILL (SLOPED AWAY FOR POSITIVE DRAINAGE) OVER SILL FLASHING, TYPICAL. FT 1/2 BELOW SILL - INSTALL BREAK METAL FLASHING (OVER ICE & WATER BARRIER) FROM UNDERSIDE OF 1/2 TO TOP OF SHINGLES, TYP ON ALL SIDES.





Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 2210 N. SHERMAN BL. **Sherman Boulevard Historic District**
Description of work Construct small dormer on south elevation for increased headroom on rear stairs.
Date issued 1/11/2012 PTS ID 74320 COA, rear dormer

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

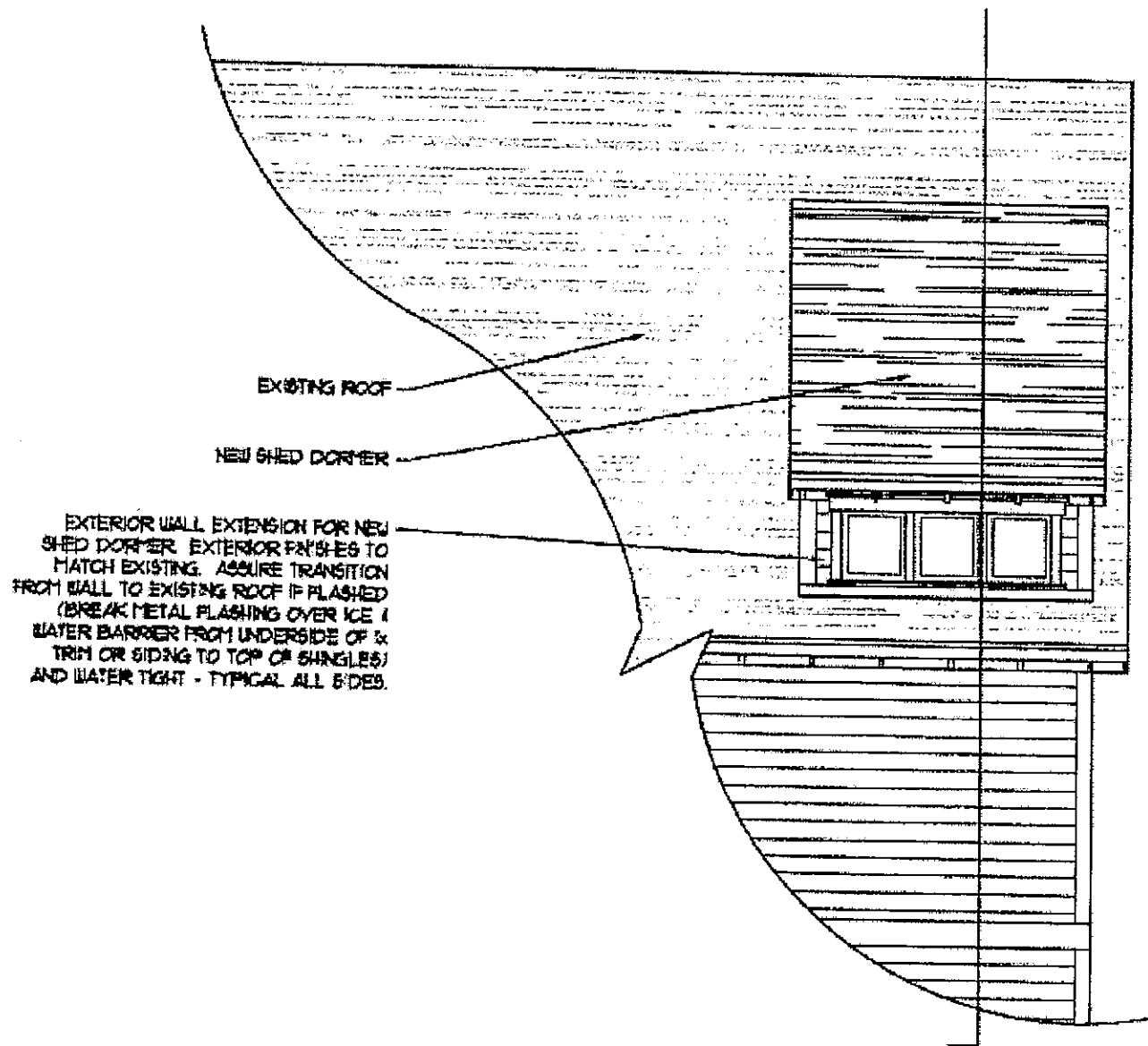
All work will be done according to attached drawings and specifications. The dormer will be finished with wood siding and trim which will be painted upon completion to protect it from the weather. Rafter tails will match those already on the house.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation Department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

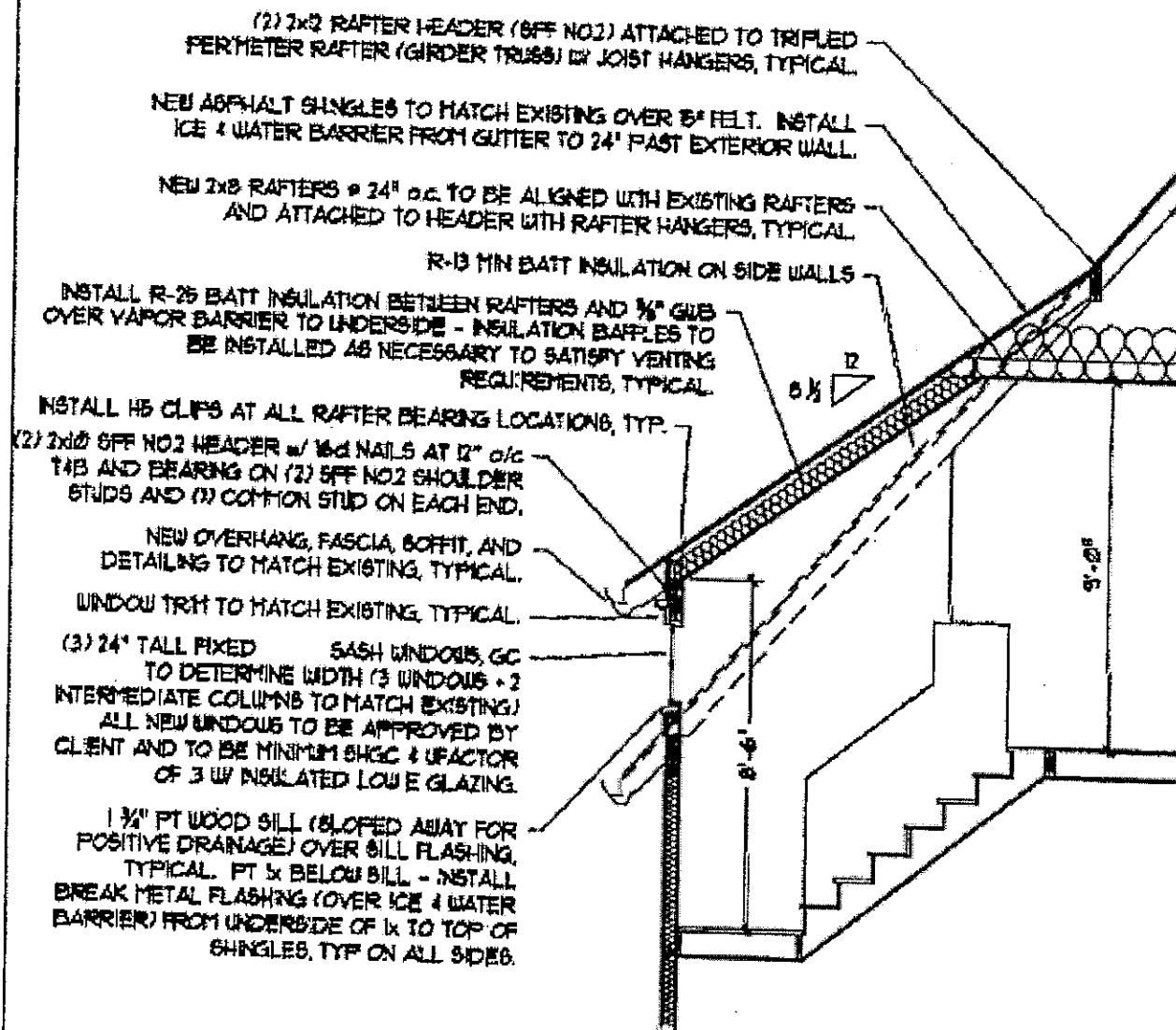
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
Office of the City Clerk
Department of Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Bob McInnes NIDC, Inspector Joel Walloch (286-8160)



Elevation drawing of small dormer proposed for southeast corner of 2210 N. Sherman Boulevard.



Section drawing of dormer



Legislation Details (With Text)

File #: 111316 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/17/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of stone curbing and plantings along the service walk at 2878 N. Sherman Blvd. for Art Dahlberg and Karen Johnson.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/17/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111316
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of stone curbing and plantings along the service walk at 2878 N. Sherman Blvd. for Art Dahlberg and Karen Johnson.

Requestor

Drafter
CC-CC
dkf
1/17/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY: 2878 N. SHERMAN BLVD
MILWAUKEE WI 53210

2. NAME AND ADDRESS OF OWNER:

Name(s): ART DAHLBERG & KAREN JOHNSON

Address: 2878 N SHERMAN BLVD

City: MILWAUKEE

State: WI

ZIP 53210

Email: FM41@aol.com

Telephone number (area code & number) Daytime: (703) 220-1754 Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

STONE CURBING ADJACENT TO SIDEWALK AND
NEW PLANTINGS AT THE FRONT OF THE
HOUSE.

Photo No.

Drawing No.


- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

LANNON STONE USED FOR STONE CURBING.

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:



Signature

ART DAHLBERG

Print or type name

Date

11/6/11

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property	2878 N. SHERMAN BL.	North Sherman Boulevard Historic District
Description of work	Install Niagara formation limestone curbing/planter flanking front service walk.	
Date issued	1/17/2011	PTS ID 77631 COA, stone curbing along service walk

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Curbing/planter will be on either side of the front service walk only. Height of curbing cannot be increased and must not be extended without prior approval from the Historic Preservation Commission.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation Department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8240.

Paul Jakubovich
Dept. of Historic Preservation
Office of the City Clerk

Copies to: Development Center, Ald. Willie Wade, Inspector Joel Walloch (286-8160)



Niagara formation limestone planter/curbing



Legislation Details (With Text)

File #: 111341 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/20/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for replacement of the front door at 2822 E. Bellevue Place for Michael and Cindy Hosale and Dianne Dziengel.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/20/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111341
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for replacement of the front door at 2822 E. Bellevue Place for Michael and Cindy Hosale and Dianne Dziengel.

Requestor

Drafter
CC-CC
dkf
1/20/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

2822 E. Bellevue Place

2. NAME AND ADDRESS OF OWNER:

Name(s): Michael & Cindy Hosale, Dianne Dziengel

Address: 2604 N. Lake Drive

City: Milwaukee

State: WI

ZIP 53211

Email: Michael_Hosale@msn.com

Telephone number (area code & number) Daytime: 414-640-7574

Evening: same

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No.

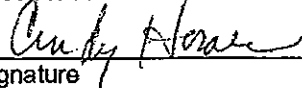
Drawing No.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)
We will install a new wood front door according to the attached drawings.

Photo No.

Drawing No.

6. **SIGNATURE OF APPLICANT:**


Signature

Cindy Hosale

Print or type name

Date

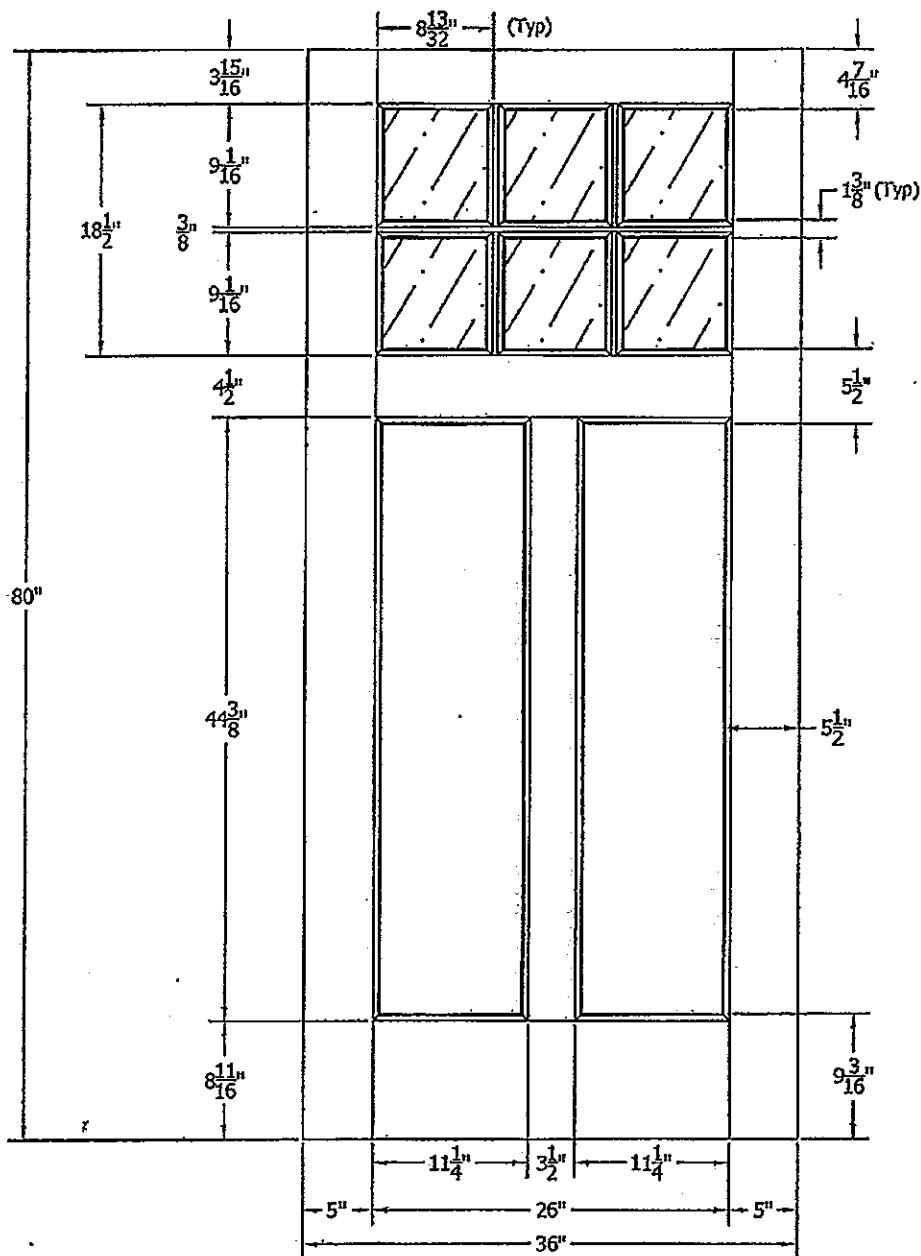
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

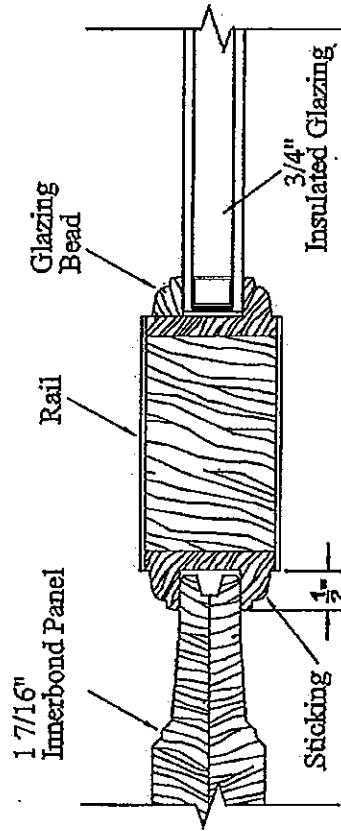
TITLE 7662 3/0 x 6/8
Customer Layout

DRAWING NO. D-7662-300-608-0700-FP

LAYOUT	FP	SCALE	NTS	BORE PATTERN #	7013
DRAWN BY:	J. Decker	DATE	05/28/2008		

Simpson®

View Saver
RP, Rail, & 3/4" IG
SD-0700-004





LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property 2822 E. BELLEVIEW PL. **North Point North Historic District**
Description of work Remove metal front door and replace with new wood front door according to attached drawings.
Date issued 1/19/2012 **PTS ID** 77678 **COA**, replace front door

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

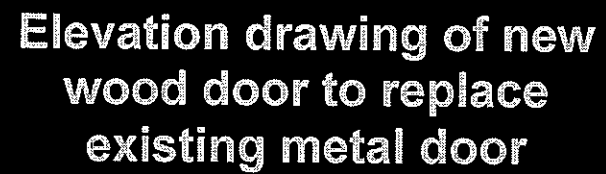
All work will be done according to attached drawings. Door will be painted or stained upon completion to protect it from the weather. The new door will completely fill out the original opening.

All work must be done in a craftsman-like manner, and must be completed within 90 days of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

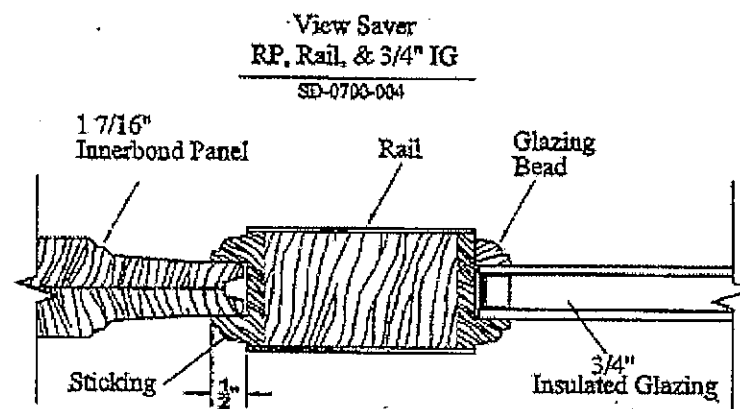
Paul Jakubovich
Dept. of Historic Preservation
Office of the City Clerk

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Revisions			
#	Description	Date	By Whom

TITLE 7662 3/0 x 6/8 Customer Layout			
DRAWING NO. D-7662-300-608-0700-PP			
LAYOUT	PP	SHEET NTS	DATE 7/27/98 701
DESIGN BY	J. Decker	DATE	05/28/2008



Section of new wood door



Legislation Details (With Text)

File #: 111343 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/23/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of a central air conditioning unit at 2221 N. Terrace Avenue for Andrew Nunemaker.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/23/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111343
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of a central air conditioning unit at 2221 N. Terrace Avenue for Andrew Nunemaker.

Requestor

Drafter
CC-CC
dkf
1/23/12



E-PERMITS CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

1

ADDRESS OF PROPERTY: 2221 N TERRACE AV

2. NAME AND ADDRESS OF OWNER:

Name(s): ANDREW NUNEMAKER

Address: 2221 N TERRACE AVE

City: MILWAUKEE WI State: WI ZIP Code: 53202

Telephone number (area code & number): unlisted

Fax:

Email Address:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): GROSS HEATING INC

Address: 3260 N 126TH ST

City: BROOKFIELD State: WI ZIP Code: 53005

Telephone number (area code & number):

Fax:

Email Address: design652002@yahoo.com

4. DESCRIPTION OF PROJECT:

A. Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached). Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

INSTALL OF AIR CONDITIONING SYSTEM - NEW CONDENSOR WILL BE LOCATED ON SOUTH SIDE OF BUILDING NEXT TO EXISTING UNIT.

5. ELECTRONIC SIGNATURE:

GROSS HEATING INC 1/1/0001

Name

Date

PHONE: (414) 286-5712

FAX: (414) 286-0232



**HISTORIC
PRESERVATION
COMMISSION**

LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property	2221 N. TERRACE AV.	North Point North Historic District
Description of work	INSTALL NEW CONDENSOR ON SOUTH SIDE OF BUILDING NEXT TO EXISTING UNIT.	
Date issued	1/20/2012	PTS ID 77679 COA, condensing unit

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Unit must not be visible from the street. Screening of unit can include euonymus plantings or evergreens or fencing.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Contractor Gross Heating, Inspector Jim Friedrichs (286-5982)



Legislation Details (With Text)

File #: 111348 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 1/24/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for exterior renovations at 1009-1011 N. 33rd Street for the Forest County Potawatomi Community.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
1/24/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111348
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for exterior renovations at 1009-1011 N. 33rd Street for the Forest County Potawatomi Community.

Requestor

Drafter
CC-CC
dkf
1/24/11



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Historic Concordia Neighborhood District

ADDRESS OF PROPERTY:

1009 - 1011 North 33rd Street Milwaukee, WI 53208

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Forest County Potawatomi Community

Address: 313 North 13th Street

City: Milwaukee

State: WI

ZIP 53233

Email: _____

Telephone number (area code & number) Daytime: (414) 847-7720

Evening: _____

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Cream City Construction, Inc. (Attention: Todd Badovski)

Address: 3112 West Highland Blvd.

City: Milwaukee

State: WI

ZIP Code: 53208

Email: toddb@creamcityconstruction.com

Telephone number (area code & number) Daytime: (414) 774-7870

Evening: _____

4. **ATTACHMENTS**

A. REQUIRED FOR ALL PROJECTS:

☒ Photographs of affected areas & all sides of the building (annotated photos recommended)

☒ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

☒ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

☒ Floor Plans (1 full size and 1 reduced to 11" x 17")

☐ Site Plan showing location of project and adjoining structures and fences

☐ Other (explain): _____

PLEASE NOTE:

YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

See Attached "Scope of Work"

Please Note: Paul Jakubovich has the white binder with the information and the "As Is" pictures.

Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See Attached "Scope of Work"

Please Note: Paul Jakubovich has the white binder with the information and the floor plans.

Photo No. _____ Drawing No. _____

6. **SIGNATURE OF APPLICANT:**


Signature

Todd Badovski

Print or type name

Date

January 18, 2012

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



**CREAM CITY
CONSTRUCTION**

3112 West Highland Boulevard
Milwaukee, Wisconsin 53208

Tel 414.774.7870 Fax 414.774.7860
www.creamcityconstruction.com

SCOPE OF WORK FOR UNITS 1009 & 1011:

Date: Tuesday, January 17, 2012

CLIENT'S NAME: Forest County Potawatomi Community
PROJECT SITE: 1009-1011 North 33rd Street Milwaukee, WI 53208

PROJECT #1 (Unit #1009 – Unoccupied and Unit #1011 - Unoccupied):

1	<u>As Indicated on the Drawings:</u> Remove (4) existing storm doors and provide and install (6) new Combination Door Company "Traditional #50" wood storm doors with hardware. Provide and install (9) new wood combination units for the existing windows. Provide and install (15) new aluminum screens (Bottom sash only) as required to fit into the existing aluminum storm frames. Provide and install (2) new aluminum glass storm panels as required to fit into the existing aluminum storm frames. (All existing exterior doors and windows are to remain as is).
2	<u>As Indicated on the Drawings:</u> Remove all existing <u>Front Porch</u> shingle areas and flat roof areas. Provide and install new plywood roof sheathing, underlayment felt followed with Lifetime dimensional shingles and pre-painted steel flashings at all vertical wall junctions as needed. Provide and install new mechanically fastened Greenguard recovery board, over which a fully adhered .060 EPDM membrane applied. Provide and install new .024 gauge Kynar finish sheet metal at all perimeter edges, flow through scuppers, parapet wall caps and doorway sills. Provide and install new 5-inch K-style seamless aluminum gutters with 3 x 4 inch downspouts as they now exist on the porch area.
3	<u>As Indicated on the Drawings:</u> Replace missing mortar from foundation walls located on the house and provide and install missing railing (Approximately 7'-0" long section of 1" diameter pipe).
4	<u>Exterior Painting:</u> Scrape and remove peeling and loose paint on the exterior walls, soffits, fascias, rake boards, windows and doors. Collect and dispose of all debris per EPA Laws. Hand sand, vacuum with HEPA and hand wash to remove dirt and mildew. Seal all gaps with caulk. Prime with oil base primer and paint the wood storm windows, exterior side of the double hung windows, wood storm doors, exterior doors, siding, trim boards, fascias, soffits and rake boards. (Woodwork that is stained will be left untouched).
5	<u>As Indicated on the Drawings:</u> Provide and install new treated wood Airing Porch 6x6 support brackets and re-attach railings. Remove and provide and install approx. 125SF of new western red cedar #1 shake wall shingles at the upper gable and blend in with existing. Provide and install new rake trim boards, rake crown molding and frieze molding to match existing. Remove and provide and install new western red cedar #1 shake wall shingles on the Second Floor Roof Deck with new treated wood railing/cap to match existing. Remove and provide and install new wood fascia and rake trim boards on the Third Floor Dormer. Remove and replace the entire drip cap (water table) on the north wall. Provide and install new wood lap siding for the first 6-courses as indicated. Remove and replace mismatched sections of ramp railings, reconnect sections of ramp railings and provide and install new balusters to match existing.

Submitted by:
Todd Badovski



**HISTORIC
PRESERVATION
COMMISSION**

LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property

1009-11 N. 33RD ST. **Concordia Historic District**

Description of work

Tuckpoint brick foundation walls as needed. Install 4 new, all wood storm doors in Traditional #50 design. Rebuild rear airing porch to match original design. Install a total of nine new all wood combination storm/screen windows. Repair 15 existing storm/screen units. Replace deteriorated wood singles in gable with matching, new clear cedar shingles. Replace all wood shingles on upper front porch parapet walls to match the existing. Install new, matching wood trim, crown and frieze moldings on gables and third floor dormer. Install new gutters on front porch. Install new dimensional shingles and membrane material on sloped and flat roof areas of front porch. Repair rear ramp with a consistent baluster and handrail to match the original design.

Date issued

1/23/2012

PTS ID 77713 COA, exterior rehab

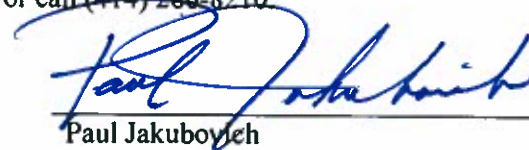
In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached specifications and photographs. All new wood will be painted upon completion to protect it from the weather. Please note that research has shown that when new bare wood is exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied over it will be decreased. All trim material should be clear and free of knots. Tuckpointing in foundation walls must match the original mortar in terms of color, hardness, texture, joint width and joint finish. Please see the masonry chapter in the city's book As Good As New for an explanation on why the proper harness mortar is crucial to a lasting repair.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to

correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows:
Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.



Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Contractor Cream City Construction, Inspector Joel Walloch (286-8160)



New all wood shingles and trim to match original materials on parapet wall of front porch

New dimensional shingles on roof

Unit #1009-1011 Front Porch & Roof Deck detail



Rebuild rear airing porch
with new wood

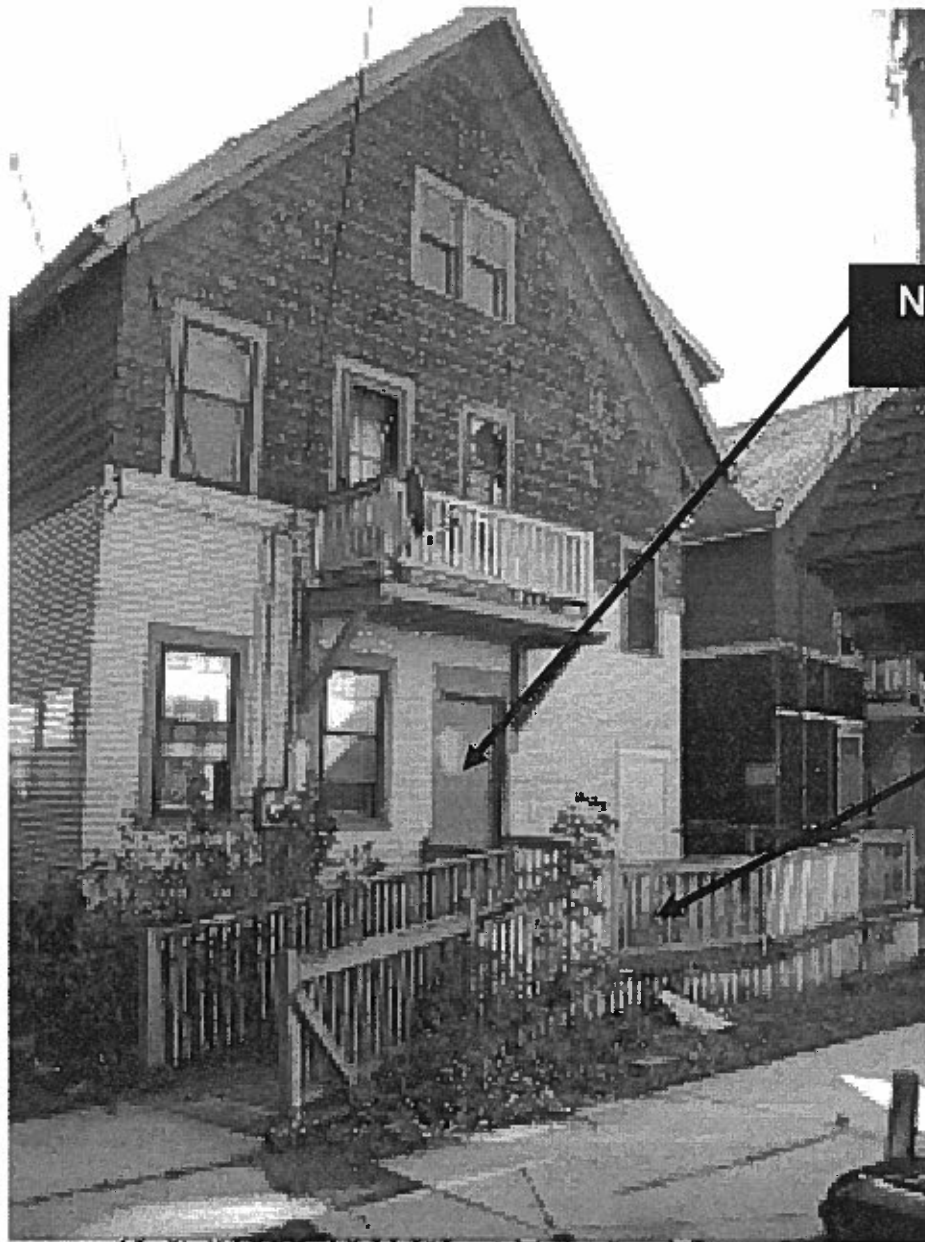
Unit #1009-1011 West Exterior Elevation



Replace deteriorated
shingles and trim as
needed with new matching
wood in front gable

Unit #1009-1011 East Exterior Elevation

UNIT #1009-1011 WEST EXTERIOR ELEVATION



New wood storm door to be installed
at each entrance

Repair rear ramp by replacing
missing balusters and handrails as
need. Handrails must be painted
upon completion.

Unit #1009-1011 West Exterior Elevation



Replace water table board and first six courses of wood clapboards on north elevation. New wood to be smooth and clear of knots.

Unit #1009-1011 North Exterior Elevation



Legislation Details (With Text)

File #: 111358 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 1/30/2012 **In control:** HISTORIC PRESERVATION COMMISSION

On agenda: **Final action:**

Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of PVC vent for heating at 3002 W. Kilbourn Ave. for Brian Janis.

Sponsors: THE CHAIR

Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

Attachments: Certificate of Appropriateness, Application and Picture

Date	Ver.	Action By	Action	Result	Tally
1/30/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111358
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of PVC vent for heating at 3002 W. Kilbourn Ave. for Brian Janis.

Requestor

Drafter
CC-CC
dkf
1/30/12



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 3002 W. KILBOURN AV. **Concordia historic District**
Description of work Install 2" PVC vent for new heating plant about midway on west elevation through existing rusticated concrete block foundation.
Date issued 1/27/2012 **PTS ID** 75710 **COA, vent for heating**

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

PVC vent will be painted out to blend with the color of the surrounding building material.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.


Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor Big heat, Inspector Joel Walloch (286-8160)



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Concordia

ADDRESS OF PROPERTY:

3002 w kilbourn ave

2. NAME AND ADDRESS OF OWNER:

Name(s): Brian Janis

Address: 3002 w kilbourn ave

City: Milwaukee

State: WI

ZIP 53208

Email: brianjanis@yahoo.com

Telephone number (area code & number) Daytime: 414-559-8884

Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Big Her Inc

Address: 4280 N 145th St

City: Brookfield

State: WI

ZIP Code: 53005

Email:

Telephone number (area code & number) Daytime: 414 453 6076 Evening: Same

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

2" PUC pipe painted to match
Building sticking out no more than
2 1/2 inches for exhaust. near halfway
point of west elevation.

Photo No. _____ Drawing No. _____

6. SIGNATURE OF APPLICANT:



Signature

David A Schmalzer

Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

Side Facing West ↓



↓ Front Facing Kilbourn Ave (South)



Rear Facing North Alley ↗



↗ East Facing 12-Family Dwelling



Legislation Details (With Text)

File #: 111377 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 2/1/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for installation of a boiler and venting at 2359 N. Sherman Blvd. for Sharon Lockhart.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Certificate of Appropriateness, Application

Date	Ver.	Action By	Action	Result	Tally
2/1/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111377
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for installation of a boiler and venting at 2359 N. Sherman Blvd. for Sharon Lockhart.

Requestor

Drafter
CC-CC
dkf
2/1/12



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property	2359 N. SHERMAN BL.	Sherman Boulevard Historic District
Description of work	Install pvc sidewall venting for heating on south elevation of house.	
Date issued	2/1/2012	PTS ID 77870 COA, venting for heating

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached specifications and photos. Pipes will be painted out to blend with the color of the surrounding building material.

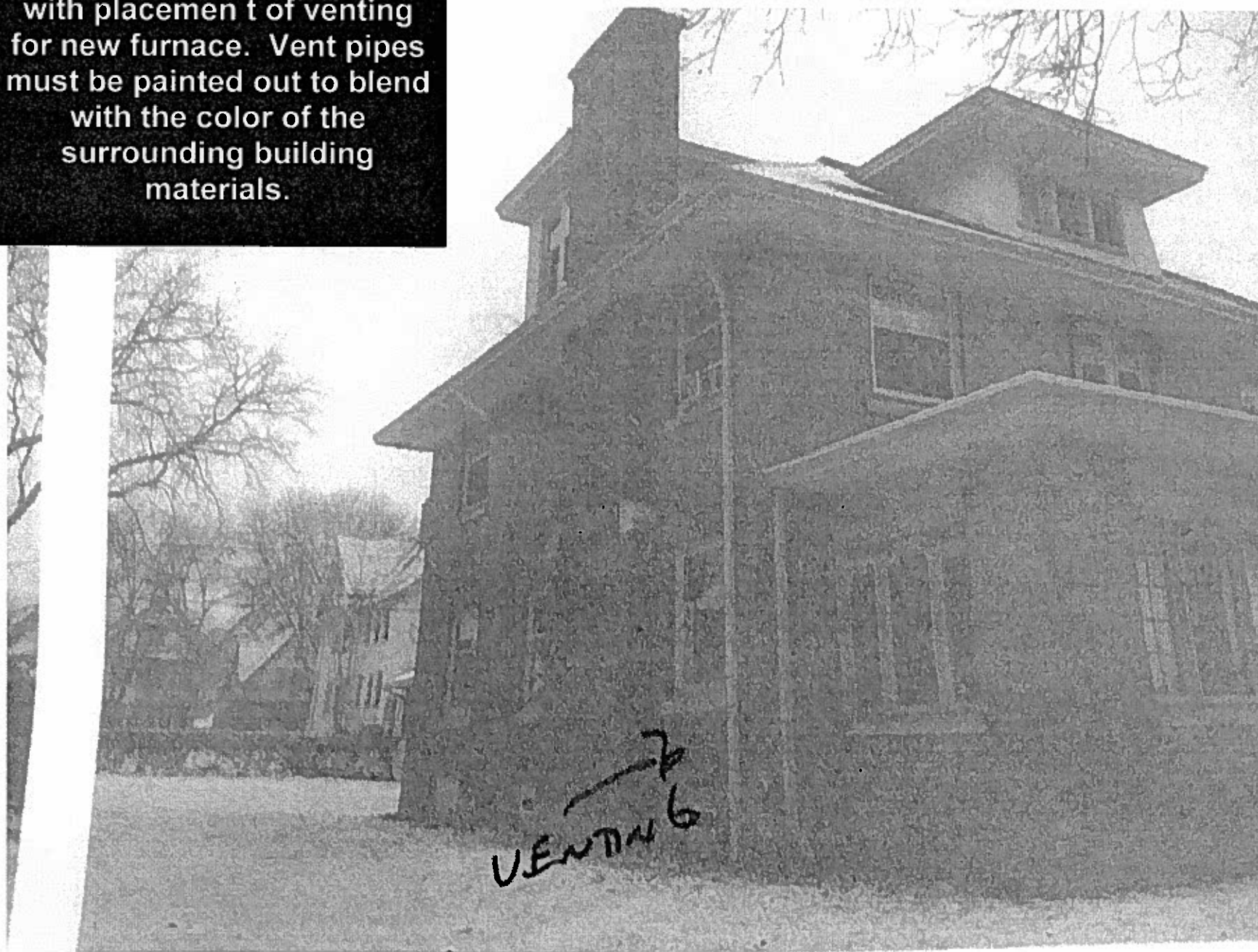
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Contractor Affordable Heating, Inspector Joel Walloch (286-8160)

2359 N. Sherman Boulevard
with placement of venting
for new furnace. Vent pipes
must be painted out to blend
with the color of the
surrounding building
materials.





CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)
Green Gate (W. Sawyer House) / Northpoint South Hist. District
 ADDRESS OF PROPERTY:
2221 N. Terrace Ave., Milw., WI 53202
2. NAME AND ADDRESS OF OWNER:
 Name(s): ANDREW NUNEMAKER
 Address: 2221 N. Terrace Ave.
 City: Milw. State: WI ZIP 53202
 Email: andy.nunemaker@intermedix.com
 Telephone number (area code & number) Daytime: 462-424-7391 Evening: same
3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)
 Name(s): Living Space Design-Build Co., Inc.
 Address: 9055 N. 51st St., Suite J
 City: Milw. State: WI ZIP Code: 53223
 Email: j.m@living spacedesign-build.com
 Telephone number (area code & number) Daytime: 414-975-7773 Evening: 414-975-7773
4. ATTACHMENTS
 - A. REQUIRED FOR ALL PROJECTS:
 - ☒ Photographs of affected areas & all sides of the building (annotated photos recommended)
 - ☒ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
 - ☒ Material and Design Specifications (see next page)
 - B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES: (POOL & FENCE)
 - ☒ Floor Plans (1 full size and 1 reduced to 11" x 17")
 - ☒ Site Plan showing location of project and adjoining structures and fences
 - ☒ Other (explain): POOL SPECS.

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

FENCE & GATES - Wood fence on the west property line will remain. Existing chain link fence on south property line is dilapidated and will be replaced. The coach house & main house form the north & east boundaries of the pool area. South neighbor's garage forms the south boundary. Pool area is currently clear of all trees, shrubs & structures.

Photo No. #1-8

Drawing No. Living Space #1.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

FENCE & GATE - Masonry piers will match existing piers in both brick & mortar. Fences & Gate shall be welded steel sections bolted at piers, matching existing as shown in attached drawings. Fence & gate components to be epoxy painted black to match existing.

POOL, DECK & EQUIPMENT - See Neuman Pool CD's.

Photo No. #1-8

Drawing No. Living Space #1, 2 & 3

Neuman Pool # PL1.0, PL1.1
& PL2.0

6. SIGNATURE OF APPLICANT:

Signature

James R. Dorr 1-27-12

Print or type name

Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

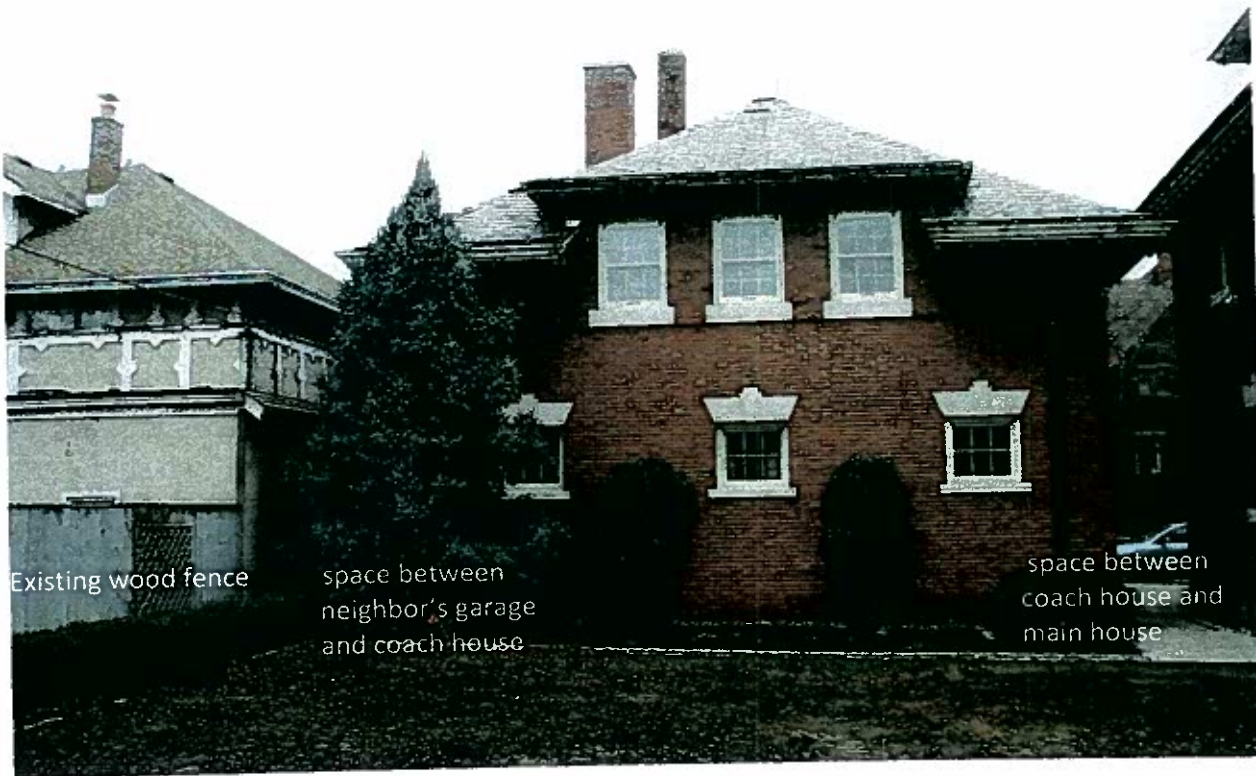
PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



Detail A: Existing View of future Pool Gate – Main, from Terrace Avenue



Detail B: Existing View of future Side Gate and Fence from yard



New gate
will copy
some of
the details
of the existing
gate.

Detail C: Existing Main Gate – Close-Up



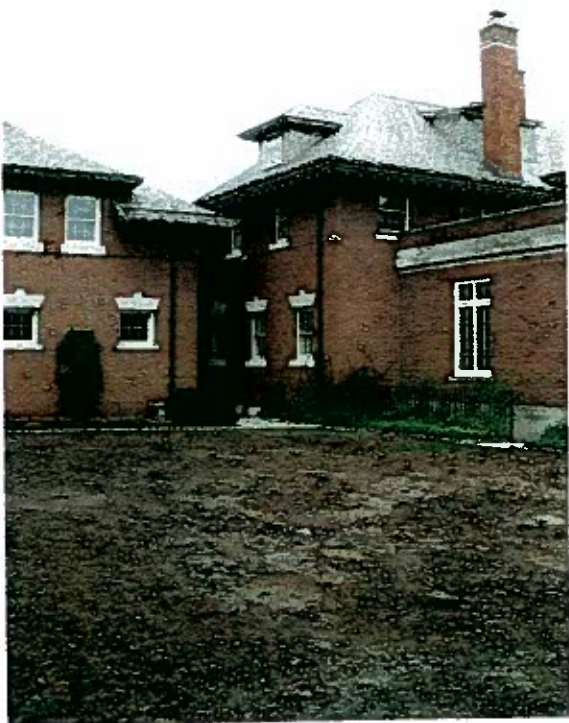
Main House Elevation(east) - from North Terrace Avenue



Main House Elevation(north) – from East Ivanhoe Place



Main House Elevation (west) – From Driveway



Main House Elevation (west) – from Backyard



Main House Elevation(south) – from backyard



Main House Elevation (south) – continued

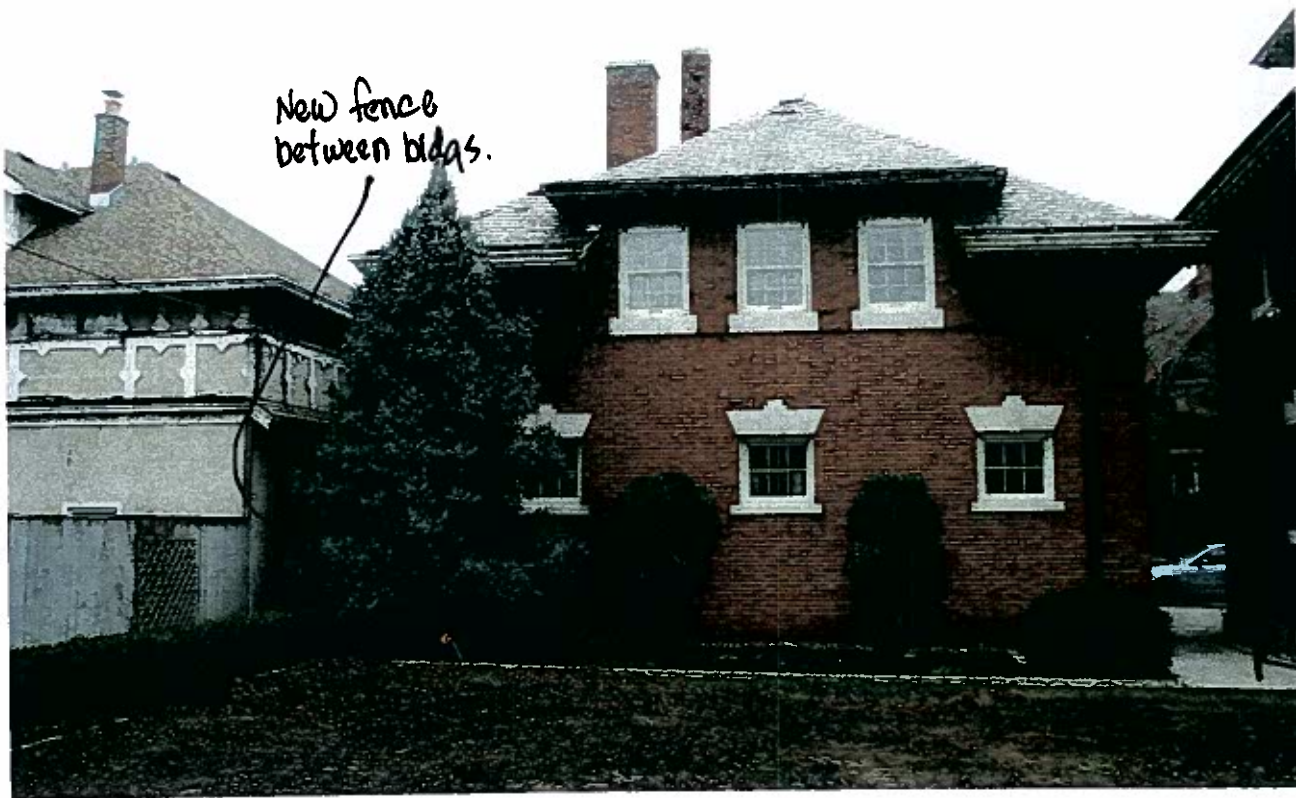


Coach house – From East Ivenhoe Place



Coach house Elevation (west)

New fence between bldgs.

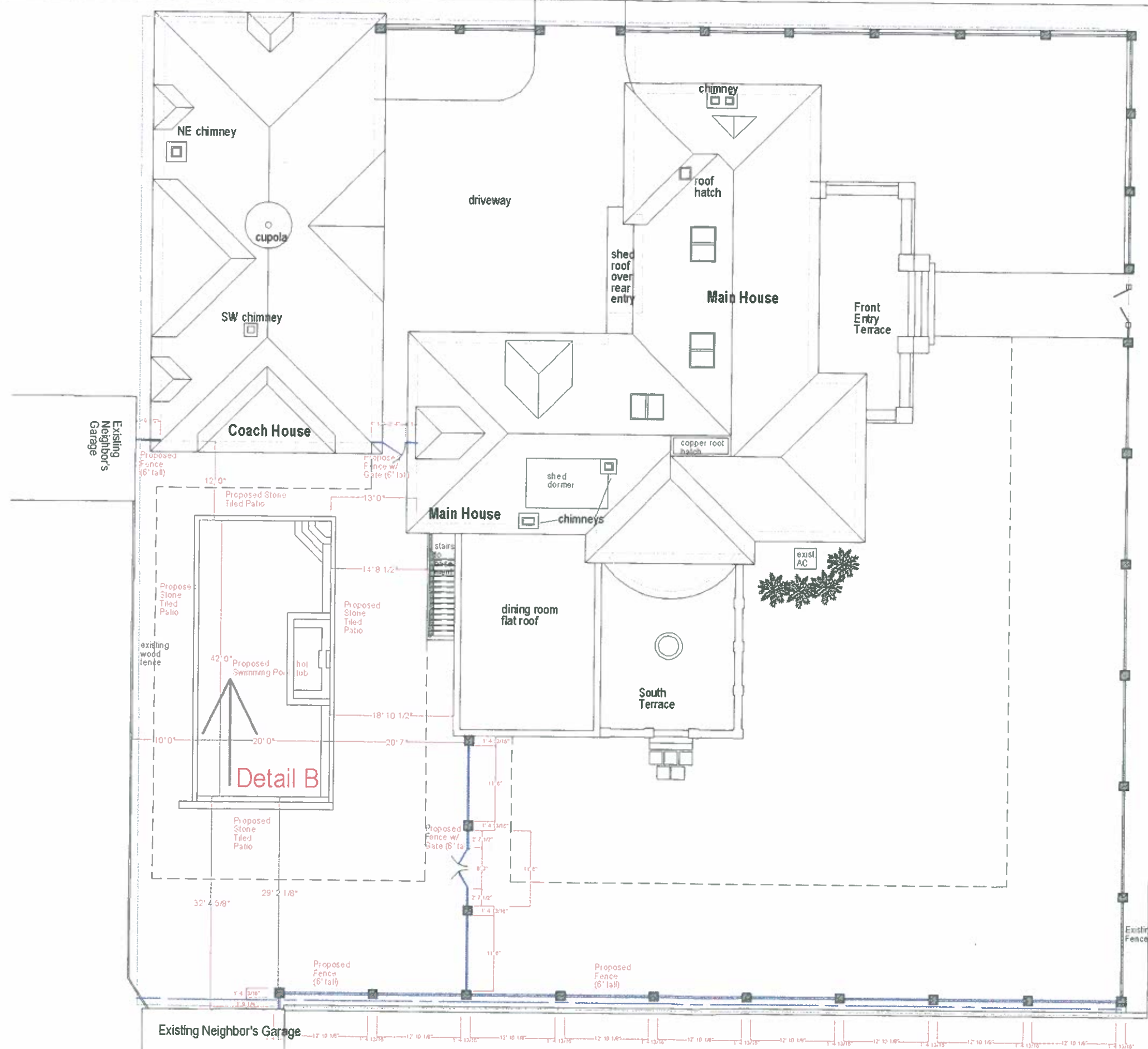


Coach house Elevation (south)



Coach House Elevation (east)





Detail C

Detail A

North Terrace Ave.

1

By

Revised

Date

Scale: 1/16" = 1' - 0"

Date: January 27, 2012

PROPOSED REMODELING

Proposed Site Plan

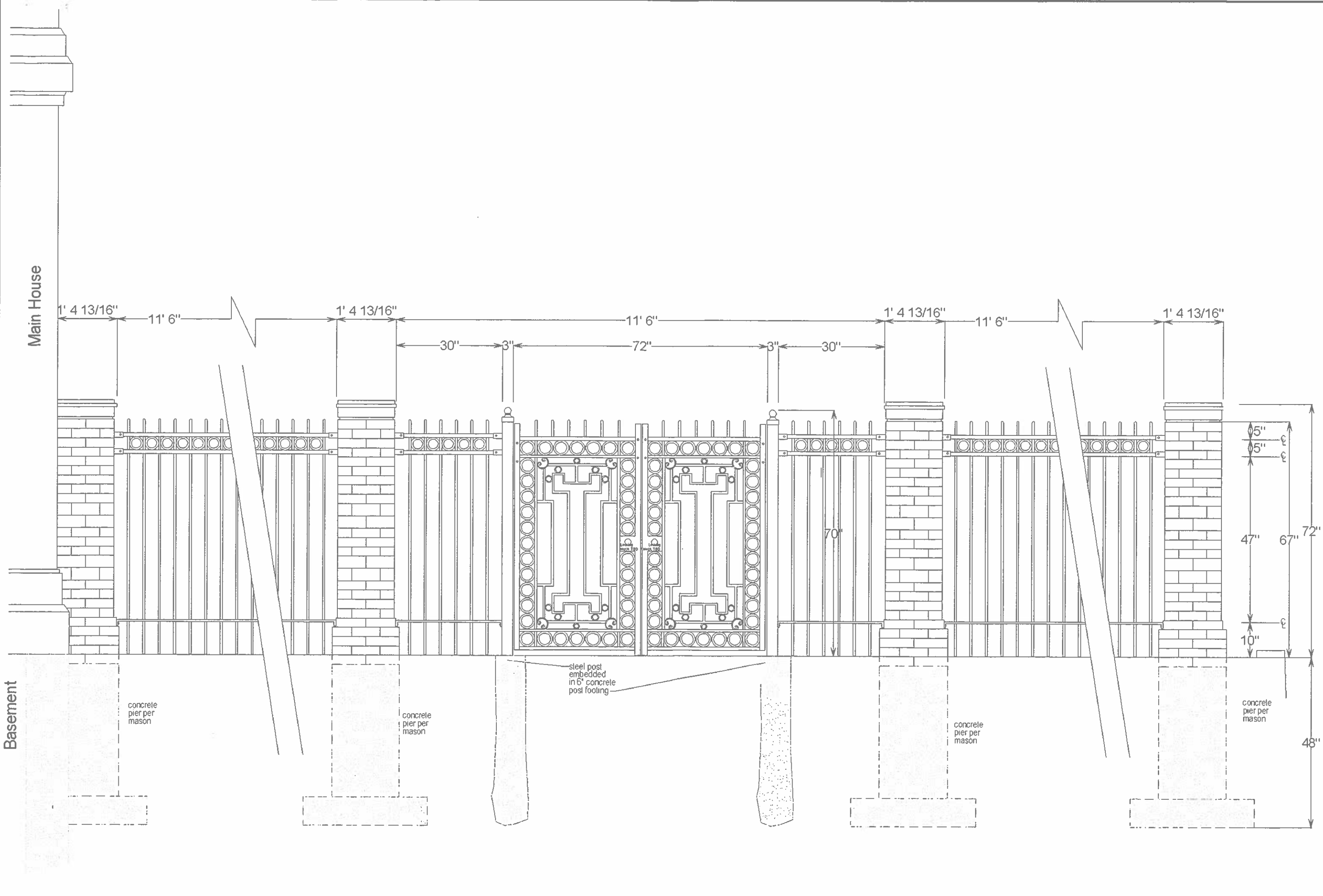
Andrew Nunemaker
2221 North Terrace Ave.
Milwaukee, WI 53202

Living Space

Design-Build Co., Inc.

9055 N. 51st St., Suite J
Milwaukee, WI 53223
414-353-4219
414-353-4217 fax

Project Manager: R. Durr - 414-915-1113
Construction Manager: J. P. Durr - 414-915-1113





Legislation Details (With Text)

File #: 111413 **Version:** 0
Type: Resolution **Status:** In Committee
File created: 2/3/2012 **In control:** HISTORIC PRESERVATION COMMISSION
On agenda: **Final action:**
Effective date:

Title: Resolution relating to a Certificate of Appropriateness for exterior repairs at 2470 N. Grant Blvd. for Thaddeus Harrison.
Sponsors: THE CHAIR
Indexes: HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION
Attachments: Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
2/3/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number
111413
Version
ORIGINAL
Reference

Sponsor
THE CHAIR
Title

Resolution relating to a Certificate of Appropriateness for exterior repairs at 2470 N. Grant Blvd. for Thaddeus Harrison.
Requestor

Drafter
CC-CC
dkf
2/3/12



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

GRANT DISTRICT

ADDRESS OF PROPERTY:

2470 N. GRANT BLVD, MILWAUKEE, WI

2. NAME AND ADDRESS OF OWNER:

Name(s): THADDEUS HARRISON

Address:

City:

State:

ZIP

Email: THADDEUS.HARRISON@GMAIL.COM

Telephone number (area code & number) Daytime: 901-340-1151 Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): PAUL DAVIS RESTORATION (ANTON HILSENBECK - PDR REP)

Address: 2000 S. 4TH ST

City: MILWAUKEE

State: WI

ZIP Code: 53204

Email: AHILSENBECK@PDR-USA.NET

Telephone number (area code & number) Daytime: 414 406 0333 Evening: 414 406 0333

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:



Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")



Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: **YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. _____

Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

- (8) EXTERIOR BASEMENT WINDOWS TO BE REPLACED W/ WOOD WINDOWS & JAMBS
- (8) EXTERIOR BASEMENT STORM WINDOWS TO BE REPLACED W/ WOOD STORM WINDOWS.
- ALL BASEMENT WINDOWS TO HAVE (2) VERTICAL BARS BETWEEN STORM WINDOW & WINDOW SASH
- NEW 4-PANEL EXTERIOR REAR DOOR/WOOD TO BE INSTALLED
- NEW FULL VIEW REAR WOOD STORM TO BE INSTALLED.
- FINISH EXISTING BASEMENT W/ DRYWALL, INSULATION, PAINT & CARPET.

Photo No. _____

Drawing No. _____

6. SIGNATURE OF APPLICANT:



Signature

Anton Husewitz

Print or type name

1/26/12

Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

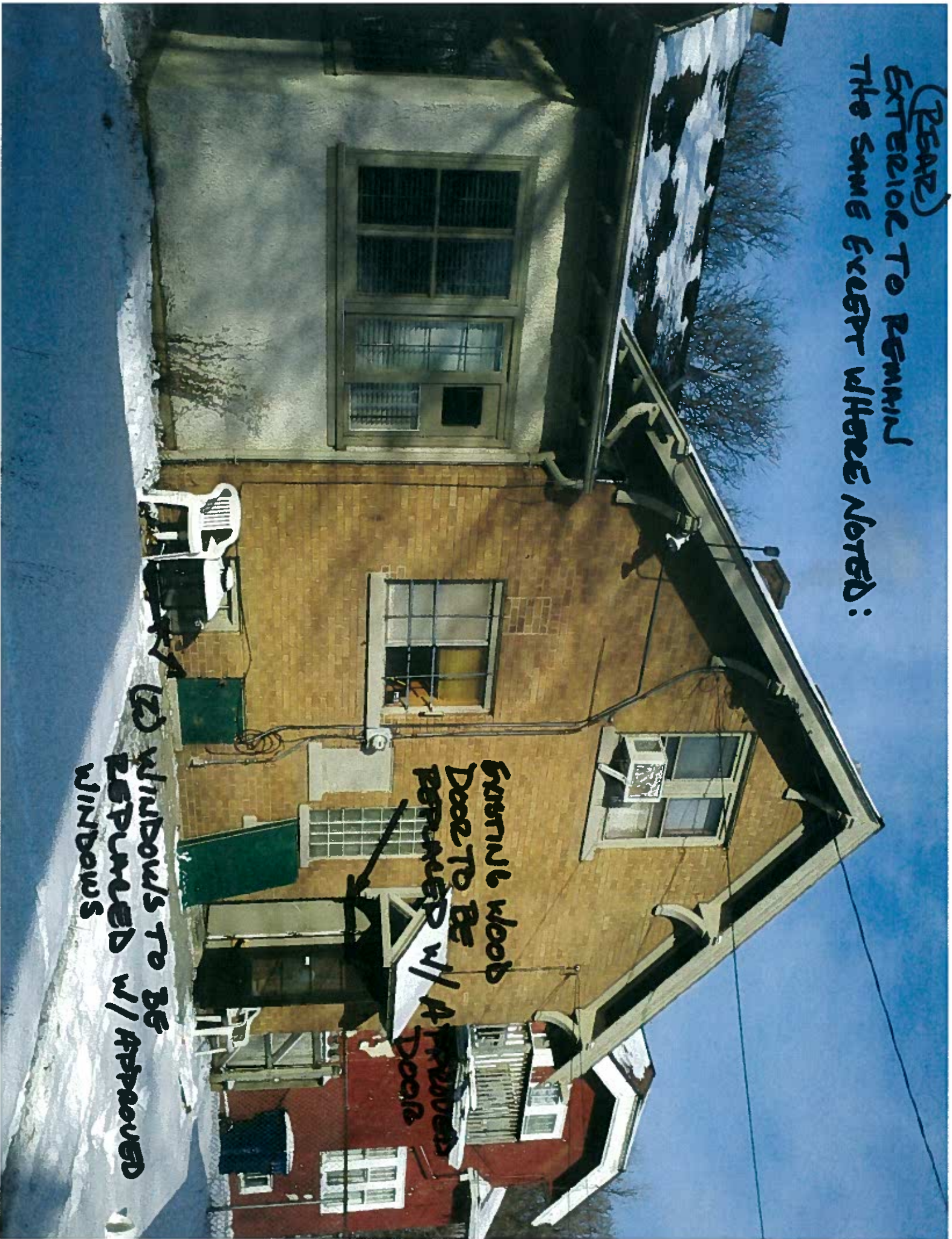
*(Front) Elevation
To Remain As Is:*

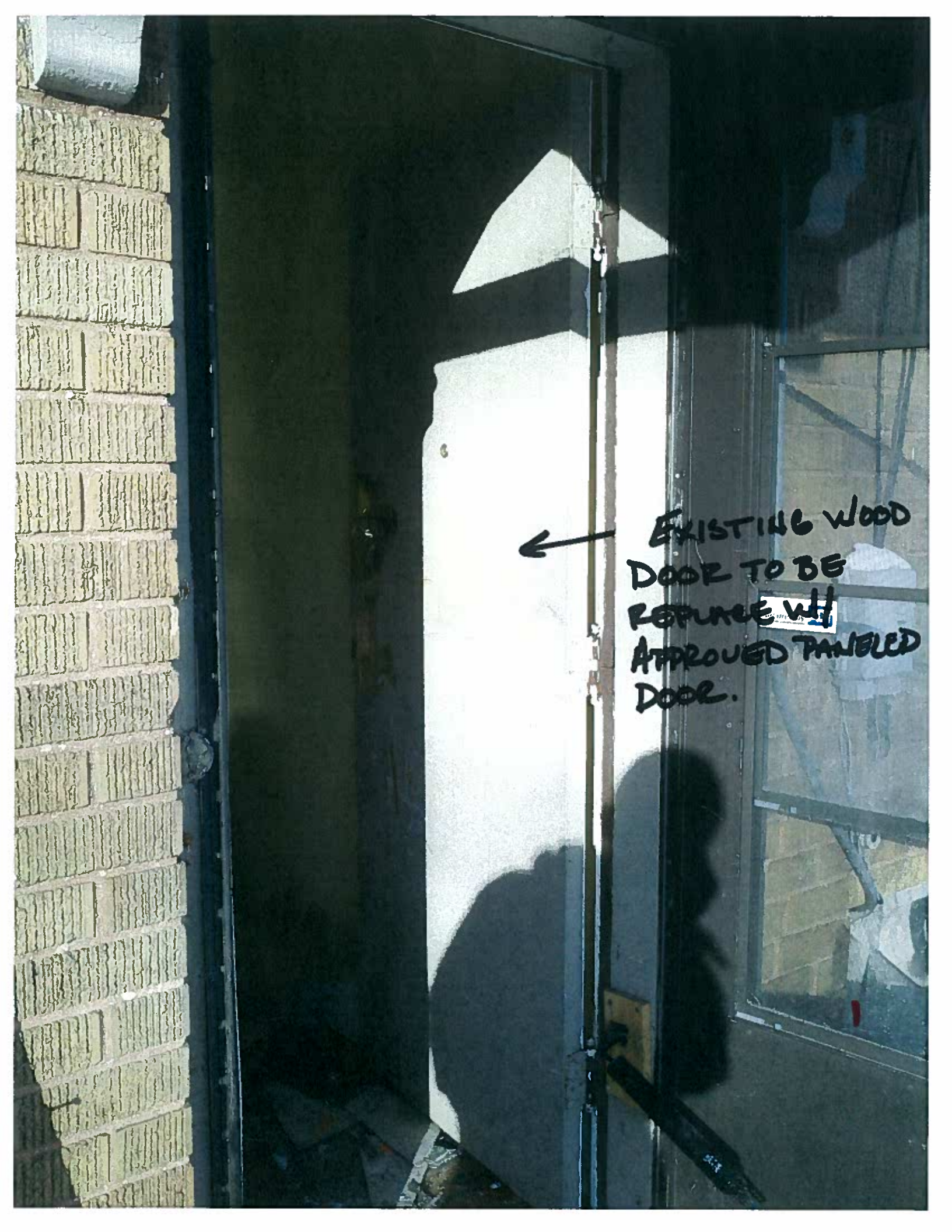


(REAR)
EXTERIOR TO REMAIN
THE SAME EXCEPT WHERE NOTED:

EXISTING WOOD
DOOR TO BE
REMOVED w/ APPROVED
DOOR

(2) WINDOWS TO BE
REMOVED w/ APPROVED
WINDOWS

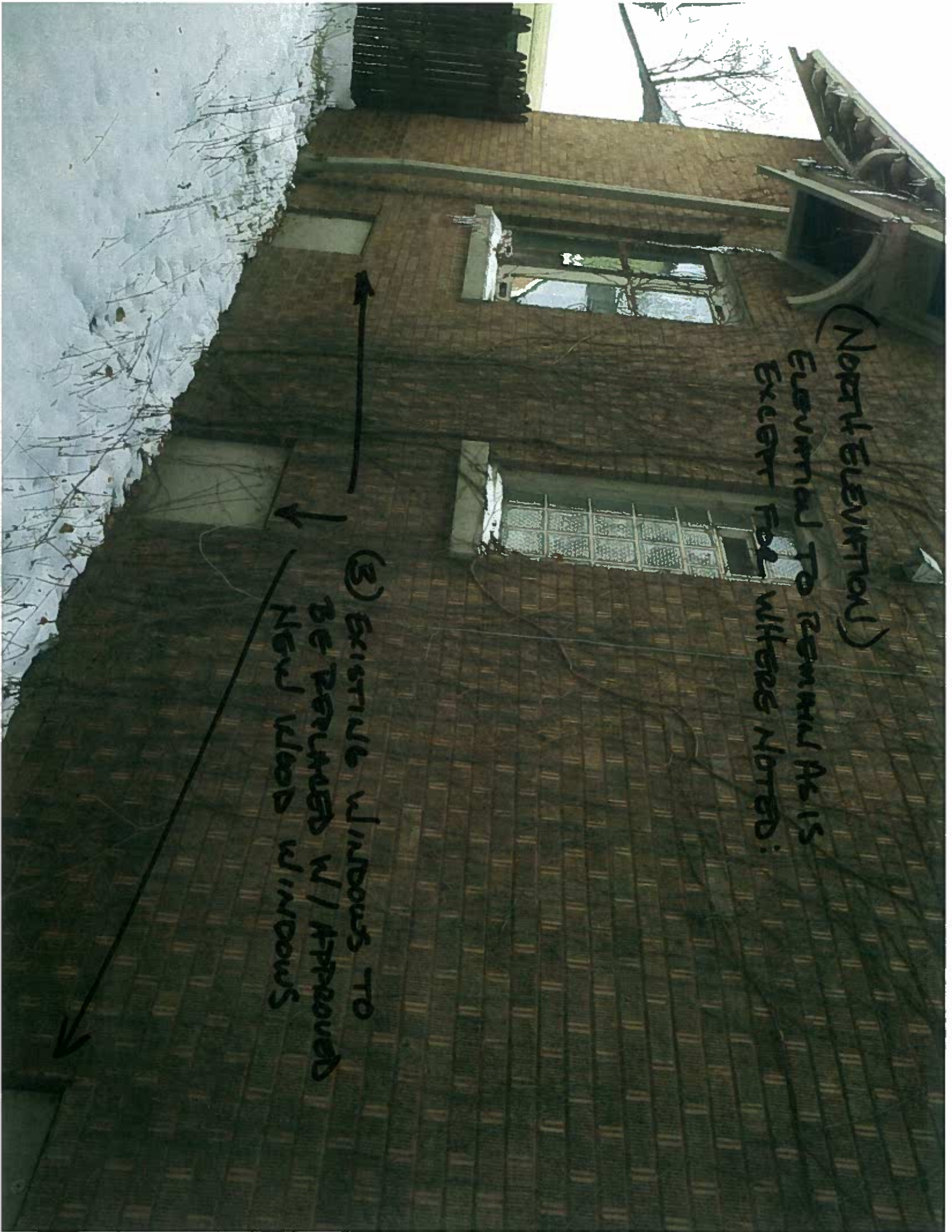




← EXISTING WOOD
DOOR TO BE
REPLACE W/
APPROVED PANELLED
DOOR.

(North Elevation)
Equivalent To Removal As Is
Except For Where Noted:

(3) Existing Windows To
Be Removed w/ Approved
New Wood Windows



South Elevations

ELEVATION TO REMAIN AS IS
EXCEPT FOR WHITE SIDING:

(3) EXISTING WINDOWS TO BE
REMOVED w/ APPROVED
WOOD WINDOWS

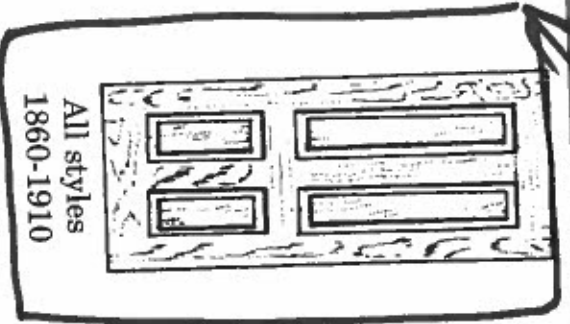


Doors

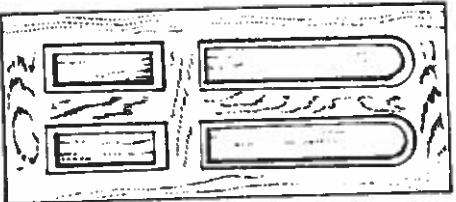


Rear Door

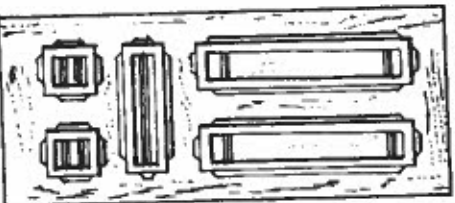
Traditional door designs such as these are appropriate for use on older houses.



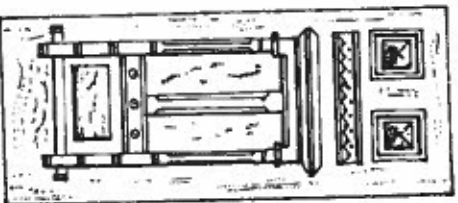
All styles
1860-1910



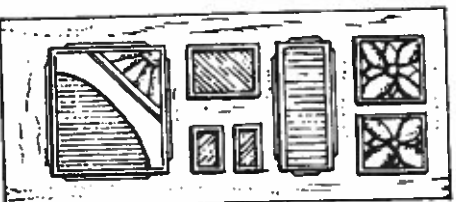
Italianate
1860-1875



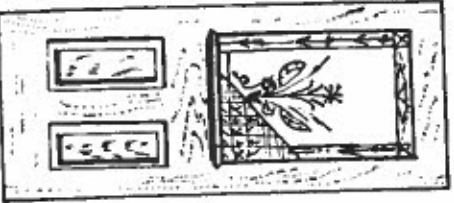
Victorian Gothic
1875-1885



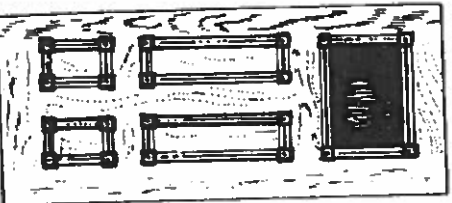
Victorian Gothic,
Queen Anne
1875-1885



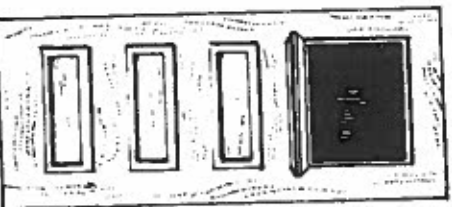
Queen Anne
1885-1895



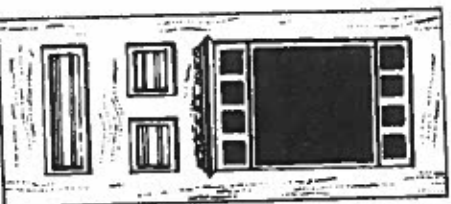
All styles
1860-1910



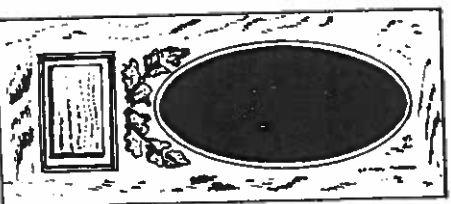
Victorian Gothic
1875-1885



Queen Anne
1885-1895



Queen Anne,
Colonial Revival
1885-1910

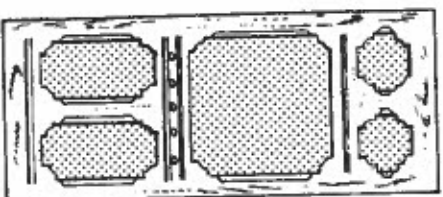


Colonial Revival
1895-1910

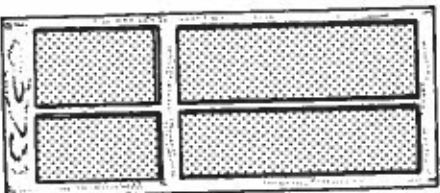
Doors



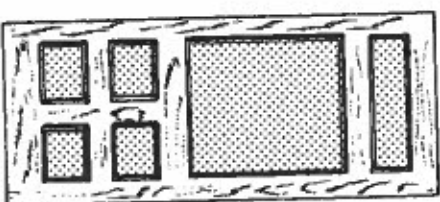
Storm and screen door styles, 1860-1940



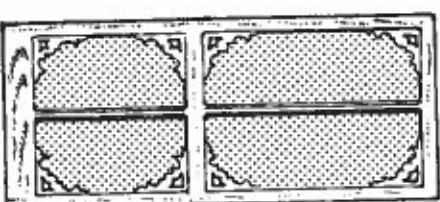
Victorian Gothic,
Queen Anne
1870-1890



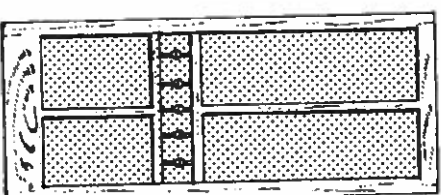
All Styles
1860-1920



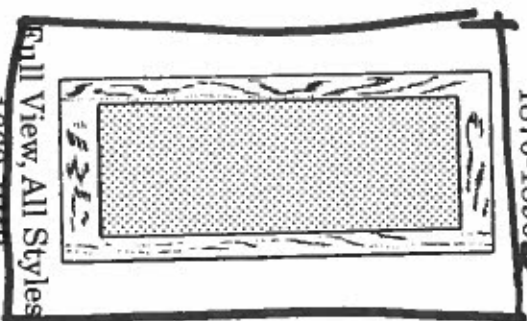
Queen Anne
1885-1905



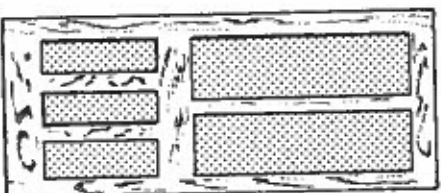
Queen Anne
1885-1905



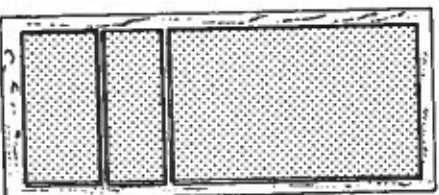
Queen Anne
1885-1905



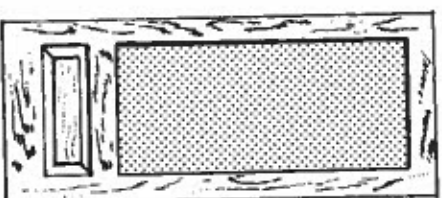
Full View, All Styles
1860-1940



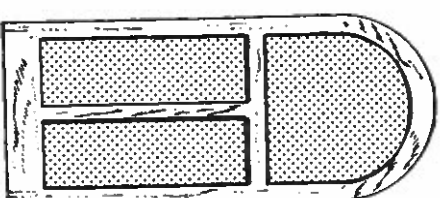
Craftsman
1905-1935



All Styles
1860-1940



All Styles
1915-1940



Craftsman,
Period Revival
1905-1940

Rear Screen Door

(Often used on rear or side doors)

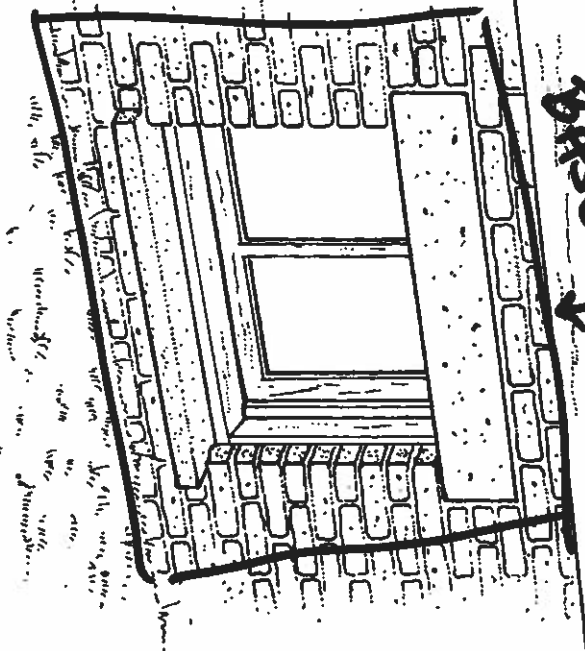
Security



Basement Windows

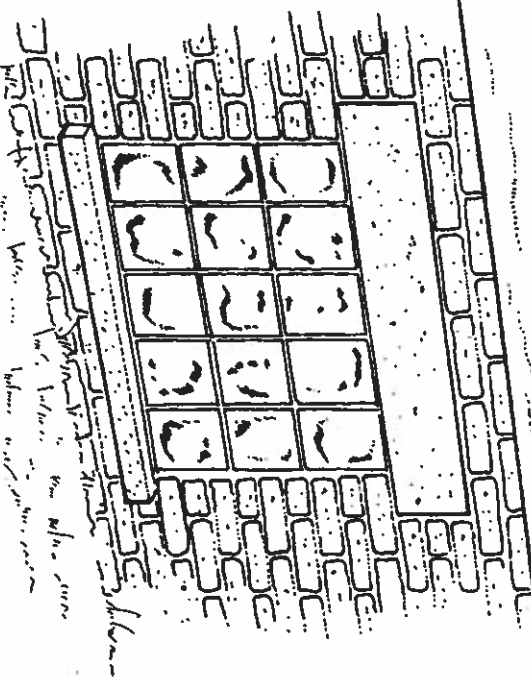


Basement windows w/ multiple screen windows



Maintain Original Basement Window Sash

Original wooden basement window units are an important part of the architectural character of an older house and should be maintained rather than blocked-up or otherwise altered.



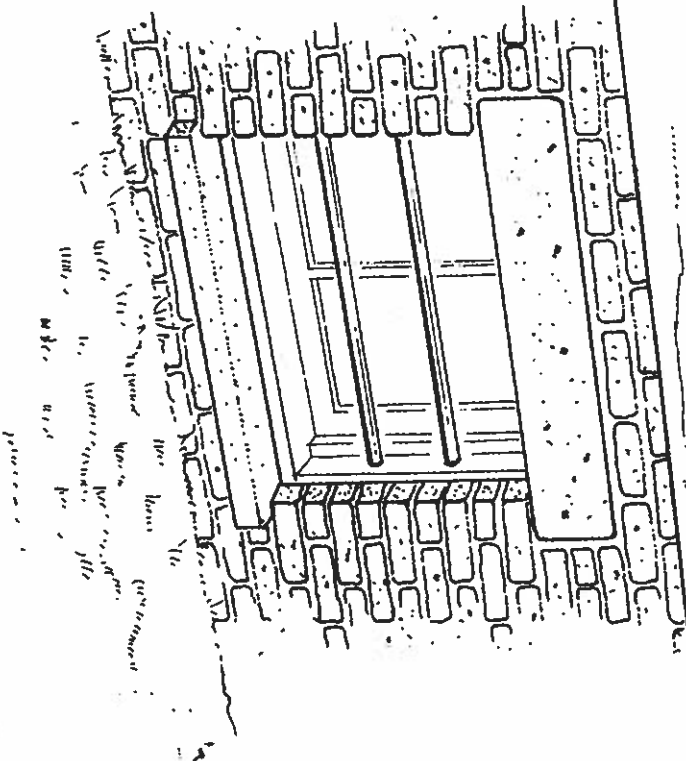
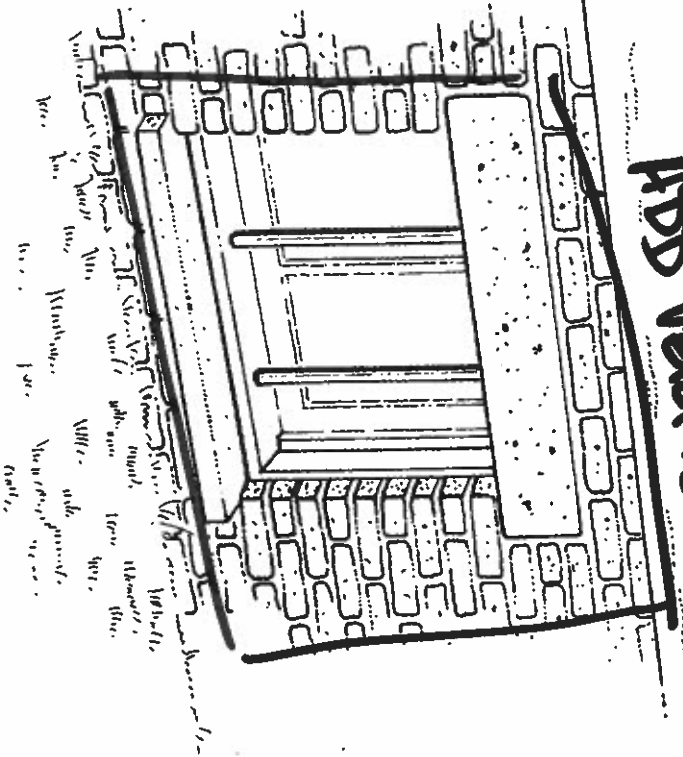
Glass Block Windows

The Historic Preservation Commission does not permit installation of glass block in place of a traditional basement window unit on publicly visible elevations. Glass block does not complement the architecture of an older house and has the added drawbacks of being difficult and expensive to repair.



Basement Window Security Bars

ADD LEANER BARS TO BASEMENT WINDOWS



If necessary, it is permissible to install two or three steel rods set either vertically or horizontally into the wooden window frame of a basement window unit. The bars are the least conspicuous when they are installed between a storm window and the prime window. It is generally recommended, however, to refrain from installing these bars on windows that are visible from the public right-of-way if at all possible.



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission 200 E. Wells Street Milwaukee, WI 53202
Phone 414-286-5712 fax 414-286-3004

Property	2470 N. GRANT BL.	Grant Boulevard Historic District
Description of work	Install new wood windows and jambs in basement windows. Install new wood storm windows in basement windows as needed. Install vertical bar conduit-type security bars in basement windows between storm and prime window. Install new 4-panel wood exterior door on rear elevation. Install new wood, full view rear wood storm door.	
Date issued	2/2/2012	PTS ID 77912 COA, exterior repairs

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and specifications. All new wood will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied to it will be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Contractor Paul Davis, Inspector Joel Walloch (286-8160)

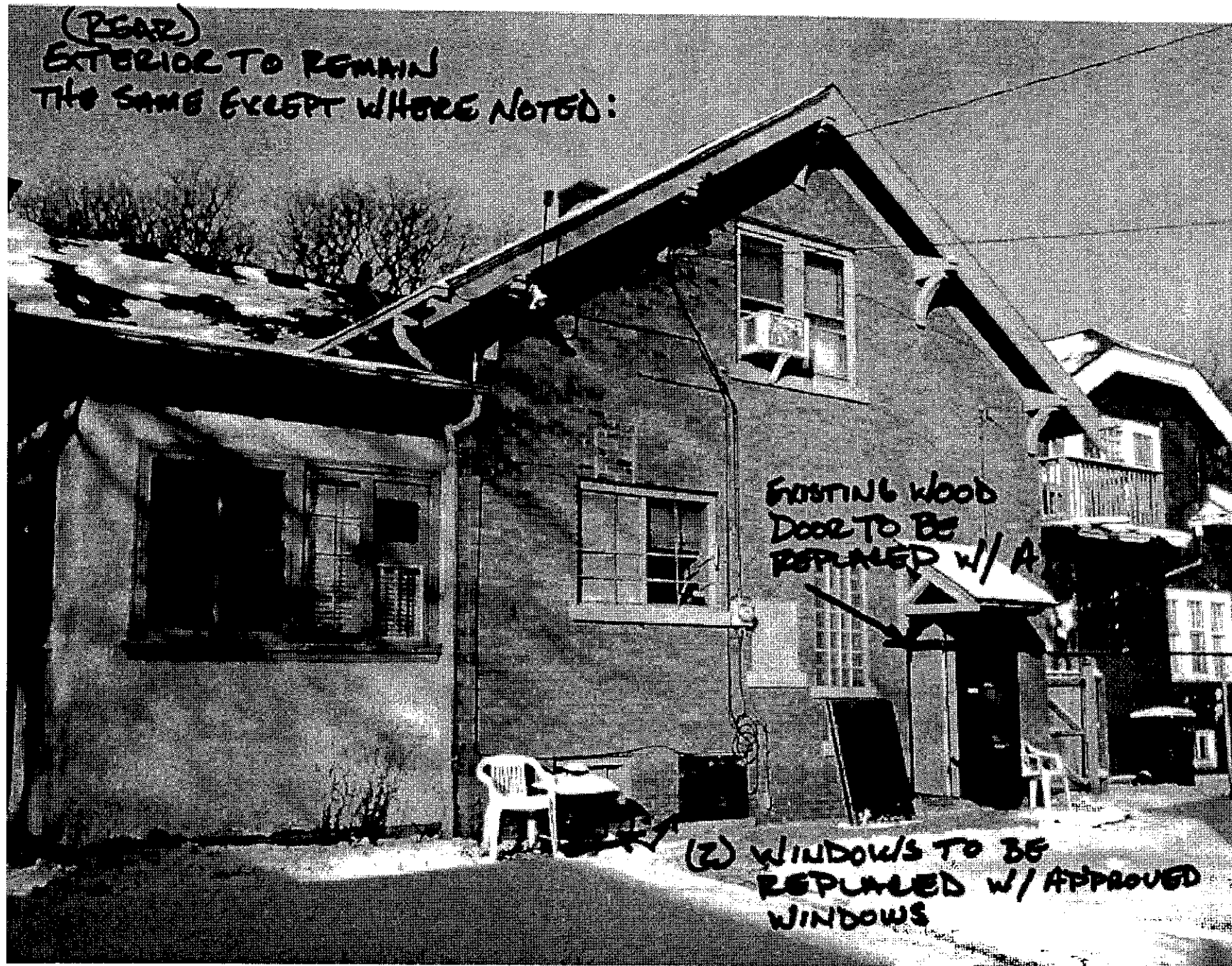


2470 N. Grant Boulevard. No changes to front elevation

(PGAR)
EXTERIOR TO REMAIN
THE SAME EXCEPT WHERE NOTED:

EXISTING WOOD
DOOR TO BE
REPLACED W/ A

(2) WINDOWS TO BE
REPLACED W/ APPROVED
WINDOWS





Rear Elevation. Four panel wood door to be installed in place of existing flush door and a full-view wood storm installed over that. All wood must be painted upon completion



(SOUTH ELEVATION)

ELEVATION TO REMAIN AS IS
EXCEPT FOR WHERE NOTED:

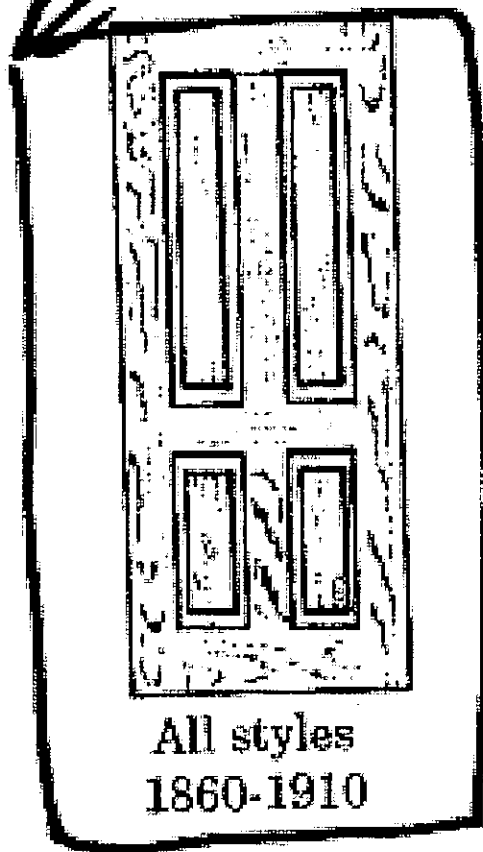
(3) EXISTING WINDOWS TO BE
REPLACED W/ APPROVED
WOOD WINDOWS

Boarded-up basement windows around
the house to be opened up and fitted with
new wood windows storms and security
bars as shown in the attached
illustrations.

Doors

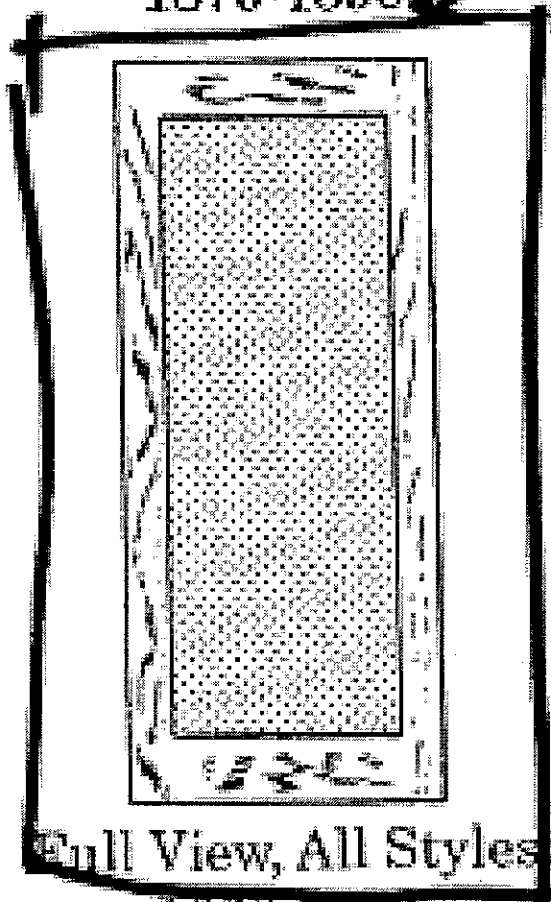
REAR DOOR

Traditional



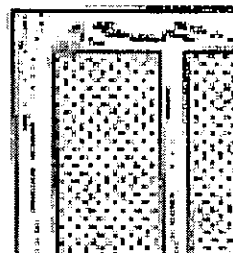
Four panel wood door to be installed on rear elevation. Door must be painted upon completion.

Victorian Gothic,
Queen Anne
1870-1890



Full View, All Styles
1860-1940

All Style
1860-192



Wood full view storm door to be
installed on rear elevation over the
wood prime door. Door must be
painted upon completion

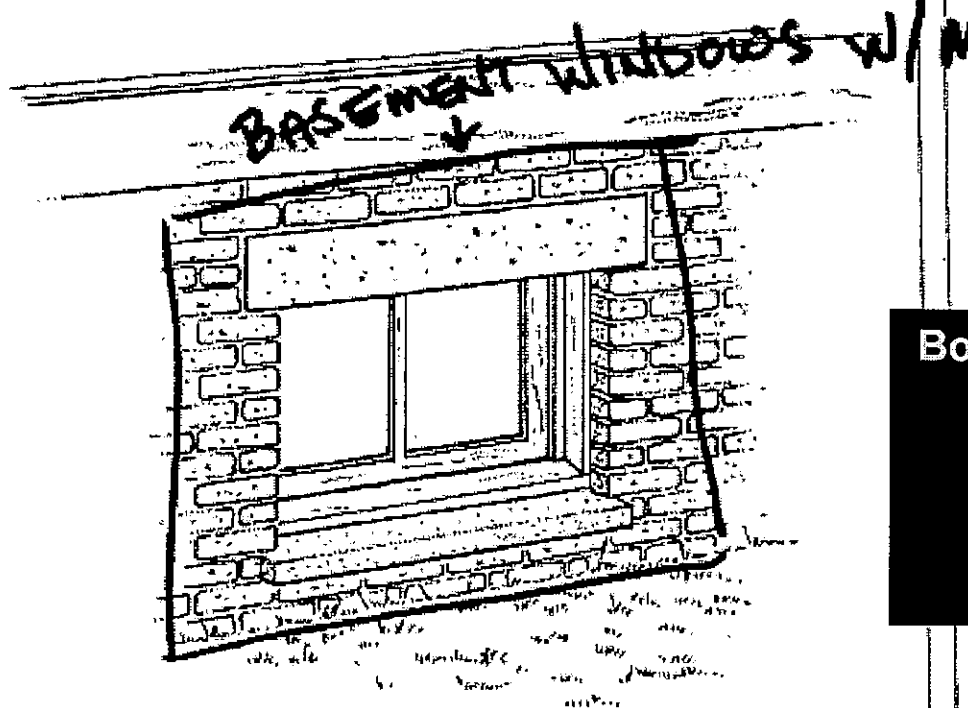


Craftsman
1905-1

Security



Basement V



Boarded-up basement windows to be fitted with new wood windows and jambs in this design. Windows must be painted upon completion.

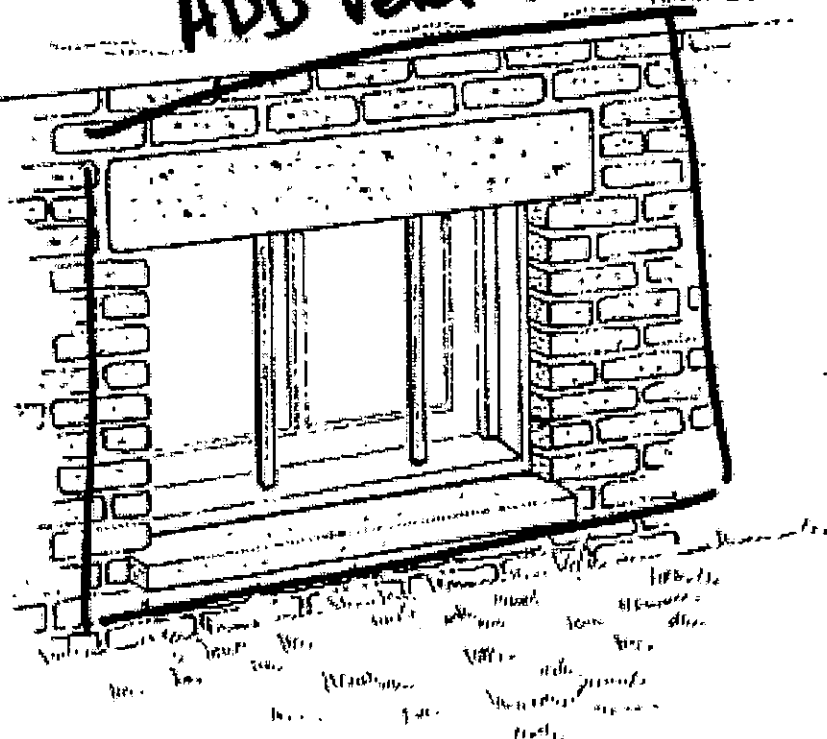
Maintain Original Basement Window Sash

Security

Maybe? II

Basement Window Se

ADD VERTICAL BARS TO



Basement windows to be fitted with vertical security bars as show. A wood storm will be installed over each prime window and the bars will be located between the storm and the prime window.



**Boarded-up basement windows around the house to
be opened up and fitted with new wood jambs, sash
and storm**