



City of Milwaukee

City Hall
200 East Wells Street
Milwaukee, WI 53202

Meeting Agenda ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

ALD. JAMES WITKOWIAK, CHAIR

Ald. Willie Wade, Vice-Chair

Ald. Michael Murphy, Ald. Robert Bauman, and Ald. T. Anthony Zielinski

Staff Assistant, Chris Lee, 286-2232

Fax: 286-3456, clec@milwaukee.gov

**Legislative Liaison, Jeffrey Osterman, 286-2262,
joster@milwaukee.gov**

Tuesday, November 22, 2011

9:00 AM

Room 301-B, City Hall

1. [110738](#) A substitute ordinance relating to fence regulations.
Sponsors: Ald. Witkowski
2. [110692](#) A substitute ordinance relating to the establishment of the East Side architectural review board.
Sponsors: Ald. Kovac
3. [110693](#) Substitute resolution approving the boundary and design guidelines for the East Side Architectural Review District.
Sponsors: Ald. Kovac
4. [061018](#) Substitute resolution relating to the sale of surplus property at 1136-46 East North Avenue to 1150 North, LLC for mixed-use development, in the 3rd Aldermanic District.
Sponsors: Ald. D'Amato
5. [071364](#) Substitute ordinance relating to a change in zoning from General Planned Development to Detailed Planned Development, Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue to permit residential, commercial and retail development, in the 3rd Aldermanic District.
Sponsors: THE CHAIR
6. [110586](#) A substitute ordinance relating to the First Amendment to the General Planned Development known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District.
Sponsors: THE CHAIR
7. [090688](#) Resolution authorizing expenditures and approving the terms of a Development Agreement for the Reed Street Yards Tax Incremental District, in the 12th Aldermanic District.
Sponsors: Ald. Witkowiak

8. [101340](#) Resolution approving a final Certified Survey Map for property located on the west side of South 6th Street and north of West College Avenue, which will create one lot and dedicate land for public purposes, in the 13th Aldermanic District.
- Sponsors: THE CHAIR
9. [110862](#) A substitute ordinance relating to the establishment of a Master Sign Program Overlay Zone known as East Pointe Marketplace, to establish signage standards for a portion of the property located at 605 East Lyon Street, on the north side of East Ogden Street and east of North Jefferson Street, in the 3rd Aldermanic District.
- Sponsors: Ald. Kovac

This meeting will be webcast live at www.milwaukee.gov/channel25.

Common Council members who are not members of this committee may attend this meeting to participate or to gather information. This meeting may constitute a meeting of the Common Council or any of its standing committees although no formal action will be taken at this meeting.

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Persons engaged in lobbying as defined in s. 305-43-4 of the Milwaukee Code are required to register with the City Clerk's License Division. Lobbyists appearing before a Common Council committee are required to identify themselves as such. More information is available at www.milwaukee.gov/lobby.



Legislation Details (With Text)

File #: 110738 **Version:** 1

Type: Ordinance **Status:** In Committee

File created: 9/20/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: A substitute ordinance relating to fence regulations.

Sponsors: ALD. WITKOWSKI

Indexes: FENCES

Attachments: Lustron Fence Picture - Colors, Lustron Fence Picture - Height, Proposed Substitute A, Hearing Notice List

| Date | Ver. | Action By | Action | Result | Tally |
|-----------|------|---|---------------------------|--------|-------|
| 9/20/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 9/29/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 10/4/2011 | 1 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HELD TO CALL OF THE CHAIR | Pass | 5:0 |

Number
110738
Version
SUBSTITUTE 1
Reference

Sponsor
ALD. WITKOWSKI
Title

A substitute ordinance relating to fence regulations.

Sections

239-2-2 am

239-2-3-h cr

239-2-7 cr

Analysis

This ordinance creates the following fence regulations:

1. All posts and vertical structural supports of a fence shall meet applicable fence height, setback and vision triangle regulations.
2. Each fence shall be uniform in color, except that a fence painted, stained or otherwise finished in 2 colors shall be permitted subject to the review and approval of the commissioner.
3. Whenever a new fence is constructed parallel to and within 6 feet of an existing fence on the same lot, the existing fence shall be removed within 10 days of completion of the new fence.

Body

Part 1. Section 239-2-2 of the code is amended to read:

239-2. Fences.

2. HEIGHT, SETBACK AND VISION TRIANGLE. Fences >> including all posts and vertical structural supports, << shall meet the applicable fence height, setback and vision triangle regulations of ch. 295.

Part 2. Section 239-2-3-h of the code is created to read:

3. STRUCTURAL REGULATIONS.

h. Each fence shall be uniform in color, except that a fence painted, stained or otherwise finished in 2 colors shall be permitted subject to the review and approval of the commissioner.

Part 3. Section 239-2-7 of the code is created to read:

7. REMOVAL OF EXISTING FENCE. Whenever a new fence is constructed parallel to and within 6 feet of an existing fence on the same lot, the existing fence shall be removed within 10 days of completion of the new fence.

LRB

APPROVED AS TO FORM

Legislative Reference Bureau

Date: _____

Attorney

IT IS OUR OPINION THAT THE ORDINANCE
IS LEGAL AND ENFORCEABLE

Office of the City Attorney

Date: _____

Requestor

Department of City Development

Drafter

LRB134103-2

Jeff Osterman

09/26/2011





..Number
110738
..Version
PROPOSED SUBSTITUTE
..Reference

..Sponsor
ALD. WITKOWSKI

..Title
A substitute ordinance relating to fence regulations.

..Sections
239-2-2 am
239-2-3-h cr
239-2-7 cr

..Analysis
This ordinance creates the following fence regulations:

1. All posts and vertical structural supports of a fence shall meet applicable fence height, setback and vision triangle regulations.
2. Each fence shall be uniform in color, except that a fence painted, stained or otherwise finished in 2 colors shall be permitted. A fence may be painted, stained or otherwise finished in 3 or more colors only with the permission of the commissioner.
3. Whenever a new fence is constructed parallel to and within 6 feet of an existing fence on the same lot, the existing fence shall be removed within 10 days of completion of the new fence.

..Body
Part 1. Section 239-2-2 of the code is amended to read:

239-2. Fences.

2. HEIGHT, SETBACK AND VISION TRIANGLE. Fences >> including all posts and vertical structural supports, << shall meet the applicable fence height, setback and vision triangle regulations of ch. 295.

Part 2. Section 239-2-3-h of the code is created to read:

3. STRUCTURAL REGULATIONS.

h. Each fence shall be uniform in color, except that a fence painted, stained or otherwise finished in 2 colors shall be permitted. A fence may be painted, stained or otherwise finished in 3 or more colors only with the permission of the commissioner.

Part 3. Section 239-2-7 of the code is created to read:

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..LRB

APPROVED AS TO FORM

Legislative Reference Bureau

Date:_____

..Attorney

IT IS OUR OPINION THAT THE ORDINANCE
IS LEGAL AND ENFORCEABLE

Office of the City Attorney

Date:_____

..Requestor

Department of City Development

..Drafter

LRB134103-3

Jeff Osterman

10/26/2011

NOTICES SENT TO FOR FILE : 110738

[illegible]

NOTICES SENT TO FOR FILE : 110738

[illegible]



Legislation Details (With Text)

File #: 110692 **Version:** 1
Type: Ordinance **Status:** In Committee
File created: 9/20/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE
On agenda: **Final action:**
Effective date:
Title: A substitute ordinance relating to the establishment of the East Side architectural review board.
Sponsors: ALD. KOVAC
Indexes: BOARDS AND COMMISSIONS
Attachments:

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|---|----------------------|--------|-------|
| 9/20/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 11/9/2011 | 1 | CITY CLERK | DRAFT SUBMITTED | | |
| 11/16/2011 | 1 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |

Number

110692

Version

SUBSTITUTE 1

Reference

110693

Sponsor

ALD. KOVAC

Title

A substitute ordinance relating to the establishment of the East Side architectural review board.

Sections

200-61-2-e am

Analysis

This ordinance creates an architectural review board for the East Side architectural review district.

The boundaries and design guidelines for this district shall be as approved by common council resolution 110693. The East Side architectural review board shall have the same structure, functions, powers and duties as the city's sole existing architectural review board, the Historic Third Ward architectural review board.

Body

The Mayor and Common Council of the City of Milwaukee do ordain as follows:

Part 1. Section 200-61-2-e of the code is amended to read:

200-61. Architectural Review Board.

2. DEFINITIONS.

e. "District" means the area designated by common council resolution 870501 as business improvement district #2 >>or the area designated by common council resolution 110693 as the East Side architectural review district<<. ~~[[This area shall also be known as the "Historic Third Ward District."]]~~ "District" also means such additional areas as may be designated by the common council. Each district created hereunder shall have a separate board.

LRB

APPROVED AS TO FORM

Legislative Reference Bureau

Date:_____

Attorney

IT IS OUR OPINION THAT THE ORDINANCE
IS LEGAL AND ENFORCEABLE

Office of the City Attorney

Date:_____

Requestor

Drafter

LRB125545-2

Jeff Osterman

11/08/2011

NOTICES SENT TO FOR FILE : 110692

[illegible]



Legislation Details (With Text)

File #: 110693 **Version:** 1

Type: Resolution **Status:** In Committee

File created: 9/20/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Substitute resolution approving the boundary and design guidelines for the East Side Architectural Review District.

Sponsors: ALD. KOVAC

Indexes: BOARDS AND COMMISSIONS

Attachments: Exhibit A, Exhibit A cont'd, BID 20 - Architectural Review Board Design Guidelines, Hearing Notice List

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|---|----------------------|--------|-------|
| 9/14/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 11/9/2011 | 1 | CITY CLERK | DRAFT SUBMITTED | | |
| 11/15/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/16/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/16/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/16/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |

Number

110693

Version

SUBSTITUTE 1

Reference

110692

Sponsor

ALD. KOVAC

Title

Substitute resolution approving the boundary and design guidelines for the East Side Architectural Review District.

Analysis

This resolution approves the boundary and design guidelines for the East Side Architectural Review District, an area roughly coterminous with Business Improvement District No. 20 (East North Avenue). The architectural review board for this district - which will be administering the adopted design guidelines - is created by companion Common Council File Number 110692.

Body

Whereas, Consistent with s. 200-61-2 of the Milwaukee Code of Ordinances, the Common Council finds that the physical and architectural character of the Business Improvement District No. 20 ("BID

20”) area, which encompasses properties on both sides of East North Avenue between the Milwaukee River and North Prospect Avenue warrants special regulation with respect to the alteration, rehabilitation and construction of buildings, structures or sites because of the area’s significant historical, cultural, social and commercial attributes; and

Whereas, The Common Council further finds that to protect, promote and enhance the special physical and architectural character of the BID 20 area, it is essential that an architectural review board be created to review all applications for the alteration, rehabilitation or construction of buildings, structures and sites in the area; and

Whereas, Common Council File Number 110692 is an ordinance that creates an architectural review board for the BID 20 area - the East Side Architectural Review Board (“Board”); and

Whereas, Section 200-61-2-d and 4-c of the Code require that an architectural review board use Common Council-adopted design guidelines when reviewing applications for certificates of appropriateness for the alteration, rehabilitation and construction of buildings, structures and sites in the architectural review district; and

Whereas, Since May of 2009, the board of BID 20, an architectural consultant engaged by BID 20 (Mr. James Piwoni), property owners and other stakeholders in the BID 20 area, and City staff from the Department of City Development and the City Attorney’s Office have worked together to develop design guidelines for the BID 20 architectural review area; and

Whereas, The “East Side Business Improvement District #20 Architectural Review Board Design Guidelines” which are attached to this Common Council file represent the final product of this 2-year guideline-development process; and

Whereas, The board of BID 20 recommends and requests that the Common Council adopt the “East Side Business Improvement District #20 Architectural Review Board Design Guidelines”; and

Whereas, These design guidelines, which would be supplemental and subordinate to the City’s zoning regulations, set forth objectives and supporting criteria in the areas of urban design, building type, architecture, frontages and street edges, including suggested alternatives for construction and building modifications to aid in meeting those objectives; and

Whereas, The City’s architectural review board ordinance (s. 200-61) requires that an architectural review board administer adopted design guidelines within a specifically-designated area; and

Whereas, File Number 110692 provides for designation of the area comprising the East Side Architectural Review District via this Common Council file (File Number 110693); and

Whereas, The board of BID 20 and Department of City Development staff recommend that the area within the boundary shown in Exhibit “A” attached to this file, and further described by the list of properties in Exhibit “A,” be designated the East Side Architectural Review District; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the area within the boundary shown in Exhibit “A,” and further described by the list of properties in Exhibit “A,” is designated the East Side Architectural Review District; and, be it

Further Resolved, That the “East Side Business Improvement District #20 Architectural Review Board Design Guidelines” that are attached to this Common Council file are adopted as the design guidelines for the East Side Architectural Review District.
Requestor

Drafter
LRB133935-2
Jeffrey D. Osterman
11/08/2011

Exhibit "A"



Existing BID Boundary

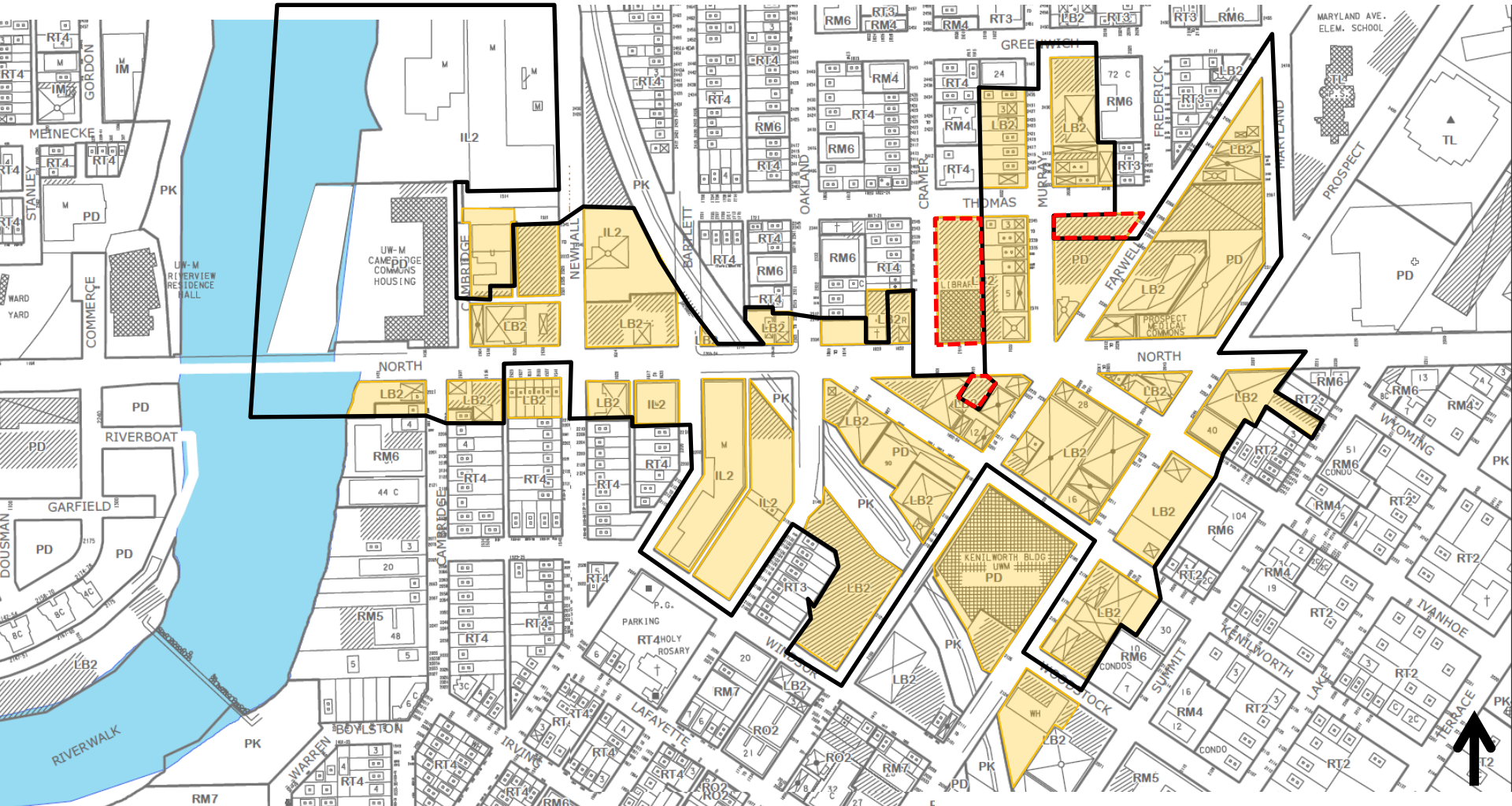


Proposed ARD boundary



City Owned

East Side Architectural Review District Proposed Boundary



PROPERTIES WITHIN THE BOUNDARY OF THE EAST SIDE ARCHITECTURAL REVIEW DISTRICT

Exhibit "A"
continued

| TAXKEY | ADDRESS | GEO_ZIP_CO | OWN_OCPD | OWNER_NAME | OWNER_MAIL | OWNER_CITY | OWNER_ZIP |
|------------|---------------------|------------|----------|-----------------------------|---------------------------|--------------------|-----------|
| 3191371000 | 2305 N PROSPECT AV | 532110000 | N | NORTHPOINT PROSPECT COMMONS | 10700 RESEARCH DR STE 1 | MILWAUKEE WI | 53226 |
| 3191372000 | 2311 N PROSPECT AV | 532110000 | N | COLUMBIA ST MARYS INC | 4425 N PORT WASHINGTON RD | GLENDALE WI | 53212 |
| 3191373000 | 2311 N PROSPECT AV | 532110000 | N | COLUMBIA ST MARYS INC | 4425 N PORT WASHINGTON RD | GLENDALE WI | 53212 |
| 3190772100 | 1910 E NORTH AV | 532020000 | N | CITY OF MILWAUKEE | 809 N BROADWAY | MILWAUKEE WI | 53202 |
| 3190790000 | 1832 E NORTH AV | 532020000 | O | DOROTHY M VITUCCI REVOCABLE | 1832 E NORTH AV | MILWAUKEE WI | 53211 |
| 3190791000 | 1820 E NORTH AV | 532020000 | O | LAKESHORE CHURCH | 1820 E NORTH AVE | MILWAUKEE WI | 53202 |
| 3190793000 | 1800 E NORTH AV | 532020000 | N | 1800-1814 E NORTH AVE LLC | 7086 FALLS ROAD EAST | BOYNTON BEACH FL | 33437 |
| 3190697100 | 2435 N MURRAY AV | 532110000 | N | ROBERT D BACOS | 6114 THORNRIDGE LA | GREENDALE WI | 53129 |
| 3190700000 | 2423 N MURRAY AV | 532110000 | N | RED HOUSE LLC | 2915 N MARIETTA AV | MILWAUKEE WI | 53211 |
| 3190701000 | 2419 N MURRAY AV | 532110000 | O | TRUDY F LANT NKA | 2419 N MURRAY AV | MILWAUKEE WI | 53211 |
| 3190702000 | 2415 N MURRAY AV | 532110000 | N | SHANE ZOLPER | 3477 N OAKLAND AV | MILWAUKEE WI | 53211 |
| 3190703000 | 2407 N MURRAY AV | 532110000 | O | JOSEPH S LE SAGE | 2407 N MURRAY AVE | MILWAUKEE WI | 53211 |
| 3190723000 | 2406 N MURRAY AV | 532110000 | N | GOLDBERG FAMILY LTD | 5205 N IRONWOOD RD | GLENDALE WI | 53217 |
| 3190724000 | 2410 N MURRAY AV | 532110000 | N | CORY J GASSMANN | 5418 S 43RD ST | GREENFIELD WI | 53220 |
| 3190727100 | 2428 N MURRAY AV | 532110000 | N | WILLIAM F JUDGE & JOAN M | PO BOX 11578 | SHOREWOOD WI | 53211 |
| 3190743000 | 2426 N FARWELL AV | 532110000 | N | GURDEV SINGH | W176 N5456 HIGHRIDGE DR | MENOMONEE FALLS WI | 53051 |
| 3190744000 | 2414 N FARWELL AV | 532110000 | O | ARTHUR R KING MD | 2414 N FARWELL AV | MILWAUKEE WI | 53211 |
| 3190745000 | 2401 N MARYLAND AV | 532110000 | O | RESOURCE MANAGEMENT | 2403 N MARYLAND AV | MILWAUKEE WI | 53211 |
| 3190757000 | 2012 E NORTH AV | 532020000 | O | SHASHA LLC | 2022 E NORTH AV | MILWAUKEE WI | 53211 |
| 3190762100 | 2353 N FARWELL AV | 532110000 | N | CITY OF MILWAUKEE | 809 NORTH BROADWAY | MILWAUKEE WI | 53202 |
| 3190764111 | 2303 N FARWELL AV | 532110000 | N | FIRSTAR BANK MILWAUKEE NA | 2800 EAST LAKE ST | MINNEAPOLIS MN | 55406 |
| 3190766100 | 2339 N MURRAY AV | 532110000 | N | ORLEN G WOOD | 2204 E WEBSTER PL | MILWAUKEE WI | 53211 |
| 3190768000 | 2333 N MURRAY AV | 532110000 | O | SAMUEL J LLANAS | 2333 N MURRAY AV | MILWAUKEE WI | 53211 |
| 3190770100 | 2319 N MURRAY AV | 532110000 | N | SHAFTON FAMILY LTD | 5205 N IRONWOOD RD #201 | GLENDALE WI | 53217 |
| 3190770200 | 1930 E NORTH AV | 532020000 | N | 1930 EAST NORTH AVE LLC | 1200 N MAYFAIR RD STE 220 | MILWAUKEE WI | 53226 |
| 3201721000 | 2340 N CAMBRIDGE AV | 532110000 | N | WISCONSIN ELECTRIC POWER CO | 231 W MICHIGAN ST | MILWAUKEE WI | 53201 |
| 3201722000 | 2326 N CAMBRIDGE AV | 532110000 | N | WISCONSIN ELECTRIC POWER CO | 231 W MICHIGAN ST | MILWAUKEE WI | 53201 |
| 3201523100 | 1726 E NORTH AV | 532020000 | N | TLO HOLDINGS LLC | 8100 N BEACH DR | FOX POINT WI | 53217 |
| 3201525000 | 1700 E NORTH AV | 532020000 | N | RKA PROP OF WIS LLC | P O BOX 270224 | WEST ALLIS WI | 53227 |
| 3201531100 | 2340 N NEWHALL ST | 532110000 | O | ESV LLC | 2340 N NEWHALL ST | MILWAUKEE WI | 53211 |
| 3201532110 | 1614 E NORTH AV | 532020000 | N | MCDONALDS CORP | 9300 N WAVERLY DR | BAYSIDE WI | 53217 |
| 3201537100 | 1518 E NORTH AV | 532020000 | N | MANDEL NORTHTOWN II LLC | 301 E ERIE ST | MILWAUKEE WI | 53202 |
| 3201539000 | 1504 E NORTH AV | 532020000 | N | GEORGE SALVAT REAL ESTATE | 6950 N ELM TREE RD | MILWAUKEE WI | 53217 |
| 3201540000 | 2320 N CAMBRIDGE AV | 532110000 | N | MANDEL NORTHTOWN II LLC | 301 E ERIE ST | MILWAUKEE WI | 532026005 |
| 3550139110 | 1431 E NORTH AV | 532020000 | O | MLRB LLC | 1431 E NORTH AV | MILWAUKEE WI | 53202 |

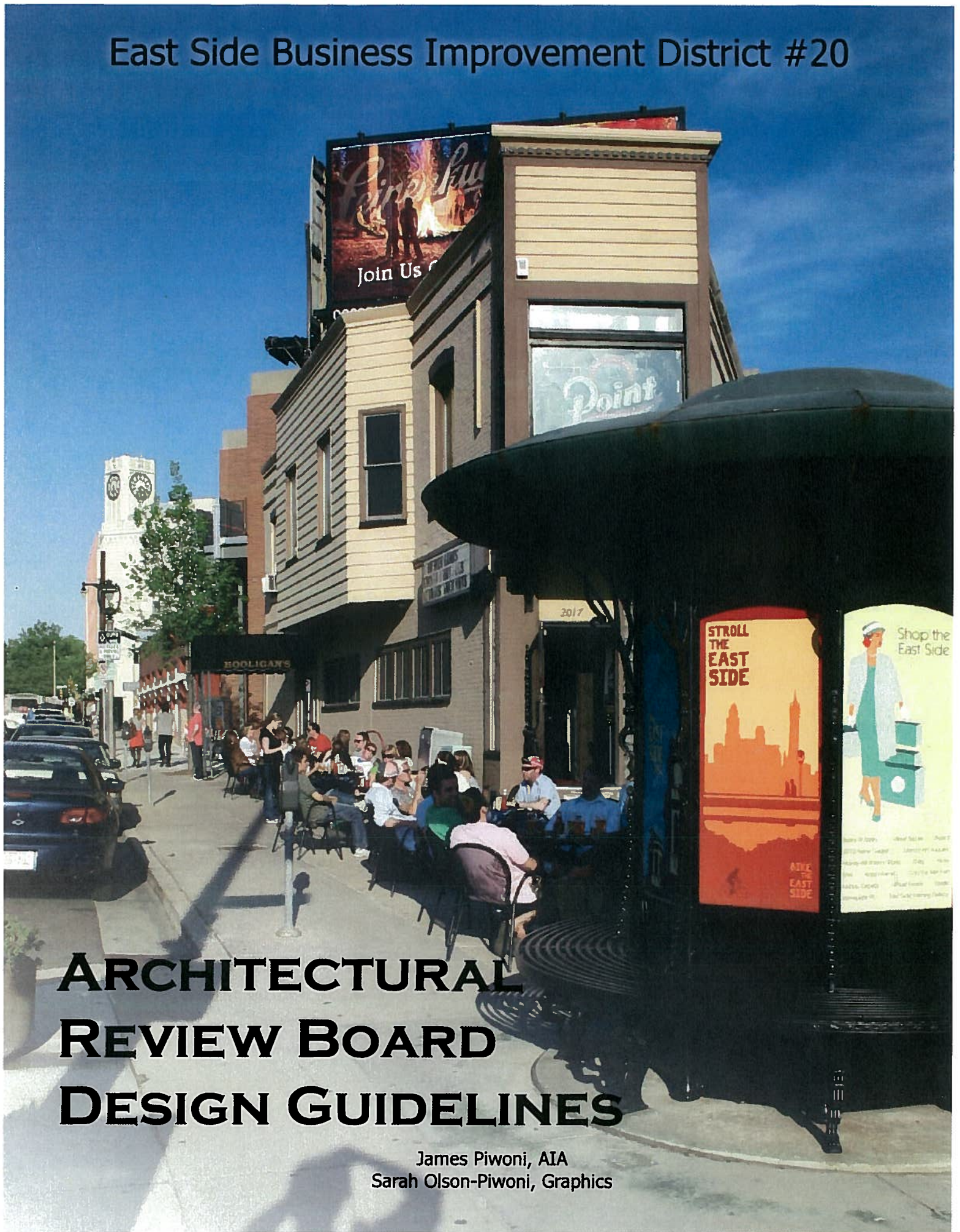
| TAXKEY | ADDRESS | GEO_ZIP_CO | OWN_OCPD | OWNER_NAME | OWNER_MAIL | OWNER_CITY | OWNER_ZIP |
|------------|----------------------|------------|----------|------------------------------|------------------------------|----------------------|-----------|
| 3550202000 | 1527 E NORTH AV | 532020000 | N | JOSEPH D SADOWSKI | 2101 E MARION ST | MILWAUKEE WI | 53211 |
| 3550203000 | 1531 E NORTH AV | 532020000 | O | MICHAEL L WHITE | 1531 E NORTH AV | MILWAUKEE WI | 53202 |
| 3550205000 | 1537 E NORTH AV | 532020000 | N | KURT R SPRANGERS | 2847 N MURRAY AVE | MILWAUKEE WI | 53211 |
| 3550206000 | 1541 E NORTH AV | 532020000 | N | ROBERT G PETERS, NANCY J | P O BOX 750 | MILWAUKEE WI | 53201 |
| 3550207000 | 2209 N NEWHALL ST | 532020000 | N | QUALITY CAT PUR LLC | PO BOX 14061 | MILWAUKEE WI | 53214 |
| 3550431116 | 2202 N BARTLETT AV | 532020000 | O | PIERCE MILWAUKEE LLC | 2202 N BARTLETT AV | MILWAUKEE WI | 53202 |
| 3550432000 | 1617 E NORTH AV | 532020000 | N | ROBERT E JOHN | 834 N PLANKINTON AVE | MILWAUKEE WI | 53203 |
| 3550448100 | 1609 E NORTH AV | 532020000 | N | E&K LAND LLC | 10505 CORPORATE DR # 101 | PLEASANT PRAIRIE WI | 53158 |
| 3550101000 | 1507 E NORTH AV | 532020000 | N | MICHAEL D LEE, RICHARD | 929 N ASTOR ST # 1402 | MILWAUKEE WI | 53202 |
| 3550102000 | 2212 N CAMBRIDGE AV | 532020000 | N | MICHAEL D LEE | 929 N ASTOR ST #1402 | MILWAUKEE WI | 53202 |
| 3550103000 | 1515 E NORTH AV | 532020000 | N | E & K LAND LLC | 10505 CORPORATE DR # 101 | PLEASANT PRAIRIE WI | 53158 |
| 3560213000 | 2244 N PROSPECT AV | 532020000 | N | JBC 34 LLC | 1007 N CASS ST | MILWAUKEE WI | 53202 |
| 3560215100 | 2252 N PROSPECT AV | 532020000 | N | DOS LOCOS LLC | 3055 N FREDERICK AV | MILWAUKEE WI | 53211 |
| 3560239110 | 2124 N PROSPECT AV | 532020000 | N | MILW PROSPECT LLC | 333 N MICHIGAN AV #1700 | CHICAGO IL | 60601 |
| 3560278000 | 2211 N PROSPECT AV | 532020000 | N | TOWN DOGS LLC | 2999 N HUMBOLDT BL | MILWAUKEE WI | 53212 |
| 3560279000 | 2201 N PROSPECT AV | 532020000 | O | PAIGE-WALLACE LLC | 2203 N PROSPECT AV | MILWAUKEE WI | 53202 |
| 3560282000 | 2216 N FARWELL AV | 532020000 | N | NEW LAND INVESTMENTS NO 7 | PO BOX 511448 | MILWAUKEE WI | 53203 |
| 3560283000 | 2238 N FARWELL AV | 532020000 | N | NEW LAND INVESTMENTS NO 7 | P O BOX 511448 | MILWAUKEE WI | 53203 |
| 3560284000 | 2217 N PROSPECT AV | 532020000 | N | PROSPECT I LLC | 311 E CHICAGO ST, STE 210 | MILWAUKEE WI | 53202 |
| 3560285000 | 2017 E NORTH AV | 532020000 | N | 2017 EAST NORTH, LLC | N6585 LEICHT RD | BLACK RIVER FALLS WI | 54615 |
| 3560286000 | 2043 E NORTH AV | 532020000 | N | BV PROSPECT III LLC | 311 E CHICAGO ST, STE 210 | MILWAUKEE WI | 53202 |
| 3560289111 | 1901 E NORTH AV | 532020000 | O | 2B REAL ESTATE LLC | 1901 E NORTH AVE | MILWAUKEE WI | 53202 |
| 3560290100 | 2227 N FARWELL AV | 532020000 | O | NORTH FARWELL, LLC | 2235 N FARWELL AVE | MILWAUKEE WI | 53215 |
| 3560293100 | 1915 E NORTH AV | 532020000 | N | CITY OF MILWAUKEE | 809 N BROADWAY | MILWAUKEE WI | 53202 |
| 3560297000 | 2201 N FARWELL AV | 532020000 | N | SPECTRUM HOLDINGS INC | 6651 N TEUTONIA AV | MILWAUKEE WI | 53209 |
| 3560298110 | 1854 E KENILWORTH PL | 532020000 | N | A DE PALMA PROPERTIES LLC | 706 E LYON ST | MILWAUKEE WI | 532022025 |
| 3560301000 | 1801 E NORTH AV | 532020000 | N | SYDNEY C CHARNEY ESTATE ETAL | PO BOX 2035 | MILWAUKEE WI | 532019919 |
| 3560302000 | 1819 E KENILWORTH PL | 532020000 | N | SYDNEY C CHARNEY ESTATE ETAL | PO BOX 2980 | MILWAUKEE WI | 53201 |
| 3560310100 | 2169 N FARWELL AV | 532020000 | O | GEORGE KASHOU COMPANY | 2169 N FARWELL | MILWAUKEE WI | 53202 |
| 3560311000 | 2159 N FARWELL AV | 532020000 | O | MAGNETIC NORTH ES LLC | 2163 N FARWELL AV | MILWAUKEE WI | 53202 |
| 3560312111 | 2121 N FARWELL AV | 532020000 | N | PIERCE MILWAUKEE LLC | 2202 N BARTLETT AVE | MILWAUKEE WI | 53202 |
| 3560609100 | 2200 N PROSPECT AV | 532020000 | N | KHALID AHMED | 13545 N NORTHWOOD LN UNIT 5W | MEQUON WI | 530972414 |
| 3560611100 | 2214 N PROSPECT AV | 532020000 | N | PROSPECT II LLC | 311 E CHICAGO AV, STE #210 | MILWAUKEE WI | 53202 |
| 3561472000 | 2009 E KENILWORTH PL | 532020000 | N | TRUST OF MORRIS KATZ | 9281 N BROADMOOR RD | MILWAUKEE WI | 53217 |
| 3561495000 | 2185 N PROSPECT AV | 532020000 | N | BOARD OF REGENTS OF UW | PO BOX 413 | MILWAUKEE WI | 53201 |
| 3561496000 | 2135 N PROSPECT AV | 532020000 | O | KENILWORTH CONDOMINIUM LLC | 2135 N PROSPECT AVE | MILWAUKEE WI | 53202 |
| 3561521000 | 1835 E KENILWORTH PL | 532020000 | N | 1857 E KENILWORTH LLC | 757 N WATER ST STE 200 | MILWAUKEE WI | 532023508 |
| 3190769000 | 2327 N MURRAY AV | 532110000 | O | MATTHEW J LINN | 2327 N MURRAY AVE | MILWAUKEE WI | 53202 |
| 3201524000 | 2303 N OAKLAND AV | 532110000 | N | JAMES & SUE WIECHMANN | 2769 N SUMMIT AVE | MILWAUKEE WI | 53211 |
| 3190721000 | 2018 E THOMAS AV | 532110000 | O | JAMES D STRATTE | 2018 E THOMAS AVE | MILWAUKEE WI | 532114405 |
| 3550140000 | 2215 N CAMBRIDGE AV | 532020000 | N | MLRB LLC | 1431 E NORTH AVE | MILWAUKEE WI | 53202 |
| 3550201000 | 1523 E NORTH AV | 532020000 | O | TIMOTHY S RASZKIEWICZ | 1523 E NORTH AV | MILWAUKEE WI | 53202 |

| TAXKEY | ADDRESS | GEO_ZIP_CO | OWN_OCPD | OWNER_NAME | OWNER_MAIL | OWNER_CITY | OWNER_ZIP |
|------------|--------------------|------------|----------|----------------------------|-----------------------------|--------------|-----------|
| 3550204000 | 1533 E NORTH AV | 532020000 | O | ALEX E SEYMOUR | 1533 E NORTH AV | MILWAUKEE WI | 53202 |
| 3560229000 | 2140 N PROSPECT AV | 532020000 | O | LDC-2150 PROSPECT LLC | 2140 N PROSPECT AVE | MILWAUKEE WI | 53202 |
| 3560296120 | 2219 N FARWELL AV | 532020000 | N | GOLDBERG RUEHL PROPERTIES | 5205 N IRONWOOD RD, STE 201 | GLENDALE WI | 53217 |
| 3190699000 | 2427 N MURRAY AV | 532110000 | N | 2429 N MURRAY LLC | 3610 N OAKLAND AVE | SHOREWOOD WI | 53211 |
| 3201534100 | 2333 N NEWHALL ST | 532110000 | N | WISCONSIN PAPERBOARD CORP | 1514 E THOMAS AVE | MILWAUKEE WI | 53211 |
| 3561471000 | 2170 N PROSPECT AV | 532020000 | N | DOWN DOG! LLC | 2999 N HUMBOLDT BLVD | MILWAUKEE WI | 53212 |
| 3190704000 | 1922 E THOMAS AV | 532110000 | O | PAUL HANNA INC | 1922 E THOMAS AV | MILWAUKEE WI | 53211 |
| 3190722000 | 2400 N MURRAY AV | 532110000 | N | ROBERT F ZELLMER | 2945 N OAKLAND AVE | MILWAUKEE WI | 532114406 |
| 3190760110 | 2326 N FARWELL AV | 532110000 | N | FARWELL GROUP LLP | 2017 E NORTH AVE | MILWAUKEE WI | 53202 |
| 3560287000 | 2034 E IVANHOE PL | 532020000 | N | EDUCATORS CR UNION-IVANHOE | 1400 N NEWMAN RD | RACINE WI | 53406 |
| 3560281100 | 2214 N FARWELL AV | 532020000 | O | GEORGE PANAGIOTOPOLOUS | 2214 N FARWELL AV | MILWAUKEE WI | 53202 |
| 3201535100 | 1530 E NORTH AV | 532020000 | N | ROBERT C SCHMIDT, JR | 1122 N EDISON ST | MILWAUKEE WI | 53202 |

East Side Business Improvement District #20

ARCHITECTURAL REVIEW BOARD DESIGN GUIDELINES

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ACKNOWLEDGEMENTS

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Form Based Code References:

The influential work in urbanism of Allan Jacobs in his book Great Streets and of Moule & Polyzoides for the Santa Anna Renaissance Specific Plan provided much of the conceptual basis and organizational structure in preparation of this document.

AUTHORITY & DESIGN REVIEW PROCESS

Legislative Standing: These Design Guidelines were prepared at the request of Business Improvement District #20, (BID 20), for adoption by the Common Council of the City of Milwaukee in accordance with Section 200-61 of the Milwaukee Code of Ordinances ("MCO"), and in connection with the establishment of an Architectural Review Board ("ARB") for the District as described herein. These Guidelines further define urban and architectural design quality objectives and supporting criteria that maximize real estate investment and enhance the District as a destination within the metro area. They were approved by the Milwaukee Common Council on xx/xx/xxxx pursuant to File No. _____. These Guidelines are supplemental and subordinate to the City's Zoning Code. In the event of conflict between these Guidelines and provisions of the City Zoning Code, the provisions of the Zoning Code should control.

These Guidelines are intended to provide information and suggested alternatives for construction and applicable building modifications in the District to provide meaningful guidance to the ARB in its review and decision-making process. These Guidelines do not relieve applicants from compliance with all State and local building codes or other regulations.

In addition to new construction, all exterior rehabilitation, reconstruction, or material exterior modifications to existing buildings within the District boundaries requiring a building permit will be subject to review by the BID 20 Architectural Review Board. Buildings that are exclusively 1-3 family dwellings are exempted unless the proposed modifications would result in conversion of the property from 1-3 family dwelling to multifamily (4 or more dwelling units) or commercial business activity, and would include exterior modifications subject to ARB review.

Architectural Review Board, (ARB): The seven member Architectural Review Board consists of members appointed pursuant to MCO § 200-61-3. The ARB uses these Design Guidelines to guide its decision-making process when reviewing applications pursuant to MCO § 200-61. Once reviewed and approved the ARB will issue a Certificate of Appropriateness, (COA), for the project to the Owner. The COA is one requirement for the project to receive a Building Permit issued by the City. The ARB has established regularly scheduled meetings. Contact BID 20 for more information on scheduled meetings and application submittal requirements. Applicants should anticipate the possibility that more than one meeting may be necessary to gain ARB approval. Submitting applications early in the design process for conceptual design approval will help to ensure that the project is on track to advance smoothly regardless of size of project, (a new building, a facade remodeling or a sign, etc.).

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STREET EDGE

HOW TO USE THESE DESIGN GUIDELINES

General: The Design Guidelines in this document are organized in five sections from comprehensive urban environment objectives to desirable outcomes concerning architectural and landscape details. Development proposals for new buildings will need to work through portions of each section to gain a full understanding of what's envisioned for an appropriate fit into this urban neighborhood context as the building design proceeds through the approval process. For smaller projects involving changes to facades, transition spaces or design elements to be seen from the public rights of way, attention and response to specific guidelines within chapter three or five may be all that is relevant. Review the sections below and then the Table of Contents to start your approval process.

Format: Each Section combines a number of key guidelines, categories and/or building elements. A principal is stated to describe the issue, followed by an illustration or photo to demonstrate the principal. Guidelines follow that establish criteria to be addressed by proposed design solutions. These are often followed by more specific quantitative guidelines often diagrammed and/or alternative design strategies again supported by photo examples demonstrating an applied strategy.

Section I: Urban Design Guidelines

This section describes the characteristics of high quality urban streets. Each new building development initiative is expected to contribute to this overarching urban intention by appropriate design response to each of the urban design guidelines in this section.

Section II: Building Type Guidelines

Seven successful urban neighborhood building types are defined in Section II. Based on the street where the land parcel is located developers and their architect should select from the table on page 11 which building type is suited to their development program. Once selected the guidelines listed under that Building Type will apply. Within the selected Building Type specific guidelines are defined and cross references to other applicable guidelines in other Sections are also provided.

Section III: Architectural Guidelines

This section supplements the quantitative guidelines of Section II. In this section, building attributes are illustrated with photographs that characterize appropriate design strategies noted in the text. In many cases this section suggests several suitable alternative design approaches. Photos are not intended to be prescriptive solutions, but to provide successful examples of visually interesting projects. Designers are asked to prepare their design so a specific response to each design topic in Section III is addressed by their project proposal. Please note this section could be the point of entry to the process for a remodeling project intended to address an existing facade, though Section I will also apply.

Section IV: Frontage Type Guidelines

The selected building type will be cross referenced to suitable frontage type options as indicated by the table on page 43. The developer and the architect will choose the frontage type(s) appropriate to the building type and proceed to prepare the design in accord with the guidelines and illustrations defining the frontage type(s). Again, cross references to applicable guidelines in other Sections are also provided. This section may be the starting point for a renovation project involving only a ground floor street facade.

Section V: Street Edge Guidelines

Street Edge Guidelines provide qualitative criteria to supplement the quantitative guidelines of Frontages Types. Individual building component alternatives are discussed with supporting photo examples intended to help illustrate the intent. Small projects, a new sign for instance, might only require an appropriate response to the signage guidelines of this section and its corresponding quantitative guidelines under its Frontage Type in Section IV.

INTRODUCTION

Since 1985, the East North Avenue Association, (merchants group), has worked to promote commercial activities along the East North Avenue commercial corridor in the area generally bounded by the Milwaukee River on the west, Greenwich Avenue on the north, N. Prospect Avenue on the east and the Oak Leaf Bike Trail on the lower East Side of Milwaukee. Recognizing the significant competition from surrounding shopping centers and other City shopping / entertainment destinations, this organization of savvy building owners, businesses and institutions took a major step forward in 1998 by forming Business Improvement District #20, (BID #20). The BID structure provides the fiscal support to increase the organization's presence and impact on the lower East Side. This has allowed the organization to hire professional staff, launch District promotions, retain and recruit new businesses and, with the help of City financing, to create streetscape improvements including unique and attractive street furnishings, plantings, graphics, and public art. This has helped to cultivate the District's image and atmosphere as distinctly Milwaukee's Great East Side.

The BID's efforts have paid off by raising the profile of the area. This has helped to attract major reinvestment during the recent real estate development cycle. A number of these projects have raised the bar for design quality in the neighborhood. Encouraged by these successes but with much more now at stake, BID #20 has begun to look for additional tools to pursue their mission: to strengthen the District as a shopping / entertainment experience and to maintain the current economic growth and develop-

ment momentum.

As a follow up to the City's Northeast Side Comprehensive Area Plan process that identified a high number of properties in BID#20 as susceptible to change or as likely candidates for reinvestment or redevelopment, BID #20 Board members began to consider Design Guidelines as a way to set quality expectations for physical change in the BID and a Design Review Board as a means to manage growth and reinvestment. In the fall of 2008, the BID contacted James Piwoni, AIA, author of the Third Ward Neighborhood Design Guidelines and member of the Architectural Review Board for the Third Ward. In May of 2009, Mr. Piwoni was engaged to lead a process and draft a document to be submitted for review and adoption by BID #20 and the City of Milwaukee. Over the summer of 2009, six workshops were held with BID property owners and City planning staff to discuss design issues large and small, urban design, architectural design and street level design with the pedestrian in mind.

While the diversity and in some cases extraordinary quality of the architecture in the District cautions against stifling creativity, the most memorable and valued places in the neighborhood also exemplify successful time tested urban design principles. Most fundamental is the forming of clearly pedestrian-activated street spaces with urban building types selected from the neighborhood. These urban concepts, rather than architectural stylistic preferences, form the structure of this document.





Premise: “Certain physical qualities are required for a great street. All are required, not one or two. They are few in number and appear to be simple Most are directly related to social and economic criteria having to do with building good cities: accessibility, bringing people together, publicness, livability, safety, comfort, participation, and responsibility.” Allan Jacobs, *Great Streets*

I-URBAN DESIGN PRINCIPLES & GUIDELINES

I. Rationale:

Streets, both residential and commercial, formed by building types provide the physical context for urban living. At their best, streets are significantly social places, neighborhood outdoor rooms for pedestrians, and a basic indicator of quality of life. Secondarily, they are conduits to move traffic. With an understanding of designable characteristics that collectively contribute to create remarkable streets as places, redevelopment in BID #20 can incrementally improve the social and commercial significance of the BID for visitors, patrons and neighborhood residents alike.

What are these characteristics that create an exciting District that people want to return to over and over again? Why are some sections of Farwell, Prospect and North Avenues enjoyable to walk along and other sections uncomfortable? What guidelines will help over time to expand the district's image as an engaging destination? Interestingly, BID #20 has put in place a limited but impressive collection of streetscape elements, objects artfully crafted in the Art Nouveau style. Art Nouveau is most prominently attributed to Paris, France where street making (think Parisian Boulevards) was raised to an art form and implemented by adherence to some of the earliest recorded design guidelines. Over a century later, these boulevards remain much loved and emblematic of Paris to residents and visitors alike. The intention is not to use Paris Boulevards as a precedent for remaking North Avenue but to learn what qualities / characteristics can be borrowed and emulated successfully to add interest, identity and livability to all the streets in the district.

II. Purpose:

Consistent with District and City goals, this chapter presents Key Principles and Urban Design Guidelines tailored to enhance BID #20 over time, reinforcing it as a distinct, remarkable place and a regional and neighborhood entertainment and retail destination. The guidelines address private development activities and decisions. Public sector investments / improvements are outside the scope of this document with the exception of private/public partnerships (e.g., UWM's Kenilworth building project).

III. Applicability:

In accordance with Section MCO § 200-61-5, these Guidelines will apply to new construction, exterior rehabilitation or reconstruction, and material exterior modifications of existing buildings, structures and sites. Buildings that are exclusively 1-3 family dwellings are exempted unless the proposed modifications would result in conversion of the property from 1-3 family dwelling to multifamily (4 or more dwelling units) or commercial business activity, and would include exterior modifications subject to ARB review. Public buildings, which because of their unique disposition and application are not required to comply with these requirements. Buildings to be constructed on a parcel identified on the federal, state or local list of significant historic resources may be subject to additional local, state or federal laws and regulations pertaining to the modification of such buildings.

IV. Principles and Guidelines

Each of the following Guidelines are described by an Urban Design Principle and then a Guideline is presented that can help assure that the condition and principle are considered and appropriately addressed in redevelopment and / or renovation proposals. Guidelines in Sections II - V further support these urban principles and guidelines.

I-A THE STREET AS A ROOM

Principle: To have a clear identity, streets need vertical edges at the property line so the space of the street has walls, usually building facades of a height and character that define the street as a public space, an outdoor room.



Guideline: Applicants are encouraged to define the street space by building at the street property line to an approximate height of 50% of the width of the street right-of-way, or on residential streets with continuous street trees to each side of the site, 40% of the width of the street right-of-way.



I-B VISUAL INTEREST

Principle: Like indoor spaces, outdoor public street spaces can be stark/dull vs. visually rich in detail. Enriched architectural surfaces provide the visual interest needed to form urban spaces that are compelling to pedestrians.



Guideline: There are many architectural strategies to achieve visual interest evident in historical and non-historical styles. Architects are encouraged to strive for a contemporary expression in new buildings. Achieving visual interest is a challenge that should be met in all new buildings and façade renovations.



I-C A LIVING STREET

Principle: The street wall should attempt to profusely and vigorously connect the public space of the street to the adjacent private space in a way that conveys a gracious visual and welcoming physical access from both sides to the other.



Guideline: To a high degree open the street facades with large openings particularly at the ground level and with many doors allowing the life of the building from all levels to spill out onto the street.



I-D NOTICEABLE RELATIONSHIP

Principle: No site is independent from its context. The frame of reference established by adjacent facades provides an often desirable opportunity for visual relationship, for dialogue between existing and new.



Guideline: Compose new elevations that recognize the horizontal regulating lines in adjacent significant facades and create visual relationships and transitions relating the new to the old in noticeable ways.



I-E MANY BUILDINGS & SHOPS

Principle: Original land plats in most cities provided small parcels for many buildings along commercial blocks yielding many individual shop fronts with a fine grain character giving visual diversity to the street. This small parcel pattern offering great diversity is evident on Milwaukee's East Side commercial streets.



Guideline: New buildings should attempt to express historic property lines and each structural column line with facade piers that could accommodate demising walls for smaller individual business tenants along the street edge.



I-F URBAN SUSTAINABILITY

Principle: Cities are energy efficient development patterns representing massive "in place" embodied energy. Each building in turn should address site micro climate forces with building features to optimize resource conservation, pedestrian comfort and use patterns promoting the BID's long term economic stability.



Guideline: Building configurations and sustainability features should seek to reduce users' carbon footprints, soften harsh climatic patterns and improve pedestrian comfort and economic activity in all seasons.



II-BUILDING TYPE GUIDELINES

I. Purpose:

This Chapter identifies the Building Types encouraged within Business Improvement District #20 and provides design guidelines for each type. This is to ensure that proposed development is consistent with the City's goals for building form and urban character within the BID area. The types are loosely organized by land use intensity from potentially most intense (Commercial Block) to least intense (Rowhouses) types.

II. Applicability:

Each proposed new building or building type conversion should be designed in compliance with the guidelines of this Chapter for the applicable building type. Where public or institutional building uses are combined with other uses within larger buildings they should be subject to these guidelines as a mixed use building if overnight dwelling spaces are included or otherwise as a commercial block building type.

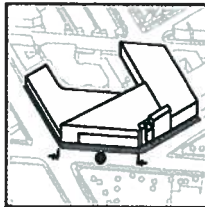
III. Building Types by Street:

Each proposed building should be designed as one of the types indicated in the following table for the applicable street within the District. Please note upper story parking levels should be covered by other uses, liner buildings or the equivalent, that screen them from view from public streets. Recommended parking configurations are discussed under each building type definition.

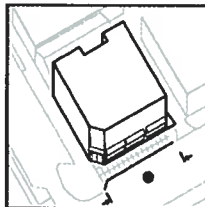
Note: Letter designation reference table to photo examples and graphic depictions.

Table II

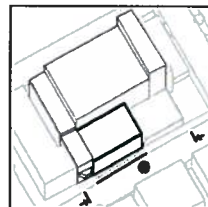
| Building Type | Street within the District | | | | | | | | | | |
|----------------------|----------------------------|----------|---------|---------|--------|--------|--------|-----------|----------|------------|---------|
| | North | Prospect | Farwell | Oakland | Murray | Cramer | Thomas | Greenwich | Maryland | Kenilworth | Ivanhoe |
| A. Commercial Block | Yes | Yes | Yes | Yes | No | No | No | No | Yes | Yes | Yes |
| B. Mixed Use | Yes | Yes | Yes | Yes | Yes | No | No | No | Yes | Yes | Yes |
| C. Liner Building | Yes | Yes | Yes | Yes | Yes | Yes | Yes | Yes | Yes | Yes | Yes |
| D. Stacked Dwelling | No | Yes | Yes | Yes | Yes | Yes | Yes | Yes | Yes | No | Yes |
| E. Courtyard Housing | Yes* | Yes** | Yes** | Yes** | No | Yes** | Yes* | No | No | No | No |
| F. Rowhouse | No | No | Yes | Yes | Yes | Yes | Yes | Yes | No | No | No |
| G. Raised Rowhouses | No | No | Yes | Yes | Yes | Yes | Yes | Yes | No | No | No |



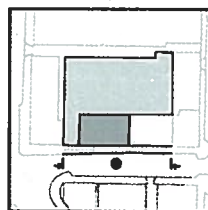
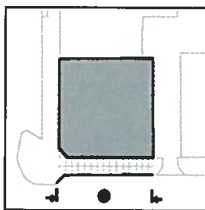
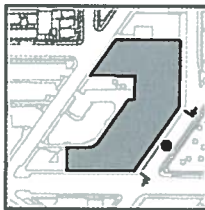
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B



C



A



B



C



D



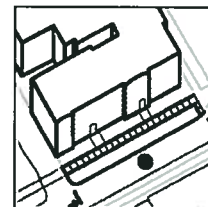
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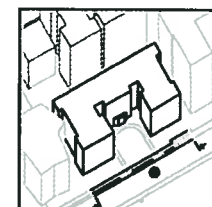
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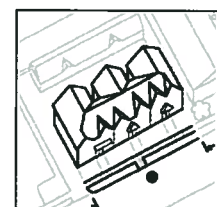
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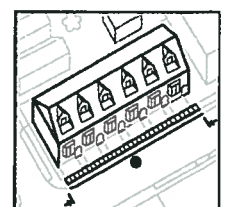
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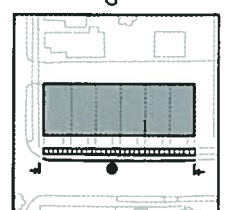
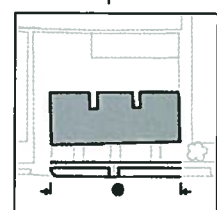
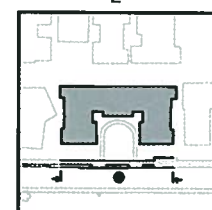
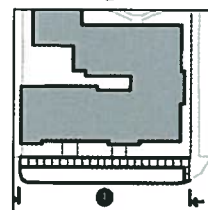
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F



G



II-A COMMERCIAL BLOCK (CB)

A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail/office/service uses. Lower level floors may be any of the aforementioned uses.



BUILDING TYPES

1. Access

- The main entrance to each ground floor storefront should be directly from the street.
- Entrance to the upper portions of the building should be through a street level lobby accessible from the street or through a court or side yard, see Section IV-A&E.
- Where an alley is present, parking should be accessed through the alley.
- For corner lots without alley access, parking should be from the side street through the building, see Section IV-F.
- Where an alley is not present, parking should be accessed from the street through the building, see Section IV-F.

2. Frontages

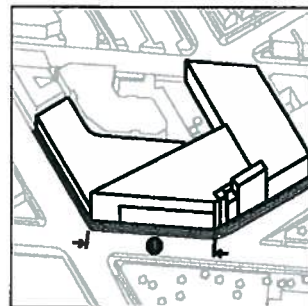
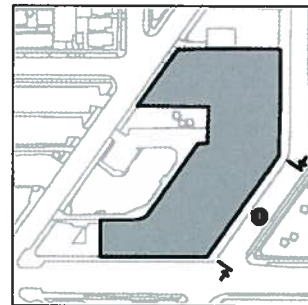
- Buildings should be built along the street edge at the property line(s) except as provided for in Section IV.
- Entrance doors, lobbies and other public rooms should be oriented fronting toward the street, see Section V-A.
- Service rooms should be oriented backing to corridors.
- For applicable frontage and encroachment guidelines, see Section IV Standards.

3. Parking

- Parking should be accommodated in an underground garage, surface parking at the rear of the lot, parking tucked under from the back, or a combination of any of the above.
- Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. See Section IV-F for other guide lines.
- For surface parking porous paving should be considered to reduce stormwater runoff.

4. Service Access

- Services (including all utility access, above ground equipment, trash) should be located on alleys.
- Where alleys don't exist, utility access, above ground equipment and trash should be located in recessed alcoves along the street shielded by architecturally compatible screening elements, see Section III-G.



5. Open Space

- All yards should be landscaped, see Section III-G.
- The primary shared open space should be the side yard / court yard and can be an area equal to 15% of the lot. Courtyards can be located on the ground or on a podium. Side yards can be formed to provide outdoor patios connected to ground floor commercial uses.
- Balconies and roof open space are encouraged and subject to all applicable guidelines, see Sections III-E&F.
- Balconies are allowed in any side yard or courtyard in compliance with the guidelines below.
- Courtyard dimension should be 40 feet min. and 60 feet max. not to exceed 30% of frontage. Courtyard proportions should not be less than 1:1 between its width and height for at least 2/3 of the court's perimeter.
- In 40 foot wide courtyards at allowed frontages, architectural projections are permitted on two sides of the courtyard. They are permitted on three sides of 50 foot wide courtyards.

6. Landscaping

- In the front, there should be no landscape except for the streetscape.
- At least one large tree planted directly in the ground should be provided in the courtyard.
- Side yard trees should be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet. Trees can be placed in groups or clusters in order to achieve a particular design or massing effect.
- One, 15 gallon/24" box size tree of small scale (12-15' height at maturity) or similar tall shrubs should be used for planters in courtyards over garages. Layering of all plant materials is recommended.
- Surface Parking lots should provide one large tree planted directly in the ground for every 8 parking stalls. Trees should

be planted in a dispersed pattern to provide shading of the paving.

- Six, five-gallon size shrubs, ten, one-gallon size herbaceous perennials/shrubs and grass or ground cover is recommended for every required tree.
- All plant material should be maintained per City Ordinances.

7. Building Size and Massing, (also see Section I-A)

- Height/floor plan ratios for commercial blocks to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | Ratio of each Story to 1st floor, (also see open space guidelines) | | | | |
|------------------|--|---------|---------|--------|--------|
| | 1 | 2 | 3 | 4 | 5 |
| A | 100% | 90-100% | 90-100% | - | - |
| B | 100% | 90-100% | 90-100% | 90-95% | - |
| C | 100% | 90-100% | 90-100% | 90-95% | 70-90% |

- Buildings may be composed of one dominant volume.
- Multiple volumes are allowed to be as repetitive or unique as deemed by individual designs.
- Street corners should be celebrated as a unique architectural feature with embellishment, see Sections III-A and V-A.
- Multiple volumes should be distinguished by correspondingly unique fenestration patterns, see Sections III-A.

8. Composition

- See Architectural Standards in Sections III-A thru F.

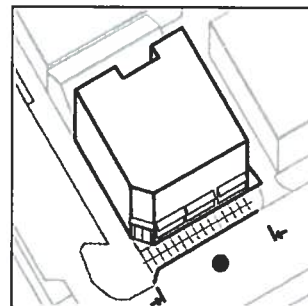
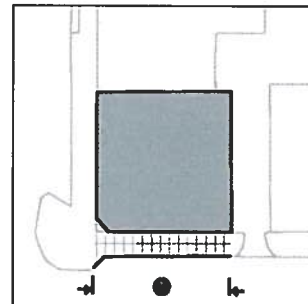
II-B MIXED USE (MU)

A building with ground floor occupancy by retail, service, and/or office uses, with upper floors configured for residences with double-loaded or single-loaded corridors and stacked dwellings or configured as separate volumes with separate lobby/entry and vertical circulation cores serving upper floor stacked units.



BUILDING TYPES

1. Access
 - (a) The main entrance to each ground floor storefront should be directly from the street.
 - (b) Entrance to the residential portions of the building should be through a street level lobby or through a court or side yard, see Section V-A & E.
 - (c) Interior circulation to each dwelling on the upper floors should be via a corridor served by elevator and stairs.
 - (d) Where an alley is present, parking should be accessed through the alley.
 - (e) For corner lots without alley access, parking should be from the side street through the building, see Section IV-F.
 - (f) Where an alley is not present, parking should be accessed from the street through the building, see Section IV-F.
2. Frontages
 - (a) Buildings should be built along the street edge at the property line(s) except as provided for in Section IV.
 - (b) Entrance doors, public rooms, such as living rooms and dining rooms should be oriented, fronting toward the street.
 - (c) Service rooms should be oriented backing to corridors.
 - (d) For applicable frontage and encroachment guidelines see Section IV Guidelines.
3. Parking
 - (a) Required parking should be accommodated in an underground garage, surface parking at the rear of the lot, parking tucked under from the back, or a combination of any of the above.
 - (b) Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. See Section IV-F for other standards.
4. Service Access
 - (a) Services (including all utility access, above ground equipment, trash) should be located on alleys.
 - (b) Where alleys don't exist, utility access, above ground equipment and trash should be located in recessed alcoves along the street shielded by architecturally compatible screening elements, see Section III-G.
5. Open Space
 - (a) The primary shared open space is the rear yard often designed as a courtyard



and should be an area equal to 15% minimum of the lot. Rear yards can be located on the ground or on a podium. Side yards may also be formed to provide outdoor patios connected to the ground floor commercial uses.

- (b) Balconies and roof open space are encouraged, subject to all applicable guidelines, see Sections III-E&F.
 - (c) Balconies may be allowed in any facade (front, side, rear) in compliance with the guidelines below.
 - (d) Courtyard dimension should be 40 feet min. and 60 feet max. not to exceed 30% of frontage. Courtyard proportions should not be less than 1:1 between its width and height for at least 2/3 of the court's perimeter. Horizontal shifts in upper floors adjacent to a court should not exceed 1/2 the height of each upper floor.
 - (e) In 40 foot wide courtyards, allowed frontages and architectural projections are encouraged on two sides of the courtyard. They are encouraged on all sides of 60 foot wide courtyards.
 - (f) Private patios are encouraged in side and rear yards, and may be allowed in front yards if screened or terraced.
6. Landscaping
 - (a) All yards should be landscaped, see Section III-G.
 - (b) Landscape should not obscure shop fronts of ground floor space or adjacent side yards at the street edge.
 - (c) In the front yard, there may be no landscape except for the streetscape.
 - (d) At least one, 36-inch canopy tree planted directly in the ground should be provided in the rear yard.
 - (e) At least one, 36-inch box canopy tree should be planted directly in the ground in each courtyard for shade, privacy and scale.
 - (f) Side yard trees should be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet. Trees may be placed in groups in order to achieve a particular design.
 - (g) One, 15 gallon/24" box size tree of small scale (12-15' height at maturity) or similar tall shrubs should be used for planters in

courtyards over garages. Layering of all plant materials is recommended.

- (h) Surface Parking lots should provide one large tree planted directly in the ground for every 8 parking stalls. Trees should be planted in a dispersed pattern to provide shading of the paving.
 - (i) Six, five-gallon size shrubs, ten, one-gallon size herbaceous perennials/shrubs and grass or ground cover is recommended for every required tree.
 - (j) All plant material should be maintained per City Ordinances.
7. Building Size and Massing, (also see Section I-A)
 - (a) Height/floor plan ratios for mixed use buildings to assure fit to neighborhood scale and allow a greater amount of light to penetrate to street level, are recommended as follows:

| Bldg Size Range | Ratio of each Story to 1st floor, (also see open space guidelines). | | | | |
|-----------------|---|---------|--------|--------|--------|
| | 1 | 2 | 3 | 4 | 5 |
| A | 100% | 80-90% | 80-90% | - | - |
| B | 100% | 80-90% | 80-90% | 60-80% | - |
| C | 100% | 90-100% | 80-90% | 70-90% | 60-80% |

- (b) Each dwelling should have at least one side exposed to the outdoors with direct access to at least a yard, patio, or balcony.
 - (c) Dwellings are recommended to be as repetitive or unique, as deemed by individual designs.
 - (d) Buildings are recommended to be composed of one dominant volume.
 - (e) Multiple volumes are recommended to be repetitive or unique as deemed by individual designs.
 - (f) Street corners should be articulated, see Sections III-A and V-A.
8. Composition
 - (a) See Architectural Standards in Sections III-A thru F.

II-C LINER BUILDING (LB)

A building that shields from public streets the utilitarian facades of a parking structure, a big box retailer or a theater house, designed for occupancy by stacked residences or rowhouses or by retail, service, and/or office uses on the ground floor, with upper floors also configured for such uses or residences.



1. Access

- The main entrance to each ground floor storefront and the theater or big box retail should be directly from the street.
- Entrance to the upper levels of the building should be through a street level lobby accessible from the street or through a court or side yard, see Section V-A & E.
- Where an alley is present, parking should be accessed through the alley.
- For corner lots without alley access, parking should be from the side street through the building, see Section IV-F.
- Where an alley is not present, parking should be accessed from the street through the building, see Section IV-F.

2. Frontages

- Buildings should be built along the street edge at the property line(s) except as provided for in Section IV.
- Entrance doors should be oriented fronting toward the street.
- For applicable frontage and encroachment guidelines see Section IV guidelines.

3. Parking

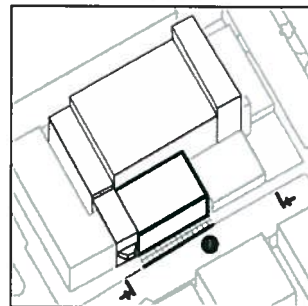
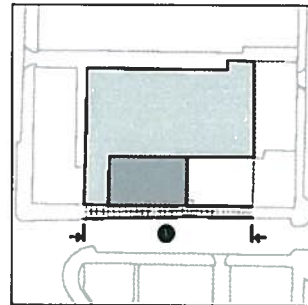
- Parking should be accommodated in an underground garage, surface parking at the rear of the lot, parking tucked under from the back, an above grade multi-level parking structure screened from view by the liner uses noted or a combination of any of the above.
- Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. See Section IV-F for other Standards.

4. Service Access

- Services (including all utility access, above ground equipment and trash) should be located on alleys.
- Where alleys don't exist, utility access, above ground equipment and trash should be located in recessed alcoves along the street shielded by architecturally compatible screening elements, see Section III-G.

5. Open Space

- The primary shared open space should be the roof or side yard designed as a courtyard. Side yards can also be formed to provide outdoor patios connected to ground floor commercial uses.



BUILDING TYPES

- Courtyard dimension should be 20 feet min. and 40 feet max. not to exceed 30% of frontage. Courtyard proportions should not be less than 1:2 between its width and height of the court's perimeter. Horizontal shifts in upper floors adjacent to a court should not exceed 1/2 the height of each upper floor.
- Private patios are allowed in the sideyard and on rooftops.
- Balconies and green roof open space are encouraged, subject to all applicable guidelines, see Section III-E&F.

6. Landscaping

- In the front yard, there should be no landscape except for the streetscape. Where a parkway exists at the curb plant trees not to exceed 1.5x the height of the building at maturity. Trees should be planted at the rate of one, 36-inch box tree per 25 lineal feet.
- Side yard trees should be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet. Trees may be placed in groups in order to achieve a particular design.

7. Building Size and Massing, (also see Section I-A).

- Height/floor plan ratios for liner buildings to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | Ratio of each Story to 1st floor, (also see open space guidelines). | | | | | |
|------------------|---|---------|---------|--------|--------|---|
| | 1 | 2 | 3 | 4 | 5 | 6 |
| A 100% | 80-100% | 75-90% | - | - | - | - |
| B 100% | 80-100% | 80-100% | 65-90% | - | - | - |
| C 100% | 90-100% | 80-100% | 75-90% | 65-80% | - | - |
| D 100% | 90-100% | 90-100% | 85-100% | 75-90% | 55-80% | - |

- Each dwelling should have at least one side exposed to the outdoors with direct access to at least a yard, patio, terrace or balcony.
- Dwellings are encouraged to be as repetitive or unique as

deemed by individual designs.

- Buildings are encouraged to be composed of one dominant volume as a datum with additional unique or repetitive volumes.
- Multiple masses should be distinguished by correspondingly unique fenestration patterns.
- Street corners should be articulated, see Sections III-A and V-A.

8. Composition

- See Architectural Standards in Sections III-A thru F.

II-D Stacked Dwellings (SD)

A collection of single floor and/or multi-floor dwellings of similar configuration aligned vertically on multiple floor levels.



BUILDING TYPES

1. Access

- Entrance to the building should be from the street through a street level lobby to upper level units via elevator, stairs and corridor, see Section V-A & E.
- The main entrance to each ground floor dwelling should be directly from the street, see Section IV-E.
- Where an alley is present, parking should be accessed through the alley.
- For corner lots without alley access, parking should be accessed via the side street.
- Where an alley is not present, parking should be accessed from the street through the building, see Section IV-F.

2. Frontages

- Buildings should be built along the street edge at the property line(s) except as provided for in Section IV.
- Living rooms, dining rooms and bedrooms should be oriented fronting toward the street or toward yards.
- For applicable frontage and encroachment guidelines see Section IV.
- Stoops may be up to 3 feet in height, above adjacent grade, may be placed above subterranean parking, and recommended to be landscaped and scaled to the street and building.

3. Parking

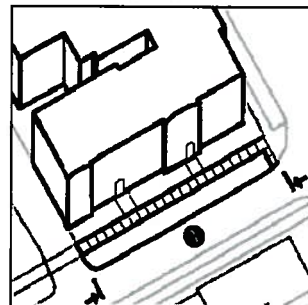
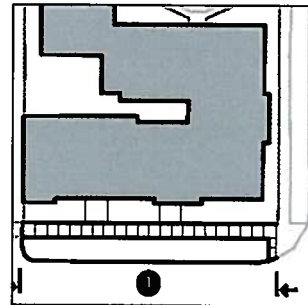
- Parking should be accommodated in an underground garage, surface parking at the rear of the lot, parking tucked under from the back, or a combination of any of the above.
- Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. See Section IV-F for other Guidelines.

4. Service Access

- Services (including all utility access, above ground equipment and trash) should be located on alleys.
- Where alleys don't exist, utility access, above ground equipment and trash should be located in recessed alcoves along the street shielded by architecturally compatible screening elements, see Section III-G.

5. Open Space

- The main shared open space should be the rear yard designed as a courtyard and should be an area equal to 15% minimum of the lot. Yards are located on the



ground or on a terrace, elevated plane or podium. Side yards can be formed as common use gardens.

- Minimum yard dimension is encouraged to be 40 feet. Yard proportions should not be less than 1:1 between its width and building height. Horizontal shifts in upper floors adjacent to a court should not exceed 1/2 the height of each upper floor.
- In 40 foot wide yards, architectural projections may be allowed on two sides. They may be permitted on all sides in 60 foot wide courtyards configurations.
- Semi-private patios are encourage in any yard (front, side, rear).
- Balconies are encouraged in any yard (front, side, rear) in compliance with applicable city codes and of the guidelines in Sections III-F.

6. Landscaping

- All yards should be landscaped, see Section III-G.
- Landscape should not obscure shop fronts of ground floor space on adjacent parcels.
- In the front yard, the landscape may be the BID's streetscape.
- At least one, 36-inch canopy tree planted directly in the ground should be provided in the rear yard.
- At least one, 36-inch box canopy tree should be planted directly in the ground in each courtyard for shade, privacy and scale.
- Side yard trees should be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet. Trees can be placed in groups in order to achieve a particular design.
- One, 15 gallon/24" box size tree of small scale (12-15' height at maturity) or similar tall shrubs should be used for planters in courtyards over garages. Layering of all plant materials is recommended.
- Surface Parking lots should provide one large tree planted directly in the ground for every 8 parking stalls. Trees should be planted in a dispersed pattern to provide shading of the paving.
- Six, five-gallon size shrubs, ten, one-gallon size herbaceous

perennials/shrubs and grass or ground cover is recommended for every required tree.

- All plant material should be maintained per City Ordinances.
7. Building Size and Massing, (also see Section I-A)
- Height/floor plan ratios for stacked dwellings to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | 1 | 2 | 3 | 4 | 5 | 6 |
|------------------|------|---------|--------|--------|--------|--------|
| A | 100% | 85-100% | 85-90% | - | - | - |
| B | 100% | 85-100% | 85-90% | 75-90% | - | - |
| C | 100% | 90-100% | 85-90% | 80-90% | 55-80% | - |
| D | 100% | 90-100% | 85-90% | 80-90% | 70-90% | 55-80% |

- Each dwelling should have at least one side exposed to the outdoors with direct access to at least a yard, patio, terrace or balcony.
- Dwellings may be as repetitive or unique as deemed by individual designs.
- 4 and 5-story massing should be minimized inside courtyards and be apparent on street frontages.
- Building may be composed of one dominant volume flanked by secondary ones.
- Street corners should be articulated by architectural features such as towers, 45 degree entrances, cutaway spaces anchored by massive columns, diagonal bays, rounds or other dramatic elements see Sections III-A and V-A.

8. Composition

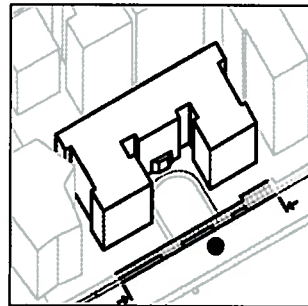
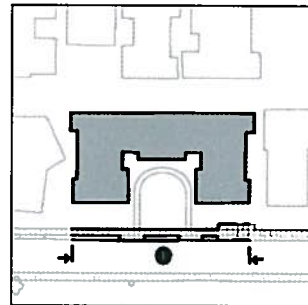
- See Architectural Standards in Sections III-A thru F.

II-E COURTYARD HOUSING (CH)

A structure type consisting of dwellings that can be arranged in multiple configurations, arrayed next to each other on multiple floor levels forming one or more outdoor courts that should be partially open to the street.



1. Access
 - (a) The main entry to each ground floor dwelling should be directly off a common courtyard or from the street, see Section IV-E.
 - (b) Access to upper level dwellings should be through multiple interior vertical circulation cores, serving multiple dwellings at each level.
 - (c) Where an alley is present, parking and service should be accessed through the alley.
2. Frontages
 - (a) Buildings should be built along the street edge at the property line(s) except as provided for in Section IV.
 - (b) Building entrance doors, living space (e.g., living rooms and dining rooms) should be oriented toward the courtyard(s) and the fronting street.
 - (c) Service rooms should be oriented backing to corridors, side yards and rear yards.
 - (d) Features such as arcades, porches, towers, loggias, entry stairs and stoops may be allowed but should not encroach into the required minimum width of a courtyard.
 - (e) Stoops up to 3 feet in height may be placed above subterranean parking, and are recommended to be landscaped and scaled to the street and building.
 - (f) For applicable frontage and encroachment guidelines, see Section IV Guidelines.
3. Parking
 - (a) Parking should be accommodated in an underground garage, surface parking at the rear of the lot, parking tucked under the courtyard from the back, or a combination of any of the above.
 - (b) Parking entrances to subterranean garages and/or driveways should be located as close as possible to the side or rear of each lot. See Section IV-F for other Standards.
 - (c) Where an alley is not present, parking should be accessed from the street by side yard driveways flanked by planters, at least 1-foot wide.
 - (d) On a corner lot without alley-access, parking should be accessed from the side street, see Section IV-F.
4. Service Access
 - (a) Where an alley is present, services, including all utility access and above ground equipment and trash container areas should be located on the alley.
 - (b) Where an alley is not present, services, utilities and trash containers should be accessed from the street by side yard driveways flanked by planters, 1-foot wide.

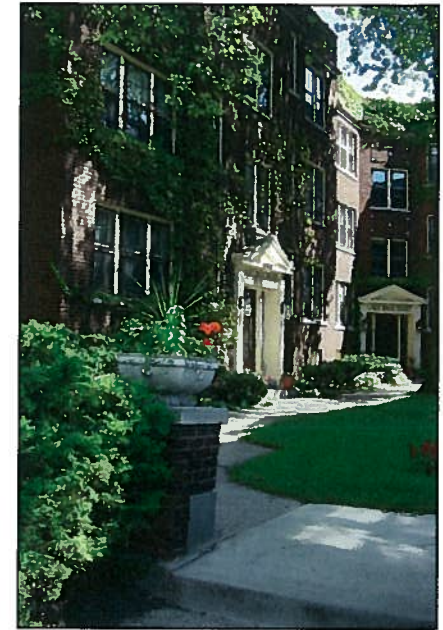


- (c) On a corner lot without alley access, services, utilities access, above ground equipment and trash should be accessed from the side street and should be underground, in the side or rear yards or in recessed alcoves along the street shielded by architecturally compatible screening elements, see Section III-G.
5. Open Space
 - (a) Courtyard housing should be designed to provide a central courtyard and/or partial, multiple, separated or interconnected courtyards of a size of at least 15% of the lot area oriented for maximum daylighting.
 - (b) In a project with multiple courtyards, at least two of the courtyards should conform to the patterns below. Courtyards proportions should not be less than 1:1 between the width and height for at least 2/3 of the court's perimeter. Horizontal shifts in upper floors adjacent to a court should not exceed 1/2 the height of each upper floor.
 - (c) Courtyard dimension should be 40 feet min. and 60 feet max. not to exceed 30% of frontage.
 - (d) In 40-foot wide courtyards, the frontages and architectural projections allowed are permitted on two sides of the courtyard and on all sides of 50-foot wide courtyards.
 - (e) Private patios are allowed in any yard (front, side, rear).
 - (f) Balconies are encouraged in any yard (front, side, rear) in compliance with the projection guidelines above and of the guide lines in Sections III-E&F.
 - (g) Courtyards should be connected to each other and to the public way by well-landscaped and secure zagzans or paseos.
6. Landscaping
 - (a) All yards should be landscaped, see Section III-G.
 - (b) Landscape should generally be pruned so as not to obscure shop fronts of ground floor space on adjacent parcels.
 - (c) In the front yard, the landscape may be the BID's streetscape.
 - (d) At least one, 36-inch canopy tree planted directly in the ground should be provided in the rear yard.
 - (e) At least one, 36-inch box canopy tree should be planted directly in the ground in each courtyard for shade, privacy and scale.
 - (f) Side yard trees should be placed to create a particular sense of place at a rate of one 24-inch box tree per 30 lineal feet. Trees can be placed in groups in order to achieve a particular design.
 - (g) One, 15 gallon/24" box size tree of small scale (12-15' height at maturity) or similar tall shrubs should be used for planters in courtyards over garages. Layering of all plant materials is recommended.
 - (h) Surface Parking lots should provide one large tree planted directly in the ground for every 8 parking stalls. Trees should be planted in a dispersed pattern to provide shading of the paving.
 - (i) Six, five-gallon size shrubs, ten, one-gallon size herbaceous perennials/shrubs and grass or ground cover is recommended for every required tree.
 - (j) All plant material should be maintained per City Ordinances.
7. Building Size and Massing, (also see Section I-A)
 - (a) Buildings should be composed of three and four story masses, see Section III-A.
 - (b) The intent of these guidelines is to provide for courtyard housing projects with varying building heights compatible with the neighborhood's residential scale.

(c) Height/floor plan ratios for courtyard housing to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | Ratio of each Story to 1st floor, (also see open space guidelines) | 1 | 2 | 3 | 4 | 5 |
|------------------|--|---------|---------|--------|--------|---|
| A | 100% | 90-100% | 80-100% | - | - | - |
| B | 100% | 90-100% | 80-100% | 70-90% | - | - |
| C | 100% | 90-100% | 80-100% | 70-90% | 60-80% | - |

- (d) Each dwelling should have at least one side exposed to the outdoors with direct access to a terrace or balcony or to a patio along the courtyard.
- (e) Dwellings are encouraged to be as repetitive or unique as deemed by individual designs.
- (f) 5-story masses should be minimized inside courtyards and apparent on street frontages.
- (g) Street corners should be articulated, see Sections III-A and V-A.
8. Composition
 - (a) See Architectural Standards in Sections IIIA-F.

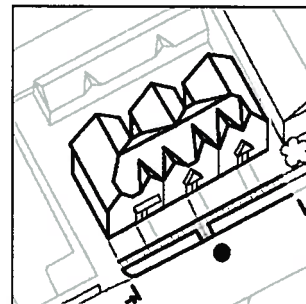
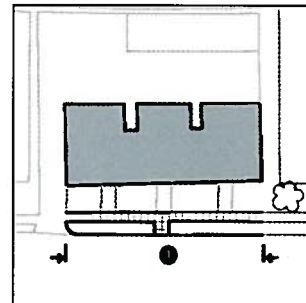


II-F ROWHOUSES (RH)

A dwelling unit attached by a common wall to one or two other dwelling units. A row house is generally one unit from ground to roof, with no units above or below it. Each unit is on an individual parcel with a rear yard and garage accessed from an alley. Structures may include an array of three or more such units side by side along the primary frontage.



1. Access
 - (a) The main entrance to each unit should be accessed directly from and face the street, see Section IV-E.
 - (b) Garages and services should be accessed from an alley.
2. Frontages
 - (a) Buildings should be built along the street edge at the property line(s) except as provided for in Section IV-E.
 - (b) Each row house ground level should be designed on the first level so that living areas (e.g., living room, family room, dining room, etc.), rather than sleeping and service rooms, are oriented toward the fronting street.
 - (c) For applicable frontage and encroachment guidelines see Section IV Guidelines.
3. Parking
 - (a) Required parking should be in a garage, which may be attached to or detached from the dwelling and should be accessed from the rear or side but not the front.
4. Service Access
 - (a) Services (including all utility access, above ground equipment, trash containers, etc.), should be located on an alley or on the rear of the lot for those without alley access.
5. Open Space
 - (a) Rear yards should be no less than 15% of the area of each lot and of a regular geometry.
 - (b) Front yards are defined by the applicable setback and frontage type guidelines per Section IV-E.
 - (c) Private patios are encouraged in any yard (front, side, rear).
 - (d) Balconies are encouraged in any yard (front, side, rear) or on the roof in compliance with the guidelines in Sections III-E&F.
6. Landscaping
 - (a) All yards should be well-landscaped to enhance architectural features, see Section III-G.
 - (b) Landscape should generally not obscure shop fronts on adjacent parcels. Front yard trees should not exceed 1.5 the height of the building at maturity. Trees should be planted at the rate of one, 36-inch box tree per 25 lineal feet. Trees can be placed in groups in order to achieve a particular design.
 - (c) At least one, 24-inch canopy tree planted directly in the ground should be provided



- in the rear yard.
 - (d) Six, five-gallon size shrubs, ten, one-gallon size herbaceous perennials/shrubs and grass or ground cover is recommended for every required tree.
 - (e) All plant material should be maintained per City Ordinances.
7. Building Size and Massing, (also see Section I-A)
 - (a) Buildings should be composed of 2-1/2 and/or 3 story volumes
 - (b) Buildings on corner lots should be designed with two principal street facades.
 - (c) Each row house building setback from property lines, should provide direct access from unit to front yards per section IV-E.
 - (d) Height/floor plan ratios for row houses to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | Ratio of each Story to 1st floor, (also see open space guidelines) | | |
|------------------|--|---------|--------|
| | 1 | 2 | 3 |
| A | 100% | 90-100% | - |
| B | 100% | 90-100% | 60-90% |

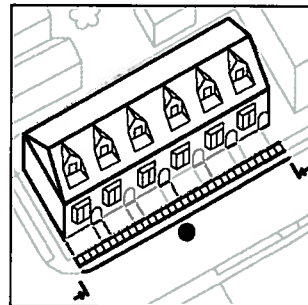
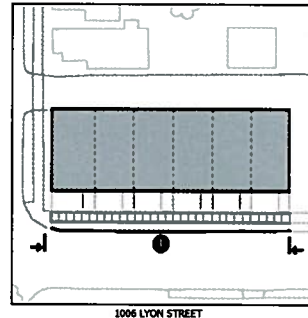
8. Composition
 - (a) See Architectural Standards in Sections III-A thru F.

II-G RAISED ROWHOUSES (RR)

An attached unit structure on a parcel with no rear yard, an attached or tucked under garage at the rear accessed by an alley. Such structures generally have at least 3 stacked townhouse units types arrayed side by side along the primary frontage with ground floor street edge space that can include studios, workshops, offices or other live/work use options.



1. Access
 - (a) The main entrance to each unit should be directly from and face the street.
 - (b) Garages and services should be accessed from an alley.
 - (c) A back entry from the alley, and beside each garage should be accommodated for each unit. These entries should be set back into the lot at a minimum distance of 5 ft. so as not to be flush with the alley-facing garage doors.
2. Frontage
 - (a) Buildings should be built along the street edge at the property line(s) except as provided for in Section IV-E.
 - (b) Each dwelling's ground level should be designed so that living areas (e.g., living room, family room, kitchen, dining room, etc.) or an office/shop rather than bathroom, storage or garage occupy the fronting elevation at the street level.
 - (c) For applicable frontage and encroachment guidelines see Section IV Guidelines
3. Parking
 - (a) Required parking should be in a garage that is attached to or under the dwelling on the back side.
 - (b) All garages should be accessed from a parking apron separate but adjacent to the alley R.O.W.
4. Service
 - (a) Services (including all utility access, above ground equipment, trash containers, etc.) should be located on an alley.
5. Open Space
 - (a) Each dwelling should be provided with at least 200 sf private outdoor space.
 - (b) Private patios are encouraged in front yards and on upper floors and roofs.
 - (c) Balconies are encouraged in any yard (front, side, rear) or on the roof, consistent with the guidelines in Sections III-E&F.
6. Landscape
 - (a) All yards should be landscaped, see Section III-G.
 - (b) Front yard trees at maturity should be no more than 1.5 times the height of the building.
7. Building Size and Massing, (also see Section I-A)
 - (a) Buildings should be composed of 3 and/or 3-1/2 story volumes.



- (b) Buildings on corner lots should be designed with two front street facades.
- (c) Each row house building setback from property lines, should provide direct access from unit to front yards per section IV-E.
- (d) In a 3-1/2 story building, a townhouse dwelling may be stacked over a ground floor flat or townhouse. In this case, the lower unit should be accessed by its own front door from a gated garden at the frontage, and the upper dwelling should be accessed by a stoop and separate front door along the frontage.
- (e) Height/floor plan ratios for raised row houses to assure fit to neighborhood scale are recommended as follows:

| Bldg. Size Range | Ratio of each Story to 1st floor, (also see open space guidelines). | | | |
|------------------|---|---------|---------|--------|
| | 1 | 2 | 3 | 4 |
| A | 100% | 90-100% | 75-100% | - |
| B | 100% | 90-100% | 70-100% | 60-80% |

8. Composition
 - (a) See Architectural Guidelines in Sections III-A thru F.

III-ARCHITECTURAL GUIDELINES

I. Intent:

In preparing these guidelines, it was determined that a framework is necessary with which to both express architectural objectives within the project area and to set clear guidelines that provide the ARB and future applicants a basis for proposing and reviewing development proposals. These guidelines are not intended as a prescription. Rather, they are a framework that appropriately presents salient characteristics evident in this Retail and Entertainment District for design exploration and application in projects to ensure a standard of architectural and urban design that is equal to or better than the constructed environment of BID #20 and that maximizes long term reinvestment and enhances property values in BID#20.

II. Applicability.

Each new building should be designed in compliance with the guidelines of this Chapter, subject to the review and approval of the Architectural Review Board. These guidelines will also apply to remodeled facades of existing buildings where visible from public ways.

III. Guidelines:

These architectural objectives reference the Urban Design Principles identified in the first section. The guidelines are presented accordingly with examples selected from the BID District, various national/international cities, and other locations. These architectural characteristics require design consideration, careful interpretation and skillful application.

A. MASSING



C. DRESSING THE BUILD-



B. WALL
OPENINGS



D. MEETING THE GROUND



E. ROOF & SKY SILHOUETTE



F. PROJECTED ELEMENTS



G. SITE AND VEGETATION



III-A MASSING

Objective: Design the building's massing composition to create a complementary or "good fit" with existing buildings specifically in regard to scale and proportion and consistent with the Guidelines in Sections I-D for Noticeable Relationship and in I-E for Many Buildings & Shops.



Note: Number designations reference text to photo examples.

4

1 & 2

Guidelines: Projects that combine multiple lots, (based on the District's historic plat maps), should address the original neighborhood scale in a combination of three ways:

1. Massing may be a primary volume expressed as a carefully proportioned system of well articulated and varied bays.
2. Massing may be skillfully composed of a primary volume with multiple lesser stacked or interlocking volumetric additions and / or subtractions, voids.
3. The building may be composed of multiple well integrated, but unique masses.

For any massing strategy the following concern must also be addressed:

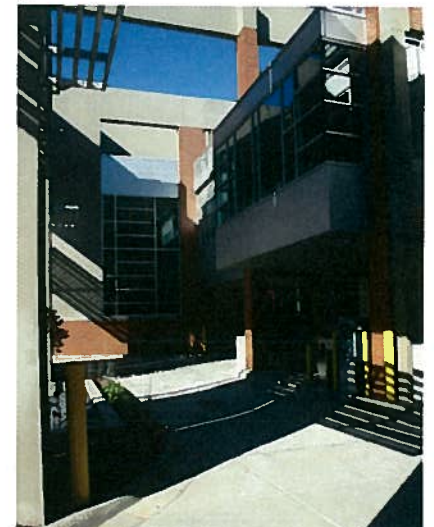
4. Street corners should be emphasized architecturally as an extraordinary massing element or bay within the composition.



1



3



2

III-B WALL OPENINGS

Objective: Consistent with the Guidelines in Section I-C for Living Street the patterns and proportion of wall openings, windows / doors configurations, is critically important and offers unlimited possibilities to establish the complexity needed for Visual Interest, see Section I-B.



Note: Number designations reference text to photo examples.

Guidelines: In addition to quantitative guidelines established in the previous sections concerning Building Types and in the sections that follow concerning Frontage Types, the following qualitative design criteria provide a basis for evaluating fenestration:

1. The main building entrance should be emphasized architecturally as an elaborated volume, void or bay within the composition.
2. Street facade upper window openings should be oversized, 21sf. min.
3. Large openings should provide for multi-pane window / door compositions.
4. Ground floor storefront assemblies per Section IV should be extensive and compose the majority (typically 65-85%) of the street level facade, and should preferably be storefront in style, orientation and composition. and contain transparent show windows, entry doors and transoms.
5. Curtain walls are acceptable, subject to review of proportion, color and pattern in order to avoid monotonous surfaces, also see Dressing the Building in Section III-C.
6. Window proportions should be predominantly vertical.
7. Windows should be deep set, (minimum 5"), to create façade shadows, see Section III-C.
8. Windows should be high quality wood or metal framed.
9. Each unique building mass should have a unique solid void articulation that is complimentary to the whole, (exception: all courtyard elevations can be consistent).
10. Shading devices placed behind windows at street level, such as blinds or screens should be temporary, moveable, and non-fixed with the exception of spaces that require privacy, e.g. bathrooms, or exceptional security, e.g. vaults. Furniture, such as shelves, should not be placed to block street level windows.

Note: Please also review Sections VA-E for ground floor transparency guidelines, Section VB & E for window and glass guidelines and Section III-F, Projecting Elements, for shading devices.

184



3



7



9



6



III-C DRESSING THE BUILDING

Objective: Given that BID #20 is an active entertainment and retail district, an appropriate analogy might be to dress the body of the building for a night out on the town. This could go a long way to meeting the Guidelines in Section I-B for Visual Interest.



Note: Number designations reference text to photo examples.

1



1

Guidelines:

General: There are many interesting buildings in the District. These should be retained and the street facades of new buildings should be no less interesting. Designers / Owners should use materials that produce a durable, high quality visual result, and should demonstrate what makes their building interesting pursuant to the following architectural guidelines:

1. **Surface Relief:** Surface relief is a highly effective way to insure visual interest. The moving sun will constantly change shadow patterns on surface elements with depth. Provide street facades with abundant well integrated elements providing surface relief.
2. North facades lacking sun also need design elements of interest.
3. **Surface Materials:** Surface reflectance of sunlight off building materials varies dramatically offering rich opportunities. Select materials that will add visual quality and interest to the street facades of the project.
4. Examples of Materials that generally lack durable, high quality visual results:

- (a) Plastic or foam moldings and ornament;
- (b) Concrete masonry units, (fluted, split faced or standard);
- (c) T-111 wood paneling and particle board;
- (d) Exposed aggregate precast concrete;
- (e) PVC and vinyl clad wood windows;
- (f) Plastic, vinyl or asphalt shingles.
- (g) Aluminum or vinyl siding.



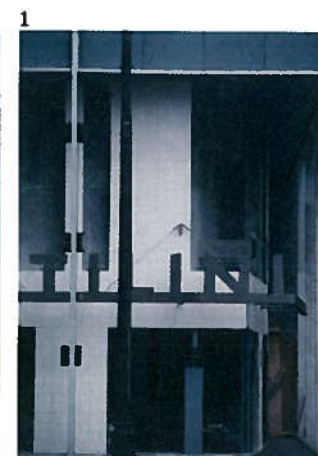
3



2



3



1



2

III-D MEETING THE GROUND

Objective: The building design at the pedestrian level where building elements meet the ground is critical to achieving the Guidelines in Sections I-C for A Living Street and I-B for Visual Interest.



Note: Number designations reference text to photo examples.

2

1

Guidelines: Establish a base for the building's massing components and for each building element that is noticeably different, a variant from the upper body of each:

1. Massing may be articulated with a building base that is the ground floor separated from above by horizontal expression lines articulated to provide surface relief of at least 6".
2. A higher degree of transparency can help differentiate the ground floor as a building base.
3. Separate building elements, columns, walls, windows, stoops, etc. should provide visible transition detailing as they meet the ground.

Note: Please also review Street Edge Guidelines In Sections IV-A, B & D and V-A, B, C & E.



3

3

3



III-E ROOF & SKY SILHOUETTE

Objective: Meeting the Guidelines in Section I-B for Visual Interest and for Noticeable Relationship in Section I-D can be advanced by the following.



Note: Number designations reference text to photo examples.

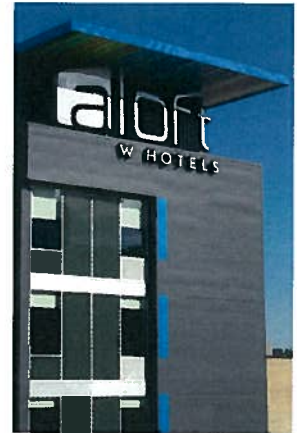
18&6



2



3



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5



Guidelines: Consider the top of the building as an opportunity to emphasize and complete the building's architectural expression consistently. Strategies could include:

1. Bordering the sky with horizontal, ornamental elements along the top of the parapet walls;
2. Elaborating the architecture of top floor(s) facades.
3. Shaping the profile of parapet walls;
4. Cantilevering roof planes with, or without exposed structural supports;
5. Expressing roof penthouse forms set back from the street facades;
6. Shaping the top floor volumes with sloped, or curved roofs;
7. Framing the sky with tracery, open rails and supports.
8. Roof terraces, gardens and green roofs are strongly encouraged.

Notes:

Mechanical equipment on roofs should be setback and / or screened from view from the sidewalk level along the street right of way.

Installation of solar panels is encouraged but should be well integrated with the overall building design.



III-F PROJECTED ELEMENTS

Objective: Meeting the Guidelines in Sections I-C for A Living Street and I-F for Urban Sustainability can be accommodated by architectural elements projecting from the building's facades.



Note: Number designations reference text to photo examples.

Guidelines: Subject to compliance with State and local codes, well designed projected elements are strongly encouraged for functional and aesthetic enhancement and may extend beyond the build to line, into the setback and perhaps into the public right of way:

1. Awnings, that extend from the façade should be limited to the width of storefront windows, or façade opening width, should be made of waterproof fabric (not plasticized or plastic), and should be lighted from above not under-lighted or "backlit";
2. Projecting bays with a high percentage of windows;
3. Stairs, stoops and rails that add visual streetscape interest.

Also, these elements designed as architectural enhancements and assembled of a material such as finely crafted metal or wood.

4. Canopies that can be continuous along the sidewalk;
5. Recessed or semi recessed balconies, with depth and width sized to be functional as semi-private outdoor living space and well integrated with the building façade;
6. Shading devices, screening elements, railings, etc.

Note: Signage is addressed as a special topic in Section V-D and in Section IV Frontage Types.

2

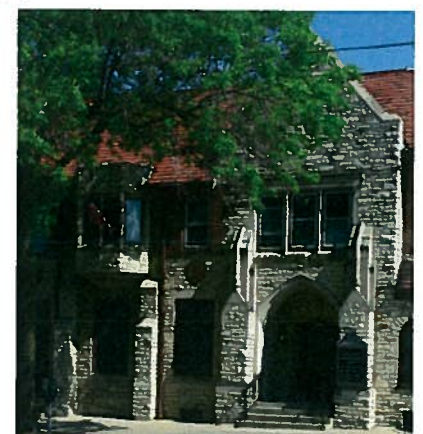


1&6

5



3



III-G SITEWORK & VEGETATION

Objective: Meeting the Guidelines in Sections I-A for Street as a Room, I-B for Visual Interest and I-F for Urban Sustainability may be advanced by site enhancements in accord with City Code 295-405-3.



Note: Number designations reference text to photo examples.

Guideline: Use durable materials with sound craftsmanship for site amenities that add quality and livability to semipublic spaces.

1. Provide wooden or metal trellises, architectural quality metal fences, (other fence types are discouraged), and garden walls of fine masonry or metal work to help define gardens, forecourts and terraces and mark entries or screen service areas.
2. Provide unique ground paving, well crafted to enhance arcades, forecourts, terraces, building entrances, and sidewalks. For other than parking surfaces asphalt is discouraged.
3. Provide for vegetation, potted or in ground, including trees and climbing vines for shade with sustainable perennials and annuals for texture and color.
4. Provide lighting at parking and walks to enhance the night atmosphere and promote safety and security.
5. Screen parking, building service zones, utility equipment and trash containers from view from public streets and sidewalks.

Guideline: To reduce the urban heat island impact parking lots should be developed with trees planted in ground with guards and curbs as protection at a recommended ratio of 1 tree per 8 parking spaces and with rain gardens to reduce / delay storm water run-off.

5



1



3



2

Sustainable plantings, storm water management and reduced heat island by shading with trees.



IV - FRONTAGE TYPE GUIDELINES

I. Purpose:

This Chapter identifies the frontage types encouraged within Business Improvement District #20, and for each type, provides a description, a statement as to the type's intent and, design guidelines, to ensure that proposed development is consistent with the City's goals for activating street edges through building form, character, and quality within the BID area.

II. Applicability:

The provisions of this Chapter work in combination with the Building Types and street locations as identified in Section II introduction. Section V that follows elaborates the qualitative characteristics applicable to these Frontage guidelines.

III. Allowable Frontage Types by Building Type:

Each Building Type in the Table below identifies recommended Frontage Types. Asterisks note exceptions. This Chapter then provides guidelines for each of the Frontage Types.

Note: Photo examples and graphic depictions are provided to illustrate frontage types.

Table IV

| Building Type | Frontage Type | | | | | |
|-------------------|---------------|---------------|--------------|------------|----------------|-----------------|
| | A. Arcade | B. Storefront | C. Forecourt | D. Terrace | E. Stoop/Porch | F. Auto/Parking |
| Commercial Block | Yes | Yes | Yes | Yes** | No | No*** |
| Mixed Use | Yes | Yes | Yes | Yes** | No | No*** |
| Liner Building | Yes | Yes | Yes | Yes** | Yes* | No*** |
| Stacked Dwelling | No | No | Yes | Yes | Yes | No*** |
| Courtyard Housing | No | No | Yes | Yes | Yes | No*** |
| Rowhouse | No | No | Yes | Yes | Yes | No |
| Raised Rowhouses | No | Yes | Yes | Yes | Yes | No |

* Rowhouse Building Types (Stoop/Porch), discouraged on North, Prospect, Maryland, Kennilworth or Ivanhoe.

** Discouraged unless sidewalk slopes significantly along street frontage line and / or for outdoor dining areas.

*** Recommended on secondary street only if no alley adjacent. Recommended on primary street only where alley and secondary street are not adjacent to the development parcel.

A. ARCADE



B. STOREFRONT



C. FORECOURT



D. TERRACE



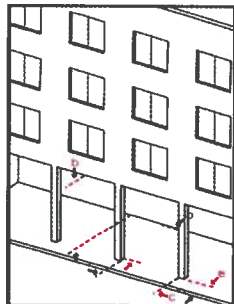
E. STOOP/PORCH



F. AUTOS/PARKING



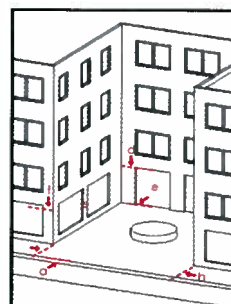
A. ARCADE



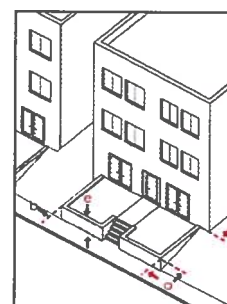
B. STOREFRONT



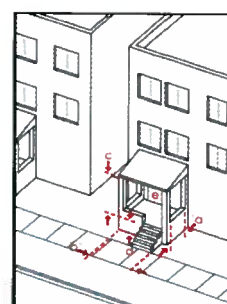
C. FORECOURT



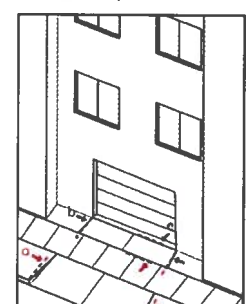
D. TERRACE



E. STOOP/PORCH



F. AUTOS/PARKING



IV-A ARCADE

Arcades are facades with an attached colonnade that is covered by upper stories. This type is ideal for retail use, but most effectively when the sidewalk is fully absorbed within the arcade so that a pedestrian cannot bypass it. This type must also comply with regulations regarding use of the public R.O.W.



1. Configuration

A great variety of arcade designs are possible, but the following guidelines apply:

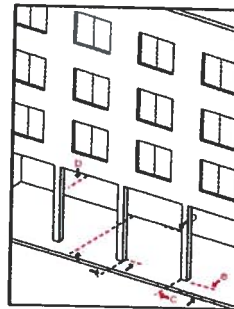
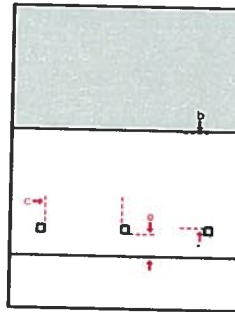
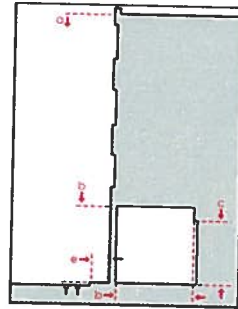
- The height and the proportions of the arcade should correspond to the building facade consistent with the architectural styling of the building.
- Min 12 ft clear in all directions. Soffits, columns/arches should be treated consistent with the architecture of the building.
- Along primary frontages, the arcade may correspond to storefront openings and:
 - openings along the right-of-way should be 10 feet clear.
 - primary frontage storefront openings should comprise 65% of the 1st floor wall area facing the street and should not have dark-tinted, opaque or reflective glazing.
 - storefronts should be min 10 ft to max 16 ft tall.
- A bulkhead is to transition between the opening(s) and the adjacent grade. The bulkhead should be between 6 inches and 18 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead).
- Where allowed arcades should have a maximum setback from property line of 0'.

2. Elements

- Awnings, signs, etc, should be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of 6 feet (also see Section III-F and V-D).
- Access to businesses should be via door openings preferably spaced every 30' max.

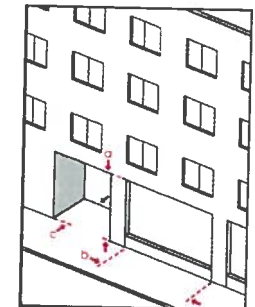
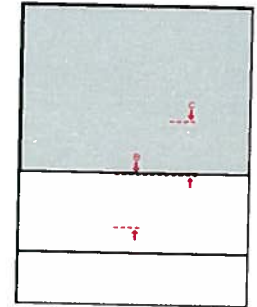
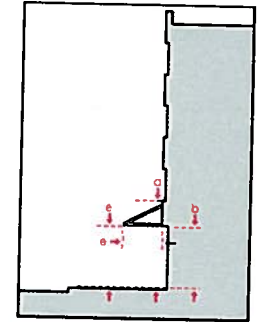
3. Architectural Character

- See Street Edge Guidelines in Section V-A thru I.



IV-B STOREFRONT

Storefronts are facades placed at or close to the right-of-way line, with the entrance at side walk grade. This type is conventional for retail frontage and is commonly equipped with cantilevered canopy roof(s) or awning(s). Recessed storefronts are also acceptable.



1. Configuration

A great variety of shop front designs are possible, but the following guidelines apply:

- Recommend a minimum of 12 feet clear to max 18 feet tall, as measured from the adjacent sidewalk.
- The corresponding storefront(s) opening(s) along the primary frontage should comprise at least 65% of the 1st floor wall area facing the street and not have dark-tinted, opaque or reflective glazing.
- Storefronts may be recessed from the property line by up to 2 feet. Exception: at entrances recesses may increase to 4' maximum.
- A bulkhead is to transition between the opening(s) and the adjacent grade. The bulkhead should be between 6 inches and 18 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead).

2. Elements

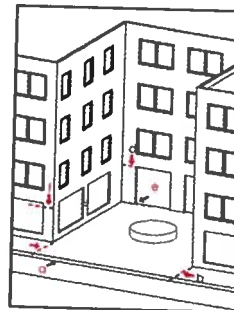
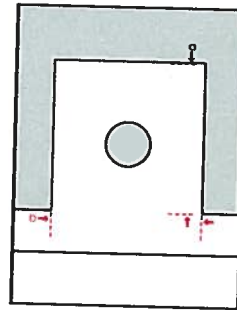
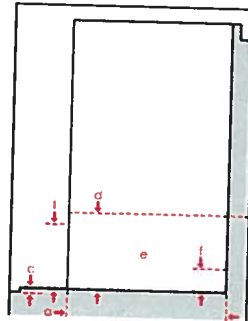
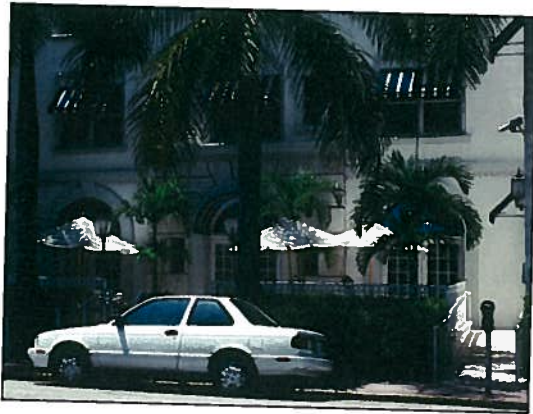
- Awnings, signs, etc, should be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of 6 feet.
- Signage should not project within 2 ft of the adjacent curb face(s).
- Awnings should fit within openings only rather than extending to cover multiple bays of the building facade. Canopies can extend for multiple bays.
- Direct access to businesses should be via door openings preferably spaced every 30' max.

3. Architectural Character

- See Street Edge Guidelines in Section V-A thru I.

IV-C FORECOURT

Forecourts are a recessed court within a storefront, arcade or terrace frontage. The court is suitable for plazas, gardens, generally entrance transitions and pedestrian amenities.



1. Configuration

A great variety of forecourt designs are possible, but the following guidelines apply:

- (a) min. 10 feet deep (clear), max 40 feet deep (clear)
- (b) min. 20' wide, max 30% of frontage
- (c) The court may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the court, but should not exceed 3 feet from the adjacent sidewalk grade.
- (d) The street edge facades may be recessed from the property line by up to 2 feet. Exception: at entrances recesses may increase to 4' maximum.
- (e) Storefronts should be between 12 feet and 16 feet tall, as measured from the adjacent sidewalk.
- (f) The corresponding storefront(s) opening(s) along the primary frontage should be at least 65% of the 1st floor wall area and not have opaque or reflective glazing.
- (g) Bulkhead: 6 inches min, 18 inches max (aluminum storefront or spandrel panel may not be substituted for a bulkhead).

2. Elements

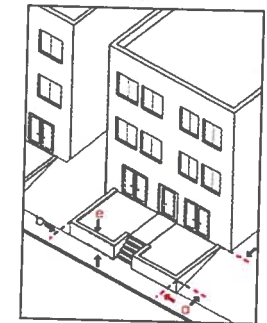
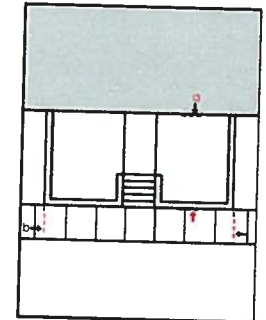
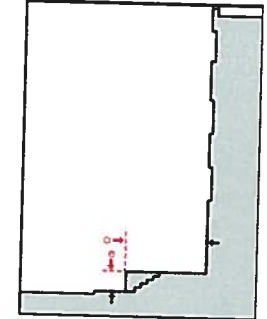
- (h) Awnings, signs, etc. should be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of 6 feet (also see Section III-F and V-D).
- (i) Direct access to businesses should be via door openings preferably space every 30' max.

3. Architectural Character

- (j) See Street Edge Guidelines in Section V-A thru I.

IV-D TERRACE

Terraces developed as gardens or patios are a common frontage primarily associated with multiple-family housing, but are frequently used with other building types depending on the context in all cases, where the facade is set back from the right of way. A retaining wall at the property line is typically used to define the generally raised semi-public space of the terrace with entry steps / ramps to the terrace level, although terraces may be recessed based on specific circumstances of project site.



1. Configuration

A great variety of terrace designs are possible, but the following guidelines apply:

- (a) built at the property line and a min. 6 ft deep, max. 12 ft deep (clear);
- (b) min. 24 ft wide (clear) for centered entry, min 16 ft for asymmetrical entry.
- (c) In no case should terraces be raised more than 3 feet or recessed more than 2 feet from the adjacent grade.

2. Elements

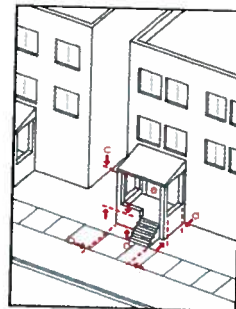
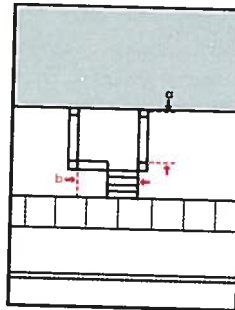
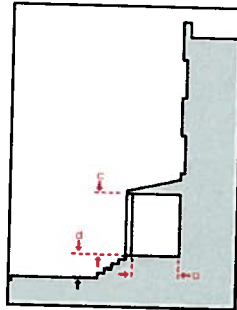
- (d) Walls defining and retaining the terrace should be of masonry or decorative concrete, bermed with appropriate landscaping or trellis, and should not exceed 3 feet in height from the adjacent sidewalk. Walls retaining the sidewalk for recessed terraces may be concrete.
- (e) Guardrails and stairs / ramps within the setback should comply with local codes and should architecturally be compatible with the adjacent building.
- (f) The corresponding facade(s) opening(s) along the primary frontage should be at least 65% of the 1st floor wall area and not have dark-tinted, opaque or reflective glazing.
- (g) Encourage direct access to the terrace via adjacent facade glazed door openings.

3. Architectural Character

- (h) See Street Edge Guidelines in Section V-A thru I.

IV-E STOOP/PORCH

Stoops are elevated entry porches/stairs placed close to the property line with the ground story elevated from the sidewalk, securing privacy for the windows and front rooms. This type may be suitable for ground-floor residential uses with short setbacks. This type may be interspersed with the storefront frontage type. A porch roof may also cover the stoop.



1. Configuration

A great variety of stoop / porch designs are possible, but the following guidelines apply:

- (a) min. 6 feet deep (clear)
- (b) min. 8 feet wide (clear)
- (c) min. 10 ft tall (clear).
- (d) Stoops should be raised to transition into the building. The ground story should not be elevated more than 3 feet above the adjacent sidewalk.
- (e) Stoops should correspond directly to the building entry(s).
- (f) Steps may be recessed from the property line by up to 2 feet.

2. Elements

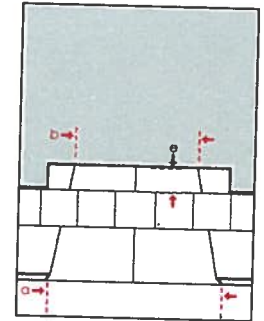
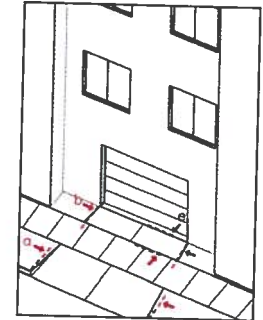
- (g) Walls defining the stoop should be of masonry not exceed 36" from the highest adjacent finished grade.
- (h) Residential opening(s) along frontages should be at least 55% of the wall area and should not have opaque or reflective glazing.

3. Architectural Character

- (i) See Street Edge Guidelines in Section V-A,B,C & F

IV-F AUTO/PARKING

Auto and parking frontages address vehicular access point requirements as well as frontages where surface parking is allowed in close proximity to street edges. There should be no unscreened views into parking areas from public rights-of-ways.



1. Configurations

A great variety of designs responses are possible, but the following guidelines apply:

- (a) 1 curb cut per facade max. with max. 24 feet width (clear).
- (b) Driveway perpendicular to property line with garage door max. 20 feet wide.
- (c) At parking lots along street edges provide plantings in landscaped strip min. 6 feet deep; exception 4' if screen wall is provided.
- (d) Building parking entry facades should be recessed from the property line 2 feet min.

2. Elements

- (e) Garage door should be recessed from facade min. 4 feet deep (clear)
- (f) Garage door should be transparent (windowed) or translucent (paneled) or a combination of the two. Bollards at edges are permitted. (Garage doors on older or historic buildings should be compatible with the original architecture of the building.)
- (g) Provide sustainable native plants and trees to City of Milwaukee parking lot edge standards per code section 295-405.
- (h) Provide parking lot screen walls in well crafted concrete, brick masonry, wood, wrought iron, metal (wood/metal combination) or decorative materials of suitable durability, character and scale, See Section III-G.

3. Architectural Character

- (i) See Street Edge Guidelines in Section V-A,B,C & F.



V-STREET EDGE GUIDELINES

I. Intent

The street edge is the pedestrian zone. This is critically important in urban retail and entertainment environments. It must certainly provide a comfortable, pleasant experience. However, the best of these convey exhilaration and excitement to visitors. Of course the ground floor tenant mix is crucial, but the environment created can also help to attract complimentary businesses contributing to a critical mass, an image and an associated buzz. As the market for a "retail environment" gains momentum, successful shopping streets may expand to a ground floor, lower level and second story level of activity—even round-the-corner businesses.

These street edge guidelines bring the Urban Principles and Architectural Guidelines to bear where the environment can be touched and seen close up. BID #20 has a continuing commitment to maximizing the potential of the District, supporting it with branding and promotional events, and enhancing the District with finely crafted public amenities and art.

The concepts presented here challenge the Architect and the Development Team to create engaging design solutions that contribute to the overall visual environment going beyond merely building "space for rent" by extending the design quality intent evident in the City's and the BID's commitment and as emphasized in sections I-IV to support a high quality of urban life, civility and experience along all district street edges.

II. Applicability

Each building or renovated building element should be designed to fit into the District by responding to the design issues in this Chapter, subject to the review and approval of the Architectural Review Board.

III. Guidelines

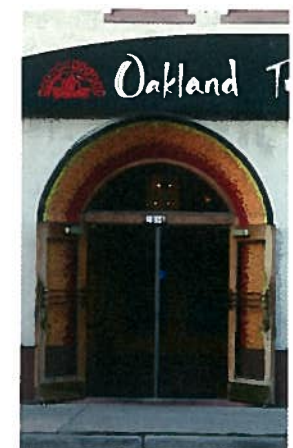
This section of the Guidelines addresses the urban concepts of Living Street, Visual Interest and Fine Grain Context along the street edge where people experience them most intensely. They extend the quantitative aspects of the Frontage Guidelines to qualitative concerns defined for special consideration in the following design element categories.



D. Signs



E. Visual Access / Display

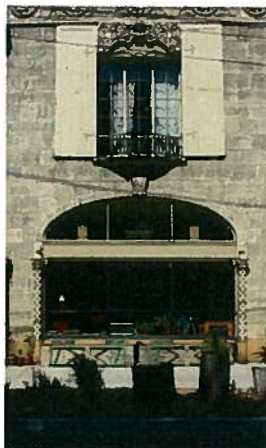


F. Color

STREET EDGE



A. Entrance Elements



B. Windows



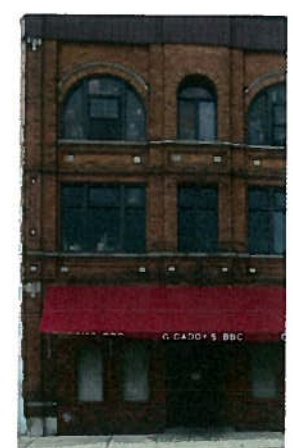
C. Architectural Detail



G. Public Art / Amenities



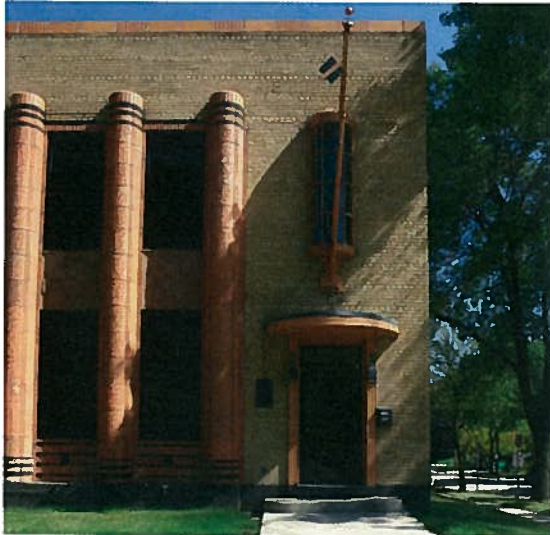
H. Lighting



I. Maintenance

V-A ENTRANCE ELEMENTS

Principle: Architecturally elaborate the entrance(s) as appropriate transition(s) that graciously invite the customers / guests into your place of business or abode.



Combination of complimentary elements

Note: Number designations reference text to photo examples.

Guideline: Embellish entrances as visually distinct transition spaces defined by a combination of architecturally coordinated forms and elements. Include some combination of the following:

1. Overhead protection;
2. Columns, pilasters, walls, arches, etc. that signify gateway or threshold;
3. Surface and / or material changes;
4. Architectural ornament;
5. Changes in level;
6. Special lighting.

Note: Also see Section III-C. Architectural Detail and Surface Enrichment



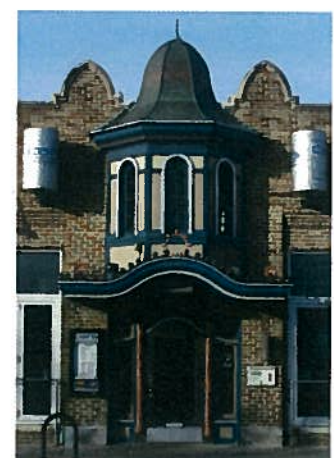
4



6



1



2

3



5



V-B Windows

Principle: Fenestration should correspond to the level of privacy vs public exposure appropriate to the building type and the interior space use.



Well proportioned multi-lite configuration

Guideline: Maximize transparency. Provide well proportioned multi-light configurations with transoms, sidelights and articulated window openings consistent with building's architectural style and with pedestrian scale.

Guideline: For existing buildings retain original openings.

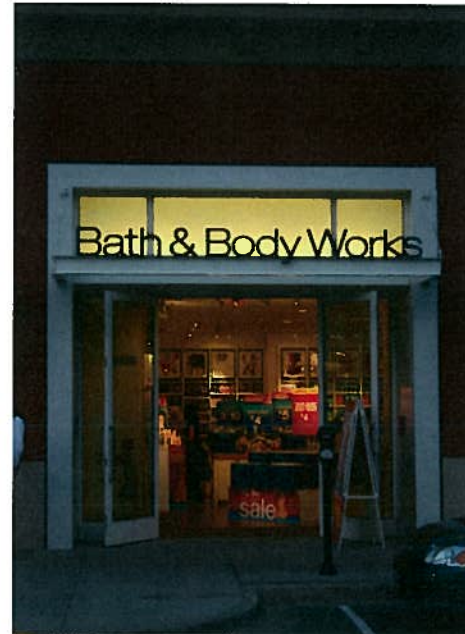
Guideline: Storefront security grills are discouraged, but all proposed designs should include some combination of the following:

1. Operable windows that open wide.
2. Low sills providing an invitation to view in and out;
3. Thickening the wall at the edges of the opening to frame it;
4. Articulating the window head and / or sill;
5. Color and / or material change;
6. Ornamentation of the window frames and window surrounds;
7. Clear glass is recommended, (clear low-e is acceptable). Dark or mirrored glass is discouraged.

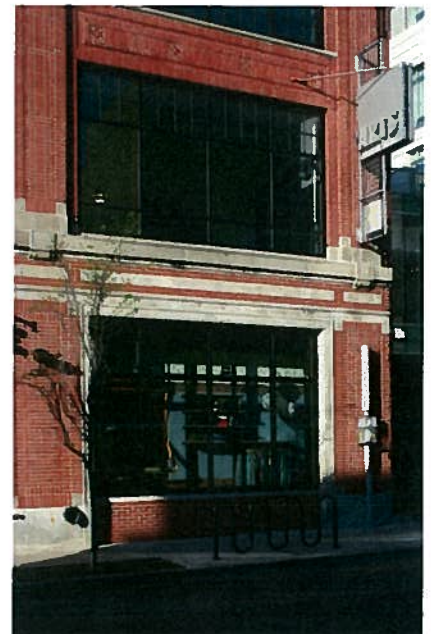
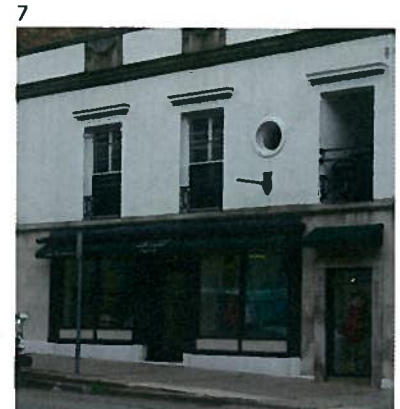
Original openings to be retained - avoid blocking in windows



Note: Number designations reference text to photo examples.



1 & 3



3 & 4

STREET EDGE

V-C Architectural Detail

Principle: At ground floor, street edge facades, entries, storefronts and display windows, architectural detail and surface enrichment can be viewed close up and for longer periods of time, and therefore should be designed with greater concentration and intensity of effect, and careful attention to finishing and detail.



Note: Number designations reference text to photo examples.



Guideline: Consistent with Dressing the Building in Section III-C, integrate design elements and surfaces to provide visual complexity / light and shadow for close up viewing. Strategies to enrich a façade may include:

1. Including natural materials rich in color & grain.
2. Patterning materials.
3. Fine craftsmanship.
4. Systems with refined detailing.
5. Retaining historic elements.
6. Installing special ornamental surfaces.
7. Integrating graphic art.

Guideline: Architectural ornamentation should be integral to the building envelope or cladding design, not off the shelf or spurious elements merely applied or visually pasted on. The following are discouraged:

- (a) Foam cornices or other architectural faux detailing
- (b) Out of character architectural trim elements.

Austere facade with limited visual interest.



3



2



1



6



4



2



STREET EDGE

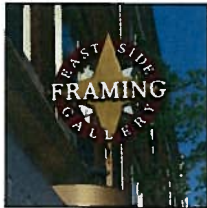


V-D Signs

Principle: Purposely created to vie for visual attention, signage must be of the highest visual design and fabrication quality.



Elegant Earring



Shiney Medallion



Lit Charm



Sparkling Broach



Symbolic Imagery



High Quality Corporate



Dynamic Expression



Exuberant Marquee

SIGNS AS URBAN JEWELRY



Crafted Necklace



Chunky Bracelet

OTHER SIGN CONCEPTS



Classy Neon



Changing Daily



Concern For All Details

URBAN SCALE CONCEPTS



Building Signage Plan



Focal Point Key Corners



District Digital Billboard

SIGNAGE TO BE AVOIDED



Illuminated Box Signs On Poles



Additional Billboards



Too Many Signs

Note: Number designations reference text to photo examples.

Guidelines: Emulate the District's theme and commitment to signage as an essential or signature element of the building facade, a kind of "urban jewelry", but compliant with City signage code regulations. Consistent with the District's signage quality goals the following signage types are discouraged:

1. Internally illuminated box signs;
2. Pole mounted / pylon Type "B" signs;
3. Additional billboard signs;

Also:

4. Preexisting noncompliant signs should be removed within 90 days of tenant change;
5. Fabric banner signs should be replaced every 24 months; (extensions can be approved if banner is well maintained);
6. Temporary signs should be no more than 10% of display window area.

Guidelines: Signs should be placed with concern for all details, for scale and relationship to façade composition, with appropriateness of location, size, and quality of materials, fabrication, color, lighting and attachment detailing.



District Gateway



Discourage Illuminated Box Signs

STREET EDGE

V-E Visual Access/Display

Principle: Lively streets are safe streets, but windows can only promote street activation and improve security along the street if they visually connect passersby to busy building interior spaces that are visually, if not physically accessible to the public.



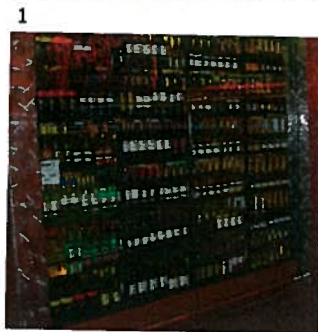
Note: Number designations reference text to photo examples.

Guidelines: Ground floor uses and spaces, both retail and non-retail, should contribute to activating the street and engaging passersby, by the following:

1. Provide the space for and encourage window displays showcasing merchandise in dramatic, innovative ways;
2. Where building orientation creates comfortable micro-climates, connect the inside of eating and drinking establishments directly to the outside whenever weather permits by operable window or door systems that open wide;
3. Open views into residential and commercial lobbies;
4. Street level window coverings are discouraged.
5. Outdoor merchandising, e.g. sidewalk display of merchandise that draws customers into stores, is encouraged.



1



V-F Color

Principle: With a northern geographic location, Milwaukee is subject to cool temperatures and gray skies much of the year. Warm colors of façade materials and light sources that help to psychologically offset the climate's impact are encouraged.



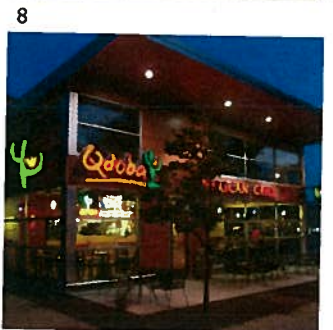
Note: Number designations reference text to photo examples.

Guidelines: Coordinate color selection, but strive for diversity and visual quality:

1. New facades should be harmonious with neighboring facades.
2. Natural materials often provide a warm, muted earth tone palette.
3. Facades can be color neutral backgrounds with colorful details.
4. Use intense colors artfully for an overall harmonious effect.
5. Light colors bring out visual detail, dark colors obscure them.
6. Encourage colorful seasonal plantings and floral displays.
7. Encourage outdoor merchandising that adds color to street life.
8. Use lighting systems to bring color tastefully to the night scene.



3



V-G Public Art/Amenities

Objective: The best streets are memorable places improved by coordinated furnishings, surface detailing and exceptional public art that personalizes and adds richness.

1



Guidelines: Enhance the street edge and site, (also see Section III-G and IVF), with durable, functional, urban public space amenities:

1. Benches, sitting walls, tables and chairs placed for comfort and social interaction;
2. Bicycle racks, public information displays, (kiosks), and pedestrian lighting placed for convenience of use;
3. Shelters at bus stops, and elsewhere;
4. Trees and vegetation suitable and sustainable for their location;
5. Paving treatments that mark entries and/or enhance safety;
6. Public art, sculptural, graphics, (mural or sign art), or architecturally integrated building features.
7. Lighting applications as public art.
8. Identifiers or wayfinding



1

5



2



2



4



3



6



6



Note: Number designations reference text to photo examples.

STREET EDGE

V-H Lighting

Principle: Visual interest so critical to the quality of a Retail and Entertainment District by day must be extended into the evening and night time by well designed lighting systems that artfully dramatize the qualities of the architecture, promote safety and security and enhance the mystique and allure of the East Side.



Note: Number designations reference text to photo examples.



Guidelines: Design exterior lighting elements that will showcase the best features of the architecture. This may include:

1. Creating lighting effects that graze surfaces to highlight form and detail, or setting up visually effective pools of light rather than uniform dull lighting or glaring overhead flood lighting;
2. Selecting exterior fixtures appropriate in size, shape, style, material and color;
3. Concealing conduit whenever possible, and when not possible making it inconspicuous by painting to match façade material;
4. Using light sources that provide color temperatures that are neutral or warm, (metal halide or incandescent typically), approximately 3000 degree Kelven with 80+ color rendition index that enhance the façade's color and materiality;
5. Shielding façade lighting sources from view to avoid glare;
6. Limiting light spillage onto residential windows and adjacent buildings;
7. Facilitating ambient light spillage without glare from storefront window displays onto adjacent sidewalks improving merchandising, pedestrian safety and visual quality of the urban setting;
8. Replacing burned out lamps and damaged fixtures.

Note: Also see City of Milwaukee Lighting Codes, 295-409 and Signage Codes, 295-407 for sign lighting limitations.



V-I Maintenance

Principle: Maintenance and cleanliness are fundamentally important to attracting patrons / visitors, assuring reasonable user behaviors, and creating an orderly environment that fosters good public etiquette.



STREET EDGE

Guideline: All property owners should maintain their property completing repairs in a timely manner consistent with the building's architecture and regularly replacing elements and/or materials showing wear and deterioration.

Guideline: Tenants should take responsibility for cleaning sidewalk spaces in front of their business and maintaining their signage and other leasehold improvements.



NOTICES SENT TO FOR FILE : 110693

[illegible]

NORTHPOINT PROSPECT
COMMONS
10700 RESEARCH DR STE 1
MILWAUKEE WI 53226

COLUMBIA ST MARYS INC
4425 N PORT WASHINGTON RD
GLENDALE WI 53212

COLUMBIA ST MARYS INC
4425 N PORT WASHINGTON RD
GLENDALE WI 53212

CITY OF MILWAUKEE
809 N BROADWAY
MILWAUKEE WI 53202

DOROTHY M VITUCCI
REVOCABLE
1832 E NORTH AV
MILWAUKEE WI 53211

LAKESHORE CHURCH
1820 E NORTH AVE
MILWAUKEE WI 53202

1800-1814 E NORTH AVE LLC
7086 FALLS ROAD EAST
BOYNTON BEACH FL 33437

ROBERT D BACOS
6114 THORN RIDGE LA
GREENDALE WI 53129

RED HOUSE LLC
2915 N MARIETTA AV
MILWAUKEE WI 53211

TRUDY F LANT NKA
2419 N MURRAY AV
MILWAUKEE WI 53211

SHANE ZOLPER
3477 N OAKLAND AV
MILWAUKEE WI 53211

JOSEPH S LE SAGE
2407 N MURRAY AVE
MILWAUKEE WI 53211

GOLDBERG FAMILY LTD
5205 N IRONWOOD RD
GLENDALE WI 53217

CORY J GASSMANN
5418 S 43RD ST
GREENFIELD WI 53220

WILLIAM F JUDGE & JOAN M
PO BOX 11578
SHOREWOOD WI 53211

GURDEV SINGH
W176 N5456 HIGH RIDGE DR
MENOMONEE FALLS WI 53051

ARTHUR R KING MD
2414 N FARWELL AV
MILWAUKEE WI 53211

RESOURCE MANAGEMENT
2403 N MARYLAND AV
MILWAUKEE WI 53211

SHASHA LLC
2022 E NORTH AV
MILWAUKEE WI 53211

CITY OF MILWAUKEE
809 NORTH BROADWAY
MILWAUKEE WI 53202

FIRSTAR BANK MILWAUKEE
NA
2800 EAST LAKE ST
MINNEAPOLIS MN 55406

ORLEN G WOOD
2204 E WEBSTER PL
MILWAUKEE WI 53211

SAMUEL J LLANAS
2333 N MURRAY AV
MILWAUKEE WI 53211

SHAFTON FAMILY LTD
5205 N IRONWOOD RD #201
GLENDALE WI 53217

1930 EAST NORTH AVE LLC
1200 N MAYFAIR RD STE 220
MILWAUKEE WI 53226

WISCONSIN ELECTRIC POWER
CO
231 W MICHIGAN ST
MILWAUKEE WI 53201

WISCONSIN ELECTRIC POWER
CO
231 W MICHIGAN ST
MILWAUKEE WI 53201

TLO HOLDINGS LLC
8100 N BEACH DR
FOX POINT WI 53217

RKA PROP OF WIS LLC
P O BOX 270224
WEST ALLIS WI 53227

ESV LLC
2340 N NEWHALL ST
MILWAUKEE WI 53211

A DE PALMA PROPERTIES LLC
706 E LYON ST
MILWAUKEE WI 532022025

SYDNEY C CHARNEY ESTATE
ETAL
PO BOX 2035
MILWAUKEE WI 532019919

SYDNEY C CHARNEY ESTATE
ETAL
PO BOX 2980
MILWAUKEE WI 53201

GEORGE KASHOU COMPANY
2169 N FARWELL
MILWAUKEE WI 53202

MAGNETIC NORTH ES LLC
2163 N FARWELL AV
MILWAUKEE WI 53202

PIERCE MILWAUKEE LLC
2202 N BARTLETT AVE
MILWAUKEE WI 53202

KHALID AHMED
13545 N NORTHWOOD LN UNIT
5W
MEQUON WI 530972414

PROSPECT II LLC
311 E CHICAGO AV, STE #210
MILWAUKEE WI 53202

TRUST OF MORRIS KATZ
9281 N BROADMOOR RD
MILWAUKEE WI 53217

BOARD OF REGENTS OF UW
PO BOX 413
MILWAUKEE WI 53201

KENILWORTH CONDOMINIUM
LLC
2135 N PROSPECT AVE
MILWAUKEE WI 53202

1857 E KENILWORTH LLC
757 N WATER ST STE 200
MILWAUKEE WI 532023508

MATTHEW J LINN
2327 N MURRAY AVE
MILWAUKEE WI 53202

JAMES & SUE WIECHMANN
2769 N SUMMIT AVE
MILWAUKEE WI 53211

JAMES D STRATTE
2018 E THOMAS AVE
MILWAUKEE WI 532114405

MLRB LLC
1431 E NORTH AVE
MILWAUKEE WI 53202

TIMOTHY S RASZKIEWICZ
1523 E NORTH AV
MILWAUKEE WI 53202

ALEX E SEYMOUR
1533 E NORTH AV
MILWAUKEE WI 53202

LDC-2150 PROSPECT LLC
2140 N PROSPECT AVE
MILWAUKEE WI 53202

GOLDBERG RUEHL
PROPERTIES
5205 N IRONWOOD RD, STE 201
GLENDALE WI 53217

2429 N MURRAY LLC
3610 N OAKLAND AVE
SHOREWOOD WI 53211

WISCONSIN PAPERBOARD
CORP
1514 E THOMAS AVE
MILWAUKEE WI 53211

DOWN DOG! LLC
2999 N HUMBOLDT BLVD
MILWAUKEE WI 53212

PAUL HANNA INC
1922 E THOMAS AV
MILWAUKEE WI 53211

ROBERT F ZELLMER
2945 N OAKLAND AVE
MILWAUKEE WI 532114406

FARWELL GROUP LLP
2017 E NORTH AVE
MILWAUKEE WI 53202

EDUCATORS CR UNION-
IVANHOE
1400 N NEWMAN RD
RACINE WI 53406

GEORGE PANAGIOTOPOLOUS
2214 N FARWELL AV
MILWAUKEE WI 53202

ROBERT C SCHMIDT, JR
1122 N EDISON ST
MILWAUKEE WI 53202





Legislation Details (With Text)

File #: 061018 **Version:** 1

Type: Resolution **Status:** In Committee

File created: 11/14/2006 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Substitute resolution relating to the sale of surplus property at 1136-46 East North Avenue to 1150 North, LLC for mixed-use development, in the 3rd Aldermanic District.

Sponsors: ALD. KOVAC

Indexes: PROPERTY SALES, SURPLUS PROPERTY

Attachments: Fiscal Impact Statement, Land Disposition Report

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|----------------|-------------|--------|-------|
| 11/14/2006 | 0 | COMMON COUNCIL | ASSIGNED TO | | |

Number

061018

Version

SUBSTITUTE 1

Reference

031163

Sponsor

ALD. KOVAC

Title

Substitute resolution relating to the sale of surplus property at 1136-46 East North Avenue to 1150 North, LLC for mixed-use development, in the 3rd Aldermanic District.

Analysis

This substitute resolution authorizes the sale of City-owned Development Property according to the conditions in a Land Disposition Report pursuant to Section 304-49-5 and 304-49-7, Milwaukee Code of Ordinances.

Body

Whereas, By adoption of File No. 031163, the Common Council of the City of Milwaukee declared the City Ward Yard at 1136-46 East North Avenue surplus to municipal needs and authorized a six-month Option to Purchase with Readco, LLC ("Readco") to purchase and redevelop the property; and

Whereas, Readco did not acquire the property as outlined in File No. 031163 due to market conditions and the demands of developing a UW-Milwaukee dormitory on its adjacent property, but continued to work on a development proposal for the site; and

Whereas, Readco has formed a new limited liability company, 1150 North, LLC ("Developer"), and has submitted new plans to assemble the City Ward Yard property with its adjacent properties at 1132 and 1164 East North Avenue to develop a market rate apartment building with a ground-floor retail component as summarized in a Land Disposition Report ("LDR"), a copy of which is attached to this Common Council File; and

Whereas, Section 304-49-5 of the Milwaukee Code of Ordinances allows the City to sell Development Property with Common Council approval, and Section 304-49-7 allows the City, with Common Council approval, to sell City lands to designated persons for adequate fair market consideration, which includes monetary and non-monetary consideration; now,

therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the Department of City Development ("DCD"), in consultation with the City Attorney's Office, is authorized to negotiate and enter into a Purchase and Sale Agreement with the Developer and to convey said property to the Developer for the project, consistent with the LDR, which LDR and transaction reflect the fair compensation to the City in terms of the purchase price and investment in the neighborhood, and that assemblage of the City property with the adjacent properties results in a better development than if the City Ward Yard was sold independently; and, be it

Further Resolved, That the Commissioner of DCD, or designee, is authorized to execute the Purchase and Sale Agreement, deed and all needed closing documents, including any needed easements and/or releases of deed restrictions; and, be it

Further Resolved, That the proceeds from the sale, less closing expenses and a 30 percent disposition cost reimbursement to the Redevelopment Authority of the City of Milwaukee, shall be deposited in the City of Milwaukee's General Fund.

Drafter

DCD:MFH:mfh

11/16/11



City of Milwaukee Fiscal Impact Statement

| | | | | | | |
|----------|----------------|---|--------------------|--------|---|--|
| A | Date | 11/16/2011 | File Number | 061018 | <input checked="" type="checkbox"/> Original | <input type="checkbox"/> Substitute |
| | Subject | Substitute resolution relating to the sale of surplus property at 1136-46 East North Avenue to 1150 North, LLC for mixed-use development, in the 3rd Aldermanic District. | | | | |

| | | |
|----------|---|---|
| B | Submitted By (Name/Title/Dept./Ext.) | Rocky Marcoux, Commissioner, DCD, x5800 |
|----------|---|---|

| | | |
|----------|------------------|---|
| C | This File | <input type="checkbox"/> Increases or decreases previously authorized expenditures. <input type="checkbox"/> Suspends expenditure authority. <input type="checkbox"/> Increases or decreases city services. <input type="checkbox"/> Authorizes a department to administer a program affecting the city's fiscal liability. <input checked="" type="checkbox"/> Increases or decreases revenue. <input type="checkbox"/> Requests an amendment to the salary or positions ordinance. <input type="checkbox"/> Authorizes borrowing and related debt service. <input type="checkbox"/> Authorizes contingent borrowing (authority only). <input type="checkbox"/> Authorizes the expenditure of funds not authorized in adopted City Budget. |
|----------|------------------|---|

| | | | |
|----------|------------------|--|--|
| D | Charge To | <input type="checkbox"/> Department Account <input type="checkbox"/> Capital Projects Fund <input type="checkbox"/> Debt Service <input type="checkbox"/> Other (Specify) _____ | <input type="checkbox"/> Contingent Fund <input type="checkbox"/> Special Purpose Accounts <input type="checkbox"/> Grant & Aid Accounts |
|----------|------------------|--|--|

| | Purpose | Specify Type/Use | Expenditure | Revenue |
|----------|--------------------|-------------------------------|----------------|---------------------|
| E | Salaries/Wages | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Supplies/Materials | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Equipment | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Services | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Other | Sale of surplus City property | \$0.00 | \$666,000.00 |
| | | | \$0.00 | \$0.00 |
| | TOTALS | | \$ 0.00 | \$666,000.00 |

F

Assumptions used in arriving at fiscal estimate. _____

G

For expenditures and revenues which will occur on an annual basis over several years check the appropriate box below and then list each item and dollar amount separately.

☐ 1-3 Years ☐ 3-5 Years☐ 1-3 Years ☐ 3-5 Years☐ 1-3 Years ☐ 3-5 Years**H**

List any costs not included in Sections D and E above. _____

I

Additional information.

Sale proceeds, less closing expenses and a 30 percent disposition cost reimbursement to the Redevelopment Authority of the City Milwaukee, shall be desposited in the City of Milwaukee's General Fund.

JThis Note ☐ Was requested by committee chair.

LAND DISPOSITION REPORT

COMMON COUNCIL OF THE CITY OF MILWAUKEE

DATE

November 1, 2011

RESPONSIBLE STAFF

Matthew Haessly, Real Estate Specialist, DCD

PARCEL ADDRESSES & DESCRIPTION

1136-46 East North Avenue: A former City Ward Yard previously occupied by the Department of Public Works until 1991. The property is an irregularly shaped 1.34 acre parcel with a 2,700 square-foot garage. The City property faces a development challenge due to the topography that drops rapidly from the North Avenue frontage, but rises steeply to the rear to Walworth Place. A portion of the former Ward Yard structure serves as a retaining wall. The site has minor environmental concerns that will be remediated by the Buyer, with partial funding assistance by the City to the extent of an available EDI HUD grant. The site also has geotechnical issues likely due to the proximity of the river and historic fill activities. Further, the site lacks a water connection to North Avenue.

The City's property will be assembled with the Buyer's adjoining properties at 1132 and 1164 East North Avenue to create a 1.87 acre development site. Such assemblage results in a superior development site than if the City property was developed on its own.



PROJECT HISTORY

In 2004, the Common Council declared the City Ward Yard surplus and also authorized an option to purchase with Readco and/or assigns for mixed-use development. Readco did not acquire the property as outlined in the resolution due to the change in market conditions and the demands of developing a new UW-Milwaukee dormitory on its adjacent property. The Buyer continued to work on a development proposal for the site.

In 2006, the Common Council approved the General Planned Development for the City-owned and Readco properties. A Detailed Planned Development is being considered concurrently with this real estate sale file.

BUYER

1150 North, LLC is a new limited liability company formed by Todd Davies. Other members of the LLC include Cindy and Rick Read of Readco.

Mr. Davies operates HD Development Group ("HD"), a Milwaukee-based real estate company specializing in building, marketing and managing urban and suburban multi-family and student housing projects. The company has been involved in over \$50 million of development in the last five years. HD was the site developer and UW-Milwaukee's representative for the \$28 million Riverview Residence Hall on the adjacent property.

PROPOSED DEVELOPMENT



A market-rate apartment building that will include approximately 122 units and about 1,500 square feet of retail space. The project will include 60 indoor and 62 outdoor parking spaces. The green space adjacent to the parking lot will be enhanced with bio-swales to complement storm water management practices at the site. The existing two-sided static billboard at 1164 East North Avenue will be relocated and incorporated into the building roof.

The apartment units provide a mix of 19 studio units, 80 one-bedroom units and 23 two-bedroom units. All of the units will have operable windows, nine-foot high ceilings, walk-in closets, energy star appliances, washer and dryer and will be pre-wired for cable and satellite.

The Buyer will construct a bicycle path to connect North Commerce Street to the existing bike trail. Currently, the bike trail runs along the east side of the Riverview Residence Dorm and under the North Avenue Bridge. All aspects of the development will be in accordance with the terms of the Detailed Planned Development.

The total project costs are estimated to be \$15.4 million. The Buyer also will be required to provide and extend a new water main to the project site at its sole expense. The project will be financed with conventional lending that may be backed by a U.S. Department of Housing and Urban Development ("HUD") guarantee.

SALE TERMS AND CONDITIONS

The purchase price is \$666,000, based on an appraisal obtained by the City. The Buyer will be responsible for installing a new water main, a factor considered in the City's appraisal and, environmental concerns that will be addressed by the HUD Grant. The conveyance will be on an "as is, where is" basis.

Sale proceeds, less closing expenses and a 30percent disposition cost reimbursement to the Redevelopment Authority of the City of Milwaukee, shall be deposited in the City of Milwaukee's

General Fund. Closing contingencies include DCD approval of final construction plans that are consistent with the Detailed Planned Development (including the bicycle path connection from Commerce Street to the bike trail) and evidence of firm financing. The Buyer will execute a Purchase and Sale Agreement that will contain reversion of title provisions for non-performance and submission of a \$10,000 performance deposit to be held until satisfactory completion of the project.

NOTICES SENT TO FOR FILE : 061018

[illegible]



Legislation Details (With Text)

File #: 071364 **Version:** 1

Type: Ordinance **Status:** In Committee

File created: 1/15/2008 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Substitute ordinance relating to a change in zoning from General Planned Development to Detailed Planned Development, Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue to permit residential, commercial and retail development, in the 3rd Aldermanic District.

Sponsors: THE CHAIR

Indexes: PLANNED UNIT DEVELOPMENTS, ZONING, ZONING DISTRICT 03

Attachments: Proposed Substitute A, Exhibit A as of 10-25-11, Exhibit A Continued as of 10-25-11, Proposed Zoning Change Map, Affidavit for Zoning Change, City Plan Commission Letter, PowerPoint

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|---|----------------------|--------|-------|
| 1/15/2008 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 1/17/2008 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | REFERRED TO | | |
| 3/13/2008 | 1 | CITY CLERK | DRAFT SUBMITTED | | |
| 3/19/2008 | 1 | CITY CLERK | PUBLISHED | | |
| 9/19/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 10/10/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 11/7/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 11/15/2011 | 1 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/15/2011 | 1 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |

Number
071364
Version
SUBSTITUTE 1
Reference

Sponsor
THE CHAIR

Title
Substitute ordinance relating to a change in zoning from General Planned Development to Detailed Planned Development, Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue to permit residential, commercial and retail development, in the 3rd Aldermanic District.

Analysis
This substitute ordinance will permit residential, commercial and retail development along East North Avenue.

Body
The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as

follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2)(c).0124.

(1) In accordance with the provisions of Section 295-907 of the Code relating to the establishment of planned development districts, the Common Council approves the subject Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for the area described and bounded by:

Parcel A: Lots 1, 2, 3, 4, 5, 6 and 7, in Block 2 in Mariner's Subdivision of a part of Lot 18, in the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, City of Milwaukee, County of Milwaukee, State of Wisconsin. Also all that part of Lot 18, in Section 16, Town 7 North, Range 22 East, City of Milwaukee, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at a point in the north line of said Lot 18, 128.63 feet West of a point where the northwesterly line of right-of-way of Chicago, Milwaukee, St. Paul & Pacific Railroad crosses said north line; running thence West along said north line, 30 feet to a point; thence South 123.40 feet to a point; thence East 30 feet to a point; thence North 123.40 feet to the place of beginning. Except that part taken for street purposes.

Note: Tax Key No. 320-0927-111-1

Address: 2362 North Stanley Place

Parcel B: A non-exclusive easement for the benefit of Parcel A as set forth in Easement Agreement, dated March 25, 1966, and recorded April 4, 1966, on Reel 301, Image 1269 as Document No. 4246699.

Parcel C: Lots 1 to 8, inclusive, and Lots 28 to 30, except the South 2 feet thereof, inclusive, in Block 1, in Walworth's Subdivision of Lot 17 in the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

Note: Tax Key No. 320-1401-110-1

Address: 1136-1146 East North Avenue

Parcel D: All that part of the former CMC Heartland Partners' right-of-way, running through and across Lots 17, 18, 19 and 20 plus 31 feet, more or less, North adjoining Lot 20, as originally platted in the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, more particularly described as follows: Commencing at a point on the westerly line of said right-of-way, said point being a distance of 37.00 feet, more or less, Northerly of the south line of said Lot 17; thence Northeasterly along said westerly right-of-way line, a distance of 1370 feet, more or less, to a point, also being the centerline of East Wright Street; thence Easterly along the centerline of East Wright Street, a distance of 134 feet, more or less, to a point; thence Southeasterly, along the easterly line of said right-of-way; a distance of 31 feet, more or less, to a point; thence Westerly a distance of 5 feet, more or less, to a point; thence Southeasterly, along the easterly line of said right-of-way a distance of 295 feet, more or less, to a point; thence Westerly a distance of 30 feet, more or less, along the southerly line of said Lot 20, to a point; thence Southeasterly along said easterly right-of-way line to a point 37 feet, more or less, Northerly of the south line of said Lot 17; thence Westerly a distance of 100 feet, more or less, to the point of commencement.

Note: Tax Key No. 320-0927-112-X

Address: 1164 East North Avenue

Parcel E: All that part of Lot 17 in Section 16, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which lies between the Milwaukee River on the East and the east line of the former Chicago, Milwaukee, St. Paul & Pacific Railroad right-of-way on the West, except those parts thereof described in Quit Claim Deed recorded on December 22, 1919, in Volume 806 of Deeds on Page 628 as Document No. 1013370, and in Quit Claim Deed recorded on November 4, 1991, on Reel 2644, Image 1053, as Document No. 658753, and the East 1.33 acres of Lot 18 in the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

Also described as Lots 17 and 18 or government lots, except streets, all East of right-of-way in the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, from General Planned Development (GPD) to Detailed Planned Development (DPD).

(3) The requirements set forth in said detailed plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such detailed plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the detailed plan to all conditions and limitations set forth in such detailed plan.

Part 2. Any persons, firm, company or corporation owning, controlling, or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Drafter

DCD:VLK:vlk

03/13/08

..Number
071364
..Version
PROPOSED SUBSTITUTE A
..Reference
051671, 110586
..Sponsor
THE CHAIR
..Title

A substitute ordinance relating to a change in zoning from General Planned Development to a Detailed Planned Development, Phase II, known as ReadCo, on land located on the north side of East North Avenue and east of North Humboldt Avenue, for residential and commercial development, in the 3rd Aldermanic District.

..Analysis
This substitute ordinance will permit residential and commercial development along East North Avenue.

..Body
The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2) (c).0124.

(1) In accordance with the provisions of Section 295-907(2) of the Code relating to the establishment of planned development districts, the Common Council approves the subject Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for the properties located at 1132 East North Avenue, Tax Key No. 320-1416-100; 1136 East North Avenue, Tax Key No. 320-1693-000; and 1164 East North Avenue, Tax Key No. 320-1692-000, from General Planned Development (GPD) to a Detailed Planned Development (DPD).

(3) The requirements set forth in said detailed plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such detailed plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the detailed plan to all conditions and limitations set forth in such detailed plan.

Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any

court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

..Drafter

DCD:VLK:kdc

09/12/11



September 6, 2011

1150 NORTH

DETAILED PLAN DEVELOPMENT SUBMITTAL

SUBMITTAL MATERIALS;

Project Description and Owners Statement

Vicinity Map

Plat of Survey

Site Plan

Site Grading Plan

Utility Plan

Landscape Plan

Building Elevations

Pictures of Site and Surrounding Context

OVERVIEW OF DETAILED PLAN AND SUPPORTING MATERIALS

HD Development is seeking approval of the enclosed Detailed Plan Development that addresses the redevelopment of 3 adjacent parcels located at the northwest corner of North Avenue and Commerce Street. The parcels will be combined into a single parcel for the purpose of developing a \$15.4MM project consisting of 122 residential apartment units, 2,000 square feet of ground floor commercial /retail space, enclosed indoor parking for 60-62 cars, and an outdoor surface parking lot for 55-60 cars. The subject parcels are as follows;

- 1132 East North Ave. is owned by Stanley Place Investments LLC (Rick Read).
- 1136 East North Ave. is owned by the City of Milwaukee.
- 1164 East North Ave. is owned by Readco Inc. (Rick, Cindy, and Cathy Read).

On August 2, 2011, Alderman Kovac hosted a neighborhood meeting during which HD Development Group presented 1150 NORTH to Riverwest Residents. A majority of the attendees were in favor of the project as presented. With that being the case, this Detailed Plan Development is being submitted for approval by the City of Milwaukee Common Council.

PLAT OF SURVEY

This site is subject to a previously approved General Development Plan dated June 4, 2006 that is being revised concurrent with this submittal. A Design Survey Map, Sigma Group dated 5/20/2010, illustrates the development site. The existing retaining wall will remain. The existing storage garage has no redevelopment potential and will be raised. Existing vegetation along the north and western boundaries will be retained per a mutually agreeable plan between the Walworth Street neighbors and the developer. The Walworth Street neighbors have agree to selectively grub and restore the hillside area

between the Walworth Street sidewalk and the existing retaining wall. Currently the site is a Brownfield as a result of prior historic land uses and the unexpected stockpiling of contaminated spoils from utility trenching operations related to the extension of Commerce Street. DNR approval of a Remedial Action and Soils Management Plan has been obtained. The plan calls for contaminated soils to be redistributed and capped on site.

LANDSCAPING

The landscape plan envisions the preservation of existing landscaping along the north and western boundaries of the site, a new landscape barrier along the western property line between the proposed building and existing residence, and the incorporation of bio swales for storm water retention. The landscape plan will conform with City of Milwaukee Landscape standards.

OWNERS STATEMENT OF INTENT AND PROJECT DESCRIPTION

The site is located at the northwest corner of the intersection of East North Ave and North Commerce St. The existing topography of the site is fairly flat except for sloping conditions along the western and northern boundary. Additionally, there is an existing retaining wall along the northern boundary and an existing garage structure on western boundary. It has been determined that the existing garage has no rehab potential and as such will be demolished except for the western and north walls that are an extension of the previously mentioned retaining walls. The existing retaining walls will remain in place. The existing vegetation along the western and northern boundary will remain mostly intact, except for selective removal of invasive plant species, removal of the existing cyclone fence, and the addition of a handrail to the top of the existing retaining walls. Additional landscaping will be added between the proposed building and the existing residence to the west. The landscaping is intended to visually obstruct views between the properties.

1150 NORTH will consist of 1 'L' shaped 4 story building (four stories of residential over one partially exposed story of parking and resident amenity space) located at the northwest corner of East North Ave. and North Commerce Street. The building will be located so as to form an urban edge along the North Ave. and Commerce Street frontage. There will be an approximately 10' setback from the sidewalk along North Ave within which landscaping will be located. There will be an approximately 30' setback from Commerce Street within which landscaping and an outdoor patio and potential bocce ball court for residents will be located. An approximately 6'-0" high ornamental aluminum fence will surround the patio and bocce area, separating and securing it from the street. The main building entrance will front onto North Ave in a location that is in close proximity to the North and Commerce Intersection. A secondary resident entrance will be located on the north side of the building. Due to the existing topography, the secondary entrance on the north side of the building will be located one story above the main entrance on North Ave. Indoor parking will be accessed from Commerce Street on the north end of the building. Additional resident outdoor surface parking will be located on the north side of the

building. This area will be landscaped in a manner that is consistent with the rest of the building. The grade differential between the courtyard parking area on the north side of the building and Commerce Street is addressed by a new retaining wall positioned between the proposed building and the existing retaining wall. A connecting roadway between the courtyard parking area on the north side of the building and Commerce St. maybe added at a later date should the grade differential prove to be less than anticipated.

The lowest level of the building, the Ground Floor, consists 60-62 indoor parking spaces, the main entrance and lobby area, and, initially, a resident amenity space with an adjoining outdoor patio area. In the future the ground floor resident amenity space may be changed to a retail/commercial use should market conditions change and a demand for commercial/retail uses becomes feasible. Possible uses include the following as defined by the Milwaukee Code of Ordinances; general office, general retail, personal service, business service, dry cleaning, restaurant; sit down / fast food / carry out, health club, temporary real estate office.

The 1st floor will consist of a secondary resident entrance/pick-up and drop-off area, a fitness studio, business center, resident storage, and residential apartments. The 2nd through 4th floor consists of resident storage and residential units. The unit mix will consist of studios, 1 bedroom, and 2 bedroom apartments.

The building height be a maximum of 60' + roof elements.

The site is environmentally impacted due to historic prior uses and the current possibly impacted stockpile of soil located on the site. These findings have been confirmed through environmental phase 1 and phase 2 testing. DNR approval of Soils Management and Remedial Action Plan has been obtained. Contaminated soil will be redistributed and capped on site during the development process.

Currently there is a pylon billboard sign on site. The location of this sign is in conflict with the location of the proposed apartment building. The existing pylon billboard sign is two sided with each sign panel being approximately 15' x 35'. The sign panels face in the east direction and the west direction. The pylon billboard sign is owned by Clear Channel Outdoor and is governed by a lease that expires in 2023. Clear Channel has agreed to replace the existing static pylon mounted billboard sign with a digital sign mounted on the roof of the building along with a solar panel array intended to provide electric power for the sign. The digital sign will be 2-sided with the sign panels facing in the east and west direction. The height from grade to the top of the sign will be 70'-0". The building will be designed to incorporate a two-sided digital automatic changeable message machine located on the building rooftop on a specially designed "blade" that protrudes from the face and roof of the building (see plans).

The message on the automatic changeable message machine will be allowed to cycle at a rate of one message every 30 seconds. The cycle rate on other similar automatic changeable message machines in the City of Milwaukee is eight seconds. Six months after the automatic changeable message machines are operational, the applicant may seek a minor modification, per Section 295-907-i, to change the frequency from 30 seconds to eight seconds.

The billboard sign will also meet lighting standards consistent with Milwaukee Code Section 295-407-d-5 & d-6 as follows;

d-5-a. Nuisance light on residential properties shall be prohibited pursuant to s. 80-19. Spill light shall be considered a nuisance when measurement in the nearest habitable area of the residential property at the location where the alleged nuisance occurs reveals that such light produces 0.2 foot candles or more measured perpendicular to the ground at approximately 4 feet from the ground or floor surface at which the measurement is taken. For purposes of this paragraph, spill light shall mean any artificial light flowing onto an adjacent residential property.

d-5-b. A permit holder may appeal the commissioner's order to abate a nuisance order issued pursuant to s. 80-8 by submitting an appeal to the administrative review appeals board as provided by s. 320-11 no later than 30 days after the order is imposed.

d-6. The commissioner of neighborhood services may enforce a light standard of 5,000 NITs (candelas per square meter) during daylight hours, and 500 NITs (candelas per square meter) between dusk to dawn

Milwaukee Code Section 295-407-4(d-7) and 295-407-4(d-8) shall also apply:

d-7. If the commissioner of public works finds that an off-premise electronic automatic changeable message sign is causing interference with traffic signals or controls, creates a confusing or dominating background which might reduce the clarity or effectiveness of a traffic control device, or otherwise obstructs a motorist's line of sight with traffic signals or controls, the commissioner shall order the sign be turned off, and the commissioner shall meet with the permit holder within 48 hours to determine action to rectify the operation of the sign so as to mitigate the interference. The permit holder may appeal the commissioner's order by submitting an appeal to the administrative review appeals board as provided by s. 320-11 no later than 30 days after the order is imposed.

d-8. The continuing operation of a malfunctioning sign that causes a glare shall be considered an acute traffic hazard. The commissioner of public works shall order the sign be turned off and the commissioner shall meet with the permit holder within 48 hours to determine action to rectify the operation of the sign so as to mitigate the hazard.”

There will also be signage related to future commercial/retail uses on the ground floor of the building facing North Avenue and Commerce Street. I am attaching an example of the signage guidelines we will

use for this building. The signs can be either a blade or flat panel sign located over the storefront windows of the commercial spaces. RLM fixtures as indicated in the guidelines will illuminate the signs.

PROJECT STATISTICS

Gross Land Area; 1.87 acres, 81,457 SF

Maximum amount of land covered by principal building; 24,900 SF, .57 acres, 30%

Maximum amount of land devoted to surface parking and drives; 23,100 SF, .53 acres, 28%

Maximum amount of land devoted to landscaped open area; 33,600 SF, .77 acres, 42%

Maximum dwelling unit density; 57.1 units/acre

Proposed number of buildings; 1 building

Maximum number of dwelling units per building; 122 units

Bedrooms per unit; 23 two bedroom units, 80 one bedroom units, 19 studio units – average 1.19 bedrooms/unit

Parking spaces; 115 -122 total spaces, 60-62 indoor spaces, 55-60 outdoor spaces.

COMPLIANCE WITH STANDARDS

The proposed DPD development complies with, or varies from, the standards prescribed by section 295-907 of the Milwaukee Code of Ordinances in the following respects:

1. Principal facades will have landscaping and streetscape treatments designed to enhance the pedestrian experience.
2. Screening (295-907 3. F.) Urban Landscape treatment will be used as a landscape buffer along all streets. New landscaping shall conform to City of Milwaukee requirements. Screening of circulation facilities will be type A landscaping (standard parking lot landscaping), type B landscaping (standard hard urban edge landscaping), and type C landscaping (modified hard urban edge landscaping conforming to section 295-405.1. Facilities such as mechanical equipment or enclosures will be screened per section 295.405.1.b-7, Type G landscaping (object screening). Fencing and walls shall be in accordance with table 295-405.1-c, fence/wall and landscaping requirements for landscape types, and section 295-405.1.ccc-5.
3. Open Spaces (295.907.3.g). Open spaces will include facilities for pedestrian circulation, including paved paths and seating areas; landscaped and garden areas with walls and fencing. Landscaping and screening open spaces will be maintained so as not to create a nuisance or hazardous condition.
4. Circulation Facilities (295-907.3.h). The general location of circulation facilities, including pedestrian and vehicle access and egress, as well as drop-off and loading facilities, are identified on the plans. Loading facilities shall be located near the facilities they support and will be adequately screened.
5. Landscaping (295-907.3.i). Site landscaping standards will conform to section 295-405, Milwaukee Code of Ordinances, and will be of a quality consistent with the standards of the American Association of Nurseryman (ANSI 260.1). Landscaping shall meet the requirements of section 295-405.1.c, for planting materials, fencing, and walls. Landscape features may encroach into the public right-of-way, with city approval, in accordance with section 295-405.1.c.8.

6. Lighting (295-907.3.j). New building lighting will conform to the illuminating Engineering Society Standards and City of Milwaukee Ordinances. All exterior lighting shall be shielded so as not to cause glare on adjoining streets and residences.
7. Utilities (295-907.3.k). All new utility lines will be installed underground. New transformers and substations will be installed within buildings or otherwise screened from view.
8. Signs (295-907.3.l). New signs will be developed in accordance with the specific requirements of section 295-605-5, Milwaukee Code of Ordinances, and other requirements of the City of Milwaukee Ordinances.
9. Survey (295-907). The ALTA/ASCM Land Title Survey shows topography at 1 foot intervals.
10. Minor Modifications. Section 295-907.2.i of the Milwaukee Code of Ordinances provides that minor modifications to the general and detailed plans may be allowed, provided that such minor modifications do not result in certain changes to the plan relating to it's general character, or such things as land coverage of buildings and parking areas. No modifications will be undertaken that would be regulated by section 295-907.2.i-1 through 7, without submittal or revised plan. Minor improvements of the site may be allowed without submittal and approval if sufficient detail is shown on the approved DPD.

Prepared by Todd Davies
HD Development LLC

FN 071364
EXHIBIT A-CONTINUED
AS OF 10.25.11



RENDERING PERSPECTIVE - NORTH AVE FROM THE SOUTHWEST

1150 NORTH

MILWAUKEE, WI

ZAS Project # 005539 | Date Issued 10/25/2011

zimmerman
ARCHITECTURAL STUDIOS, INC.

1150 N. North Ave., Suite 100 | Milwaukee, WI 53212 | 414.224.0000



REDgraphx © 2011

RENDERING PERSPECTIVE - NORTH AVE FROM THE SOUTHEAST

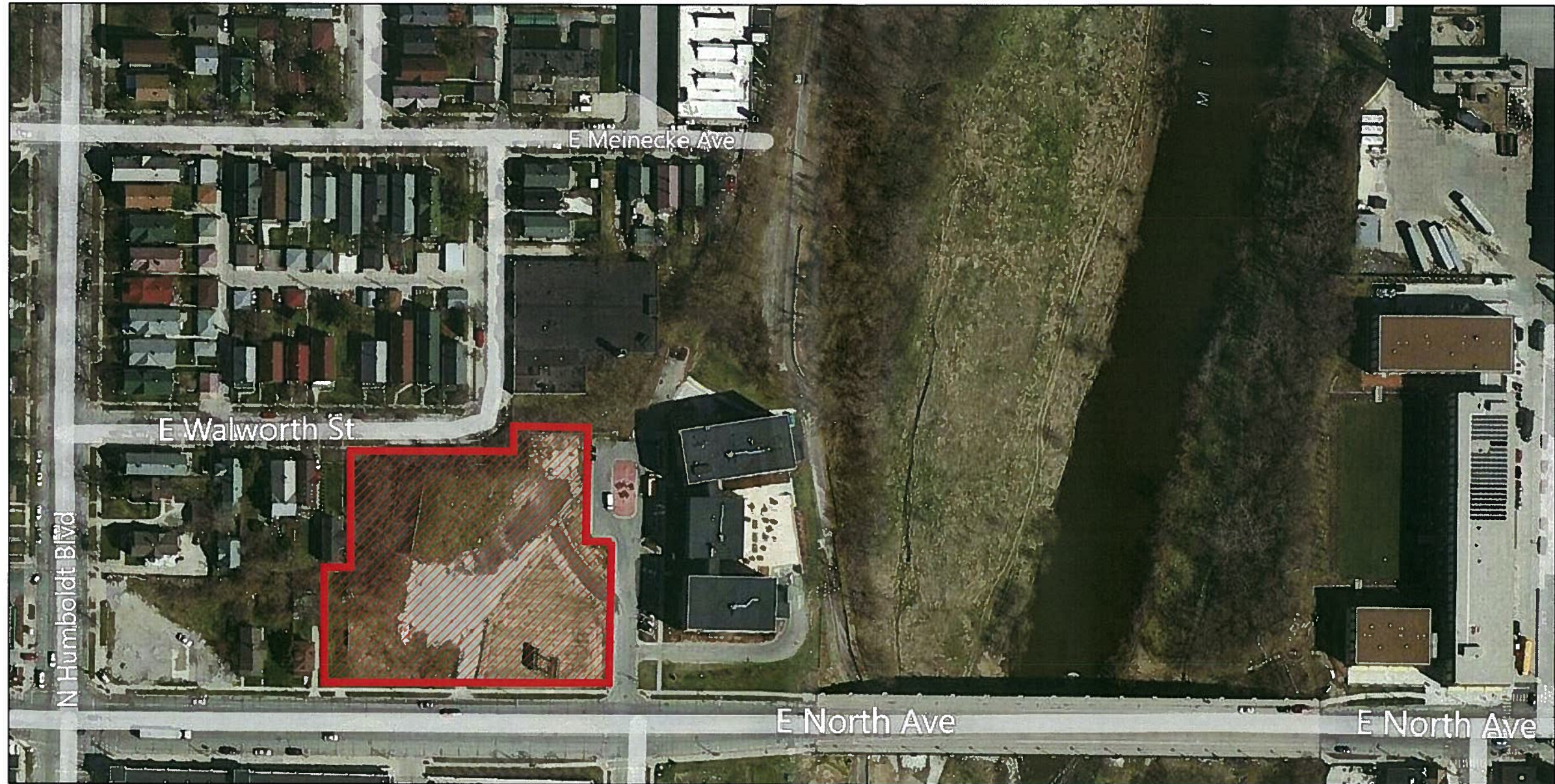
1150 NORTH

MILWAUKEE, WI

ZAS Project # 005535 / Date Issued 10/25/2011

zimmerman
ARCHITECTURAL STUDIOS, INC.

3100 N. Main Street, Suite 100, Milwaukee, WI 53212 | Tel: 414.381.1111 | Fax: 414.381.1112 | zimmermanstudios.com



LEGAL DESCRIPTION
All of Lots 2 and 3 of Certified Survey Map No. 7980, recorded on October 8, 2007, as Document No. 9505405, and Lot 27 in Block 1 of Walworth's Subdivision, except the South 2', all in the Southwest 1/4 of the Southeast 1/4 of Section 16, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

- LEGEND
- SECTION 1/4 SECTION LINE
PROPERTY LINE
EASEMENT
FENCE
TREE LINE
OH OH OVERHEAD UTILITY LINE
E E ELECTRIC
T T TELEPHONE
FO FO FIBER OPTIC
CIV CIV CABLE TV
S S SANITARY SEWER
FM FM FORCE MAIN
ST ST STORM SEWER
W W WATER MAIN
G GAS
- EXISTING CONTOUR
- MANHOLE
CATCH BASIN
SEPTIC VENT
HYDRANT
VALVE
POWER POLE
GUY WIRE
GUY POLE
GAS/ELECTRIC METER
UTILITY PEDESTAL
TRAFFIC SIGNAL
PULL BOX
UTILITY POLE
COMMUNICATION POLE
LIGHT POLE
MONITORING WELL
SOIL BORING
- IRON PIPE FOUND/SET
REBAR FOUND/SET
CHISELED CROSS FOUND/SET
PK NAIL FOUND/SET
SPIKE/NAIL
MONUMENT
ROW MARKER
BENCHMARK
AIR CONDITIONER
SIGN
POST
MAILBOX
FLAG POLE
DECIDUOUS TREE
CONIFEROUS TREE
BUSH
- ± 67.83 EXISTING SPOT ELEV.
(N 0°0'0" E) RECORD DIMENSION

STM MH #1
RM EL. = 642.41
60" CONC N-S = 633.09
10" PVC SE = 637.83

SAN MH #2
RM EL. = 643.00
8" PVC S = 631.06

STM MH #3
RM EL. = 642.89
60" CONC N-S = 632.79
10" PVC NE = 638.20

CB #4 (TO STM MH #3)
RM EL. = 642.26
10" PVC SW = 638.91

STM MH #5
RM EL. = 641.18
60" CONC N-S = 632.58
10" PVC E = 638.66
10" PVC W = NO DATA

CB #6 (TO STM MH #5)
RM EL. = 640.81
10" PVC W = 636.81

CB #7 (TO STM MH #5)
RM EL. = 641.55
10" PVC E = 638.18

CB #8
RM EL. = 643.18
10" PVC SE = 639.18

CB #9
RM EL. = 648.50
FULL

CB #10
RM EL. = 652.99
BOTTOM EL. = 650.58

STM MH #11
RM EL. = 652.68
NO DATA

CB #12 (WATER INFILTRATING
FROM N ON 5/21/10)
RM EL. = 643.01
4" PVC N = 637.81
4" PVC S = 637.57

CB #13 (TO STM MH #1)
RM EL. = 642.38
10" PVC NW = 638.48

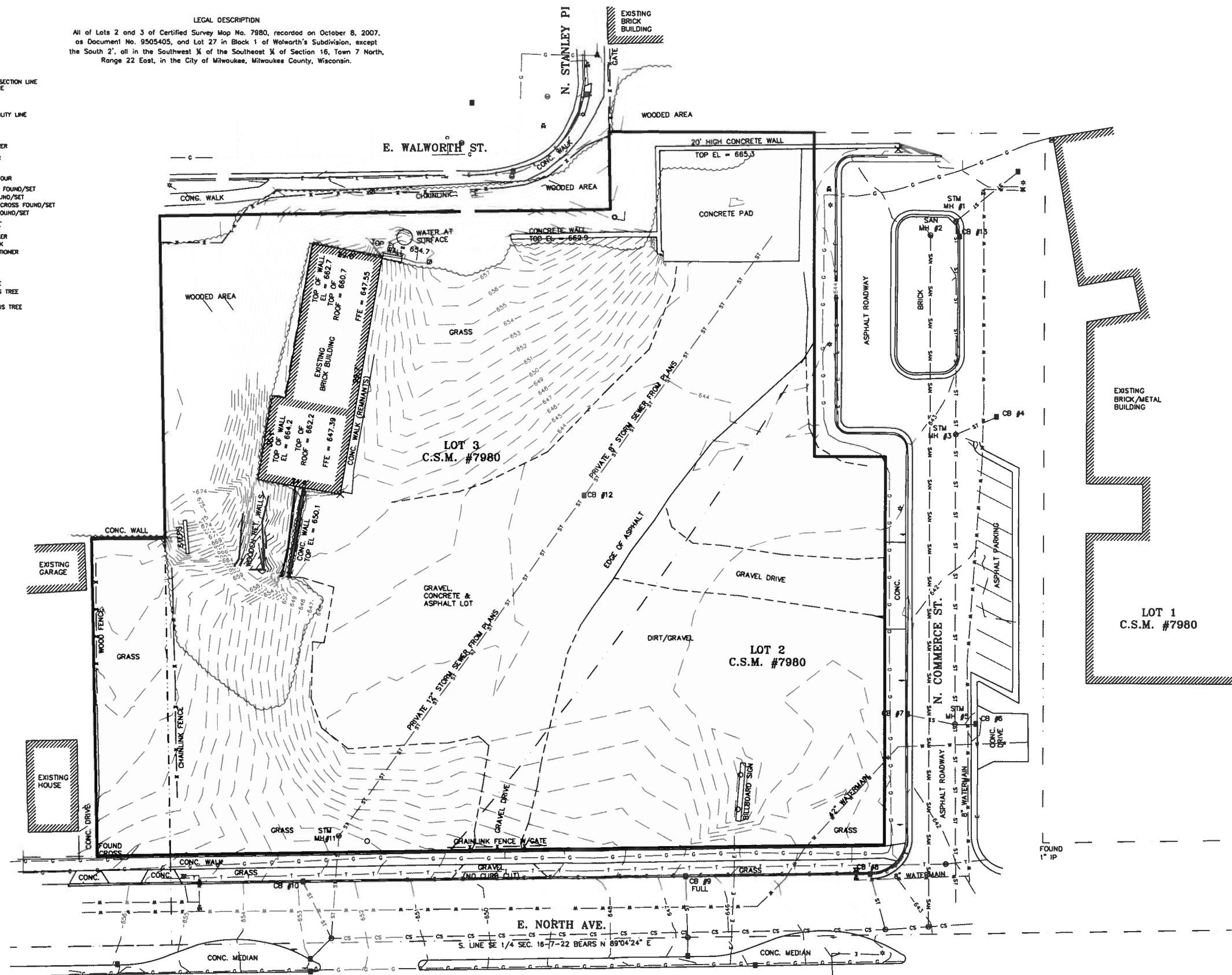
CB #14 (TO STM MH #1)
RM EL. = 641.38
10" PVC SW = 637.91

NOTES

1) VERTICAL DATUM IS NGVD 1929 WITH THE ELEVATION OF THE CONCRETE MONUMENT WITH BRASS CAP AT THE SW COR. SE 1/4 SEC.16-7-22 PUBLISHED AS 860.38 BY SEWRPC.

2) DATES OF SURVEY MAY 18 - 20, 2010.

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA OBTAINED DURING THIS SURVEY, INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



THE SIGMA GROUP
Single Source. Total Solution.
www.thesignagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

HD DEVELOPMENT
1132-1164 E. NORTH AVENUE
MILWAUKEE, WISCONSIN

DESIGN SURVEY

1) ADDED TOP OF WALL
ELEVATIONS 11-16-10. B.M.R.
NO. REVISION DATE BY

0 20' 40'

DRAWING NO. 12053-V-030-C.dwg

DRAWN BY: B.M.R.

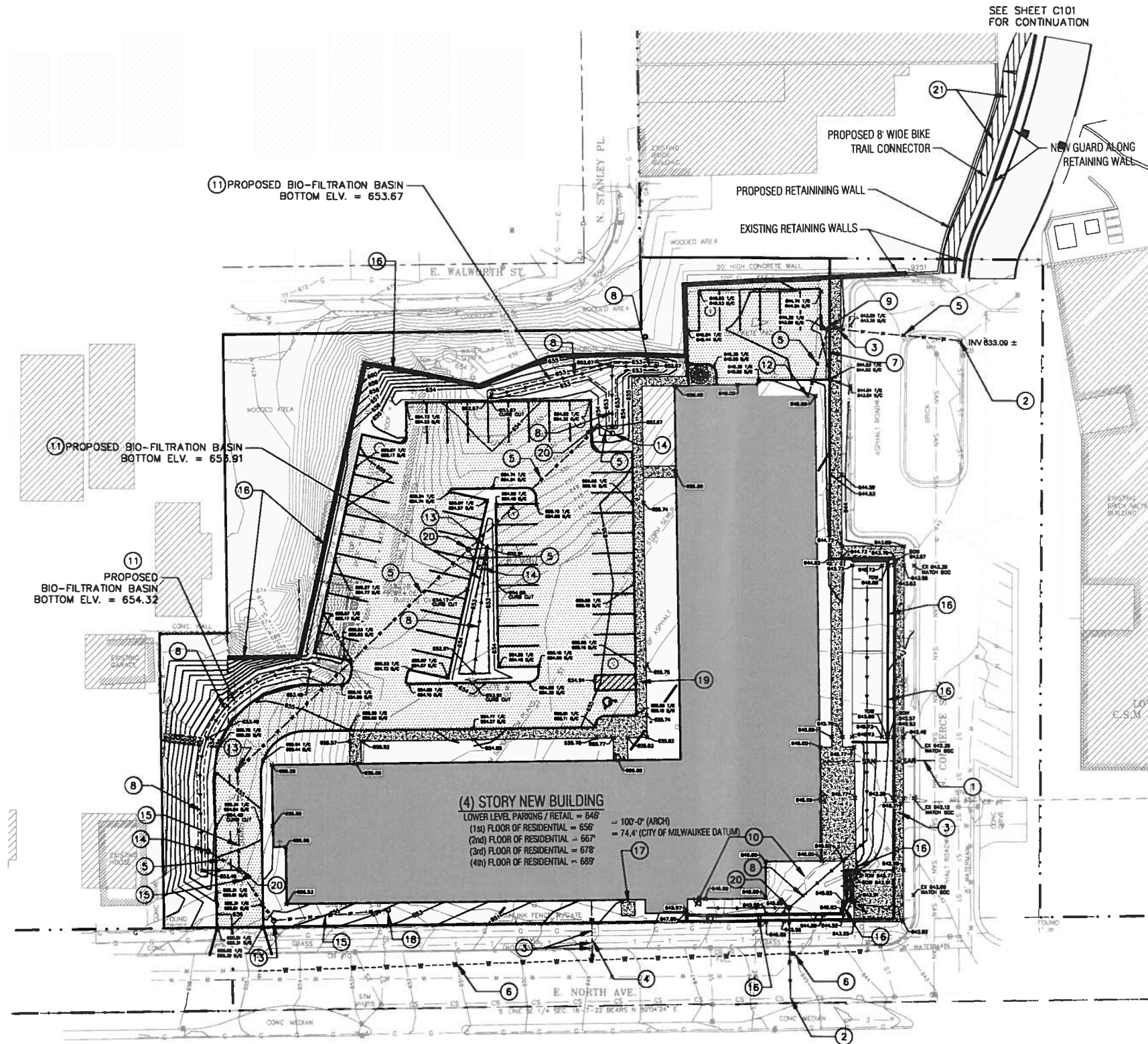
DATE: 5-20-2010

PROJECT NO: 12053

CHECKED BY:

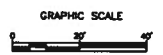
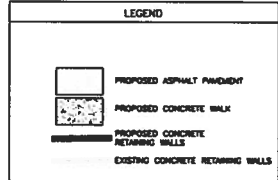
APPROVED BY:

SHEET NO.:

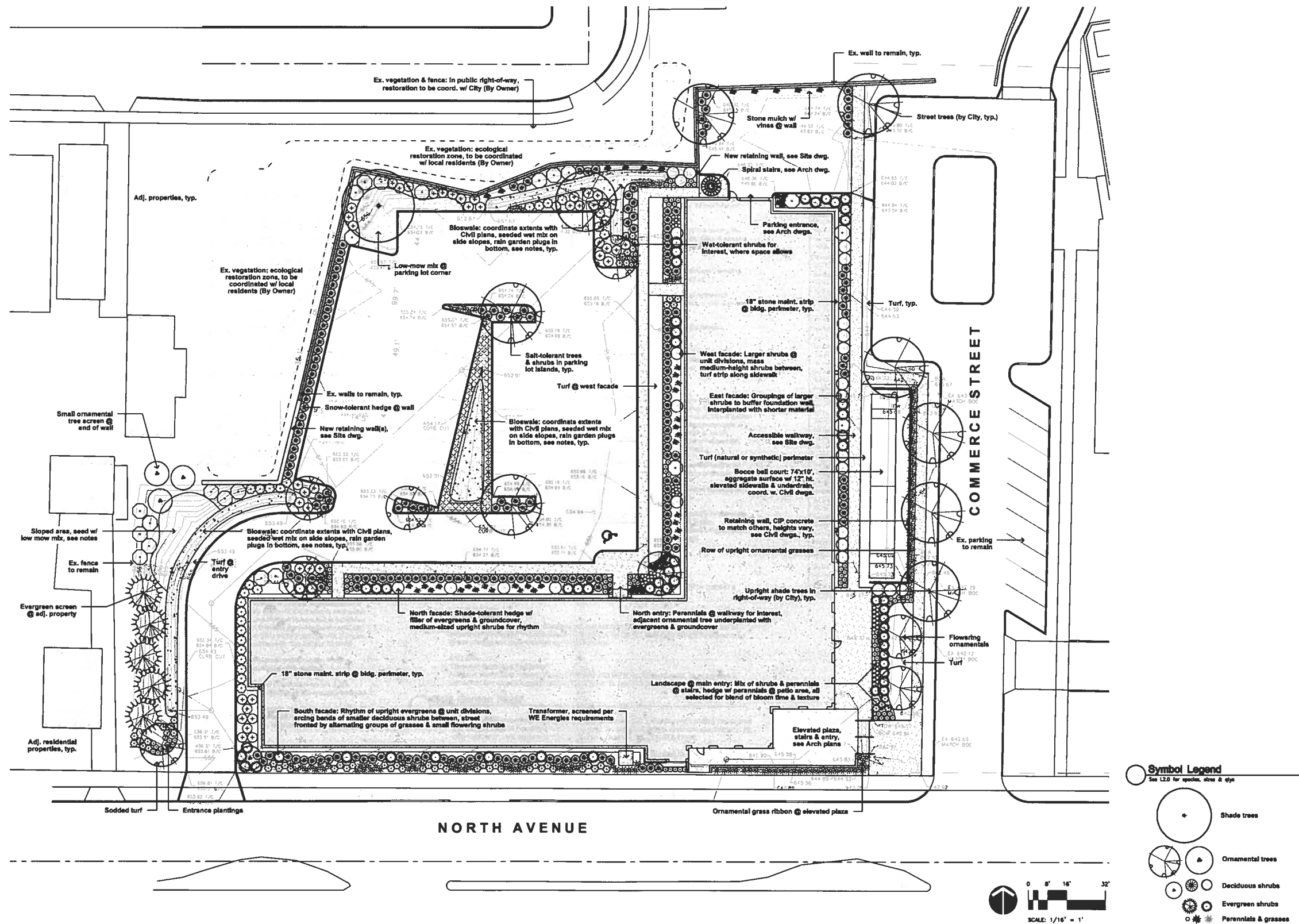


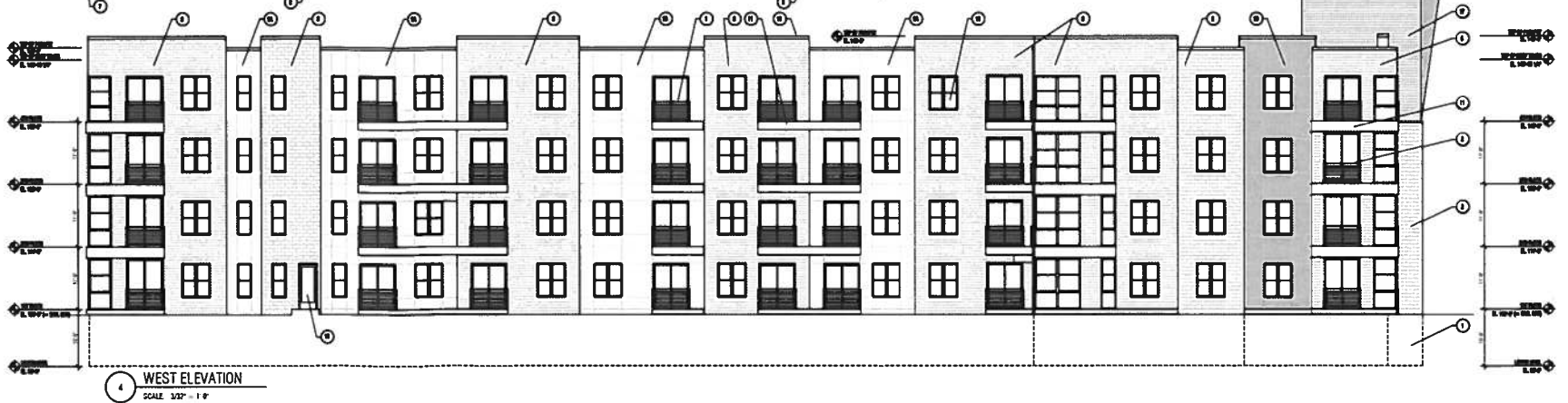
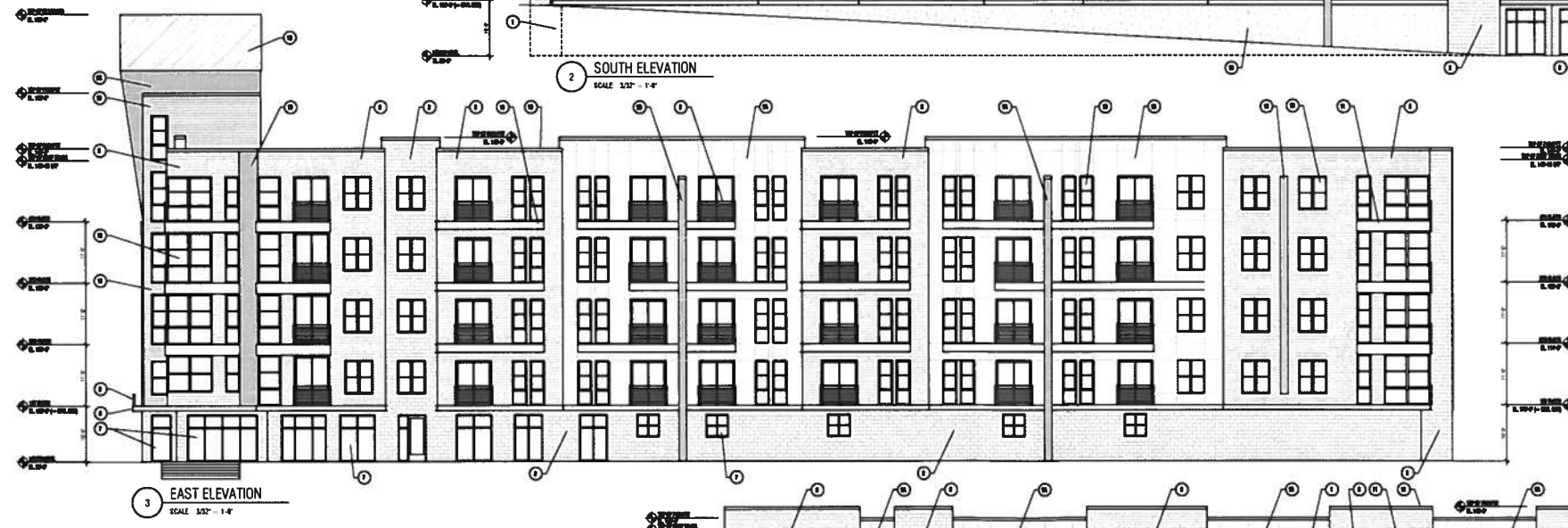
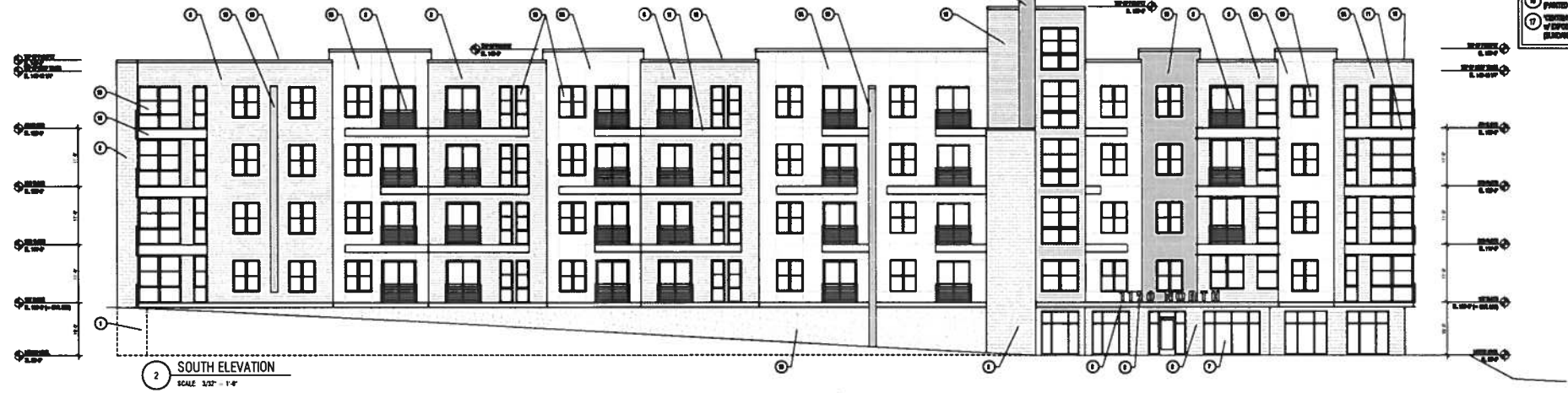
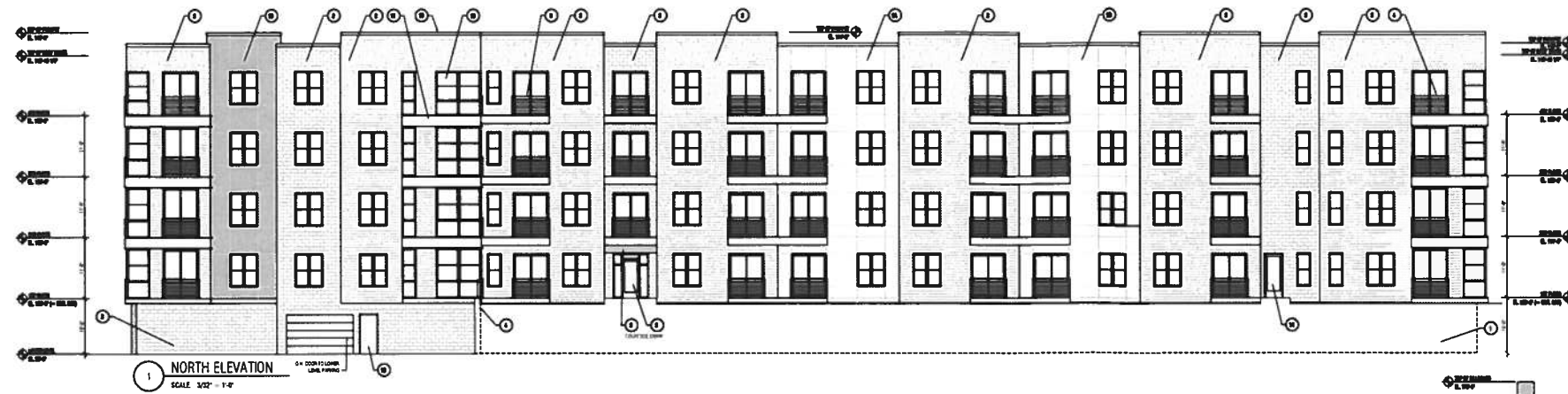
- KEYED NOTES:**
1. PROPOSED 6" PVC SANITARY SEWER LATERAL.
 2. CONNECT NEW STORM SEWER TO EXISTING STORM SEWER IN ACCORDANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
 3. CONTRACTOR TO CHECK FOR CONFLICTS WITH EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF NEW UTILITIES. REPORT ANY CONFLICTS TO ENGINEER.
 4. PROPOSED 6" DI PRIVATE COMBINED DOMESTIC/FIRE WATER SERVICE WITH GATE VALVE.
 5. PROPOSED STORM SEWER.
 6. PROPOSED 8" PUBLIC WATERMAIN.
 7. PROPOSED TRENCH DRAIN.
 8. PROPOSED PERFORATED UNDERDRAIN SYSTEM.
 9. PROPOSED STORM CURB INLET WITH SUMP.
 10. PROPOSED PERVIOUS PAVERS IN PATIO AREA.
 11. PROPOSED BIO-FILTRATION BASIN.
 12. PROPOSED BUILDING STORM DRAIN.
 13. PROPOSED STORM MANHOLE.
 14. PROPOSED STORM OVERFLOW RISER.
 15. PROPOSED 48" STORM SEWER (FOR UNDERGROUND DETENTION)
 16. RETAINING WALL.
 17. PROPOSED ELECTRICAL TRANSFORMER LOCATION.
 18. PROPOSED STORM OUTLET STRUCTURE. CONNECT TO EXISTING STORM SEWER
 19. PROPOSED ADA RAMP
 20. PROPOSED TRAPPED/SUMPED MANHOLE
 21. PROPOSED INTERIM BIKE PATH. PATH TO MATCH EXISTING GRADES. (AREA TO BE SURVEYED)

EXISTING IMPERVIOUS = 34,819 SQ. FT. (0.80 AC.)
 PROPOSED IMPERVIOUS = 74,378 SQ. FT. (1.71 AC.)

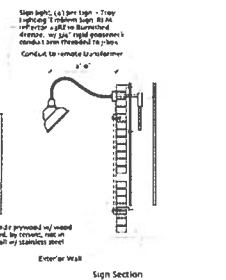


PRELIMINARY









| ELEVATION KEYNOTES | |
|--------------------|----------------------------------|
| 1 | EXPOSED CONCRETE FOUNDATION WALL |
| 2 | INTERIOR WALL LINING - 1/2\"/> |



**FN 071364 and 110586
1st Amendment to GPD and
GPD to DPD, Phase 2
November 2011**

 Proposed Zoning Change





Residential Districts

-  Single Family (RS1-6)
-  Two-Family (RT1-4)
-  Multi-Family (RM1-7)
-  Residential and Office (RO1-2)


Commercial Districts

-  Neighborhood Shopping (NS1-2)
-  Local Business (LB1-2)
-  Commercial Service (CS)
-  Regional Business (RB1-2)
-  Central Business (C9A-C9H)

Industrial Districts

-  Industrial - Office (IO)
-  Industrial - Light (IL1-2)
-  Industrial - Mixed (IM)
-  Industrial - Heavy (IH)

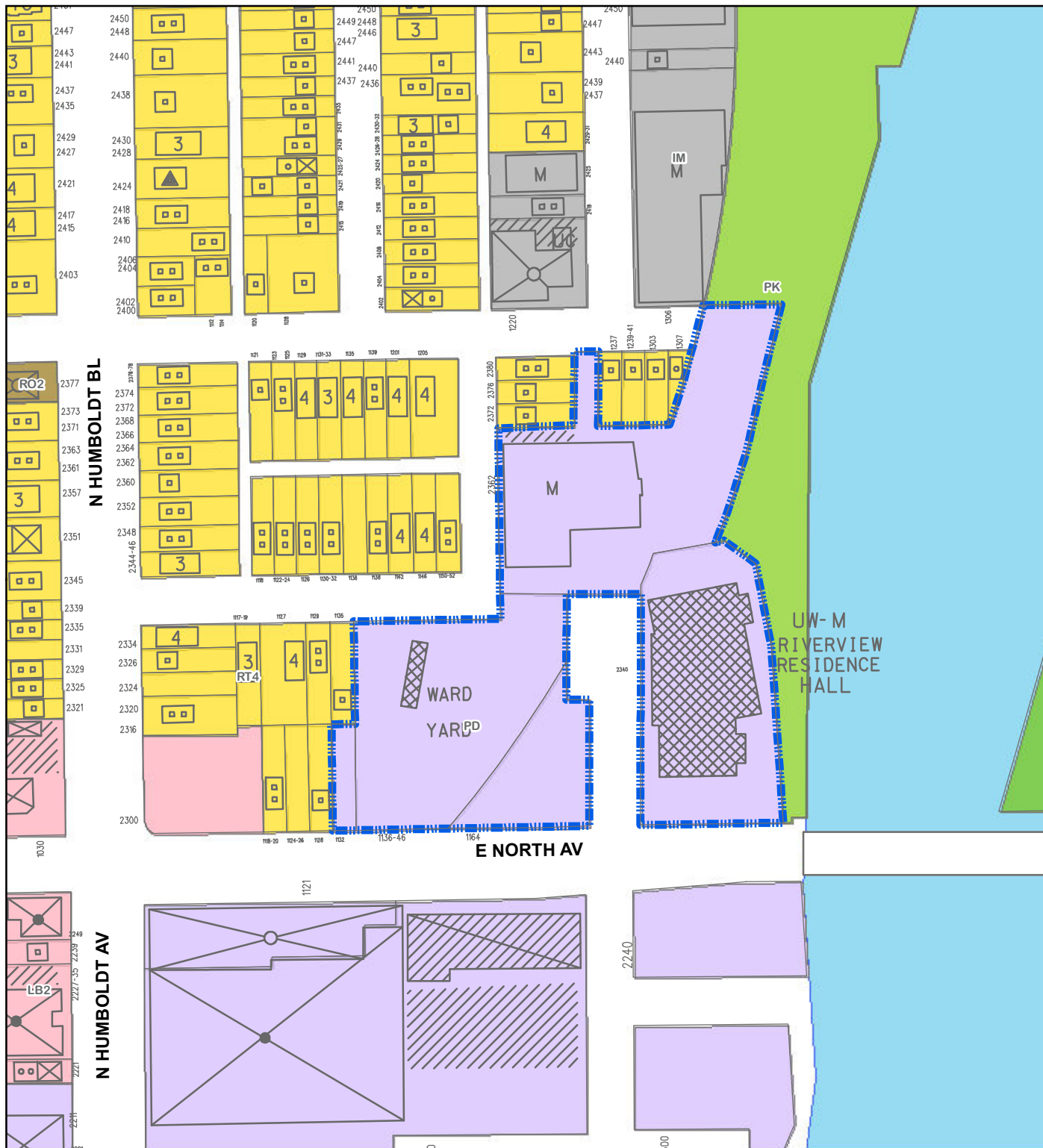
Special Districts

-  Parks (PK)
-  Institutional (TL)
-  Planned Development (PD, DPD)
-  Redevelopment (RED)



0 130 260 520 Feet

Data source: Department of City Development 2011



Address of parcel(s): 1132, 1136-1146 EAST N AVE.

Affidavit for Zoning Change

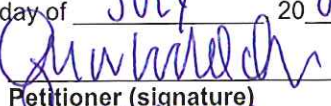
1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES ☐ NO ☒
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES ☐ NO ☒
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES ☐ NO ☒
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES ☐ NO ☒
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES ☐ NO ☒

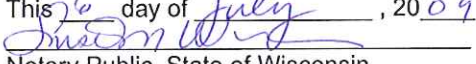
2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.

Dated at Milwaukee, Wisconsin, this 6th day of JULY 20 09.


Petitioner (signature)

TODD DAVIES, MANAGER
(print name, relationship to project)

Subscribed and sworn to before me
This 6th day of July, 20 09

Notary Public, State of Wisconsin
My commission expires: 2/11/2012



Use Only: File no. 071364

November 15, 2011

To the Honorable Members of the
Zoning, Neighborhoods and Development Committee
City of Milwaukee
City Hall, Room 205

Dear Committee Members:

File No. 071364 relates to a change in zoning from General Planned Development to Detailed Planned Development (DPD), Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue, in the 3rd Aldermanic District.

This file will permit residential and commercial development along East North Avenue. Specifically, this proposal will allow for the development of a 4-5 story, mixed-use building consisting of 122 residential apartment units, 2,000 square feet of ground floor commercial/retail space, enclosed indoor parking, and an outdoor surface parking lot. The existing freestanding billboard sign will be relocated to the roof of the building and integrated into the overall design of the building.

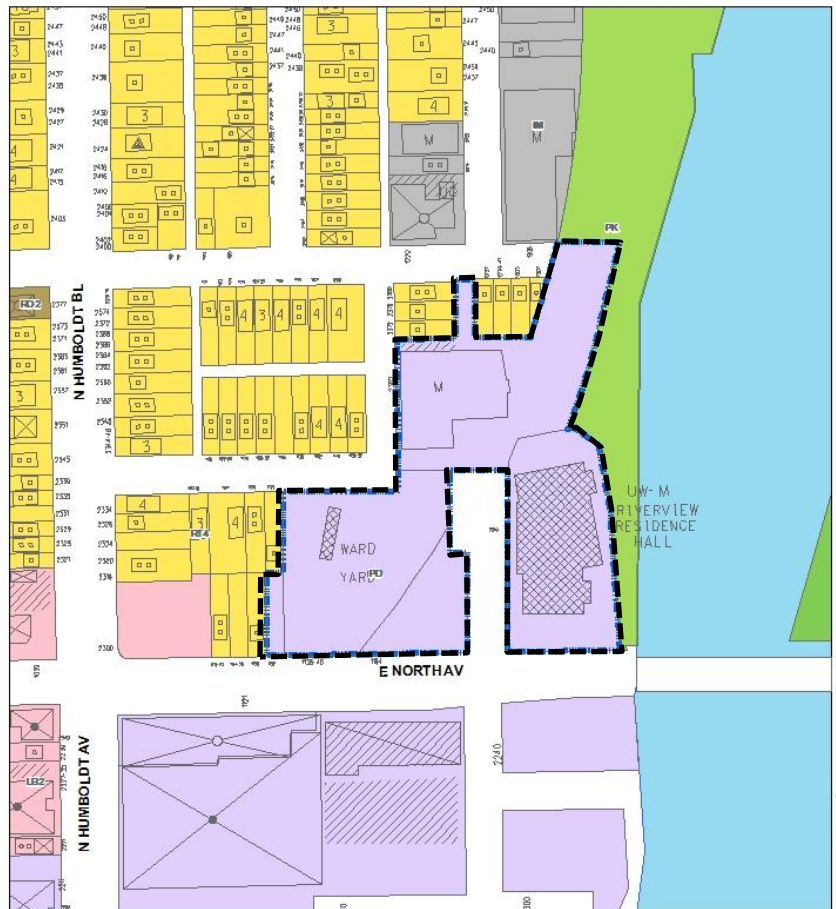
On November 14, 2011, a public hearing was held and at that time nobody spoke in opposition. Since the proposed Detailed Planned Development is consistent with the recommendations of the Northeast Side Area Plan and the previously approved GPD, the City Plan Commission at its regular meeting on November 14, 2011 recommended approval of the subject file.

Sincerely,

Rocky Marcoux
Executive Secretary
City Plan Commission of Milwaukee

cc: Ald. Nik Kovac

File No. 110586 and 071364. GPD: Substitute ordinance relating to the First Amendment to the General Planned Development known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District. This amendment will permit changes to the site plan and statistics to allow for a mixed-use development along East North Avenue. DPD: Substitute ordinance relating to a change in zoning from General Planned Development to Detailed Planned Development, Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue, in the 3rd Aldermanic District. This ordinance will permit residential and commercial development along East North Avenue.



FN 071364 and 110586
1st Amendment to GPD and
GPD to DPD, Phase 2
November 2011

Proposed Zoning Change

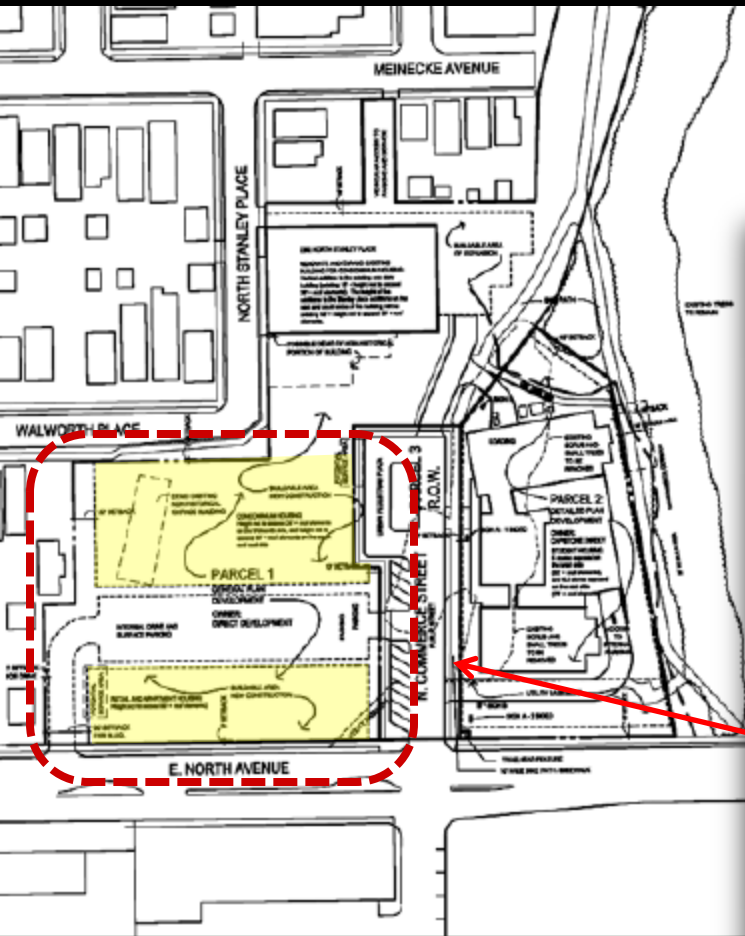
Residential Districts



ReadCo Existing Site Photos

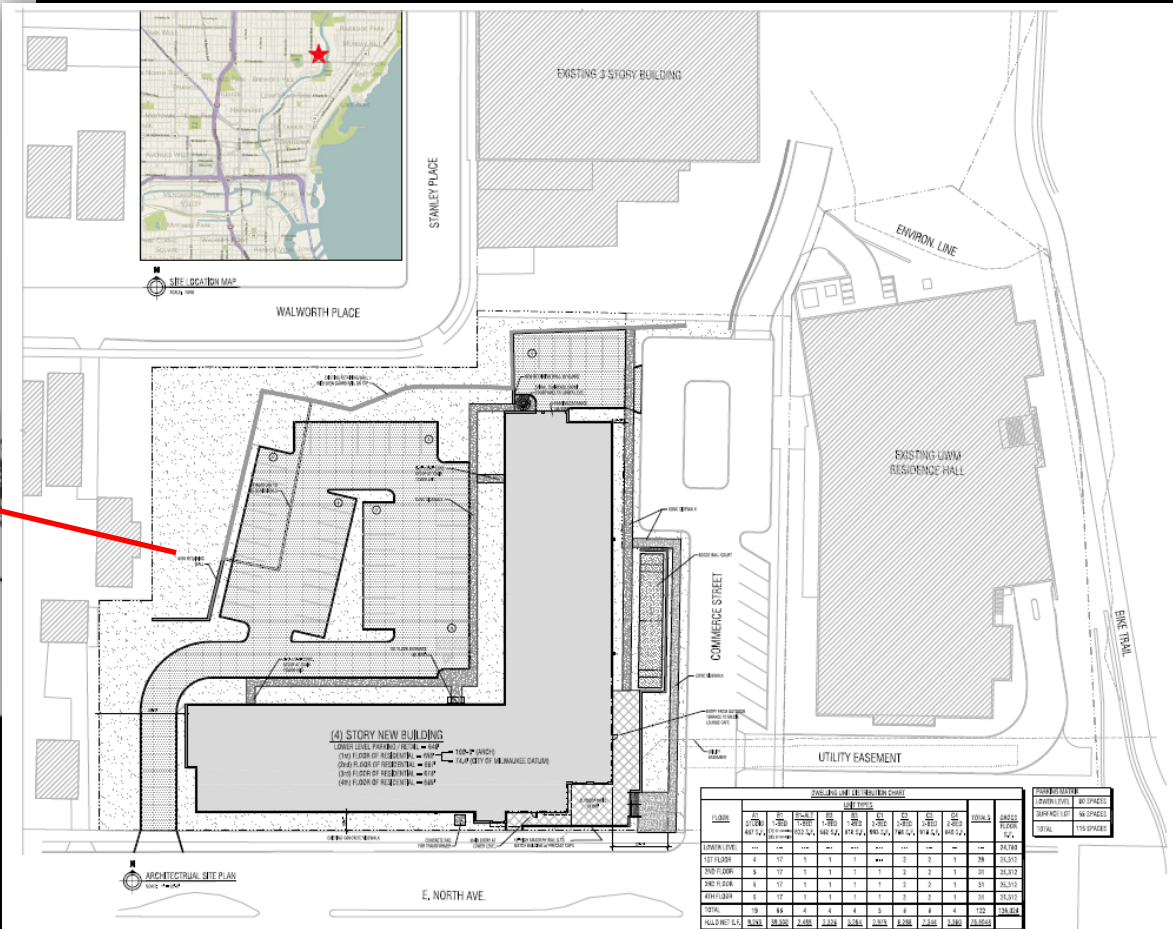


ReadCo Previously Approved and Proposed Site Plans

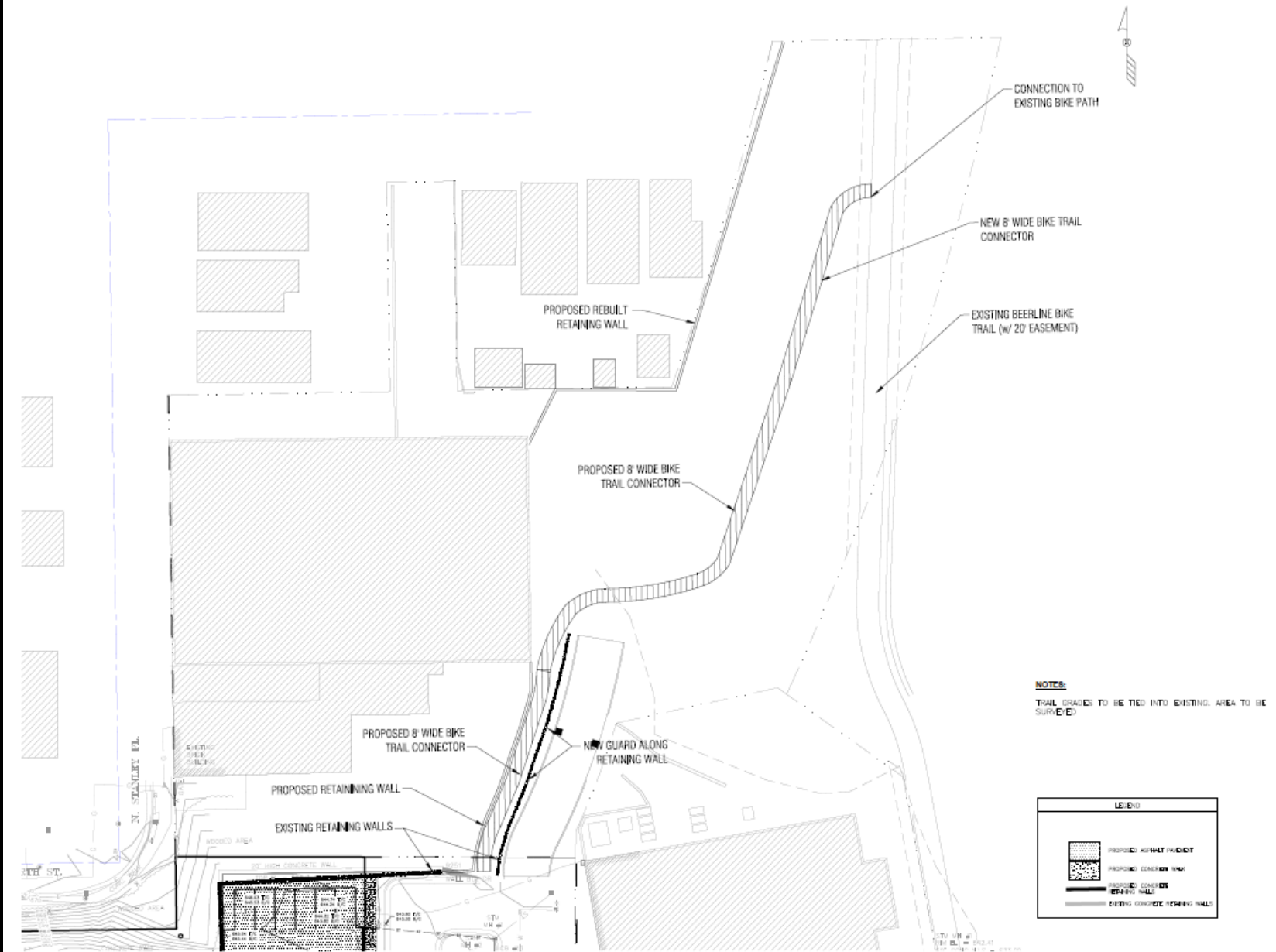


Above: Previously approved GPD site plan

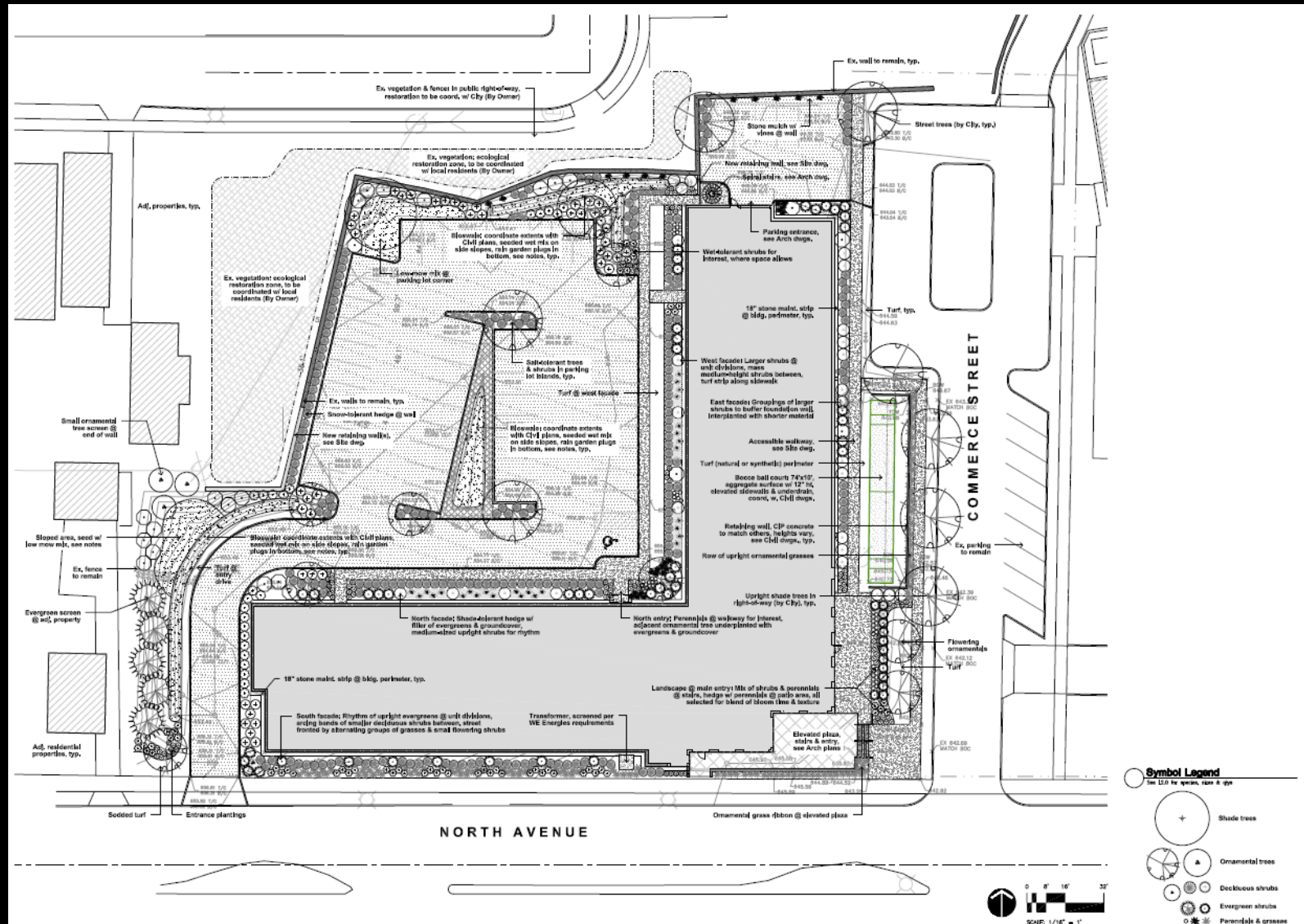
Below: Proposed site plan with new building configuration



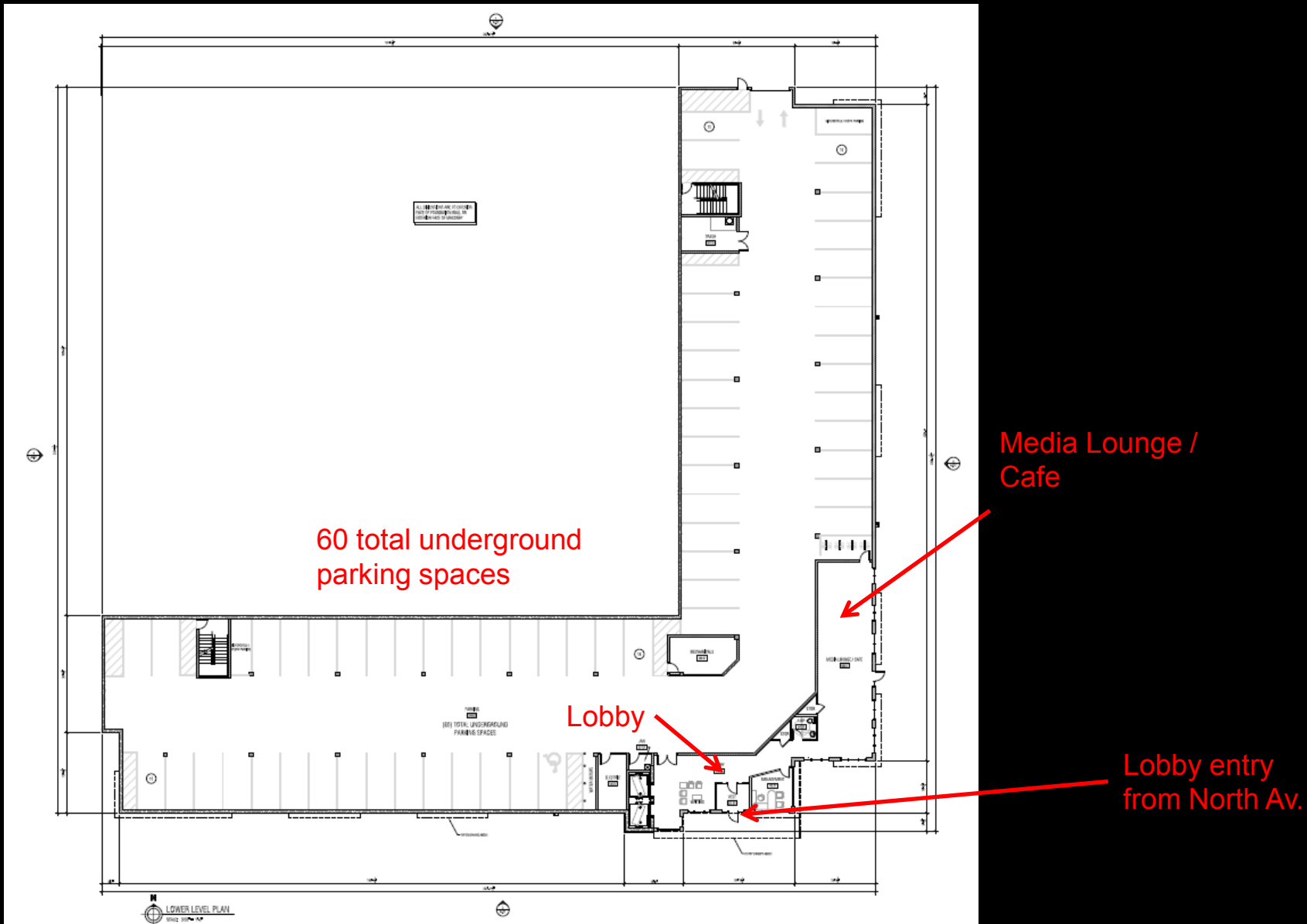
ReadCo Bike Trail Connection



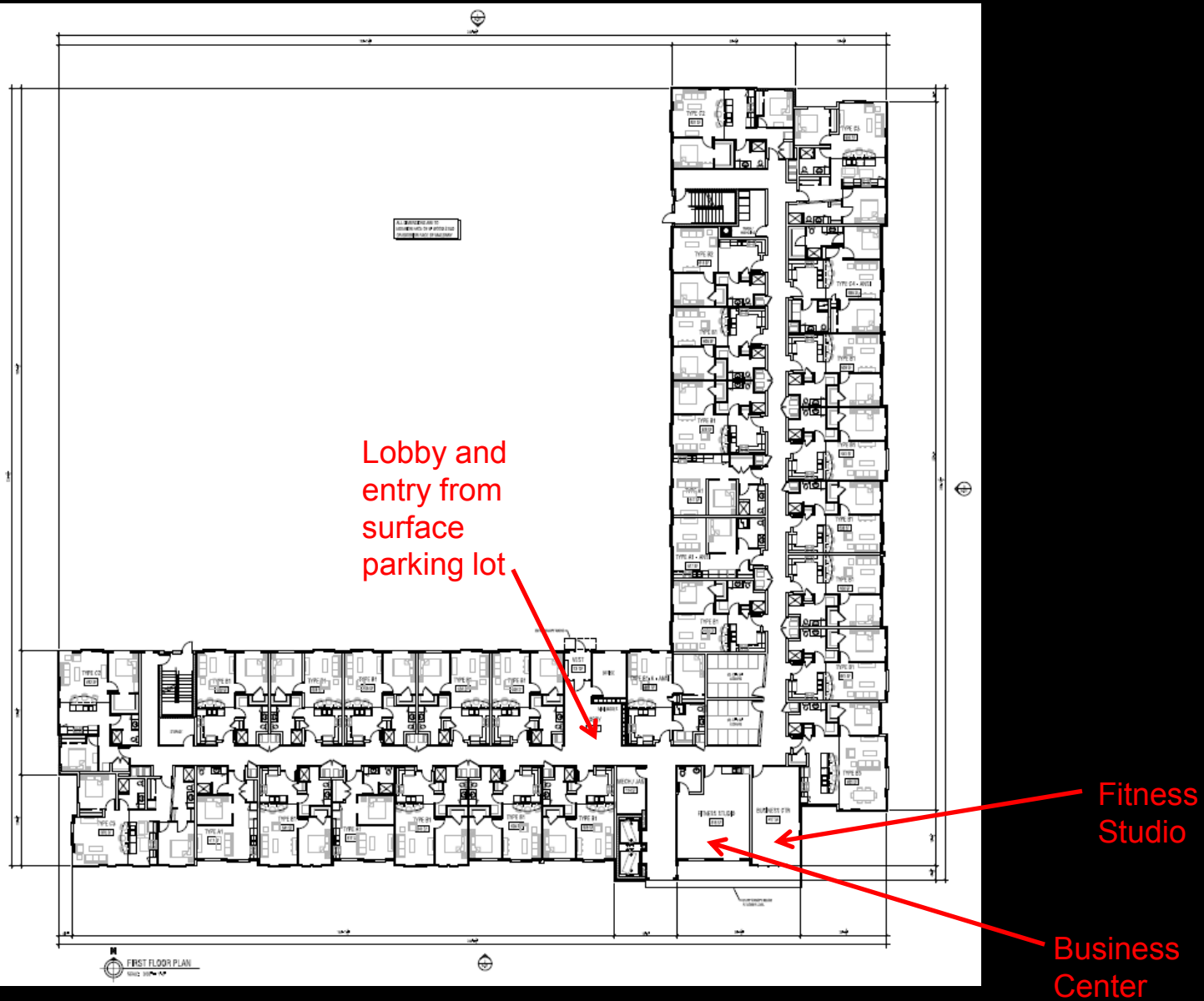
ReadCo DPD Landscape Plan



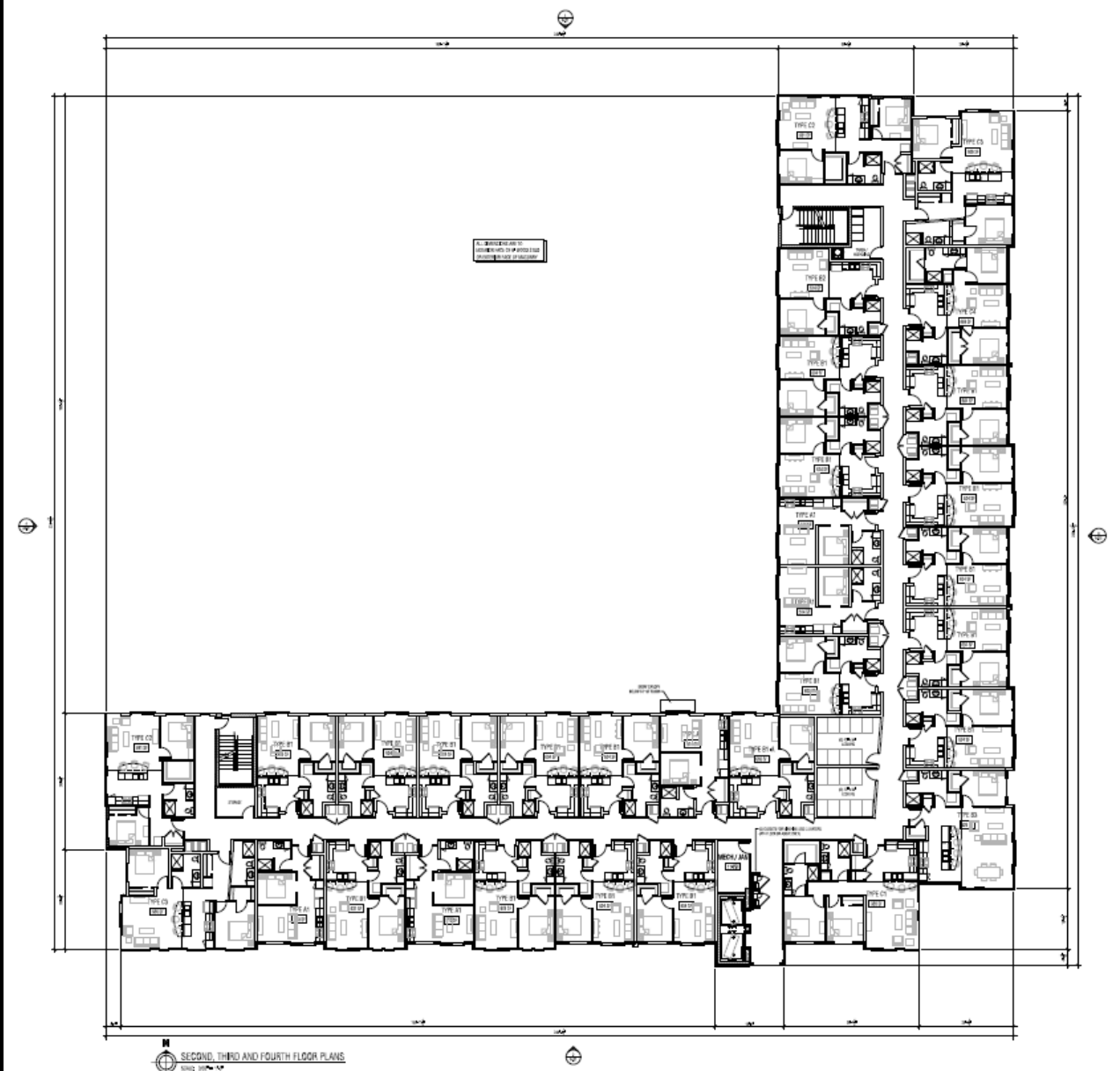
ReadCo DPD Lower Level Plan



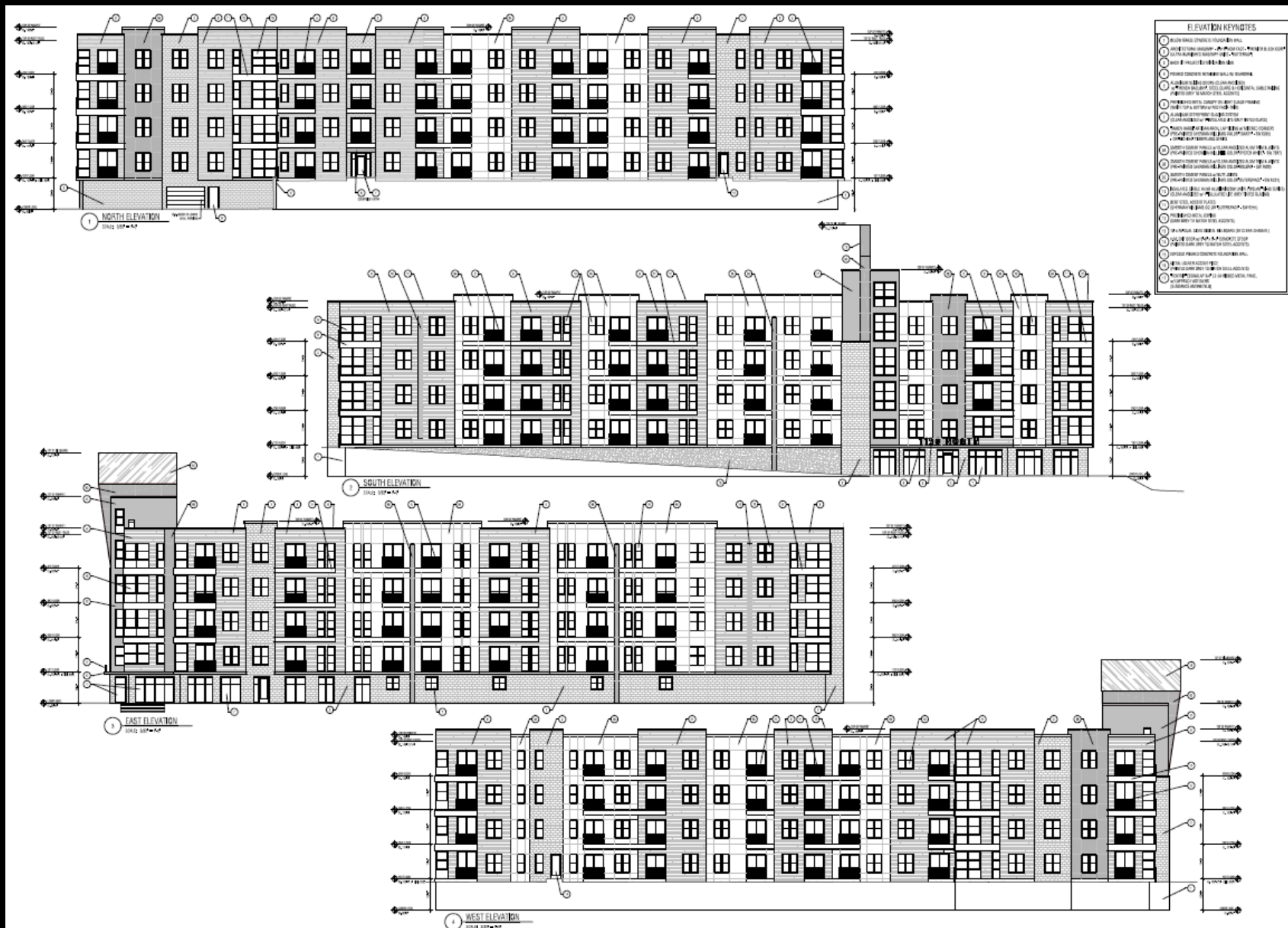
ReadCo DPD *First Floor Plan*



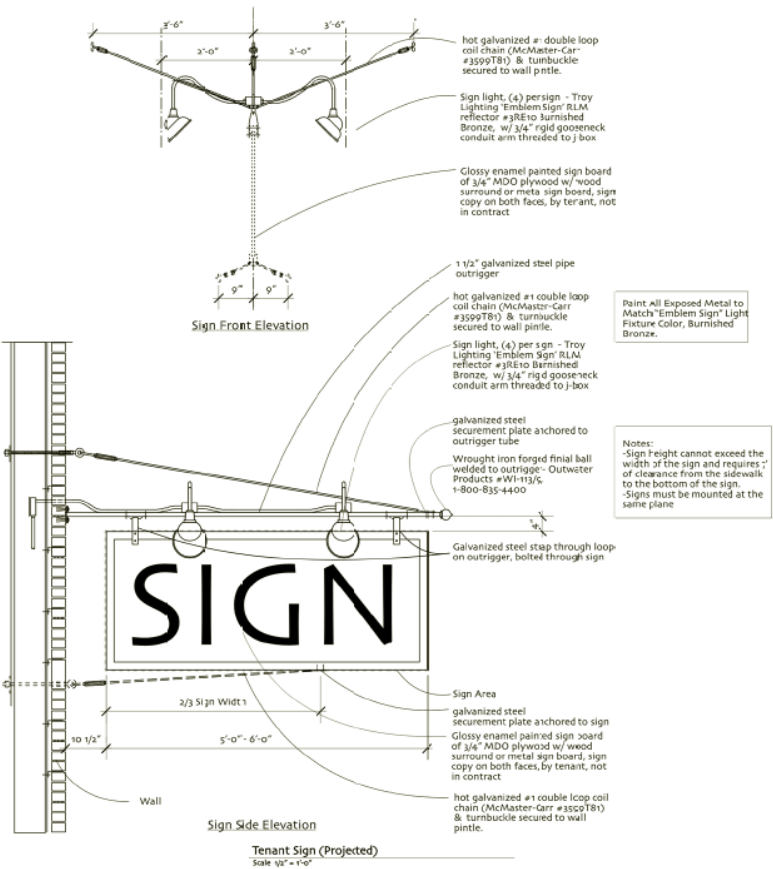
ReadCo DPD Second – Fourth Floor Plans



ReadCo DPD Exterior Elevations

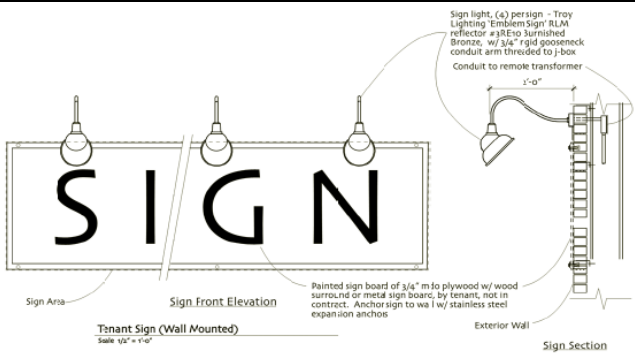
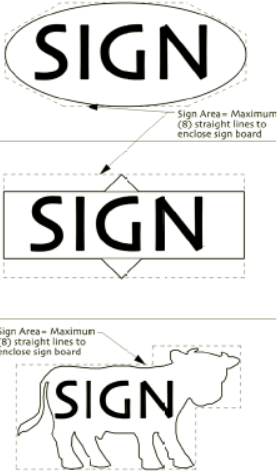


ReadCo DPD Signage Details



Shape of signs may vary provided that it's sign area does not exceed 48 Sq. Feet (wall mounted) or 24 Sq. Feet (Projecting).

EXAMPLE SHAPES



ReadCo DPD Conceptual Renderings



NOTICES SENT TO FOR FILE : 071364

[illegible]



A H STURGIS & P GARRIGAN
3113 S ILLINOIS AV
MILWAUKEE WI 53207

E & H PROPERTIES LLC
PO BOX 320074
FRANKLIN WI 53132

MARK D WOLBRINK
544 E OGDEN STE 700-139
MILWAUKEE WI 53202

BETHANY M ARMSTRONG
3452 N ELAINE PLACE APT G
CHICAGO IL 606572420

HEIDE JO PIEHLER
2348 N HUMBOLDT BL
MILWAUKEE WI 53212

MICHAEL S MISZEWSKI
2376 N STANLEY PL
MILWAUKEE WI 532123519

CHRISTOPHER P FABBRI JR
1135 E MEINECKE AVE
MILWAUKEE WI 53212

HESHAM M AL ALI, JULIA HAUZINGER
1122 E WALWORTH ST
MILWAUKEE WI 53212

MILO INVESTMENTS II, C/O ROUNDYS
875 E WISCONSIN AV MD-3300
MILWAUKEE WI 53202

CHUN LEE INC #2
PO BOX 267
HALES CORNERS WI 53130

JAMES GOLUBEFF
2404 N DOUSMAN ST
MILWAUKEE WI 53212

MILWAUKEE CO, REGISTER OF DEEDS
901 N 9TH STREET
MILWAUKEE WI 53233

CONNIE TOLL
1107 E WALWORTH ST
MILWAUKEE WI 53212

JOHN D JONAS
2326 N HUMBOLDT BLVD
MILWAUKEE WI 53212

MITZI CHILLA
1118 E WALWORTH ST
MILWAUKEE WI 53212

CONTINENTAL WORLDWIDE INC
1030 E NORTH AV
MILWAUKEE WI 53212

J J KROUSE, P S KROUSE
1121 E MEINECKE AVE
MILWAUKEE WI 53212

NEIL BIONDICH JR, RANDY BERDAN
1117 E WALWORTH ST
MILWAUKEE WI 53212

D A WUTKOWSKI
TR OF D A WUTKOWSKI TR
2354 N HUMBOLDT BL
MILWAUKEE WI 53212

LINDA M ELMER
1128 E NORTH AVE
MILWAUKEE WI 53212

NEUKAP MANAGEMENT LLC
8750 W MILL RD
MILWAUKEE WI 53225

DENNIS E WAJER & SANDRA HW
2344 N HUMBOLDT BL
MILWAUKEE WI 53212

LORRAINE M JACOBS
2412 N DOUSMAN
MILWAUKEE WI 53212

NICOLE K HODIEWICZ
2358 18 3/4 ST
RICE LAKE WI 54868

DIRECT READCO LLC
1240 MAIN ST, STE 1
GREEN BAY WI 54302

MAHAR, SHAW, SHEA
DOERFLER, ZBELLA
1205A E MEINECKE AVE
MILWAUKEE WI 53212

NORTH & HUMBOLDT LLC
6495 S 27TH ST
FRANKLIN WI 53132

DORIS M CERAR-MCCORMACK
2380 N STANLEY PL
MILWAUKEE WI 53212

MARK CISEWSKI
N6604 MINE RD
IRON RIDGE WI 53035

PAIGE PRILLAMAN
1139 E MEINECKE AV
MILWAUKEE WI 53212

Handwritten note: m... n... e... e...

Handwritten note: 1118 E WALWORTH ST, MILWAUKEE WI 53212



PATRICIA ULIK
2451 N GORDON PL
MILWAUKEE WI 53212

SOUTH GLENN PLAZA, LLC
PO BOX 11702
MILWAUKEE WI 53211

WERONKA, ROBERT J
1128 E MEINECKE AVE
MILWAUKEE WI 53212

PRIMITIVO PASTRANA
1201 E MEINECKE AV, #1
MILWAUKEE WI 53212

STEVE WESTON
12753 NE SHORELAND DR
MEQUON WI 53092

WT NORTH LLC C/O WILLOW TREE DEV
2060 N HUMBOLDT AV #250
MILWAUKEE WI 53212

READCO
PO BOX 1131
MILWAUKEE WI 53201

SUZANNE KRZOSKA
1146 E WALWORTH ST
MILWAUKEE WI 53212

WT NORTH LLC, C/O WILLOW TREE DEV
2060 N HUMBOLDT AV #225
MILWAUKEE WI 53212

R J REUTER, D PETRUSHA
2364 N HUMBOLDT BL
MILWAUKEE WI 53212

TC SALMON, AJ CRAIG-SALMON
2360 N HUMBOLDT BL
MILWAUKEE WI 53212

ANN BRUMMIT, MILW RIVER COALITION
1845 N FARWELL #100
MILWAUKEE WI 53202

RIVERS CREST LLC
C/O MANDEL GROUP
301 E ERIE ST
MILWAUKEE WI 53202

UWM REAL ESTATE FOUNDATION INC
3230 E KENWOOD BL
MILWAUKEE WI 53211

TODD DAVIES, HD DEVELOPMENT
5852 N SHORE DRIVE
MILWAUKEE WI 53212

RIVERWEST FC LLC
317 N BROADWAY
MILWAUKEE WI 53202

THOMAS A BALISTRIERI
2419 N GORDON PL
MILWAUKEE WI 53212

GREGG PROSSEN
ZIMMERMAN ARCHITECTS
2122 W MT VERNON AV
MILWAUKEE WI 53233

RIVERWEST FC LLC
445 PROSPECT DR
BROOKFIELD WI 53005

TIMOTHY HEIER, TERESA HEIER
203 W CRAWFORD AV
MILWAUKEE WI 53207

ROBERT J WERONKA
1128 E MEINECKE AV
MILWAUKEE WI 532123512

TODD R ROEHL, ANNETTE E BREIWA
2372 N STANLEY PL
MILWAUKEE WI 53212

ROD DISPLAY LLC
1220 E MEINECKE AV
MILWAUKEE WI 53212

VALERIE J NEWBURRY
440 W MONTCLAIRE AVE
GLENDALE WI 53217

SEIDEL TANNING CORP
1306 E MEINECKE AV
MILWAUKEE WI 53212

VICTORIA WERONKA
1135 E WALWORTH ST
MILWAUKEE WI 53212

4-NS-110586; 071364



Legislation Details (With Text)

File #: 110586 **Version:** 1

Type: Ordinance **Status:** In Committee

File created: 9/1/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: A substitute ordinance relating to the First Amendment to the General Planned Development known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District.

Sponsors: THE CHAIR

Indexes: PLANNED UNIT DEVELOPMENTS, ZONING, ZONING DISTRICT 03

Attachments: Notice Published on 9-19-11 and 9-26-11, Exhibit A as of 10-25-11, Exhibit A Continued as of 10-25-11, Proposed Zoning Change Map, Affidavit for Zoning Change, City Plan Commission Letter, PowerPoint

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|---|----------------------|--------|-------|
| 9/1/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 9/6/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | REFERRED TO | | |
| 9/19/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 10/10/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 11/7/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 11/15/2011 | 1 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |

Number

110586

Version

SUBSTITUTE 1

Reference

051671

Sponsor

THE CHAIR

Title

A substitute ordinance relating to the First Amendment to the General Planned Development known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District.

Analysis

This amendment will permit changes to the site plan and statistics to allow for a mixed-use development along East North Avenue.

Body

The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2)(a).0063.

(1) In accordance with the provisions of Section 295-907(2) of the Code relating to the procedures and establishment of planned development districts, the Common Council approves the subject amended General Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for properties located at 1132 East North Avenue, Tax Key No. 320-1416-100; 1136 East North Avenue, Tax Key No. 320-1693-000; 1164 East North Avenue, Tax Key No. 320-1692-000; 2340 North Commerce Street, Tax Key No. 320-1691-000; and 2362 North Stanley Place, Tax Key No. 320-1694-000.

(3) The requirements set forth in said general plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such general plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the general plan to all conditions and limitations set forth in such general plan.

Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Drafter

DCD:VLK:kdc

09/12/11

STATE OF WISCONSIN } S.S.
MILWAUKEE COUNTY }

Ann Richmond, being the first duly sworn on oath, says that she is the title of THE DAILY REPORTER, which is a public newspaper of general circulation, printed and published daily in the English language in the City of Milwaukee, in said county, and fully complying with the laws of Wisconsin, relating to the publication of legal notices; that the notice of which the printed one attached is a true copy, which was clipped from the said newspaper, was inserted and published in said newspaper on

Sep. 19, 2011 Sep. 26, 2011

Ann E. Richmond

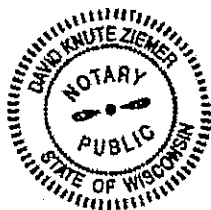
Ann Richmond

Sworn to me this 26th day of September 2011

Notary
Public

David Ziemer

David Ziemer
Notary Public, Milwaukee County, Wisconsin
My Commission Is Permanent



PROOF OF PUBLICATION

Customer: 10003537/City Of Milwaukee - City Clerk

PROOF OF PUBLICATION

C. No. 28
FILE NUMBER 110586
OFFICIAL NOTICE

Published by Authority of the Common Council of the City of Milwaukee Office of the City Clerk

Notice is hereby given that an ordinance that was introduced at the September 1, 2011 meeting of the Milwaukee Common Council, the essence of which is as follows:

A substitute ordinance relating to the First Amendment to the General Planned Development known as Read Co. to facilitate development on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District.

The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295.907(2)(a) 0063.

(1) In accordance with the provisions of Section 295.907(2) of the Code relating to the procedures and establishment of planned development districts, the Common Council approves the subject amended General Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for properties located at 1132 East North Avenue, Tax Key No. 320-1416-100; 1136 East North Avenue, Tax Key No. 320-1693-000; 1164 East North Avenue, Tax Key No. 320-1692-000; 2340 North Commerce Street, Tax Key No. 320-1691-000; and 2362 North Stanley Place, Tax Key No. 320-1694-000.

(3) The requirements set forth in said general plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such general plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the general plan to all conditions and limitations set forth in such general plan.

Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200.19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Notice is hereby further given that the foregoing matter will be given a public hearing by the Committee on Zoning, Neighborhoods and Development in Room 301-B, City Hall, 200 East Wells Street, Milwaukee, Wisconsin on Tuesday, October 4, 2011 at 9:00 A.M. pursuant to the provision of Sub Section (7)(d) of Section 62.23 of the Revised Statutes of the State of Wisconsin.

PLEASE NOTE: a) Members of the Common Council and members of its Standing Committees who are not members of this Committee may attend this meeting to participate or to gather information. Therefore, notice is given that this meeting may constitute a meeting of the Common Council or any of its Standing Committees, and must be noticed as such, although they will not take any formal action at this meeting.

b) If you have difficulty with the

English language, you may bring an interpreter with you, at your own expense, so that you can answer questions and participate in the hearing.

c) Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division, ADA Coordinator at 286-2998, (FAX) 286-3456, (TDD) 286-2025, or by writing to the ADA Coordinator at Room 205, City Hall, 200 East Wells Street, Milwaukee, WI 53202.

d) Limited parking for persons attending meetings in City Hall is available on a first-come, first-served basis.



FN 110586
EXHIBIT A as of
10.25.11

September 6, 2011

NORTH AVENUE REDEVELOPMENT

GENERAL PLAN DEVELOPMENT

Project Description and Owners Statement of Intent dated April 19, 2006 and amended on September 6, 2011.

COMPONENTS OF GENERAL PLAN AND SUPPORTING MATERIALS

HD Development is seeking approval of this amendment to the approved GPD (FN 051671) dated April 19, 2006, as indicated below. The amended Owners Statement of Intent together with resubmitted sheet GPD-4, Proposed Site Plan, constitutes the proposed amendments to the original GPD. Generally, the amendment seeks to add the property located at 1132 East North Avenue to the general development plan, to reduce the number of buildings, reduce the amount of land covered by buildings, increase the area for drives and parking, increase the area for landscaped open space, reduce the residential unit density, and reduce the amount of parking.

Supporting Materials are as follows;

Revised Owners Statement of Intent dated September 6, 2011

GPD-0 COVERSHEET

GPD-1 VICINITY MAP

GPD-2 ALTA/LAND TITLE SURVEY (EXISTING)

GPD-3 PROPOSED SITE REDIVISION DIAGRAM

GPD-4 PROPOSED PROJECT SITE DIAGRAM

GPD-5 PICTURES OF SITE AND SURROUNDING AREA

GPD-6 PICTURES OF SITE AND SURROUNDING AREA

OWNERS REVISED STATEMENT OF INTENT AND PROJECT DESCRIPTION

North Avenue Redevelopment

OVERALL DEVELOPMENT CONCEPT

Introduction:

The multiple land parcels being requested to be rezoned is subject to a complex land swap and sale, which is anticipated to be completed at the end of April, 2006. Owners of the parcels being considered for rezoning are Direct Development, Readco LLC, The City of Milwaukee, and Milwaukee County. The lead developer is Todd Davies, HD Development Group, 5852 North Shore Drive, Milwaukee, WI, 53217, (414) 232-6500.

Development of this parcel will occur in multiple phases. The first phase will be the construction of a student housing building for UWM (this building will be owned by the UWM Real Estate Foundation, and operated by the UWM Student Housing Department). This first phase will have construction occur between June 2006 and August 2007, with occupancy commencing in the fall semester of 2007. CapStone Direct Partners are the developers of the student-housing phase of the project. CapStone Direct Partners are submitting a Detailed Plan Development for the UWM Student Housing project concurrent with this General Plan Development submittal. The second phase will consist of the southern portion of Parcel 1. The addresses of the subject parcels are 1132, 1136, and 1164 East North Avenue which are bounded by North Avenue on the south, Commerce Street on the east, Walworth Street on the north, and residential parcels on the west. Development on this larger combined parcel will consist of residential units over ground floor enclosed parking and commercial/retail uses. Additionally, a bike trail connection between North Commerce Street and the Beerline Bike trail will be included in phase 2, the location of which is illustrated in the drawing exhibit GPD-4. The third phase will occur on the remaining northern portion of parcel 1. The address of the subject parcel is 2362 North Stanley Place and will consist of the re-use/redevelopment of an existing 3 story industrial building into residential units over second floor parking and ground floor commercial space. Both phases will include some on-site surface parking for residents and visitors. Phase 2 will commence in 2012 with completion and occupancy in 2013. Phase 3 is projected to commence in 12-24 months after the completion of Phase 2.

This will be a thoughtfully designed development. At the request of nearby residents, no pedestrian or vehicular connections between the upper neighborhood and Commerce Street, the bike trail, or the River will be pursued. The development will use natural resources respectfully, and has density, height, and quality of materials that are compatible with the existing context of the surrounding neighborhood. Zoning particulars for the General Plan Development have been based generally on the parameters for I-M zoning.

Overall project development factors:

1. The site development will follow the City of Milwaukee Urban Design Principals.
2. The site is a Brownfield redevelopment, where it is expected that contaminants will be found at a former industrial site and bulk oil distribution site. Environmental issues are being addressed as part of the redevelopment.
3. The site has significant topographic differential, ranging from elevation 675 at Walworth Street down to elevation 618 at the east property boundary, and down to 590 at the river edge.
4. The site is sporadically vegetated with scrub grass on flat lands and new growth brush and young common species tree on steeply sloped areas.
5. The main portion of the Sign Effects building on Stanley Place is the only existing structure that has development potential (the southern non-historic additions might be removed as

part of the redevelopment). The partially under ground city garage building is dilapidated beyond repair, and has no characteristics that have development value.

6. The development is adjacent to an environmental corridor that encompasses the river edge.
7. The development will enhance pedestrian and bike access from North Avenue and Commerce Street to the river, existing soft paved trail, and proposed new hard bike trail.
8. The development will provide a paved trail connection to the existing Beerline Bike trail.
9. The development will include an extension of Commerce Street, which will terminate in a roundabout on the development site. There will be no vehicular connection to the upper neighborhood.
10. Development of city streets, sidewalks, street trees, building placement, and streetscape elements will be consistent with existing neighborhoods.
11. Stormwater will be managed to control rate of runoff and water quality. Stormwater will be routed to bio-swales located on site and to the existing combined sewer.
12. The development will include residential units, neighborhood commercial/retail on the ground floor of the building fronting onto North Avenue and the ground floor of the building located at 2362 North Stanley Place, and supervised student housing.
13. Parking for residential occupants will be accommodated by enclosed parking within the footprint of the building or by on-site surface lots. UWM is negotiating with owners of properties to the south of North Avenue for permission to lease additional student housing tenant parking spaces.

Site Development:

1. Commerce Street is a new city street with curb and gutter construction. It is 24' wide, with 2 drive lanes and 2 parking lanes (street parking will yield approximately 12 spaces). Commerce Street will terminate in a roundabout. Commerce Street will not connect to any streets to the north or west.
2. Internal driveway and surface parking will be constructed with curbs, gutters, greenways, bio-swales, and sidewalks to be aesthetically compatible with city streets in adjacent neighborhoods.
3. The development will have a combination of on street and off street parking for residents and retail patrons.
4. The development will have street trees and other landscape elements.
5. The development will have street lighting and lighting of pedestrian ways.
6. The development will have a paved connection for pedestrians and bikes.
7. The development will not provide a vehicular connection to the upper neighborhood areas to the north of the development site.
8. The development will not provide pedestrian and bike connections from the existing inner neighborhood through the new development to the bike path and river.

Student Housing Building: Phase 1

1. See Detailed Plan Development submittal.
2. The student housing building has 5 stories exposed on the west side (52' + roof elements), and 6.5 stories exposed on the east side (75' + roof elements).
3. The UWM Real Estate Foundation owns the student housing building.
4. The student housing building is operated by the UWM Student Housing Department.
5. The student housing building has UWM Resident assistants and a Hall Director on site.
6. The student housing building has a food court, lounge, and laundry space in the building.
7. The student housing building has indoor bike and scooter parking.
8. The student housing building has indoor parking spaces for 58 cars, 18 bicycles, and 3 motorcycles.
9. The student housing building has access to public transportation as well as shuttle bus transportation operated by UWM.
10. The student housing building consists of 119 student units (475 beds), 11 Resident Assistant units (11 beds), and 1 Hall Director (2 beds).
11. The student housing building has a paved connection from the bike storage area to the bike path.
12. The student housing building has a green terrace connected to green space adjacent to the bike path.
13. The student housing building is a high quality brick, glass, and metal panel exterior design.

North Avenue Residential Housing Buildings: Phase 2

1. There will not be any buildings that front onto Walworth Avenue.
2. The North Avenue building will be 5 stories (60' + roof elements).
3. The North Avenue and Stanley Place will be residential developments with a ground floor commercial/retail use.
4. The North Avenue buildings will have enclosed car parking and outdoor surface parking lots.
5. The main entrance of the North Avenue building will face the North Avenue street frontage.
6. Exteriors will have quality decorative ground face masonry, glass, metal panel, cement board, or residential siding with an exterior design that will be compatible with the existing neighborhood flats and industrial buildings.

Stanley Place Residential Housing Buildings: Phase 3

1. The Stanley Place building will have three stories added vertically to the existing one story building (existing approx. 15' + 36' of added floors + roof elements). The added stories will be setback from the existing façade by 10' minimum except for on the east side of the building where the addition may extend beyond the face of the existing facade. The Stanley Place building has 2 existing 15' basement levels exposed on the east side due to the grade differential, therefore, the height of the additions to the Stanley Place building on the east and south façade will be approx. existing 45' + 36' added floors + roof elements.
2. The Stanley Place buildings will be residential developments with a ground floor commercial/retail use.
3. The Stanley Place building will have enclosed car parking and outdoor surface parking lots.
4. The pedestrian main entrance to the Stanley Place building will be on the east face of the building fronting onto a vehicular drop-off and parking area.
5. Exteriors will have quality masonry, decorative ground face masonry, glass, metal panel, cement board, or residential siding with an exterior design that will be compatible with the existing neighborhood flats and industrial buildings.

Detailed Context

1. The neighborhood is a mix of industrial buildings, duplexes, single family, multi-family buildings and retail. The industrial buildings continue to be used for industrial purposes. Most residential units are owner occupied and are well maintained. The retail uses on North Avenue are in newer one or two story buildings.
2. The environmental corridor along the river will be adjacent to this development. Building construction activities will be kept out of the environmental corridor. Some paving activities, including the new bike path connection and the drop-off and parking area to the Stanley Place building, will be conducted within the edge areas of the environmental corridor.

Signage, Graphics, and Wayfinding

1. The site will have temporary informational and directional signage during construction. This temporary signage will generally be in the form of banners or painted plywood signs on posts.
2. Permanent signage will include building name and address on the residential buildings, and retail store names at the retail uses. Site signage will include parking use parameter signage in the surface parking lots. Signage design will comply with City of Milwaukee ordinances, and details on the design of the signage will be provided during future detailed building design review for the market rate housing and commercial/retail uses. Signage design for the student housing building is included in the Detailed Plan Development submittal.
3. The existing billboard sign on Parcel 1 will be relocated to the roof of the North Avenue building. The sign will be a digital sign with the top of the sign being no higher than 70'. The sign dimensions will be no greater than 15' high by 30' wide. The sign is a 2-sided sign facing east and west.

Compliance with Standards

The proposed GPD development rezoning complies with, or varies from, the standards prescribed by section 295-907 of the Milwaukee Code of Ordinances in the following respects:

1. Principal facades will have landscaping and streetscape treatments designed to enhance the pedestrian experience.
2. Screening (295-907 3. F.) Urban Landscape treatment will be used as a landscape buffer along all streets. New landscaping shall conform to City of Milwaukee requirements. Screening of circulation facilities will be type A landscaping (standard parking lot landscaping), type B landscaping (standard hard urban edge landscaping), and type C landscaping (modified hard urban edge landscaping conforming to section 295-405.1. Facilities such as mechanical equipment or enclosures will be screened per section 295.405.1.b-7, Type G landscaping (object screening). Fencing and walls shall be in accordance with table 295-405.1-c, fence/wall and landscaping requirements for landscape types, and section 295-405.1.ccc-5.
3. Open Spaces (295.907.3.g). Open spaces will include facilities for pedestrian circulation, including paved paths and seating areas; landscaped and garden areas with walls and fencing. Landscaping and screening open spaces will be maintained so as not to create a nuisance or hazardous condition.
4. Circulation Facilities (295-907.3.h). The general location of circulation facilities, including pedestrian and vehicle access and egress, as well as drop-off and loading facilities, are identified on the plans. Loading facilities shall be located near the facilities they support and will be adequately screened.
5. Landscaping (295-907.3.i). Site landscaping standards will conform to section 295-405, Milwaukee Code of Ordinances, and will be of a quality consistent with the standards of the American Association of Nurseryman (ANSI 260.1). Landscaping shall meet the requirements of section 295-405.1.c, for planting materials, fencing, and walls. Landscape features may encroach into the public right-of-way, with city approval, in accordance with section 295-405.1.c.8.
6. Lighting (295-907.3.j). New building lighting will conform to the illuminating Engineering Society Standards and City of Milwaukee Ordinances. All exterior lighting shall be shielded so as not to cause glare on adjoining streets and residences.
7. Utilities (295-907.3.k). All new utility lines will be installed underground. New transformers and substations will be installed within buildings or otherwise screened from view.
8. Signs (295-907.3.l). New signs will be developed in accordance with the specific requirements of section 295-605-5, Milwaukee Code of Ordinances, and other requirements of the City of Milwaukee Ordinances.
9. Survey (295-907). The ALTA/ASCM Land Title Survey shows topography at 1 foot intervals.
10. Minor Modifications. Section 295-907.2.i of the Milwaukee Code of Ordinances provides that minor modifications to the general and detailed plans may be allowed, provided that such minor modifications do not result in certain changes to the plan relating to it's general character, or such things as land coverage of buildings and parking areas. No modifications will be undertaken that would be regulated by section 295-907.2.i-1 through 7, without submittal or revised plan. Minor improvements of the site may be allowed without submittal and approval if sufficient detail is shown on the approved GPD.



Statistical Sheet Information- Exhibit A

See attached Exhibit A for revisions to 2006 statistics.

Prepared by Todd Davies

HD Development Group LLC

PROJECT: 1136 EAST NORTH AVENUE
LOCATION: MILWAUKEE, WISCONSIN
DATE: 9/6/11

REVISED NORTH AVE GPD STATISTICS

| | | |
|----------|------------------------------|---------|
| PARCEL 1 | 1136 EAST NORTH AVE | PHASE 2 |
| | 1164 EAST NORTH AVE | PHASE 2 |
| | 2362 NORTH STANLEY PL | PHASE 3 |
| PARCEL 2 | 2340 NORTH COMMERCE | PHASE 1 |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | PHASE 1 |
| PARCEL 4 | 2566 NORTH BUSH LANE | PHASE 1 |
| PARCEL 5 | 1132 EAST NORTH AVENUE | PHASE 2 |

| GROSS LAND AREA | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 (acres) | STANLEY PLACE PHASE 3(acres) |
|-----------------|------------------------------|------|----------------------|-------------------------------|---------------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 3.55 | 3.50 | 1.34 | |
| | 1164 EAST NORTH AVE | | | 0.44 | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 1.72 |
| PARCEL 2 | 2340 NORTH COMMERCE | 1.40 | 1.32 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0.52 | 0.52 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 1.61 | 1.61 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | 0.09 | |
| total | | 7.08 | 6.95 | 1.87 | 1.72 |

| LAND COVERED BY PRINCIPAL BUILDINGS | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 (acres) | STANLEY PLACE PHASE 3(acres) |
|-------------------------------------|------------------------------|------------------|----------------------|-------------------------------|---------------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 2.13 acres / 60% | 2.13 acres / 61% | 0.57 acres / 30% | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | .47 acres / 27% |
| PARCEL 2 | 2340 NORTH COMMERCE | .66 acres / 47% | .66 acres / 50% | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0 | 0 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| LAND DEVOTED TO PARKING AND DRIVES | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 (acres) | STANLEY PLACE PHASE 3(acres) |
|------------------------------------|------------------------------|------|----------------------|-------------------------------|---------------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 0.43 | 0.43 | .53 acres / 28% | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | .36 acres / 21% |
| PARCEL 2 | 2340 NORTH COMMERCE | 0.18 | 0.18 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0.32 | 0.32 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| LAND DEVOTED TO LANDSCAPED OPEN SPACE | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 (acres) | STANLEY PLACE PHASE 3(acres) |
|---------------------------------------|------------------------------|------|----------------------|-------------------------------|---------------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 0.99 | 0.94 | .77 acres / 42% | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | .89 acres / 52% |
| PARCEL 2 | 2340 NORTH COMMERCE | 0.39 | 0.48 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0.20 | 0.20 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 1.61 | 1.61 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| DWELLING UNITS PER BUILDING | | 2006 | RIVERVIEW 2007 ACTUAL | 1150 NORTH PHASE 1 (acres) | STANLEY PLACE PHASE 2(acres) |
|-----------------------------|------------------------------|------|--------------------------|-------------------------------|---------------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 200 | | 122 | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 55 |
| PARCEL 2 | 2340 NORTH COMMERCE | 131 | 131 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0 | 0 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| PROPOSED DWELLING UNIT DENSITY | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|--------------------------------|------------------------------|------|----------------------|-----------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 56.3 | 57.1 | 65.3 | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 0.0 |
| PARCEL 2 | 2340 NORTH COMMERCE | 93.6 | 93.6 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0 | 0 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| BEDROOMS PER UNIT: | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|--------------------|------------------------------|---------------------|----------------------|-----------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 1,2,3 bedroom units | | 1,2,3 bedroom units | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 1,2,3 bedroom units |
| PARCEL 2 | 2340 NORTH COMMERCE | 1, 2 bedroom units | 1, 2 bedroom units | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0 | 0 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| PROPOSED COMMERCIAL SF | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|------------------------|------------------------------|--------|----------------------|-----------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 25,000 | | 2,000 | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 2,000 |
| PARCEL 2 | 2340 NORTH COMMERCE | | | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | | | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | | | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| PROPOSED NUMBER OF BUILDINGS | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|------------------------------|------------------------------|------|----------------------|-----------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 3 | | 1 | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | 1 |
| PARCEL 2 | 2340 NORTH COMMERCE | 1 | 1 | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | 0 | 0 | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

| RESIDENTIAL PARKING SPACES PROVIDED | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|-------------------------------------|------------------------------|----------------------|----------------------|-------------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 1.38 stalls per unit | | .94 - 1 stalls per unit | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | .9 to 1 stall per unit |
| PARCEL 2 | 2340 NORTH COMMERCE | | | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | .44 stalls per unit | .44 stalls per unit | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | 0 | 0 | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | 0 | 0 | | |

| COMMERCIAL PARKING SPACES PROVIDED | | 2006 | RIVERVIEW PHASE 1 | 1150 NORTH PHASE 2 | STANLEY PLACE PHASE 3 |
|------------------------------------|------------------------------|--------------------|----------------------|-----------------------|--------------------------|
| PARCEL 1 | 1136 EAST NORTH AVE | 1 stall per 625 sf | | | |
| | 1164 EAST NORTH AVE | | | | |
| PARCEL 1 | 2362 NORTH STANLEY PL | | | | |
| PARCEL 2 | 2340 NORTH COMMERCE | | | | |
| PARCEL 3 | COMMERCE STREET RIGHT OF WAY | | | | |
| PARCEL 4 | 2566 NORTH BUSH LANE | | | | |
| PARCEL 5 | 1132 EAST NORTH AVENUE | | | | |

FN 110586
EXHIBIT A as of
10.25.11



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ARCHITECTS

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GENERAL PLANNED DEVELOPMENT

PROJECT
NORTH AVENUE
REDEVELOPMENT PROJECT

NORTH AVENUE
MILWAUKEE, WISCONSIN 53212

PROJECT TEAM

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- DIRECT DEVELOPMENT**
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- DESIGN COLLECTIVE, INC.**
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- ARCHITECT OF RECORD**
- EPPSTEIN UHEN ARCHITECTS**
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Milwaukee, WI 53202
(414) 271-5350
- CIVIL ENGINEERS**
- GRAEF, ANHALT, SCHLOEMER & ASSOCIATES INC.**
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(414) 266-9270
- LANDSCAPE ARCHITECT**
- KEN SAIKI DESIGN**
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Madison, WI 53703
(608) 251-3600
- GENERAL CONTRACTOR**
- KBS CONSTRUCTION, INC**
4425 West Mitchell Street
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(414) 383-6100

SHEET INDEX

- GPD-0 COVER SHEET / PROJECT TEAM / SHEET INDEX
GPD-1 VICINITY MAP
GPD-2 ALTA / LAND TITLE SURVEY - EXISTING
GPD-3 PROPOSED SITE RE-DIVISION DIAGRAM
GPD-4 PROPOSED PROJECT SITE DIAGRAM
GPD-5 EXISTING SITE PHOTOS
GPD-6 EXISTING SITE PHOTOS

| ISSUANCE AND REVISIONS | |
|------------------------|--------------------------------------|
| DATE | DESCRIPTION |
| 04-04-06 | GENERAL PLANNED DEVELOPMENT SUBMITAL |
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GENERAL PLAN
DEVELOPMENT

SHEET TITLE
COVER SHEET / PROJECT
TEAM / SHEET INDEX

| APPROVAL | | | |
|------------|----|----|-----|
| SPACE PLAN | DD | CD | FFE |
| DATE | | | |
| NAME | | | |
| DEPARTMENT | | | |

PROJECT MANAGER JP

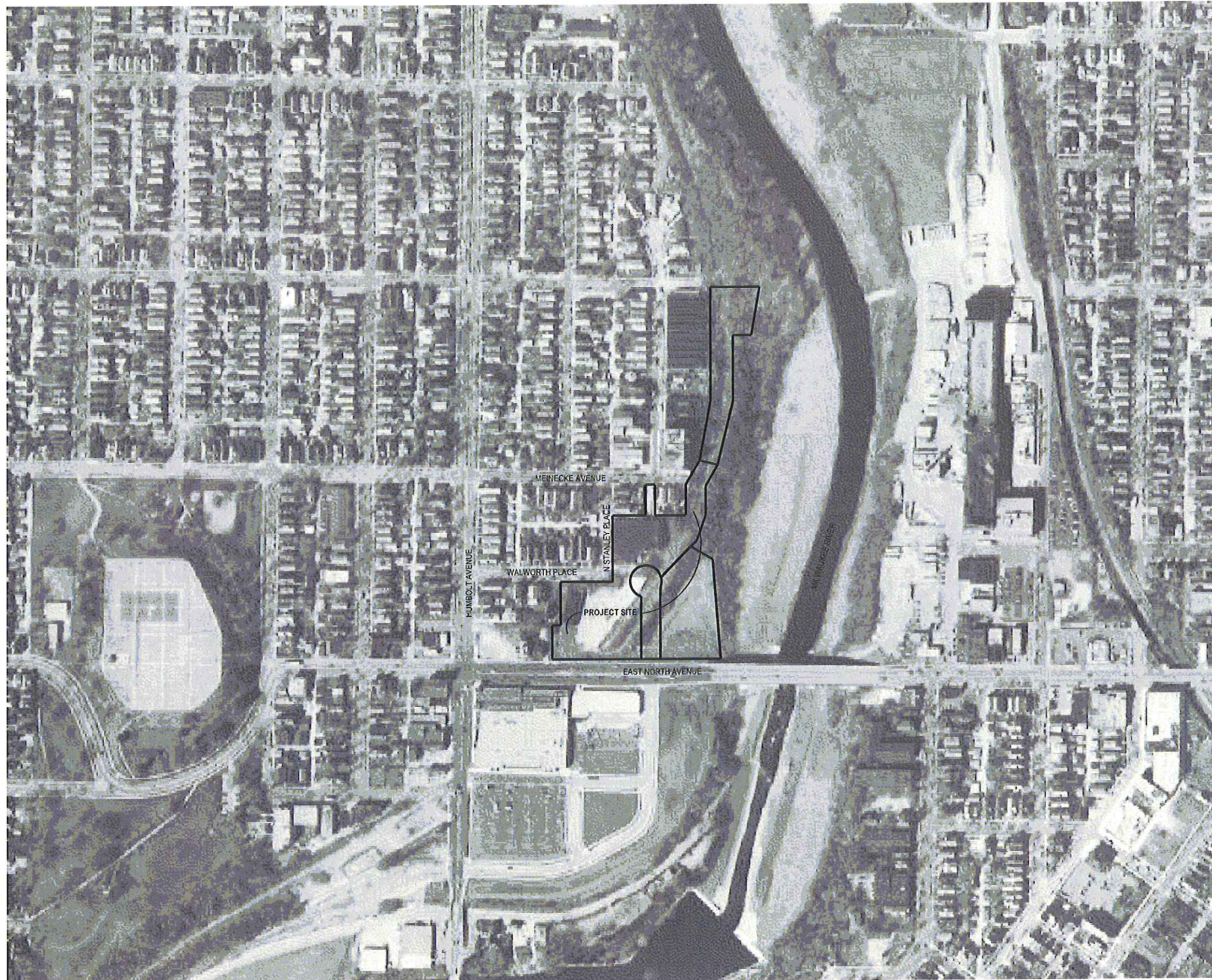
PROJECT NUMBER 105327-CG

DATE APRIL 19, 2006

SHEET NUMBER

GPD-0

\\s01\proj\105327\GIS\Map_Series\105327-GPD-1_VicinityMap.aprx 2/2/2006 10:00:00 AM



23 VICINITY MAP
1" = 100'-0"

EPPSTEIN UHEN
ARCHITECTS

MILWAUKEE 333 East Chicago Street
Milwaukee, Wisconsin 53202
Tel 414 271 5350 Fax 414 271 7794

MADISON 222 West Washington Ave. Suite 600
Madison, Wisconsin 53703
Tel 608 442 5350 Fax 608 442 6680

PROJECT
**NORTH AVENUE
REDEVELOPMENT PROJECT**

NORTH AVENUE
MILWAUKEE, WISCONSIN 53212

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|----------|---------------------------------------|
| 04-04-06 | GENERAL PLANNED DEVELOPMENT SUBMITTAL |
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GENERAL PLAN
DEVELOPMENT

SHEET TITLE
**VICINITY MAP (AERIAL
PHOTO)**

| APPROVAL | | |
|---------------------------------|----|----|
| SPACE PLAN (DATE & INITIALS) | DD | CD |
| DATE | | |
| NAME | | |
| DEPARTMENT | | |

PROJECT MANAGER JP
PROJECT NUMBER 105327-CG
DATE APRIL 19, 2006
SHEET NUMBER

GPD-1

(previously approved)

HUMBOLT AVENUE

DESCRIPTION OF PROPERTY SURVEYED

PARCEL A: LOTS 1, 2, 3, 4, 5, 6 AND 7 IN BLOCK 2 IN MARINER'S SUBDIVISION OF A PART OF LOT 18 IN THE SOUTHEAST 1/4 OF SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

ALSO: ALL THAT PART OF THE LOT 18 IN SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE NORTH LINE OF SAID LOT 18, 128.63 FEET WEST OF A POINT WHERE THE NORTHWESTERLY LINE OF RIGHT-OF-WAY OF CHICAGO, MILWAUKEE, ST. PAUL & PACIFIC RAILROAD CROSSES SAID NORTH LINE, RUNNING THENCE WEST ALONG SAID NORTH LINE 30 FEET TO A POINT, THENCE SOUTH 123.45 FEET TO A POINT, THENCE EAST 30 FEET TO A POINT, THENCE NORTH 123.45 FEET TO THE PLACE OF BEGINNING, EXCEPT THAT PART TAKEN FOR STREET PURPOSES.

NOTE: TAX KEY NO. 320-0927-111-1
ADDRESS: 2502 N. STANLEY PLACE

PARCEL B

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL A AS SET FORTH IN EASEMENT AGREEMENT, DATED MARCH 25, 1966 AND RECORDED APRIL 4, 1966 ON REEL 301, IMAGE 1269 AS DOCUMENT NO. 4246699.

PARCEL C

LOTS 1 TO 8 INCLUSIVE AND LOTS 28 TO 30, EXCEPT THE SOUTH 2 FEET THEREOF, INCLUSIVE, IN BLOCK 1 IN WALWORTH'S SUBDIVISION OF LOT 17 IN SOUTHEAST 1/4 OF SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

NOTE: TAX KEY NO. 320-1401-110-1
ADDRESS: 1138-1146 E. NORTH AVENUE

PARCEL D

ALL THAT PART OF THE FORMER CMC HEARTLAND PARTNERS RIGHT-OF-WAY, RUNNING THROUGH AND ACROSS LOTS 17, 18, 19 AND 20 PLUS 31 FEET, MORE OR LESS, NORTH ADJOINING LOT 20, AS ORIGINALLY PLATTED IN THE SOUTHEAST 1/4 OF SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE AND STATE OF WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WESTERLY LINE OF SAID RIGHT-OF-WAY, SAID POINT BEING A DISTANCE OF 37.00 FEET, MORE OR LESS, NORTHERLY OF THE SOUTH LINE OF SAID LOT 17, THENCE NORTHEASTERLY ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 100 FEET, MORE OR LESS, TO A POINT, ALSO BEING THE CENTERLINE OF E. WRIGHT ST., THENCE EASTERLY ALONG THE CENTERLINE OF E. WRIGHT STREET, A DISTANCE OF 134 FEET, MORE OR LESS, TO A POINT, THENCE SOUTHEASTERLY, ALONG THE EASTERLY LINE OF SAID RIGHT-OF-WAY, A DISTANCE OF 31 FEET, MORE OR LESS, TO A POINT, THENCE WESTERLY A DISTANCE OF 5 FEET, MORE OR LESS, TO A POINT, THENCE SOUTHEASTERLY, ALONG THE EASTERLY LINE OF SAID RIGHT-OF-WAY, A DISTANCE OF 29 FEET, MORE OR LESS, TO A POINT, THENCE WESTERLY A DISTANCE OF 31 FEET, MORE OR LESS, ALONG THE SOUTHERLY LINE OF SAID LOT 20 TO A POINT, THENCE SOUTHEASTERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE TO A POINT 31 FEET MORE OR LESS, NORTHERLY OF THE SOUTH LINE OF SAID LOT 17, THENCE WESTERLY A DISTANCE OF 100 FEET, MORE OR LESS, TO THE POINT OF COMMENCEMENT.

TAX KEY NO. 320-0927-112-X
ADDRESS: 1164 E. NORTH AVENUE

PARCEL E

ALL THAT PART OF LOT 17 IN SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, WHICH LIES BETWEEN THE MILWAUKEE RIVER ON THE EAST AND THE EAST LINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL & PACIFIC RAILROAD RIGHT-OF-WAY ON THE WEST, EXCEPT THOSE PARTS THEREOF DESCRIBED IN QUIT CLAIM DEED RECORDED ON DECEMBER 22, 1919 IN VOLUME 806 OF DEEDS ON PAGE 628 AS DOCUMENT NO. 1013370 AND IN QUIT CLAIM DEED RECORDED ON NOVEMBER 4, 1991 ON REEL 284, IMAGE 1053 AS DOCUMENT NO. 658753 AND THE EAST 1.33 ACRES OF LOT 18 IN THE SOUTHEAST 1/4 OF SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, ALSO DESCRIBED AS LOTS 17 AND 18 OF GOVERNMENT LOTS, EXCEPT STREETS, ALL EAST OF RIGHT-OF-WAY IN THE SOUTHEAST 1/4 OF SECTION 16, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

State of Wisconsin: ISS
County of Milwaukee:

I have surveyed the above shown land and the map hereon is a true representation thereof, to the best of my knowledge and belief.

Date:

Patrick D. Stankiewicz
Registered Land Surveyor: S-2583

GENERAL NOTES

1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 7 NORTH, RANGE 22 EAST WAS USED AS NORTH 89°04'24" EAST (SEWRPC JANUARY 2005 DATUM).
2. SURVEY BASED ON COMMITMENT NO. 1210937, COM DATED FEBRUARY 3, 2006 AT 7:00 A.M.
3. UNDERGROUND UTILITIES ARE BASED ON FIELD LOCATION BY DIGGER'S HOTLINE ON DECEMBER 8, 2005. PER TICKET NO. 20050702543.
4. PROJECT CONVERSION FACTOR: GRID: 99991717 = GROUND.
5. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1927; SUBTRACT 550.6 TO PLACE ELEVATIONS IN CITY OF MILWAUKEE DATUM.
6. FIELD SURVEY PERFORMED BY TERRATEC ENGINEERING, LLC ON FEBRUARY 21-27, 2006.
7. UNDERGROUND UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR OWNER IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR OWNER SHALL CALL DIGGER'S HOTLINE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
8. EASEMENT DOCUMENT NUMBER 527617 NOTED IN COMMITMENT NO. 1210937, COM CAN NOT BE LOCATED. FOUR COPY.
9. EASEMENT DOCUMENT NUMBER 424259 NOTED IN COMMITMENT NO. 1210937, COM CAN NOT BE LOCATED. FOUR COPY.

SURVEYOR'S REPORT

PROPERTY BOUNDARY IS BASED ON THE DEED DESCRIPTION IN ALTA COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1210937, COM DATED FEBRUARY 3, 2006 AT 7:00 A.M. AND FIELD EVIDENCE. BEARINGS BASES ROTATED TO MATCH CURRENT S.E.W.R.P.C. DATUM (FEBRUARY 2005) OVERLAPS AND GAPS NOTED ON DRAWING.

DIGGER'S HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1101
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



PRELIMINARY

"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

"This plan represents the design based on information received from various sources. It is therefore the responsibility of the surveyor/layout personnel and contractor to field verify the information contained on this plan with the plans of other design professionals including the Architect and also with the field conditions. Any discrepancies shall be reported to the engineer prior to proceeding with the work."

| DESIGNED BY | APPROVED BY | DATE |
|---------------------------|-------------|---------|
| | | |
| REVISION NO. | REVISIONS | DATE BY |
| | | |
| | | |
| | | |
| TERRATEC PROJECT NO. | | |
| TERRATEC ENGINEERING, LLC | | |
| SHEET NO. 1 OF 1 | | |

(Previously approved)



PROJECT
NORTH AVENUE
REDEVELOPMENT PROJECT

NORTH AVENUE
MILWAUKEE, WISCONSIN 53212

ISSUANCE AND REVISIONS

[illegible]

GENERAL PLAN DEVELOPMENT

SHEET TITLE
PROPOSED SITE
RE-DIVISION PLAN

| APPROVAL | | |
|------------|----|----|
| SPACE PLAN | DO | CO |
| DATE | | |
| NAME | | |
| DEPARTMENT | | |

PROJECT MANAGER JP

PROJECT NUMBER 105327-CG

DATE APRIL 19, 2006

SHEET NUMBER

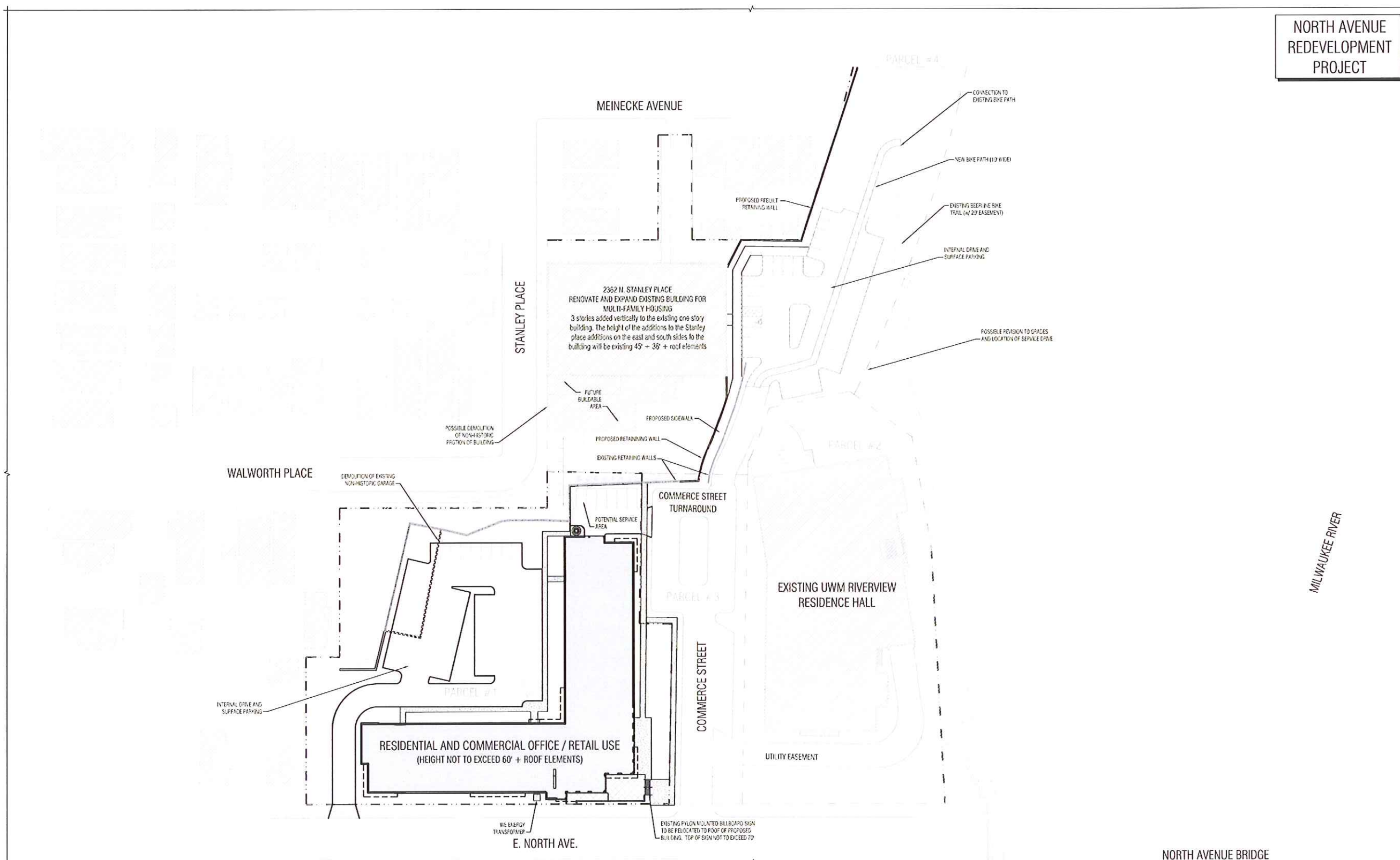
GPD-3

(previously approved)



23 PROPOSED SITE RE-DIVISION PLAN
1" = 50'-0"

NORTH AVENUE
REDEVELOPMENT
PROJECT



SITE DEVELOPMENT PLAN
SCALE: 1/4" = 1'-0"

UPDATED as part of amendment #1
REVISION TO GENERAL DEVELOPMENT PLAN
GPD-4

EXTERIOR - SCHEME C

1150 NORTH

MILWAUKEE, WI

zimmerman
ARCHITECTURAL SERVICES, INC.

ZAS Project #: 005539 Date Issued: 09-06-2011

2722 W. Maple Street, Suite 100, Milwaukee, WI 53225 | 414.255.2000



PANORAMIC VIEW LOOKING WEST



PANORAMIC VIEW OF SITE, EAST FACADE OF 2362 N. STANLEY



PANORAMIC VIEW OF SITE, LOOKING WEST, NORTH AND EAST



EPPSTEIN UHEN

ARCHITECTS

MILWAUKEE 333 East Chicago Street
Milwaukee, Wisconsin 53012
tel 414 271 5550 fax 414 271 7754
MADISON 222 West Washington Ave. Suite 650
Madison, Wisconsin 53703
tel 608 442 5550 fax 608 442 6600

PROJECT
NORTH AVENUE
REDEVELOPMENT PROJECT

NORTH AVENUE
MILWAUKEE, WISCONSIN 53212

| ISSUANCE AND REVISIONS | |
|------------------------|------------------------------------|
| DATE | DESCRIPTION |
| 4-24-06 | GENERAL DEVELOPMENT PLAN SUBMITTAL |
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GENERAL PLAN
DEVELOPMENT
SHEET TITLE
SITE AND SURROUNDING
CONTEXT PHOTOS

| APPROVAL | | |
|------------|----|-----|
| SPACE PLAN | CO | FFE |
| DATE | | |
| NAME | | |
| DEPARTMENT | | |

PROJECT MANAGER JP
PROJECT NUMBER 105327-CG
DATE APRIL 19, 2006
SHEET NUMBER

GPD-5

PROJECT

**NORTH AVENUE
REDEVELOPMENT PROJECT**

**NORTH AVENUE
MILWAUKEE, WISCONSIN 53212**

| ISSUANCE AND REVISIONS | |
|------------------------|------------------------------------|
| DATE | DESCRIPTION |
| 4-14-06 | GENERAL PLAN DEVELOPMENT SUBMITTAL |
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**GENERAL PLAN
DEVELOPMENT**

SHEET TITLE

**SITE AND SURROUNDING
CONTEXT PHOTOS**

| APPROVAL | | | |
|------------|----|----|-----|
| SPACE PLAN | DD | CD | FFE |
| DATE | | | |
| NAME | | | |
| DEPARTMENT | | | |

PROJECT MANAGER JP

PROJECT NUMBER 105327-CG

DATE APRIL 19, 2006

SHEET NUMBER

GPD-6



WEST FACADE, 2362 N. STANLEY



NORTH ALLEY ACCESS TO 2362 N. STANLEY



VIEW SOUTH TO EXISTING BIKE PATH



MEINECKE AVENUE LOOKING WEST







**NEIGHBORHOOD CONTEXT,
GORDON PLACE LOOKING SOUTH**

**FN 071364 and 110586
1st Amendment to GPD and
GPD to DPD, Phase 2
November 2011**

 Proposed Zoning Change





Residential Districts

-  Single Family (RS1-6)
-  Two-Family (RT1-4)
-  Multi-Family (RM1-7)
-  Residential and Office (RO1-2)





Commercial Districts

-  Neighborhood Shopping (NS1-2)
-  Local Business (LB1-2)
-  Commercial Service (CS)
-  Regional Business (RB1-2)
-  Central Business (C9A-C9H)

Industrial Districts

-  Industrial - Office (IO)
-  Industrial - Light (IL1-2)
-  Industrial - Mixed (IM)
-  Industrial - Heavy (IH)

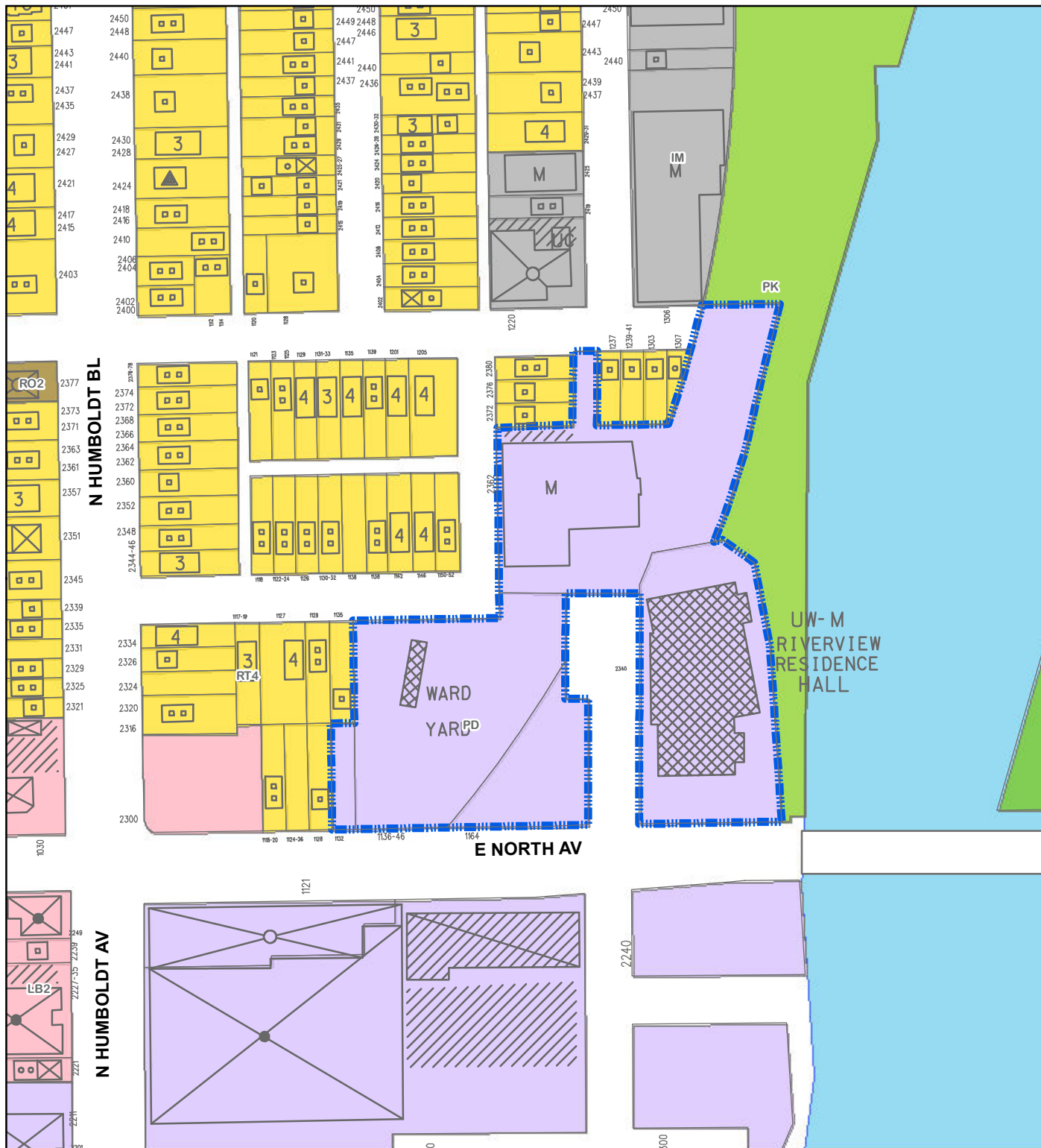
Special Districts

-  Parks (PK)
-  Institutional (TL)
-  Planned Development (PD, DPD)
-  Redevelopment (RED)



0 130 260 520 Feet

Data source: Department of City Development 2011



Address of parcel(s): 1132, 1134 E. North Av.
2342 N. Stanley Pl.
2340 N. Commerce St.
2504 N. Bush Ln.

Affidavit for Zoning Change

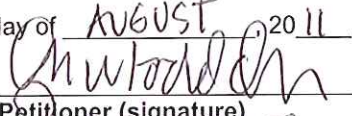
1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES ☐ NO ☒
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES ☐ NO ☒
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES ☐ NO ☒
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES ☐ NO ☒
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES ☐ NO ☒

2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.

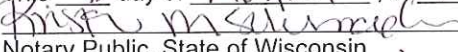
Dated at Milwaukee, Wisconsin, this 22ND day of AUGUST, 2011.


Petitioner (signature)

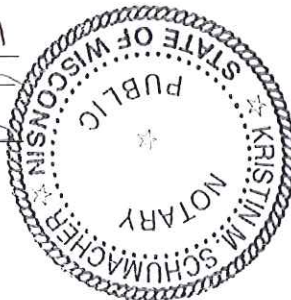
JOHN DAVIES
(print name, relationship to project)

Subscribed and sworn to before me

This 32 day of August, 2011


Notary Public, State of Wisconsin

My commission expires: 3/24/13



Office Use Only: File no. 110586

November 15, 2011

To the Honorable Members of the
Zoning, Neighborhoods and Development Committee
City of Milwaukee
City Hall, Room 205

Dear Committee Members:

File No. 110586 relates to the First Amendment to the General Planned Development (GPD) known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District.

This amendment will permit changes to the site plan and statistics to allow for a mixed-use development along East North Avenue. More specifically, this proposal will allow for a reduction in the number of buildings to be constructed as part of Phase 2, a reduction in the amount of land covered by buildings, an increase in the area devoted to drives and parking, an increase in the area devoted to landscaped open space, a reduction in the residential unit density, and a reduction in the amount of parking provided for the residential developments. It also adds to the list of permitted uses for the commercial space on the ground floor of the proposed building, and details the conversion of the existing billboard into a digital sign that will be integrated into the building design.

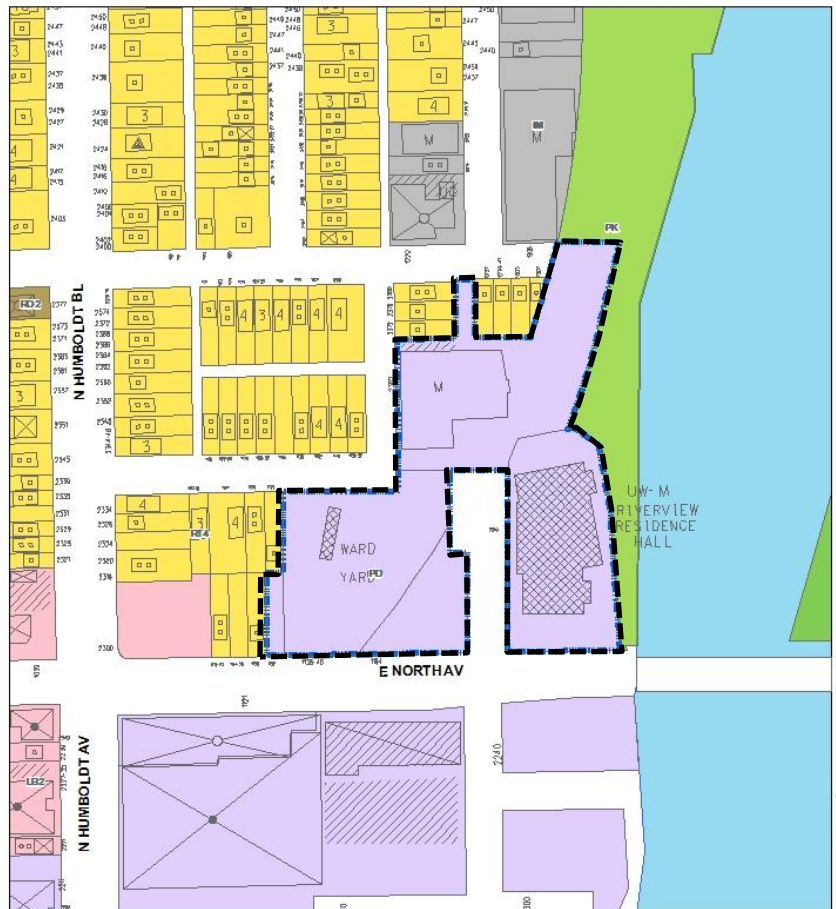
On November 14, 2011, a public hearing was held and at that time nobody spoke in opposition. Since the proposed amendment to the GPD is consistent with the recommendations of the Northeast Side Area Plan and the previously approved GPD, the City Plan Commission at its regular meeting on November 14, 2011 recommended approval of the subject file.

Sincerely,

Rocky Marcoux
Executive Secretary
City Plan Commission of Milwaukee

cc: Ald. Nik Kovac

File No. 110586 and 071364. GPD: Substitute ordinance relating to the First Amendment to the General Planned Development known as ReadCo, to facilitate development, on land located on the north side of East North Avenue and east of North Humboldt Avenue, in the 3rd Aldermanic District. This amendment will permit changes to the site plan and statistics to allow for a mixed-use development along East North Avenue. DPD: Substitute ordinance relating to a change in zoning from General Planned Development to Detailed Planned Development, Phase II, known as ReadCo, on land located on the North Side of East North Avenue and East of North Humboldt Avenue, in the 3rd Aldermanic District. This ordinance will permit residential and commercial development along East North Avenue.



FN 071364 and 110586
1st Amendment to GPD and
GPD to DPD, Phase 2
November 2011

Proposed Zoning Change

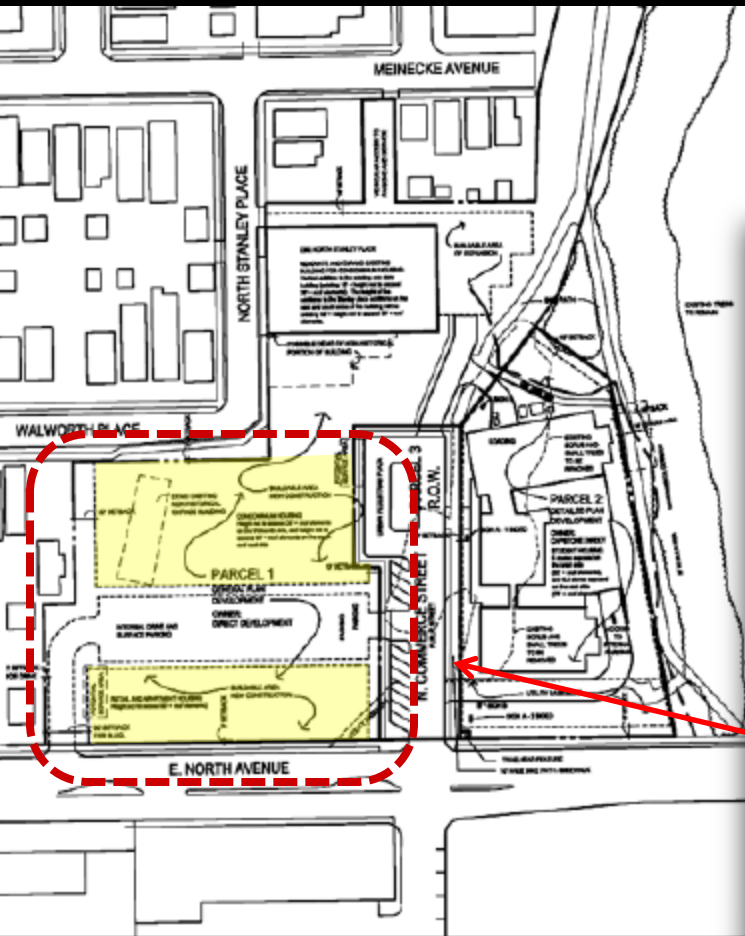
Residential Districts



ReadCo Existing Site Photos

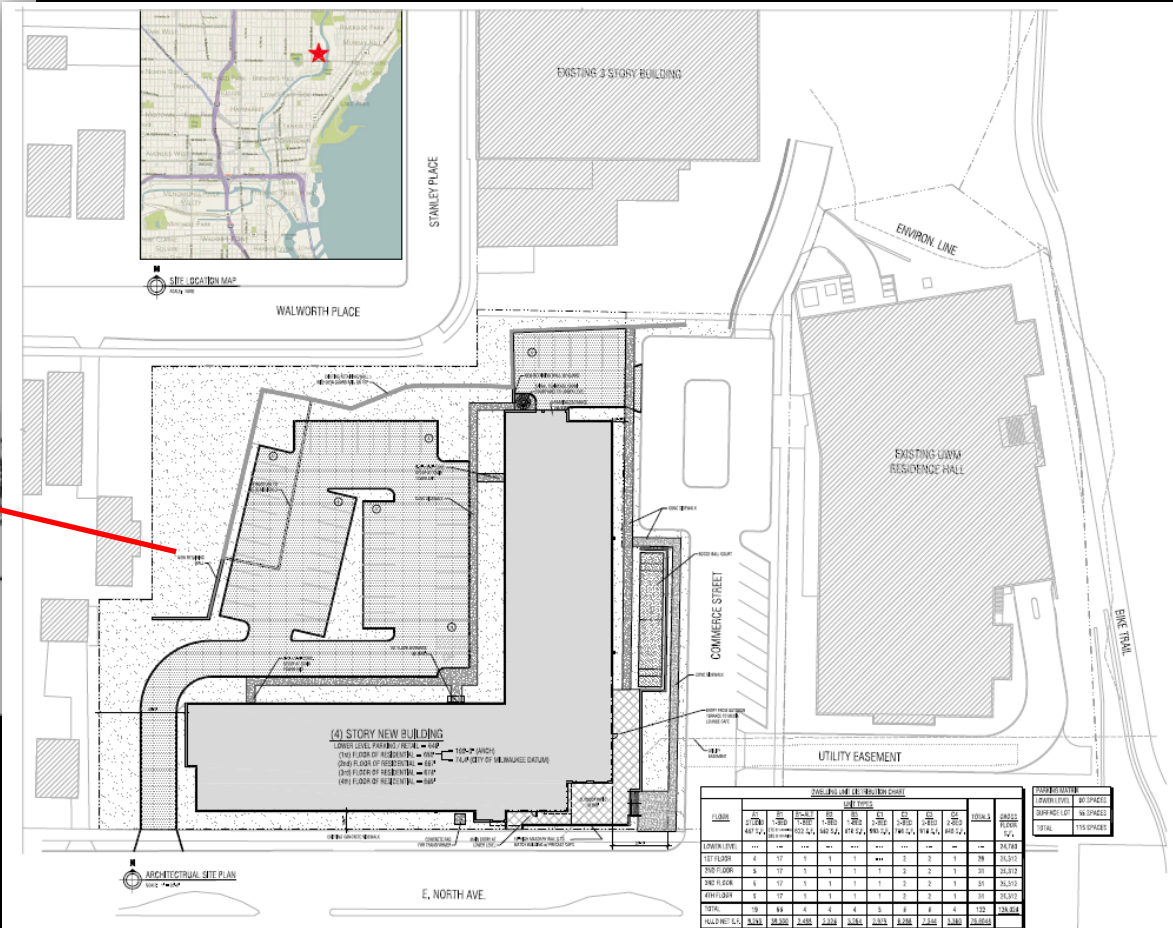


ReadCo Previously Approved and Proposed Site Plans

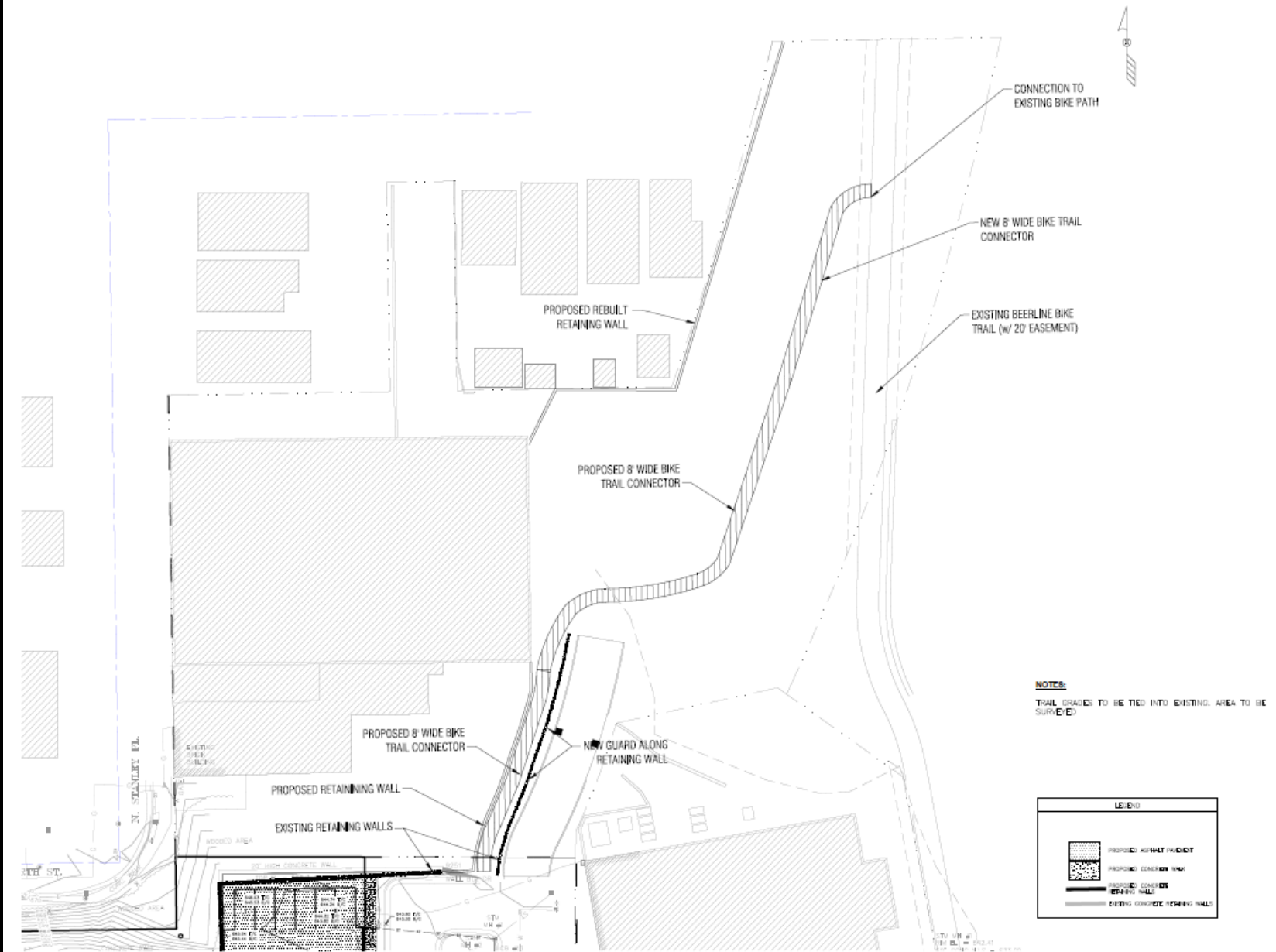


Above: Previously approved GPD site plan

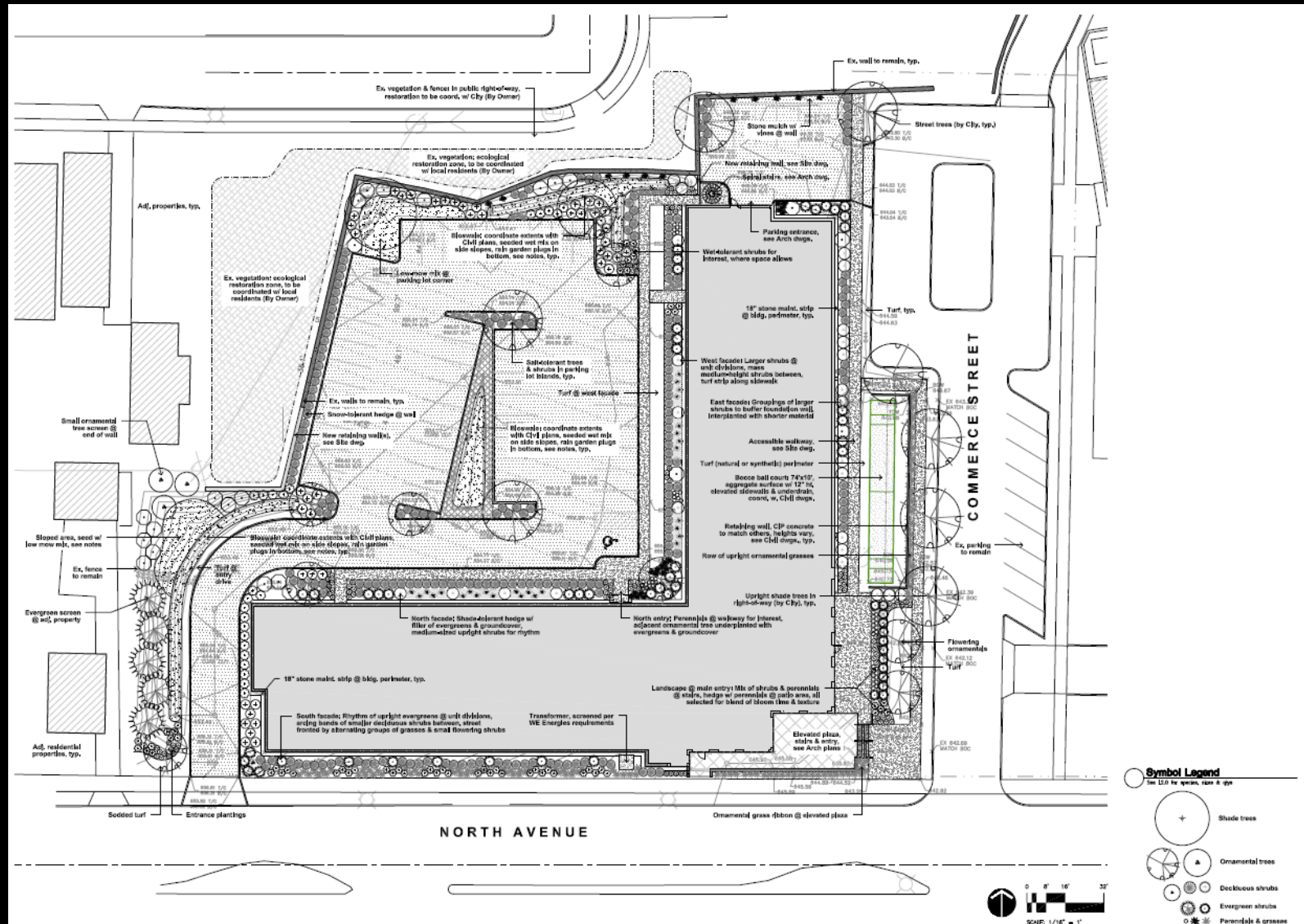
Below: Proposed site plan with new building configuration



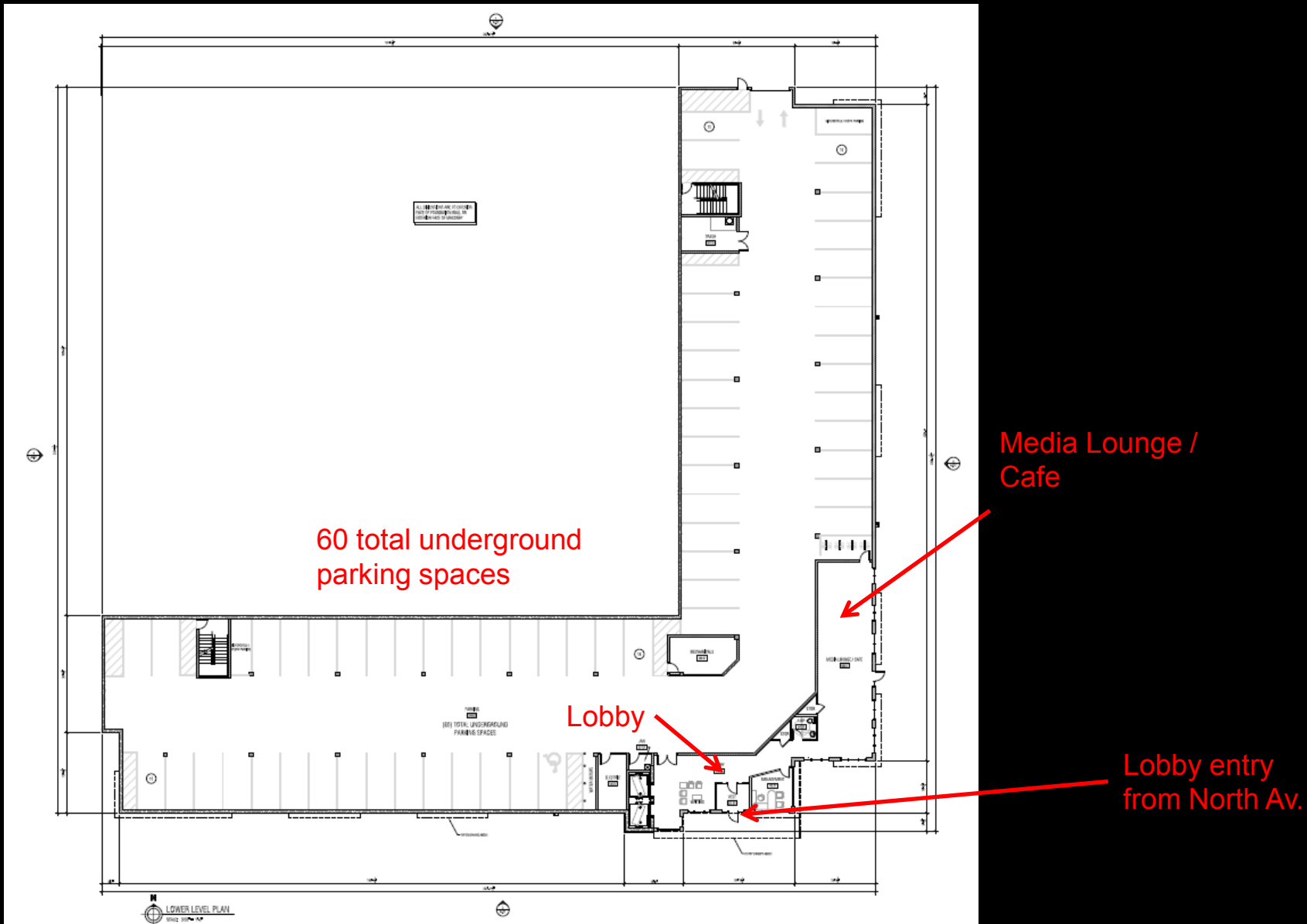
ReadCo Bike Trail Connection



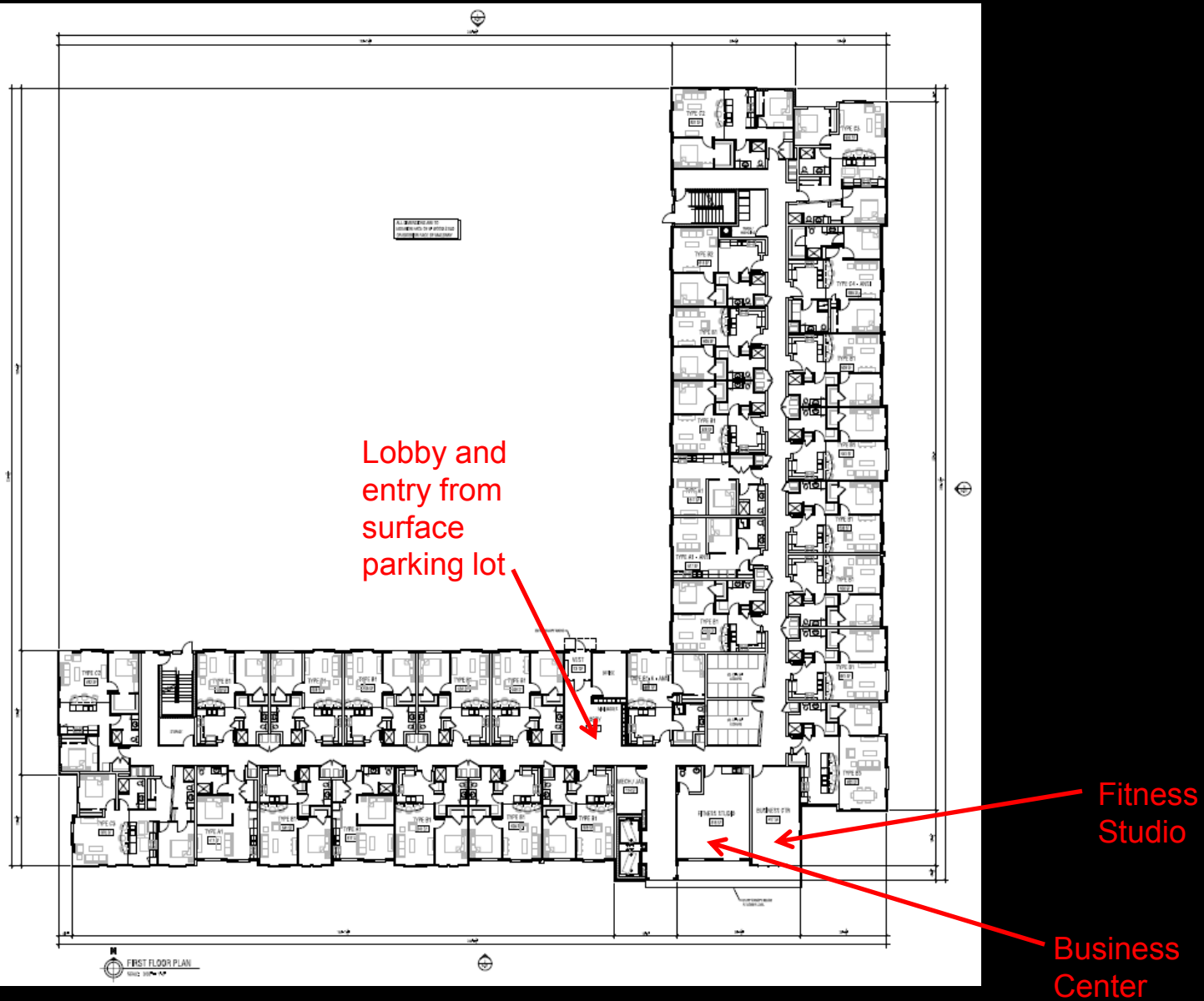
ReadCo DPD Landscape Plan



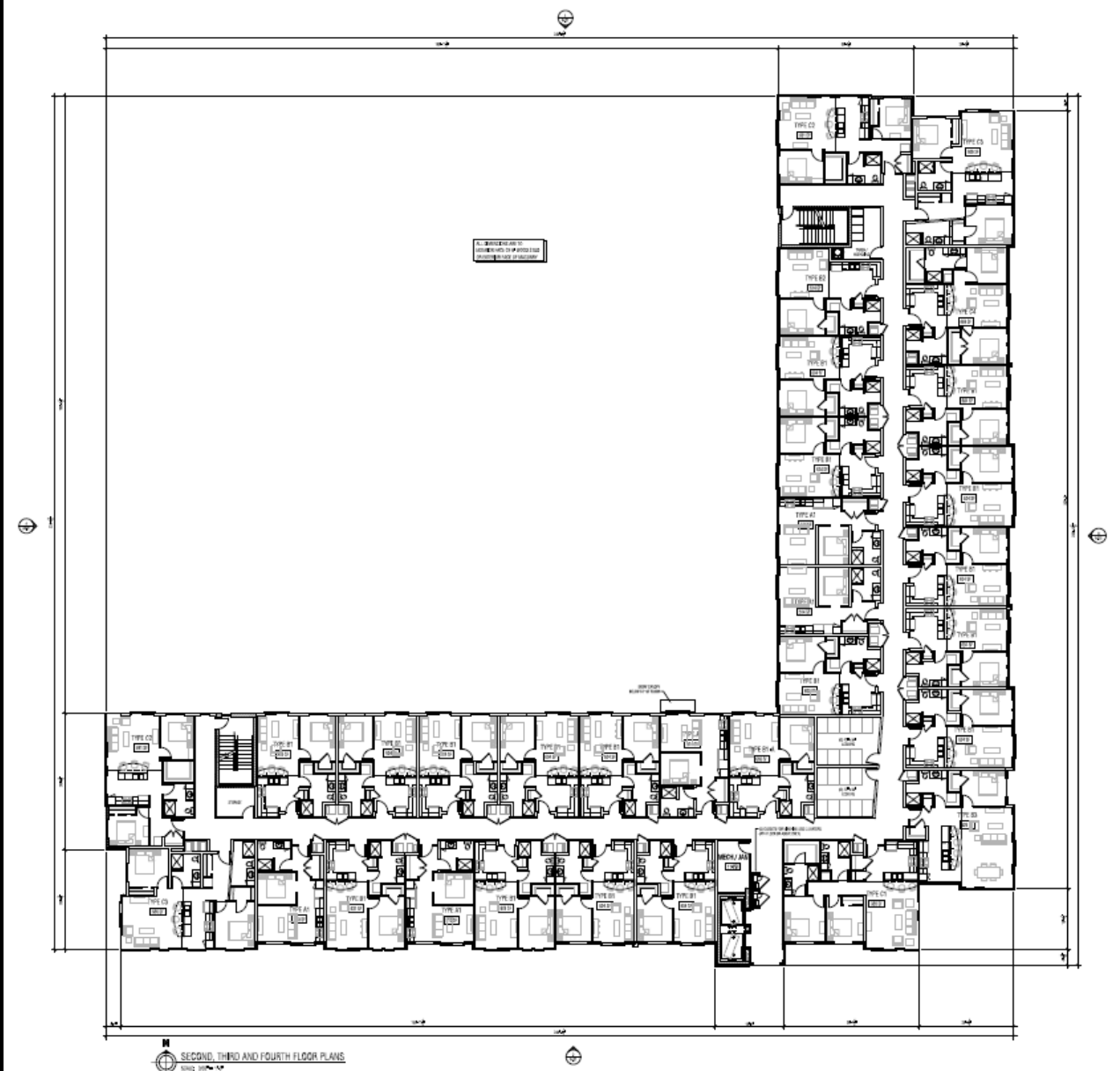
ReadCo DPD Lower Level Plan



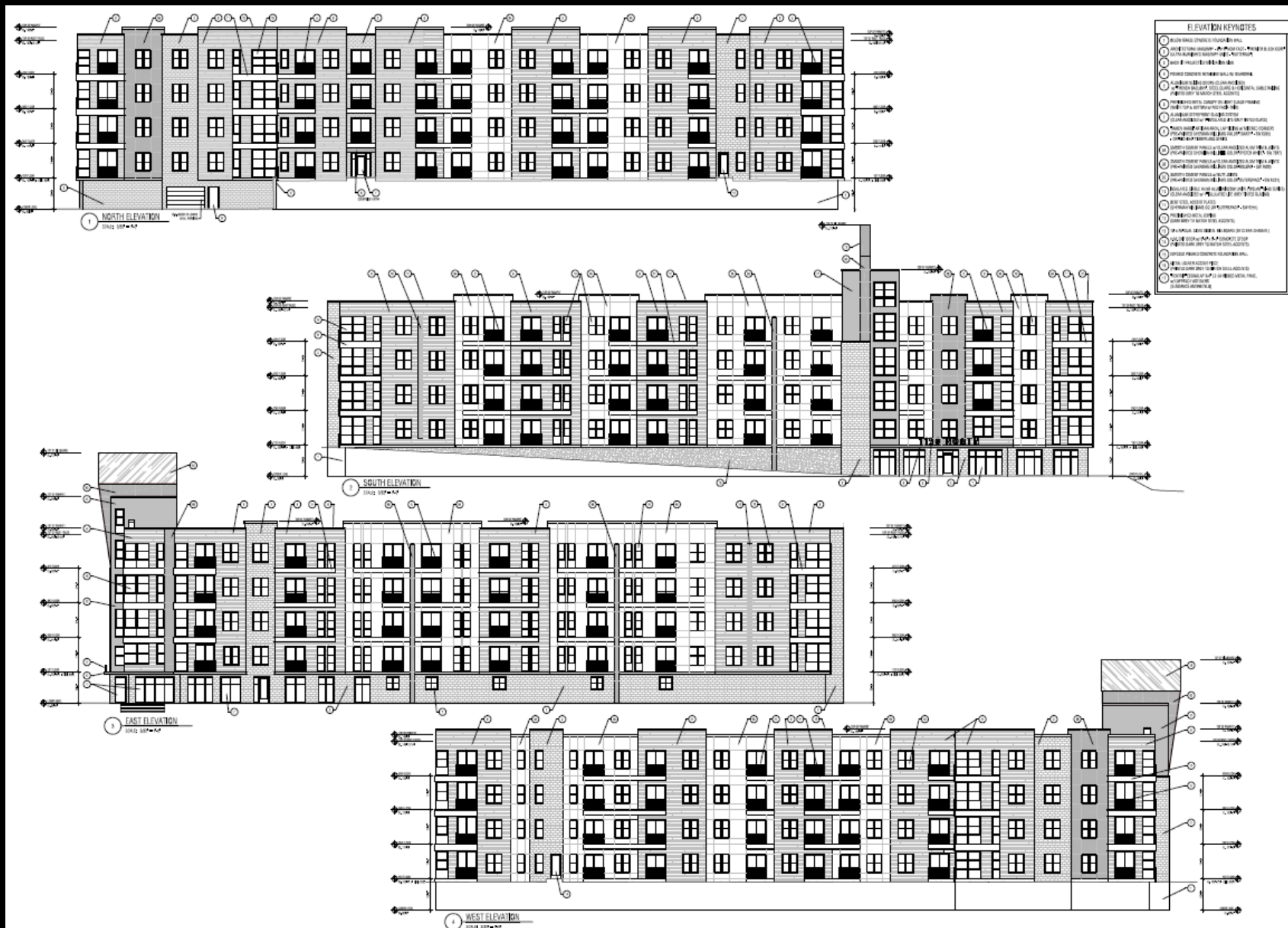
ReadCo DPD *First Floor Plan*



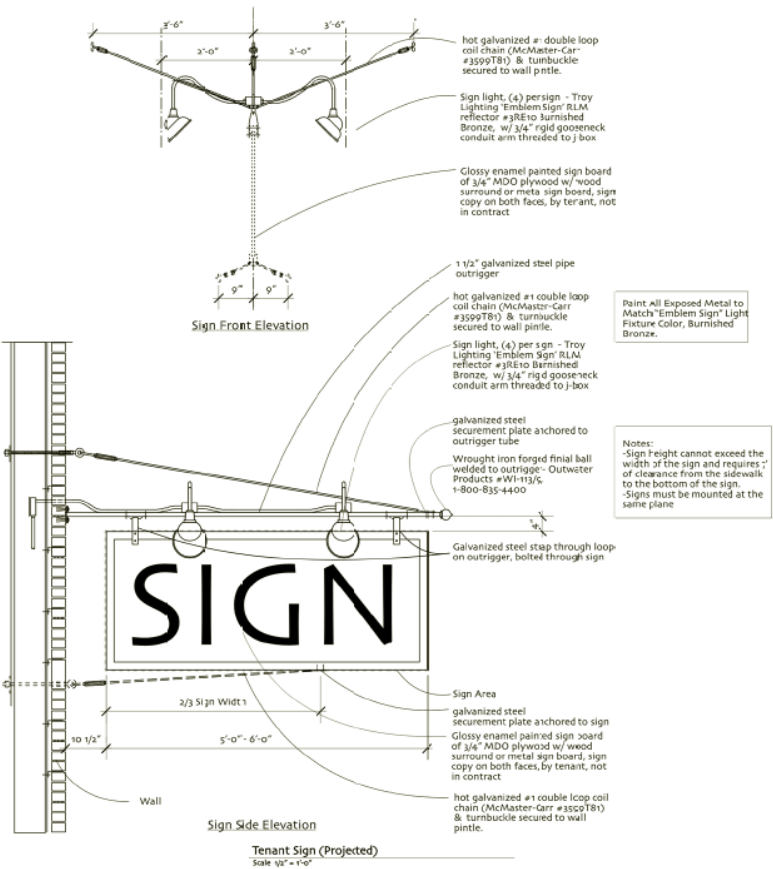
ReadCo DPD Second – Fourth Floor Plans



ReadCo DPD Exterior Elevations

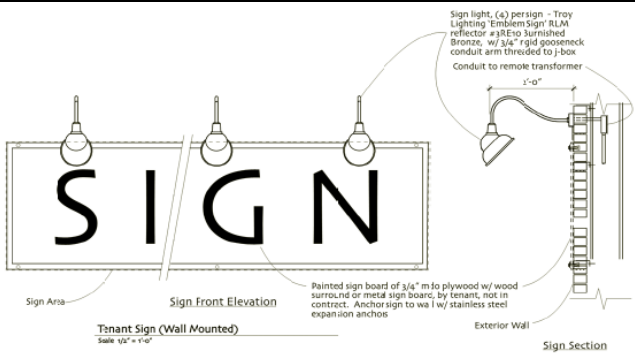
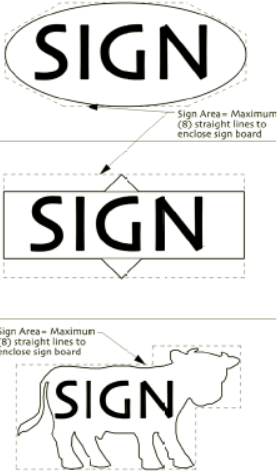


ReadCo DPD Signage Details



Shape of signs may vary provided that it's sign area does not exceed 48 Sq. Feet (wall mounted) or 24 Sq. Feet (Projecting).

EXAMPLE SHAPES



ReadCo DPD Conceptual Renderings



| Year | Percentage of Population Aged 65 and Over |
|------|---|
| 1950 | 7.0 |
| 1960 | 8.0 |
| 1970 | 9.0 |
| 1980 | 10.0 |
| 1990 | 11.0 |
| 2000 | 12.0 |
| 2010 | 13.0 |
| 2020 | 14.0 |
| 2030 | 15.0 |
| 2040 | 16.0 |
| 2050 | 16.0 |

[illegible]

A H STURGIS & P GARRIGAN
3113 S ILLINOIS AV
MILWAUKEE WI 53207

E & H PROPERTIES LLC
PO BOX 320074
FRANKLIN WI 53132

MARK D WOLBRINK
544 E OGDEN STE 700-139
MILWAUKEE WI 53202

BETHANY M ARMSTRONG
3452 N ELAINE PLACE APT G
CHICAGO IL 606572420

HEIDE JO PIEHLER
2348 N HUMBOLDT BL
MILWAUKEE WI 53212

MICHAEL S MISZEWSKI
2376 N STANLEY PL
MILWAUKEE WI 532123519

CHRISTOPHER P FABBRI JR
1135 E MEINECKE AVE
MILWAUKEE WI 53212

HESHAM M AL ALI, JULIA HAUZINGER
1122 E WALWORTH ST
MILWAUKEE WI 53212

MILO INVESTMENTS II, C/O ROUNDYS
875 E WISCONSIN AV MD-3300
MILWAUKEE WI 53202

CHUN LEE INC #2
PO BOX 267
HALES CORNERS WI 53130

JAMES GOLUBEFF
2404 N DOUSMAN ST
MILWAUKEE WI 53212

MILWAUKEE CO, REGISTER OF DEEDS
901 N 9TH STREET
MILWAUKEE WI 53233

CONNIE TOLL
1107 E WALWORTH ST
MILWAUKEE WI 53212

JOHN D JONAS
2326 N HUMBOLDT BLVD
MILWAUKEE WI 53212

MITZI CHILLA
1118 E WALWORTH ST
MILWAUKEE WI 53212

CONTINENTAL WORLDWIDE INC
1030 E NORTH AV
MILWAUKEE WI 53212

J J KROUSE, P S KROUSE
1121 E MEINECKE AVE
MILWAUKEE WI 53212

NEIL BIONDICH JR, RANDY BERDAN
1117 E WALWORTH ST
MILWAUKEE WI 53212

D A WUTKOWSKI
TR OF D A WUTKOWSKI TR
2354 N HUMBOLDT BL
MILWAUKEE WI 53212

LINDA M ELMER
1128 E NORTH AVE
MILWAUKEE WI 53212

NEUKAP MANAGEMENT LLC
8750 W MILL RD
MILWAUKEE WI 53225

DENNIS E WAJER & SANDRA HW
2344 N HUMBOLDT BL
MILWAUKEE WI 53212

LORRAINE M JACOBS
2412 N DOUSMAN
MILWAUKEE WI 53212

NICOLE K HODIEWICZ
2358 18 3/4 ST
RICE LAKE WI 54868

DIRECT READCO LLC
1240 MAIN ST, STE 1
GREEN BAY WI 54302

MAHAR, SHAW, SHEA
DOERFLER, ZBELLA
1205A E MEINECKE AVE
MILWAUKEE WI 53212

NORTH & HUMBOLDT LLC
6495 S 27TH ST
FRANKLIN WI 53132

DORIS M CERAR-MCCORMACK
2380 N STANLEY PL
MILWAUKEE WI 53212

MARK CISEWSKI
N6604 MINE RD
IRON RIDGE WI 53035

PAIGE PRILLAMAN
1139 E MEINECKE AV
MILWAUKEE WI 53212



1105861071564



PATRICIA ULIK
2451 N GORDON PL
MILWAUKEE WI 53212

SOUTH GLENN PLAZA, LLC
PO BOX 11702
MILWAUKEE WI 53211

WERONKA, ROBERT J
1128 E MEINECKE AVE
MILWAUKEE WI 53212

PRIMITIVO PASTRANA
1201 E MEINECKE AV, #1
MILWAUKEE WI 53212

STEVE WESTON
12753 NE SHORELAND DR
MEQUON WI 53092

WT NORTH LLC C/O WILLOW TREE DEV
2060 N HUMBOLDT AV #250
MILWAUKEE WI 53212

READCO
PO BOX 1131
MILWAUKEE WI 53201

SUZANNE KRZOSKA
1146 E WALWORTH ST
MILWAUKEE WI 53212

WT NORTH LLC, C/O WILLOW TREE DEV
2060 N HUMBOLDT AV #225
MILWAUKEE WI 53212

R J REUTER, D PETRUSHA
2364 N HUMBOLDT BL
MILWAUKEE WI 53212

TC SALMON, AJ CRAIG-SALMON
2360 N HUMBOLDT BL
MILWAUKEE WI 53212

ANN BRUMMIT, MILW RIVER COALITION
1845 N FARWELL #100
MILWAUKEE WI 53202

RIVERS CREST LLC
C/O MANDEL GROUP
301 E ERIE ST
MILWAUKEE WI 53202

UWM REAL ESTATE FOUNDATION INC
3230 E KENWOOD BL
MILWAUKEE WI 53211

TODD DAVIES, HD DEVELOPMENT
5852 N SHORE DRIVE
MILWAUKEE WI 53212

RIVERWEST FC LLC
317 N BROADWAY
MILWAUKEE WI 53202

THOMAS A BALISTRIERI
2419 N GORDON PL
MILWAUKEE WI 53212

GREGG PROSSEN
ZIMMERMAN ARCHITECTS
2122 W MT VERNON AV
MILWAUKEE WI 53233

RIVERWEST FC LLC
445 PROSPECT DR
BROOKFIELD WI 53005

TIMOTHY HEIER, TERESA HEIER
203 W CRAWFORD AV
MILWAUKEE WI 53207

ROBERT J WERONKA
1128 E MEINECKE AV
MILWAUKEE WI 532123512

TODD R ROEHL, ANNETTE E BREIWA
2372 N STANLEY PL
MILWAUKEE WI 53212

ROD DISPLAY LLC
1220 E MEINECKE AV
MILWAUKEE WI 53212

VALERIE J NEWBURRY
440 W MONTCLAIRE AVE
GLENDALE WI 53217

SEIDEL TANNING CORP
1306 E MEINECKE AV
MILWAUKEE WI 53212

VICTORIA WERONKA
1135 E WALWORTH ST
MILWAUKEE WI 53212



Legislation Details (With Text)

File #: 090688 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 9/22/2009 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Resolution authorizing expenditures and approving the terms of a Development Agreement for the Reed Street Yards Tax Incremental District, in the 12th Aldermanic District.

Sponsors: ALD. WITKOWIAK

Indexes: AGREEMENTS, TAX INCREMENTAL DISTRICTS, TAX INCREMENTAL FINANCING

Attachments: Proposed Substitute A, Fiscal Impact Statement, Project Plan Amendment No.pdf, Economic Feasibility Report as of 11-2-11, Term Sheet as of 11-16-11

| Date | Ver. | Action By | Action | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 9/22/2009 | 0 | COMMON COUNCIL | ASSIGNED TO | | |

Number

090688

Version

ORIGINAL

Reference

090564

Sponsor

ALD. WITKOWIAK

Title

Resolution authorizing expenditures and approving the terms of a Development Agreement for the Reed Street Yards Tax Incremental District, in the 12th Aldermanic District.

Analysis

This resolution approves the terms of a Development Agreement for the Reed Street Yards Tax Incremental District and the expenditure of \$6,420,000 in financial assistance for the development at South 3rd Street and West Pittsburgh Avenue, which will include infrastructure, defraying extraordinary site costs and grants for water-related companies. The TID is roughly bounded by the Menomonee Canal to the north and west, South 2nd and South 3rd Streets to the east and West Florida Street to the south.

Body

Whereas, On September 22, 2009, the Common Council of the City of Milwaukee adopted File No. 090564, which approved the Project Plan and created the Reed Street Yards Tax Incremental District ("TID No. 75"); and

Whereas, The City of Milwaukee ("City") is willing to provide an amount not to exceed \$6,420,000 for public infrastructure, defraying extraordinary site costs and grants for water-related companies, pursuant to a Term Sheet for a Development Agreement, a copy of which is attached to this Common Council File; and

Whereas, In consideration of the City investment, Building 41, LLC (the "Developer") or its assigns is willing to convey the necessary land for the dedication of public rights-of-way and permanent public-access easements for Riverwalk to the City, pursuant to said Term Sheet; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the proper City officials are directed to enter into a Development Agreement with the Developer or its assigns for the purpose of implementing the Project Plan on terms substantially in accordance with said Term Sheet for the Project; and, be it

Further Resolved, That the proper City officials, in consultation with the City Attorney's office, are authorized to make non-substantive changes to the terms of the Development Agreement without further Common Council action as necessary to achieve the intent of the City's action and to provide for construction of the public infrastructure; and, be it

Further Resolved, That the City Comptroller is directed to transfer the sum of \$6,420,000, plus capitalized interest for two years, from the Parent TID account to the Project Account for paying TID No. 75 expenditures; and, be it

Further Resolved, That the City Comptroller is directed to establish all accounts and to make all appropriation transfers upon request by the Department of City Development for all revenue or expenditure activity under this resolution.

Drafter

DCD:DAC:dac
09/22/09/A

..Number

090688

..Version

PROPOSED SUBSTITUTE A

..Reference

090564

..Sponsor

ALD. WITKOWIAK

..Title

Substitute resolution approving Amendment No. 1 to the Project Plan and a Term Sheet authorizing expenditures for Tax Incremental District No. 75 (Reed Street Yards), in the 12th Aldermanic District.

..Analysis

The Common Council created Tax Incremental District No. 75 in 2009 to fund public infrastructure at the Reed Street Yards to create a water technology and business park. Amendment No. 1 will provide up to \$6,217,770 to fund public infrastructure costs associated with the Reed Street Yards water technology and business park and a loan to a business improvement district.

..Body

Whereas, On September 22, 2009, the Common Council of the City of Milwaukee ("Common Council") adopted File No. 090564, which approved a Project Plan and created Tax Incremental District No. 75 (Reed Street Yards) (the "District"); and

Whereas, Pursuant to Section 66.1105(4)(h)(1), Wisconsin Statutes, on November 17, 2011, the Redevelopment Authority of the City of Milwaukee ("Authority") conducted a public hearing on Amendment No. 1 to the Project Plan for the District ("Amendment"), approved the Amendment by resolution and submitted the Amendment, a copy of which is attached to this Common Council File, to the Common Council for its approval; and

Whereas, Section 66.1105(4)(g) and (h)(1), Wisconsin Statutes, provides that an amendment to a Project Plan shall be approved by the Common Council by adoption of a resolution, which contains findings that such amendment is feasible and in conformity with the Master Plan of the City of Milwaukee ("City"); now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that it finds and determines as follows:

1. The Amendment retains the existing boundaries of the District and does not alter the number of properties within the District. Therefore, the findings made in File No. 090564, pursuant to Section 66.1105(4)(gm)1 and 4, Wisconsin Statutes, are reaffirmed.

2. The Amendment revises the project costs to be supported by the District and revises the forecast of District Cash Flow and the District Financial Feasibility Analysis that is part of the Project Plan and makes related changes regarding the timing of project costs and methods of financing.

3. The project costs provided in the Amendment relate directly to promoting development consistent with the City's Master Plan and with the purpose(s) for which the District was created under Section 66.1105(4)(gm)4a, Wisconsin Statutes.

4. The percentage of the aggregate value of the equalized taxable property of the District, plus the incremental value of all other existing Tax Incremental Districts ("TID"), does not exceed the statutory maximum 12 percent of the aggregate value of total equalized value of taxable property within the City; and, be it

Further Resolved, That the Amendment is approved and the Project Plan for the District, as amended, is feasible, in conformity with the Master Plan for the City and will promote the orderly development of the City; and, be it

Further Resolved, That:

1. The City Clerk is directed to notify the Wisconsin Department of Revenue in such form as may be prescribed by said Department of the approval of this Amendment pursuant to the provisions of Section 66.1105(5), Wisconsin Statutes.

2. The City Comptroller is directed to transfer the sum of \$6,217,770, plus capitalized interest for two years, if necessary, from the Parent TID Account to Project Account No. TD07580000 for the purpose of providing the necessary funding for the Amendment.

3. The City Comptroller, in conjunction with the Commissioner of the Department of City Development, is directed to perform such acts and to create such accounts and subaccounts and make appropriate transfers, upon written request by the Department of City Development, for all revenue or expenditure activity under this resolution.

4. The proper City officials are directed to execute a Cooperation and Development Agreement providing for the granting of funds to the Authority such that the Authority may make the grants and provide a loan to the Project as specified in the Amendment on the terms and conditions set forth in the Term Sheet, a copy of which is attached to this Common Council File; and, be it

Further Resolved, That the proper City officials are authorized to execute any additional documents and instruments necessary to carry out the provisions of the Cooperation and Development Agreement and implement the Project.

..Drafter

DCD/Redevelopment Authority

DAC:dac

11/17/11



City of Milwaukee Fiscal Impact Statement

| | | | | | | |
|----------|----------------|---|--------------------|--------|---|--|
| A | Date | 11/17/2011 | File Number | 090688 | <input checked="" type="checkbox"/> Original | <input type="checkbox"/> Substitute |
| | Subject | Substitute resolution approving Amendment No. 1 to the Project Plan and a Term Sheet authorizing expenditures for Tax Incremental District No. 75 (Reed Street Yards), in the 12th Aldermanic District. | | | | |

| | | |
|----------|---|--|
| B | Submitted By (Name/Title/Dept./Ext.) | Rocky Marcoux, Commissioner, Department of City Development x 5800 |
|----------|---|--|

| | | |
|----------|---|--|
| C | This File | <input checked="" type="checkbox"/> Increases or decreases previously authorized expenditures. |
| | <input type="checkbox"/> Suspends expenditure authority. | |
| | <input type="checkbox"/> Increases or decreases city services. | |
| | <input type="checkbox"/> Authorizes a department to administer a program affecting the city's fiscal liability. | |
| | <input type="checkbox"/> Increases or decreases revenue. | |
| | <input type="checkbox"/> Requests an amendment to the salary or positions ordinance. | |
| | <input type="checkbox"/> Authorizes borrowing and related debt service. | |
| | <input type="checkbox"/> Authorizes contingent borrowing (authority only). | |
| | <input type="checkbox"/> Authorizes the expenditure of funds not authorized in adopted City Budget. | |

| | | | |
|----------|---|---|--|
| D | Charge To | <input type="checkbox"/> Department Account | <input type="checkbox"/> Contingent Fund |
| | <input checked="" type="checkbox"/> Capital Projects Fund | <input type="checkbox"/> Special Purpose Accounts | |
| | <input type="checkbox"/> Debt Service | <input type="checkbox"/> Grant & Aid Accounts | |
| | <input type="checkbox"/> Other (Specify) | | |
| | | | |

| E | Purpose | Specify Type/Use | Expenditure | Revenue |
|----------|--------------------|------------------|----------------|---------|
| | Salaries/Wages | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Supplies/Materials | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Equipment | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Services | | \$0.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | Other | TID No. 75 | \$6,217,770.00 | \$0.00 |
| | | | \$0.00 | \$0.00 |
| | TOTALS | | \$6,217,770.00 | \$ 0.00 |

F**Assumptions used in arriving at fiscal estimate.** See Project Plan Amendment No. 1.**G****For expenditures and revenues which will occur on an annual basis over several years check the appropriate box below and then list each item and dollar amount separately.**☐ 1-3 Years ☐ 3-5 Years☐ 1-3 Years ☐ 3-5 Years☐ 1-3 Years ☐ 3-5 Years**H****List any costs not included in Sections D and E above.****I****Additional information.** Payback from completed redevelopment project is anticipated in 2029.**J****This Note** ☐ **Was requested by committee chair.**

AMENDMENT NO. 1

**PROJECT PLAN FOR TAX INCREMENTAL FINANCING DISTRICT NO.
75
(REED STREET YARDS)**

CITY OF MILWAUKEE

Public Hearing Held:

Redevelopment Authority Adopted:

Common Council Adopted:

Joint Review Board Adopted:

**AMENDMENT NO. 1 to the PROJECT PLAN for
TAX INCREMENTAL FINANCING DISTRICT NUMBER 75
CITY OF MILWAUKEE
(REED STREET YARDS)**

Introduction

Section 66.1105 (4)(h)(1), Wisconsin Statutes, permits the Redevelopment Authority, subject to the approval of the Common Council, to amend the project plan for a tax incremental financing district.

Section 66.1105 (2)(f) 1.n., permits that amendment to fund projects located outside, but within one half-mile of the district's boundary.

The Common Council created Tax Incremental District Number 75 (the "District") in 2009 for the purpose of providing the infrastructure necessary for the development of a water technology and research park at the Reed Street Yards. At that time, \$6,156,000 of funding was proposed for infrastructure for the entire Reed Street Yards site and grants to the initial building constructed.

Amendment No. 1 to the Project Plan would provide funding in the amount of \$5,599,770 for infrastructure at the Reed Street Yards and \$264,000 for administration for a total of \$5,863,770 in funding, over two phases (as described in the Term Sheet for the Development Agreement, attached). Grant to buildings would require further Common Council action. This infrastructure will make the site marketable to water technology companies who would like to locate adjacent to the Water Council's proposed headquarters at 223 West Pittsburgh Avenue. It will also provide public access to the Menomonee Canal through the installation of a new Riverwalk segment and extension of the Hank Aaron State Trail. The Amendment also includes a \$354,000 loan to a future business improvement district to pay the developer's share of Riverwalk and Dockwall costs.

Amendments to the Project Plan:

The following amendments are made to the Project Plan. All other sections of the Plan remain unchanged.

I. DESCRIPTION OF THE PROJECT

Sub-Section D, "Plan Objectives," is deleted and restated, as follows:

The Reed Street Yards currently have no public improvements or infrastructure and have poor public access. In addition, the vacant Tannery buildings to the west have very poor access. One of the main purposes of this District is to provide the necessary access and infrastructure so that the Reed Street Yards and remaining Tannery buildings can be redeveloped.

Another important goal of this District is to extend the Milwaukee Riverwalk into the Walker's Point neighborhood, provide a connection to the Hank Aaron State Trail which runs through the Menomonee Valley to Lake Michigan and create better public access to the water. The Milwaukee Riverwalk was started in 1994, and once complete, will extend from the former North Avenue dam through the Beerline, Downtown, Third Ward and Fifth Ward to Lake Michigan. The system is a public-private partnership between property owners and the City of Milwaukee. In exchange for permanent public access to the river, the City may provide assistance in funding for Riverwalk improvements. This District will help extend the Milwaukee Riverwalk system by contributing to the payment of the costs for an additional 2,700 linear feet of Riverwalk along the Reed Street Yards and Tannery buildings.

The final main goal of this District is to assist in attracting water-related companies to the Milwaukee region and create a water technology and research park. Some studies have estimated that water conservation, drinking water treatment, stormwater management and wastewater treatment is a \$425 billion industry and is an industry that will continue to grow as the global demand for clean water rises. The Milwaukee area already has a strong cluster of water technology companies and water research. Currently, the Milwaukee area is home to 120 companies in the water technology sector and five of the eleven largest water technology companies in the world have a presence in Milwaukee. The University of Wisconsin-Milwaukee's Great Lakes WATER Institute and future School of Freshwater Sciences will further the water research already being conducted by 87 local academics. As a result of these strengths, the Milwaukee 7's Water Council was formed to make the Milwaukee Region the world water hub for freshwater research, economic development and education.

In exchange for the installation of the public infrastructure, the owner of the Reed Street Yards and Tannery buildings, Building 41, LLC or its assignee ("Developer"), will agree to restrict the Reed Street Yards to water-related companies as set forth in the Term Sheet for the Development Agreement, attached. This will allow the City and the Water Council to market the property to potential water-related companies.

More detailed objectives of this Project Plan are to:

- Provide public infrastructure that is not feasible without public/private cooperation, including new streets, sewers and water mains to the Reed Street Yards and pedestrian amenities.
- Assist in the remediation of brownfields, by providing access to contaminated sites for redevelopment
- Create or retain jobs by creating development opportunities near downtown Milwaukee and attracting water-related companies to relocate or expand in the District
- Increase the tax base of the City by reinvigorating a property and neighborhood and maximizing their full potential
- Implement a Catalytic Project, as set forth in the Near South Side Comprehensive Plan, which called for the redevelopment of the Reed Street Yards site.
- Increase public access to the Menomonee Canal and connectivity to the Milwaukee Riverwalk system by constructing Riverwalk improvements.
- Eliminate obsolete conditions and blighting influences that impede development and detract from the functionality, aesthetic appearance and economic welfare of this important section of the City.

Sub-Section E, "Proposed Public Action," is deleted and restated, as follows:

Funds generated from the District will be used for the following purposes:

- Public infrastructure for the Reed Street Yards, to include but not be limited to paving, curb, gutter and sidewalk, water main, sewer and stormwater management. This work will be conducted by the Developer, who will be reimbursed for the public infrastructure by the District. The final site plan requires approval of the Department of City Development and Department of Public Works. All public infrastructure must be built to City specifications.

- Construction of a Riverwalk (70% of costs) of approximately 2,700' feet in length and 12' wide along the Menomonee Canal. The design will be consistent with the Riverlink design guidelines. The Riverwalk will be ADA compliant. In addition, the District will partially fund (50% of costs) necessary dockwall repair and replacement, currently estimated at 300 linear feet. This work will be conducted by the Developer, who will be reimbursed for the City's share of Riverwalk and Dockwall expenses.
- Environmental remediation expenses.

The Phasing of the public infrastructure is described in the Term Sheet for the Development Agreement, attached.

The City of Milwaukee may, on its own initiative or through a cooperation agreement with the Redevelopment Authority and/or other entities, undertake any and all project and site improvements and activities considered necessary to achieve project objectives and the commitment of private investment. This Plan is not intended to limit and shall not be interpreted as limiting the Redevelopment Authority in the exercise of its powers under Section 66.1333(5), Wisconsin Statutes, within the District. It is possible that future amendments to this Project Plan for other investments in this area will be proposed.

II. PLAN PROPOSALS

Sub-Section A, "Statement of the Kind, Number, and Location of All Proposed Public Works or Improvements," is deleted and restated as follows:

This Plan includes public works and improvements described in general below. The specific kind, number, and locations of public works and other improvements will be based on detailed final plans, specifications and budget estimates as approved by the Department of City Development for project and site development. While not anticipated at this time, improvements such as vacation of existing public rights-of-way, site clearance, environmental remediation, and reimbursement to owners of abutting property for costs directly related to the project also may be undertaken if necessary for the implementation of the plan for the District.

- Construction of an extension of Pittsburgh Avenue (including water and sewer) connecting the intersection of 3rd/Pittsburgh with the vacant Tannery buildings. Innovative stormwater features will include bioswales constructed in curb bumpouts and the parking lanes with permeable paving.
- Construction of a Riverwalk segment of approximately 2,700 linear feet along the Menomonee Canal and associated landscaping. The Developer will grant a Public Access Easement to the City of Milwaukee which will remain in perpetuity.
- Dockwall repair/replacement, where necessary, along the Menomonee Canal.
- Parking for the Water Council, Iron Horse Hotel, 234 Florida office building and neighborhood needs.
- New streetlights and street trees for the Reed Street Yards.
- Provision of pedestrian amenities such as pedestrian-level lighting, decorative pavement, widened sidewalks, landscaping, signage, and street furniture such as trash containers, benches, etc. on the riverwalk and various rights-of-way.

The number and location of proposed public works and improvements are shown in **Map No. 3, “Proposed Uses and Improvements”**.

Sub-Section B, “Detailed List of Estimated Project Costs,” is deleted and restated as follows:

The costs included in this subsection and detailed in Table B which follows are, without limitation hereof because of enumeration, claimed as eligible Project Costs as defined under Section 66.1105(2)(f) and, if appropriate, in any Cooperation Agreement(s) presently or subsequently entered into by and between the City of Milwaukee, the Redevelopment Authority of the City of Milwaukee, and/or eligible designated redeveloper(s), which agreements are incorporated herein by reference, provided further that such expenditures are necessitated by this Project Plan.

These costs and costs estimates are more fully described as follows:

Capital Costs

The City shall fund an estimated \$5,599,770 in the form of TID Capital Project Costs enumerated in further detail in Table A of this Plan. In addition, the City shall fund a \$354,000 loan to the Business Improvement District. The allocation of these funds will be as set forth in the Term Sheet for the Development Agreement, attached.

TABLE A: Reed Street TID Capital Project Costs

| | |
|--|--------------------|
| Public Infrastructure, Riverwalk and Dockwall | |
| Paving - Pittsburgh | \$440,000 |
| Paving – River Trail (70% City share) | \$66,500 |
| Dockwall (50% City share) | \$225,000 |
| Parking (Paving and Construction) | \$135,000 |
| Street Lighting | \$165,000 |
| Landscaping | \$94,200 |
| Bioretention Zones | \$305,000 |
| Environmental Remediation | \$774,000 |
| Stormwater and Site Work | \$2,000,000 |
| Sanitary Sewer | \$636,000 |
| Water Main | \$250,000 |
| | |
| Total Public Infrastructure, Riverwalk and Dockwall Costs | \$5,090,700 |
| | |
| Contingency (10%) | \$509,070 |
| | |
| TOTAL Capital Project Costs | \$5,599,770 |
| | |
| Administration | \$264,000 |
| | |
| TOTAL Capital Project Costs and Administration | \$5,863,770 |

Financing Costs

Financing costs include estimated gross interest expense on bonds that will be issued to pay for Project Costs. Estimates of bond interest are based on interest rates as set forth in the Economic Feasibility Analysis for this Project.

TABLE B: Lists of Estimated Project Costs

| | | |
|---|---|-------------|
| A | <u>Capital and Administration:</u> Public Infrastructure, Riverwalk, Dockwall and Administration | \$5,863,770 |
| B | <u>Other:</u> BID Loan | \$354,000 |
| | Total Estimated Project Costs, excluding financing | \$6,217,770 |
| C | <u>Financing:</u> Interest payment on bonds | \$3,475,000 |

Sub-Section C, “Description of Timing and Methods of Financing” is deleted and restated, as follows:

All expenditures are expected to be incurred in 2012-16.

The City expects to issue general obligation bonds to finance the TID Project Costs.

Sub-Section D, “Economic Feasibility Study”, is deleted and restated as follows:

“The Economic Feasibility Study for Amendment No. 1 to this plan, prepared by S.B. Friedman & Co. and titled *Economic Feasibility Report: Proposed Amendment of Reed Street Yards Tax Incremental District (TID #75)* dated November 2, 2011, is attached.

For the Phase 1 infrastructure, based upon the anticipated tax incremental revenue to be generated by the District, the District shows a cumulative surplus by 2029, the 21st year of the District. Phase 2 of the infrastructure will only occur if sufficient increment is generated to amortize the District by year 24. Accordingly, the District is determined to be feasible.”

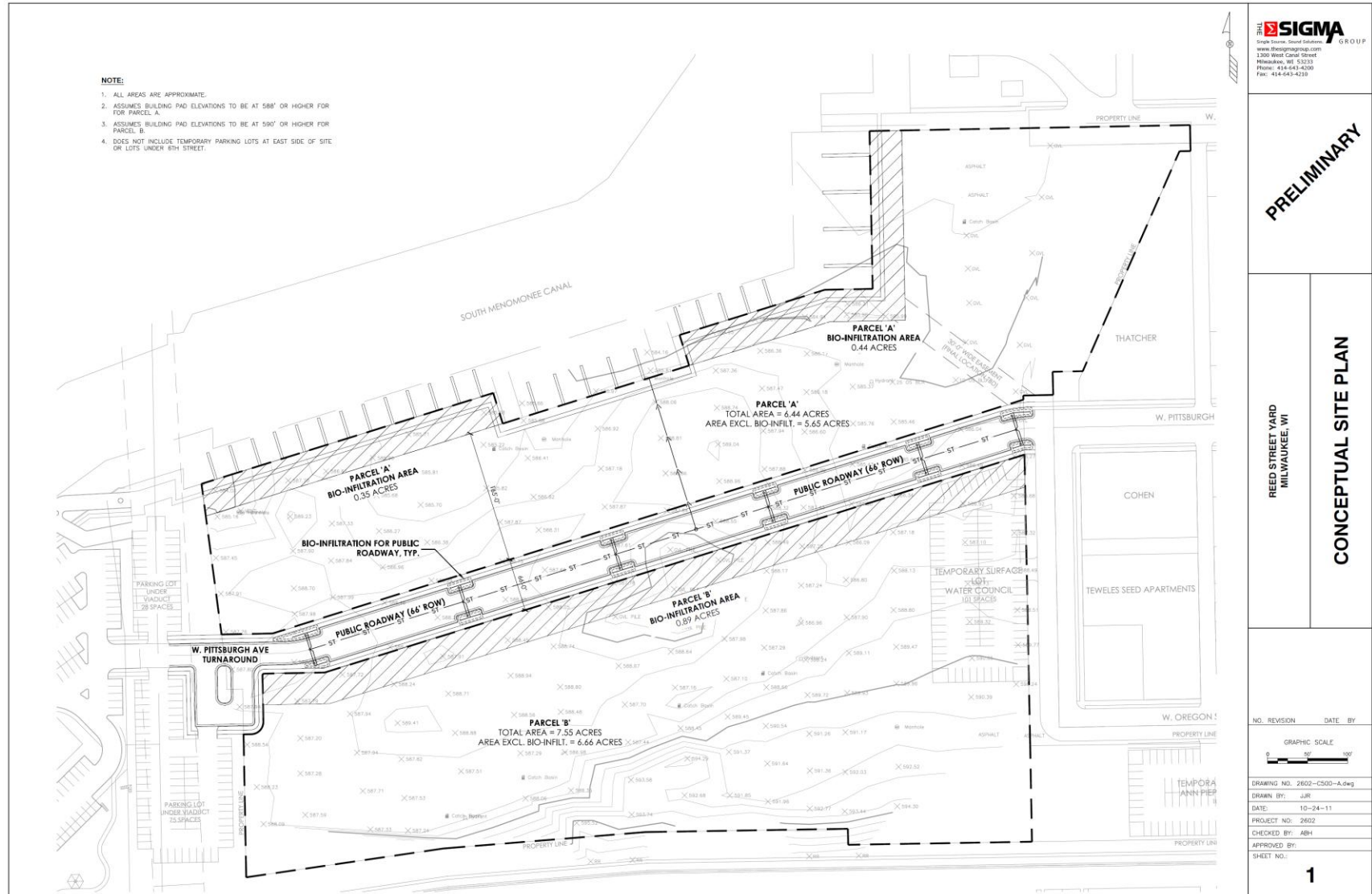
Sub-Section F, “Map Showing Proposed Improvements and Uses.” Map No. 3 is deleted and replaced with “Amended Map No 3: Proposed Improvements and Uses”, attached.

Sub-Section H, “List of Non-Project Costs”, is deleted and restated as follows:

| | |
|------------------------------|---------|
| New Commercial Redevelopment | \$20.0M |
|------------------------------|---------|

Opinion of City Attorney letter is deleted and replaced with the attached letter from the City Attorney dated _____.

Amended Map No 3: Proposed Improvements and Uses



Economic Feasibility Report

PROPOSED AMENDMENT OF REED STREET YARDS TAX INCREMENTAL DISTRICT (TID #75)

Prepared for:

City of Milwaukee

November 2, 2011

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DRAFT

S. B. Friedman & Company
221 North LaSalle Street
Suite 820
Chicago, Illinois 60601-1302
Phone: 312/424-4250
www.sbfriedman.com

1. Project Description and Study Approach

Based on information and direction provided by the City of Milwaukee's Department of City Development (DCD), S. B. Friedman & Company (*SB Friedman*) has produced an updated Feasibility Study for proposed development in the Reed Street Yards Tax Increment District (TID), also known as TID #75. In 2009, *SB Friedman* conducted an initial feasibility study for the Reed Street Yards TID, based on the projected development of new office space in the TID. This updated feasibility replaces the hypothetical office development in the 2009 study with a currently proposed office development, integrates the City of Milwaukee's estimated costs for infrastructure improvements in the TID and updates property values and phasing assumptions for existing development.

Project Description

The Milwaukee 7 Water Council ("Water Council") has proposed an office development ("Water Council Building") that would accommodate a mix of water-related tenants in the Reed Street Yards TID. The site of the Water Council Building consists of one parcel with a currently vacant structure at the southeast corner of South Third Street and West Pittsburgh Avenue in Milwaukee's Fifth Ward. The Project is envisioned as an important component of the City of Milwaukee's efforts to build on its existing concentration of water-related businesses and spur further redevelopment in the Reed Street Yards TID. This initiative, complementing the efforts of the Milwaukee 7 Water Council and the University of Wisconsin-Milwaukee (UW-Milwaukee) School of Freshwater Sciences, seeks to expand and cluster Milwaukee's water-oriented businesses to foster innovation, entrepreneurial activity and economic development. Expected tenants at the Water Council Building include the Water Council, UW-Milwaukee, Incubator Space and a Flow Lab.

In conjunction with development of the Water Council Building, the City of Milwaukee ("City") seeks to develop approximately \$6.12 million in infrastructure and publicly funded improvements in the TID, in the area abutting the south bank of the Menomonee River, roughly between South Second Street and South Ninth Street ("the Project Area"). The development of the Water Council Building and accompanying infrastructure development comprise the Project, as described below:

- **Office**—rehabilitation of currently vacant warehouse building into office space for water-related tenants, with total gross square footage of approximately 88,025
- **Infrastructure**—extension of West Pittsburgh Avenue from South Third Street to South Sixth Street, RiverWalk and dockwall improvements, parking, lighting, landscaping, construction of a stormwater management system and sanitary sewer and water main construction

The Project Area is included in the Reed Street Yards TID, which consists of 23 taxkeys. Many of the taxkeys are vacant warehouses or vacant land. The Iron Horse Hotel and 234 Florida are two recent renovations that have not yet reached full stabilized assessment. Assessment assumptions for these two properties have been updated from the original feasibility study prepared in 2009 at the time of the TID's initial adoption.

Study Approach

SB Friedman reviewed and considered the following key factors affecting the TID feasibility of the proposed project:

- Pro forma information for the 88,000 square foot Water Council Building, provided by DCD on August 25, 2011
- Term Sheet between City of Milwaukee and the Developer
- Conceptual Site Plan for Reed Street Yards by Madisen Architects, provided by the City
- Assessment techniques and assumptions likely to be used as a basis for property taxation, based on key informant interviews with the City of Milwaukee Assessor's Office
- Real property assessment data from the Assessor's Office on existing properties within TID #75
- Real property assessment data for comparable properties elsewhere in Milwaukee to validate the potential assessed valuation of the Project
- Bonding assumptions, as provided by DCD and the Office of the City Comptroller, to be used in evaluating financing capacity

DRAFT

2. Proposed TID Expenditures

The proposed City TID expenditures total \$6.22 million in net proceeds, comprised of the following elements:

Phase I Expenditures

- **Up to \$3,318,000 for Phase I Public Infrastructure:** Public infrastructure improvements include parking and street paving, remediation, RiverWalk and dockwall improvements, stormwater management, sanitary sewer and water main improvements, street lighting and landscaping, including a 10% contingency allowance.
- **\$354,000 loan to Business Improvement District (BID):** This loan will cover the BID's portion of infrastructure costs (30% of RiverWalk costs and 50% of dockwall costs) and will be repaid by a BID property tax levy.
- **\$264,000 for City Administration Costs**

Phase II Expenditures

- **Up to \$2,281,000 for Phase II Public Infrastructure:** Improvements include additional site remediation and stormwater management, including a 10% contingency allowance.

Per the Term Sheet between the City and the Developer, the City's financing of infrastructure development is contingent upon construction proceeding on the Water Council Building. Furthermore, the City's financing of Phase II infrastructure costs is contingent upon additional incremental assessed TID valuation being generated beyond the baseline that is currently projected, as described in Chapter 3.

The City would also consider future requests for TID assistance to developers to defray adverse environmental conditions, construction cost premiums attributable to adverse site conditions, and/or technology requirements of end users, to the extent that these costs are supportable by actual and projected TID revenues and are required to facilitate future development of water business-related office and/or parking structures on the site. Additional assistance for such subsequent efforts would require Common Council approval; such assistance is not evaluated in this Feasibility Study.

3. Incremental Property Tax Revenues

SB Friedman projected incremental property tax revenues to evaluate the period in which the TID might reasonably be expected to generate sufficient cash flow to fully amortize the debt associated with the proposed City expenditures of \$3.94 million in Phase I infrastructure and associated costs and \$2.28 million in Phase II infrastructure. These projections are an update of the original projections *SB Friedman* conducted for the Reed Street Yards TID in 2009.

The scope of this projection included:

- Limited incremental property tax revenues from inflationary growth in property values on parcels within the TID for which no redevelopment is assumed
- Phase-in of additional value anticipated to result from stabilization of the Iron Horse Hotel and 234 Florida properties (discussed in additional detail below)
- Projected TID revenues resulting from the 88,000 square foot Water Council Building

The assumptions used to develop these projections are described below.

TID Projection Assumptions and Methodology

Table A-1 in the Appendix of this study summarizes the key assumptions used to project TID revenues. These assumptions, as well as *SB Friedman's* methodology, are described below.

SOURCES OF TID REVENUE

The Reed Street Yards TID includes a total of 23 parcels, comprised of non-redevelopment parcels, the Iron Horse Hotel, 234 Florida, and the Water Council Building. Incremental property tax revenues resulting from the increased value of these properties comprise the revenue stream for the TID. The repayment of the BID loan represents another minor source of revenue for repayment of TID bonds; the BID loan is discussed in the "Other TID Assumptions" section below. These different components of the projected TID revenue stream are described below:

- **Non-redevelopment Parcels.** The Reed Street Yards TID includes 20 taxkeys for which no redevelopment is assumed to occur for the purposes of this study. This group of parcels includes undeveloped land, undeveloped shell buildings within the Tannery complex and land adjacent to the railroad rights-of-way. *SB Friedman's* projections include tax increment only from the inflationary growth in these parcels' property values, not from any new development. It should be noted, however, that these parcels could be redeveloped in the future, thus generating incremental TID revenues beyond those projected in this feasibility analysis. Likewise, the City may need to incur additional TID costs to facilitate this additional development. We anticipate that the feasibility analysis for the TID would be updated at that time in conjunction with the City Council action that would be required to allow such additional expenditures.
- **Iron Horse Hotel.** The Iron Horse Hotel occupies one taxkey within TID #75. Formerly a warehouse building, the Iron Horse Hotel is a redevelopment project that adaptively reused the 100 year-old

structure as a modern luxury boutique hotel with a high-end restaurant. As of its most recent assessment on January 1, 2011, the Iron Horse was not yet fully complete. The Milwaukee Assessor excluded 16 planned but un-built guest rooms from its valuation in the 2011 assessment year. Therefore, the projections include additional new value from the hotel as it reaches stabilization.

- **234 Florida.** The 234 Florida building occupies one taxkey in the TID. In 2008 Pieper Properties acquired the 110,000 square foot, seven-story former factory and has undertaken restoration to provide high-quality office space. Because renovations are not yet fully complete and the building is only minimally occupied, the projections include additional new value from 234 Florida as it reaches stabilization.
- **Water Council Building.** The proposed Water Council Building occupies one taxkey in the Reed Street Yards TID. The Water Council space currently consists of a vacant 88,000 square foot warehouse. This space will be rehabilitated into office and incubator space for water-related tenants. The projections include tax increment from the additional value of the new office space.

VALUATION ASSUMPTIONS

- **Iron Horse Hotel.** Based on conversations with the Assessor's Office and a review of the assessed valuation of Downtown Milwaukee hotel properties, *SB Friedman* developed an assessed value assumption of \$75,000 per hotel room (\$78 per square foot) to estimate the Iron Horse's value at stabilization. This value is commensurate with other Downtown Milwaukee-area properties.
- **234 Florida.** Based on conversations with the Assessor's Office, it appears that the higher quality space in the Tannery complex would be physically and locationally comparable to 234 Florida. To estimate the value of 234 Florida at full stabilization, *SB Friedman* therefore used \$75 per square foot, commensurate with the average estimated value per square foot for the Tannery buildings at full occupancy and a review of assessed valuations for other Class B office space in the area.
- **Water Council Building.** As with the 234 Florida building and the Tannery buildings, the Water Council Building is the rehabilitation of a former warehouse into office space. Valuation is based on tax comparables within the higher end Tannery space, with the assessed value per square foot adjusted upward to reflect the higher rents expected to be achieved at the Water Council Building, per the Developer's pro forma. Based on these parameters, the assessed value at full occupancy was estimated at \$86 per square foot.

PHASING AND TIMING OF ASSESSMENTS

- **Iron Horse Hotel.** According to the Assessor's Office, the Iron Horse Hotel was only partially assessed in 2011, with 16 additional rooms expected to be developed in coming years. Based on this discussion, *SB Friedman* projects that the Iron Horse would ultimately stabilize at \$7.5 million in assessed value. For the purposes of this feasibility analysis, this additional value is assumed to be realized in 2013. The City of Milwaukee's Term Sheet with the Water Council Building Developer calls for the Developer to construct temporary parking that would be made available (among other users) to the Iron Horse property, potentially enhancing the hotel's operations and thus its revenue/valuation potential.

- **234 Florida.** The rehabilitation and leasing of this building has been slower than originally anticipated at the time of initial TID adoption, with the property only 12% occupied as of the 2011 assessment. The phasing of rehabilitation and lease-up has been adjusted to reflect the slow economy and the developer's expectations for reaching stabilized occupancy. The TID projections supporting this feasibility analysis assume that 15,000 square feet of office space will be leased each year from 2013 to 2016, with the property reaching a stabilized assessed value of \$5.67 million in 2017. The Term Sheet calls for the Developer to provide additional parking opportunities for the 234 Florida property, potentially improving its absorption opportunities.
- **Water Council Building.** Based on information provided by DCD and tenants identified by the Developer, the Water Council Building is expected to be rehabilitated in 2012, achieving partial occupancy in 2013 and stabilized occupancy in 2014. The full stabilized value of the property is estimated to be \$7.55 million.

OTHER TID ASSUMPTIONS

- **Tax Rate.** Our analysis considered historical trends in the overall City of Milwaukee property tax rate over the past 5, 10, 15, and 20-year periods. The tax rate has trended downward over the 10, 15, and 20-year analysis periods at compound annual rates ranging from about 0.53% (10-year history) to 1.96% (15-year history). The tax rate has trended up over the past five years due to the decline and stagnation of property values; over the long term, the tax rate has tended to decline. For our analysis, *SB Friedman* assumed that the tax rate applicable to 2011 assessed values will equal the 2010 tax rate of 2.657% (\$26.57 per \$1,000 of value) and will subsequently decline annually by 0.53%, the compound annual rate of decline for the past 10 years. This decline is assumed to continue through 2035.
- **Personal Property.** The assessed value of and tax revenue generated by personal property in the TID is not accounted for in this analysis. Personal property currently represents an insignificant proportion of assessed value in the Reed Street Yards TID, totaling approximately 0.4% of real property value in 2011. Higher amounts of personal property in the future could generate additional incremental value in the TID.
- **Equalization and Base Value.** The State of Wisconsin has declared a base value for the Reed Street Yards TID (TID #75) of \$26,470,500. Based on discussions with the State Department of Revenue, this value is intended to reflect the equalized assessed value of property in the TID as of the year of the TID's adoption. The equalization factor has increased from 92.82% up to 95.66% since initial TID adoption. Based on the state's formula for calculating incremental TID revenues, which compares equalized values in the current year versus the TID's base value, this would drive incremental revenues downwards as compared to a pure comparison of un-equalized current year and base year assessed values. Based on discussions with the City of Milwaukee, *SB Friedman's* projections do not take the equalization factor into account for the TID's base year. Instead, the base real property value of \$24,356,900 that existed in the TID's initial adoption year was used as the TID's base value for these projections. Likewise, un-equalized assessed values are used for all subsequent years for the purposes of calculating incremental revenues. This methodology was selected due to the unpredictability of the equalization factor, and the fact that a comparison of un-equalized values is a more accurate analysis of the true increases in tax productivity within the TID over its life.

- **Property Value Growth – Remainder of TID.** *SB Friedman's* projections assume 1.0% annual growth in real property assessments for the existing properties within the TID boundary.

Projected TID Revenues

Table 1 at the end of this memo shows projected TID revenues during the 27-year statutory life of the Reed Street Yards TID.

Based on the absorption, timing, phasing and other TID assumptions described above, a total of about **\$9.2 million** in undiscounted TID revenues are projected over the life of the TID.

Projected Amortization of TID Debt

SB Friedman evaluated the time frame over which bonds issued to fund the first phase of proposed TID expenditures described in Chapter 2 of this report could be amortized using projected incremental real property tax revenues. These expenses include the proposed Phase I public infrastructure package, as well as the City administrative costs and BID loan, and total approximately \$3.94 million plus associated capitalized interest and allowances for bond issuance costs. These costs would likely be bonded in 2012, when both infrastructure development and the rehabilitation of the Water Council Building are anticipated to begin.

It should also be noted that additional TID revenues may be generated by new construction on the vacant Reed Street Yards property and/or rehabilitation or redevelopment of one or more of the vacant buildings within the TID, thus improving cash flows and shortening the amortization period as compared to the projections in this report or providing additional revenue for additional TID costs. *SB Friedman* analyzed the additional incremental property value that would need to be generated to amortize the proposed Phase II infrastructure costs of approximately \$2.28 million plus associated capitalized interest and bond issuance costs.

METHODOLOGY

These projections replicate the issuance of one or more bonds to support the TID subsidy and are based on the following key assumptions:

- **Bond Interest Rates.** *SB Friedman* assumed an interest rate of 4.5% on the bonds, reflective of the City of Milwaukee's approximate cost of funds frequently used for TID feasibility analysis.
- **Term, Target Debt Service and Carry Costs.** Reflecting discussions with the Office of the City Comptroller, the projections assume two years of capitalized interest, followed by fifteen years of level principal and interest payments. For the fifteen level payment years following the interest-only period, a "TID Annual Debt Service Target" is defined. This amount is equal to the annual level-payment debt service on a 15-year amortization of the total bond issue. In each of the 15 amortization years, this Annual Debt Service Target is compared to the available Repayment Sources. Any shortfalls relative to this target are accrued and carry a 4% annual interest charge until they are repaid. Any surpluses versus the target are used to pay down the accumulated shortfalls.

- **Issuance Costs.** *SB Friedman* assumed an issuance cost of 1.0% of the total bond principal amount.
- **BID Loan Repayment.** Repayment of the BID loan for infrastructure development is projected as an additional source of funds beyond incremental property tax revenues to pay TID debt service. Based on information from DCD, this loan is expected to have a repayment term of 10 years and an interest rate equal to the City's cost of funds (modeled at 4.0% interest and level annual debt service in this projection).

PROJECTED AMORTIZATION – PHASE I INFRASTRUCTURE

Based on the underlying TID projection and amortization assumptions discussed earlier in this chapter, *SB Friedman* projects that the \$3.94 million City TID contribution for Phase I infrastructure, administrative costs and the BID loan for the Reed Street Yards Project could be amortized in Year 21 of the TID, or 2029. This calculation is illustrated in **Table 2** at the end of this memo.

ADDITIONAL VALUE NEEDED TO AMORTIZE PHASE II INFRASTRUCTURE COSTS

Using the same baseline TID projection and amortization assumptions described above, *SB Friedman* projected the additional incremental property value that would need to be generated in the Reed Street Yards TID to produce sufficient additional TID capacity to finance Phase II infrastructure development costs of \$2.28 million.

It is our understanding that the proposed TID amendment would allow for contingent authorization of the Phase II infrastructure costs, provided additional value is introduced to the TID over and above that generated by the development and assessment change assumptions described in the baseline TID scenario and Phase I amortization analysis above.

SB Friedman performed a sensitivity analysis to determine the level of additional development required to amortize the Phase II bond by Year 24 of the TID, or 2032. Conservatively estimating that the Phase II infrastructure expenditures are bonded in 2012, *SB Friedman* estimates that **\$5.2 million** of additional assessed TID value beyond the baseline projection shown in Table 1 would need to be introduced to the TID by **assessment year 2014** from new programmed development or reassessment of existing property to achieve Year 24 TID amortization. This \$5.2 million assessed value target for 2014 is adjustable as follows based on variations in timing and Phase II infrastructure budget, while still maintaining a projected TID closeout in approximately Year 24:

- If the additional valuation is initially assessed in a year other than 2014, the valuation target would need to be approximately 10% greater for each year later than 2014 and 10% less for each year earlier than 2014
- If the Phase II infrastructure budget is decreased from its \$2.28 million baseline, the 2014 assessed value target could be reduced by about \$3.00 for every \$1.00 of Phase II infrastructure expenditure reduction

Table 3 at the end of this memo shows projected TID revenues during the 27-year statutory life of the Reed Street Yards TID with the additional \$5.2 million hypothetical development value introduced in

2014. In this hypothetical scenario, total undiscounted revenues of approximately **\$12.3 million** are projected over the life of the TID. **Table 4** at the end of the memo illustrates the amortization of Phase I and Phase II infrastructure bonds, including the incremental revenue generated by the hypothetical \$5.2 million in assessed value.

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City of Milwaukee
Reed Street Yards Feasibility Update
Table 1: TID Projections - Inflationary Growth and Water Council Building Development

Inputs and Assumptions:

| | |
|--|---------------|
| 2009 Base Value of TID | \$ 24,356,900 |
| 2010 Net Tax Rate | 2.657% |
| Tax Rate: 10 yr compound rate of decline | 0.53% |
| Annual Inflation Rate | 1.00% |
| Tax Collection Rate | 100.00% |

| TID Year | Assmt Year | Inflation Factor | TID Actual /Projected Valuation | | | | | | | | Total TID Incremental Revenue |
|--|------------|------------------|---------------------------------|-------------------------|-------------------|--------------------|---------------------------|-----------------|-------------------|-----------------------|-------------------------------|
| | | | Frozen Base Value | Non-Development Taxkeys | Value: Iron Horse | Value: 234 Florida | Value: Water Council Bldg | Total TID Value | Incremental Value | Property Tax Rate [1] | |
| 1 | 2009 | n/a | \$ 24,356,900 | \$ 15,387,900 | \$ 5,000,000 | \$ 2,985,000 | \$ 984,000 | \$ 24,356,900 | \$ - | 2.60% | \$ - |
| 2 | 2010 | n/a | \$ 24,356,900 | \$ 15,090,900 | \$ 6,000,000 | \$ 2,985,000 | \$ 976,000 | \$ 25,051,900 | \$ 695,000 | 2.66% | \$ - |
| 3 | 2011 | 1.00 | \$ 24,356,900 | \$ 15,090,900 | \$ 6,500,000 | \$ 3,079,000 | \$ 976,000 | \$ 25,645,900 | \$ 1,289,000 | 2.66% | \$ 18,466 |
| 4 | 2012 | 1.01 | \$ 24,356,900 | \$ 15,241,809 | \$ 6,565,000 | \$ 3,177,149 | \$ 985,760 | \$ 25,969,718 | \$ 1,612,818 | 2.64% | \$ 34,249 |
| 5 | 2013 | 1.02 | \$ 24,356,900 | \$ 15,394,227 | \$ 7,650,750 | \$ 3,826,273 | \$ 1,924,164 | \$ 28,795,414 | \$ 4,438,514 | 2.63% | \$ 42,627 |
| 6 | 2014 | 1.03 | \$ 24,356,900 | \$ 15,548,169 | \$ 7,727,258 | \$ 4,488,062 | \$ 7,773,621 | \$ 35,537,110 | \$ 11,180,210 | 2.62% | \$ 116,693 |
| 7 | 2015 | 1.04 | \$ 24,356,900 | \$ 15,703,651 | \$ 7,804,530 | \$ 5,162,704 | \$ 7,851,357 | \$ 36,522,243 | \$ 12,165,343 | 2.60% | \$ 292,392 |
| 8 | 2016 | 1.05 | \$ 24,356,900 | \$ 15,860,688 | \$ 7,882,575 | \$ 5,850,391 | \$ 7,929,871 | \$ 37,523,525 | \$ 13,166,625 | 2.59% | \$ 316,481 |
| 9 | 2017 | 1.06 | \$ 24,356,900 | \$ 16,019,294 | \$ 7,961,401 | \$ 6,015,237 | \$ 8,009,170 | \$ 38,005,102 | \$ 13,648,202 | 2.57% | \$ 340,726 |
| 10 | 2018 | 1.07 | \$ 24,356,900 | \$ 16,179,487 | \$ 8,041,015 | \$ 6,075,389 | \$ 8,089,261 | \$ 38,385,153 | \$ 14,028,253 | 2.56% | \$ 351,329 |
| 11 | 2019 | 1.08 | \$ 24,356,900 | \$ 16,341,282 | \$ 8,121,425 | \$ 6,136,143 | \$ 8,170,154 | \$ 38,769,004 | \$ 14,412,104 | 2.55% | \$ 359,211 |
| 12 | 2020 | 1.09 | \$ 24,356,900 | \$ 16,504,695 | \$ 8,202,640 | \$ 6,197,504 | \$ 8,251,855 | \$ 39,156,694 | \$ 14,799,794 | 2.53% | \$ 367,098 |
| 13 | 2021 | 1.10 | \$ 24,356,900 | \$ 16,669,742 | \$ 8,284,666 | \$ 6,259,479 | \$ 8,334,374 | \$ 39,548,261 | \$ 15,191,361 | 2.52% | \$ 374,988 |
| 14 | 2022 | 1.12 | \$ 24,356,900 | \$ 16,836,439 | \$ 8,367,513 | \$ 6,322,074 | \$ 8,417,718 | \$ 39,943,744 | \$ 15,586,844 | 2.51% | \$ 382,884 |
| 15 | 2023 | 1.13 | \$ 24,356,900 | \$ 17,004,804 | \$ 8,451,188 | \$ 6,385,295 | \$ 8,501,895 | \$ 40,343,181 | \$ 15,986,281 | 2.49% | \$ 390,783 |
| 16 | 2024 | 1.14 | \$ 24,356,900 | \$ 17,174,852 | \$ 8,535,700 | \$ 6,449,148 | \$ 8,586,914 | \$ 40,746,613 | \$ 16,389,713 | 2.48% | \$ 398,688 |
| 17 | 2025 | 1.15 | \$ 24,356,900 | \$ 17,346,600 | \$ 8,621,057 | \$ 6,513,639 | \$ 8,672,783 | \$ 41,154,079 | \$ 16,797,179 | 2.47% | \$ 406,598 |
| 18 | 2026 | 1.16 | \$ 24,356,900 | \$ 17,520,066 | \$ 8,707,267 | \$ 6,578,776 | \$ 8,759,511 | \$ 41,565,620 | \$ 17,208,720 | 2.45% | \$ 414,513 |
| 19 | 2027 | 1.17 | \$ 24,356,900 | \$ 17,695,267 | \$ 8,794,340 | \$ 6,644,563 | \$ 8,847,106 | \$ 41,981,276 | \$ 17,624,376 | 2.44% | \$ 422,433 |
| 20 | 2028 | 1.18 | \$ 24,356,900 | \$ 17,872,220 | \$ 8,882,283 | \$ 6,711,009 | \$ 8,935,577 | \$ 42,401,089 | \$ 18,044,189 | 2.43% | \$ 430,359 |
| 21 | 2029 | 1.20 | \$ 24,356,900 | \$ 18,050,942 | \$ 8,971,106 | \$ 6,778,119 | \$ 9,024,933 | \$ 42,825,100 | \$ 18,468,200 | 2.42% | \$ 438,291 |
| 22 | 2030 | 1.21 | \$ 24,356,900 | \$ 18,231,451 | \$ 9,060,817 | \$ 6,845,900 | \$ 9,115,182 | \$ 43,253,351 | \$ 18,896,451 | 2.40% | \$ 446,229 |
| 23 | 2031 | 1.22 | \$ 24,356,900 | \$ 18,413,766 | \$ 9,151,425 | \$ 6,914,359 | \$ 9,206,334 | \$ 43,685,884 | \$ 19,328,984 | 2.39% | \$ 454,173 |
| 24 | 2032 | 1.23 | \$ 24,356,900 | \$ 18,597,904 | \$ 9,242,940 | \$ 6,983,503 | \$ 9,298,397 | \$ 44,122,743 | \$ 19,765,843 | 2.38% | \$ 462,123 |
| 25 | 2033 | 1.24 | \$ 24,356,900 | \$ 18,783,883 | \$ 9,335,369 | \$ 7,053,338 | \$ 9,391,381 | \$ 44,563,971 | \$ 20,207,071 | 2.37% | \$ 470,080 |
| 26 | 2034 | 1.26 | \$ 24,356,900 | \$ 18,971,721 | \$ 9,428,723 | \$ 7,123,871 | \$ 9,485,295 | \$ 45,009,610 | \$ 20,652,710 | 2.35% | \$ 478,044 |
| 27 | 2035 | 1.27 | \$ 24,356,900 | \$ 19,161,439 | \$ 9,523,010 | \$ 7,195,110 | \$ 9,580,148 | \$ 45,459,706 | \$ 21,102,806 | 2.34% | \$ 486,014 |
| | 2036 | | Collections for TID Year 27 | | | | | | | | \$ 493,992 |
| Total Proceeds, 2009-2036 (Not Discounted) | | | | | | | | | | | \$ 9,189,461 |

[1] Property Tax Rates are actual through 2010 and the 2010 rate is held constant for 2011. Future Property Tax Rates are based on property tax history from Milwaukee Assessor.

City of Milwaukee
Reed Street Yards Feasibility Update
Table 2: TID Amortization - Phase I Infrastructure

Bonding

| | |
|--|--------|
| Interest Rate on Bonds | 4.50% |
| Cost of Funds (Local Government Investment Pool) | 4.00% |
| Issuance Costs @ | 1.00% |
| Capitalized Interest Allowance @ | 10.00% |
| Assumed Level P&I Payments | 15 |

Funding Structure

| | Assumed Year | Amount | Plus Issuance Costs | Capitalized Interest | Total Issuance |
|-----------------|--------------|--------------|---------------------|----------------------|----------------|
| Assumed Bonding | 2012 | \$ 3,936,370 | \$ 39,364 | \$ 441,748 | \$ 4,417,482 |

| TID Year | Calendar Year | Projected Incremental Property Taxes | BID Loan Repayment | Debt Service | | TID Payoff Analysis | | | |
|----------|---------------|--------------------------------------|--------------------|-------------------------|---|----------------------------|-------------------------|---|------------------------------------|
| | | | | TID-Backed Bonds Issued | TID Annual Debt Service Target Payments | Annual Surplus/(Shortfall) | Cumulative Fund Balance | Interest Earnings/(Carry Cost) on Cuml. Balance | TID Could Repay Outstanding Princ. |
| 1 | 2009 | \$ - | \$ - | \$ - | | \$ - | \$ - | \$ - | NO |
| 2 | 2010 | \$ - | \$ - | \$ - | | \$ - | \$ - | \$ - | NO |
| 3 | 2011 | \$ 18,466 | \$ - | \$ - | | \$ 18,466 | \$ 18,466 | \$ 739 | NO |
| 4 | 2012 | \$ 34,249 | \$ - | \$ 4,417,482 | | \$ 34,249 | \$ 53,454 | \$ 2,138 | NO |
| 5 | 2013 | \$ 42,627 | \$ 43,645 | \$ - | | \$ 86,272 | \$ 141,864 | \$ 5,675 | NO |
| 6 | 2014 | \$ 116,693 | \$ 43,645 | \$ - | | \$ 160,338 | \$ 307,876 | \$ 12,315 | NO |
| 7 | 2015 | \$ 292,392 | \$ 43,645 | \$ - | \$ 411,329 | \$ (75,292) | \$ 244,899 | \$ 9,796 | NO |
| 8 | 2016 | \$ 316,481 | \$ 43,645 | \$ - | \$ 411,329 | \$ (51,203) | \$ 203,493 | \$ 8,140 | NO |
| 9 | 2017 | \$ 340,726 | \$ 43,645 | \$ - | \$ 411,329 | \$ (26,958) | \$ 184,675 | \$ 7,387 | NO |
| 10 | 2018 | \$ 351,329 | \$ 43,645 | \$ - | \$ 411,329 | \$ (16,355) | \$ 175,707 | \$ 7,028 | NO |
| 11 | 2019 | \$ 359,211 | \$ 43,645 | \$ - | \$ 411,329 | \$ (8,472) | \$ 174,263 | \$ 6,971 | NO |
| 12 | 2020 | \$ 367,098 | \$ 43,645 | \$ - | \$ 411,329 | \$ (586) | \$ 180,648 | \$ 7,226 | NO |
| 13 | 2021 | \$ 374,988 | \$ 43,645 | \$ - | \$ 411,329 | \$ 7,305 | \$ 195,179 | \$ 7,807 | NO |
| 14 | 2022 | \$ 382,884 | \$ 43,645 | \$ - | \$ 411,329 | \$ 15,200 | \$ 218,186 | \$ 8,727 | NO |
| 15 | 2023 | \$ 390,783 | \$ 0 | \$ - | \$ 411,329 | \$ (20,545) | \$ 206,368 | \$ 8,255 | NO |
| 16 | 2024 | \$ 398,688 | \$ - | \$ - | \$ 411,329 | \$ (12,641) | \$ 201,982 | \$ 8,079 | NO |
| 17 | 2025 | \$ 406,598 | \$ - | \$ - | \$ 411,329 | \$ (4,731) | \$ 205,330 | \$ 8,213 | NO |
| 18 | 2026 | \$ 414,513 | \$ - | \$ - | \$ 411,329 | \$ 3,184 | \$ 216,728 | \$ 8,669 | NO |
| 19 | 2027 | \$ 422,433 | \$ - | \$ - | \$ 411,329 | \$ 11,104 | \$ 236,501 | \$ 9,460 | NO |
| 20 | 2028 | \$ 430,359 | \$ - | \$ - | \$ 411,329 | \$ 19,030 | \$ 264,992 | \$ 10,600 | NO |
| 21 | 2029 | \$ 438,291 | \$ - | \$ - | \$ 411,329 | \$ 26,962 | \$ 302,553 | \$ 12,102 | YES |
| 22 | 2030 | \$ 446,229 | \$ - | \$ - | | \$ 446,229 | \$ 760,884 | \$ 30,435 | YES |
| 23 | 2031 | \$ 454,173 | \$ - | \$ - | | \$ 454,173 | \$ 1,245,492 | \$ 49,820 | YES |
| 24 | 2032 | \$ 462,123 | \$ - | \$ - | | \$ 462,123 | \$ 1,757,435 | \$ 70,297 | YES |
| 25 | 2033 | \$ 470,080 | \$ - | \$ - | | \$ 470,080 | \$ 2,297,812 | \$ 91,912 | YES |
| 26 | 2034 | \$ 478,044 | \$ - | \$ - | | \$ 478,044 | \$ 2,867,768 | \$ 114,711 | YES |
| 27 | 2035 | \$ 486,014 | \$ - | \$ - | | \$ 486,014 | \$ 3,468,493 | \$ 138,740 | YES |
| | 2036 | \$ 493,992 | \$ - | \$ - | | \$ 493,992 | \$ 4,101,225 | \$ 164,049 | YES |
| TOTALS | | \$ 9,189,461 | \$ 436,450 | \$ 4,417,482 | \$ 6,169,928 | \$ 3,455,983 | \$ 4,101,225 | \$ 809,291 | |

City of Milwaukee

Reed Street Yards Feasibility Update

Table 3: TID Projections - Inflationary Growth, Water Council Building and Hypothetical Development

Inputs and Assumptions:

| | |
|--|---------------|
| 2009 Base Value of TID | \$ 24,356,900 |
| 2010 Net Tax Rate | 2.657% |
| Tax Rate: 10 yr compound rate of decline | 0.53% |
| Annual Inflation Rate | 1.00% |
| Tax Collection Rate | 100.00% |

Hypothetical Development:

| | |
|-----------------------|--------------|
| New Development Value | \$ 5,200,000 |
| Development Year | 2014 |

| TID Year | Assmt Year | Inflation Factor | TID Actual /Projected Valuation | | | | | | | | | | Total TID Incremental Revenue |
|--|------------|------------------|---------------------------------|--------------------------------|-------------------|--------------------|---------------------------|---------------------------------|-----------------|-------------------|-----------------------|------------|-------------------------------|
| | | | Frozen Base Value | Value: Non-Development Taxkeys | Value: Iron Horse | Value: 234 Florida | Value: Water Council Bldg | Value: Hypothetical Development | Total TID Value | Incremental Value | Property Tax Rate [1] | | |
| 1 | 2009 | n/a | \$ 24,356,900 | \$ 15,387,900 | \$ 5,000,000 | \$ 2,985,000 | \$ 984,000 | \$ - | \$ 24,356,900 | \$ - | 2.60% | \$ - | |
| 2 | 2010 | n/a | \$ 24,356,900 | \$ 15,090,900 | \$ 6,000,000 | \$ 2,985,000 | \$ 976,000 | \$ - | \$ 25,051,900 | \$ 695,000 | 2.66% | \$ - | |
| 3 | 2011 | 1.00 | \$ 24,356,900 | \$ 15,090,900 | \$ 6,500,000 | \$ 3,079,000 | \$ 976,000 | \$ - | \$ 25,645,900 | \$ 1,289,000 | 2.66% | \$ 18,466 | |
| 4 | 2012 | 1.01 | \$ 24,356,900 | \$ 15,241,809 | \$ 6,565,000 | \$ 3,177,149 | \$ 985,760 | \$ - | \$ 25,969,718 | \$ 1,612,818 | 2.64% | \$ 34,249 | |
| 5 | 2013 | 1.02 | \$ 24,356,900 | \$ 15,394,227 | \$ 7,650,750 | \$ 3,826,273 | \$ 1,924,164 | \$ - | \$ 28,795,414 | \$ 4,438,514 | 2.63% | \$ 42,627 | |
| 6 | 2014 | 1.03 | \$ 24,356,900 | \$ 15,548,169 | \$ 7,727,258 | \$ 4,488,062 | \$ 7,773,621 | \$ 5,200,000 | \$ 40,737,110 | \$ 16,380,210 | 2.62% | \$ 116,693 | |
| 7 | 2015 | 1.04 | \$ 24,356,900 | \$ 15,703,651 | \$ 7,804,530 | \$ 5,162,704 | \$ 7,851,357 | \$ 5,252,000 | \$ 41,774,243 | \$ 17,417,343 | 2.60% | \$ 428,385 | |
| 8 | 2016 | 1.05 | \$ 24,356,900 | \$ 15,860,688 | \$ 7,882,575 | \$ 5,850,391 | \$ 7,929,871 | \$ 5,304,520 | \$ 42,828,045 | \$ 18,471,145 | 2.59% | \$ 453,111 | |
| 9 | 2017 | 1.06 | \$ 24,356,900 | \$ 16,019,294 | \$ 7,961,401 | \$ 6,015,237 | \$ 8,009,170 | \$ 5,357,565 | \$ 43,362,667 | \$ 19,005,767 | 2.57% | \$ 477,996 | |
| 10 | 2018 | 1.07 | \$ 24,356,900 | \$ 16,179,487 | \$ 8,041,015 | \$ 6,075,389 | \$ 8,089,261 | \$ 5,411,141 | \$ 43,796,294 | \$ 19,439,394 | 2.56% | \$ 489,242 | |
| 11 | 2019 | 1.08 | \$ 24,356,900 | \$ 16,341,282 | \$ 8,121,425 | \$ 6,136,143 | \$ 8,170,154 | \$ 5,465,252 | \$ 44,234,257 | \$ 19,877,357 | 2.55% | \$ 497,771 | |
| 12 | 2020 | 1.09 | \$ 24,356,900 | \$ 16,504,695 | \$ 8,202,640 | \$ 6,197,504 | \$ 8,251,855 | \$ 5,519,905 | \$ 44,676,599 | \$ 20,319,699 | 2.53% | \$ 506,306 | |
| 13 | 2021 | 1.10 | \$ 24,356,900 | \$ 16,669,742 | \$ 8,284,666 | \$ 6,259,479 | \$ 8,334,374 | \$ 5,575,104 | \$ 45,123,365 | \$ 20,766,465 | 2.52% | \$ 514,848 | |
| 14 | 2022 | 1.12 | \$ 24,356,900 | \$ 16,836,439 | \$ 8,367,513 | \$ 6,322,074 | \$ 8,417,718 | \$ 5,630,855 | \$ 45,574,599 | \$ 21,217,699 | 2.51% | \$ 523,399 | |
| 15 | 2023 | 1.13 | \$ 24,356,900 | \$ 17,004,804 | \$ 8,451,188 | \$ 6,385,295 | \$ 8,501,895 | \$ 5,687,163 | \$ 46,030,345 | \$ 21,673,445 | 2.49% | \$ 531,957 | |
| 16 | 2024 | 1.14 | \$ 24,356,900 | \$ 17,174,852 | \$ 8,535,700 | \$ 6,449,148 | \$ 8,586,914 | \$ 5,744,035 | \$ 46,490,648 | \$ 22,133,748 | 2.48% | \$ 540,522 | |
| 17 | 2025 | 1.15 | \$ 24,356,900 | \$ 17,346,600 | \$ 8,621,057 | \$ 6,513,639 | \$ 8,672,783 | \$ 5,801,475 | \$ 46,955,555 | \$ 22,598,655 | 2.47% | \$ 549,096 | |
| 18 | 2026 | 1.16 | \$ 24,356,900 | \$ 17,520,066 | \$ 8,707,267 | \$ 6,578,776 | \$ 8,759,511 | \$ 5,859,490 | \$ 47,425,110 | \$ 23,068,210 | 2.45% | \$ 557,679 | |
| 19 | 2027 | 1.17 | \$ 24,356,900 | \$ 17,695,267 | \$ 8,794,340 | \$ 6,644,563 | \$ 8,847,106 | \$ 5,918,085 | \$ 47,899,361 | \$ 23,542,461 | 2.44% | \$ 566,269 | |
| 20 | 2028 | 1.18 | \$ 24,356,900 | \$ 17,872,220 | \$ 8,882,283 | \$ 6,711,009 | \$ 8,935,577 | \$ 5,977,266 | \$ 48,378,355 | \$ 24,021,455 | 2.43% | \$ 574,869 | |
| 21 | 2029 | 1.20 | \$ 24,356,900 | \$ 18,050,942 | \$ 8,971,106 | \$ 6,778,119 | \$ 9,024,933 | \$ 6,037,039 | \$ 48,862,138 | \$ 24,505,238 | 2.42% | \$ 583,478 | |
| 22 | 2030 | 1.21 | \$ 24,356,900 | \$ 18,231,451 | \$ 9,060,817 | \$ 6,845,900 | \$ 9,115,182 | \$ 6,097,409 | \$ 49,350,760 | \$ 24,993,860 | 2.40% | \$ 592,095 | |
| 23 | 2031 | 1.22 | \$ 24,356,900 | \$ 18,413,766 | \$ 9,151,425 | \$ 6,914,359 | \$ 9,206,334 | \$ 6,158,383 | \$ 49,844,267 | \$ 25,487,367 | 2.39% | \$ 600,723 | |
| 24 | 2032 | 1.23 | \$ 24,356,900 | \$ 18,597,904 | \$ 9,242,940 | \$ 6,983,503 | \$ 9,298,397 | \$ 6,219,967 | \$ 50,342,710 | \$ 25,985,810 | 2.38% | \$ 609,359 | |
| 25 | 2033 | 1.24 | \$ 24,356,900 | \$ 18,783,883 | \$ 9,335,369 | \$ 7,053,338 | \$ 9,391,381 | \$ 6,282,167 | \$ 50,846,137 | \$ 26,489,237 | 2.37% | \$ 618,006 | |
| 26 | 2034 | 1.26 | \$ 24,356,900 | \$ 18,971,721 | \$ 9,428,723 | \$ 7,123,871 | \$ 9,485,295 | \$ 6,344,988 | \$ 51,354,599 | \$ 26,997,699 | 2.35% | \$ 626,662 | |
| 27 | 2035 | 1.27 | \$ 24,356,900 | \$ 19,161,439 | \$ 9,523,010 | \$ 7,195,110 | \$ 9,580,148 | \$ 6,408,438 | \$ 51,868,145 | \$ 27,511,245 | 2.34% | \$ 635,329 | |
| | 2036 | | Collections for TID Year 27 | | | | | | | | | | \$ 644,006 |
| Total Proceeds, 2009-2036 (Not Discounted) | | | | | | | | | | | | | \$ 12,333,144 |

[1] Property Tax Rates are actual through 2010 and the 2010 rate is held constant for 2011. Future Property Tax Rates are based on property tax history from Milwaukee Assessor.

City of Milwaukee

Reed Street Yards Feasibility Update

Table 4: TID Amortization - Phases I and II Infrastructure with Hypothetical Development, Phase II Bond Year 2012

Bonding

| | |
|--|--------|
| Interest Rate on Bonds | 4.50% |
| Cost of Funds (Local Government Investment Pool) | 4.00% |
| Issuance Costs @ | 1.00% |
| Capitalized Interest Allowance @ | 10.00% |
| Assumed Level P&I Payments | 15 |

Funding Structure

| Assumed Bonding | Assumed Year | Amount | Plus Issuance Costs | Capitalized Interest | Total Issuance |
|-----------------|--------------|--------------|---------------------|----------------------|----------------|
| Phase I | 2012 | \$ 3,936,370 | \$ 39,364 | \$ 441,748 | \$ 4,417,482 |
| Phase II | 2012 | \$ 2,281,400 | \$ 22,814 | \$ 256,024 | \$ 2,560,238 |

| TID Year | Calendar Year | Projected Incremental Property Taxes [1] | BID Loan Repayment | Debt Service | | | | TID Payoff Analysis | | | |
|----------|---------------|--|--------------------|-------------------------|---|-------------------------|---|-----------------------------|-------------------------|--|------------------------------------|
| | | | | PHASE I INFRASTRUCTURE | | PHASE II INFRASTRUCTURE | | Annual Surplus/ (Shortfall) | Cumulative Fund Balance | Interest Earnings/ (Carry Cost) on Cuml. Balance | TID Could Repay Outstanding Princ. |
| | | | | TID-Backed Bonds Issued | TID Annual Debt Service Target Payments | TID-Backed Bonds Issued | TID Annual Debt Service Target Payments | | | | |
| 1 | 2009 | \$ - | \$ - | \$ - | | \$ - | | \$ - | \$ - | \$ - | NO |
| 2 | 2010 | \$ - | \$ - | \$ - | | \$ - | | \$ - | \$ - | \$ - | NO |
| 3 | 2011 | \$ 18,466 | \$ - | \$ - | | \$ - | | \$ 18,466 | \$ 18,466 | \$ 739 | NO |
| 4 | 2012 | \$ 34,249 | \$ - | \$ 4,417,482 | | \$ 2,560,238 | | \$ 34,249 | \$ 53,454 | \$ 2,138 | NO |
| 5 | 2013 | \$ 42,627 | \$ 43,645 | \$ - | | \$ - | | \$ 86,272 | \$ 141,864 | \$ 5,675 | NO |
| 6 | 2014 | \$ 116,693 | \$ 43,645 | \$ - | | \$ - | | \$ 160,338 | \$ 307,876 | \$ 12,315 | NO |
| 7 | 2015 | \$ 428,385 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (177,692) | \$ 142,499 | \$ 5,700 | NO |
| 8 | 2016 | \$ 453,111 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (152,966) | \$ (4,766) | \$ (191) | NO |
| 9 | 2017 | \$ 477,996 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (128,081) | \$ (133,038) | \$ (5,322) | NO |
| 10 | 2018 | \$ 489,242 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (116,835) | \$ (255,194) | \$ (10,208) | NO |
| 11 | 2019 | \$ 497,771 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (108,307) | \$ (373,708) | \$ (14,948) | NO |
| 12 | 2020 | \$ 506,306 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (99,771) | \$ (488,428) | \$ (19,537) | NO |
| 13 | 2021 | \$ 514,848 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (91,229) | \$ (599,193) | \$ (23,968) | NO |
| 14 | 2022 | \$ 523,399 | \$ 43,645 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (82,678) | \$ (705,840) | \$ (28,234) | NO |
| 15 | 2023 | \$ 531,957 | \$ 0 | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (117,766) | \$ (851,839) | \$ (34,074) | NO |
| 16 | 2024 | \$ 540,522 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (109,200) | \$ (995,112) | \$ (39,804) | NO |
| 17 | 2025 | \$ 549,096 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (100,626) | \$ (1,135,542) | \$ (45,422) | NO |
| 18 | 2026 | \$ 557,679 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (92,043) | \$ (1,273,007) | \$ (50,920) | NO |
| 19 | 2027 | \$ 566,269 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (83,453) | \$ (1,407,380) | \$ (56,295) | NO |
| 20 | 2028 | \$ 574,869 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (74,853) | \$ (1,538,529) | \$ (61,541) | NO |
| 21 | 2029 | \$ 583,478 | \$ - | \$ - | \$ 411,329 | \$ - | \$ 238,393 | \$ (66,244) | \$ (1,666,314) | \$ (66,653) | NO |
| 22 | 2030 | \$ 592,095 | \$ - | \$ - | | \$ - | | \$ 592,095 | \$ (1,140,871) | \$ (45,635) | NO |
| 23 | 2031 | \$ 600,723 | \$ - | \$ - | | \$ - | | \$ 600,723 | \$ (585,784) | \$ (23,431) | NO |
| 24 | 2032 | \$ 609,359 | \$ - | \$ - | | \$ - | | \$ 609,359 | \$ 144 | \$ 6 | YES |
| 25 | 2033 | \$ 618,006 | \$ - | \$ - | | \$ - | | \$ 618,006 | \$ 618,156 | \$ 24,726 | YES |
| 26 | 2034 | \$ 626,662 | \$ - | \$ - | | \$ - | | \$ 626,662 | \$ 1,269,544 | \$ 50,782 | YES |
| 27 | 2035 | \$ 635,329 | \$ - | \$ - | | \$ - | | \$ 635,329 | \$ 1,955,655 | \$ 78,226 | YES |
| | 2036 | \$ 644,006 | \$ - | \$ - | | \$ - | | \$ 644,006 | \$ 2,677,888 | \$ 107,116 | YES |
| TOTALS | | \$ 12,333,144 | \$ 436,450 | \$ 4,417,482 | \$ 6,169,928 | \$ 2,560,238 | \$ 3,575,902 | \$ 3,023,763 | \$ 2,677,888 | \$ (238,760) | |

Appendix 1: TID Assumptions

DRAFT

City of Milwaukee
Reed Street Yards Feasibility Update
Table A-1. Assumptions

Bonding [1]

| | |
|--|-------------|
| Interest Rate on Bonds | 4.50% |
| Cost of Funds (Local Government Investment Pool) | 4.00% |
| Issuance Costs @ | 1.0% |
| Capitalized Interest Allowance @ | 10.0% |
| Assumed Level P&I Payments | 15 |
| Bond Amount, Phase I Infrastructure | \$3,936,370 |
| Bond Amount, Phase II Infrastructure | \$2,281,400 |
| Bonding Year; BID Loan Year | 2012 |

Rates

| | |
|--|--------|
| General Inflation | 1.00% |
| 2010 Net Property Tax Rate [2] | 2.657% |
| 10-year Compound Rate of Decline (property tax rate) [3] | 0.53% |

TID 75 - Reed Street Yards

| | |
|----------------------------------|--------------|
| Total 2009 Base Value of TID [5] | \$24,356,900 |
| 2010 Assessed Value | \$25,051,900 |
| 2011 Assessed Value | \$25,645,900 |

Iron Horse Hotel Valuation [6]

| | | | |
|--|--|--------------------------------------|------------------------------|
| 2009 Base Value | \$5,000,000 | | |
| Total SF | 95,788 | | |
| Number of Hotel Rooms at Full Buildout | 100 | | |
| AV per Hotel Room (2011 \$) | \$75,000 | | |
| Projected Total AV (2011 \$) | \$7,500,000 | | |
| Valuation Phasing: | Actual/Projected New Additional Value | Actual /Projected Total Value | Percent Stabilization |
| Year | | | |
| 2009 | | \$5,000,000 | 67% |
| 2010 | | \$6,000,000 | 80% |
| 2011 | | \$6,500,000 | 87% |
| 2012 | | \$6,500,000 | 87% |
| 2013 | \$1,000,000 | \$7,500,000 | 100% |
| 2014 | | \$7,500,000 | 100% |

234 Florida Valuation [7]

| | | | |
|----------------------------------|---------------------------------------|--------------------------------------|------------------------------|
| 2009 Base Value | \$2,985,000 | | |
| Total SF | 109,727 | | |
| Support Area SF (not assessed) | 34,172 | | |
| AV per SF (2011 \$) | \$75 | | |
| Projected Total New AV (2011 \$) | \$5,666,625 | | |
| Valuation Phasing: | Projected New Additional Value | Actual /Projected Total Value | Percent Stabilization |
| Year | | | |
| 2009 | | \$2,985,000 | 53% |
| 2010 | | \$2,985,000 | 53% |
| 2011 | | \$3,079,000 | 54% |
| 2012 | \$66,692 | \$3,145,692 | 56% |
| 2013 | \$605,189 | \$3,750,880 | 66% |
| 2014 | \$605,189 | \$4,356,069 | 77% |
| 2015 | \$605,189 | \$4,961,258 | 88% |
| 2016 | \$605,189 | \$5,566,446 | 98% |
| 2017 | \$100,179 | \$5,666,625 | 100% |
| 2018 | \$0 | \$5,666,625 | 100% |

Water Council Building Valuation [8]

| | | | |
|---------------------------|----------------------------|---------------------------------------|-----------------------------------|
| Total Lot Square Footage | 16,380 | | |
| 2009 Base Value | \$984,000 | | |
| Total Office SF | 88,025 | | |
| AV per SF Office (2011\$) | \$86 | | |
| Projected Total New AV | \$7,545,000 | | |
| Valuation Phasing: | Projected New Value | Actual / Projected Total Value | Percent Completed Per Year |
| Year | | | |
| 2009 | | \$984,000 | 0% |
| 2010 | | \$976,000 | 0% |
| 2011 | | \$976,000 | 0% |
| 2012 | | \$976,000 | 0% |
| 2013 | \$1,886,250 | \$1,886,250 | 25% |
| 2014 | \$5,658,750 | \$7,545,000 | 75% |
| 2015 | \$0 | \$7,545,000 | 0% |

[1] All bonding assumptions per discussions with Comptroller's office; LGIP rate may require further refinement.

[2] City of Milwaukee website.

[3] Based on property tax history from Milwaukee Assessor.

[4] *SB Friedman* assumption.

[5] 2009 Annual Report, Milwaukee Tax Incremental Finance Districts, May 2010; reflect un-equalized value

[6] Hotel is expected to produce more value with addition of 16 rooms. Assessed value at stabilization based on tax comparables of downtown hotels and Assessor interview.

[7] Renovation is underway and is expected to produce more value. Assessed value at stabilization is based on valuation of Tannery space and other comparable office space per discussions with the Milwaukee Assessor.

[8] Based on Water Council Accelerator Stabilized Pro Forma received from City 8/25/2011. AV/SF based on Assessor interview and rents from pro forma.

Appendix 2: Limitations

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LIMITATIONS OF ENGAGEMENT

Our report is based on estimates, assumptions, and other information developed from research of the market, knowledge of the industry, and meetings/teleconferences during which we obtained certain information. Some assumptions inevitably will not materialize, and unanticipated events and circumstances may occur; therefore, actual results achieved during the period covered by our analysis will necessarily vary from those shown here and the variations may be material.

The terms of this engagement are such that we have no obligation to revise the report to reflect events or conditions which occur subsequent to the date of the report. These events or conditions include without limitation economic growth trends, governmental actions, changes in assessment practices, changes in the TIF statute, interest rates and other factors. However, we are available to discuss the necessity for revision in view of changes in the economic or market factors affecting the proposed project.

Our report is intended solely for your information, for purposes of amending a Tax Incremental Financing district. It should not be relied upon by any other person, firm or corporation or for any other purposes. Neither the report nor its contents, nor any reference to our Firm, may be included or quoted in any offering circular or registration statement, appraisal, sales brochure, prospectus, loan, or other agreement or document intended for use in obtaining funds from individual investors.

TERM SHEET

Reed Street Yards Water Technology Business Park

Project Description: The City of Milwaukee, Redevelopment Authority of the City of Milwaukee and Building 41 LLC, or its assignee ("Developer") intend to enter into a public/private partnership to create a water technology business park on an approximately 20-acre parcel of distressed land abutting the south bank of the Menomonee Canal, roughly between South Second Street and South Ninth Street (the "Project Area"). The eastern portion of the Project Area (located east of South Sixth Street and commonly referred to as the "Reed Street Yards") is comprised of vacant land capable of containing 320-630,000 SF of office space, depending on the amount of structured parking utilized. The western portion (located west of South Sixth Street) contains empty buildings, totaling approximately 280,000 SF that were once part of the Pfister and Vogel Tannery. The City has created a tax increment district (the "TID") encompassing the Project Area and adjacent lands. The City will provide funds through the TID (the "City Investment") to pay for all or a portion of costs incurred for the installation of public and private infrastructure (initial Site Plan attached as **Exhibit A**). In the future, the City will consider additional grants or loans to defray adverse environmental conditions and/or other construction cost premiums attributable to adverse site conditions and/or the technology requirements of the desired end users. The Developer will construct all private infrastructure, will market applicable portions of the site to water technology companies and will either develop or sell parcels for occupancy by the desired end users. The Developer will also dedicate right-of-way necessary for construction of public infrastructure, and, if requested by the City, construct the public infrastructure. It is anticipated that construction of public infrastructure will begin in 2012, creating marketable sites by late 2012 or early 2013.

City Investment: The project plan for the TID (the "Project Plan") will allocate the City Investment to the categories of expenditures likely to be required over the course of development of the Project, including public infrastructure, environmental remediation, future grants to the Developer or end users and potential future parking structures. The City Investment will be applied to 100% of the cost of public streets, sidewalks, lighting, landscaping, sanitary sewers, stormwater systems, water and related improvements. The City Investment will be applied to 70% of eligible riverwalk costs and 50% of eligible dockwall costs subject to the maximum contribution permitted by Common Council Resolution File No. 060578. As provided herein, to the extent deemed feasible by the City, the City Investment may also be applied toward a contribution to the cost of one or more structures for public parking. Funds will also be made available to the City or RACM for administrative costs. Phase 2 infrastructure costs will be subject to TID capacity available to repay TID by year twenty-four of the TID.

Initial City Investment: Up to \$3,582,370 of the City Investment (the "Initial City Investment") will be disbursed by the City to pay for Phase 1 of the public

and quasi-public infrastructure identified on **Exhibit B** attached hereto (the "Public Infrastructure") and \$264,000 of this amount will be made available to the City or RACM for administrative costs.

An additional \$354,000 loan will be made to a Business Improvement District ("BID") created to fund the developer's share of Riverwalk and Dockwall expenses, paid back through special assessments.

Up to an additional \$2,281,400 for Phase 2 infrastructure (stormwater management, site work and environmental remediation) identified in **Exhibit B**, will be made available when sufficient increment is projected to be generated so that the Phase 2 amount can be fully amortized and repaid by year twenty-four of the TID. Before any Phase 2 funds are released, the City shall update the feasibility study to confirm, and the Comptroller shall review and concur, that sufficient increment will be generated to fully amortize the TID by year twenty-four. Any increase in Phase 2 funding or additional future funding requests will require Common Council approval.

The total amount available for infrastructure, administration and BID loan shall not exceed \$6,217,770.

In the event that the Developer constructs the Public Infrastructure, the funds to pay for same shall be disbursed by the City or RACM through construction draws as work progresses. All Public Infrastructure must be completed within twenty-four months following execution of the development agreement, subject to force majeure.

Prior to disbursement of any funds to pay for the Public Infrastructure, the following requirements must be met:

- A. The Commissioner of City Development ("Commissioner") shall have approved the final scope of work and budget for the Public Infrastructure.
- B. The City's Commissioner of Public Works shall have approved the final design for the Public Infrastructure and shall have let or reviewed and approved the construction contracts for the Public Infrastructure, which shall conform to the approved design, scope of work and budget.
- C. Payment requests shall be presented to the Commissioner by Developer no more frequently than once per month, on AIA Document G702 or equivalent. Funds may be disbursed through a mutually acceptable title insurance company pursuant to a disbursement agreement or in accordance with procedures approved by the Commissioner. The Initial City Investment disbursed in each draw shall be in accordance with the percentages described in the City Investment section, above (e.g., 70% of eligible riverwalk costs, 100% of public street costs, etc.).

- D. The City and the Developer shall have agreed upon the form and substance of a Grant of Easement for the Riverwalk and the public right-of-way dedication for all public streets shall have been initiated, subject to appropriate construction easements.

Subsequent Advances of the City Investment: Development of buildings for the targeted users within the Project Area will be carried out over time in one or more phases, as end users are procured. The Developer and potential end users may request that the City provide financial assistance for future buildings the purposes identified in the Project Plan and the City will consider such requests. No residential buildings shall be eligible for grants. The Commissioner shall work with the Developer or an end user to underwrite the appropriate amount of any requested financial assistance, and shall submit a mutually agreed request for such assistance to the Common Council.

Additional TID funds generated from any and all developments within the TID (including funds generated by residential apartments or condominiums), may be made available for a contribution towards structured parking. If and when such increment is available and if warranted by absorption within the Project or the needs of a particular end user, the Developer may request expenditure of funds toward the cost of construction of one or more parking structures to serve the Project, to be constructed, owned and maintained by the Developer. In the alternative, City or RACM may independently construct one or more parking structures.

Notwithstanding the foregoing, the amount of any advances of the City Investment above and beyond the Initial Investment shall not exceed the amount that can be fully amortized and repaid by the TID by year twenty-four of the TID, including reasonable administrative costs incurred by the City.

The City and Developer may share in the parking revenue from any future parking structures, if necessary to keep the TID in balance.

Zoning and Use Restrictions: The Commissioner and the Developer shall initiate an application to rezone the Project Area to I-M with a development incentive zone overlay. Permitted uses within the new zoning classification shall include office, retail and residential. The City and the Developer shall enter into a development agreement that shall contain use restrictions encumbering the Reed Street Yards. The use restrictions shall include a restriction providing that for a period of 8 years following substantial completion of the Public Infrastructure, at least 70% of the square footage within the restricted area must be constructed for, and owned by or leased to, "water technology-related businesses", as such term is defined on **Exhibit C**, attached hereto (the "Limited Use Restriction"). The Commissioner shall have the right to waive this requirement at the Commissioner's discretion. The development agreement shall be recorded and the restrictions contained therein shall run with the land and be binding upon and enforceable

against all those in the chain of title. If for any reason requested City funding for additional building grants, technology investments and/or structured parking that meet the criteria of the Project Plan or the development agreement are not approved by the Common Council, then the Limited Use Restriction shall terminate.

Human Resource Requirements: The Developer shall be responsible for compliance with all applicable Human Resource requirements imposed by the City with respect to construction of the Public Improvements (if performed by the Developer), see **Exhibit D**. In subsequent phases, the Developer (or an end user, if applicable) shall also comply with applicable Human Resource requirements for the construction of privately owned improvements within the Project Area as to which the City has provided funding through loans or grants.

PILOT Payments: The restrictions in the development agreement will require payments in lieu of taxes with respect to any parcel or building within the Project Area that subsequently becomes exempt from real property taxes during the life of the TID. This shall be a covenant running with the land for the duration of the TID.

Grants and Other Financial Assistance: The Developer and the City will undertake good faith efforts to secure brownfield and other grants and financial assistance from third parties for the Project. Any funds obtained and made available to the Project or a particular end user shall be applied as mutually agreed by the parties.

Exclusive Marketing: During the term of the Limited Use Restriction, the City and Developer shall market the Reed Street Yards as the exclusive site for "water technology-related businesses" that meet the new zoning classifications. The City and Developer shall further enlist the support of the Water Council in such marketing efforts. In the event that the City provides financial incentives to "water technology-related businesses" that would be permitted by the new zoning classification for the Reed Street Yards at sites other than the Reed Street Yards (unless the Reed Street Yards is not suitable for such businesses and has been eliminated from consideration by such businesses), then the Limited Use Restriction shall terminate. However, the Developer may still request Common Council approval of funding for future building grants, technology investments and/or structured parking.

Area Parking: The Public Infrastructure shall include temporary surface parking areas as shown in **Exhibit A**, to be owned by the Developer and to be made available through leases to the contemplated Water Council Project on East Pittsburgh, the Iron Horse Hotel and the 234 Florida Office building until such time that structured parking is constructed. Not less than 150 spaces shall be made available for the Water Council project and 150 spaces made available for the Iron Horse Hotel and 234 Florida Office building combined. Due to the temporary nature of such parking, the requested zoning will contain design standards applicable to the temporary lots. The Developer may

charge \$60/month for 24/7 access to the surface parking spaces and adjust that rate annually based on the Consumer Price Index, as reported by the Bureau of Labor Statistics. If and when one or more parking structures are developed, parking for such properties shall also be made available within such structure(s), and the Developer or City may charge rates comparable to the average of the Third Ward parking structures (130 North Water Street and 212 North Milwaukee Street, but also including any future public structures). The City shall install and maintain sidewalks, where reasonable and practical, to provide pedestrian access to and from the parking areas to and from the Iron Horse Hotel and 234 Florida Office building.

The City and Developer acknowledge that a logical location for a future parking structure might be at the southwest corner of the intersection of South Second Street and West Oregon Street. The City agrees to work with Developer and consider in good faith, a partial vacation of up to ten feet of the south side of West Oregon Street between South Second Street and South Third Street so as to accommodate the construction of a parking structure at this location.

Water Council Project Contingency: If construction on the Water Council Project does not proceed on or before February 28, 2012 or on such other date that may be mutually agreed upon, then either the City or the Developer shall have the right to terminate the Agreement upon thirty days notice to the other party.

Creation of Business Improvement District: Developer may petition the City to create a BID encompassing Reed Street Yards and adjoining properties for the purpose of creating a mechanism for centralized maintenance and control over common areas and amenities within Reed Street Yards (including future parking structures) as well as means of equitably allocating the costs for same. Developer may further request that Developer's share of the cost of the dockwall and riverwalk improvements (plus the City's cost of funds for the Developer's share) be funded or reimbursed by the City through a loan to the BID, to be repaid to the City through special assessments. The City agrees to cooperate with Developer in the creation of the BID and to consider Developer's request for loans to the BID.

General: This Term Sheet does not constitute a binding agreement. The terms set forth herein and other provisions customary for a transaction of this type (e.g., Comptroller audit rights) shall be incorporated into the development agreement referenced above, which shall be executed by the City, the Developer and the Redevelopment Authority of the City of Milwaukee. Resolutions approving this Term Sheet may provide for the execution of additional documents and instruments necessary to carry out the provisions of the development agreement and implement the Project.

EXHIBIT A: Site Plan

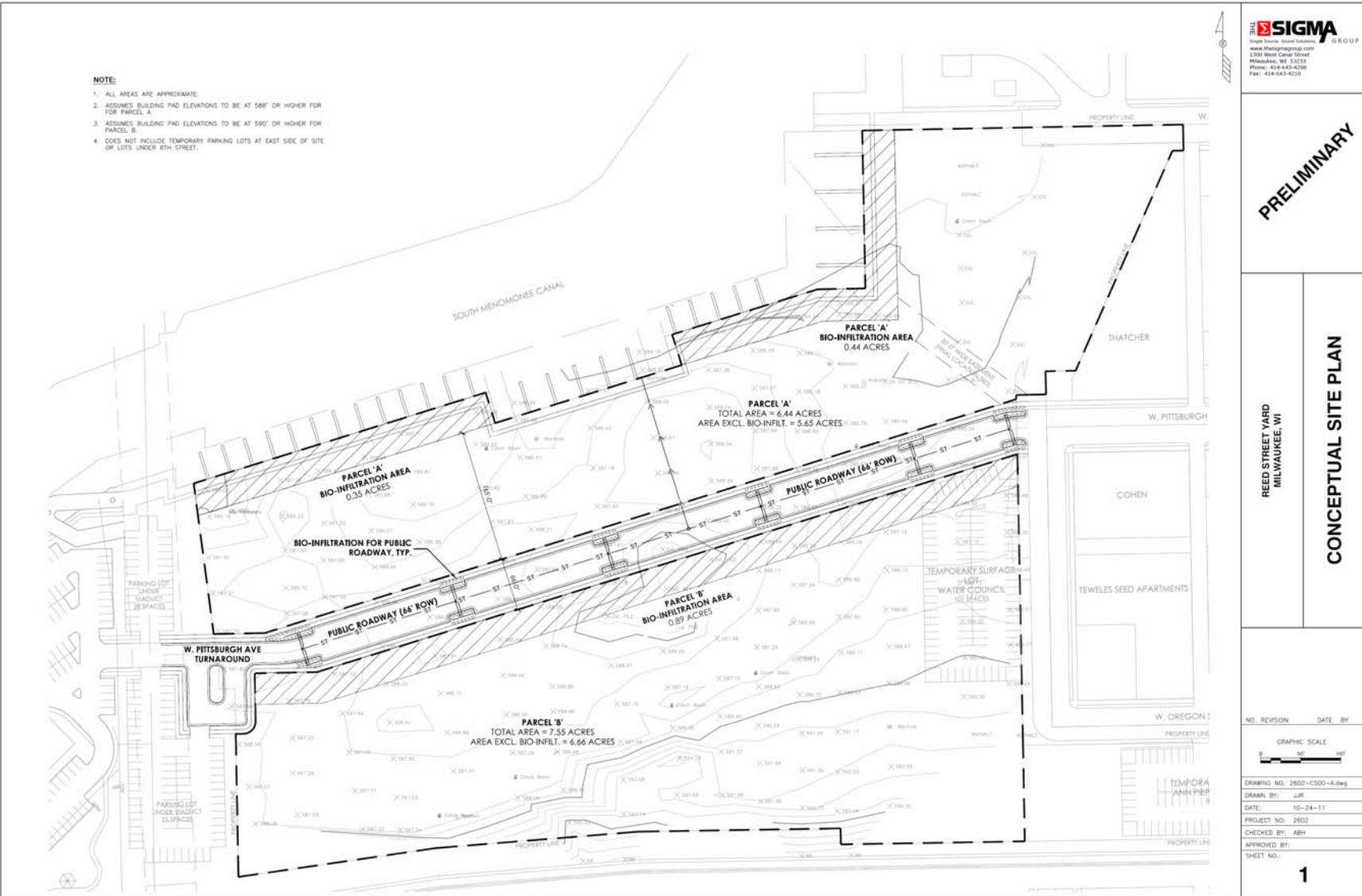


EXHIBIT B: Public Infrastructure Budget

| <u>Infrastructure</u> | <u>TID Phase 1</u> | <u>TID Phase 2</u> | <u>Loan to BID</u> |
|-------------------------------|---------------------------|---------------------------|---------------------------|
| Paving - Pittsburgh | \$440,000 | \$0 | \$0 |
| Paving - River Trail | \$66,500 | \$0 | \$28,500 |
| Dockwall | \$225,000 | \$0 | \$225,000 |
| Parking (Paving/Construction) | \$135,000 | \$0 | \$0 |
| Street Lighting | \$165,000 | \$0 | \$0 |
| Landscaping | \$94,200 | \$0 | \$0 |
| Bioretention Zones | \$305,000 | \$0 | \$150,000 |
| Environmental Remediation | \$200,000 | \$574,000 | \$0 |
| Stormwater and Site Work | \$500,000 | \$1,500,000 | \$0 |
| Sanitary Sewer | \$636,000 | \$0 | \$0 |
| Water Main | \$250,000 | \$0 | \$0 |
| Total Infrastructure | \$3,016,700 | \$2,074,000 | |
| Contingency (10%) | \$301,670 | \$207,400 | |
| Administration | \$264,000 | \$0 | |
| TID Costs | \$3,582,370 | \$2,281,400 | \$354,000 |
| TOTAL TID COSTS | \$5,863,770 | | |
| TID and BID Costs | \$6,217,770 | | |

EXHIBIT C: Water Technology-Related Businesses

"Water technology-related businesses" shall mean companies engaged in the following categories of businesses, including, but not limited to, those 156 companies in the seven county Southeastern Wisconsin region identified by the Milwaukee Water Council as businesses engaged in water technology and any other companies similar thereto*:

1. Water/Wastewater Treatment Systems
 - Businesses that focus mainly on design & construction of complete treatment systems.
2. Industrial Water Process Systems
 - Manufacturers of systems for the movement of water, rather than treatment, such as irrigation systems, fluid process and liquid handling.
3. Water System Products: Non-mechanical
 - Tanks & boilers
 - Fabrication Services
4. Water System Products: Mechanical
 - Complete mechanical equipment, not parts, such as dehumidifiers, aerators, pumps and motors.
5. Water System Components
 - Manufacturers of individual parts, such as the following:
 - Controls, Meters or Sensors
 - Fittings & Valves
 - Filters
6. Chemical/Biological Treatment Producer
 - Chemical Manufacturers
 - Anaerobic Digestors
7. Engineering/Planning/Software Services
 - Non-manufacturing support services
 - Includes design, financing, surveying, laboratories, legal, etc.
8. Maintenance Equipment & Services
9. Distributor
10. Well Services & Products
 - All businesses with a major focus towards the water well industry

11. General Consumer Products

- Residential plumbing fixtures
- Consumer products, such as bottled water
- Recreational equipment, ie. marine and scuba equipment
- Aquaponics

12. Miscellaneous Product Manufacturers

- Products using water, not related to treatment, such as laundry or firefighting equipment

*A list of the above-referenced 156 companies is on file with the Commissioner of the Department of City Development.

EXHIBIT D: Human Resource Requirements

TERM SHEET

Reed Street Yards Water Technology Business Park

Project Description: The City of Milwaukee, Redevelopment Authority of the City of Milwaukee and Building 41 LLC, or its assignee ("Developer") intend to enter into a public/private partnership to create a water technology business park on an approximately 20-acre parcel of distressed land abutting the south bank of the Menomonee Canal, roughly between South Second Street and South Ninth Street (the "Project Area"). The eastern portion of the Project Area (located east of South Sixth Street and commonly referred to as the "Reed Street Yards") is comprised of vacant land capable of containing 320-630,000 SF of office space, depending on the amount of structured parking utilized. The western portion (located west of South Sixth Street) contains empty buildings, totaling approximately 280,000 SF that were once part of the Pfister and Vogel Tannery. The City has created a tax increment district (the "TID") encompassing the Project Area and adjacent lands. The City will provide funds through the TID (the "City Investment") to pay for all or a portion of costs incurred for the installation of public and private infrastructure (initial Site Plan attached as **Exhibit A**). In the future, the City will consider additional grants or loans to defray adverse environmental conditions and/or other construction cost premiums attributable to adverse site conditions and/or the technology requirements of the desired end users. The Developer will construct all private infrastructure, will market applicable portions of the site to water technology companies and will either develop or sell parcels for occupancy by the desired end users. The Developer will also dedicate right-of-way necessary for construction of public infrastructure, and, if requested by the City, construct the public infrastructure. It is anticipated that construction of public infrastructure will begin in 2012, creating marketable sites by late 2012 or early 2013.

City Investment: The project plan for the TID (the "Project Plan") will allocate the City Investment to the categories of expenditures likely to be required over the course of development of the Project, including public infrastructure, environmental remediation, future grants to the Developer or end users and potential future parking structures. The City Investment will be applied to 100% of the cost of public streets, sidewalks, lighting, landscaping, sanitary sewers, stormwater systems, water and related improvements. The City Investment will be applied to 70% of eligible riverwalk costs and 50% of eligible dockwall costs subject to the maximum contribution permitted by Common Council Resolution File No. 060578. As provided herein, to the extent deemed feasible by the City, the City Investment may also be applied toward a contribution to the cost of one or more structures for public parking. Funds will also be made available to the City or RACM for administrative costs. Phase 2 infrastructure costs will be subject to TID capacity available to repay TID by year twenty-four of the TID.

Initial City Investment: Up to \$3,582,370 of the City Investment (the "Initial City Investment") will be disbursed by the City to pay for Phase 1 of the public

and quasi-public infrastructure identified on **Exhibit B** attached hereto (the "Public Infrastructure") and \$264,000 of this amount will be made available to the City or RACM for administrative costs.

An additional \$354,000 loan will be made to a Business Improvement District ("BID") created to fund the developer's share of Riverwalk and Dockwall expenses, paid back through special assessments.

Up to an additional \$2,281,400 for Phase 2 infrastructure (stormwater management, site work and environmental remediation) identified in **Exhibit B**, will be made available when sufficient increment is projected to be generated so that the Phase 2 amount can be fully amortized and repaid by year twenty-four of the TID.

The total amount available for infrastructure, administration and BID loan shall not exceed \$6,217,770.

In the event that the Developer constructs the Public Infrastructure, the funds to pay for same shall be disbursed by the City or RACM through construction draws as work progresses. All Public Infrastructure must be completed within twenty-four months following execution of the development agreement, subject to force majeure. Prior to disbursement of any funds to pay for the Public Infrastructure, the following requirements must be met:

- A. The Commissioner of City Development ("Commissioner") shall have approved the final scope of work and budget for the Public Infrastructure.
- B. The City's Commissioner of Public Works shall have approved the final design for the Public Infrastructure and shall have let or reviewed and approved the construction contracts for the Public Infrastructure, which shall conform to the approved design, scope of work and budget.
- C. Payment requests shall be presented to the Commissioner by Developer no more frequently than once per month, on AIA Document G702 or equivalent. Funds may be disbursed through a mutually acceptable title insurance company pursuant to a disbursement agreement or in accordance with procedures approved by the Commissioner. The Initial City Investment disbursed in each draw shall be in accordance with the percentages described in the City Investment section, above (e.g., 70% of eligible riverwalk costs, 100% of public street costs, etc.).
- D. The City and the Developer shall have agreed upon the form and substance of a Grant of Easement for the Riverwalk and the public right-of-way dedication for all public streets shall have been initiated, subject to appropriate construction easements.

Subsequent Advances of the City Investment: Development of buildings for the targeted users within the Project Area will be carried out over time in one or more phases, as end users are procured. The Developer and potential end users may request that the City provide financial assistance for future buildings the purposes identified in the Project Plan and the City will consider such requests. No residential buildings shall be eligible for grants. The Commissioner shall work with the Developer or an end user to underwrite the appropriate amount of any requested financial assistance, and shall submit a mutually agreed request for such assistance to the Common Council.

Additional TID funds generated from any and all developments within the TID (including funds generated by residential apartments or condominiums), may be made available for a contribution towards structured parking. If and when such increment is available and if warranted by absorption within the Project or the needs of a particular end user, the Developer may request expenditure of funds toward the cost of construction of one or more parking structures to serve the Project, to be constructed, owned and maintained by the Developer. In the alternative, City or RACM may independently construct one or more parking structures.

Notwithstanding the foregoing, the amount of any advances of the City Investment above and beyond the Initial Investment shall not exceed the amount that can be fully amortized and repaid by the TID by year twenty-four of the TID, including reasonable administrative costs incurred by the City.

The City and Developer may share in the parking revenue from any future parking structures, if necessary to keep the TID in balance.

Zoning and Use Restrictions: The Commissioner and the Developer shall initiate an application to rezone the Project Area to I-M with a development incentive zone overlay. Permitted uses within the new zoning classification shall include office, retail and residential. The City and the Developer shall enter into a development agreement that shall contain use restrictions encumbering the Reed Street Yards. The use restrictions shall include a restriction providing that for a period of 8 years following substantial completion of the Public Infrastructure, at least 70% of the square footage within the restricted area must be constructed for, and owned by or leased to, "water technology-related businesses", as such term is defined on **Exhibit C**, attached hereto (the "Limited Use Restriction"). The Commissioner shall have the right to waive this requirement at the Commissioner's discretion. The development agreement shall be recorded and the restrictions contained therein shall run with the land and be binding upon and enforceable against all those in the chain of title. If for any reason requested City funding for additional building grants, technology investments and/or structured parking that meet the criteria of the Project Plan or the development agreement are not approved by the Common Council, then the Limited Use Restriction shall terminate.

Human Resource Requirements: The Developer shall be responsible for compliance with all applicable Human Resource requirements imposed by the City with respect to construction of the Public Improvements (if performed by the Developer), see **Exhibit D**. In subsequent phases, the Developer (or an end user, if applicable) shall also comply with applicable Human Resource requirements for the construction of privately owned improvements within the Project Area as to which the City has provided funding through loans or grants.

PILOT Payments: The restrictions in the development agreement will require payments in lieu of taxes with respect to any parcel or building within the Project Area that subsequently becomes exempt from real property taxes during the life of the TID. This shall be a covenant running with the land for the duration of the TID.

Grants and Other Financial Assistance: The Developer and the City will undertake good faith efforts to secure brownfield and other grants and financial assistance from third parties for the Project. Any funds obtained and made available to the Project or a particular end user shall be applied as mutually agreed by the parties.

Exclusive Marketing: During the term of the Limited Use Restriction, the City and Developer shall market the Reed Street Yards as the exclusive site for "water technology-related businesses" that meet the new zoning classifications. The City and Developer shall further enlist the support of the Water Council in such marketing efforts. In the event that the City provides financial incentives to "water technology-related businesses" that would be permitted by the new zoning classification for the Reed Street Yards at sites other than the Reed Street Yards (unless the Reed Street Yards is not suitable for such businesses and has been eliminated from consideration by such businesses), then the Limited Use Restriction shall terminate. However, the Developer may still request Common Council approval of funding for future building grants, technology investments and/or structured parking.

Area Parking: The Public Infrastructure shall include temporary surface parking areas as shown in **Exhibit A**, to be owned by the Developer and to be made available through leases to the contemplated Water Council Project on East Pittsburgh, the Iron Horse Hotel and the 234 Florida Office building until such time that structured parking is constructed. Not less than 150 spaces shall be made available for the Water Council project and 150 spaces made available for the Iron Horse Hotel and 234 Florida Office building combined. Due to the temporary nature of such parking, the requested zoning will contain design standards applicable to the temporary lots. The Developer may charge \$60/month for 24/7 access to the surface parking spaces and adjust that rate annually based on the Consumer Price Index, as reported by the Bureau of Labor Statistics. If and when one or more parking structures are developed, parking for such properties shall also be made available within such structure(s), and the Developer or City may charge rates comparable to the average of the Third Ward parking structures

(130 North Water Street and 212 North Milwaukee Street, but also including any future public structures). The City shall install and maintain sidewalks, where reasonable and practical, to provide pedestrian access to and from the parking areas to and from the Iron Horse Hotel and 234 Florida Office building.

The City and Developer acknowledge that a logical location for a future parking structure might be at the southwest corner of the intersection of South Second Street and West Oregon Street. The City agrees to work with Developer and consider in good faith, a partial vacation of up to ten feet of the south side of West Oregon Street between South Second Street and South Third Street so as to accommodate the construction of a parking structure at this location.

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General: This Term Sheet does not constitute a binding agreement. The terms set forth herein and other provisions customary for a transaction of this type (e.g., Comptroller audit rights) shall be incorporated into the development agreement referenced above, which shall be executed by the City, the Developer and the Redevelopment Authority of the City of Milwaukee. Resolutions approving this Term Sheet may provide for the execution of additional documents and instruments necessary to carry out the provisions of the development agreement and implement the Project.

EXHIBIT A: Site Plan

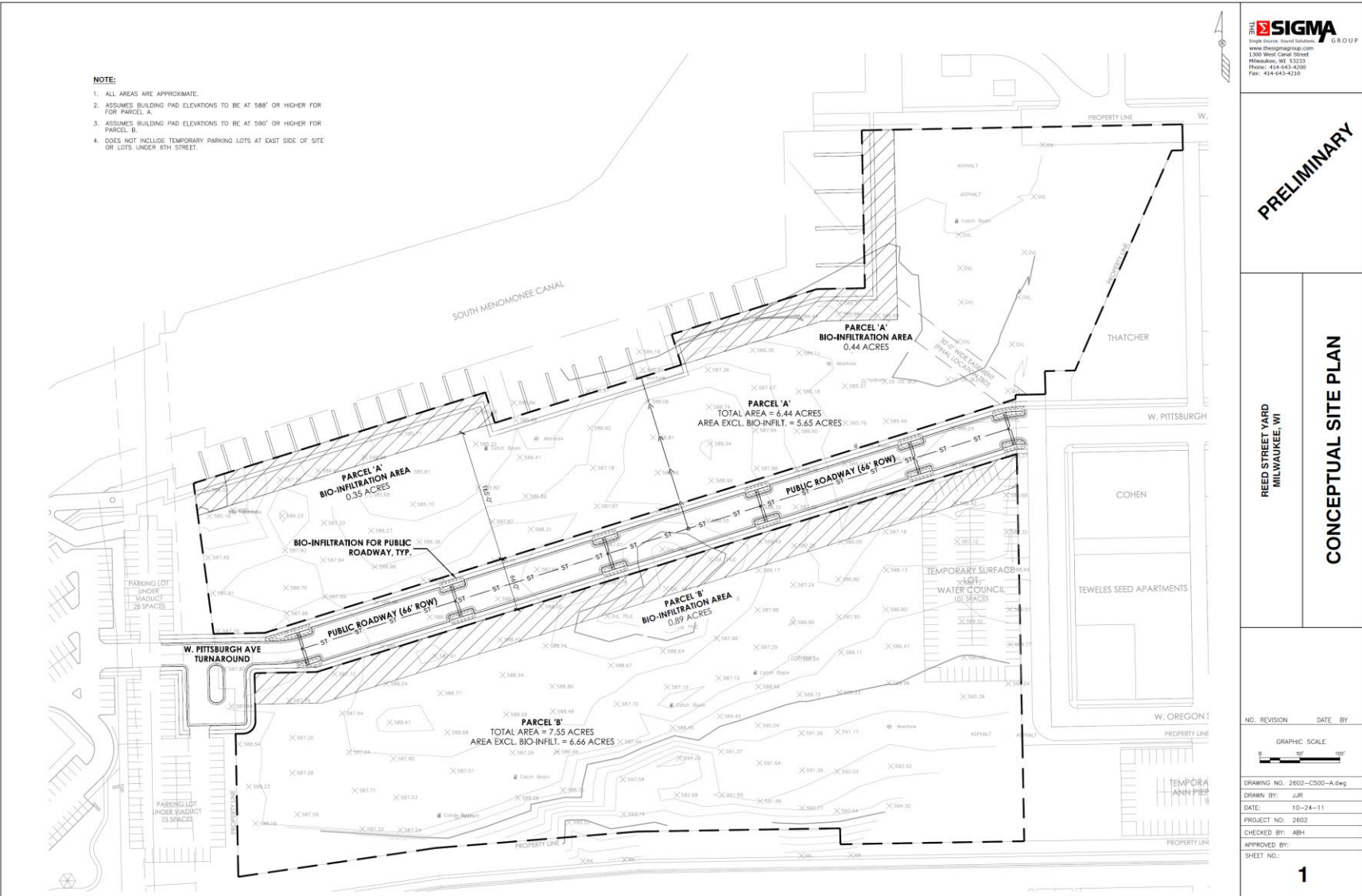


EXHIBIT B: Public Infrastructure Budget

| <u>Infrastructure</u> | <u>TID Phase 1</u> | <u>TID Phase 2</u> | <u>Loan to BID</u> |
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| Environmental Remediation | \$200,000 | \$574,000 | \$0 |
| Stormwater and Site Work | \$500,000 | \$1,500,000 | \$0 |
| Sanitary Sewer | \$636,000 | \$0 | \$0 |
| Water Main | \$250,000 | \$0 | \$0 |
| Total Infrastructure | \$3,016,700 | \$2,074,000 | |
| Contingency (10%) | \$301,670 | \$207,400 | |
| Administration | \$264,000 | \$0 | |
| TID Costs | \$3,582,370 | \$2,281,400 | \$354,000 |
| TOTAL TID COSTS | \$5,863,770 | | |
| TID and BID Costs | \$6,217,770 | | |

EXHIBIT C: Water Technology-Related Businesses

"Water technology-related businesses" shall mean companies engaged in the following categories of businesses, including, but not limited to, those 156 companies in the seven county Southeastern Wisconsin region identified by the Milwaukee Water Council as businesses engaged in water technology and any other companies similar thereto*:

1. Water/Wastewater Treatment Systems
 - Businesses that focus mainly on design & construction of complete treatment systems.
2. Industrial Water Process Systems
 - Manufacturers of systems for the movement of water, rather than treatment, such as irrigation systems, fluid process and liquid handling.
3. Water System Products: Non-mechanical
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 - Fabrication Services
4. Water System Products: Mechanical
 - Complete mechanical equipment, not parts, such as dehumidifiers, aerators, pumps and motors.
5. Water System Components
 - Manufacturers of individual parts, such as the following:
 - Controls, Meters or Sensors
 - Fittings & Valves
 - Filters
6. Chemical/Biological Treatment Producer
 - Chemical Manufacturers
 - Anaerobic Digestors
7. Engineering/Planning/Software Services
 - Non-manufacturing support services
 - Includes design, financing, surveying, laboratories, legal, etc.
8. Maintenance Equipment & Services
9. Distributor
10. Well Services & Products
 - All businesses with a major focus towards the water well industry

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- Recreational equipment, ie. marine and scuba equipment
- Aquaponics

12. Miscellaneous Product Manufacturers

- Products using water, not related to treatment, such as laundry or firefighting equipment

*A list of the above-referenced 156 companies is on file with the Commissioner of the Department of City Development.

EXHIBIT D: Human Resource Requirements



Office of the Comptroller

W. Martin Morics, C.P.A.
Comptroller

Michael J. Daun
Deputy Comptroller

John M. Egan, C.P.A.
Special Deputy Comptroller

Craig D. Kammholz
Special Deputy Comptroller

November 17, 2011
REVISED

Members of the Zoning, Neighborhoods & Development Committee
200 East Wells Street, Room 205
Milwaukee, WI 53202

RE: File #090688 TID 75 – Reed Street Project

Dear Committee Members:

TID 75, Reed Street Project was established in 2009 to assist in the development of a “Water Technology Business Park” on a 20 acre vacant parcel located within the District boundaries, which are generally, the Menomonee River Canal to the North, Florida Street on the South, 2nd and 3rd Streets to the East and the properties adjacent to the West of 6th Street.

Although the TID was established in 2009, no funding authority was authorized at that time. The TID was created to: demonstrate the City’s commitment to redeveloping the area; allow time for a specific project development to materialize; and further assess the infrastructure needs and placement within the District. To date no additional incremental value has accrued to the District.

File #090688 is the first amendment to TID 75, authorizing the expenditure of \$5.86 million for infrastructure and public improvements in two sequential phases, and approving the terms of the Development Agreement between the City and Developer, Building 41, LLC. Associated with the Phase I capital spending, the Water Council is committed to the renovation of a seven story, 88,000 s.f. warehouse facility into the Milwaukee Water Council Office Building. The \$21 million renovation will provide office and research space to A.O. Smith, Gannett Fleming, Pave Drain, and Veolia, who have signed letters of intent for leasing space in the facility.

Developer owns and controls the entire 20 acre site and will provide easements to the City for the placement of infrastructure, which will include: streets, sidewalks, lighting, landscaping, sanitary sewers, storm water systems as well as 70 percent of eligible riverwalk costs and 50 percent of dockwall costs as allowed per Resolution #060578.

In addition to the TID expenditures, a BID will be established to cover the Developer’s portion of riverwalk and dockwall costs of \$354,000. The BID will allow Developer to distribute riverwalk and dockwall costs to new businesses locating within the District as the site attracts new development. Including the BID expenditures, total City investment in the District is \$6.12 million.

City investment in the Project will occur in two phases. The first Phase includes \$3.58 million for infrastructure, environmental remediation, administration and a 10% contingency. The second phase includes an additional \$2.28 million in additional infrastructure and environmental remediation. The feasibility study considers only Phase I expenditures as Phase II would not begin until sufficient tax increment value is generated to recover the additional \$2.28 million in Project costs.

Before any Phase 2 funds are released, the City will conduct a feasibility study confirming that sufficient increment will be generated to fully amortize the additional TID costs. The Comptroller is required to perform an independent review of that study, and must concur with the study's finding before the City funds are released. Also, any increase in Phase 2 funding or additional future funding requests will require Common Council approval. The table below, from Exhibit B of the Term Sheet, shows the phasing the City's investment.

| Reed Street Project Costs | | | |
|---------------------------|-------------|-------------|-------------|
| Infrastructure | TID Phase 1 | TID Phase 2 | Loan to BID |
| Paving - Pittsburgh | 440,000 | - | - |
| Paving - River Trail | 66,500 | - | 28,500 |
| Dockwall | 225,000 | - | 225,000 |
| Parking | 135,000 | - | - |
| Street Lighting | 165,000 | - | - |
| Landscaping | 94,200 | - | - |
| Bioretention Zones | 305,000 | - | - |
| Environmental Remediation | 200,000 | 574,000 | - |
| Stormwater Management | 500,000 | 1,500,000 | - |
| Sanitary Sewer | 636,000 | - | - |
| Water Main | 250,000 | - | - |
| Total Infrastructure | 3,016,700 | 2,074,000 | |
| Contingency (10%) | 301,670 | 207,400 | |
| Administration | 264,000 | - | |
| TOTAL TID COSTS | 3,582,370 | 2,281,400 | 253,500 |
| TOTAL TID & BID COSTS | | | 6,117,270 |

Is the Project Likely to be Successful?

We have reviewed the Department of City Development's (DCD) consultant's cash flow projections prepared by S.B. Friedman & Company. Those projections show that the TID will likely retire the initial \$3.94 million (\$3.58 million of project costs plus capitalized interest) in City debt issued for Phase 1 of the TID in 2029, the 21st year of the TID. We believe the feasibility analysis is reasonable, including the assumptions on existing and new value in the District, projected growth in property values (assumed to be 1%) and declining property tax rates. We did not evaluate the consultant's feasibility analysis of Phase II project costs based on a hypothetical development scenario. Under the terms of the proposed Amendment, our Office will have an opportunity to perform a detailed analysis of an updated Phase 2 feasibility study at the conclusion of Phase 1. The consultant's preliminary analysis of Phase 2 indicates recovery in year 24, or 2032, based on the addition of \$5.2 million of additional property value.

Is the Proposed Level of City Assistance Required for the Project's Success?

Most of the proposed TID 75 expenditures are for basic infrastructure, public improvements, and environmental remediation. These expenditures for public facilities are essential to the development, and would not be expected to be privately financed through the Project. Therefore, the vast majority of the Phase I expenditures, with the possible exception of the \$132,000 for parking improvements, are necessary to allow private development to proceed.

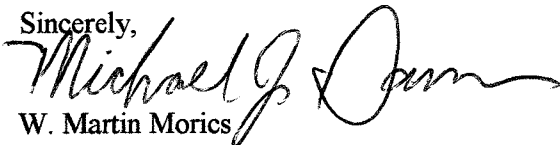
While there is no direct assistance to the Water Council from the TID, we reviewed the Water Council's cash flows, which indicate a 23.1% return on equity (ROE) and 24.4% return on investment (ROI). These returns are within an acceptable range for this type of investment. We have also reviewed lease agreements and letters of intent of lessees to verify the assumed rental income of the project. Currently, Water Council has leases and letters of intent for 60 percent of the facility. Even if additional space was not leased, the project would have positive cash flow through the 14 year projection period. Given these factors, we conclude that the project is likely to succeed.

Conclusions

In bringing together major water related industries in a production and research environment, this Project holds great potential for enhancing the current leadership position of Milwaukee in the future of this critical resource. Clearly there is a need for the public investment that is being proposed to improve the 20 acre site. As such there is no doubt that the improvements are needed for the Project to proceed. The costs for Phase I of the Project will likely be recovered over the 27 year life of the TID. In addition, the contingencies placed on proceeding with Phase 2 including an independent feasibility review and confirmation of Phase 2 feasibility by the Comptroller's Office speak well for the proposal before your Committee. Given these factors we recommend the Committee approve File#090688.

Please contact me should you have questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michael J. Morics", written in black ink.

W. Martin Morics
Comptroller

Cc Richard Marcoux, James Scherer, Lori Lutzka, Dan Casanova
CDK/Mjd 11-18-11

NOTICES SENT TO FOR FILE : 090688

[illegible]



Legislation Details (With Text)

File #: 101340 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 3/1/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Resolution approving a final Certified Survey Map for property located on the west side of South 6th Street and north of West College Avenue, which will create one lot and dedicate land for public purposes, in the 13th Aldermanic District.

Sponsors: THE CHAIR

Indexes: CERTIFIED SURVEY MAPS

Attachments: Certified Survey Map-Unexecuted Copy, City Plan Commission Letter

| Date | Ver. | Action By | Action | Result | Tally |
|----------|------|---|-------------|--------|-------|
| 3/1/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 3/8/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | REFERRED TO | | |

Number
101340
Version
ORIGINAL
Reference

Sponsor
THE CHAIR

Title
Resolution approving a final Certified Survey Map for property located on the west side of South 6th Street and north of West College Avenue, which will create one lot and dedicate land for public purposes, in the 13th Aldermanic District.

Analysis
This resolution approves a final Certified Survey Map that consolidates several parcels into one lot to facilitate the expansion of an existing business and dedicates land for public street purposes.

Body
Whereas, The Milwaukee Code of Ordinances, Chapter 119-5, Subdivision Regulations, requires City Plan Commission ("CPC") approval, conditional approval or disapproval of all Certified Survey Maps ("CSMs"), which provide dedication of land to the City of Milwaukee ("City") for public purposes; and

Whereas, The City received one final CSM, a copy of which is attached to this Common Council File, which dedicates land to the City for public purposes; and

Whereas, In compliance with the above-referenced chapter of the Milwaukee Code of Ordinances, CPC has reviewed and recommended approval of said CSM; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the following CSM is approved:

OWNER'S NAME, DCD NO., TAX KEY NO.

Lindner Terminals LLP, DCD No. 2858, Tax Key Nos. 688-0002-000, 688-0001-100, 688-9988-100, 688-9987-110 and 688-9987-200

Drafter

DCD:VLK:kdc

03/01/11/B

CERTIFIED SURVEY MAP NO.:

DEDICATION DETAIL A

1"=80'

N89°12'36"E
33.00'

33'

33'

270°11'17"

145 SQ.FT.
492 ACRES

89°48'43"

65.00'

90°11'17"

N00°36'07"W
65.00'

200.00'

S89°12'36"W
33.00'

P.O.B.

N00°36'07"W
1303.10'

SE COR
SW 1/4
SEC 32

E. LINE OF THE SW 1/4 OF SEC. 32-6-22

66' PUBLIC R.O.W.

SOUTH 6th STREET

| TAX KEY NO'S: | ZONING |
|---------------|--------|
| 6880002000 | PD |
| 6880001100 | PD |
| 6889988100 | PD |
| 6889987110 | PD |
| 6889987200 | PD |

OWNER:
LINDNER TERMINALS LLP
6055 S 6TH STREET
MILWAUKEE, WI 53221

① INDICATES LANDS DEDICATED TO THE CITY OF MILWAUKEE FOR PUBLIC STREET PURPOSES
 ● INDICATES 1" IRON PIPE (FOUND), UNLESS NOTED

ALL DIMENSIONS SHOWN ARE MEASURED TO THE
NEAREST HUNDREDTH OF A FOOT.
ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF
THE SOUTHWEST 1/4 OF SECTION 32, T 6 N, R 22 E,
WHICH BEARS SOUTH 00°36'07" EAST

SE CORNER, SW 1/4
SECTION 32-6-22
CONCRETE MONUMENT
WITH ALUMINUM CAP

NE CORNER, SW 1/4
SECTION 32-6-22
CONCRETE MONUMENT
WITH BRASS CAP

FEB. 8, 2011
REVISED FEB. 21, 2011
R.A. Smith National, Inc

Beyond Surveying and Engineering

16745 W. Bluemound Road, Brookfield WI 53005
262-781-1000 Fax 262-797-7373
www.rasmithnational.com

S:\5158480\dwg\
CS100L.dwg\CS101L2H

55 8 ng

INFRASTRUCTURE
SERVICES DIVISION

Marina Connell 3/14/2011

CENTRAL DRAFTING & RECORDS MANAGER

W. Martin

ENGR. IN CHARGE

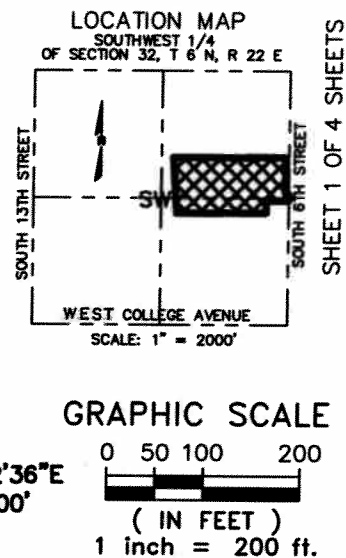
CORRECT

3/14/11

CITY ENGINEER

APPROVED

04/01/11



SHEET 1 OF 4 SHEETS

DED
STAMP

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 1 and Parcel 2 of Certified Survey Map No. 2536 and lands being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 32, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }
 :SS
WAUKESHA COUNTY }

I, ERIC R. STURM, Registered Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a division of Parcel 1 and Parcel 2 of Certified Survey Map No. 2536 and lands being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 32, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin which is bounded and described as follows:

COMMENCING at the Southeast corner of said 1/4 section; thence North 00°36'07" West along the East line of said 1/4 Section 1303.10 feet to the point of beginning of the lands to be described; thence South 89°12'36" West 233.00 feet to a point; thence South 00°36'07" East 130.00 feet to a point; thence South 89°12'36" West 926.24 feet to a point on the East line of the Soo Line Railroad Company; thence North 04°48'41" West along said East line 578.42 feet to a point; thence North 89°12'36" East 1168.69 feet to a point on the West line of South 6th Street; thence South 00°36'07" East along said West line 382.00 feet to a point; thence North 89°12'36" East 33.00 feet to a point on the East line of said 1/4 Section; thence South 00°36'07" East along said East line 65.00 feet to the point of beginning.
Said lands contain 638,230 square feet or 14.6517 acres

THAT I have made the survey, land division and map by the direction of LINDNER TERMINALS LLP, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 119 of the Milwaukee Code in surveying, dividing and mapping the same.

FEBRUARY 8, 2011
DATE
REVISED
FEBRUARY 21, 2011



Eric R. Sturm (SEAL)
ERIC R. STURM
REGISTERED LAND SURVEYOR S-2309

CERTIFIED SURVEY MAP NO. _____

A division of Parcel 1 and Parcel 2 of Certified Survey Map No. 2536 and lands being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 32, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

LINDNER TERMINALS LLP, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map, to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map in accordance with the requirements of Chapter 119 of the Milwaukee Code of Ordinances.

IN consideration of the approval of the map by the Common Council of the City of Milwaukee and in accordance with Chapter 119 of the Milwaukee Code, the undersigned agrees:

That all utility lines to provide electric power and telephone service and cable television or communications systems lines or cables to all lots in the Certified Survey Map shall be installed underground in easements provided therefore, where feasible.

THIS agreement shall be binding on the undersigned and assigns.

IN Witness Whereof, LINDNER TERMINALS LLP, has caused these presents to be signed by Gregg R. Lindner, its Managing Partner, this 23rd day of February, 2011.

In the presence of:

LINDNER TERMINALS LLP

Walter Mattheis
Witness

Gregg R. Lindner
Gregg R. Lindner, Managing Partner

STATE OF WISCONSIN }
MILWAUKEE COUNTY }SS }

PERSONALLY came before me this 23rd day of FEBRUARY, 2011,

Gregg R. Lindner, Managing Partner, to me known as the person who executed the foregoing instrument and to me known to be the MANAGING PARTNER of the corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of the corporation, by its authority.



Jan R. Kerner (SEAL)
Notary Public, State of Wisconsin

My commission expires 9/29/13

FEB. 8, 2011
REVISED FEB. 21, 2011

CERTIFIED SURVEY MAP NO.

A division of Parcel 1 and Parcel 2 of Certified Survey Map No. 2536 and lands being a part of the Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 32, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

COMMON COUNCIL CERTIFICATE OF APPROVAL

I certify that this Certified Survey Map was approved under Resolution File No.

_____ adopted by the Common Council of the City of Milwaukee on _____

_____.

RONALD D. LEONHARDT, CITY CLERK

TOM BARRETT, MAYOR

CERTIFICATE OF CITY TREASURER

STATE OF WISCONSIN }
 :SS
MILWAUKEE COUNTY }

I, WAYNE F. WHITTOW, being the duly elected, qualified and acting City Treasurer of the City of Milwaukee, certify that in accordance with the records in the office of the City Treasurer of the City of Milwaukee there are no unpaid taxes or unpaid special assessments on the land included in this Certified Survey Map.

DATE

11-1-11

Wayne F. Whittow

WAYNE F. WHITTOW, CITY TREASURER



158480.csm

FEB. 8, 2011
REVISED FEB. 21, 2011

THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM
REGISTERED LAND SURVEYOR S-1939

November 15, 2011

To the Honorable Members of the
Zoning, Neighborhoods and Development Committee
City of Milwaukee

Dear Committee Members:

File No. 101340 approves a final Certified Survey Map for property located on the west side of South 6th Street and north of West College Avenue, which will create one lot and dedicate land for public purposes, in the 13th Aldermanic District.

This file approves a final Certified Survey Map that consolidates several parcels into one lot to facilitate the expansion of an existing business, and dedicates land for public street purposes.

Since the proposed final Certified Survey Map complies with City plans for the area, the City Plan Commission at its regular meeting on November 14, 2011, recommended approval of the subject file.

Sincerely,

Rocky Marcoux
Executive Secretary
City Plan Commission of Milwaukee

cc: Ald. Witkowski

NOTICES SENT TO FOR FILE : 101340

[illegible]



Legislation Details (With Text)

File #: 110862 **Version:** 1

Type: Ordinance **Status:** In Committee

File created: 10/11/2011 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: A substitute ordinance relating to the establishment of a Master Sign Program Overlay Zone known as East Pointe Marketplace, to establish signage standards for a portion of the property located at 605 East Lyon Street, on the north side of East Ogden Street and east of North Jefferson Street, in the 3rd Aldermanic District.

Sponsors: ALD. KOVAC

Indexes: SIGNS, ZONING DISTRICT 03

Attachments: Exhibit A as of 10-25-11, Proposed Zoning Change Map, Affidavit for Zoning Change, City Plan Commission Letter, PowerPoint, Hearing Notice List

| Date | Ver. | Action By | Action | Result | Tally |
|------------|------|---|----------------------|--------|-------|
| 10/11/2011 | 0 | COMMON COUNCIL | ASSIGNED TO | | |
| 10/12/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | REFERRED TO | | |
| 10/27/2011 | 1 | CITY CLERK | DRAFT SUBMITTED | | |
| 11/7/2011 | 1 | CITY CLERK | PUBLISHED | | |
| 11/15/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/15/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |
| 11/16/2011 | 0 | ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE | HEARING NOTICES SENT | | |

Number
110862
Version
SUBSTITUTE 1
Reference

Sponsor
ALD. KOVAC
Title

A substitute ordinance relating to the establishment of a Master Sign Program Overlay Zone known as East Pointe Marketplace, to establish signage standards for a portion of the property located at 605 East Lyon Street, on the north side of East Ogden Street and east of North Jefferson Street, in the 3rd Aldermanic District.

Analysis

This substitute ordinance will create uniform building signage standards for future tenants of the multi-tenant building at the commercial marketplace.

Body

The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read

as follows:

Section 295-1017.0008. The zoning map is amended to establish a Master Sign Program Overlay Zone ("MSP") for the subject area located at 605 East Lyon Street, Tax Key No. 360-1281-000.

Part 2. In accordance with the provisions of Section 295-1017(2)(a) of the Code relating to the establishment of Master Sign Program Overlay Zones, the Common Council approves the sign program, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part thereof as though fully set forth herein.

Drafter

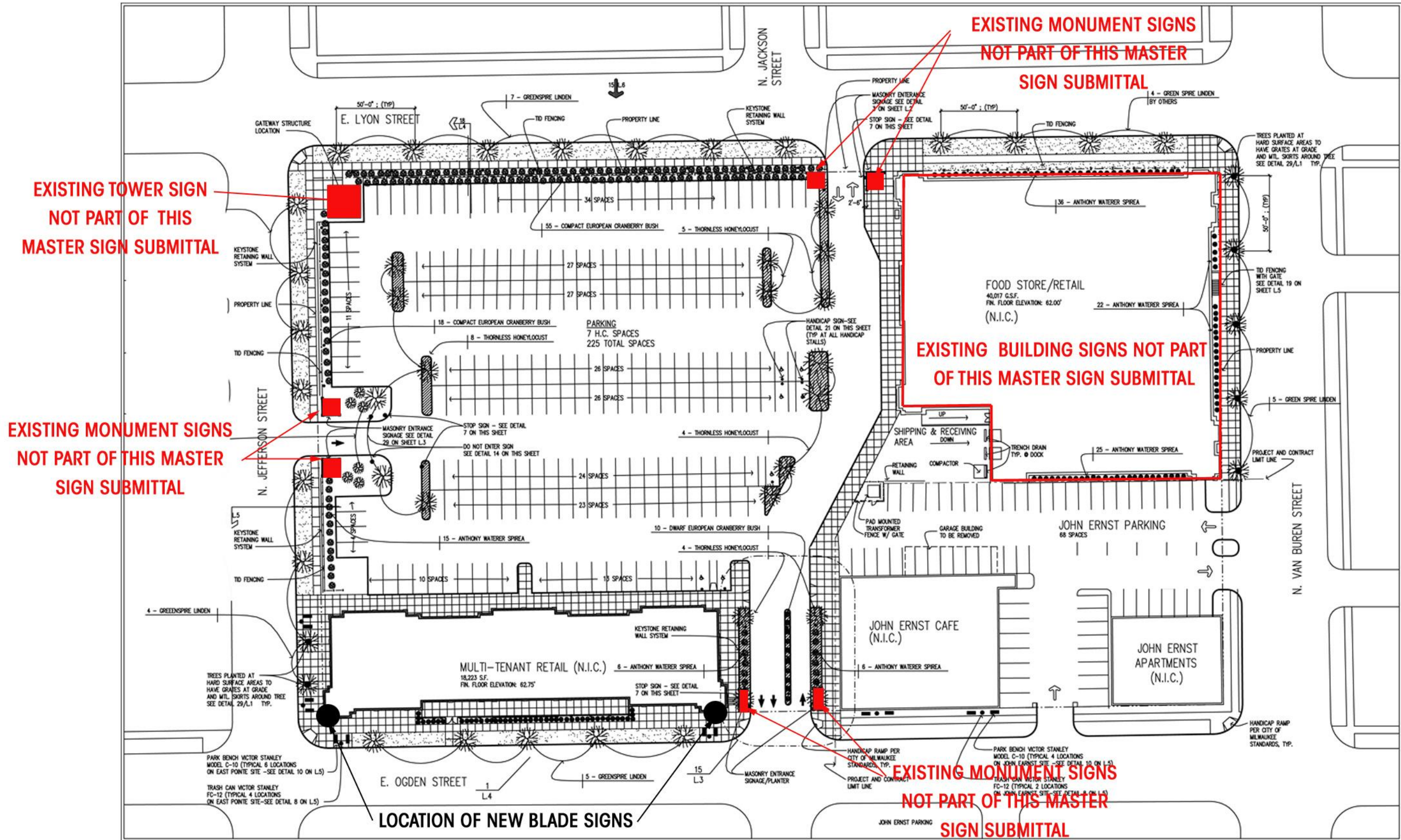
DCD:VLK:kdc

10/27/11

Master sign description for 544 E. Ogden Ave

The original one story building located on the corner of Jackson and Ogden was constructed in 1991. The purpose for establishing the Master Sign overlay was based on a technical requirement in the zoning code that the signage must be located on a flat surface. The original building was designed with a 24" high masonry recess in the brick band above the windows. Tenant signs currently are white block letters printed on a black panel which fills in the brick recess. The owner of the property is submitting a Master Sign Program to update and develop sign standards for this building. Sign standards for new tenants have evolved over the years and the small masonry recess no longer accommodates the visual flexibility required for these tenants. This overlay will allow larger wall signs to be attached to the building covering the existing brick recesses. The new signs will be attached to perforated rectangular screens centered between the existing pilasters of the building maintaining 8" of exposed existing brick around the signs. The screens will conceal any exposed electrical raceways in addition to providing a uniform appearance.

The Master Sign Program will allow only Type A signage on the building and any future tenant signage will follow the MSP. Any new signs will not pass over architectural elements or existing pilasters. Current site freestanding signs are not included in this MSP.

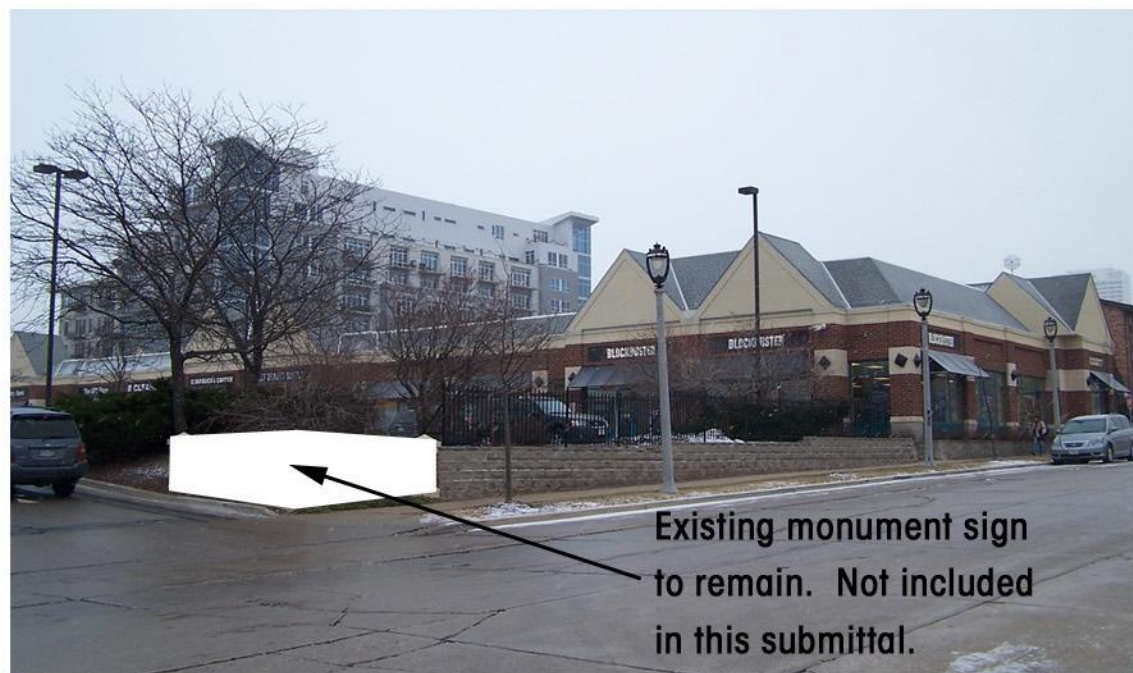




Proposed-

As tenants update their exterior signs, they will be required to follow the proposed standard

Awnings are shown on this Master Plan but they are not part of this submittal. Awnings are to comply with current landlord requirements and City of Milwaukee Ordinances.



Existing

All new tenant Signs will be "Type-A". New screens will not cover existing masonry pilasters.



Existing

North Elevation



Proposed-

As tenants update their exterior signs, they will be required to follow the proposed standard.

All screens to be either 3'-4" or 2'-0" high (on the South/Ogden side of building).

8" of brick to remain exposed on all sides of screens (See the noted areas)

Screens shall not cross over brick pilasters.

All new tenant Signs will be "Type-A".

New screens will not cover existing masonry pilasters.

View from Ogden And Jefferson

Exterior Views



Existing



View From Ogden

Letter/sign color to be tenants choice, however color is subject to landlord review and or approval.

Proposed-
As tenants update their exterior signs, they will be required to follow the proposed standard

Signs to be Type "A or B" as defined by Milwaukee City Ordinance. Type "B" signs can only be mounted to screens that are less than 50 square Feet.



Existing Ogden View



View From Jefferson

Exterior Views



Awnings are shown on this Master Plan but they are not part of this submittal.

Signs will be centered between the brick piers with 8" of brick on all sides.

All new tenant Signs will be "Type-A". New screens will not cover existing masonry pilasters.



Signs will be centered within the brick band between piers. 8" around the sign typical. The spacing between piers varies around the building.

Image shows the existing sign band condition. The proposal removes this band, and lowers the attachment point of the awning to the building. The new signs are attached as indicated above.

2" x 1" x 1/8" Aluminum channel frame



Rectangle Perforations
Hole Size: 3/8" X 2" Rectangular Slot
Hole Pattern: 3/4" & 2-3/8" CC Inline
Percentage of Open Area: 42.0%
Weight per Square Foot: .56 lbs



Proposed Tenant Signs



2" x 1" x 1/8" Aluminum
channel frame



Rectangle Perforations

Hole Size: 3/8" X 2" Rectangular Slot
Hole Pattern: 3/4" & 2-3/8" CC Inline
Percentage of Open Area: 42.0%
Weight per Square Foot: .56 lbs

**Dark insert for
the double sided
sign.**



Image shows the existing corner condition.

All new tenant Signs will be "Type-A".

New screens will not cover existing masonry pilasters.



Two total blade signs. One at the Southeast corner
and one at the Southwest corner

Proposed Blade Sign

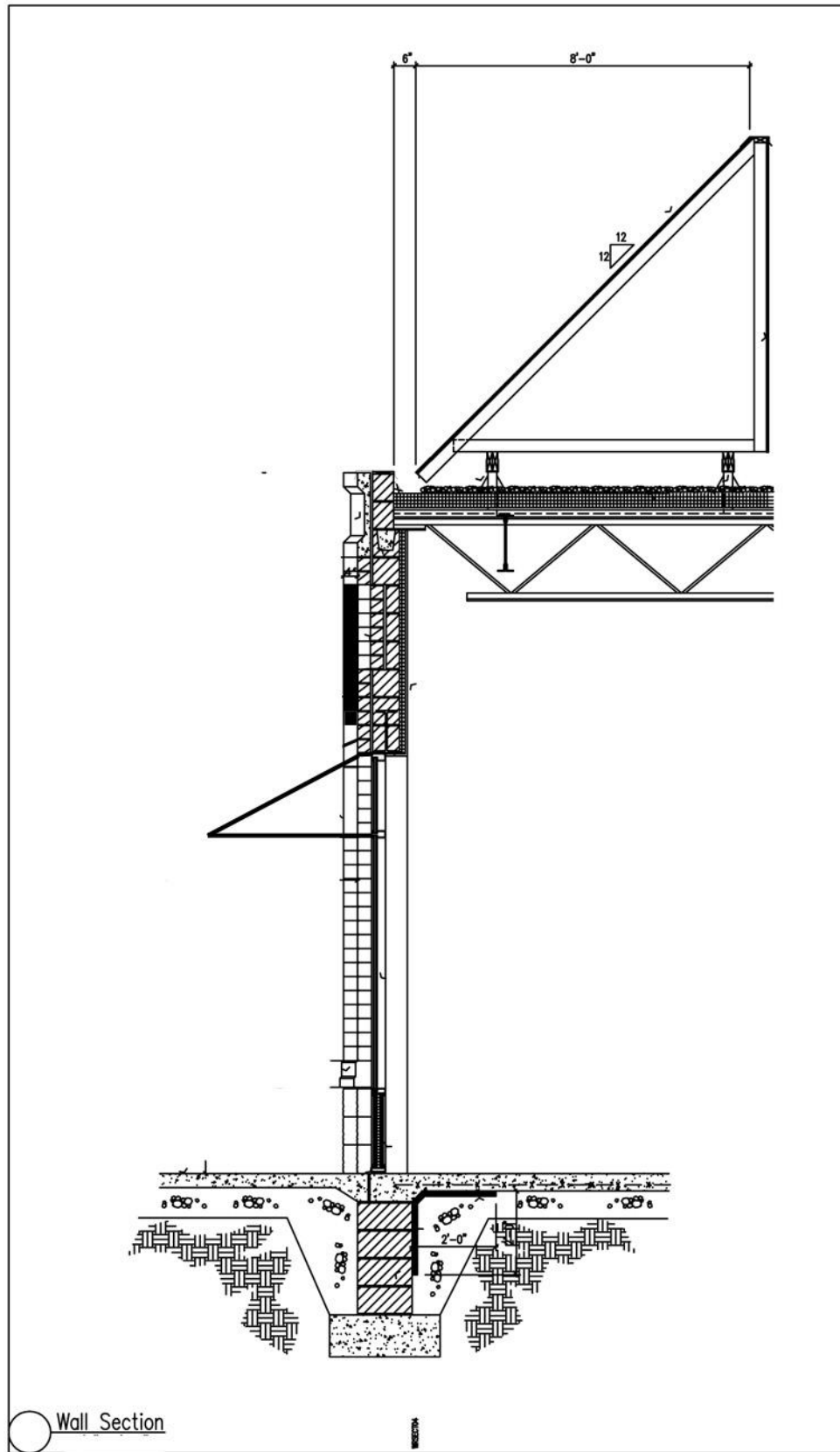


eppstein uhen : architects

September 27, 2011

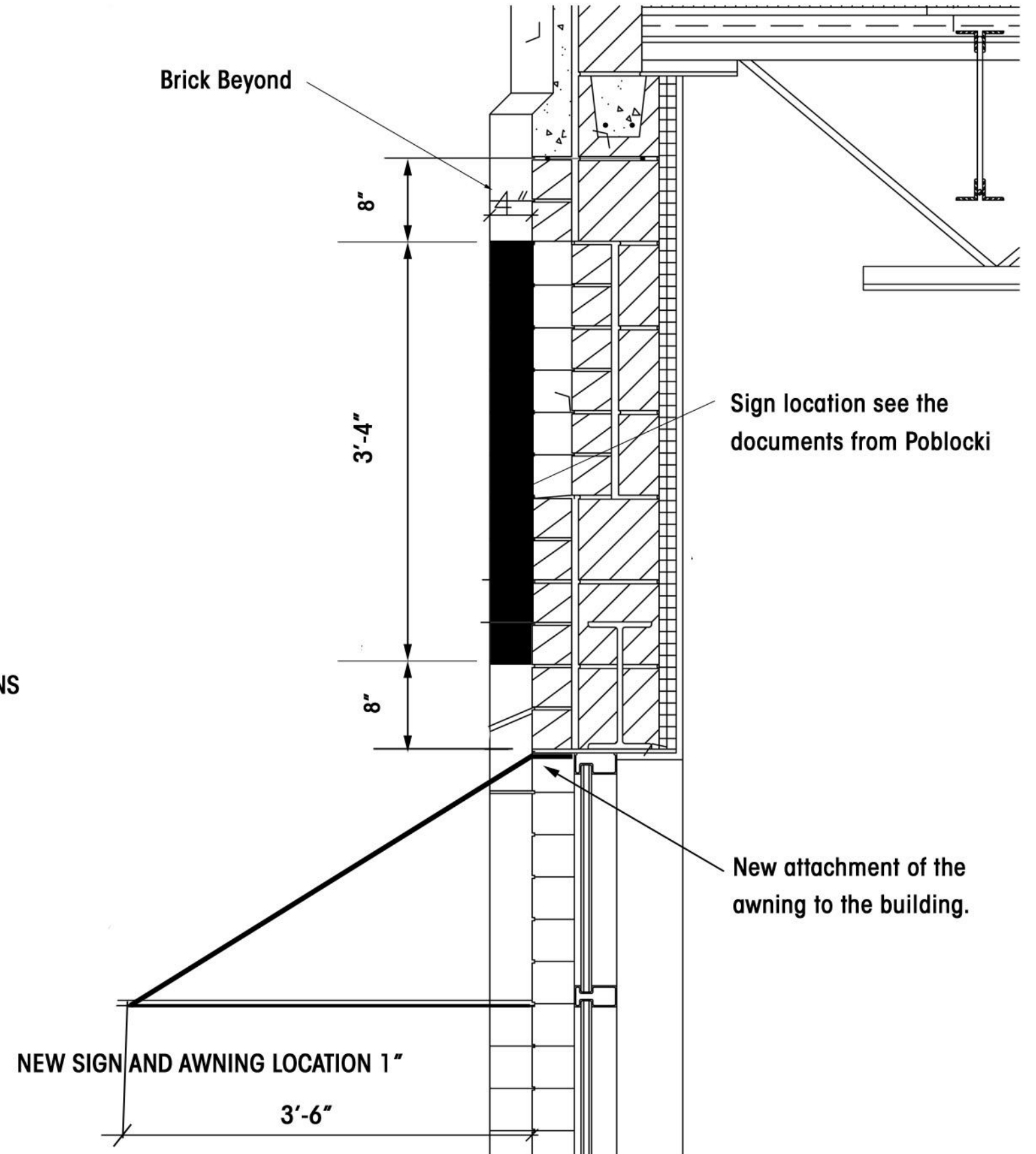
711012-01

544 E. OGDEN AVENUE




EXISTING WALL SECTION WITH THE NEW AWNING AND SIGN 1/4"

VERIFY ALL EXISTING
BUILDING DIMENSIONS
IN THE FIELD







South Elevation

FN 110862
Establish Master Sign Overlay
November 2011

 Proposed Zoning Change

Residential Districts

-  Single Family (RS1-6)
-  Two-Family (RT1-4)
-  Multi-Family (RM1-7)
-  Residential and Office (RO1-2)

Commercial Districts

-  Neighborhood Shopping (NS1-2)
-  Local Business (LB1-2)
-  Commercial Service (CS)
-  Regional Business (RB1-2)
-  Central Business (C9A-C9H)

Industrial Districts

-  Industrial - Office (IO)
-  Industrial - Light (IL1-2)
-  Industrial - Mixed (IM)
-  Industrial - Heavy (IH)

Special Districts

-  Parks (PK)
-  Institutional (TL)
-  Planned Development (PD, DPD)
-  Redevelopment (RED)



0 110 220 440 Feet

Data source: Department of City Development 2011



Address of parcel(s):

605 E. Lyon St. - master address
6544 E. Ogden - address of
subject building)

Affidavit for Zoning Change

1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES ☐ NO ☒
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES ☐ NO ☒
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES ☐ NO ☒
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES ☐ NO ☒
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES ☐ NO ☒

2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.

Dated at Milwaukee, Wisconsin, this 5th day of OCTOBER, 2011.

FIRST POINTE MARKETPLACE LIMITED PARTNERSHIP
BY: EP MARKETPLACE LLC, ITS GENERAL PARTNER
BY: MANDEL GROUP, INC., ITS MEMBER
BY: BARRY MANDEL, ITS PRESIDENT

B. R. M. O. O.
Petitioner (signature)
BARRY MANDEL
(print name, relationship to project)

Subscribed and sworn to before me
This 5th day of OCTOBER, 2011
Branda L. Krueger
Notary Public, State of Wisconsin
My commission expires: 9/8/13

Office Use Only: File no. 110862

November 15, 2011

To the Honorable Members of the
Zoning, Neighborhoods and Development Committee
City of Milwaukee

Dear Committee Members:

File No. 110862 relates to the establishment of a Master Sign Program (MSP) Overlay District known as East Pointe Marketplace, to establish signage standards for a portion of the property located at 605 East Lyon Street, on the north side of East Ogden Street and east of North Jefferson Street, in the 3rd Aldermanic District.

This file will create uniform building signage standards for future tenants of the multi-tenant building at the commercial marketplace. This overlay will allow larger, Type A wall signs to be attached to the building covering the existing brick recesses. The new signs will be attached to perforated rectangular screens centered between the existing pilasters of the building maintaining 8" of exposed existing brick around the signs. The screens will conceal any exposed electrical raceways in addition to providing a uniform appearance. Any new signs will not pass over architectural elements or existing pilasters. Current site freestanding signs and awnings are not included in this MSP.

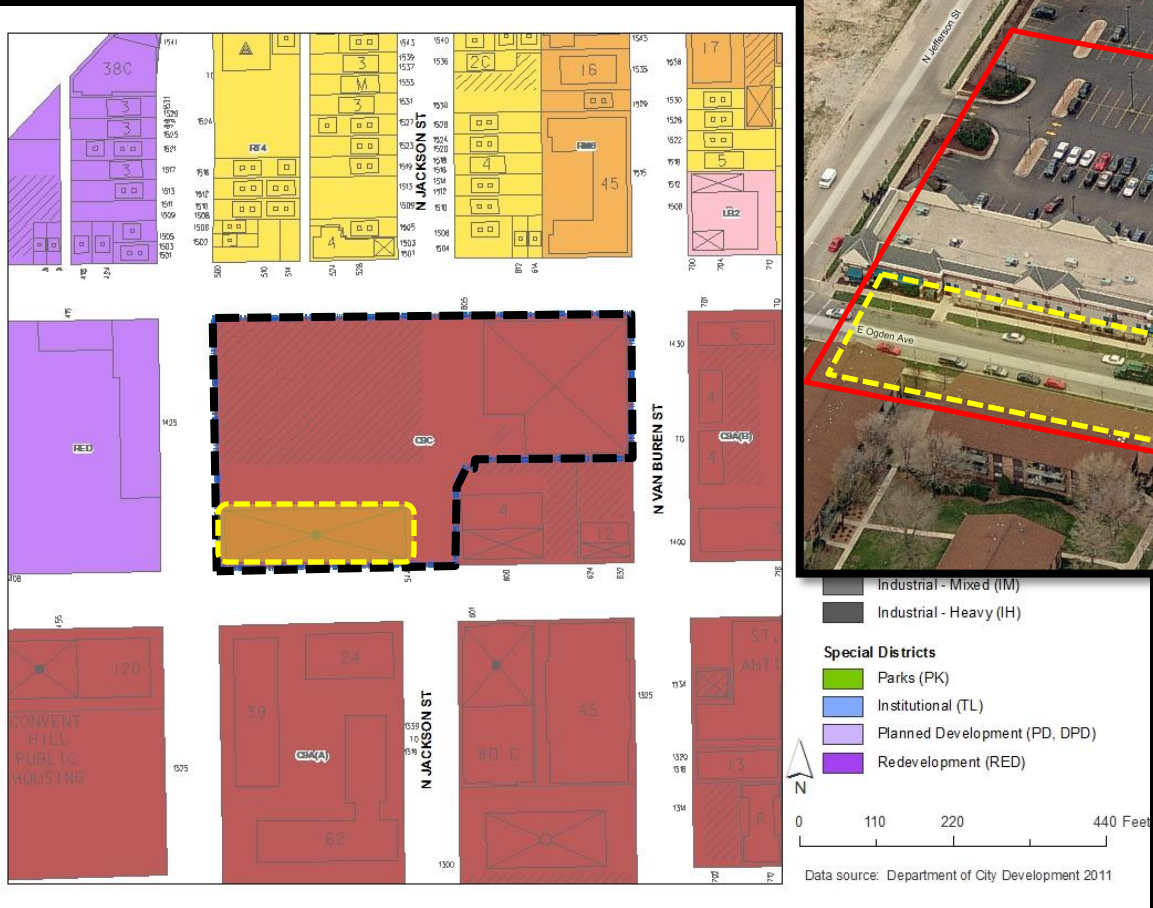
A public hearing was held on November 14, 2011, at which time no one objected to the proposal. Since the proposal is consistent with the Downtown Plan and will allow East Pointe Marketplace to attract tenants with these updated signage standards, the City Plan Commission, at its regular meeting on November 14, 2011, recommended approval of the subject file.

Sincerely,

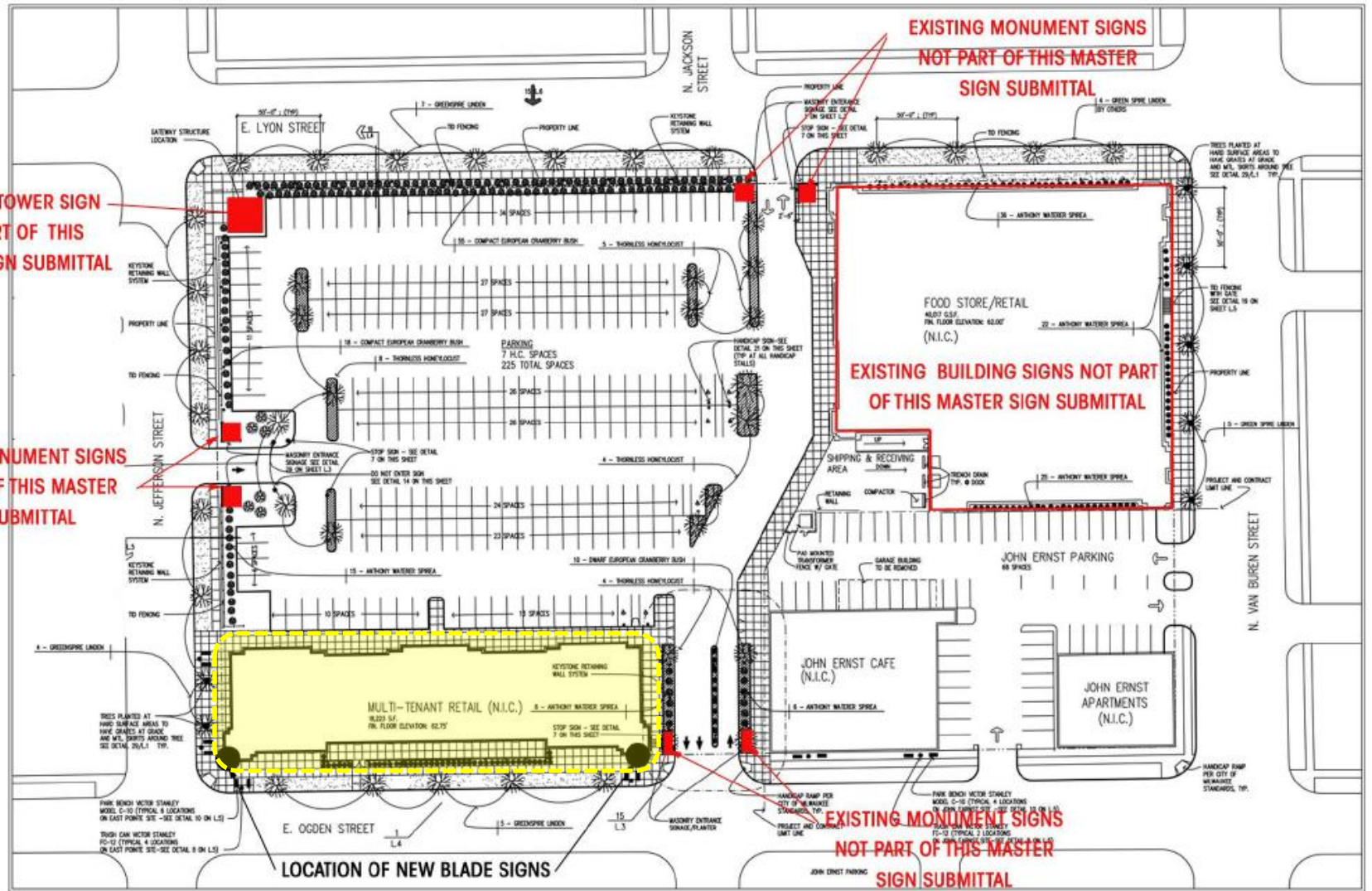
Rocky Marcoux
Executive Secretary
City Plan Commission of Milwaukee

cc: Ald. Nik Kovac

File No. 110862. Substitute ordinance relating to the establishment of a Master Sign Program Overlay District known as East Pointe Marketplace, to establish signage standards for a portion of the property located at 605 East Lyon Street, on the north side of East Ogden Street and east of North Jefferson Street, in the 3rd Aldermanic District. This ordinance will create uniform building signage standards for future tenants of the multi-tenant building at the commercial marketplace.



EXISTING MONUMENT SIGNS
NOT PART OF THIS MASTER
SIGN SUBMITTAL



Master Sign Program North Elevation



Proposed-
As tenants update their exterior signs, they will be required to follow the proposed standard

Awnings are shown on this Master Plan but they are not part of this submittal. Awnings are to comply with current landlord requirements and City of Milwaukee Ordinances.



Existing

Existing monument sign to remain. Not included in this submittal.

All new tenant Signs will be "Type-A". New screens will not cover existing masonry pilasters.



Existing

Master Sign Program Exterior Views



Proposed-
As tenants update their exterior signs, they will be required to follow the proposed standard.

All screens to be either 3'-4" or 2'-0" high (on the South/Ogden side of building).
8" of brick to remain exposed on all sides of screens (See the noted areas)
Screens shall not cross over brick pilasters.

All new tenant Signs will be "Type-A".
New screens will not cover existing masonry pilasters.

View from Ogden And Jefferson



Existing

Master Sign Program Exterior Views



View From Ogden

Letter/sign color to be tenants choice, however color is subject to landlord review and or approval.

Proposed-
As tenants update their exterior signs, they will be required to follow the proposed standard

Signs to be Type "A or B" as defined by Milwaukee City Ordinance. Type "B" signs can only be mounted to screens that are less than 50 square Feet.



Existing Ogden View



View From Jefferson

Master Sign Program *Proposed* Tennant Signs



Awnings are shown on this Master Plan but they are not part of this submittal.

Signs will be centered between the brick piers with 8" of brick on all sides.

All new tenant Signs will be "Type-A". New screens will not cover existing masonry pilasters.



Signs will be centered within the brick band between piers. 8" around the sign typical. The spacing between piers varies around the building.

Image shows the existing sign band condition. The proposal removes this band, and lowers the attachment point of the awning to the building. The new signs are attached as indicated above.

2" x 1" x 1/8" Aluminum channel frame



Rectangle Perforations
Hole Size: 3/16" X 2" Rectangular Slot
Hole Pattern: 1/2" & 2-3/16" CC In-line
Percentage of Open Area: 42.0%
Weight per Square Foot: 56 lbs



Master Sign Program *Proposed Blade Sign*

2" x 1" x 1/8" Aluminum
channel frame



Rectangle Perforations
Hole Size: 3/8" X 2" Rectangular Slot
Hole Pattern: 1/2" & 2-3/8" OC inline
Percentage of Open Area: 42.0%
Weight per Square Foot: 58 lbs
**Dark insert for
the double sided
sign.**



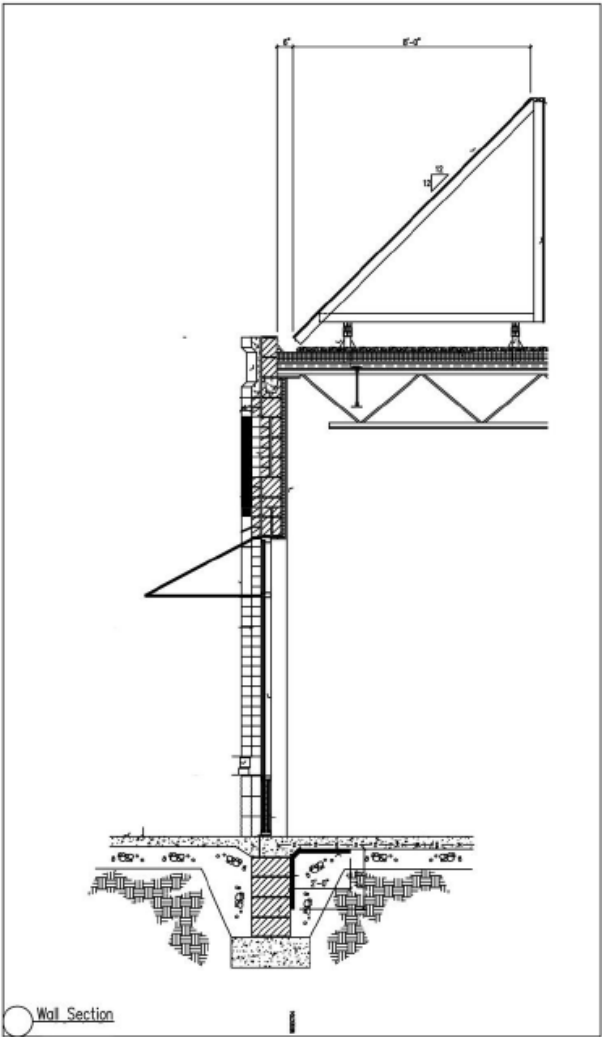
Image shows the existing corner condition.

All new tenant Signs will be "Type-A".
New screens will not cover existing masonry pilasters.



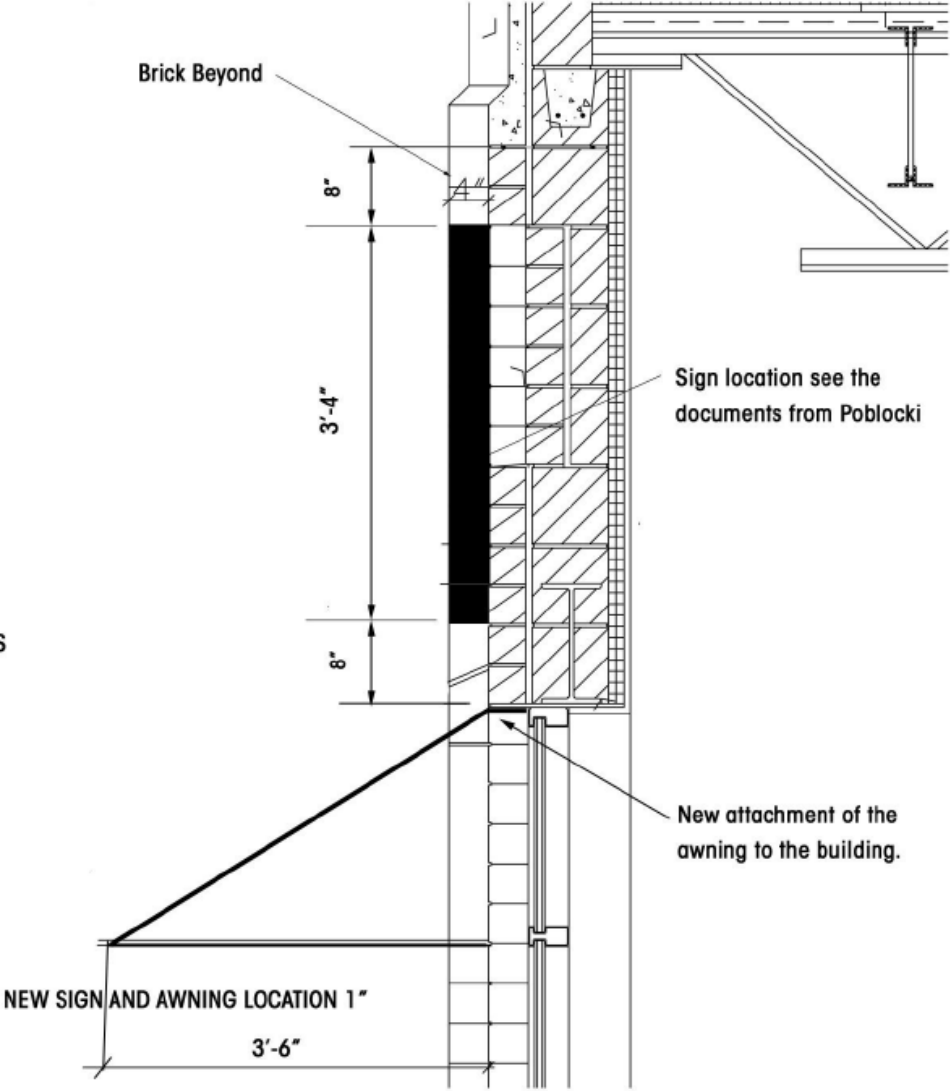
Two total blade signs. One at the Southeast corner
and one at the Southwest corner

Master Sign Program South Elevation Details



EXISTING WALL SECTION WITH THE NEW AWNING AND SIGN 1/4"

VERIFY ALL EXISTING
BUILDING DIMENSIONS
IN THE FIELD



NOTICES SENT TO FOR FILE : 110862

[illegible]



MICHAEL L SANFELIPPO
646 S 2ND ST
MILWAUKEE WI 53204

OGDEN 632 LLC, C/O LIGHTHOUSE DEV
2140 N PROSPECT AV
MILWAUKEE WI 53202

PETER J WILDER, TERESA ZUBA
1515 N VAN BUREN ST UNIT 511
MILWAUKEE WI 53202

MICHAEL L SANFELIPPO
601 E OGDEN AV UNIT 1005
MILWAUKEE WI 53202

PAMELA C HAHLEBECK
1515 N VAN BUREN ST
MILWAUKEE WI 53202

PHYLLIS BURRESCHIA
1502 N JEFFERSON ST
MILWAUKEE WI 53202

MICHAEL P DILLON
1515 N VAN BUREN ST #501
MILWAUKEE WI 53202

PARK EAST SQUARE LLC
C/O LAURENCE DEVRIES
900 W JACKSON STE 7E
CHICAGO IL 60605

PRIYA SHETTY
320 W 38TH ST APT 1726
NEW YORK NY 10018

MICHAEL T SNEATHERN
1515 N VAN BUREN ST UNIT 507
MILWAUKEE WI 53202

PAROON CHADHA
GAURI KANWAR
1325 N VAN BUREN ST #201
MILWAUKEE WI 53202

QUENTIN M DOLL
601 E OGDEN AV, #602
MILWAUKEE WI 53202

MICHELLE CAMERON
601 E OGDEN AV, #306
MILWAUKEE WI 53202

PASQUALE P MIGLIACCIO
TATIANA MIGLIACCIO
1515 N VAN BUREN
MILWAUKEE WI 53202

RACHEL KSOBIECH
1325 N VAN BUREN ST, #302
MILWAUKEE WI 53202

MICHELLE M JONES
601 E OGDEN AV #408
MILWAUKEE WI 53202

PATRICK C PAOLANTONIO
1515 N VAN BUREN ST #206
MILWAUKEE WI 53202

RACHEL RUTH WEILER
601 E OGDEN AVE UNIT 308
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CONVENT HILL LLC
455 E OGDEN AVE
MILWAUKEE WI 53202

DEBRA J WHITCOMB
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ERICK S SCOTT
REBECCA A JANUTIS
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CONVENT HILL RETAIL LLC
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MILWAUKEE WI 53202

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455 E OGDEN AVE
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413 N 2ND ST, STE 100
MILWAUKEE WI 53203

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