



Historic Preservation Commission Meeting July 14, 2015

- Good Afternoon!
Please sign in at the door
- If you wish to speak on an issue or have your opinion noted by the commission, please fill out a form at the door and hand it to us

CERTIFICATE OF
APPROPRIATENESS FOR THE
RESTORATION/REHABILITATION
AND CONSTRUCTION OF REAR,
CONCRETE BLOCK STAIR TOWER
AT THE GRAIN EXCHANGE /
MACKIE BUILDING
AY 225 EAST MICHIGAN STREET

6 30047 Chamber of Commerce,
Milwaukee, Wis.



Oct. 14. 06

Leave tonight for Manitowish
Wisc. Sutton

Milwaukee Wisc.



Michigan St

Hilton Garden Inn

1632
1832
194

10
43
94





CLEANING





CLOCK TOWER



Clock faces will be
restored/replaced and slate
roof will be repaired

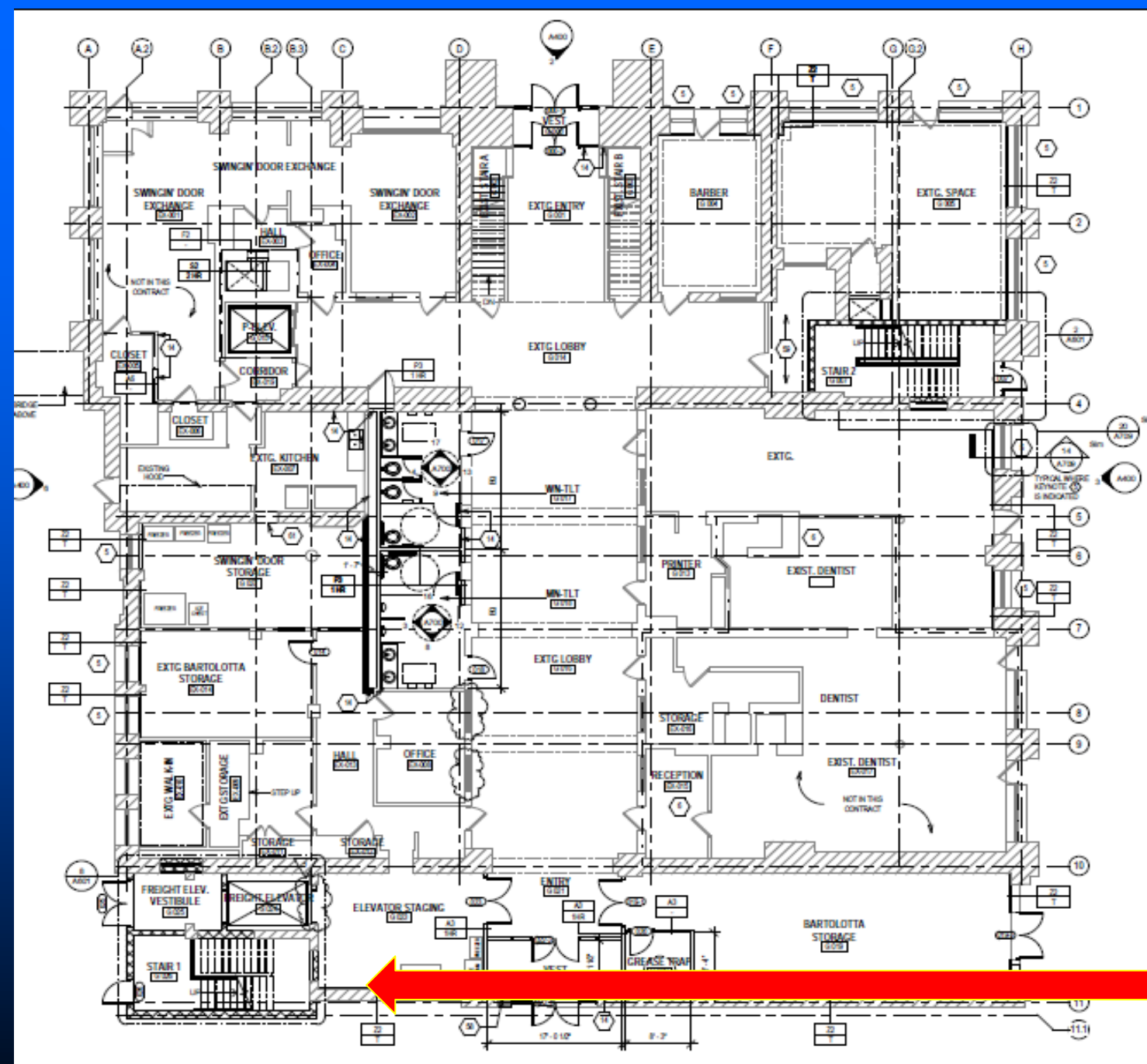


REAR STAIR TOWER

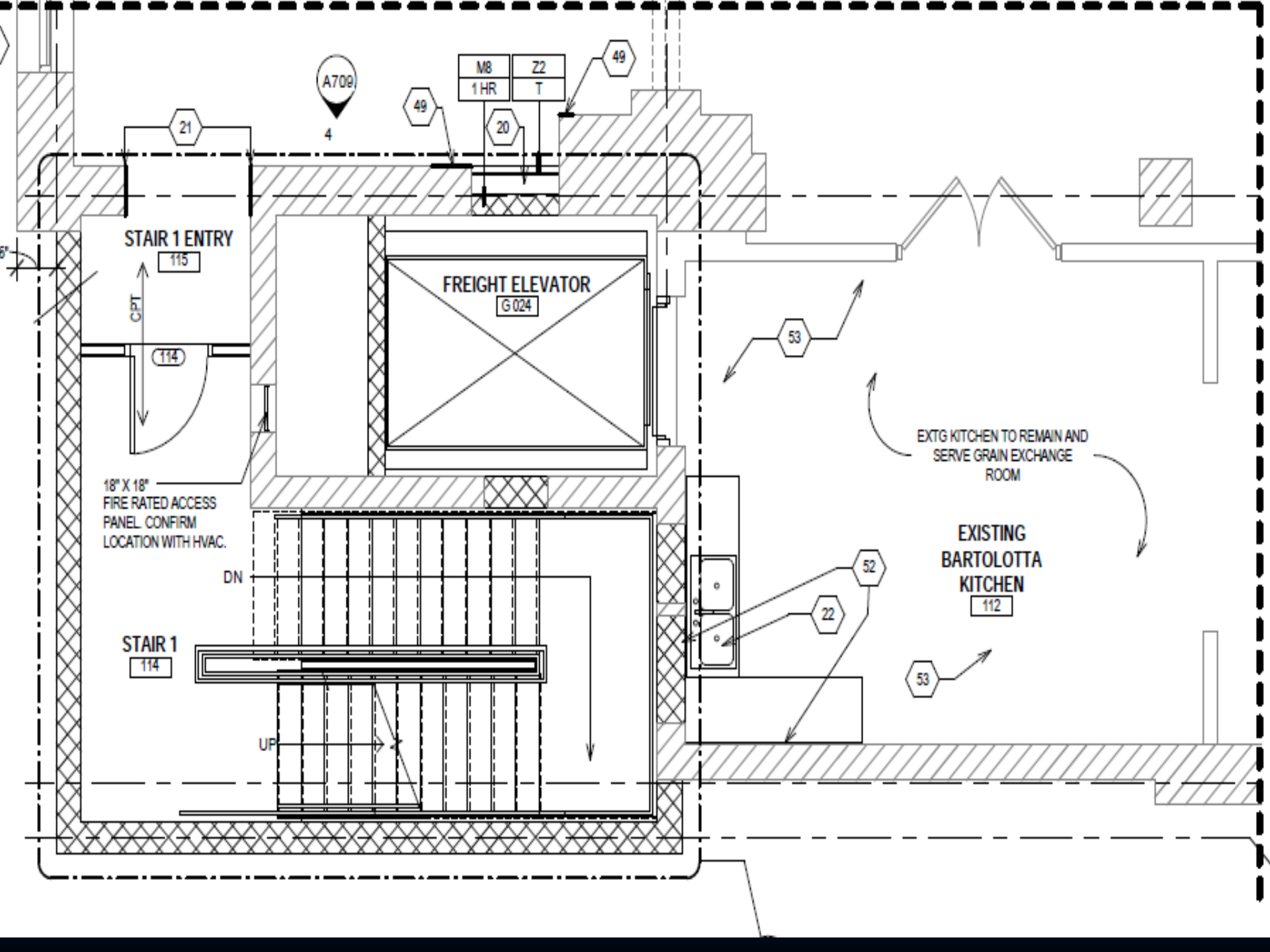


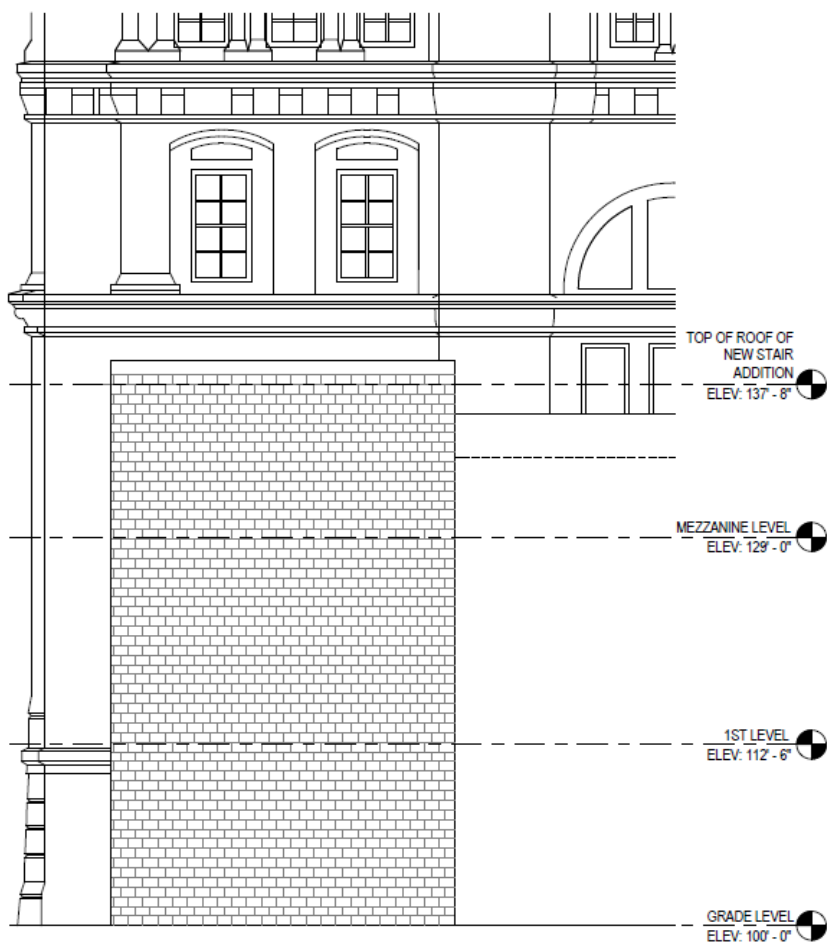
Blank wall
was party to
another
building
that burned
down





Plan of the stair tower





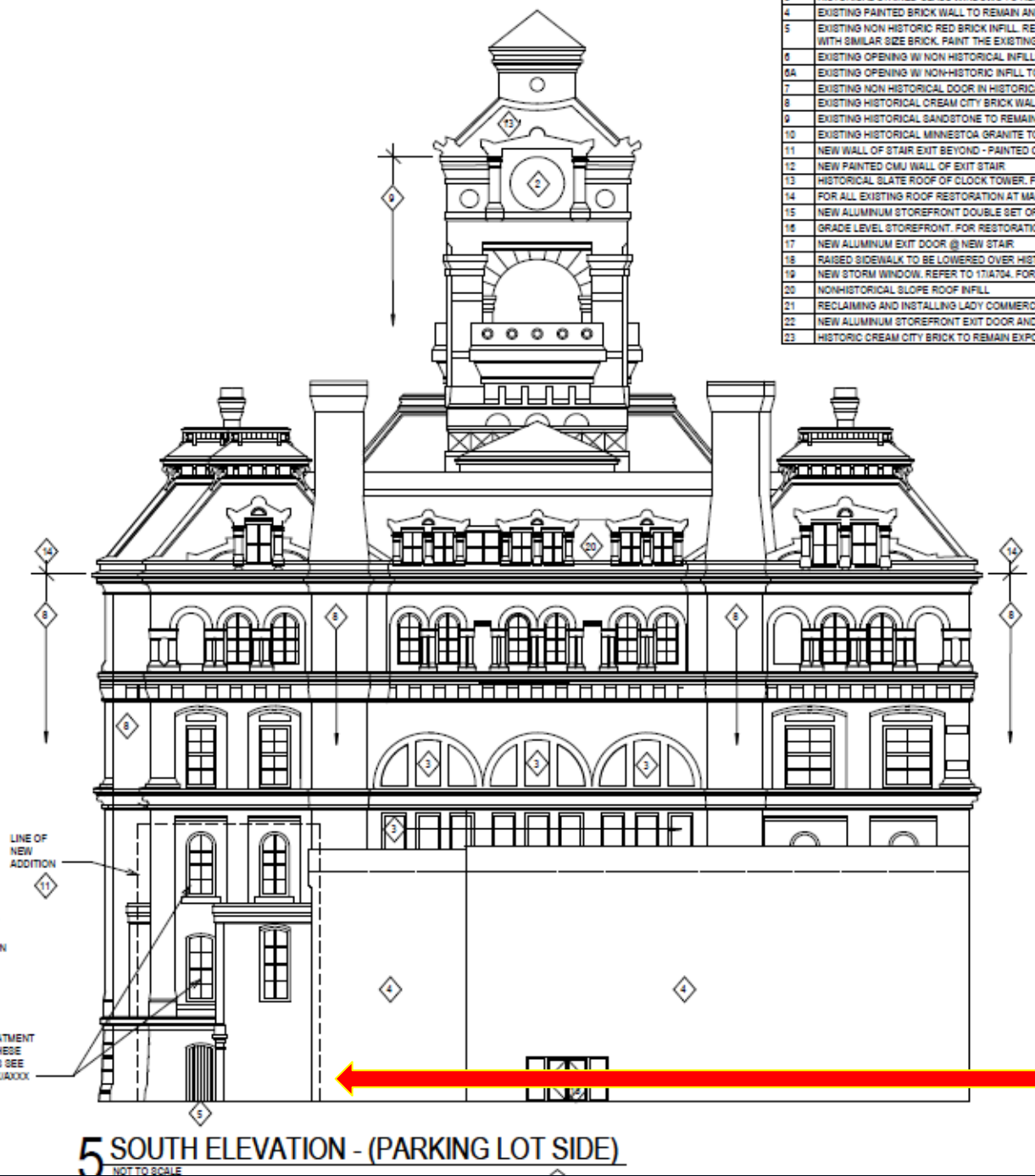
7 STAIRWELL ELEVATION DETAIL SOUTH





Location of
stair tower
addition

6 WEST ELEVATION - (ALLEY SIDE)
NOT TO SCALE



3	HISTORICAL STAINED GLASS WINDOWS TO REMAIN
4	EXISTING PAINTED BRICK WALL TO REMAIN AND
5	EXISTING NON HISTORIC RED BRICK INFILL. REPAIR WITH SIMILAR SIZE BRICK. PAINT THE EXISTING
6	EXISTING OPENING W/ NON HISTORICAL INFILL
6A	EXISTING OPENING W/ NON HISTORICAL INFILL TO
7	EXISTING NON HISTORICAL DOOR IN HISTORICAL
8	EXISTING HISTORICAL CREAM CITY BRICK WALL
9	EXISTING HISTORICAL SANDSTONE TO REMAIN
10	EXISTING HISTORICAL MINNESOTA GRANITE TO
11	NEW WALL OF STAIR EXIT BEYOND - PAINTED C
12	NEW PAINTED CMU WALL OF EXIT STAIR
13	HISTORICAL SLATE ROOF OF CLOCK TOWER. FOR
14	FOR ALL EXISTING ROOF RESTORATION AT MAIN
15	NEW ALUMINUM STOREFRONT DOUBLE SET OF
16	GRADE LEVEL STOREFRONT. FOR RESTORATION
17	NEW ALUMINUM EXIT DOOR @ NEW STAIR
18	RAISED SIDEWALK TO BE LOWERED OVER HIST
19	NEW STORM WINDOW. REFER TO 11A104. FOR
20	NON-HISTORICAL SLOPE ROOF INFILL
21	RECLAIMING AND INSTALLING LADY COMMERCE
22	NEW ALUMINUM STOREFRONT EXIT DOOR AND
23	HISTORIC CREAM CITY BRICK TO REMAIN EXPO

Dashed line shows where new stair tower will be located. Three windows will be converted to doors

MEN

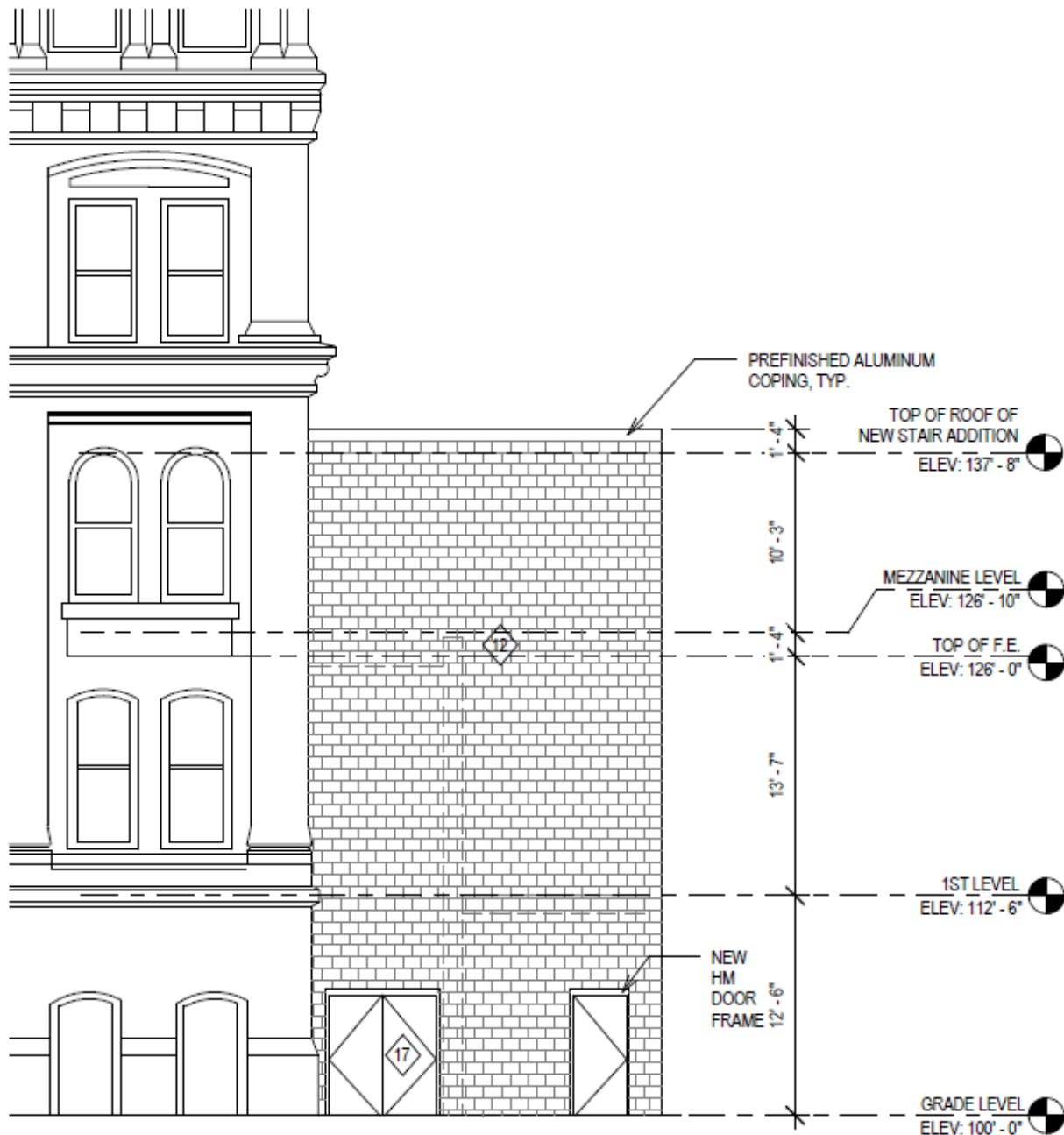




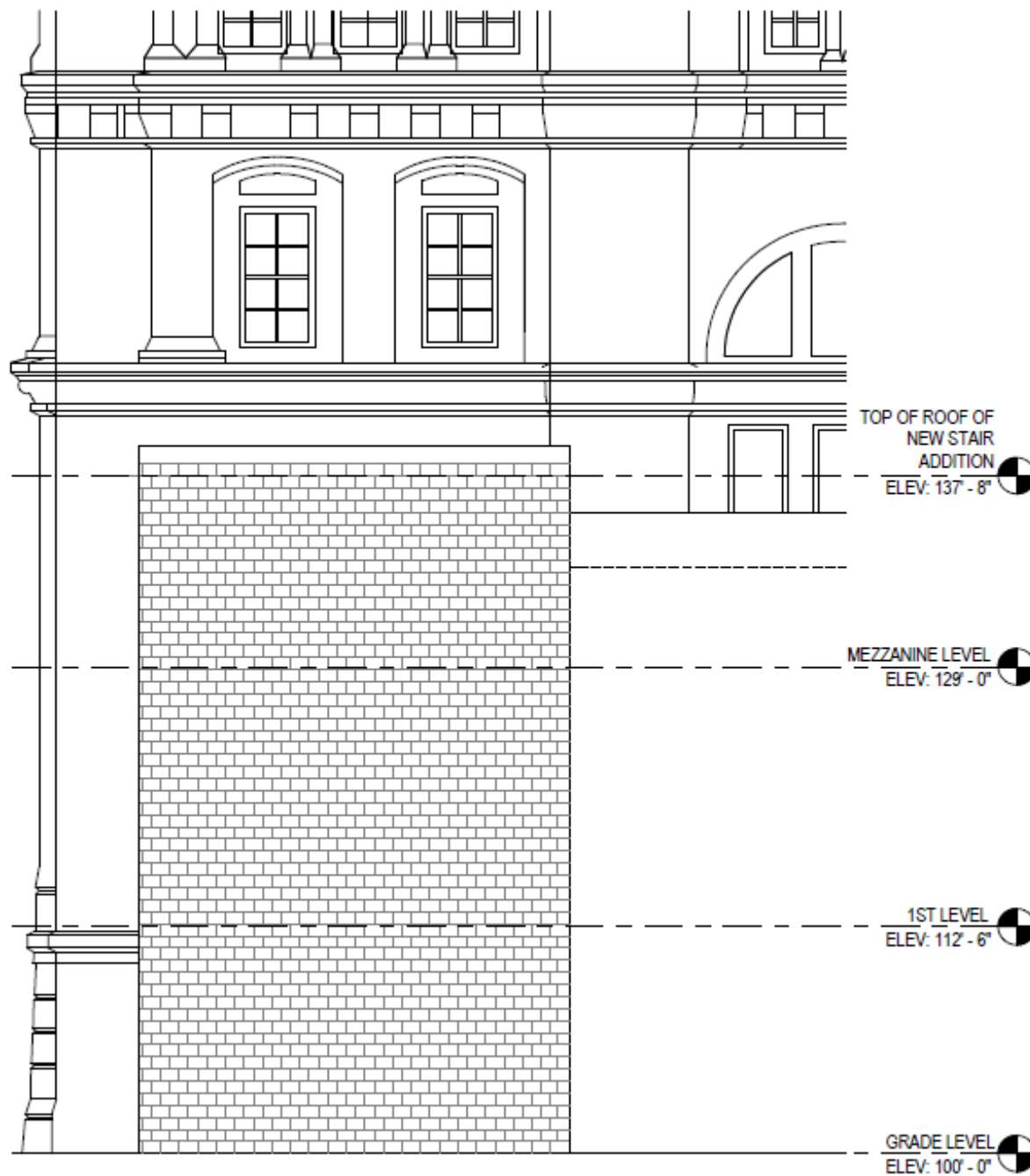


Photo No. 60: Level 2 View south gridline 10 window opening and sill cut down to access stair exit

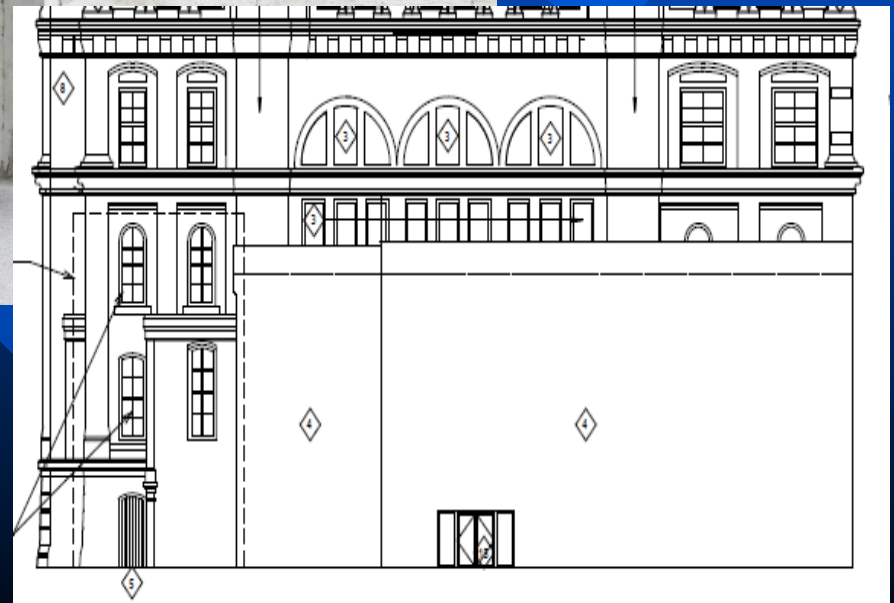




STAIRWELL ELEVATION DETAIL WEST

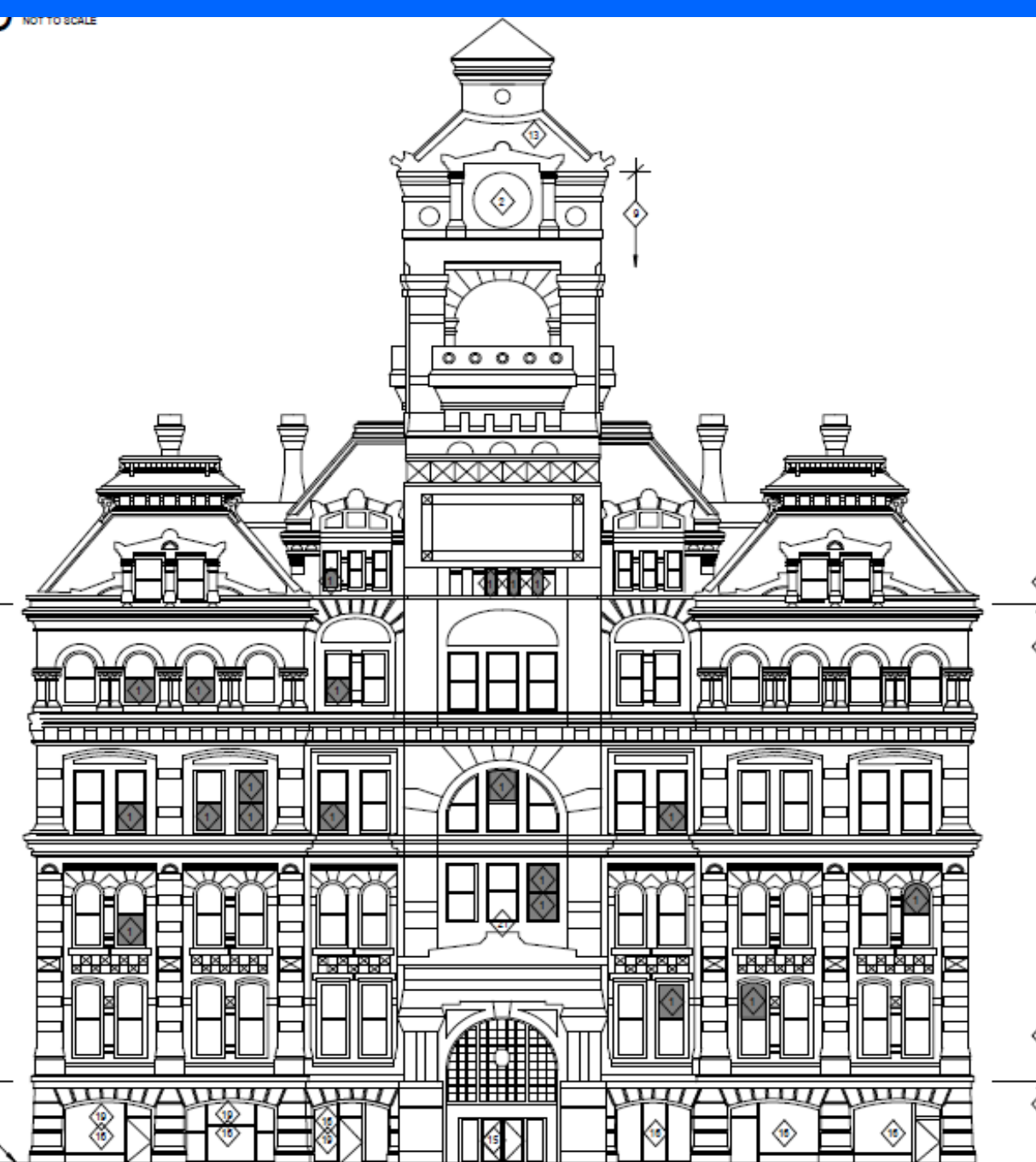


7 STAIRWELL ELEVATION DETAIL SOUTH





WINDOWS



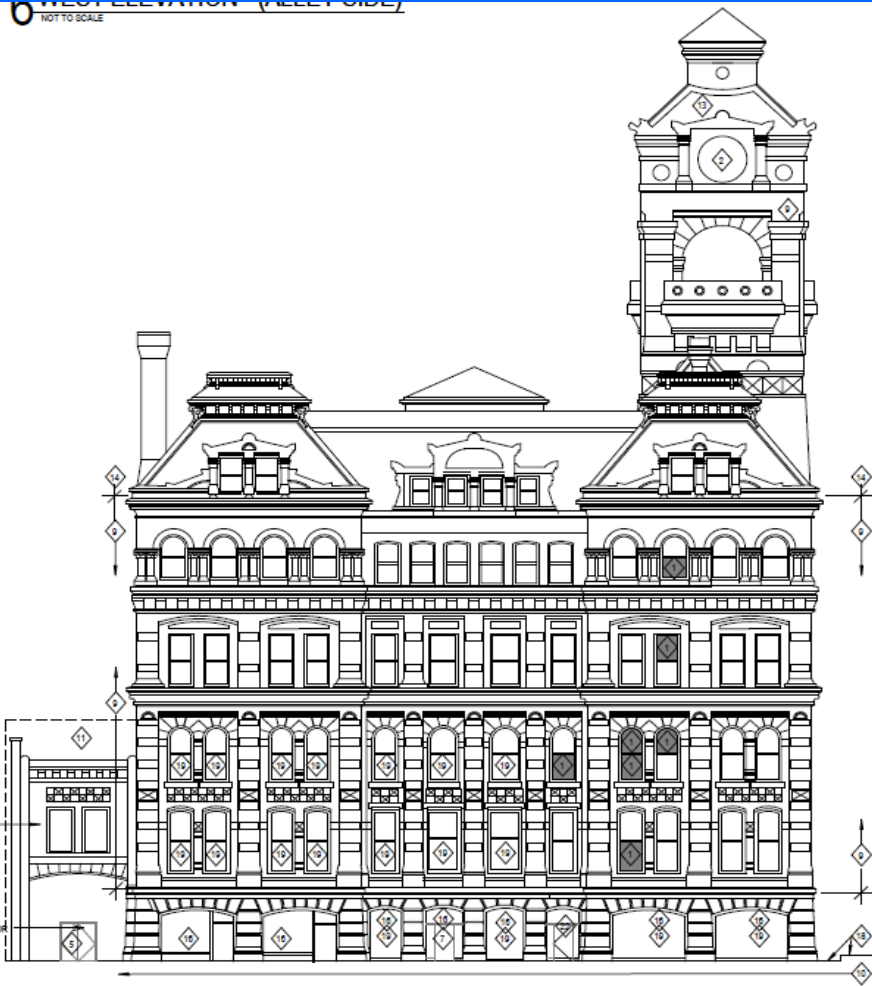
2 NORTH ELEVATION - (MICHIGAN STREET)



2 EAST ELEVATION - (BROADWAY STREET)

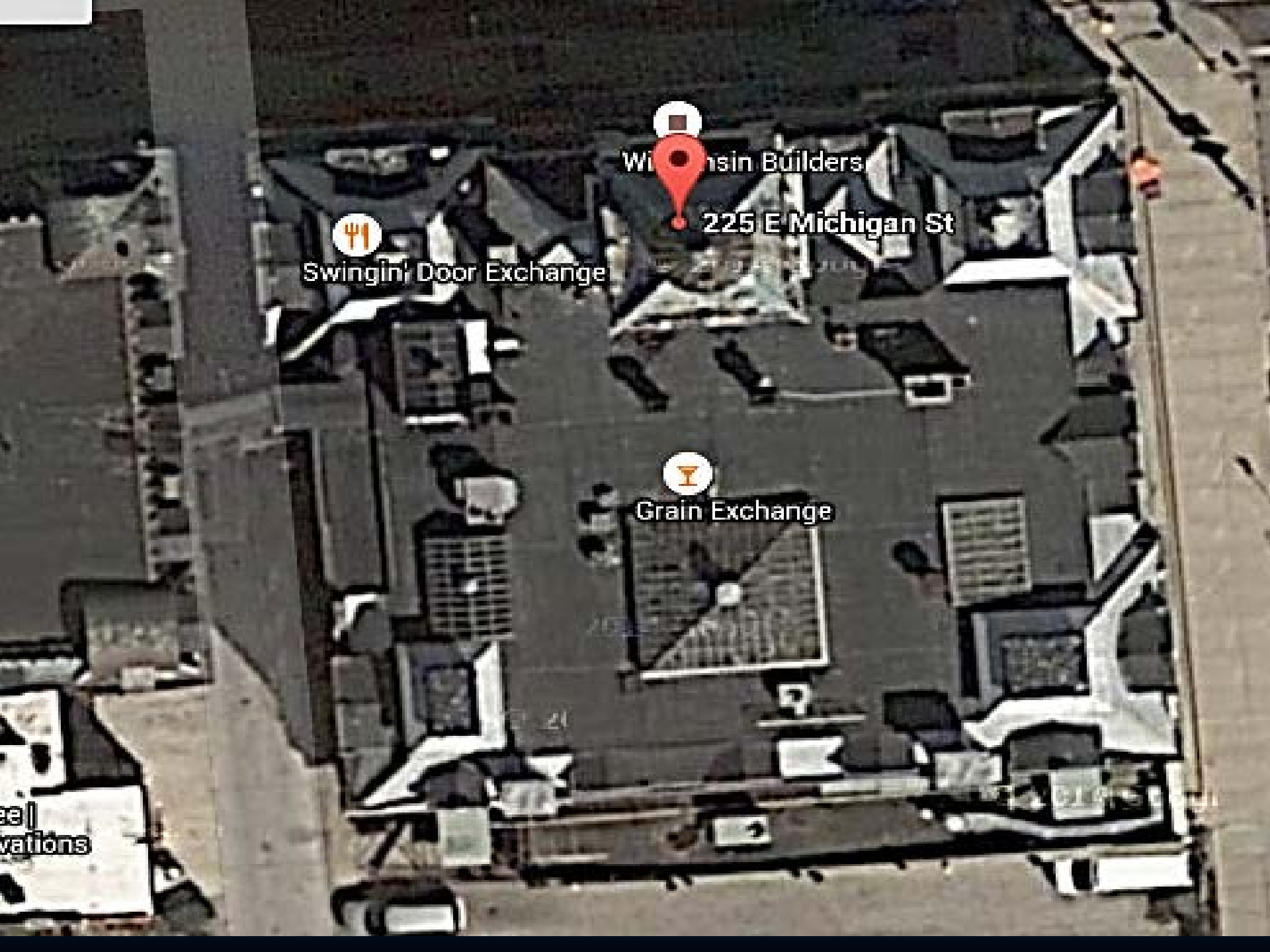






2 EAST ELEVATION - (BROADWAY STREET)





W...sin Builders

225 E Michigan St

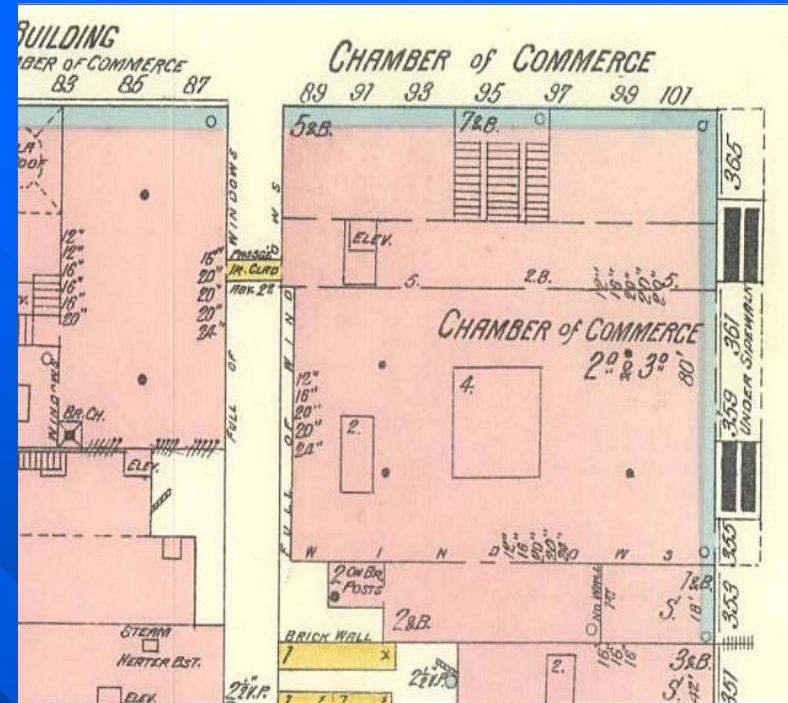
Swingin' Door Exchange

Grain Exchange

ee |
vations



BRIDGES



SANBORN
1894





STATUE OF
COMMERCE TO BE
REMOVED FROM
JACKSON PARK
AND REINSTALLED
AT THE BUILDING



1223
MACKIE BUILDING
242

ONE WAY
PARKING
NO STOPPING
NO STANDING
NO PARKING
NO STOPPING
NO STANDING
NO PARKING

Suburban

CLOSED

NO PARKING

Certificate of
Appropriateness for the
removal of a slate roof and
installation of an asphalt roof
at 2411 North Sherman
Boulevard in the Sherman
Boulevard Historic District













**Color Availability For:
Michigan City, IN**

1st column chips:

Barkwood

Charcoal

Hickory

Weathered Wood

2nd column chips:

Pewter Gray

Shakewood

Slate

Weathered Wood

Certificate of Appropriateness for
the exterior stabilization and
renovation of the former Albrecht
Hall and Rinker Hall now at the
former Concordia College
Complex



Photo 1 – West elevation of Library



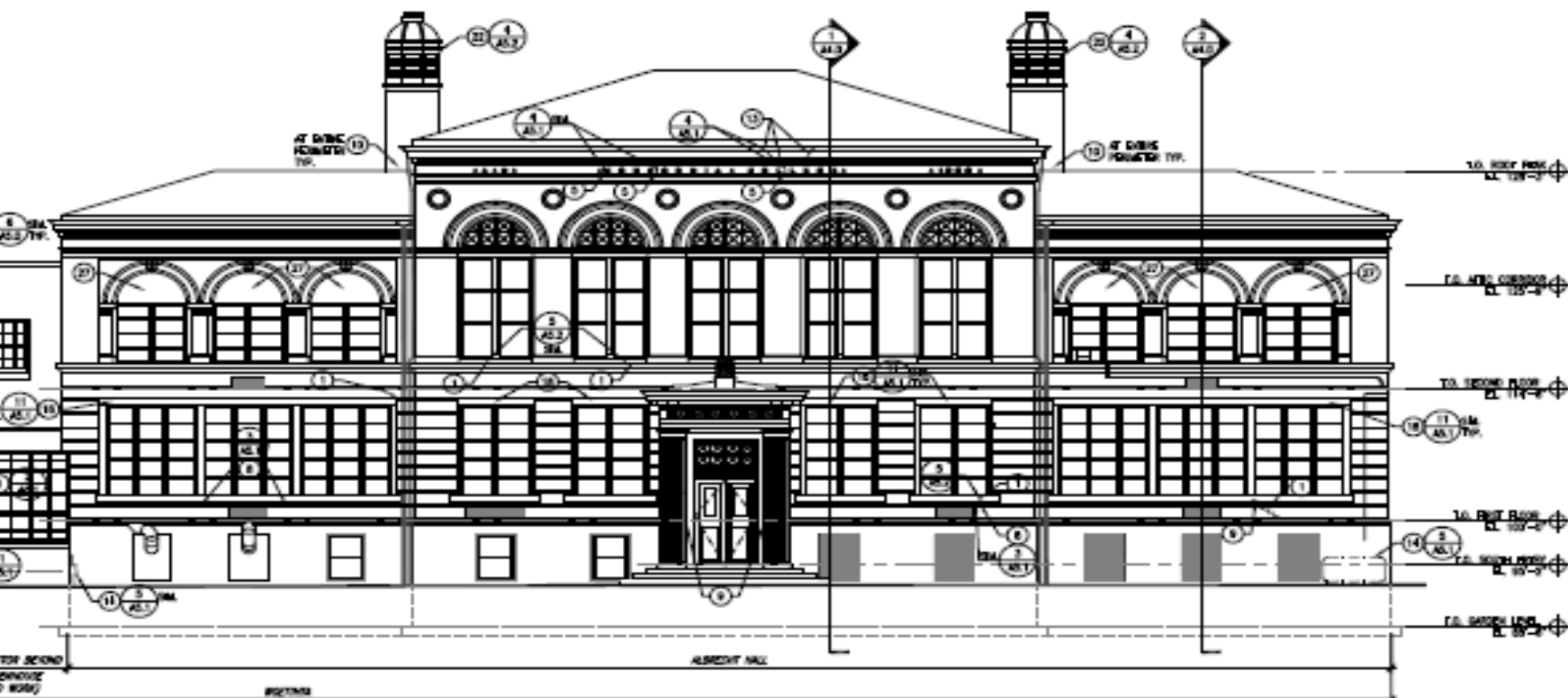
Photo 2 - South elevation of Library



Photo 8 – Library Roof, looking northwest



Photo 3 – South elevation of Albrecht Hall



1 SOUTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES (ALBRECHT HALL)

SEE THE REPORT

1. AND REPORT 1000. EXISTING WORK IS COMPLETED FROM HIGH MEASURE LEVEL. NO LARGE HOLES ARE PRESENT. CUT AND PATCH SHALL BE DONE TO 100% DUE TO HIGH LEVEL. REPAIR JOINTS ARE PROBABLY 3/16".

2. BRICK IS SEVERELY DEGRADED. THE VENEER HAS EXISTED SINCE THE FIRST FLOOR. BRICK JOINTS MUST BE REPAIRED AS THE CUTTING WOULD WEAR THE JOINTS AND DAMAGE THE BRICK UNITS.

3. INSTALL A SOFT JOINT AT WALL FACE ANCHORS WITH TAPPED SURFACES (ANCHOR 1/2")

4. COVER RECOMMEND CLEANING ALL SURFACES TO REMOVE ALKALINE SOILING. CLEANING MATERIALS TO BE USED. DISCUSS ON SITE PRIOR TO DETERMINING THE PROPER MATERIALS AND METHODS TO NOT DAMAGE OR STAIN THE MASONRY.

5. REMOVE ALL ANCHORS BRICKS AND SETS NO LONGER ESSENTIAL AND PATCH ALL.


17. MTS/SPDS AND CITY CON REGION. BRICK REPLACEMENT UNITS WILL NEED TO MATCH THE EXISTING BRICK-SPOT BRICK. WORKMAN WILL NEED TO MATCH THE EXISTING APPEARANCE, COMPOSITION AND COLOR OF THE ORIGINAL MATERIAL. TO ENSURE THE BEST MATCH BETWEEN THE TWO MATERIALS AND OVERALL APPEARANCE, NOTE: QUALITY VENEER OF THE BRICK JOINTS WILL BE CLOSELY MONITORED BY THE MTS/SPDS AND CCA, AS THIS IS NOT A TYPICAL JOINT NOTE AND OFTEN POORLY DETECTED.

18. REMOVE REMAINS OF PREVIOUSLY REPAIRED VENEER THAT ARE STILL ATTACHED TO THE BUILDING FRONT.





Photo 5 - North elevation of Albrecht Hall



PATCH SEVERELY CORRODED METAL
VENTILATOR CAP. REMOVE
CORROSION, PRIME AND RE-PAINT
PER SHEETS A3.0 AND A3.1

BRICK CHIMNEYS TO BE TUCK
POINTED IN IT'S ENTIRETY, TYP.
ALL CHIMNEYS.



Photo 6 - North elevation of Albrecht Hall and Library

GENERAL ROOF NOTES

- 1 SEE BUILDING ELEVATIONS FOR LOCATIONS OF SEVERELY DAMAGED COPINGS THAT NEED TO BE REPLACED.
2. REPLACE ALL FRACTURED BRICK AND RE-POINT ALL MASONRY JOINTS ON WALL SURFACES ACCESSED BY ROOF ON ALBRECHT HALL.
3. EVALUATE ASPHALT SHINGLES ON ALBRECHT HALL FOR POSSIBLE LEAKS AND AREAS OF DAMAGE. REPAIR AND REPLACE PORTIONS OF SHINGLES AS REQUIRED TO FIX ANY LEAK OR DAMAGED SECTIONS.
4. FINISH ALL SKY JOINTS AT ALBRECHT HALL COPINGS AND TRIM WITH APPROPRIATE SEALANT (I.E. SONNEBORN NP-1 COLORED TO MATCH THE STONE, FINISHED WITH SAND.)

ADD ALTERNATE #2: LEAD JOINTS.

ROOF CONSTRUCTION NOTES

- ① EXISTING MECHANICAL EQUIPMENT (AIR INTAKE/EXHAUST, ETC.)
- ② ROOF ACCESS HATCH
- ③ EXISTING SKYLIGHT
- ④ REMOVE EXISTING ROOFING AND INSULATION. INSTALL NEW TAPERED RIGID INSULATION AND ROOF MEMBRANE. PITCH MINIMUM 1/8" PER FOOT TO ROOF DRAIN LOCATIONS IN THE PROPOSED CONFIGURATION SHOWN ON THE PLAN. PROVIDE NEW 2 PIECE COUNTER-FLASHING AT ALL PARAPET AND MASONRY WALLS A MINIMUM OF 1'-0" ABOVE FINISHED ROOF SURFACE. PROVIDE NEW FLASHING AT ALL EXISTING ROOF TOP EQUIPMENT AND PENETRATIONS.
- ⑤ REMOVE ALL SPRAY ON WATER PROOFING FROM PARAPET WALL, COPINGS, MASONRY PENETRATIONS AND MECHANICAL EQUIPMENT.
ADD ALTERNATE #1: REMOVE AND REPLACE EXISTING LIMESTONE COPING WITH NEW LIMESTONE TO MATCH EXISTING TEXTURE AND SHAPE.
- ⑥ REMOVE EXISTING SEALANT AND DAMAGED FLASHING AT MEMBRANE/SHINGLE TRANSITION POINT. INSTALL NEW FLASHING AND SEALANT FOR A WATER PROOF ENCLOSURE.
- ⑦ INSTALL MISSING SHINGLE CORNER CAP SHINGLES AT DORMER WALL TO MATCH EXISTING.
- ⑧ MISSING SHINGLE OR DAMAGED SHINGLE, INSTALL NEW SHINGLE TO MATCH EXISTING

- ⑨ SEVERELY CORRODED SHEET METAL CHIMNEY VENTILATOR. SEE BUILDING ELEVATIONS FOR RESTORATION PROCEDURES.
- ⑩ EXISTING MASONRY CHIMNEY - RE-POINT 100% OF JOINTS.
- ⑪ REMOVE AND REPLACE DAMAGED FLASHING AND COUNTER-FLASHING AT THE ENTIRE PERIMETER OF THE CHIMNEY/ROOF VENTILATOR. REPLACE COPPER FLASHING IN THESE AREAS WITH COPPER EXTENDING A MINIMUM OF 5 COURSES UP THE FACE OF THE WALL.
- ⑫ EVALUATE FLAT ROOF FOR POSSIBLE LEAKS AND INSPECT EXISTING COUNTER-FLASHING. REPAIR/REPLACE COUNTER-FLASHING AND FLAT ROOF AS REQUIRED. CONSULT WITH ARCHITECT IF ROOF PATCHING IS EXCESSIVE TO DISCUSS POSSIBLE TOTAL FLAT ROOF REPLACEMENT.
ADD ALTERNATE #3: PROVIDE PRICE TO REPLACE FLAT ROOF AND ALL ASSOCIATED FLASHING, TERMINATIONS AND ROOFING THAT IS AFFECTED.
- ⑬ CLEAN BIRD DROPPING FROM SHINGLES AT RIGID LINE.
- ⑭ NEW ROOF DRAIN IN ESTIMATED EXISTING ROOF DRAIN LOCATION. PREVIOUS ROOF PATCHING BELIEVED TO HAVE COVERED UP OLD DRAIN LOCATIONS. EXISTING ROOF PITCHING WOULD SUGGEST LOCATIONS SHOWN. CONTRACTOR TO CONSULT ARCHITECT IF FIELD CONDITIONS DIFFER.
- ⑮ NEW OVERFLOW DRAIN CONNECTED TO NEW ROOF DRAIN. LOCATE 10'-0"± DIRECTLY UP SLOPE FROM NEW DRAIN.



9 JACK ARCH SAGGING

SCALE: N.T.S.



10 SEVERELY DAMAGED LIMESTONE SILL

SCALE: N.T.S.





11 CORRODED STEEL LINTEL, TYP.

SCALE: N.T.S.



REQUEST FOR A CITY OF
MILWAUKEE PLAQUE FOR
THE PROPERTY AT 102
EAST VINE STREET IN THE
BREWERS HILL HISTORIC
DISTRICT



102 E. VINE

REQUEST FOR A CITY OF
MILWAUKEE HISTORIC PLAQUE
FOR 2377 NORTH HOLTON TREET



Holton St

