



# City of Milwaukee

200 E. Wells Street  
Milwaukee, Wisconsin  
53202

## Meeting Agenda HISTORIC PRESERVATION COMMISSION

**RANDY BRYANT, CHAIR**

**Allyson Nemece, Vice-Chair**

**Sandra Ackerman, Patricia Balon, Ald. Robert Bauman, Matt**

**Jarosz, and Ann Pieper Eisenbrown**

**Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,**

**clee@milwaukee.gov**

**HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;**

**Paul Jakubovich, 286-5712, pjakub@milwaukee.gov**

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Monday, July 25, 2011

3:00 PM

Room 301-B, City Hall

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1. Review and approval of the minutes of the previous minutes.
  
2. [101274](#) Resolution creating the Garden Homes Historic District.  
**Sponsors:** THE CHAIR
  
3. [110373](#) Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.  
**Sponsors:** THE CHAIR
  
4. [110374](#) Resolution relating to a Certificate of Appropriateness for construction of a Lake Park Performance Structure.  
**Sponsors:** THE CHAIR
  
5. [110400](#) Resolution relating to a Certificate of Appropriateness to construct a new parking lot with fencing and landscaping at 1301 W. Forest Home Avenue for Ernesto Villarreal, El Rey Grocery Store.  
**Sponsors:** THE CHAIR
  
6. [110403](#) Motion relating to the National Register of Historic Places status for the Milwaukee River Parkway.  
**Sponsors:** THE CHAIR  
  
*Certified Local Government review of the National Register nomination for the Milwaukee River Parkway.*
  
7. [110404](#) Motion relating to the National Register of Historic Places status for the Milwaukee Breakwater Light.  
**Sponsors:** THE CHAIR  
  
*Certified Local Government review of the National Register nomination for the Milwaukee Breakwater Light.*

8. Final Approval of the HPC By-Laws and Procedures

9. The following files represent staff approved certificates of appropriateness:

- a. [110222](#) Resolution relating to a Certificate of Appropriateness for installation of a new roof at 2616 N. Lake Drive for Alexander Kempe.  
**Sponsors:** THE CHAIR
- b. [110223](#) Resolution relating to a Certificate of Appropriateness for installation of new windows and doors at Townsend Street School, 3360 N. Sherman Blvd. for the Milwaukee Public Schools.  
**Sponsors:** THE CHAIR
- c. [110224](#) Resolution relating to a Certificate of Appropriateness for exterior renovations at 2837 N. Grant Blvd. for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- d. [110225](#) Resolution relating to a Certificate of Appropriateness for repairs to foundation damage at 2008 N. 2nd Street for Benjamin Lawrenz.  
**Sponsors:** THE CHAIR
- e. [110235](#) Resolution relating to a Certificate of Appropriateness to rebuild front, rear and side porches and repair siding at 2808 W. Wells Street for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- f. [110236](#) Resolution relating to a Certificate of Appropriateness for installation of a new roof at 3402 W. St. Paul Avenue for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- g. [110275](#) Resolution relating to a Certificate of Appropriateness for installation of a new roof and chimney repair at 825 N. 33rd Street for Ralph and Evelyn Williams.  
**Sponsors:** THE CHAIR
- h. [110276](#) Resolution relating to a Certificate of Appropriateness for tuckpointing building, rebuilding back stairs, resurfacing parking lot and parking spaces at 3209 W. Highland Blvd. for Forest County Potawatomi.  
**Sponsors:** THE CHAIR
- i.. [110277](#) Resolution relating to a Certificate of Appropriateness to rebuild front, and rear porches, and repair siding at 805 N. 28th Street for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- j. [110278](#) Resolution relating to a Certificate of Appropriateness to install air conditioning units and venting at 2156 N. Sherman Blvd. for Delbert Utsey, Jr.

**Sponsors:** THE CHAIR

- k. [110280](#) Resolution relating to a Certificate of Appropriateness for tuckpointing and rear porch repairs at 3402 W. St. Paul Avenue for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- l. [110293](#) Resolution relating to a Certificate of Appropriateness for installation of new copper gutters, rear porch railing, new copper roof on 2nd story porch at 2589 N. Lake Drive for Jeff Loss and Dawn McCarthy.  
**Sponsors:** THE CHAIR
- m. [110297](#) Resolution relating to a Certificate of Appropriateness for installation of a new front porch and railings at 3014 W. McKinley Blvd. for W. J. Sherard.  
**Sponsors:** THE CHAIR
- n. [110306](#) Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2626 N. Terrace Avenue for Ross Williams.  
**Sponsors:** THE CHAIR
- o. [110307](#) Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 817 N. 28th Street for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- p. [110308](#) Resolution relating to a Certificate of Appropriateness for exterior repairs at 817 N. 28th Street for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- q. [110309](#) Resolution relating to a Certificate of Appropriateness for foundation repairs at 948 N. 34th Street for Phil Perry.  
**Sponsors:** THE CHAIR
- r. [110316](#) Resolution relating to a Certificate of Appropriateness for installation of a new porch posts, railings deck and skirting at 3316 W. McKinley Blvd. for W. J. Sherard.  
**Sponsors:** THE CHAIR
- s. [110351](#) Resolution relating to a Certificate of Appropriateness for installation of a new fence at 2031 N. 1st Street for Sarah Zirbel and Michael Nowak.  
**Sponsors:** THE CHAIR
- t. [110356](#) Resolution relating to a Certificate of Appropriateness for exterior repairs at 2742 W. State Street for the City of Milwaukee.  
**Sponsors:** THE CHAIR
- u. [110367](#) Resolution relating to a Certificates of Appropriateness for installation of signs at 1300

W. Historic Mitchell Street for Johnson Bank.

**Sponsors:** THE CHAIR

- v. [110401](#) Resolution relating to a Certificate of Appropriateness to rebuild the front terrace at 2409 N. Wahl Avenue for Ken Walter and Antoinette Zell.

**Sponsors:** THE CHAIR

- w. [110423](#) Resolution relating to a Certificate of Appropriateness to rebuild the roof and sheet metal on cupola at 207 E. Michigan Street for Josh Jeffers, agent for 207 E. Michigan Street LLC.

**Sponsors:** THE CHAIR

- x. [110424](#) Resolution relating to a Certificate of Appropriateness for exterior renovations at 800 N. Marshall Street for ESG Properties, LLC.

**Sponsors:** THE CHAIR

- y. [110425](#) Resolution relating to a Certificate of Appropriateness for signage and a new door at 1031 N. Old World Third Street for Tom and Patty LLC.

**Sponsors:** THE CHAIR

- z. [110426](#) Resolution relating to a Certificate of Appropriateness for construction of wood accessible ramp at 2576 N. 4th Street for Savannah Jackson.

**Sponsors:** THE CHAIR

- aa. [110428](#) Resolution relating to a Certificate of Appropriateness to rebuild the parapet wall and to add an awning at 807 E. Brady Street for Stanley and David Larson.

**Sponsors:** THE CHAIR

- bb. [110429](#) Resolution relating to a Certificate of Appropriateness to rebuild the back porch and to add a deck at 101 W. Vine Street for Martha McGee.

**Sponsors:** THE CHAIR

**This meeting can be viewed in its entirety through the City's Legislative Research Center at <http://milwaukee.legistar.com/calendar>.**

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# City of Milwaukee

200 E. Wells Street  
Milwaukee, Wisconsin  
53202

## Meeting Minutes HISTORIC PRESERVATION COMMISSION

**RANDY BRYANT, CHAIR**

**Allyson Nemec, Vice-Chair**

**Sandra Ackerman, Patricia Balon, Ald. Robert Bauman, Matt Jarosz, and Ann Pieper Eisenbrown**

**Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,  
clee@milwaukee.gov**

**HPC Planners: Carlen Hatala, 286-5722,  
chatal@milwaukee.gov; Paul Jakubovich, 286-5712,  
pjakub@milwaukee.gov**

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Monday, June 13, 2011

3:00 PM

Room 301-B, City Hall

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### Meeting called to order at 3:03 p.m

**Present:** 5 - Nemec, Balon, Ackerman, Bauman, Bryant

**Excused:** 1 - Jarosz

#### 1. Review and approval of previous minutes.

*Member Ackerman moved approval as written. Member Balon seconded. There were no objections.*

#### 2. 110226

Resolution relating to a Certificate of Appropriateness for exterior renovations at 611 N. Broadway for First MKD, LLC.

**Sponsors:** THE CHAIR

*Individuals appearing in support:*

*David Plank, Kahler Slater Architects, 111 W. Wisconsin Ave.*

*Steven L. Schwartz, First MKD, LLC, 9700 W. Higgins, Ste. 810, Rosemont, IL*

*Mr. Plank said that his firm has looked at different ways to build the ramp, but it is difficult to construct it in a different way than proposed due to the required length of the ramp.*

*Ald. Bauman says that he has a problem with the ramp on the building as it is a substantial piece of construction in the public right of way and it is difficult to see how the ramp is going to be constructed.*

*Chair Bryant asked if a ramp is required by the code. Mr. Jakubovich said it is needed to meet accessibility requirements.*

*Ald. Bauman asked Mr. Plank if the ramp is required by the code for the building. Mr. Plank said that the ramp is not required. Ald. Bauman asked if a lift had been considered instead. Mr. Plank said that there is a concern that the lift will only be used by those that need it for accessibility and not by other guests for luggage and other items. A ramp is more likely to be used by everyone.*

*Individual appearing in opposition:*

*Kevin Donahue, board member, Historic Milwaukee, Inc.  
1225 E Kane Place # 202, Milwaukee WI 53202*

*Mr. Donahue said that the idea of a canopy is not an issue, but the current form is ill-fitting to the design of the building. He said that he is happy that there are plans for altering the canopy.*

*Mr. Donahue also said that the ramp is an issue. He said that the architect could come up with a better means of entry and there is an opportunity on the Michigan Street side of the building for an entry that is at the level of the lower level lobby. Mr. Donahue said that there is a design solution for the Michigan Street side that lifts the entry to a prominence appropriate to the building.*

*Mr. Plank said that the architects felt strongly that the Broadway leads directly to the atrium. The Michigan Ave. entrance requires going through a corridor and taking an elevator to the lobby of the building.*

*Ms. Nemecek moves that the commission approve a certificate of appropriateness for the roof, masonry cleaning and tuckpointing with approval of staff, restoration of windows, railing, disassembly and refinishing with approval of staff. Seconded by Ald. Bauman. There were no objections.*

*Ald. Bauman and Member Nemecek away from the table at 4:02 p.m.*

**Present:** 3 - Balon, Ackerman, Bryant

**Excused:** 2 - Nemecek, Jarosz

**3. Discussion and Update of the HPC By-Laws and Procedures.**

*Individual appearing:*

*Jim Owczarski, Deputy City Clerk*

*Ms. Hatala said that she had some concerns about the Historic Designation Study Report and the terminology that is not used in the ordinance; Mr. Owczarski said that it is not a matter of the by-laws.*

*Mr. Owczarski said that the by-laws and procedures will be finalized and published.*

**4. Update on Lohman Carriage Barn National Register property, Pabst Brewhouse Project, Appeal of Interim Designation for Garden Homes Doublehouse (4316-4322 N. 25th Street).**

*Mr. Jakubovich gave an update on the Lohman Carriage Barn.*

*Mr. Jakubovich said that there are some code violations on it and LaCausa is interested in helping give it to someone who would move it and reuse it. There are plans to put it in another southside location and have it used as a restaurant. Mr.*

*Jakubovich said that there have been numerous offers to dismantle it and use the lumber.*

*Mr. Jakubovich said that there is no new update for the Pabst Brewhouse Project.*

*As an update regarding the interim designation for the property located at 4316-22 N 25th Street, Ms. Carlen said that an appeal has been received and the file (110220) will be scheduled for the Zoning, Neighborhoods and Development Committee to give opportunity for public testimonies.*

**5. The following files represent staff approved certificates of appropriateness:**

*Member Eisenbrown proposed approval Seconded by Member Ackerman.*

**a. 101567**

Resolution relating to a Certificate of Appropriateness for installation of new windows and doors at 624 N. Broadway for Next Generation Real Estate.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

**b. 110048**

Resolution relating to a Certificate of Appropriateness for installation of a new fence at 2510 N. Sherman Blvd. for Golden Enterprise, LLC.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

**c. 110050**

Resolution relating to a Certificate of Appropriateness for installation of a new furnace and an air conditioning unit and venting at 1831 N. Palmer Street for the Bank of New York Mellon.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

d. 110064 Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 125 E. Lloyd Street for the City of Milwaukee.

Sponsors: THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

e. 110111 Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2579-2581 N. Terrace Avenue and 2587-2589 N. Terrace Avenue for Leslie McCormick, Sherry Johnston, Robert Forrest and Natalie Peters.

Sponsors: THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

f. 110112 Resolution relating to a Certificate of Appropriateness for installation of a new boiler and venting at 2658 N. Lake Drive for Brett Stone.

Sponsors: THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

g. 110113 Resolution relating to a Certificate of Appropriateness for installation of a new roof at 3230 E. Kenwood Blvd. for the State of Wisconsin.

Sponsors: THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

h. 110126 Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 805 N. 28th Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- i. 110127 Resolution relating to a Certificate of Appropriateness for installation of a new roof and repair of fire damage on the garage at 2477 N. Grant Blvd. for Josephine Powell.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- j. 110128 Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2812 W. Wells Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- k. 110129 Resolution relating to a Certificate of Appropriateness for installation of exterior renovations at 2813 E. Belleview Place for Christopher Adams.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- l. 110131 Resolution relating to a Certificate of Appropriateness for chimney work at 2915 N. Lake Drive for John and Sarah Hambrook.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be**

**ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- m. 110132 Resolution relating to a Certificate of Appropriateness for widening the driveway at 2015 N. Lake Drive for John and Sarah Hambrook.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- n. 110142 Resolution relating to a Certificate of Appropriateness for installation of a new air conditioning unit and venting at 1670 S. 11th Street Jerry Kostner, agent for Schuster Historic Building, LLC.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- o. 110211 Resolution relating to a Certificate of Appropriateness to rebuild front, rear and side porches at 2812 W. Wells Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemec, Jarosz, and Bauman

- p. 110212 Resolution relating to a Certificate of Appropriateness to rebuild masonry walls for exterior bulkhead and rebuild chimney at 125 E. Lloyd Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemeč, Jarosz, and Bauman

- q. 110213 Resolution relating to a Certificate of Appropriateness to replace windows and storm door at 2640 N. Terrace Avenue for Danita and Paul Medved.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemeč, Jarosz, and Bauman

- r. 110214 Resolution relating to a Certificate of Appropriateness to restore rooftop sign at 1020 W. Historic Mitchell Street for Jerry Kostner.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemeč, Jarosz, and Bauman

- s. 110228 Resolution relating to a Certificate of Appropriateness for installation of PVC vent pipes for a new boiler at 2564 N. Grant Blvd. for Dloyd Mitchell.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Pieper Eisenbrown, Balon, Ackerman, and Bryant

**No:** 0

**Excused:** 3 - Nemeč, Jarosz, and Bauman

**Meeting adjourned at 4:14 p.m.**  
**Staff Assistant Tobie Black**

This meeting can be viewed in its entirety through the City's Legislative Research Center at <http://milwaukee.legistar.com/calendar>.





Legislation Details (With Text)

**File #:** 101274      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 2/3/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution creating the Garden Homes Historic District.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Pictures, Pictures, Pictures, Support Post Cards, Support Post Cards, Support Post Cards, Support Post Cards, Garden Homes Historic District - Study Report, Hearing Notice to property owners, Certified Hearing Notice to owners

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 2/3/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
101274  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title  
Resolution creating the Garden Homes Historic District.  
Requestor

Drafter  
CC-CC  
jro  
2/3/11

# HISTORIC DISTRICT DESIGNATION APPLICATION

*Final @ HP  
1/26/2011  
2:04 PM*

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## 1. Name of District

Historic: Garden Homes Historic District

and/or Common: \_\_\_\_\_

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## 2. Location

Approximate boundaries W. Ruby Street to W. Atkinson Avenue; N. 26th Street to N. 25th Streets; W. Port Sunlight Way from N. 27th Street to N. 25th Street; W. Congress from N. 25th Street to N. Teutonia Avenue.

Aldersperson: Ashanti Hamilton

District(s): First

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## 3. Classification

### Ownership

public  
 private  
 both

### Present Use

agricultural  
commercial  
educational  
entertainment

park  
cemetery  
religious  
 private-  
residence

government  
industrial  
military  
museum

transportation  
other

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## 4. Owner of Property

Name: Joseph Bova, one of forty-four owner-occupants

Street & number: 4468 N. 26th Street, one of one hundred and four households

City: Milwaukee

State: WI

Zip: 53209

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## 5. Representation Existing Surveys

Inventory: 104 households

Date: 1921-1923 constructed

federal

state

county

local

Depository for survey records:

Organization City of Milwaukee

Street & number \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip \_\_\_\_\_

Previous historic designation:

National Register      Date 1990      Name Garden Homes Historic District

City of Milwaukee Landmark      Date 1974      Name Garden Homes Housing Project and Park

Other  
Name of Program State of Wisconsin Register of Historic Places      Date designated 1990

## 6. DESCRIPTION

Acres: 29      Number of city blocks: Eight      Number of buildings: 104

**General Condition of buildings in district**

- excellent
- good
- fair
- deteriorated
- ruins

**Major landscape features:**

- park/recreational area
- boulevard
- hill
- valley/ravine
- river/stream
- pond/lake
- cemetery
- undeveloped land

**Principal street(s):**

4300 and 4300 blocks of N. 25th and 26th Streets; W. Congress from N. Teutonia to N. 25th St.; W. Port Sunlight Way, 25th to 27th Sts.

**List of non-contributing buildings:**

None

**Visual landmarks & locations:**

Garden Homes Park, W. Atkinson on the south to W. Port Sunlight Way on the north, one block

**District characteristics:**

Predominant building height: Two-story      Predominant building material:      brick      stone

   wood      terra cotta

stucco

**Relationship of buildings to street:**

Frontage offset per typical house location in the City of Milwaukee

**Written description: (Continue on a separate sheet, if necessary)**

Garden Homes incorporated the fundamental principles of England's garden cities. The fan-like subdivision has the character of a small village with two-story, stuccoed and vinyl-sided cottages in a simplified Colonial Revival style. The major architectural features used to differentiate the boxy houses is a one-story covered entry porch. The houses were built according to nine basic designs that varied by reversing floor plans and an addition of front-gabled models.

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## 7. SIGNIFICANCE

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### Areas of significance:

- |                      |                          |                     |                       |
|----------------------|--------------------------|---------------------|-----------------------|
| agriculture          | × economics              | law                 | science               |
| × architecture       | × education              | literature          | × social/humanitarian |
| art                  | engineering              | military            | theater               |
| commerce             | exploration/settlement   | music               | transportation        |
| communications       | industry                 | philosophy          | other (specify)       |
| × community planning | invention                | politics/government |                       |
| conservation         | × landscape architecture | religion            |                       |

### Period of most intensive development:

1921-1923: Mayor Daniel Hoan builds Garden Homes Project, 105 homes.

### Written statement of significance: (continue on a separate sheet, if necessary)

Per Milwaukee Code of Ordinances, Historic Preservation Ordinance, Section 320-21 3.e, the Garden Homes Historic District meets the following significant criteria: e-1, e-3, e-4, e-6, e-7 and e-9.

The Garden Homes housing project is historically significant as the nation's first municipally-built, public housing cooperative. The development was intended as an experiment to ease a working-class housing shortage and to generally improve the quality of city life.

The Garden Homes housing project, which was built early in the development of municipal social welfare programs in America, was the forerunner of the municipal, low-rent, public housing projects commonly found in America today. It was the first municipally-sponsored project in the United States to incorporate the fundamental principles of England's Garden City form of urban planning, production-line construction techniques and patented labor saving materials.

Garden Homes was America's first and last major experiment in municipally-built cooperative housing, earning it a unique place in the history of American public-housing.

The Garden Homes Project, although it failed as a community-owned cooperative, proved that through effective planning, low-cost public housing could be built in an attractive and healthful environment. The project is also a reminder of Milwaukee's Socialist municipal government. With all the political squabbling aside, Garden Homes also proved that government housing was feasible and in some cases very desirable when the private sector was unable to meet immediate housing needs. Despite being forced to disband, the Garden Homes housing corporation always remained faithfully solvent demonstrating, at least in the short-run, that public housing could be administered without waste and graft. Ultimately Garden Homes probably paved the way for public acceptance of the new Federal government sponsored low-income housing that was built in Milwaukee during the 1930s. Milwaukee, at that time, was one of the first cities in the nation to show an interest in the possibilities of Federally-sponsored public housing.

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## 8. Major Bibliographical References

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"Garden Cities of Today" (book). Ebenezer Howard, 1898.

"Garden Homes Historic District," National Register of Historic Places Registration Form, OMB No. 1024-0018, City of Milwaukee

"Utopia Revisited: The Garden Home Housing Project in Milwaukee," Mr. Paul Jakubovich, Wisconsin Preservation, July/Aug. 1993

"Garden Homes Housing Project and Park," Milwaukee Preservation Commission, 1974

"Garden Homes," Landscape Research, City of Milwaukee Department of City Development, (date unknown)

"The First Public Housing: Sewer Socialism's Garden City for Milwaukee," Wayne Attoe and Mark Latus, Journal of Popular Culture, Summer. 1976

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## 9. Boundary Description

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### Legal property description:

Beginning at the intersection of the north curb line of West Atkinson Avenue and the east property line of 4316-4322 North Twenty-fifth Street, then northeasterly along the rear property line of all the properties with frontage on North Twenty-fifth Street to the intersection of the north curb line of West Congress Avenue and the west curb line of North Teutonia Avenue; then west to the rear property line of 4402 N. Twenty-fifth Street; then northeasterly along the rear property line of all properties with frontage on North Twenty-fifth Street to the south curb line of West Ruby Avenue; then west to the rear property line of 4485 North Twenty-sixth Street; then south along the rear property line of all properties with frontage on North twenty-sixth Street and West Port Sunlight Way to the north curb line of West Atkinson Avenue then southeasterly to the point of beginning in the City of Milwaukee, Milwaukee County, Wisconsin.

### Boundary justification:

The district is distinguished from its environs by the visual cohesiveness of its village-like atmosphere of small, stuccoed and vinyl-sided, two-story cottages of uniform design located on a curving, semi-radial street plan arranged around a central, boulevard-like park. The adjacent neighborhoods stand in sharp contrast to the district and are composed of mid-twentieth century, ranch style, single-story, tract housed located on a gridiron street plan.

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## 10. Form Prepared By

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Name/Title: La Mar Woods, President and Joseph Bova, Member

Organization: Garden Homes Neighborhood Association

Street: 5633 N. 64th Street, #1

City: Milwaukee

State: WI

Zip: 53218

Telephone (days) 414-524-9908

(evenings) 414-367-9156

Date: January 21, 2011

Return to: **Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI 53202**

**(414) 286-5722**

Historic Homeowners: Owner-Occupant LHD Supporters ✓

- ✓ 4321 N. 25th Street
- 4334 N. 25th Street
- ✓ 4339 N. 25th Street
- ✓ 4344 N. 25th Street
- 4350 N. 25th Street

- ✓ 4353 N. 25th Street
- ✓ 4360 N. 25th Street
- ✓ 4365 N. 25th Street
- 4366 N. 25th Street
- 4370 N. 25th Street

- 4371 N. 25th Street
- ✓ 4377 N. 25th Street
- 4378 N. 25th Street

\*\*\*\*\*

- 4402 N. 25th Street
- 4408 N. 25th Street
- ✓ 4415 N. 25th Street
- 4424 N. 25th Street
- 4428 N. 25th Street

- ✓ 4440 N. 25th Street
- ✓ 4441 N. 25th Street
- 4456 N. 25th Street
- ✓ 4457 N. 25th Street
- 4466 N. 25th Street

- ✓ 4477 N. 25th Street
- 4481 N. 25<sup>th</sup> Street
- 4485 N. 25th Street

\*\*\*\*\*

- ✓ 4352 N. 26th Street
- ✓ 4362 N. 26th Street
- ✓ 4375 N. 26th Street

\*\*\*\*\*

- 4401 N. 26th Street
- ✓ 4444 N. 26th Street
- 4450 N. 26th Street
- ✓ 4458 N. 26th Street
- ✓ 4462 N. 26th Street

- ✓ 4463 N. 26th Street
- ✓ 4468 N. 26th Street
- ✓ 4469 N. 26th Street
- ✓ 4473 N. 26th Street
- ✓ 4484 N. 26th Street

\*\*\*\*\*

- 2465 W. Congress Street
- 2457 W. Congress Street
- 2453 W. Congress Street
- ✓ 2449 W. Congress Street

\*\*\*\*\*

2610 W. Port Sunlight Way

44 = Total owner-occupants  
24 = ✓supporters, 01-26-11  
% = 54.5% support LHD

W. RUBY AVE.



National Register  
Garden Homes  
Historic District  
NR Listed 05-04-1990

N. 27th St. N. 27th St. N. 27th St.



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Drawing: 18-SEP-2003 1:50:00 PM  
Author: J. L. WILSON

W. ROOSEVELT

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March, 1998



## UTOPIA REVISTED: THE GARDEN HOME HOUSING PROJECT IN MILWAUKEE

by Paul Jakubovich

The Garden Homes housing project in Milwaukee is the nation's first and only municipally-built, public housing cooperative, earning it a unique place in the history of American public housing. The property, composed of 105 living units in 93 free-standing buildings constructed between 1921 and 1923, is bounded today by North 27th Street and West Ruby, North Teutonia and West Atkinson avenues.

The development of these small, stuccoed blocks trimmed with Colonial Revival style wooden porches can trace its origins to the city's stunning 1910 municipal election of the nation's first Socialist mayor, Emil Seidel. One of the planks of the Socialist platform was the construction of city-built, low-cost homes for workers. Seidel told the Milwaukee electorate, "We do not expect to usher in the cooperative commonwealth in one or five years, but we do intend to do all our limited means permit to make Milwaukee a better place to live in."

Although Seidel failed to make public housing in Milwaukee a reality before his defeat in the 1912 election, the city's second Socialist mayor, Daniel W. Hoan, elected in 1916, succeeded. Mayor Hoan created a housing commission to tackle the city's housing shortage,

which was worsened by the moratorium on new housing construction during America's involvement in World War I.

In September of 1918, the chair of Milwaukee's housing commission, William H. Schuchardt, went to Washington, D.C., in an effort to obtain Federal assistance to construct new public housing in Milwaukee. For the first time in U.S. history, Federal government aid for housing construction was made available to manufacturing centers that could prove that a lack of working-class housing was hindering the production of war materials. Because Milwaukee could not prove such a relationship, the request for Federal aid was denied.

Eventually, the Federal government built about 30,000 units of war-time housing—about half of which were only dormitories or barracks—but none was built in Milwaukee and all were sold rather than maintained as public housing.

A lack of adequate working-class housing became a key community issue in Milwaukee prompting Walter Davidson, vice-president of Milwaukee's Harley-Davidson motorcycle company, to comment in 1920 that, "The housing question is one of the most momentous the city has before it."

After World War I, Milwaukee's

housing commission proposed a municipally-sponsored, low-cost cooperative housing project to ease the local housing shortage. Under the commission's plan, called the Garden Homes Project, occupants would not own their homes initially; instead, they would purchase housing corporation common stock equal to the value of a house. The tenants would pay for their stock by making a 10% downpayment and subsequent monthly payments spread over 20 years. The payments were to cover interest, taxes, upkeep and other fixed costs. Tenants would also receive life insurance benefits and an annual 5% cumulative dividend on their equity.

The initial cost of the project was to be financed through the sale of preferred stock carrying a 5% per annum cumulative dividend, which would be purchased by city and county governments, and other interested investors. As the occupants of the houses paid on their common stock (only occupants of the houses could hold common stock), the preferred stock would be retired. It was expected that after about 20 years all of the preferred stock would be retired and the property would be wholly owned by the residents who at that time could elect to disband the housing corporation and convert the development to individual ownership.



The financing plan was based on a prototype from England where about 60 cooperative housing associations had been established by 1919. Cooperative housing was promoted by English author Ebenezer Howard whose highly influential book published in 1900, *Garden Cities of Tomorrow*, was the basis for the plan of Letchworth, England, the first true, totally planned cooperative community.

In 1919 at the urging of Mayor Hoan and his housing commission, legislation was enacted by the State of Wisconsin that for the first time in U.S. history allowed the creation of public housing corporations. The Garden Homes Company was formally incorporated under this enabling legislation in 1921.

Commenting on the new housing legislation in 1919, housing commission member William George Bruce said, "The [Garden Homes] Company itself should be the contractor and every possible element of profit should be squeezed out. This is not a question of charity. It is an investment for the benefit of the entire community.

The housing corporation's original prospectus stated the following objectives:

1. To promote the economic erection, cooperative ownership and administration of healthful homes.
2. To place said homes in areas platted in accordance with the best ideas of city planning so as to provide the greatest utility as well as healthful conditions and

attractive surroundings.

3. To encourage the occupation of modest homes at cost and within the means of those who now cannot acquire and retain their own homes.
4. To avoid the dangers that too frequently accompany the individual ownership of houses and speculative building devoid of public spirit.
5. To harmonize and join the interests of resident and investor by an equitable use of the profit arising from the increase of values and the careful use of property.
6. To provide ample space for playgrounds and recreation for both old and young.
7. To provide an opportunity for intensive gardening under instruction thus maintaining the home in part by this means.

The Garden Homes project was intended to provide housing for families earning a modest \$1,200 to \$1,500 per year in 1920.

Raising funds through the sale of preferred stock proved difficult for the housing corporation, delaying construction. Some local politicians were reluctant to appropriate city funds for the plan because they charged it did not guarantee individual ownership of the homes. According to a *Milwaukee Sentinel* report some opposed the plan because it "hinted something strongly of Sovietism."

Despite the added problem of a downturn in the local economy, the Garden Homes planners pro-

ceeded with their project. Start-up financing totaling \$177,300 was secured through the sale of preferred stock. City and county governments made initial investment of \$50,000 each and 38 local business leaders invested a combined total of \$77,300 along with a pledge to eventually invest \$300,000.

On July 25, 1921, the Garden Homes Company purchased for about \$28,000 the 29 acres of farmland known as the Groelling tract on which the development stands today. Mayor Hoan presided over the groundbreaking ceremonies for the project on September 22, 1921. On Wednesday, November 1, 1922, David Harper, the son of the city's building inspector, moved into a cottage located at 4356 North 26th Street and became the first occupant of the Garden Homes project.

There were about 700 applicants for the 105 units that were eventually built. In 1921 Mayor Hoan said that the units would be sold only to individuals who could not otherwise afford a home, and it was the job of the Garden Homes board of directors to select the individuals most in need of housing to live in the project. Applicants who had personal savings in excess of \$1500 were automatically rejected and urged to purchase a home through the private sector.

The 2-story, stuccoed houses in the development were built according to the designs of Milwaukee architect William H. Schuchardt, who donated his professional services and was a

member of the Garden Homes board of directors. Schuchardt's designs for the Garden Homes cottages no doubt were influenced by his 1911 visit to garden cities in England and Germany.

Each of the Garden Homes cottages has the same basic floor plan and is architecturally undistinguished, but as an assemblage they comprise a picturesque, working-class village with a decidedly European character that is unlike any other residential neighborhood in the city.

The homes were built at a cost of about \$4,500 each, which was about 25% less than the cost of a comparable new house in the city at that time. Costs were cut by using a standardized plan and production line techniques at the building site. The homes were constructed in consecutive order, and each crew of tradesmen progressed from one house to the next, performing virtually the same job each time. Because of the heavy municipal involvement in the project, some city construction equipment was used to further defray costs but not at the expense of delaying regular city projects.

From a purely technical standpoint, Garden Homes is an exercise in American ingenuity. It was not the nation's first example of mass-produced housing, but the use of energy and labor-saving materials to reduce costs placed the development far ahead of its time. Of particular note was the use of a patented new material called flaxolinum keyboard sheathing as an

underlayment for the exterior stucco. Made of compressed flax straw, with molded keyways to hold the stucco applied over it, the material was reportedly first used on the Garden Homes project.

Garden Homes became the focus of intense public debate in the city and was opposed by many business leaders, the local real estate board, and politicians. Some business leaders were irked that Garden Homes construction workers were paid high, union-scale wages at a time when Milwaukee was generally considered a non-union or "open shop town." Others feared that a Socialist success at Garden Homes would bolster the Socialist party platform with the Milwaukee electorate.

Shortly after the 105 houses in the project were completed and occupied, the development encountered

some major difficulties. Because there apparently had not been a suitable location for the project within the city limits, the project planners purchased a site outside Milwaukee with the intention of annexing it to the city. Construction of the project began before the area, lying partly in the Town of Wauwatosa and partly in the Town of Milwaukee, was formally annexed to the city. The two townships subsequently tried to legally block the annex-

*A typical floor plan from Sept. 7, 1921 Milwaukee Journal*

27 Wednesday, September 7, 1921

**Want Ad Information**  
**Local Rates**  
 10¢ per word per week for the first 10 words; 7¢ per word for the next 10 words; 5¢ per word for the balance of the ad. Minimum charge, 25¢. No charge for insertion in the first issue of the month. No charge for the first 10 words in the first issue of the month.

**Foreign Rates**  
 20¢ per word per week for the first 10 words; 15¢ per word for the next 10 words; 10¢ per word for the balance of the ad. Minimum charge, 50¢. No charge for insertion in the first issue of the month. No charge for the first 10 words in the first issue of the month.

**Closing Time**  
 Ads must be received at the office of the publisher not later than 5 p. m. on the day preceding the day of publication. No ads accepted for insertion after 5 p. m. on the day preceding the day of publication.

**Changes—Cancellation**  
 Changes in ads must be made at least 24 hours before the day of publication. Ads may be cancelled at any time, but no refund will be made. Cancellation must be made at least 24 hours before the day of publication.

Phone Grand 8000

**Plan of New Cottages**

ation by filing three separate lawsuits. The legal battles delayed street improvements in the project area for months and long after the first house was occupied the streets were still a muddy quagmire. The case was of such importance that it eventually reached the Wisconsin Supreme Court, which, on December 7, 1925, upheld the decision of a lower court that the annexation was legal.

More problems developed in 1925 when the city assessed the project's residents between \$300 and \$750 each for street and storm sewer improvements. The residents angrily protested the assessment claiming misrepresentation of the actual cost of their homes. A few residents moved out in protest. On March 11, 1925, a *Milwaukee Journal* newspaper article appeared with the title: "Garden Homes Losing Charm, Many Residents Leaving 'Utopia' to Evade Assessment." The article reported that George Altpeter, chief of the city annexation division who lived in the Garden Homes from its beginning, said "Seventy-five percent of the inhabitants will pull away and sell their stock if the special assessment is enforced."

William H. Schuchardt, the designer of the project and the vice-president of the Garden Homes Company, expressed his disillusionment with the situation at that time and said, "I am through striving to do something helpful for anybody. It is a most thankless job. I have given time and money to the Garden Homes

Corporation, and now there is most unwarranted grumbling."

Despite the reported widespread dissatisfaction, a vote in March, 1925, showed that Garden Homes' residents were split over the controversy with 38 in favor of individual ownership of the project's homes, 32 in favor of continuing the original cooperative ownership plan, and the others unsure. Later it was reported that many of the Garden Homes residents wanted individual titles to their properties in order to sell them at their appreciated values. The single family houses which had cost about \$4,500 each to build in 1921-23 were estimated to be worth about double that amount by 1925.

Responding to the tenants' demands, in June of 1925 the state legislature enacted the Garden Homes Law Amendment which permitted the sale of the project's homes instead of leasing them. On Friday, July 17, 1925, the Garden Homes Company board of directors formally decided to disband the cooperative ownership of the development and convert the project to individual ownership. Tenants were given the opportunity to purchase their homes at prices between \$4,700 and \$5,500.

With the change to individual ownership the Garden Homes Company functioned only to sell the housing stock and pay off all loans—a problem-plagued process that took more than ten years.

After purchasing their homes,

many residents did indeed sell them. By the late 1930s only about 40% of the original tenants still lived in the subdivision.

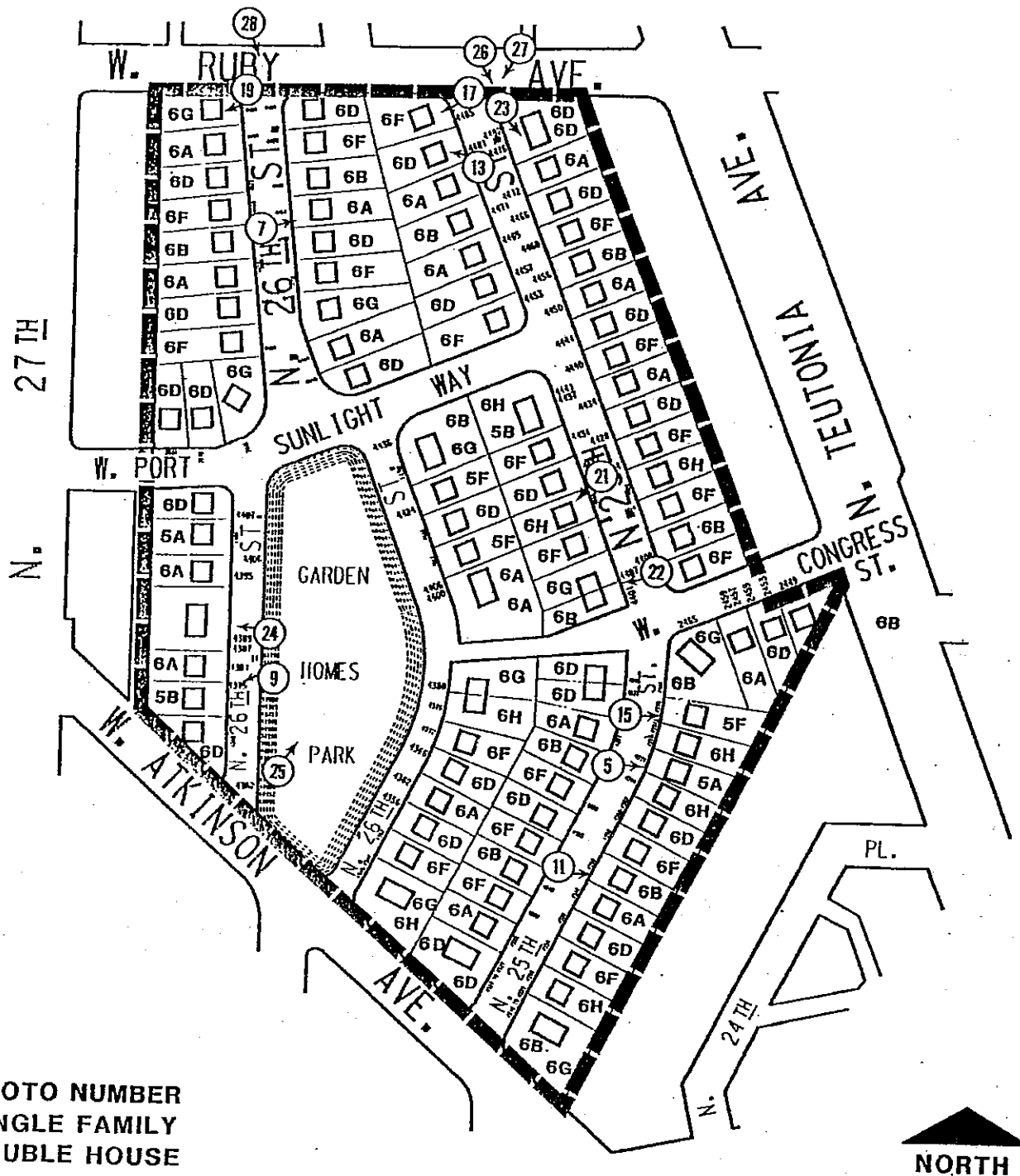
Despite its problems, the Garden Homes Company remained financially solvent. Property taxes and special assessments were paid to the city; loans were repaid in a timely manner to both the city and the county with 5% interest; and the bank loans were repaid with 6% interest.

William Schuchardt, the project's designer, left Milwaukee in 1927 for a teaching position in city planning at Cornell University in New York. He never again was active in Milwaukee public or professional circles. Emil Seidel, the city's first socialist mayor who initially proposed cooperative housing, purchased a Garden Homes cottage at 4431 N. 25th Street in the late 1920s after the development was privatized.

[Editor's note: The Garden Homes Historic District was listed in the National Register of Historic Places and the State Register of Historic Places in 1990 because of its significance in the areas of community planning and development, and its importance to social history.]

*Author Paul Jakubovich is a historic preservation consultant in Milwaukee. ♦*

# GARDEN HOMES HISTORIC DISTRICT



- ① = PHOTO NUMBER
- = SINGLE FAMILY
- ▭ = DOUBLE HOUSE

NUMBER AND LETTER NEXT TO EACH UNIT  
 DENOTES ARCHITECTS MODEL NUMBER DESCRIBED  
 IN DETAIL IN SECTION 7 OF THE NRHP REGISTRATION FORM

105 ORIGINAL UNITS  
 93 ORIGINAL FREESTANDING BUILDINGS















**LOCAL HISTORIC DESIGNATION  
Milwaukee Resident Investor-Owner**

Label: 4362 N. 25th Street  
GH Address  
Owner Name ~~Ms. Mary Gant~~  
~~Mr. James Gant~~  
Mary GANT

I/We SUPPORT Local Historic Designation for my/our investor-property as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Mary Gant Date: 12-18-10  
(Signature)  
Residence: 4362 N 25th Zip: 53209

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4365 N. 25th Street  
GH Address  
Owner Name Ms. Shirley Tribble

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Shirley Tribble Date: 1/5/11  
(Signature)

**Owner-Occupants**

Label: 4440 N. 25th Street  
GH Address  
Owner Name M/M Elton Washington & Bertha Shackelford

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: B. Dill Shackelford Date: 1-13-11  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4344 N. 25th Street  
GH Address  
Owner Name Ms. Irene Besant

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Irene Besant Date: 12-18-2010  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4353 N. 25th Street  
GH Address  
Owner Name Ms. Julia M. Toliver

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Julia M. Toliver Date: 12/18/10  
(Signature)

Label: 4415 N. 25th Street  
GH Address  
Owner Name Ms. Bernadine Gilbert

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Bernadine Gilbert Date: 01-13-11  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4321 N. 25th Street  
GH Address  
Owner Name M/M Joe & Helen Mayo

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Helen Mayo Date: 12/18/2010  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4339 N. 25th Street  
GH Address  
Owner Name M/M Kenneth & Loretta Campbell

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Kenneth & Loretta Campbell Date: 1/6/2011  
(Signature)

Label: 4377 N. 25th Street  
GH Address  
Owner Name Ms. Bernice Love

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Bernice Love Date: 12/17/2010  
(Signature)



**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4444 N. 26th Street  
GH Address: Mr. Dennis R. Edwards, Sr.  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Dennis Edwards Date: 12-18-10  
(Signature)

**Owner-Occupants**

Label: 4458 N. 26th Street  
GH Address: Ms. Mattie Cancer-Shorter  
Owner Name: Wilson

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Mattie M. Cancer (Wilson) Date: 12-17-10  
(Signature)

**Owner-Occupants**

Label: 4462 N. 26th Street  
GH Address: M/M John & Audrey Barton  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: John A. Barton Sr. Date: 1/5/2011  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4352 N. 26th Street  
GH Address: M/M Albert & Vicki Boston  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Vicki Boston Date: 12-18-10  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4362 N. 26th Street  
GH Address: M/M Van & Eunice Abernathy  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Van Abernathy Date: 1-14-11  
(Signature)

**Owner-Occupants**

Label: 4375 N. 26th Street  
GH Address: Mr. Lamarr M. Taylor  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Lamarr Taylor Date: 1/18/21  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4441 N. 25th Street  
GH Address: Mr. William Neal, Jr.  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Wm. Neal Date: 1-5-11  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4457 N. 25th Street  
GH Address: Ms. Willie B. Jackson  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Willie B. Jackson Date: 01/13/2011  
(Signature)

Label: 4477 N. 25th Street  
GH Address: Ms. Tammy B. Cannon  
Owner Name:

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Tammy Cannon Date: 1/14/11  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Milwaukee Resident Investor-Owner**

Label: 4327 N. 25th Street  
GH Address M/M Joe & Helen Mayo  
Owner Name

I/We SUPPORT Local Historic Designation for my/our investor-propriety as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Helen a Mayo Date: 12/18/10  
(Signature)

Residence 4321 N 25th Zip \_\_\_\_\_

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4473 N. 26th Street  
GH Address Rev. B.J. Williams  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: B.J. Williams Date: 12-18-10  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4463 N. 26th Street  
GH Address Ms. Andria Barton  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Andria Barton Date: 1/5/11  
(Signature)

**Owner-Occupants**

Label: 4360 N. 25th Street  
GH Address Ms. Mary Gant  
Owner Name ~~Mr. James Gant~~

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Mary Gant Date: 12-18-10  
(Signature)

Label: 4484 N. 26th Street  
GH Address Mr. John Seymour  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: John H Seymour Date: 12-17-10  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4468 N. 26th Street  
GH Address Mr. Joe Bova  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Joseph Bova Date: 12-17-10  
(Signature)

**Milwaukee Resident Investor-Owner**

Label: 4437 N. 25th Street  
GH Address Mr. William Neal, Jr.  
Owner Name

I/We SUPPORT Local Historic Designation for my/our investor-propriety as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Wm Neal Date: 1-5-11  
(Signature)

Residence 4441 N. 25 Zip 5320

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 2449 W. Congress Street  
GH Address Ms. Jacqueline Dodson  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: Jacqueline Dodson Date: 12-17-10  
(Signature)

**LOCAL HISTORIC DESIGNATION  
Owner-Occupants**

Label: 4469 N. 26th Street  
GH Address M/M Jimmie & Emily Addison  
Owner Name

I/We SUPPORT Local Historic Designation for my/our home as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: J Addison Jr Date: 1/5/11  
(Signature)

**LOCAL HISTORIC DESIGNATION**  
Milwaukee Resident Investor-Owner

Label: 4406 N. 26th Street  
GH Address Mr. Daniel Kleaveland-Kupczak  
Owner Name

I/We SUPPORT Local Historic Designation for my/our investor-property as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: *Daniel Kleaveland Kupczak* Date: 12/30/2011  
(Signature)  
Residence: 3915 N. Danner Ave Zip 53211

**LOCAL HISTORIC DESIGNATION**  
Milwaukee Resident Investor-Owner

Label: 4400 N. 26th Street  
GH Address Mr. Daniel Kleaveland-Kupczak  
Owner Name

I/We SUPPORT Local Historic Designation for my/our investor-property as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: *Daniel Kleaveland Kupczak* Date: 12/30  
(Signature)  
Residence: 3915 N. Danner Ave Zip 532

**LOCAL HISTORIC DESIGNATION**  
Milwaukee Resident Investor-Owner

Label: 4460 N. 25th Street  
GH Address Ms. Ella V. Dunbar  
Owner Name

I/We SUPPORT Local Historic Designation for my/our investor-property as well as for the other homes within the Garden Homes Historic District. I/We understand the advantages and disadvantages of such designation.

I/We DO NOT SUPPORT Local Historic Designation.

Name: *Ella Dunbar* Date: 12/17/10  
(Signature)  
Residence: 7515 N. 39th Miles Zip 53209



GARDEN HOMES  
HISTORIC DISTRICT  
HISTORIC DESIGNATION  
STUDY REPORT  
APRIL 2011

## HISTORIC DESIGNATION STUDY REPORT

### I. NAME

Historic: **Garden Homes Historic District**  
Common Name: **Garden Homes Neighborhood**

### II. LOCATION

The Garden Homes Historic District is located approximately four and one-half miles northwest of the central business district of Milwaukee. It includes buildings in the 4300 and 4400 blocks of N. 25<sup>th</sup> Street, the 4300 and 4400 blocks of N. 26<sup>th</sup> Street and buildings in the 2400 block of W. Congress Street and 2600 block of Port Sunlight Way. It is roughly bounded by W. Ruby Avenue, N. Teutonia Avenue, N. 24<sup>th</sup> Place, W. Atkinson Avenue and N. 27<sup>th</sup> Street

**Legal Description -** See Attached descriptions of the parcels within the district

### III. CLASSIFICATION

District

### IV. OWNER

**Various, see attached**

**ALDERMAN** Ald. Ashanti Hamilton 1<sup>st</sup> Aldermanic District

**NOMINATOR** Garden Homes Neighborhood Association

### V. YEAR BUILT

1921-1923

**ARCHITECT:** William Schuchardt (Numerous Documents)

NOTE: MUCH OF THIS REPORT IS TAKEN DIRECTLY FROM  
THE GARDEN HOMES NATIONAL REGISTER NOMINATION  
AND FROM A SUMMARY PREPARED  
FOR PUBLICATION  
AND LATER PRINTED  
IN THE JULY/ AUGUST 1993 ISSUE  
OF  
WISCONSIN PRESERVATION

### VI. PHYSICAL DESCRIPTION

#### A. Boundaries

Beginning at the southeast corner of the property addressed as 4316-4322 N. 25<sup>th</sup> Street and then northeast along the rear property lines of properties fronting N. 25<sup>th</sup> Street to the north property line of 4378 N. 25<sup>th</sup> Street; then continuing northeast along the rear property lines of properties fronting W. Congress Street; then north along the east property line of 2449 W. Congress Street to the south property line of 4415 N. Teutonia Avenue; then west to the east/rear property line of 4402 N. 25<sup>th</sup> Street; then northwest along the rear property

lines of properties fronting N. 25<sup>th</sup> Street to the south curb line of W. Ruby Avenue; then west along the south curb line of W. Ruby Avenue to the west property line of 4485 N. 26<sup>th</sup> Street; then south along the rear property lines of properties fronting N. 26<sup>th</sup> Street to the north curb line of West Atkinson Avenue; then southeast along the north curb line of W. Atkinson Avenue to the point of beginning.

The Garden Homes development, the nation's first municipally-sponsored, community-owned housing project was built between 1921 and 1923 on approximately 29 acres of flat land located four and one half miles northwest of the city's central business district. Garden Homes is bounded by today's North 27<sup>th</sup> Street, West Ruby Street, North Teutonia Avenue and West Atkinson Avenue. The district, which is laid out in a fan-like subdivision of curving streets, has the character of a small village with two-story, stuccoed cottages located behind small grass lawns on irregularly-shaped lots about 40 by 120 feet in dimension. Of the 93 freestanding buildings contained in the district, 11 were originally built as two-story, two-unit double houses, while the rest were detached, single-family, five- and six-room, two story houses. There were a total of 105 living units. Since the fall of 2010, one single family house and one fire-damaged double house have been demolished leaving a total of 102 living units. An integral part of the subdivision is Garden Homes Park, a broad, boulevard-like green space that separates North 26<sup>th</sup> Street into two roadways between W. Atkinson Avenue and West Port Sunlight Way.

Conceptually, the Garden Homes development appears to have been based primarily on the "garden city" of Letchworth, England, which was begun in 1903 as a major experiment in cooperatively-owned, working class housing set in a carefully planned environment. Originally the streets of the Garden Homes district were named after famous English examples of so-called "garden city" and "garden suburb" planning: Ealing, Hampstead, Port Sunlight, Bourneville, and Letchworth. Garden Homes is now listed in the National Register of Historic Places as a historic district with national significance in the areas of social history as well as community planning and design.

## B. ARCHITECTURAL DESCRIPTION

The Garden Homes Historic District is built-up with simply-composed, rectangular, two-story, front-gabled and side-gabled cottages that local architect William Schuchardt designed in a simplified Colonial Revival style. The major architectural feature used to differentiate the otherwise similar boxy stucco houses from one another is the one-story, covered entry porch that typically is elevated four steps above grade. All of the houses have raised basements constructed of either concrete block (used during construction that took place in the winter) or poured concrete (used during construction in warm weather). The exteriors of the houses were originally clad with cream-colored stucco with green or red asphalt shingle roofs. The modest detailing common to all of the houses included gable returns trimmed with crown molding, six-panel entry doors, six-over-six double-hung windows, and decorative window shutters on all but the rear elevations.

A patented new building material called flaxolinum keyboard sheathing was used as an underlayment for the stucco exteriors. The material is composed of chemically-treated flax straw, seven-eighths-of-an-inch thick, with molded keyways to hold the stucco applied over it. The sheathing was touted as a superior insulator and was a labor-saver compared with the wood lath underlayment traditionally used for stucco.

Another innovative construction feature designed to increase energy efficiency was the use of spruce wood fiber insulation board, one-half inch thick for the interior wall and ceiling sheathing. It was finished with plaster veneer.

Originally the houses were centrally heated with coal/wood-burning basement furnaces that have been gradually replaced over the years with natural gas or oil-fired heating plants.

The houses were built according to nine basic exterior designs which were further varied by reversing the floor plans and/or the addition of a front gable to side-gable models. The principal elevation of each house faces the street on which it is located. According to the architect's original drawings, the three variations of the five-room, two-bedroom model were denoted "5A, 5B, and 5F." The six variations of the six-room, three-bedroom model were simply denoted "6A, 6B, 6D, 6F, 6G, and 6H." A total of seven, five-room cottages were built, and the remainder of the 94 buildings are three-bedroom, six-room cottages. Ten of the 11, two-unit rowhouses were created by simply butting together two standard single family cottage plans. The six-room, three-bedroom models contain about 1,100 square feet and measure approximately 23' x 25' in plan. The smaller five-room, two-bedroom model contains about 950 square feet and measures about 20' x 25' overall in plan.

Most of the cottages have front entries, but two models have side entries and two other models have both front and side entries that each lead to the first floor living room.

Each cottage was built with the same basic floor plan which the architect occasionally used in a reverse form for some cottages. The interior dimensions of a typical six-room cottage measuring 22'6" x 24'6" overall in plan are:

|             |                |
|-------------|----------------|
| Living Room | 19'9" x 12'7"  |
| Dining Room | 11'11" x 11'3" |
| Kitchen     | 10' x 10'      |
| Bedrooms    | 12'6" x 11'8"  |
|             | 11'8" x 10'6"  |
|             | 10'10" x 8'10" |
| Bathroom    | 9' x 7'        |

Each cottage is entered from a prominent front or side porch that opens to the living room, the largest room in the house, which accounts for about half the floor space on the first floor. An L-shaped staircase to the second floor and a closet are located on the side wall of the living room. The two other principal first floor rooms located in the rear half of the cottage are a dining room adjacent to the living room and a kitchen. A side hall in the middle of the cottage that buffers the living room from the kitchen contains steps to the basement and a niche that originally was intended to house an ice box or refrigerator. The second floor rooms, a bathroom, and two or three bedrooms (depending on the model) are reached by means of the L-shaped staircase from the living room and are arranged around a central hall. All of the rooms in the cottages were finished with maple floors.

Over the years various alterations have been made to the exteriors of the houses. These principally have involved changes to the cladding material, the porches, the installation of replacement windows and the construction of rear additions. At a fairly early date, the innovative stucco system used to clad the exterior began to fail and many of the houses are now clad in asbestos, aluminum or vinyl siding. In some cases the addition of siding has resulted in the loss of decorative elements such as the Palladian-like curved molding over the windows on cottage type 6D. Quite a number of the houses have had the open porches enclosed to form a vestibule, a useful feature in a cold climate like Milwaukee where the front door opens directly into the living room. On the houses that originally had two porches off the living room, many have had one removed or else enclosed to form a small room. A few houses have had additions made to the rear. Generally, however, the houses in the district have maintained a fair measure of their original architectural integrity.

Despite cosmetic alterations, all 93 (now 91) original cottages are still recognizable as part of a unified residential district that differs in character from the surrounding neighborhoods. All of

the original cottages are considered contributing structures because collectively they represent the nation's first municipally-sponsored housing cooperative.

## **VII. SIGNIFICANCE**

The Garden Homes Historic District is significant for its design as well as social history. Unlike other historic districts which are grouped by period of development or as a collection of styles that relate to the broader development of American architecture, Garden Homes was designed as a set piece, with the roadways, houses and park all laid out at one time, by one architect and to fulfill an ambitious social goal of having decent affordable housing for the working class residents of Milwaukee. It was also the only development that was municipally sponsored and set up as a cooperative.

The Garden Homes Historic District was listed in the National Register of Historic Places in 1990 because of its national significance in the areas of community planning and development and its local significance to social history in Milwaukee. Research indicates that Garden Homes is historically important as the nation's first municipally-built housing development. It offered each of its working-class tenants an opportunity to purchase equity in the project through a cooperative ownership plan, something not attempted before and quite revolutionary in Milwaukee. In terms of its conception and organization, the district is an interesting example of early twentieth century planning as the first municipally –sponsored housing project of its kind to incorporate the fundamental principles of England's Garden City form of planning, production-line construction techniques, and patented labor-saving materials.

Garden Homes exemplifies the progressive innovation in governmental function for which Wisconsin was known in the early 20<sup>th</sup> century. As the first municipally-built public housing cooperative, Garden Homes forecast a nationwide tradition of providing low-cost, government-backed housing that continues to this day.

This nomination was submitted in response to the loss of the house at 4330 N. 25<sup>th</sup> Street which was demolished by Garden Homes Evangelical Lutheran Church for playspace for its school. It was also submitted as a response to the national foreclosure crisis which has had a negative impact on Garden Homes. A fire-damaged double house was recently demolished when its owner would not relinquish title to the property to the neighborhood association which wanted to have the house repaired. Other vacant houses in the neighborhood, some now owned by the city and initially targeted for demolition, are being evaluated for rehab.

## **VIII. HISTORY**

The late nineteenth and early twentieth centuries saw unprecedented numbers of immigrants pour into the United States. Escape from oppression and the promise of better economic conditions spurred the tide. Many immigrants found work with the burgeoning manufacturing sector, in cities like Milwaukee. The promise of a better future was, many times, an illusion. While the work offered steady employment, wages were often low, leaving families with little disposable income for housing. The great influx of people left severe shortages of affordable, decent, working-class housing. Much like today, greater profits were to be had in building the new neighborhoods for prosperous upper middle and upper income families. The nation's housing problems were addressed as early as the 1890s when Congress held the first hearings on slums and urban blight. Although the hearings created national awareness of housing problems, no federal or local government programs resulted. (A Decent Home. The Report of the President's Committee on Urban Housing. U.S. Government Printing Office, 1969, p. 54)



Between 1913 and 1917 alone, Milwaukee's population increased by 79,000. During the same time period, there was a net increase of only 6,100 dwellings in the city, resulting in an estimated shortage of 7,000 housing units. (Milwaukee Sentinel April 20, 1919)

The development of Garden Homes' small, stuccoed blocks trimmed with Colonial Revival style wooden porches, can trace its origins to the city's stunning 1910 municipal election of the nation's first Socialist mayor, Emil Seidel. One of the planks of the Socialist platform was the construction of city-built, low-cost homes for workers. Seidel told the Milwaukee electorate, "We do not expect to usher in the cooperative commonwealth in one or five years, but we do intend to do all our limited means permit to make Milwaukee a better place to live in." (H. Russell Austin, The Milwaukee Story Milwaukee: The Milwaukee Journal, 1946, p. 170)

Although Seidel failed to make public housing in Milwaukee a reality before his defeat in the 1912 election, the city's second Socialist mayor, Daniel W. Hoan, elected in 1916 succeeded. Mayor Hoan created a housing commission to tackle the city's housing shortage which was worsened by the moratorium on new housing construction during America's involvement in World War I. In September of 1918, the chair of Milwaukee's housing commission, William H. Schuchardt, went to Washington, D.C. in an effort to obtain Federal assistance to construct new public housing in Milwaukee. For the first time in U. S. history, Federal government aid for housing construction was made available to manufacturing centers that could prove that a lack of working-class housing was hindering the production of war materials. Because Milwaukee could not prove such a relationship, the request for Federal aid was denied. Eventually, the Federal government built about 30,000 units of war-time housing—about half of which were only dormitories or barracks—but none was built in Milwaukee and all were sold rather than maintained as public housing. (A Decent Home, p. 54)

A lack of adequate working-class housing became a key community issue in Milwaukee prompting Walter Davidson, vice-president of Milwaukee's Harley-Davidson motorcycle company, to comment in 1920 that "The housing question is one of the most momentous the city has before it." (Milwaukee Journal, March 4, 1920)

After World War I, Milwaukee's housing commission proposed a municipally-sponsored, low-cost cooperative housing project to ease the local housing shortage. Under the commission's plan, called the Garden Homes Project, occupants would not own their homes initially; instead they would purchase housing corporation common stock equal to the value of a house. The tenants would pay for their stock by making a 10% down payment and subsequent monthly payments spread over twenty years. The payments were to cover interest, taxes, upkeep, and other fixed costs. Tenants would also receive life insurance benefits and an annual five per cent cumulative dividend on their equity. The initial cost of the project was to be financed through the sale of preferred stock carrying a 5% per annum cumulative dividend, which would be purchased by city and county governments, and other interested investors. As the occupants of the houses paid on their common stock (only occupants of the houses could hold common stock), the preferred stock would be retired. It was expected that after about 20 years all of the preferred stock would be retired and the property would be wholly owned by the residents who at that time could elect to disband the housing corporation and convert the development to individual ownership. (A Few Facts About Housing, pamphlet published by Milwaukee Housing Commission, ca. 1920, pp. 17-23)

The financing plan was based on a prototype from England where about 60 cooperative housing associations had been established by 1919. (Milwaukee Leader, May 13, 1919) Cooperative housing was promoted by English author Ebenezer Howard whose highly influential book published in 1898, Garden Cities of Tomorrow, was the basis for the plan of Letchworth, England, the first true, totally planned cooperative community.

In 1919 at the urging of Mayor Hoan and his housing commission, legislation was enacted by the State of Wisconsin that for the first time in U. S. history allowed the creation of public housing

corporations. The Garden Homes Company was formally incorporated under this enabling legislation in 1921. (Articles of Organization, Garden Homes Corporation)

Commenting on the new housing legislation in 1919, housing commission member William George Bruce said, "The [Garden Homes] Company itself should be the contractor and every possible element of profit should be squeezed out. This is not a question of charity. It is an investment for the benefit of the entire community." (Milwaukee Journal, March 4, 1920)

The housing corporation's original prospectus stated the following objectives:

1. To promote the economic erection; cooperative ownership and administration of healthful homes.
2. To place said homes in areas platted in accordance with the best ideas of city planning so as to provide the greatest utility as well as healthful conditions and attractive surroundings.
3. To encourage the occupation of modest homes at cost and within the means of those who now cannot acquire and retain their own homes.
4. To avoid the dangers that too frequently accompany the individual ownership of houses and speculative building devoid of public spirit.
5. To harmonize and join the interests of resident and investor by an equitable use of the profit arising from the increase of values and the careful use of property.
6. To provide ample space for playgrounds and recreation for both old and young.
7. To provide an opportunity for intensive gardening under instruction thus maintaining the home in part by this means. (Garden Homes Co. Prospectus)

The Garden Homes project was intended to provide housing for families earning a modest \$1,200 to \$1,500 per year in 1920. (Milwaukee Journal, June 24, 1921)

Raising funds through the sale of preferred stock proved difficult for the housing corporation, delaying construction. Some local politicians were reluctant to appropriate city funds for the plan because they charged it did not guarantee individual ownership of the homes. According to a Milwaukee Sentinel report some opposed the plan because it "hinted something strongly of Sovietism." (Milwaukee Sentinel, September 9, 1920)

Despite the added problem of a downturn in the local economy, the Garden Homes planners proceeded with their project. Start-up financing totaling \$177,300 was secured through the sale of preferred stock. City and county governments made initial investments of \$50,000 each and 38 local business leaders invested a combined total of \$77,300 along with a pledge to eventually invest \$300,000. (Helen Terry, Garden Homes Housing Project, unpublished manuscript written for Milwaukee Municipal Reference Library, 1934, pp. 2-3)

On July 25, 1921, the Garden Homes Corp. purchased for about \$28,000 the 29 acres of farmland known as the Groelling tract on which the development stands today. Mayor Hoan presided over the groundbreaking ceremonies for the project on September 22, 1921. On Wednesday, November 1, 1922, David Harper, the son of the city's building inspector, moved into a cottage located at 4356 North 26<sup>th</sup> Street and became the first occupant of the Garden Homes project. (Milwaukee Journal, November 1, 1922)

There were about 700 applicants for the 105 units that were eventually built. In 1921 Mayor Hoan said that the units would be sold only to individuals who could not otherwise afford a home and it was the job of the Garden Homes board of directors to select the individuals most in need of

housing to live in the project. Applicants who had personal savings in excess of \$1500 were automatically rejected and urged to purchase a home through the private sector.

The 2-story, stuccoed houses in the development were built according to the designs of Milwaukee architect William H. Schuchardt, who donated his professional services and was a member of the Garden Homes board of directors. Schuchardt's designs for the Garden Homes cottages no doubt were influenced by his 1911 visit to garden cities in England and Germany.

Each of the Garden Homes cottages has the same basic floor plan and is architecturally undistinguished, but as an assemblage they comprise a picturesque, working class village with a decidedly European character that is unlike any other residential neighborhood in the city.

The homes were built at a cost of about \$4,500 each, which was about 25% less than the cost of a comparable new house in the city at that time. Costs were cut by using a standardized plan and production line techniques at the building site. The homes were constructed in consecutive order, and each crew of tradesmen progressed from one house to the next, performing virtually the same job each time. Because of the heavy municipal involvement in the project, some city construction equipment was used to further defray costs but not at the expense of delaying regular city projects.

From a purely technical standpoint, Garden Homes is an exercise in American ingenuity. It was not the nation's first example of mass-produced housing but the use of energy and labor-saving materials to reduce costs placed the development far ahead of its time. Of particular note was the use of a patented new material called flaxolinum keyboard sheathing as an underlayment for the exterior stucco. Made of compressed flax straw with molded keyways to hold the stucco applied over it, the material was reportedly first used on the Garden Homes project.

The implementation of such a utopian scheme like Garden Homes did not come about without challenges and criticism but, amazingly, the project was built.

Garden Homes became the focus of intense public debate in the city and was opposed by many business leaders, the local real estate board, and politicians. Some business leaders were irked that Garden Homes construction workers were paid high, union-scale wages at a time when Milwaukee was generally considered a non-union or "open shop town." Others feared that a Socialist success at Garden Homes would bolster the Socialist party platform with the Milwaukee electorate. (Milwaukee Journal, May 25, 1919; Annexation Activities of the City of Milwaukee, unpublished manuscript by Arthur W. Werba, c. 1927, pp. 1-10, City of Milwaukee Legislative Reference Bureau collection)

Shortly after the 105 units in the project were completed and occupied, the development encountered some major difficulties. Because there apparently had not been a suitable location for the project within the city limits, the project planners purchased a site outside Milwaukee with the intention of annexing it to the city. Construction of the project began before the area, partly lying in the Town of Wauwatosa and partly in the Town of Milwaukee, was formally annexed to the city. The two townships subsequently tried to legally block the annexation by filing three separate lawsuits. The legal battles delayed street improvements in the project area for months and long after the first house was occupied the streets were still a muddy quagmire. (Milwaukee Journal, February 20, 1938) The case was of such importance that it eventually reached the Wisconsin Supreme Court, which, on December 7, 1925, upheld the decision of a lower court that the annexation was legal. (Milwaukee Journal, December 8, 1925)

More problems developed in 1925 when the city assessed the project's residents between \$300 and \$750 each for street and storm sewer improvements. The residents angrily protested the assessment claiming misrepresentation of the actual cost of the homes. A few residents moved out in protest. On March 11, 1925, a Milwaukee Journal newspaper article appeared with the title: "Garden Homes Losing Charm, Many Residents Leaving 'Utopia' to Evade Assessment." The article reported that George Altpeter, chief of the city annexation division who lived in the Garden

Homes development from its beginning, said “Seventy-five percent of the inhabitants will pull away and sell their stock if the special assessment is enforced.” (Milwaukee Journal, March 11, 1925)

William H. Schuchardt, the designer of the project and the vice-president of the Garden Homes Corp., expressed his disillusionment with the situation at that time and said “I am through striving to do something helpful for anybody. It is a most thankless job. I have given time and money to the Garden Homes Corporation, and now there is most unwarranted grumbling.” (Milwaukee Journal, March 11, 1925)

Despite the reported widespread dissatisfaction, a vote in March, 1925, showed that Garden Homes’ residents were split over the controversy with 38 in favor of individual ownership of the project’s homes, 32 in favor of continuing the original cooperative ownership plan, and the others unsure. (Milwaukee Journal, March 17, 1925) Later it was reported that many of the Garden Homes residents wanted individual titles to their properties in order to sell them at their appreciated values. The single family houses which had cost about \$4,500 each to build in 1921-1923 were estimated to be worth about double that amount by 1925. (Milwaukee Journal, February 20, 1938)

Responding to the tenants’ demands, in June of 1925 the state legislature enacted the Garden Homes Law Amendment which permitted the sale of the project’s homes instead of leasing them. On Friday, July 17, 1925, the Garden Homes board of directors formally decided to disband the cooperative ownership and convert the project to individual ownership. Tenants were given the opportunity to purchase their homes at prices between \$4,700 and \$5,500.

With the change to individual ownership the Garden Homes Corporation functioned only to sell the housing stock and pay off all loans—a problem-plagued process which took more than ten years.

#### WHAT IS A “GARDEN CITY?”

Garden Homes as its name implies, it is based on the “garden suburb” and “garden city” forms of town planning that developed in England during the late nineteenth century.

As a bold experiment in community planning, the Garden Homes project was a reaction by Milwaukee’s elected Socialist municipal government to the inadequate and crowded living conditions faced by low-income working class city dwellers.

In terms of its planning, Garden Homes is philosophically based on English models of so-called “garden-style” urban planning. In tribute to their predecessors, the Garden Homes designers named the streets of the housing project after the English housing developments that inspired them: Bourneville (1893), Ealing (c. 1881), Hampstead (1905), Port Sunlight (1888) and Letchworth (1903).

One of the earliest writings on city planning that influenced the Garden Homes designers was the 1898 book entitled “Garden Cities of Today,” written by English author Ebenezer Howard. Howard coined the term “garden city,” which he defined as a “town designed for healthy living and industry; of a size that makes possible a full measure of social life, but not larger; surrounded by a rural belt; the whole of the land being in public ownership or held in trust for the community.” (Ebenezer Howard, Garden Cities of Tomorrow, London: Faber and Faber Ltd., 1946 edition, p.26) The principles of city planning that Howard outlined in his book were later applied in 1903 to the building of Letchworth, which was England’s first “garden city.” Letchworth became a model of city planning studied by planners around the world and was highly influential in the planning of Milwaukee’s Garden Homes housing project. Howard’s book proposed a new social system of cooperatively-owned housing developments as well as a new approach for urban design.

Howard was highly critical of traditional city development. His “garden city” concept was not intended to be a suburban development but rather a more livable and productive urban community.

Population was to be limited to the number originally planned for the area. New communities were to be founded as soon as the existing land and houses were fully occupied. To limit the internal growth of the city and stop encroachments from neighboring urban developments, Howard's Garden City concept provided for a permanent belt of open, agricultural land around the perimeter of the community. To further maintain control of the community, ownership and control of the town was vested with the municipality itself. Much of Ebenezer Howard's work was based on the English "garden" concept of town planning which began to take shape during the middle of the nineteenth century as a reaction by social reformers against the planless and squalid working-class industrial towns that were built during the early years of the Industrial Revolution. The English garden developments represented a new vision of working-class life in a planned, controlled environment combining the advantages of town and country, but set in an essentially rural environment. The early "garden" developments, which were similar in many respects to Milwaukee's Garden Homes project, were characterized by two-story, detached and semi-detached houses located on spacious lots landscaped with grass lawns and gardens. Streets were often laid out in a curvilinear plan to respect the native trees and the natural contours of the land. A park was often an integral part of the garden developments.

Early developments in England tended to be more company towns with the employer leasing the buildings they constructed to those who worked in their plants. Later developments for the working class were constructed by the government or private housing cooperatives. The English housing developments for which the other streets in the Garden Homes project were named (Bourneville, Port Sunlight, Ealing, and Hampstead) were among the most successful and most studied examples of the co-called "garden" concept of city planning. A pamphlet published in 1922 to promote Garden Homes idealized the English developments stating, "Nowhere in Milwaukee are there such charming localities as Port Sunlight, Bourneville, Letchworth, and Hamstead Gardens." (A Few Facts About Housing, p. 17)

Among the features of these developments that were incorporated into Milwaukee's Garden Homes and make it unique in America are: the concept of cooperative ownership, the boulevard-like park on North 26<sup>th</sup> Street (originally the south traffic lane was called Letchworth Place) that divides the roadway into separate zones; a limit to the number of houses constructed; cottages designed as two-story detached and semi-detached dwellings and related by similar architectural design; separation, at least initially, from the rest of the city by open agricultural land; streets laid out in a curvilinear plan.

The ideals of the English Garden City movement overlapped with those of the City Beautiful movement in America, which began during the Chicago World's fair of 1893 and addressed the problems of haphazard city development. American interest in Howard's ideas led in 1906 to the creation of the Garden Cities Association of America. The group drew tentative plans for the construction of a series of garden communities to house 375 families in Long Island, Connecticut, New Jersey, Pennsylvania, and Virginia, but not a single house was ever constructed. Although the association published a journal, The Village, it never garnered widespread support and was dissolved in 1921. (Daniel Schaffer, Garden Cities for America, Philadelphia, Temple University Press, 1982, p.149)

Milwaukee's Garden Homes housing project built in 1921-1923 has been virtually ignored in historical accounts of the American Garden City movement. Many historians regard Radburn, New Jersey, begun in 1928 as the first American Garden City. (Carol A. Christensen, The American Garden City and the New Towns Movement, Ann Arbor, Michigan, U. MI. Research Press, 1986, p.2) Radburn, with its 1,500 residents and approximately 960 dwellings, was larger than Garden Homes and included an impressive inventory of facilities for residents including two swimming pools, five basketball courts, and two summer houses. Unlike Garden Homes, Radburn was never a cooperative, and thus it lacked an important feature of Howard's Garden City plan.

Garden homes was apparently America's first and last major experiment in municipally-built cooperative housing, earning it a unique place in the history of American public housing. From its

beginning, Garden Homes was described as a municipal project. Referring to Garden Homes, Milwaukee Mayor Daniel W. Hoan, under whose administration the project was built, wrote in 1936 that "Milwaukee was the first city in the United States to sponsor a municipal and cooperative venture to build as a demonstration over one hundred individual homes." Mayor Hoan tried to stimulate national interest in cooperative housing. He was a key figure on the National Committee on Cooperative Housing which made a recommendation to Congress in 1922 to seriously consider cooperative housing similar to the Garden Homes project to alleviate low-income housing shortages. The recommendation apparently had little effect.

## THE AFTERMATH

On July 27, 1925 the Garden Homes board of directors voted to dissolve the cooperative venture and turn the properties over to the tenants who held the common stock. After purchasing their homes, many residents went on to sell them to new owners. By the late 1930's only about 40% of the original tenants still lived in the subdivision. Despite its problems, the Garden Homes Co. always remained financially solvent. Property taxes and special assessments were always paid to the city. Loans were repaid in a timely manner to both the city and county with 5% interest, and the bank loans were repaid with 6% interest. (Milwaukee Journal, February 20, 1938) William Schuchardt, the project's designer, left Milwaukee in 1927 for a teaching position in city planning at Cornell University in New York. He never again was active in Milwaukee public or private circles. Emil Seidel, the city's first Socialist mayor who initially proposed cooperative housing, purchased a Garden Homes cottage at 4431 North 25<sup>th</sup> Street in the late 1920s after the development was privatized.

The city of Milwaukee annexed more land, 229 acres, than what was represented by the Garden Homes development. It is known that Garden Homes was to be expanded beyond what was built between 1921 and 1923. Financial (lack of further investment by the business community), political (backlash against socialist policies) and social challenges (residents wanting to benefit from increased property values), all played a roll in ending the grand experiment in Garden City design. Even the street names were changed in the late 1920s. The colorful references to the English Garden cities, like Bourneville and Letchworth and Hampstead, vanished and substituted with the more prosaic 25<sup>th</sup> Street, 26<sup>th</sup> Street and so on. Only Port Sunlight remains.

It was not until the Great depression in the 1930s that widespread national interest in public housing revived, although a few low-rent apartment buildings had been constructed by the City of New York during the late 1920s. Cooperative housing was apparently never seriously considered during the embryonic period of American public housing policy in the early 1930s. in 1934 a program of direct Federal construction of low-rent housing projects, primarily in slum areas, resulted in about 60 new projects being built across the nation. This program ran into local opposition and was reworked into the Public Housing Program by the passage of the United States Housing Act of 1937, which more or less forms the basis of the current system of U.S. public housing. There was no public involvement in building housing in Milwaukee after the Garden Homes project until 1936, when the Federal government built and operated Parklawn, a cluster of low-rent apartment buildings on the city's northwest side. Now operated by the Housing Authority of the City of Milwaukee, Parklawn is an early example of the type of public housing projects built throughout the country since the 1930s that were intended to be operated by local governments with Federal subsidies.

Milwaukee's progressive housing practices, exemplified by Garden Homes, were instrumental in attracting the favorable attention of the Federal Resettlement Administration, which selected Milwaukee as one of four cities out of a field of 52 nationwide in which to develop a large, suburban, experimental, greenbelt, new town project during the late 1930s. Built at a cost of about \$10 million this vast project, known as Greendale, created a carefully planned new community in suburban Milwaukee that incorporated Garden City design concepts, standardized plans, and mass production construction techniques. Unlike Garden Homes, of course, Greendale is a model town that features a large residential district, a business center, school districts, churches, and police and

fire stations. In selecting the Milwaukee area for the project, the Federal government stated that, "Milwaukee was outstanding by virtue of its very efficient planning department." (Edward Kerstein, Milwaukee's All American Mayor, Englewood Cliffs, NJ: Prentice Hall, Inc., pp. 115-116)

What was left of the utopian vision in Milwaukee was a neighborhood, conceived from scratch that is distinctive to this day. In terms of its overall design, Garden Homes represents an outstanding solution to the problem of providing economical, functional and aesthetically-pleasing moderate-income housing. The houses are not individually outstanding architecturally but as an assemblage they comprise a picturesque, working-class village with a decidedly European character that is unlike any other residential neighborhood in the city. Although all of the cottages have the same basic floor plan and were site built using a mass production approach, Garden Homes nevertheless manages to be an architecturally-interesting project with exteriors that were deftly and economically varied to avoid a banal, institutional appearance. One need only to compare the project to recent developments in the city to see how architect Schuchardt provided enough variation to create a lively and distinctive development. Interestingly, Schuchardt followed the model of other garden cities architects when designing Garden Homes. In England, architects were looking back to English vernacular architecture as the basis for their designs rather than high style European models based on classicism. Similarly, Schuchardt was looking back to American roots, the quintessential American style, a simplified Colonial Revival, as the foundation for his designs.

## ALTERATIONS

With the conversion to private ownership, the houses of Garden Homes began to experience changes as owners sought to customize their appearance, deal with premature stucco failure, create sheltered entrances, and make repairs that were not always sympathetic to the original appearance. Many have added garages, approached by side drives as there were no alleys in the development. Sometimes rear additions or decorative fireplaces were built. It is important to note that these changes have not taken away from the importance of Garden Homes' significance. The houses, the site plan, central park and street layout still remain as a testament to an enlightened socially conscious and socially ambitious project.

## RECENT EVENTS

The recent recession has impacted the housing in Garden Homes as well as decline in owner occupancy. There are some foreclosed properties. Some houses are not foreclosed but have been boarded up. Another suffered from fire damage and the owner worked on repairs. Wanting to provide playground space for its student population, Garden Homes Evangelical Lutheran Church has begun buying up properties in Garden Homes with the intent of demolishing the houses. The church did demolish 4330 N. 25<sup>th</sup> Street in October, 2010 after attempts at local historic designation failed. Another fire damaged doublehouse at 4387-4389 N. 26<sup>th</sup> Street was demolished on February 23, 2011. Up to this point, Garden Homes has remained amazingly intact. Neighborhood residents have banded together to tackle the problems presented by the economy and disinvestment on the part of some owners. They are currently seeking ways to have houses repaired and lived in by owner-occupants and this is rekindling the sense of community that was once part of the foundation of the development. The preservation of Garden Homes is critical for retaining National Register status and its accompanying tax credit incentives, and for possibly achieving National Historic Landmark status, which could open other avenues for funding projects.

## THE ARCHITECT

William H. Schuchardt, the designer of the cottages in the Garden Homes Housing project, was a well-known Milwaukee architect and industrialist during the first quarter of the twentieth century. William Schuchardt and his twin brother, Carl W., were born in Milwaukee on April 28, 1874. Their mother, Rosalie (Winkler), was a Milwaukee native, and their father, Louis, was a German immigrant who worked for an uncle's banking firm in New York City (Schuchardt and Gebhardt) before coming to Milwaukee. Louis later worked for more than forty years as an

accountant/auditing clerk for Milwaukee's Northwestern Mutual Life Insurance Company. (William George Bruce, History of Milwaukee, Vol. III Chicago: S.J. Clarke publishing Co., 1922 p.767) The Schuchardt family lived for many years on the city's near north side at 324 West Cherry Street (razed) before moving in 1893 to a Queen Anne-style frame house that is still standing at 941 North 29<sup>th</sup> Street. William also had another brother, Rudolph F.

William Schuchardt attended city public schools, and later studied at the University of Wisconsin in Madison between 1891 and 1893. He finished his college studies in architecture at Cornell University in Ithaca, New York, graduating with a bachelor's degree in 1895. After college, Schuchardt traveled throughout Europe for about a year and visited England, France, Germany, Italy and Spain. Returning to America in 1896, Schuchardt worked briefly as a draftsman for Richard E. Schmidt in Chicago. (American Architects Directory, New York: R. R. Bowker Co., 1955, p. 492) In 1897 Schuchardt worked as a draftsman for the well-known Milwaukee architect Alexander Eschweiler. During the early years of his career Schuchardt lived with his family at 941 North 29th Street. In 1898 the Milwaukee City Directory lists Schuchardt as an architect, although it is known that he primarily worked at that time in Philadelphia for the architectural firm of Cope and Stewardson. (American Architects Directory p. 492) His design work from that date remains unknown. In 1900 Schuchardt apparently returned to Milwaukee and worked as a draftsman for architect Elmer Grey. The following year Schuchardt formed a partnership with the established Milwaukee society architect, Howland Russel. Their office was located in the 300 block of East Mason Street in the city's central business district (razed). Schuchardt's name disappeared from the 1902 and 1903 City Directories, and it is believed that during those years he had returned to the East Coast to work for several different architectural firms. Returning to Milwaukee in 1904, Schuchardt opened his own architectural practice in Room 716 of the Goldsmith Building, which was located on the southwest corner of West Wisconsin Avenue and North Jefferson Street (razed). During this period he designed many expensive residences in the period revival styles popular at that time including: the Loyal Durand residence (1906) located at 2212 North Lake Drive; the Augustus F. Chapman residence (1907) located at 2426 North Terrace Avenue; the Howard Greene residence (1907) located at 2025 North Lake Drive; and the Heilbrouner residence (1908) located at 2950 North Shepard Avenue. (Milwaukee Building Permits) In 1909 Schuchardt moved his office to 734 North Jefferson Street in the city's central business district (razed). Schuchardt married Gertrude Nunnemacher on November 1, 1911, and he subsequently moved out of the family house in 1912 and into a large Colonial Revival-style house built in 1890 that is still standing at 930 East Knapp Street. He then moved his offices to Jefferson Street.

One of the largest buildings Schuchardt designed in the Milwaukee area is the Neo-Gothic-style Redeemer Lutheran Church, 1905 West Wisconsin Avenue, constructed in 1915. That same year Schuchardt formed a partnership with Walter W. Judell. An example of the partnership's design work is the Harrison Green residence (1917) located at 2671 North Wahl Avenue. In 1917 the firm moved back to 734 N. water Street in the city's central business district. The onset of America's involvement in World War I marked a turning point in Schuchardt's career. Building construction came to an abrupt halt in Milwaukee as the nation concentrated on the production of goods for the war effort. With little architectural work available, in June of 1918, Schuchardt took a job as the Vice-President, Secretary, and General Manager of Pelton Steel Co., a south side Milwaukee steel casting firm that employed about 200 workers in the production of military-related goods. (Bruce Vol. III, p. 767) in addition to his position at Pelton Steel, between 1919 and 1921 Schuchardt served as Secretary-Treasurer of the Western Iron Stores Co. located at 555 North Plankinton Avenue (razed). Schuchardt's partnership with Judell was apparently dissolved after they designed the Theodore F. Vogel residence in 1919 which is located at 2219 North Lake Drive. Around 1918 Schuchardt also began to assume duties on a public housing commission created by Milwaukee Mayor Daniel W. Hoan to study the city's working-class housing shortage, a condition that was worsened by the World War I construction lull.

Schuchardt was a staunch supporter of cooperatively-owned or so-called co-partnership housing. Writing in an annual Milwaukee building inspector's report published about 1910 Schuchardt stated, "Co-partnership housing has come to stay in Europe because it offers the wage earners a better



bargain than any other scheme yet proposed. Co-partnership housing in Europe is a success, and labor leaders, philanthropists, and employers look forward confidently to a time when tenements and ugly monotonous workingmen's districts will be considered convincing evidence of barbarism. The remarkable results achieved by these co-partnership housing corporations hold a clear and unevadable challenge to us in America, Will we accept the challenge or confess ourselves unequal to the task? What will we in Milwaukee do about it? Have we adequate vision, have we sufficient initiative and the desire for better things or will we be content to merely muddle along?" (A Few Facts About Housing p. 14) Schuchardt's interest in cooperative housing dates to at least 1911 when he made a trip to England and Germany to study several housing cooperatives based on the planning principles advocated by Ebenezer Howard in his 1898 book, Garden Cities of Tomorrow. Schuchardt's European trip undoubtedly influenced his earliest-known design work for a Garden City-type development, an entry that was submitted in 1913 to the City Club of Chicago's international competition to address inadequacies in residential land use planning. (Alfred Yeomans, City Residential Land Development Chicago: University of Chicago Press, 1916)

Schuchardt was one of the key figures in the development of the Garden Homes Housing Project in Milwaukee, the nation's first municipally-sponsored, cooperatively-owned housing development. In 1921 Schuchardt designed the nine basic cottage prototypes that comprise the 93-building Garden Homes Housing Project, which was built between 1921 and 1923. Schuchardt became president of the board of directors of the Garden Homes Co., which was created by state legislation to oversee the administration of the housing project.

Schuchardt was a civic-minded individual who also served in Milwaukee as secretary of the Columbia Hospital Board of Directors, and as a trustee of the former Milwaukee Downer College between 1912 and 1925. An avid art collector, Schuchardt was a director of Milwaukee's Layton Art Gallery (defunct) between 1915 and 1925, and the Milwaukee Art Institute (razed) from 1910 to 1925. In memory of his wife, Gertrude, who died in 1919, Schuchardt donated to the Milwaukee Art Institute his collection of etchings that included works by major artists such as Rembrandt, Millet, Corot, Whistler, and Durer. (Bruce p. 768) This collection has since passed to the successor institution, the Milwaukee Art Museum. In 1923 the widowed Schuchardt moved out of the large house at 930 East Knapp Street and back to the family home at 941 North 29<sup>th</sup> Street with his mother, Rosalie. By 1924 Schuchardt had left his job with Pelton Steel to become the vice-president of Durant Manufacturing Co., a builder of counting machines located at 1929 North Buffum Street. In that same year Schuchardt was appointed by the Common Council to the Milwaukee Public Land Commission, of which he became president.

In 1925 Schuchardt's dream of a model cooperative housing project was shattered when dissatisfied Garden Homes' residents demanded and won individual ownership of their houses. Responding to criticism of the project, Schuchardt was quoted as saying "I am through trying to do something helpful for anybody." Two years later in 1927 at the age of 53, Schuchardt left Milwaukee and was never again active in Milwaukee public or professional circles. His mother, Rosalie, went to live with another son, Carl W., who lived at 3508 North Prospect Avenue in suburban Shorewood, and the family house at 941 North 29<sup>th</sup> Street was apparently sold. (Milwaukee city directories)

After leaving Milwaukee, Schuchardt became a Professor of City Planning at his alma mater, Cornell University and headed up the regional and city planning department at the college. Nine years after the death of his first wife, Schuchardt married Mildred Fraser on Nov. 17, 1928. By 1929 he had moved to Southern California where he worked with architects David Allison and Sumner Spaulding for about 12 years. Schuchardt served on the Los Angeles City Plan Commission between 1938 and 1948, and he was on the Board of Governors of the Los Angeles County Museum between 1944 and at least 1955. He was elected honorary member of the American Institute of Planners in 1949. Schuchardt died at the age of 84 on Thursday, April 17, 1958. His last known home address was in Arcadia, California, an eastern suburb of Los Angeles. (American Architects Directory p. 492; Who Was Who in America, Vol. 3 Chicago: A. H. Marquis Co., 1960 p. 764; Milwaukee Journal, April 18, 1958, p. 2 part 2)

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## **IX. STAFF RECOMMENDATION**

Staff recommends that Garden Homes be given historic designation as a City of Milwaukee Historic District as a result of its fulfillment of criteria e-1, e-3, e-4, e-6, e-7, and e-9 of the Historic Preservation Ordinance, Section 320-21 of the Milwaukee Code of Ordinances.

**e-1. Its exemplification of the development of the cultural, economic, social, or historic heritage of the City of Milwaukee, State of Wisconsin, or of the United States.**

Rationale: Unlike other historic districts which are grouped by period of development or as a collection of styles that relate to the broader development of American architecture, Garden Homes was designed as a set piece, with the roadways, houses and park all laid out at one time, by one architect and to fulfill an ambitious social goal of having decent affordable housing for the working class residents of Milwaukee. It was also the only planned development that was municipally sponsored and set up as a cooperative.

Garden Homes exemplifies the progressive innovation in governmental function for which Wisconsin was known in the early 20<sup>th</sup> century. As the first municipally-built public housing cooperative, Garden Homes began a nationwide tradition of providing low-cost, government-backed housing that continues to this day. In addition to the creative cooperative package, Garden Homes aimed to curb urban blight and enhance the quality of city life by giving city government more control over long-term planning and maintenance of neighborhoods. Living units were to have adequate light and air and the location of the development had to be healthful for the tenants. It was intended for the city to be involved for at least twenty years or until each resident had accumulated stock equal to the value of his or her house. The project was to be a model for future development although that did not occur.

The proposed local Garden Homes Historic District has already been listed in the National Register of Historic Places in 1990 because of its national significance in the areas of community planning and development and its local significance to social history in Milwaukee. Research indicates that Garden Homes is historically important as the nation's first municipally-built housing development. It offered each of its working-class tenants an opportunity to purchase equity in the project through a cooperative ownership plan, something not attempted before and quite revolutionary in Milwaukee and the country. In terms of its conception and organization, the district is an interesting example of early twentieth century planning as the first municipally-sponsored housing project of its kind to incorporate the fundamental principles of England's Garden City form of planning, production-line construction techniques, and patented labor-saving materials. It predates Radburn, New Jersey, begun in 1928, that is often considered as America's first Garden City.

National Historic Landmark status, the top level of national designation, is being explored at the present time because Garden Homes occupies such a unique place in the development of publicly sponsored housing in the United States.

**e-3 Its identification with a person or persons who significantly contributed to the culture and development of the city of Milwaukee.**

Rationale: The proposed Garden Homes Historic District is a major accomplishment of the administration of Milwaukee's Socialist Mayor Daniel Hoan. The grouping of buildings, still mostly intact after all these decades, is the physical embodiment of the city's so-called "sewer socialists" whose goals were to improve the lives of the city's residents rather than impose a rigid political ideology. Assisting the lives of the working class who could not attain the American dream, despite all their hard efforts, was a major goal of Mayor Hoan. Hoan steered Milwaukee clear of many of the problems other major cities encountered during the Great Depression and was known throughout the country for his progressive leadership.

e-4 **Its portrayal of the environment of a group of people in an era of history characterized by a distinctive architectural style.**

Rationale: The proposed Garden Homes Historic District was developed as a set piece, conceived, designed and constructed as a whole with each house an important component. All of the houses were clad originally in the same material but had a variety of window groupings, porches and roofs that added interest to the Colonial Revival style of each. The recent loss of two buildings, 4330 N. 25<sup>th</sup> Street in October 2010 and 4387-4389 N. 26<sup>th</sup> Street (a doublehouse) on February 23, 2011, does not diminish the importance of the district.

e-6. **Its identification as the work of an artist, architect, craftsperson or master builder whose individual works have influenced the development of the city of Milwaukee, state of Wisconsin, or of the United States.**

Rationale: Architect William Schuchardt was an outstanding architect of his time in Milwaukee. He studied at Cornell University and was trained through work at a number of architectural offices not only here but in other cities. Among his architectural commissions are the Loyal Durand residence (1906) located at 2212 N. Lake Drive, the Augustus F. Chapman residence (1907) located at 2426 North Terrace Avenue, the Grant Fitch house on Prospect Avenue, the Fred Vogel house on Lake Drive and the Harrison Green Residence (1917) located at 2671 North Wahl Avenue.

In addition to designing for Milwaukee's socially connected, Schuchardt was also interested in public service and the role that architecture and planning could play in the lives of city residents. His leadership of various manufacturing concerns gave him credibility among the city's governmental leaders as well. He served on the board of Columbia Hospital, the Layton School of Art, the Milwaukee Art Institute, the Layton Art Gallery and Downer College. He also served on Milwaukee's housing and land commissions. His work on the design of Garden Homes was done without fee, and reflected his interest in cooperative housing and his belief that even modest houses could be well-designed and affordable. His efforts could be seen in Milwaukee's zoning efforts, lakefront planning and street planning in Milwaukee in the 1920s. His obituary indicates that Schuchardt established a national reputation as a city planner. Schuchardt went on to teach at Cornell University, head up regional planning there and then served on the Los Angeles City Plan Commission in his later years.

e-7 **Its embodiment of elements of architectural design, detail, materials, or craftsmanship which represent a significant architectural innovation.**

Rationale: The proposed Garden Homes Historic District was far ahead of its time in the utilization of energy and labor-saving materials to reduce construction and operating costs. Of particular interest was the use of a patented new material called flaxolinum keyboard sheathing as an underlayment for the exterior stucco. Made of flax straw, with molded keyways to hold the stucco applied over it, the material was apparently first used on the Garden Homes project. It was significant in that it served as both lath and insulation and was installed in large panels, thus speeding construction time over the conventional wood stick lath and stucco technology used at the time. The material is apparently no longer made but is remarkably similar to a modern sheathing material with the trade name "graylite," which is commonly used in residential construction. Flaxolinum or improper installation, or both, might have been responsible for the delamination of the stucco on some of the cottages within a few decades after completion.

The interior walls and ceilings were sheathed with another new, energy and labor saving material called spruce wood fiber insulation board, one-half-inch thick, which was finished with a skim coat of plaster veneer. This technique is similar to the present system of gypsum board finished with plaster veneer that was introduced during the late 1930s.

- e-9. **Its unique location as a singular physical characteristic, which represents an established and familiar visual feature of a neighborhood, community or the city of Milwaukee.**

Rationale: The proposed Garden Homes Historic District is a development that stands out from the neighborhoods that adjoin it because it is centered around a park, features winding streets and has a consistency of scale, setback and design that set it off. Its presence has given an identity to the area in which it is located and has led to the naming of an adjacent church, Garden Homes Evangelical Lutheran Church and Garden Homes Elementary School.

## **X. PRESERVATION GUIDELINES**

Any exterior alteration, exclusive of painting, will require a Certificate of Appropriateness. Any existing exterior features can remain. The historic designation does not mean that owners are required to restore their buildings to original condition, but that when major changes are made, such as the installation of new siding, windows, doors and porches, that they are compatible with the original designs of the houses.

The following preservation guidelines represent the principal concerns of the Historic Preservation Commission regarding this historic designation. However, the Commission reserves the right to make final decisions based upon particular design submissions. Building maintenance and restoration must follow accepted preservation practices as outlined below. The intent of the guidelines are to preserve the houses as closely as possible to their original form and details and to preserve the Garden Homes Park so that they remain contributing features to the Garden Homes National Register historic district.

### **A. Roofs**

Retain the roof shape. Skylights are discouraged but may be added to the rear roof slope if they are not visible from the street or public right of way. Existing skylights may

remain in place but in the event of re-roofing, any front skylights should be removed and the roof restored to its original shape and appearance.

No major changes can be made to the roof shape of the houses, which would alter the building height, roofline or pitch. Locate mechanical systems and vents on the rear slope of the roof which is not visible from the public right of way and paint them out to minimize impact.

The construction of new dormers or other rooftop features, addition of skylights, solar panels and satellite dishes, and re-roofing require review by Historic Preservation staff and a Certificate of Appropriateness. A satellite dish or solar panels, if installed, must be reviewed by HPC staff, and must be located on the rear half of the roofs or on the side of the house as far to the rear as possible. Retain the existing original chimneys if possible. No rooftop construction is allowed, as this would compromise the appearance of the house.

## B. Materials

### 1. Masonry

- a. Covering original masonry with other materials (wood, sheet metal, vinyl siding, etc.) is not allowed. The only masonry on an original Garden Homes house was the raised foundation, typically poured concrete or concrete block, and the brick chimney.
- b. Repoint defective mortar in chimney and foundation by duplicating the original in color, hardness, texture, joint finish and joint width. See the masonry chapters in the books, As Good As New or Good For Business for explanations on why the use of a proper mortar mix is crucial to making lasting repairs that will not contribute to new deterioration of the masonry. Replaced mortar joints should be tooled to match the style of the original. Do not use mortar colors and pointing styles that were unavailable or were not used when the building was constructed. Consultation with Historic Preservation staff and a Certificate of Appropriateness is required before starting any repointing.
- c. Clean masonry only when necessary to halt deterioration and with the gentlest method possible. Sandblasting or high pressure water blasting or the use of other abrasive materials (soda, nut shells, etc.) on brick and concrete surfaces is prohibited. This method of cleaning erodes the surface of the material and accelerates deterioration. Do not use chemical products that could have an adverse reaction with the masonry materials. Work should be done by experienced individuals. Consultation with Historic Preservation staff and a Certificate of Appropriateness is required before any cleaning would begin.
- d. Repair or replace deteriorated masonry with new material that duplicates the old as closely as possible. Do not use new material that is inappropriate for the time period when the building was constructed. Consultation with Historic Preservation staff and a Certificate of Appropriateness is required before attempting work on the masonry.

- e. Retain and repair existing stucco cladding. Existing substitute siding, that was applied before the local historic district was created, may remain. If there is a request to replace it in the future, staff will work on helping the owner with installing the appropriate new stucco cladding. If small areas of existing substitute siding are damaged, they may be replaced with new, matching substitute siding. In the event all the substitute siding is removed, then the guidelines would be to install new stucco siding to generally match the original finish.

## 2. Wood/Metal

- a. Retain original material, whenever possible. Do not remove architectural features such as original porches and windows that are essential to maintaining the building's character and appearance. Owners should repair original materials rather than completely remove and replace them. This is often an economical way to go.
- b. Retain or replace deteriorated material with new material that duplicates the appearance of the old as closely as possible. In the Garden Homes Historic District, the front porches are essential to the character of each house. Many of the front porches have been altered from the originals. They may remain. If a new front porch were to be built it should follow the original plans. Do not cover any original architectural features with new materials that do not duplicate the appearance of the original materials. Covering wood or metal with aluminum or vinyl or other substitute material is not permitted although the existing aluminum or vinyl or other substitute siding may be retained. In the event the siding is removed, however, the original stucco finish should be restored.
- c. Ornamental wood details, such as gable returns at the roof, must be retained. Any new elements must replicate the pattern, dimension, and spacing of the original as shown in the original construction plans.

## C. Windows and Doors

- 1. Retain original window and door openings as they are essential to the architectural character of the house. Retain the existing configuration of panes, sash, surrounds and sills, except as necessary to restore to the original condition. Do not make additional openings or changes to existing window or door openings by making them larger or smaller to fit new stock window sash or new stock door sizes. Do not change the size or configuration of the original windowpanes or sash. Use storm windows or protective glazing which have glazing configurations similar to the prime windows and which obscure the prime windows as little as possible. New windows and even patio doors can be installed on the rear elevation where they are not visible from the street, and review of these changes is on a case-by-case basis.
- 2. Respect the building's stylistic period. If the replacement of doors or window sash is necessary, the replacement should duplicate the appearance and design and material of the original window sash or door. New glass must match the size of the historic glass. Inappropriate sash and door replacements are not allowed. Do not fill in or cover openings

with inappropriate materials such as glass block or concrete block. Existing glass block windows may be retained, but in the event windows are changed, they should be made of wood, match the originals and be fitted with a wood combination storm/screen. Glass block windows may be installed in basement windows on the rear of the house. Do not use modern style window units, such as horizontal sliding sash or casements, in place of double-hung sash or the substitution of units with glazing configurations not appropriate to the style of the building.

Vinyl, vinyl clad, metal, and metal-clad or fiberglass prime window units are not permitted. If new windows are required, replacements will be of wood and match the six-over-six style of the originals. Original doors featured six panels. If the original front door is still extant, every effort should be made to preserve it. If that is not possible, then replacement doors should match the original six panel design and fit into the original opening. The same applies to the side entrances. Any changes to doors and windows, including installation of new doors and windows, require consultation with Historic Preservation staff and a Certificate of Appropriateness.

3. Steel bar security doors and window guards for basement windows are permitted but their design must be simple in nature and generally reflect the guidelines on page 79 of Living with History. Bars may also be installed on the rear windows of a house. A Certificate of Appropriateness is required for this type of installation.

D. Trim and Ornamentation

There should be no changes to the existing historic trim or ornamentation except as necessary to restore the building to its original condition. Replacement features must match the original member in scale, design, color and appearance. Consultation with Historic Preservation staff is required before any changes or repairs are made to the building.

E. Additions

No additions will be permitted on the front or sides of the houses as this would destroy the character defining features of the buildings. Any other addition requires the approval of the Commission. Ideally an addition should either compliment or have a neutral effect upon the historic character of the building. Approval shall be based upon the addition's design compatibility with the building in terms of window size and placement, building height, roof configuration, scale, design, color, and materials, and the degree to which it visually intrudes upon the principal elevations or is visible from the public right of way. Additions must be smaller than the building and not obscure the historic building.

F. Signs/Exterior Lighting

The installation of any permanent exterior sign or light fixture on the front elevation requires the approval of the Commission. Approval will be based on the compatibility of the proposed sign or light with the historic and architectural character of the building. Consultation with Historic Preservation staff is required to assist in the selection of exterior fixtures. Plastic internally illuminated box signs are not permitted. There are many types of light fixtures appropriate for Garden



Homes. Historic Preservation staff can provide examples.

G. Site Features

New plant materials, paving, fencing, or accessory structures (garden sheds, storage sheds, and gazebos) shall be compatible with the historic architectural character of the district and requires a Certificate of Appropriateness. Any raised, rear deck installation requires a Certificate of Appropriateness. Current rear structures and accessory buildings may remain but their replacement will require consultation with Historic Preservation staff and a Certificate of Appropriateness. The installation of retaining walls along the front of the property is not allowed. Existing fencing may remain. If replacement is considered, new fencing will follow the examples in Living With History and As Good As New. Any new driveway may be replaced in kind with concrete or asphalt. Any changes to the location of the drive will require consultation with Historic Preservation staff and a Certificate of Appropriateness. New garages may be constructed at the rear and must be generally compatible with the overall design of the house. The garage does not have to be stucco clad and the installation of smooth cement board siding is allowed. Consultation with Historic Preservation staff is required before starting any work that would involve the landscape features, the position of the driveway and service walks and new construction.

Garden Homes Park is a central feature of the Garden Homes Historic District. The open green space was designed to be a communal area for recreation and relaxation and was the focal point around which the development was designed. Its retention as a green space is essential. No residential, commercial, religious or other construction is permitted. Small structures associated with parks such as playground equipment are permitted. The planting of trees and flower gardens is consistent with the green space concept of the garden city movement upon which Garden Homes was based. Signage is also allowed and requires a Certificate of Appropriateness.

H. Guidelines for New Construction

It is important that new construction be designed to be as sympathetic as possible with the character of the structures in the district. Small-scale accessory structures, like a gazebo or fountain, are generally permitted in the rear yards depending on their size, scale and form and the property's ability to accommodate such a structure.

1. Siting

New construction must respect the historic siting of the buildings. It should be accomplished so as to maintain the appearance of the buildings from the street as freestanding structures. New houses must be the same general size, scale and design of the original houses. Rebuilding to original plans is strongly encouraged.

2. Scale

Overall building height and bulk, the expression of major building divisions including raised foundation, overhangs and window size and placement that are part of the new principal structures in the district must be compatible to and sympathetic with the design of the original buildings in the district. Secondary building such as garages and outbuildings must be smaller in size and shorter in height than the historic building on the lot.

While there are many possible designs for new garages, the Historic Preservation office has plans for new garages that are available to owners of houses in local historic districts.

3. Form

The massing of the new construction on a lot must be compatible with the goal of maintaining the integrity of the original building as a freestanding structure.

4. Materials

The building materials which are visible from the public right-of-way should be consistent with the colors, textures, proportions, and combinations of cladding materials used on the historic buildings.

I. Guidelines for Demolition

Although demolition is not encouraged and is generally not permissible, there may be instances when demolition may be acceptable if approved by the Historic Preservation Commission. The following guidelines, with those found in subsection 9(h) of the ordinance, shall be taken into consideration by the Commission when reviewing demolition requests.

1. Condition

Demolition requests may be granted when it can be clearly demonstrated that the condition of a building or a portion thereof is such that it constitutes an immediate threat to health and safety and is beyond hope of repair.

2. Importance

Consideration will be given to whether or not the building is of historical or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area. All buildings in the district are considered historically significant.

3. Location

In general secondary buildings in the district such as garages can be demolished if they are beyond repair.

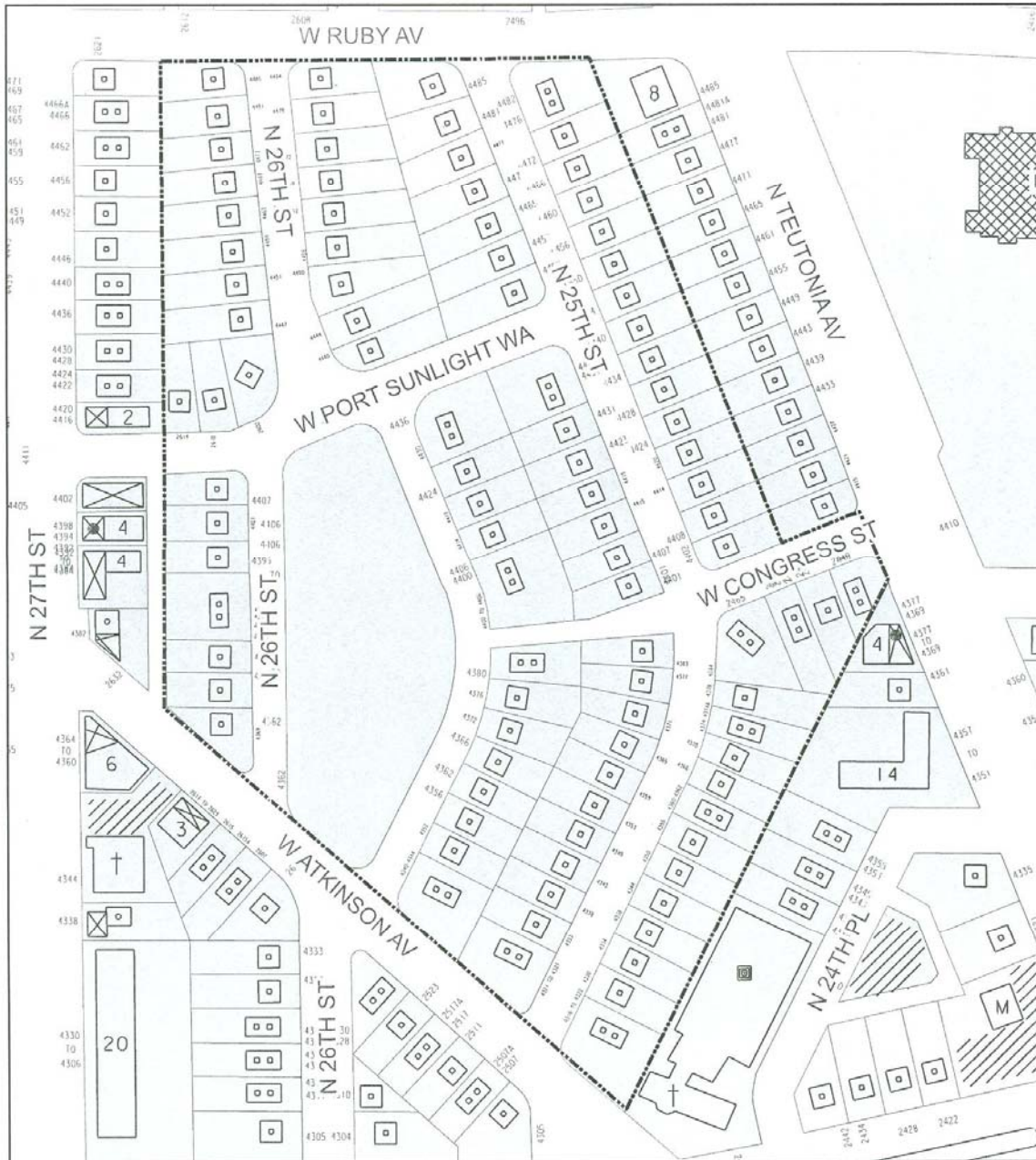
4. Potential for Restoration

Consideration will be given, on a case-by-case basis as to whether or not the building is beyond economically feasible repair.

5. Additions

Consideration will be given to whether or not the proposed demolition is a later addition that is not in keeping with the original design of the house or does not contribute to its character.

# Garden Homes Historic District



 District Boundary



City of Milwaukee 2-22-11  
IRB125650 RTW

## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310015000    | 4402 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |  |                               |         |          |
|--|--|-------------------------------|---------|----------|
| <b>Ownership Information</b>                                   | <b>Conveyance</b>  | <b>Assessment Information</b> |         |          |
| JAMES GRANT & ROSIE HW<br>4402 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type           WD<br>Date                 1979-02-01<br>Fee                   27.90<br><i>Name Change: 1976-03-12</i> | Year                          | Current | Previous |
|  |  | Land                          | 4100    | 4100     |
|  |  | Imprv                         | 62900   | 62900    |
|  |  | Total                         | 67000   | 67000    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 15

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310016000    | 4408 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |   |  |
|--|---|--|
| <b>Ownership Information</b>   | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| CAROL Y HAMPTON &<br>ROLANDA HAMPTON<br>4408 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1984-03-01<br>Fee                                84.00<br><i>Name Change: 2010-03-18</i> | Year    Current    Previous<br>Land    4100            4100<br>Imprv   66000       66000<br>Total    70100           70100 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 16

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310017000    | 4414 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                           | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| JAMES W FERGUSON<br>2533 N 18 ST<br>MILWAUKEE WI 53206 | Deed Type                      WD<br>Date                              1987-04-01<br>Fee                                0.00<br><i>Name Change: 1987-06-23</i> | Year      Current      Previous<br>Land      4100              4100<br>Imprv    68100             68100<br>Total     72200             72200 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 17

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310018000    | 4420 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |                                |                               |          |
|--|--------------------------------|-------------------------------|----------|
| <b>Ownership Information</b>                           | <b>Conveyance</b>              | <b>Assessment Information</b> |          |
| KIMBERLY M ELY<br>4420 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      | WD                            |          |
|  | Date                           | 2007-08-31                    |          |
|  | Fee                            | 260.70                        |          |
|  | <i>Name Change: 2007-11-26</i> |                               |          |
|  |                                |                               |          |
|  | Year                           | Current                       | Previous |
|  | Land                           | 4100                          | 4100     |
|  | Imprv                          | 63000                         | 63000    |
|  | Total                          | 67100                         | 67100    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 18

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310019000    | 4424 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| LIDDIE HOOKER                | Deed Type AS                   | Year Current Previous         |
|                              | Date 2009-07-27                | Land 4100 4100                |
| 1006 N PINE ST               | Fee 0.00                       | Imprv 63500 63500             |
| SUN PRAIRE WI 53590          | <i>Name Change: 2010-03-31</i> | Total 67600 67600             |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 19

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 1  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310020000    | 4428 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                         | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| KENDRA JONES<br>4428 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2006-10-03<br>Fee                                270.00<br><i>Name Change: 2006-12-12</i> | Year    Current    Previous<br>Land    4100        4100<br>Imprv   68100      68100<br>Total    72200       72200 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 20

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310021000    | 4434 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| ROBERT LOUIS HOLT            | Deed Type                      | WD                            |
| C/O HOLZMAN & ASSOC.         | Date                           | 1974-05-01                    |
| 2303 N 39TH ST               | Fee                            | 19.00                         |
| MILWAUKEE WI 53210           | <i>Name Change: 2002-11-05</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 4100                          |
|                              | Imprv                          | 68700                         |
|                              | Total                          | 72800                         |
|                              | Previous                       | 4100                          |
|                              |                                | 68700                         |
|                              |                                | 72800                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

### Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 21

### Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

### Garages and Other

Det. Garage 22.00 X 14.00

### Lot Entries

Lot Size 40.00 X 100.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310022000    | 4440 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |       |         |          |
|------------------------------|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| BERTHA D SHACKELFORD         | Deed Type                      | QC                            | Year  | Current | Previous |
| ELTON WASHINGTON             | Date                           | 1997-12-01                    | Land  | 4100    | 4100     |
| 4440 N 25TH ST               | Fee                            | 0.00                          | Imprv | 68200   | 68200    |
| MILWAUKEE WI 532096102       | <i>Name Change: 1998-01-13</i> |                               | Total | 72300   | 72300    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 22

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310023000    | 4444 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| STEVE J OLSON                | Deed Type      WD              | Year    Current    Previous   |
|                              | Date            2008-02-19     | Land    4100        4100      |
| 7857 NW ROANRIDGE RD APT H   | Fee                119.70      | Imprv   68100    68100        |
| KANSAS CITY MO 64151         | <i>Name Change: 2010-04-26</i> | Total   72200    72200        |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 23

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310024000    | 4450 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |  |                               |
|------------------------------|--|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>                            | <b>Assessment Information</b> |
| 11 ARUBA PROPERTIES LLC      | Deed Type                      WD            | Year    Current    Previous   |
|                              | Date                              2009-04-01 | Land    4100            4100  |
| PO BOX 757                   | Fee                                44.70     | Imprv   53500       53500     |
| CEDARBURG WI 53012           | <i>Name Change: 2010-03-10</i>               | Total   57600       57600     |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 24

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310025000    | 4456 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|   |                                |                               |       |         |          |
|---|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>  | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| NATHANIEL MCCLENDON & RINDA<br>4456 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      | WD                            | Year  | Current | Previous |
|   | Date                           | 1971-02-01                    | Land  | 4100    | 4100     |
|   | Fee                            | 15.20                         | Imprv | 61900   | 61900    |
|   | <i>Name Change: 1976-03-12</i> |                               | Total | 66000   | 66000    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 25

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

|                          |                         |
|--------------------------|-------------------------|
| <b>Garages and Other</b> | <b>Lot Entries</b>      |
| None Listed              | Lot Size 40.00 X 100.00 |

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310026000    | 4460 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| ELLA DUNBAR                  | Deed Type PR                   | Year Current Previous         |
|                              | Date 2008-03-25                | Land 4100 4100                |
| 7515 N 39TH ST               | Fee 114.00                     | Imprv 64300 64300             |
| MILWAUKEE WI 53209           | <i>Name Change: 2010-04-26</i> | Total 68400 68400             |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 26

**Dwelling is a 2.0 Story Residence Old Style having 1277 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 702 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310027000    | 4466 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|   |                                       |                                  |
|---|---------------------------------------|----------------------------------|
| <b>Ownership Information</b>                | <b>Conveyance</b>                     | <b>Assessment Information</b>    |
| HENRY BILBO IN TRUST<br>C/O DOROTHY A BILBO | Deed Type                      QC     | Year      Current      Previous  |
| 2346 N 61ST ST<br>MILWAUKEE WI 53213`       | Date                      2008-02-28  | Land      4100              4100 |
|   | Fee                              0.00 | Imprv    63700             63700 |
|   | <i>Name Change: 2008-05-19</i>        | Total    67800             67800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 27

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310028000    | 4472 N 25TH ST         | 1500        | 23129       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                               | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| LAWRENCE D JACKSON<br>3873 N 66TH ST<br>MILWAUKEE WI 53216 | Deed Type                      WD<br>Date                              1994-08-01<br>Fee                                 0.00<br><i>Name Change: 1994-10-19</i> | Year      Current      Previous<br>Land     4200            4200<br>Imprv   62300       62300<br>Total    66500         66500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 28 & S'LY 2.40' FRONT BY 11' REAR LOT 29

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 24.00 X 22.00

**Lot Entries**

Lot Size 42.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310029000    | 4476-4482 N 25TH ST    | 1500        | 23129       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| FRED LEWIS                   | Deed Type                      | WD                            |
| BUNNIESTINE LEWIS            | Date                           | 2006-01-19                    |
| 3300 N 45TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53216           | <i>Name Change: 2010-07-27</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 6100                          |
|                              | Imprv                          | 88100                         |
|                              | Total                          | 94200                         |
|                              | Previous                       | 6100                          |
|                              |                                | 88100                         |
|                              |                                | 94200                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-108       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 1 LOT 30 & ALL EXC S'LY  
2.40' FRONT BY 11' REAR LOT 29

**Dwelling is a 2.0 Story Townhouse having 2294 sqft of finished living area**

|                |                |            |      |            |    |
|----------------|----------------|------------|------|------------|----|
| Dwelling Units | 2              | 1st Flr    | 1169 | Bedrooms   | 6  |
| Year Built     | 1923           | 2nd Flr    | 1125 | Baths      | 2  |
| Heating        | WARM AIR       | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO             | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | STUCCO         | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1169 sqft | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 88.00 X 101.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310716000    | 4316-4322 N 25TH ST    | 1500        | 24536       | Milwaukee                | Residential  |

|   |  |                               |                                |                                    |                                     |
|---|--|-------------------------------|--------------------------------|------------------------------------|-------------------------------------|
| <b>Ownership Information</b>  | <b>Conveyance</b>  | <b>Assessment Information</b> |                                |                                    |                                     |
| GARDEN HOMES LUTHERAN<br>CHURCH & SCHOOL<br>2450 W ROOSEVELT DR<br>MILWAUKEE WI 532096669 | Deed Type<br>Date<br>Fee<br><i>Name Change: 2006-01-17</i> | WD<br>2005-09-15<br>345.00    | Year<br>Land<br>Imprv<br>Total | Current<br>6000<br>94900<br>100900 | Previous<br>6000<br>94900<br>100900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 16 & 17

**Dwelling is a 2.0 Story Townhouse having 2295 sqft of finished living area**

|                |                  |            |      |            |    |
|----------------|------------------|------------|------|------------|----|
| Dwelling Units | 2                | 1st Flr    | 1170 | Bedrooms   | 6  |
| Year Built     | 1923             | 2nd Flr    | 1125 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1170 sqft   | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 24.00 X 12.00

**Lot Entries**

Lot Size 81.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310715000    | 4330 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>             | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| GARDEN HOMES EVANGELICAL LUTHERAN CHURCH | Deed Type                      | WD                            | Year  | Current | Previous |
|  | Date                           | 2007-08-30                    | Land  | 4200    | 4200     |
| 2450 W ROOSEVELT DR                      | Fee                            | 199.50                        | Imprv | 68700   | 68700    |
| MILWAUKEE WI 53209                       | <i>Name Change: 2008-01-31</i> |                               | Total | 72900   | 72900    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 15

### This Parcel Is Listed As Vacant Land

|                          |                         |
|--------------------------|-------------------------|
| <b>Garages and Other</b> | <b>Lot Entries</b>      |
| None Listed              | Lot Size 40.00 X 105.00 |

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310714000    | 4334 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                               | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| FRONDLA R WILLIAMS<br>4334 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2000-07-31<br>Fee                                128.70<br><i>Name Change: 2000-10-12</i> | Year    Current    Previous<br>Land    4200            4200<br>Imprv   73600       73600<br>Total    77800         77800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 14

**Dwelling is a 2.0 Story Residence Old Style having 1228 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 653 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 1  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310713000    | 4338 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|   |                                |                               |       |         |          |
|---|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                    | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| BEST INVESTMENTS, LLC<br>617 W CAPITOL DR<br>MILWAUKEE WI 53216 | Deed Type                      | WD                            | Year  | Current | Previous |
|   | Date                           | 2010-05-03                    | Land  | 4200    | 4200     |
|   | Fee                            | 45.00                         | Imprv | 70000   | 70000    |
|   | <i>Name Change: 2010-08-09</i> |                               | Total | 74200   | 74200    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 13

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | YES              | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 105.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310712000    | 4344 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                         | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| IRENE BESANT<br>4344 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type AS<br>Date 2005-03-08<br>Fee 0.00<br><i>Name Change: 2005-06-01</i> | Year Current Previous<br>Land 4200 4200<br>Imprv 68600 68600<br>Total 72800 72800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 12

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 105.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310711000    | 4350 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                            | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| SADIE L ROCKETT<br>4350 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      QC<br>Date                                2000-08-08<br>Fee                                    0.00<br><i>Name Change: 2001-07-17</i> | Year      Current      Previous<br>Land      4200                  4200<br>Imprv    80100                 80100<br>Total     84300                 84300 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 11

**Dwelling is a 2.0 Story Residence Old Style having 1496 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 748 | Bedrooms   | 4  |
| Year Built     | 1923             | 2nd Flr    | 748 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 748 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 40.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310710000    | 4356 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| ROBIN DONALD                 | Deed Type                      | WD                            |
| 4356 N 25TH ST               | Date                           | 2006-09-06                    |
| MILWAUKEE WI 53209           | Fee                            | 247.50                        |
|                              | <i>Name Change: 2006-12-13</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 4200                          |
|                              | Imprv                          | 69900                         |
|                              | Total                          | 74100                         |
|                              | Previous                       | 4200                          |
|                              |                                | 69900                         |
|                              |                                | 74100                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 10

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 40.00 X 105.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310709000    | 4360-4362 N 25TH ST    | 1500        | 24536       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| MARY GANT                    | Deed Type                      | QC                            |
|                              | Date                           | 2008-05-09                    |
| 4360 N 25TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 2008-06-26</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 4200                          |
|                              | Imprv                          | 72100                         |
|                              | Total                          | 76300                         |
|                              | Previous                       | 4200                          |
|                              |                                | 72100                         |
|                              |                                | 76300                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 9

**Dwelling is a 2.0 Story Duplex Old Style having 1329 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 2                | 1st Flr    | 760 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 569 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 760 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 10.00

**Lot Entries**

Lot Size 40.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310708000    | 4366 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| DONALD FOSTER                | Deed Type                      | WD                            |
| VELMA KIRK FOSTER            | Date                           | 1999-06-21                    |
| 4366 N 25TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 1999-09-10</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 4000                          |
|                              | Imprv                          | 66200                         |
|                              | Total                          | 70200                         |
|                              | Previous                       | 4000                          |
|                              |                                | 66200                         |
|                              |                                | 70200                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 8

**Dwelling is a 2.0 Story Residence Old Style having 1217 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 620 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 597 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 620 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 36.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310707000    | 4370 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|   |   |  |
|---|---|--|
| <b>Ownership Information</b>                          | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| MARGARET PAGE<br>4370 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2001-05-01<br>Fee                                73.50<br><i>Name Change: 2001-06-08</i> | Year      Current      Previous<br>Land      3800              3800<br>Imprv    42700             42700<br>Total     46500             46500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 7

**Dwelling is a 2.0 Story Residence Old Style having 932 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 466 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 466 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 466 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 16.00

**Lot Entries**

Lot Size 32.00 X 109.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310706000    | 4374 (-A) N 25TH ST    | 1500        | 24536       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| DARRELL WILLIAMS<br>3129 N 50TH ST<br>MILWAUKEE WI 53216 | Deed Type PR<br>Date 2001-09-28<br>Fee 60.00<br><i>Name Change: 2001-12-10</i> | Year Current Previous<br>Land 4000 4000<br>Imprv 77500 77500<br>Total 81500 81500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 6

**Dwelling is a 2.0 Story Duplex Old Style having 1626 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 2                | 1st Flr    | 813 | Bedrooms   | 4  |
| Year Built     | 1923             | 2nd Flr    | 813 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 793 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 18.00

**Lot Entries**

Lot Size 33.00 X 117.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310705000    | 4378 N 25TH ST         | 1500        | 24536       | Milwaukee                | Residential  |

|   |  |                               |         |          |
|---|--|-------------------------------|---------|----------|
| <b>Ownership Information</b>                              | <b>Conveyance</b>  | <b>Assessment Information</b> |         |          |
| CHEVY A HEART<br>4378 N 25TH ST<br>MILWAUKEE WI 532096669 | Deed Type           WD<br>Date                 1994-07-01<br>Fee                   77.70<br><i>Name Change: 1994-08-25</i> | Year                          | Current | Previous |
|   |  | Land                          | 4200    | 4200     |
|   |  | Imprv                         | 59200   | 59200    |
|   |  | Total                         | 63400   | 63400    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 5

**Dwelling is a 2.0 Story Residence Old Style having 936 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 468 | Bedrooms   | 2  |
| Year Built     | 1923             | 2nd Flr    | 468 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 468 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 33.00 X 129.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310704000    | 2465 W CONGRESS ST     | 1500        | 24536       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| MALIK GRANT                  | Deed Type                      | WD                            |
| RAYMOND E DIXON              | Date                           | 2000-04-25                    |
| 2465 W CONGRESS ST           | Fee                            | 117.00                        |
| MILWAUKEE WI 53209           | <i>Name Change: 2000-06-28</i> |                               |
|                              |                                | Year Current Previous         |
|                              |                                | Land 5500 5500                |
|                              |                                | Imprv 92100 92100             |
|                              |                                | Total 97600 97600             |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOTS 3 & 4

**Dwelling is a 2.0 Story Townhouse having 2224 sqft of finished living area**

|                |                  |            |      |            |    |
|----------------|------------------|------------|------|------------|----|
| Dwelling Units | 2                | 1st Flr    | 1134 | Bedrooms   | 6  |
| Year Built     | 1923             | 2nd Flr    | 1090 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1134 sqft   | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 20.00 X 18.00

**Lot Entries**

Lot Size 7272.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                         |             |             |                          |              |
|---------------|-------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b>  | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310703000    | 2457-2459 W CONGRESS ST | 1500        | 24536       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                               | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| GARY HELGELAND<br>2457 W CONGRESS ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2006-06-29<br>Fee                                309.00<br><i>Name Change: 2006-08-23</i> | Year      Current      Previous<br>Land      4600              4600<br>Imprv    80100             80100<br>Total     84700             84700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

**Legal Description**

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 2 "A"

**Dwelling is a 2.0 Story Duplex Old Style having 1726 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 2                | 1st Flr    | 863 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 863 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 863 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 127.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310702000    | 2453 W CONGRESS ST     | 1500        | 24536       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| MATTIE WILLIAMS              | Deed Type                      | QC                            |
| NKA MATTIE PAYNE             | Date                           | 1971-12-01                    |
| 2453 W CONGRESS ST           | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 1996-12-23</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 4300                          |
|                              | Imprv                          | 64500                         |
|                              | Total                          | 68800                         |
|                              | Previous                       | 4300                          |
|                              |                                | 64500                         |
|                              |                                | 68800                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-109       |

### Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 2

### Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft | Basement   | 0   |            |    |

### Garages and Other

Det. Garage 20.00 X 20.00

### Lot Entries

Lot Size 41.00 X 109.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310701000    | 2449 W CONGRESS ST     | 1500        | 24536       | Milwaukee                | Residential  |

|   |  |                               |                                |                                   |                                    |
|---|--|-------------------------------|--------------------------------|-----------------------------------|------------------------------------|
| <b>Ownership Information</b>                                    | <b>Conveyance</b>  | <b>Assessment Information</b> |                                |                                   |                                    |
| JACQUELINE A CARTER<br>2449 W CONGRESS ST<br>MILWAUKEE WI 53209 | Deed Type<br>Date<br>Fee<br><i>Name Change: 1987-04-21</i> | QC<br>1986-05-01<br>0.00      | Year<br>Land<br>Imprv<br>Total | Current<br>4000<br>53600<br>57600 | Previous<br>4000<br>53600<br>57600 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RM3           | 1                    | 043-607       |

Legal Description

RE-PLAT OF BLK 2 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 2 LOT 1

**Dwelling is a 2.0 Story Colonial having 1553 sqft of finished living area**

|                |                 |            |     |            |    |
|----------------|-----------------|------------|-----|------------|----|
| Dwelling Units | 1               | 1st Flr    | 986 | Bedrooms   | 4  |
| Year Built     | 1923            | 2nd Flr    | 567 | Baths      | 2  |
| Heating        | WARM AIR        | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO              | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO          | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | PARTIAL 590 sqf | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 18.00 X 10.00

**Lot Entries**

Lot Size 3718.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310048000    | 4321-4327 N 25TH ST    | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                     | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| JOE W MAYO & HELEN A H W<br>4321 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      | WD                            | Year  | Current | Previous |
|  | Date                           | 1971-09-01                    | Land  | 5600    | 5600     |
|  | Fee                            | 17.50                         | Imprv | 97600   | 97600    |
|  | <i>Name Change: 1976-03-12</i> |                               | Total | 103200  | 103200   |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOTS 11 & 12

**Dwelling is a 2.0 Story Townhouse having 2295 sqft of finished living area**

|                |                  |            |      |            |    |
|----------------|------------------|------------|------|------------|----|
| Dwelling Units | 2                | 1st Flr    | 1170 | Bedrooms   | 6  |
| Year Built     | 1923             | 2nd Flr    | 1125 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | YES              | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1170 sqft   | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 24.00 X 22.00

**Lot Entries**

Lot Size 74.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310047000    | 4333 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>   | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| RMS INVESTMENTS 2 LLC<br>856 E HIAWATHA DR<br>WISCONSIN DELLS WI 539658462 | Deed Type                      | QC                            | Year  | Current | Previous |
|  | Date                           | 2010-03-30                    | Land  | 4100    | 4100     |
|  | Fee                            | 0.00                          | Imprv | 68800   | 68800    |
|  | <i>Name Change: 2010-11-08</i> |                               | Total | 72900   | 72900    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 10

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310046000    | 4339 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |          |
|--|--------------------------------|-------------------------------|----------|
| <b>Ownership Information</b>   | <b>Conveyance</b>              | <b>Assessment Information</b> |          |
| KENNETH A & LORETTA CAMPBELL<br>4339 N 25TH ST<br>MILWAUKEE WI 532095566 | Deed Type                      | WD                            |          |
|  | Date                           | 1988-03-01                    |          |
|  | Fee                            | 105.00                        |          |
|  | <i>Name Change: 1988-05-18</i> |                               |          |
|  |                                |                               |          |
|  | Year                           | Current                       | Previous |
|  | Land                           | 4300                          | 4300     |
|  | Imprv                          | 73600                         | 73600    |
|  | Total                          | 77900                         | 77900    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 9

**Dwelling is a 2.0 Story Residence Old Style having 1321 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 4  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 149 | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 44.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310045000    | 4343 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |   |  |
|---|---|--|
| <b>Ownership Information</b>                              | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| WILL J SHERARD<br>2233 W CAPITOL DR<br>MILWAUKEE WI 53206 | Deed Type                      QC<br>Date                              2001-09-13<br>Fee                                17.40<br><i>Name Change: 2002-02-14</i> | Year    Current    Previous<br>Land    4100            4100<br>Imprv   66400       66400<br>Total    70500           70500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 8

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310044000    | 4349 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| LASONIA D TAYLOR<br>4349 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2001-06-29<br>Fee                                150.00<br><i>Name Change: 2001-08-13</i> | Year      Current      Previous<br>Land     4300            4300<br>Imprv   72900        72900<br>Total    77200            77200 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 7

**Dwelling is a 2.0 Story Residence Old Style having 1277 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 702 | Bedrooms   | 3   |
| Year Built     | 1922             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 18.00 X 10.00

**Lot Entries**

Lot Size 44.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310043000    | 4353 N 25TH ST         | 1500        | 24535       | Milwaukee                | Exempt       |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| CITY OF MILW                 | Deed Type                      | IR                            |
|                              | Date                           | 2010-07-26                    |
| 809 N BROADWAY               | Fee                            | 0.00                          |
| MILWAUKEE WI 53202           | <i>Name Change: 2010-09-28</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 0                             |
|                              | Imprv                          | 0                             |
|                              | Total                          | 0                             |
|                              |                                | Previous                      |
|                              |                                | 4300                          |
|                              |                                | 69000                         |
|                              |                                | 73300                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 6

### Exempt Property Attributes Not Available

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310042000    | 4359 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |                                |                               |       |         |          |
|---|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>  | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| LISA ANN BABALOLA<br>12930 CARDINAL CREST DR<br>BROOKFIELD WI 53005 | Deed Type                      | QC                            | Year  | Current | Previous |
|   | Date                           | 2007-06-04                    | Land  | 4300    | 4300     |
|   | Fee                            | 0.00                          | Imprv | 69100   | 69100    |
|   | <i>Name Change: 2007-08-15</i> |                               | Total | 73400   | 73400    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 5

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 44.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310041000    | 4365 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                              | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| SHIRLEY A TRIBBLE<br>4365 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1999-04-09<br>Fee                                107.70<br><i>Name Change: 1999-06-25</i> | Year      Current      Previous<br>Land      4300              4300<br>Imprv    70700             70700<br>Total     75000             75000 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 4

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 22.00 X 16.00

**Lot Entries**

Lot Size 44.00 X 99.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310040000    | 4371 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |  |   |
|---|--|---|
| <b>Ownership Information</b>                                | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| CONINTHA S WILLIAMS<br>4371 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2004-10-29<br>Fee                                231.00<br><i>Name Change: 2005-02-21</i> | Year    Current    Previous<br>Land    4400        4400<br>Imprv   68000      68000<br>Total   72400      72400 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 3

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 598 | Bedrooms   | 3   |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 598 sqft | Basement   | 0   |            |     |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 44.00 X 103.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310039000    | 4377 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |  |                                |                                   |                                    |
|--|--|--------------------------------|-----------------------------------|------------------------------------|
| <b>Ownership Information</b>                           | <b>Conveyance</b>  | <b>Assessment Information</b>  |                                   |                                    |
| LOVE, MARTHA B<br>4377 N 25TH ST<br>MILWAUKEE WI 53206 | Deed Type<br>Date<br>Fee<br><i>Name Change: 1969-10-06</i> | Year<br>Land<br>Imprv<br>Total | Current<br>4100<br>58400<br>62500 | Previous<br>4100<br>58400<br>62500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 2

**Dwelling is a 2.0 Story Townhouse having 1147 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 585 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 562 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 585 sqft | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 3944.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310038000    | 4383 N 25TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                 | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| COURTNAE A DUPLESSIS<br>954 S 56TH ST<br>WEST ALLIS WI 53214 | Deed Type                      | QC                            | Year  | Current | Previous |
|  | Date                           | 2003-10-22                    | Land  | 4100    | 4100     |
|  | Fee                            | 0.00                          | Imprv | 65100   | 65100    |
|  | <i>Name Change: 2004-05-06</i> |                               | Total | 69200   | 69200    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 1

**Dwelling is a 2.0 Story Townhouse having 1147 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 585 | Bedrooms   | 3   |
| Year Built     | 1923          | 2nd Flr    | 562 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 585 sqft | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 22.00 X 20.00

**Lot Entries**

Lot Size 3915.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310049000    | 4340-4344 N 26TH ST    | 1500        | 24535       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| JAMES E MAGEE                | Deed Type                      | QC                            |
|                              | Date                           | 2008-12-30                    |
| 4340 N 26TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 2009-02-05</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | 5700                          |
|                              | Imprv                          | 97900                         |
|                              | Total                          | 103600                        |
|                              | Previous                       | 5700                          |
|                              |                                | 97900                         |
|                              |                                | 103600                        |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RT2           | 1                    | 042-105       |

**Legal Description**

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOTS 13 & 14

**Dwelling is a 2.0 Story Townhouse having 2295 sqft of finished living area**

|                |                  |            |      |            |     |
|----------------|------------------|------------|------|------------|-----|
| Dwelling Units | 2                | 1st Flr    | 1170 | Bedrooms   | 6   |
| Year Built     | 1923             | 2nd Flr    | 1125 | Baths      | 2   |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0   |
| Airconditioned | YES              | Attic      | 0    | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0   |
| Basement Type  | FULL 1170 sqft   | Basement   | 0    |            |     |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 76.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310050000    | 4352 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                     | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| ALBERT BOSTON & VICKI HW<br>4352 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      | WD                            | Year  | Current | Previous |
|  | Date                           | 1978-03-01                    | Land  | 4100    | 4100     |
|  | Fee                            | 23.50                         | Imprv | 67200   | 67200    |
|  | <i>Name Change: 1976-03-12</i> |                               | Total | 71300   | 71300    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 15

**Dwelling is a 2.0 Story Residence Old Style having 1285 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 710 | Bedrooms   | 3   |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 710 sqft | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 18.00 X 18.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310051000    | 4356 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| EAGLES NEST PROPERTIES LLC   | Deed Type            QC        | Year    Current    Previous   |
|                              | Date            2009-03-12     | Land    4100            4100  |
| 5707A N 38TH ST              | Fee                    0.00    | Imprv 66600       66600       |
| MILWAUKEE WI 53209           | <i>Name Change: 2009-06-15</i> | Total 70700       70700       |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 16

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Shed 10.00 X 12.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310052000    | 4362 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |   |  |
|---|---|--|
| <b>Ownership Information</b>  | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| VAN L ABERNATHY &<br>EUNICE L ABERNATHY<br>4362 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1972-03-01<br>Fee                                16.00<br><i>Name Change: 1976-03-12</i> | Year    Current    Previous<br>Land    4100            4100<br>Imprv   67900       67900<br>Total    72000         72000 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

**Legal Description**

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 17

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 18.00

**Lot Entries**

Lot Size 40.00 X 100.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
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|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310053000    | 4366 N 26TH ST         | 1500        | 24535       | Milwaukee                | Exempt       |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| CITY OF MILW                 | Deed Type                      | Year                          |
|                              | Date                           | Current                       |
|                              |                                | Previous                      |
| 809 N BROADWAY               | Fee                            | Land                          |
| MILWAUKEE WI 53202           | <i>Name Change: 2010-09-28</i> | Imprv                         |
|                              |                                | Total                         |
|                              |                                |                               |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description  
 GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 18

### Exempt Property Attributes Not Available

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310054000    | 4372 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                               | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| LAWRENCE D JACKSON<br>3873 N 66TH ST<br>MILWAUKEE WI 53216 | Deed Type                      | WD                            | Year  | Current | Previous |
|  | Date                           | 1994-02-01                    | Land  | 4000    | 4000     |
|  | Fee                            | 0.00                          | Imprv | 66500   | 66500    |
|  | <i>Name Change: 1994-05-12</i> |                               | Total | 70500   | 70500    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 19

**Dwelling is a 2.0 Story Residence Old Style having 1197 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 622 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 10.00

**Lot Entries**

Lot Size 36.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310055000    | 4376 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |   |   |
|---|---|---|
| <b>Ownership Information</b>                              | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| MARTHA J. FREEMAN<br>4376 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type JD<br>Date 1974-04-01<br>Fee 0.00<br><i>Name Change: 1976-03-12</i> | Year Current Previous<br>Land 4600 4600<br>Imprv 63900 63900<br>Total 68500 68500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 20

**Dwelling is a 2.0 Story Townhouse having 1148 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 585 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 563 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 585 sqft    | Basement   | 0   |            |     |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 4912.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310056000    | 4380 N 26TH ST         | 1500        | 24535       | Milwaukee                | Residential  |

|   |                                |                               |       |         |          |
|---|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| EDNA FENCEROY<br>9181 N GOLDENDALE DR<br>MILWAUKEE WI 53223 | Deed Type                      | QC                            | Year  | Current | Previous |
|   | Date                           | 1988-11-01                    | Land  | 4600    | 4600     |
|   | Fee                            | 0.00                          | Imprv | 71000   | 71000    |
|   | <i>Name Change: 2006-01-19</i> |                               | Total | 75600   | 75600    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 4 LOT 21

**Dwelling is a 2.0 Story Townhouse having 1730 sqft of finished living area**

|                |                 |            |     |            |    |
|----------------|-----------------|------------|-----|------------|----|
| Dwelling Units | 2               | 1st Flr    | 865 | Bedrooms   | 2  |
| Year Built     | 1923            | 2nd Flr    | 865 | Baths      | 2  |
| Heating        | WARM AIR        | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO              | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO          | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | PARTIAL 585 sqf | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 5009.00 sqft

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310063000    | 4401 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                         | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| JANET MAYS<br>2940 N DOWNER AV<br>MILWAUKEE WI 53211 | Deed Type                      WD<br>Date                              1984-09-01<br>Fee                                0.00<br><i>Name Change: 2009-01-06</i> | Year    Current    Previous<br>Land   - N/A -        4100<br>Imprv   - N/A -        62700<br>Total   - N/A -        66800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 8

**Dwelling is a 2.0 Story Townhouse having 1148 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 585 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 563 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 585 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310062000    | 4407 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>  | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| METRO CAPITAL FUNDING<br>LLC<br>6820 QUEENFERRY CR<br>BOCA RATON FL 33496 | Deed Type SD<br>Date 2010-07-21<br>Fee 0.00<br>Name Change: 2010-10-26 | Year Current Previous<br>Land - N/A - 4100<br>Imprv - N/A - 63800<br>Total - N/A - 67900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 7

**Dwelling is a 2.0 Story Townhouse having 1148 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 585 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 563 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | YES              | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 585 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 4000.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310061000    | 4415 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|   |   |   |
|---|---|---|
| <b>Ownership Information</b>                              | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| BERNADINE GILBERT<br>4415 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1972-07-01<br>Fee                                15.90<br><i>Name Change: 1976-03-12</i> | Year    Current    Previous<br>Land   - N/A -        4100<br>Imprv   - N/A -        62600<br>Total   - N/A -        66700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 6

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310060000    | 4419 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| LYNDELL GILBERT              | Deed Type                      | AS                            |
|                              | Date                           | 2007-11-06                    |
| 4419 N 25TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 2007-12-27</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4100                          |
|                              |                                | 63000                         |
|                              |                                | 67100                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

### Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 5

### Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

### Garages and Other

Det. Garage 20.00 X 14.00

### Lot Entries

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310059000    | 4423 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|                              |                                |                               |       |         |          |
|------------------------------|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| 6603157 CANADA LTD           | Deed Type                      | WD                            | Year  | Current | Previous |
|                              | Date                           | 2008-10-29                    | Land  | - N/A - | 4100     |
| 342279 1ST ST OLIVER         | Fee                            | 0.00                          | Imprv | - N/A - | 69900    |
| BRITISH COLUMBIA CA 99999    | <i>Name Change: 2009-02-19</i> |                               | Total | - N/A - | 74000    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

**Legal Description**

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 4

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 22.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310058000    | 4431 N 25TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| PATRICIA A NELSON            | Deed Type PR                   | Year Current Previous         |
|                              | Date 2002-10-01                | Land - N/A - 4100             |
| 5350 BLACKHAWK WAY           | Fee 0.00                       | Imprv - N/A - 67700           |
| DENVER CO 80239              | <i>Name Change: 2004-10-25</i> | Total - N/A - 71800           |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 3

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 21.00 X 14.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310057000    | 4437-4441 N 25TH ST    | 1500        | 23130       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                                     | <b>Conveyance</b>  | <b>Assessment Information</b>                                  |
| NEAL, WILLIAM JR<br>4441 NORTH 25TH STREET<br>MILWAUKEE WI 53209 | Deed Type<br>Date<br>Fee<br><i>Name Change: 1976-03-12</i> | Year Current<br>Land - N/A -<br>Imprv - N/A -<br>Total - N/A - |
|  | 0.00   | Previous<br>5800<br>80500<br>86300                             |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-107       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOTS 1 & 2

**Dwelling is a 2.0 Story Townhouse having 2294 sqft of finished living area**

|                |                |            |      |            |    |
|----------------|----------------|------------|------|------------|----|
| Dwelling Units | 2              | 1st Flr    | 1169 | Bedrooms   | 6  |
| Year Built     | 1923           | 2nd Flr    | 1125 | Baths      | 2  |
| Heating        | WARM AIR       | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO             | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | STUCCO         | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1169 sqft | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 80.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310064000    | 4400-4406 N 26TH ST    | 1500        | 23130       | Milwaukee                | Residential  |

|  |                                |                               |
|--|--------------------------------|-------------------------------|
| <b>Ownership Information</b>                                   | <b>Conveyance</b>              | <b>Assessment Information</b> |
| BOULEVARD PROPERTIES LLC<br>PO BOX 11214<br>SHOREWOOD WI 53211 | Deed Type                      | QC                            |
|  | Date                           | 2006-01-16                    |
|  | Fee                            | 0.00                          |
|  | <i>Name Change: 2008-10-08</i> |                               |
|  | Year                           | Current                       |
|  | Land                           | - N/A -                       |
|  | Imprv                          | - N/A -                       |
|  | Total                          | - N/A -                       |
|  |                                | Previous                      |
|  |                                | 5800                          |
|  |                                | 93400                         |
|  |                                | 99200                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOTS 9 & 10

**Dwelling is a 2.0 Story Townhouse having 2273 sqft of finished living area**

|                |                  |            |      |            |    |
|----------------|------------------|------------|------|------------|----|
| Dwelling Units | 2                | 1st Flr    | 1159 | Bedrooms   | 6  |
| Year Built     | 1923             | 2nd Flr    | 1114 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1159 sqft   | Basement   | 0    |            |    |

**Garages and Other**

Det. Garage 22.00 X 20.00

**Lot Entries**

Lot Size 78.00 X 103.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310065000    | 4414 N 26TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|  |                                |                               |
|--|--------------------------------|-------------------------------|
| <b>Ownership Information</b>                               | <b>Conveyance</b>              | <b>Assessment Information</b> |
| KENNETH E MARTIN<br>1932 W WRIGHT ST<br>MILWAUKEE WI 53206 | Deed Type                      | WD                            |
|  | Date                           | 2005-08-24                    |
|  | Fee                            | 150.00                        |
|  | <i>Name Change: 2006-01-05</i> |                               |
|  | Year                           | Current                       |
|  | Land                           | - N/A -                       |
|  | Imprv                          | - N/A -                       |
|  | Total                          | - N/A -                       |
|  |                                | Previous                      |
|  |                                | 4300                          |
|  |                                | 56900                         |
|  |                                | 61200                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 11

**Dwelling is a 2.0 Story Residence Old Style having 936 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 468 | Bedrooms   | 2  |
| Year Built     | 1923             | 2nd Flr    | 468 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 468 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 43.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310066000    | 4418 N 26TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|  |   |  |
|--|---|--|
| <b>Ownership Information</b>                           | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| THOMAS D FOX<br>3748 N 54TH BLVD<br>MILWAUKEE WI 53216 | Deed Type PR<br>Date 1997-07-01<br>Fee 0.00<br><i>Name Change: 2006-02-03</i> | Year Current Previous<br>Land - N/A - 4200<br>Imprv - N/A - 68500<br>Total - N/A - 72700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 12

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 42.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310067000    | 4424 N 26TH ST         | 1500        | 23130       | Milwaukee                | Residential  |

|   |  |   |
|---|--|---|
| <b>Ownership Information</b>                              | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| ARNEATHA COCKRANE<br>4115 N 39TH ST<br>MILWAUKEE WI 53216 | Deed Type                      WD<br>Date                              2005-05-27<br>Fee                                162.00<br><i>Name Change: 2009-01-06</i> | Year    Current    Previous<br>Land   - N/A -        4300<br>Imprv   - N/A -        63600<br>Total   - N/A -        67900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOT 13

**Dwelling is a 2.0 Story Residence Old Style having 1096 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 628 | Bedrooms   | 2  |
| Year Built     | 1923             | 2nd Flr    | 468 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | PARTIAL 468 sqf  | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 43.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310068100    | 4430-4436 N 26TH ST    | 1500        | 23130       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| ESSIE M COPELAND             | Deed Type                      | WD                            |
| ETHELDIA K WESTON            | Date                           | 1991-04-01                    |
| 7523 N 79TH ST               | Fee                            | 115.50                        |
| MILWAUKEE WI 53223           | <i>Name Change: 2005-02-21</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 6000                          |
|                              |                                | 94800                         |
|                              |                                | 100800                        |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-105       |

### Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 5 LOTS 14 & 15

### Dwelling is a 2.0 Story Townhouse having 2294 sqft of finished living area

|                |                  |            |      |            |    |
|----------------|------------------|------------|------|------------|----|
| Dwelling Units | 2                | 1st Flr    | 1169 | Bedrooms   | 6  |
| Year Built     | 1923             | 2nd Flr    | 1125 | Baths      | 2  |
| Heating        | WARM AIR         | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1169 sqft   | Basement   | 0    |            |    |

### Garages and Other

Det. Garage 20.00 X 18.00

### Lot Entries

Lot Size 84.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310076000    | 4453 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|   |                                |                               |       |         |          |
|---|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                          | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| DOLORES MANNS<br>1819 N 28TH ST<br>MILWAUKEE WI 53208 | Deed Type                      | WD                            | Year  | Current | Previous |
|   | Date                           | 2005-09-20                    | Land  | - N/A - | 4700     |
|   | Fee                            | 102.00                        | Imprv | - N/A - | 69800    |
|   | <i>Name Change: 2005-12-12</i> |                               | Total | - N/A - | 74500    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 7

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 43.00 X 124.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310075000    | 4457 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| WILLIE B JACKSON<br>4457 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1989-01-01<br>Fee                                92.70<br><i>Name Change: 1989-03-20</i> | Year      Current      Previous<br>Land    - N/A -        4700<br>Imprv   - N/A -        65100<br>Total    - N/A -        69800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 6

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | FRAME         | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 43.00 X 123.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310074000    | 4465 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| DANIEL J BATTIOLA            | Deed Type                      | WD                            |
|                              | Date                           | 2008-06-23                    |
| 3365 SAN MARCOS              | Fee                            | 76.50                         |
| BROOKFIELD WI 53005          | <i>Name Change: 2008-10-07</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4600                          |
|                              |                                | 66700                         |
|                              |                                | 71300                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 5

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 43.00 X 118.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310073000    | 4471 N 25TH ST         | 1500        | 23128       | Milwaukee                | Exempt       |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| CITY OF MILW                 | Deed Type                      | Year                          |
|                              | Date                           | Current                       |
|                              |                                | Previous                      |
| 809 N BROADWAY               | Fee                            | Land                          |
| MILWAUKEE WI 53202           | <i>Name Change: 2010-09-28</i> | Imprv                         |
|                              |                                | Total                         |
|                              |                                |                               |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 4

### Exempt Property Attributes Not Available

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310072000    | 4477 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| TAMMY B CANNON               | Deed Type                      | WD                            |
|                              | Date                           | 2009-03-10                    |
| 4477 N 25TH ST               | Fee                            | 33.30                         |
| MILWAUKEE WI 53209           | <i>Name Change: 2009-06-24</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4400                          |
|                              |                                | 75700                         |
|                              |                                | 80100                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 3

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 2   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 43.00 X 108.00

|                                       |                                      |                                     |   |                                    |                                   |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|
| <a href="#"><u>Recent Permits</u></a> | <a href="#"><u>Owner History</u></a> | <a href="#"><u>Sale History</u></a> | <a href="#"><u>Assessment History</u></a> | <a href="#"><u>Tax Balance</u></a> | <a href="#"><u>About Site</u></a> |
|---------------------------------------|--------------------------------------|-------------------------------------|---|------------------------------------|-----------------------------------|

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310071000    | 4481 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|   |  |   |
|---|--|---|
| <b>Ownership Information</b>                          | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| JOHNNY MCGILL<br>4481 N 25TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2003-10-20<br>Fee                                192.00<br><i>Name Change: 2010-11-10</i> | Year    Current    Previous<br>Land   - N/A -        4300<br>Imprv   - N/A -        64300<br>Total   - N/A -        68600 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 2

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 43.00 X 104.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310070000    | 4485 N 25TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| WILLIE COGER III<br>3603 N 23RD ST<br>MILWAUKEE WI 53206 | Deed Type                      WD<br>Date                              2005-04-18<br>Fee                                279.00<br><i>Name Change: 2009-02-11</i> | Year    Current    Previous<br>Land   - N/A -        4200<br>Imprv   - N/A -        74500<br>Total   - N/A -        78700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 1

**Dwelling is a 2.0 Story Residence Old Style having 1357 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 713 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 644 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 713 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 30.00

**Lot Entries**

Lot Size 42.00 X 101.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310077000    | 4440 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| GUADALUPE PRADO JIMENEZ      | Deed Type                      | QC                            |
| ANTONIA PRADO                | Date                           | 2005-09-23                    |
| 4440 N 26TH ST               | Fee                            | 121.50                        |
| MILWAUKEE WI 53209           | <i>Name Change: 2008-10-13</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4800                          |
|                              |                                | 74000                         |
|                              |                                | 78800                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 8

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 24.00 X 22.00

**Lot Entries**

Lot Size 40.00 X 136.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310078000    | 4444 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                               | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| DENNIS R EDWARDS<br>PO BOX 72022<br>MILWAUKEE WI 532127222 | Deed Type                      WD<br>Date                              1998-06-01<br>Fee                                90.00<br>Name Change: 2007-03-23 | Year    Current    Previous<br>Land - N/A -        4800<br>Imprv - N/A -       45800<br>Total - N/A -        50600 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 9

**Dwelling is a 2.0 Story Residence Old Style having 1472 sqft of finished living area**

|                |                 |            |     |            |    |
|----------------|-----------------|------------|-----|------------|----|
| Dwelling Units | 1               | 1st Flr    | 897 | Bedrooms   | 3  |
| Year Built     | 1923            | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR        | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO              | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | FRAME           | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | PARTIAL 597 sqf | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 139.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310079000    | 4450 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                                 | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| MAYME LEE ROBINSON<br>PO BOX 90433<br>MILWAUKEE WI 532090433 | Deed Type                      WD<br>Date                            1971-07-01<br>Fee                              15.20<br>Name Change: 2009-04-14 | Year    Current    Previous<br>Land   - N/A -       6000<br>Imprv   - N/A -       69700<br>Total   - N/A -       75700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 10

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 61.00 X 140.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310080000    | 4458 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|   |   |  |
|---|---|--|
| <b>Ownership Information</b>                                | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| MATTIE M WILSON<br>4458 N 26TH ST<br>MILWAUKEE WI 532096104 | Deed Type                      QC<br>Date                              1995-05-01<br>Fee                                0.00<br>Name Change: 1995-06-15 | Year    Current    Previous<br>Land   - N/A -       4800<br>Imprv - N/A -       70500<br>Total   - N/A -       75300 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 11

**Dwelling is a 2.0 Story Residence Old Style having 1288 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 713 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 40.00 X 136.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310081000    | 4462 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|   |   |   |
|---|---|---|
| <b>Ownership Information</b>  | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| JOHN A BARTON SR &<br>AUDREY E BARTON<br>4462 N 26 ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1976-01-01<br>Fee                                18.40<br><i>Name Change: 1976-03-12</i> | Year    Current    Previous<br>Land   - N/A -        4700<br>Imprv   - N/A -        66700<br>Total   - N/A -        71400 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 12

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | YES           | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 18.00 X 18.00

**Lot Entries**

Lot Size 40.00 X 129.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310082000    | 4468 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|   |  |   |
|---|--|---|
| <b>Ownership Information</b>                          | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| JOSEPH A BOVA<br>4468 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      QC<br>Date                              1992-08-01<br>Fee                                0.00<br><i>Name Change: 1994-12-20</i> | Year    Current    Previous<br>Land   - N/A -        4600<br>Imprv   - N/A -        65900<br>Total   - N/A -        70500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 13

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | YES           | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 18.00

**Lot Entries**

Lot Size 40.00 X 123.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310083000    | 4472 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                               | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| JOEL J KINLOW<br>3124 W SHEVIDAN AVE<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2010-06-02<br>Fee                                52.20<br><i>Name Change: 2010-09-02</i> | Year    Current    Previous<br>Land   - N/A -        4400<br>Imprv   - N/A -        68400<br>Total   - N/A -        72800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 14

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 116.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310084000    | 4478 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |   |  |
|--|---|--|
| <b>Ownership Information</b>   | <b>Conveyance</b>   | <b>Assessment Information</b>  |
| US BANK NATIONAL ASSN<br>AS TRUSTEE FOR CMLTI<br>2006-HE3<br>3476 STATEVIEW BLVD<br>FORT MILL SC 29715 | Deed Type SD<br>Date 2010-03-08<br>Fee 0.00<br><i>Name Change: 2010-06-10</i> | Year Current Previous<br>Land - N/A - 4300<br>Imprv - N/A - 63500<br>Total - N/A - 67800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 15

**Dwelling is a 2.0 Story Residence Old Style having 1214 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 639 | Bedrooms   | 3  |
| Year Built     | 1923          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 591 sqft | Basement   | 0   |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 40.00 X 110.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310085000    | 4484 N 26TH ST         | 1500        | 23128       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                               | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| JOHN HENRY SEYMORE<br>4484 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1973-03-01<br>Fee                                15.90<br><i>Name Change: 1976-03-12</i> | Year    Current    Previous<br>Land   - N/A -        4100<br>Imprv   - N/A -        75500<br>Total   - N/A -        79600 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-112       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 6 LOT 16

**Dwelling is a 2.0 Story Residence Old Style having 1498 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 749 | Bedrooms   | 4  |
| Year Built     | 1923          | 2nd Flr    | 749 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | YES           | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 600 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 3964.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310808000    | 4447 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|   |  |   |
|---|--|---|
| <b>Ownership Information</b>                          | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| BRENDA S SIMS<br>4447 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2002-12-23<br>Fee                                195.00<br><i>Name Change: 2003-03-20</i> | Year    Current    Previous<br>Land   - N/A -        4600<br>Imprv   - N/A -        81300<br>Total   - N/A -        85900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 8

**Dwelling is a 2.0 Story Residence Old Style having 1275 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 700 | Bedrooms   | 3   |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 678 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 24.00 X 24.00

**Lot Entries**

Lot Size 40.00 X 128.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310807000    | 4451 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| HEATHER L TURNER<br>4451 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              2005-09-28<br>Fee                                195.00<br><i>Name Change: 2006-01-12</i> | Year    Current    Previous<br>Land   - N/A -        4600<br>Imprv   - N/A -        68600<br>Total   - N/A -        73200 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 7

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1923             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 14.00

**Lot Entries**

Lot Size 40.00 X 124.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310806000    | 4459 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                       | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| LINDA HAYNES<br>PO BOX 25379<br>MILWAUKEE WI 53225 | Deed Type SD<br>Date 1994-07-01<br>Fee 24.30<br><i>Name Change: 2009-03-20</i> | Year Current Previous<br>Land - N/A - 4500<br>Imprv - N/A - 61900<br>Total - N/A - 66400 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 6

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 18.00 X 10.00

**Lot Entries**

Lot Size 40.00 X 120.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310805000    | 4463 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|   |   |   |
|---|---|---|
| <b>Ownership Information</b>                            | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| ANDRIA M BARTON<br>4463 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                                2004-02-13<br>Fee                                 159.00<br><i>Name Change: 2004-06-28</i> | Year      Current      Previous<br>Land    - N/A -        4400<br>Imprv   - N/A -        68100<br>Total    - N/A -        72500 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 5

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 10.00

**Lot Entries**

Lot Size 40.00 X 117.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310804000    | 4469 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| JIMMIE D ADDISON JR          | Deed Type                      | QC                            |
| EMILY ADDISON                | Date                           | 2006-03-27                    |
| 4469 N 26TH ST               | Fee                            | 0.00                          |
| MILWAUKEE WI 53209           | <i>Name Change: 2006-06-20</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4400                          |
|                              |                                | 71700                         |
|                              |                                | 76100                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

### Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 4

### Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

### Garages and Other

Det. Garage 22.00 X 22.00

### Lot Entries

Lot Size 40.00 X 113.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310803000    | 4473 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|  |   |   |
|--|---|---|
| <b>Ownership Information</b>                           | <b>Conveyance</b>   | <b>Assessment Information</b>   |
| B. J. WILLIAMS<br>4473 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      QC<br>Date                              2000-12-19<br>Fee                                47.70<br><i>Name Change: 2002-02-01</i> | Year      Current      Previous<br>Land    - N/A -        4300<br>Imprv   - N/A -        69500<br>Total    - N/A -        73800 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 3

**Dwelling is a 2.0 Story Residence Old Style having 1216 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 641 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 15.00

**Lot Entries**

Lot Size 40.00 X 109.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310802000    | 4481 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|  |  |  |
|--|--|--|
| <b>Ownership Information</b>                                 | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| MAE FRANCES ANDERSON<br>4481 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type AS<br>Date 1989-06-01<br>Fee 0.00<br>Name Change: 1989-09-29 | Year Current Previous<br>Land - N/A - 4200<br>Imprv - N/A - 69200<br>Total - N/A - 73400 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 2

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 18.00

**Lot Entries**

Lot Size 40.00 X 106.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310801000    | 4485 N 26TH ST         | 1500        | 23127       | Milwaukee                | Residential  |

|  |  |   |
|--|--|---|
| <b>Ownership Information</b>                             | <b>Conveyance</b>  | <b>Assessment Information</b>   |
| GLENN W WILLIAMS<br>4485 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      QC<br>Date                              2003-03-24<br>Fee                                0.00<br><i>Name Change: 2003-07-08</i> | Year      Current      Previous<br>Land    - N/A -        4100<br>Imprv   - N/A -        38300<br>Total    - N/A -        42400 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 1

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 39.00 X 102.00

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## Assessment Detail and Listing Characteristics

|               |                         |             |             |                          |              |
|---------------|-------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b>  | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310809000    | 2602 W PORT SUNLIGHT WA | 1500        | 23127       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| LAURI J WYNN                 | Deed Type                      | Year                          |
| 8157 W SCRANTON PL           | Date                           | Current                       |
| MILWAUKEE WI 53218           | Fee                            | Previous                      |
|                              | <i>Name Change: 1998-11-11</i> | Land - N/A -                  |
|                              |                                | Imprv - N/A -                 |
|                              |                                | Total - N/A -                 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 9

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 52.00 X 97.00

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## Assessment Detail and Listing Characteristics

|               |                         |             |             |                          |              |
|---------------|-------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b>  | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310810000    | 2610 W PORT SUNLIGHT WA | 1500        | 23127       | Milwaukee                | Residential  |

|                              |                                |                               |       |         |          |
|------------------------------|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| JEFFREY GOLD                 | Deed Type                      | PR                            | Year  | Current | Previous |
| 9220 N 75TH ST # 212         | Date                           | 2006-02-16                    | Land  | - N/A - | 4500     |
| MILWAUKEE WI 532231118       | Fee                            | 225.00                        | Imprv | - N/A - | 69300    |
|                              | <i>Name Change: 2011-03-23</i> |                               | Total | - N/A - | 73800    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

**Legal Description**

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 10

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 45.00 X 105.00

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## Assessment Detail and Listing Characteristics

|               |                         |             |             |                          |              |
|---------------|-------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b>  | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310811000    | 2614 W PORT SUNLIGHT WA | 1500        | 23127       | Milwaukee                | Residential  |

|                              |                                |                               |       |         |          |
|------------------------------|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| WATERSTONE BANK SSB          | Deed Type                      | SD                            | Year  | Current | Previous |
|                              | Date                           | 2008-12-03                    | Land  | - N/A - | 4500     |
| 11200 W PLANK COURT          | Fee                            | 0.00                          | Imprv | - N/A - | 69700    |
| MILWAUKEE WI 53226           | <i>Name Change: 2009-10-16</i> |                               | Total | - N/A - | 74200    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-111       |

Legal Description

RE-PLAT OF BLK 7 GARDEN HOMES SUBD IN NW & SW 1/4 SEC 6-7-22 BLOCK 7 LOT 11

**Dwelling is a 2.0 Story Residence Old Style having 1172 sqft of finished living area**

|                |                  |            |     |            |     |
|----------------|------------------|------------|-----|------------|-----|
| Dwelling Units | 1                | 1st Flr    | 597 | Bedrooms   | 3   |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1   |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 597 sqft    | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 45.00 X 107.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310093000    | 4369 N 26TH ST         | 1500        | 24533       | Milwaukee                | Residential  |

|  |                                |                               |       |         |          |
|--|--------------------------------|-------------------------------|-------|---------|----------|
| <b>Ownership Information</b>                                   | <b>Conveyance</b>              | <b>Assessment Information</b> |       |         |          |
| IVORY PEOPLES<br>6158 W SILVER BROOK LA<br>BROWN DEER WI 53223 | Deed Type                      | WD                            | Year  | Current | Previous |
|  | Date                           | 2001-05-07                    | Land  | - N/A - | 4200     |
|  | Fee                            | 40.50                         | Imprv | - N/A - | 63300    |
|  | <i>Name Change: 2001-07-25</i> |                               | Total | - N/A - | 67500    |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 8

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1924          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | STUCCO        | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 4110.00 sqft

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310092000    | 4375 N 26TH ST         | 1500        | 24533       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                            | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| LAMARR M TAYLOR<br>4375 N 26TH ST<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1991-10-01<br>Fee                                0.00<br><i>Name Change: 1991-12-02</i> | Year    Current    Previous<br>Land   - N/A -       4200<br>Imprv   - N/A -       57500<br>Total   - N/A -       61700 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 7

**Dwelling is a 2.0 Story Residence Old Style having 968 sqft of finished living area**

|                |               |            |     |            |     |
|----------------|---------------|------------|-----|------------|-----|
| Dwelling Units | 1             | 1st Flr    | 500 | Bedrooms   | 2   |
| Year Built     | 1924          | 2nd Flr    | 468 | Baths      | 1   |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0   |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | YES |
| Exterior Wall  | FRAME         | Half Story | 0   | FirePlaces | 0   |
| Basement Type  | FULL 468 sqft | Basement   | 0   |            |     |

**Garages and Other**

Det. Garage 20.00 X 20.00

**Lot Entries**

Lot Size 41.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310091000    | 4381 N 26TH ST         | 1500        | 24533       | Milwaukee                | Exempt       |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| CITY OF MILW                 | Deed Type                      | Year                          |
|                              | Date                           | Current                       |
|                              |                                | Previous                      |
| 809 N BROADWAY               | Fee                            | Land                          |
| MILWAUKEE WI 53202           | <i>Name Change: 2010-09-28</i> | Imprv                         |
|                              |                                | Total                         |
|                              |                                | IR                            |
|                              |                                | - N/A -                       |
|                              |                                | 4100                          |
|                              |                                | 0.00                          |
|                              |                                | 44600                         |
|                              |                                | - N/A -                       |
|                              |                                | 48700                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 6

### Exempt Property Attributes Not Available

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 [Assessment History](#)  
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Data Provided By Assessor Query From: 199.196.70.38



## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310090100    | 4387-4389 N 26TH ST    | 1500        | 24533       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                                  | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| IVORY PEOPLES<br>6158 W SILVERBROOK LN<br>MILWAUKEE WI 53223d | Deed Type           WD<br>Date                 2001-10-31<br>Fee                   57.00<br><i>Name Change: 2002-01-02</i> | Year    Current    Previous<br>Land   - N/A -       5800<br>Imprv   - N/A -       29300<br>Total   - N/A -       35100 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 4 EXC N 0.70' & ALL OF LOT 5

**Dwelling is a 2.0 Story Townhouse having 2078 sqft of finished living area**

|                |                |            |      |            |    |
|----------------|----------------|------------|------|------------|----|
| Dwelling Units | 2              | 1st Flr    | 1039 | Bedrooms   | 4  |
| Year Built     | 1924           | 2nd Flr    | 1039 | Baths      | 2  |
| Heating        | WARM AIR       | 3rd Flr    | 0    | Half Baths | 0  |
| Airconditioned | NO             | Attic      | 0    | RecRoom    | NO |
| Exterior Wall  | STUCCO         | Half Story | 0    | FirePlaces | 0  |
| Basement Type  | FULL 1039 sqft | Basement   | 0    |            |    |

**Garages and Other**

None Listed

**Lot Entries**

Lot Size 79.00 X 100.00

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 [Sale History](#)   
 [Assessment History](#)   
 [Tax Balance](#)   
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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310089100    | 4395 N 26TH ST         | 1500        | 24533       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                                      | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| FEDERAL NAT'L MTG ASSN<br>450 AMERICAN ST<br>SIMI VALLEY CA 93065 | Deed Type SD<br>Date 2010-12-08<br>Fee 0.00<br>Name Change: 2011-02-25 | Year Current Previous<br>Land - N/A - 4200<br>Imprv - N/A - 58700<br>Total - N/A - 62900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 3 & N 0.70' LOT 4

**Dwelling is a 2.0 Story Residence Old Style having 1173 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 598 | Bedrooms   | 3  |
| Year Built     | 1924          | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | FRAME         | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 598 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 22.00 X 14.00

**Lot Entries**

Lot Size 41.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310088000    | 4401 N 26TH ST         | 1500        | 24533       | Milwaukee                | Residential  |

|   |  |  |
|---|--|--|
| <b>Ownership Information</b>                                  | <b>Conveyance</b>  | <b>Assessment Information</b>  |
| CORA LAMPKINS<br>4401 NORTH 26TH STREET<br>MILWAUKEE WI 53209 | Deed Type                      WD<br>Date                              1980-09-01<br>Fee                                27.50<br>Name Change: 1976-03-12 | Year    Current    Previous<br>Land - N/A -        4100<br>Imprv - N/A -       56800<br>Total - N/A -        60900 |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 2

**Dwelling is a 2.0 Story Residence Old Style having 1011 sqft of finished living area**

|                |               |            |     |            |    |
|----------------|---------------|------------|-----|------------|----|
| Dwelling Units | 1             | 1st Flr    | 543 | Bedrooms   | 2  |
| Year Built     | 1923          | 2nd Flr    | 468 | Baths      | 1  |
| Heating        | WARM AIR      | 3rd Flr    | 0   | Half Baths | 0  |
| Airconditioned | NO            | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | FRAME         | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | FULL 523 sqft | Basement   | 0   |            |    |

**Garages and Other**

Det. Garage 20.00 X 12.00

**Lot Entries**

Lot Size 40.00 X 100.00

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## Assessment Detail and Listing Characteristics

|               |                        |             |             |                          |              |
|---------------|------------------------|-------------|-------------|--------------------------|--------------|
| <b>Taxkey</b> | <b>Premise Address</b> | <b>Nbhd</b> | <b>Plat</b> | <b>Assessment County</b> | <b>Class</b> |
| 2310087000    | 4407 N 26TH ST         | 1500        | 24533       | Milwaukee                | Residential  |

|                              |                                |                               |
|------------------------------|--------------------------------|-------------------------------|
| <b>Ownership Information</b> | <b>Conveyance</b>              | <b>Assessment Information</b> |
| STEVE PRYCE                  | Deed Type                      | WD                            |
| PATRICIA D BOODOO            | Date                           | 2007-01-11                    |
| 8937 N 87TH CT               | Fee                            | 339.00                        |
| MILWAUKEE WI 53224           | <i>Name Change: 2007-04-10</i> |                               |
|                              | Year                           | Current                       |
|                              | Land                           | - N/A -                       |
|                              | Imprv                          | - N/A -                       |
|                              | Total                          | - N/A -                       |
|                              |                                | Previous                      |
|                              |                                | 4100                          |
|                              |                                | 81700                         |
|                              |                                | 85800                         |

|                 |                  |               |                      |               |
|-----------------|------------------|---------------|----------------------|---------------|
| <b>Org Year</b> | <b>Drop Year</b> | <b>Zoning</b> | <b>Ald. District</b> | <b>Census</b> |
|                 |                  | RS6           | 1                    | 042-101       |

### Legal Description

GARDEN HOMES SUBD IN NW 1/4 & SW 1/4 SEC 6-7-22 BLOCK 9 LOT 1

### Dwelling is a 2.0 Story Residence Old Style having 1478 sqft of finished living area

|                |                  |            |     |            |    |
|----------------|------------------|------------|-----|------------|----|
| Dwelling Units | 1                | 1st Flr    | 903 | Bedrooms   | 3  |
| Year Built     | 1924             | 2nd Flr    | 575 | Baths      | 1  |
| Heating        | WARM AIR         | 3rd Flr    | 0   | Half Baths | 1  |
| Airconditioned | NO               | Attic      | 0   | RecRoom    | NO |
| Exterior Wall  | ALUMINUM / VINYL | Half Story | 0   | FirePlaces | 0  |
| Basement Type  | PARTIAL 597 sqf  | Basement   | 0   |            |    |

### Garages and Other

Det. Garage 26.00 X 24.00

### Lot Entries

Lot Size 4006.00 sqft

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Office of the City Clerk

Ronald D. Leonhardt  
City Clerk

Jim Owczarski  
Deputy City Clerk

March 16, 2011

Dear Neighboring Property Owner:

**RE: Historic Designation of Garden Homes Historic District**

A nomination was recently submitted to the Historic Preservation Commission to designate Garden Homes as a historic district (see map on back of this page). This proposed designation does not affect your property.

A public hearing has been scheduled on Monday, April 11, 2011 at 3:00 P.M. at City Hall, 200 East Wells Street, Room 301B to determine whether or not the proposed Garden Homes Historic District satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the buildings meet at least one criterion, a favorable recommendation for the nomination can be forwarded to the Milwaukee Common Council.

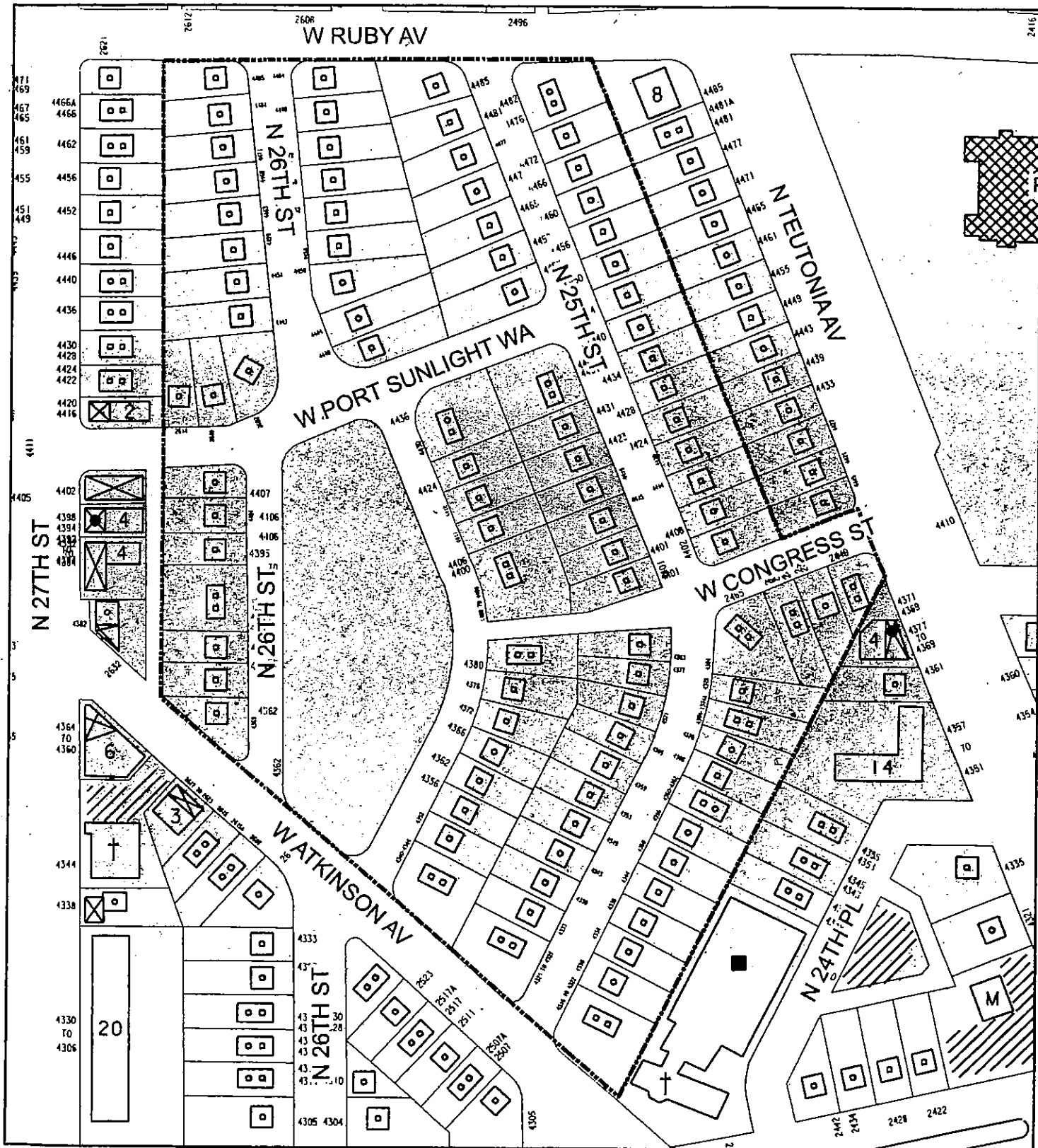
The Garden Homes Historic District Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the Garden Homes District is number 101274. If you have any questions regarding the designation of the Garden Homes Historic District, please call Carlen Hatala of the Historic Preservation staff at (414) 286-5722.

Sincerely,

Ronald D. Leonhardt  
City Clerk

c: Ald. Ashanti Hamilton -- 1st District

# Garden Homes Historic District



 District Boundary

0 100 200 400 Feet



MAE D KILLEBREW  
12742 SHADY RIDGE LA  
FARRAGUT TN 37934

MARILYN D VALENTINE  
1000 CEDAR HILL RD  
MADISON MS 39110

NADER A SALEM  
9857 W PRAIRIE GRASS WAY  
FRANKLIN WI 53132

MILWAUKEE AIDS HOUSING CORP  
820 N PLANKINTON  
MILWAUKEE WI 53202

DR. RANDLE E POLLARD &  
929 N ASTOR ST # 1801  
MILWAUKEE WI 53202

OTHA L SMITH  
3803 N 18TH ST  
MILWAUKEE WI 53206

DIANNA J MYLES  
4360 N TEUTONIA AV  
MILWAUKEE WI 53206

CITY OF MILW SCHOOL SITE  
5225 W VLIET ST  
MILWAUKEE WI 53208

DERRICK DAVENPORTE  
1739 N 17TH ST  
MILWAUKEE WI 53209

ELIZABETH SHARON MASON  
2442 WEST ROOSEVELT DR  
MILWAUKEE WI 53209

GARDEN HOMES EV LUTH CHURCH  
2450 W ROOSEVELT DR  
MILWAUKEE WI 53209

ANGELA MITCHELL  
2496 W RUBY AV  
MILWAUKEE WI 53209

JIMMIE L WHIGHAM  
2511 W ATKINSON AV  
MILWAUKEE WI 53209

JAMES M COCROFT  
2517 W ATKINSON AV  
MILWAUKEE WI 53209

GLORIA DEAN EWING  
2523 W ATKINSON AV  
MILWAUKEE WI 53209

HENRY GLENN  
2603 W ATKINSON AV  
MILWAUKEE WI 53209

KAREN L BELL  
2607 W ATKINSON AV  
MILWAUKEE WI 53209

HJR INVESTORS INC  
2621 W ATKINSON AV  
MILWAUKEE WI 53209

RCBC INVESTMENT LLC  
3707 W GOOD HOPE RD #22  
MILWAUKEE WI 53209

BRUCE & GLORIA WRIGHT IN  
4075 N 16TH ST  
MILWAUKEE WI 53209

ANNA R GARETT  
4310 N 26TH ST  
MILWAUKEE WI 53209

LOUISE GRANT  
4317 N 26TH ST  
MILWAUKEE WI 53209

SANNIA E GREEN  
4325 N 19TH ST  
MILWAUKEE WI 53209

WILLIAM F ALEXANDER & BETTY  
4333 N 26TH ST  
MILWAUKEE WI 53209

MAXINE TYNER  
4335 N TEUTONIA AV  
MILWAUKEE WI 53209

RIAZ MOHAMMAD  
4405 N 27TH ST  
MILWAUKEE WI 53209

LINDA F WHITE  
4415 N TEUTONIA AV  
MILWAUKEE WI 53209

JOYCE M NYHOLM  
4417 N 27TH ST  
MILWAUKEE WI 53209

DARLENE THOMAS  
4421 N TEUTONIA AV  
MILWAUKEE WI 53209

ADDISON, L C & MARY J  
4427 N TEUTONIA AVE  
MILWAUKEE WI 53209

ALLAN D NEWSOM SR  
4439 N TEUTONIA AV  
MILWAUKEE WI 53209

J D O'NEAL JR & LOLA O'NEAL  
4443 N TEUTONIA AV  
MILWAUKEE WI 53209

DAPHANE LUCKETT  
4445 N 27TH ST  
MILWAUKEE WI 53209

CHARLIE CLAYBORN  
4461 N TEUTONIA AV  
MILWAUKEE WI 53209

AUSTIN WARD & HATTIE WARD  
4465 N 27TH ST  
MILWAUKEE WI 53209

LOLETA CARR  
4465 N TEUTONIA AV  
MILWAUKEE WI 53209

RUDOLPH MILLER & LOUISE HW  
4469 N 27TH ST  
MILWAUKEE WI 53209

BEVERLY ANN HILL, LIFE EST  
4471 N TEUTONIA AV  
MILWAUKEE WI 53209

RODERICK JOINER  
4477 N TEUTONIA AV  
MILWAUKEE WI 53209

RUBY H MAYS  
4500 N 26TH ST  
MILWAUKEE WI 53209

ALEPH DILWORTH  
4501 N 27TH ST  
MILWAUKEE WI 53209

JEAN M & DEREK L NEAL  
4503 N 26TH ST  
MILWAUKEE WI 53209

WILLIAMS, LORENZA & GEORGIA  
4507 N 26TH ST  
MILWAUKEE WI 53209

HENRY C MOORE JR  
4511 N TEUTONIA AV  
MILWAUKEE WI 53209

TRACY DI DONATELLA  
4512 N 26TH ST  
MILWAUKEE WI 53209

DORIS E SMITH  
4513 N 26TH ST  
MILWAUKEE WI 53209

TAMERA BROWN  
4519 N 26TH ST  
MILWAUKEE WI 53209

BAILEY, SAM P & CARRIE B  
4525 N 26TH ST  
MILWAUKEE WI 53209

ROOSEVELT & DOROTHY M  
4915 N 24TH PL  
MILWAUKEE WI 53209

KEVIN D LUCKETT  
5049 N 37TH ST  
MILWAUKEE WI 53209

NEW TEUTONIA STREET  
3031 N 38TH ST  
MILWAUKEE WI 53210

LINDA W WASHINGTON  
3400 N 37TH ST  
MILWAUKEE WI 53216

ROBERT HOOKS & DORIS HW  
4041 N SHERMAN BLVD  
MILWAUKEE WI 53216

POWER HOUSE OF DELIVERANCE  
4344 N 27TH ST  
MILWAUKEE WI 53216

L E HOWARD  
5618 W MELVINA ST  
MILWAUKEE WI 53216

SECURANT BANK & TRUST  
6001 W CAPITOL DR  
MILWAUKEE WI 53216

GLENDALE TEN LLC  
P O BOX 170492  
MILWAUKEE WI 53217

TAMMY L PERINE  
5251 N 56TH ST  
MILWAUKEE WI 53218

WWG PROP INVESTMENTS LLC  
3953 N 76TH ST # 202  
MILWAUKEE WI 53222

KIM BRUMFIELD  
6610 N YUBA ST  
MILWAUKEE WI 53223



RENOLD S COUSINS  
8950 W HUSTIS ST  
MILWAUKEE WI 53224

DAVE HATTON III  
9001 W DOGWOOD ST  
MILWAUKEE WI 53224

NESSLER TERENCE  
PO BOX 250286  
MILWAUKEE WI 53225

ASGHAR J ALI  
12231 W DEERBORN AVE  
MILWAUKEE WI 53226

FOURTH PROPERTY DEVELOPMENT  
743 N 25TH ST  
MILWAUKEE WI 53233

HAROLD F COLE  
219 WOLFF ST  
RACINE WI 53402

ERICK N JENKINS  
735 W IRVING PARK RD UNIT F  
ROSELLE IL 60172

DOROTHY J JACKSON  
4518 N 26TH ST  
MILWAUKEE WI 532096106

MOHAMMAD RIAZ  
4405 N 27TH ST  
MILWAUKEE WI 532096107

IVY MOREHOUSE  
4449 N 27TH ST  
MILWAUKEE WI 532096107

JAMES T JOHNSON  
4505 N TEUTONIA AV  
MILWAUKEE WI 532096226

ERNEST T EASTER  
4343 N 24TH PL  
MILWAUKEE WI 532096631

CYNTHIA RENEE JOHNSON  
4375 N 27TH ST  
MILWAUKEE WI 532161809



Office of the City Clerk

Ronald D. Leonhardt  
City Clerk

March 16, 2011

Jim Owczarski  
Deputy City Clerk

[www.milwaukee.gov](http://www.milwaukee.gov)

CERTIFIED MAIL

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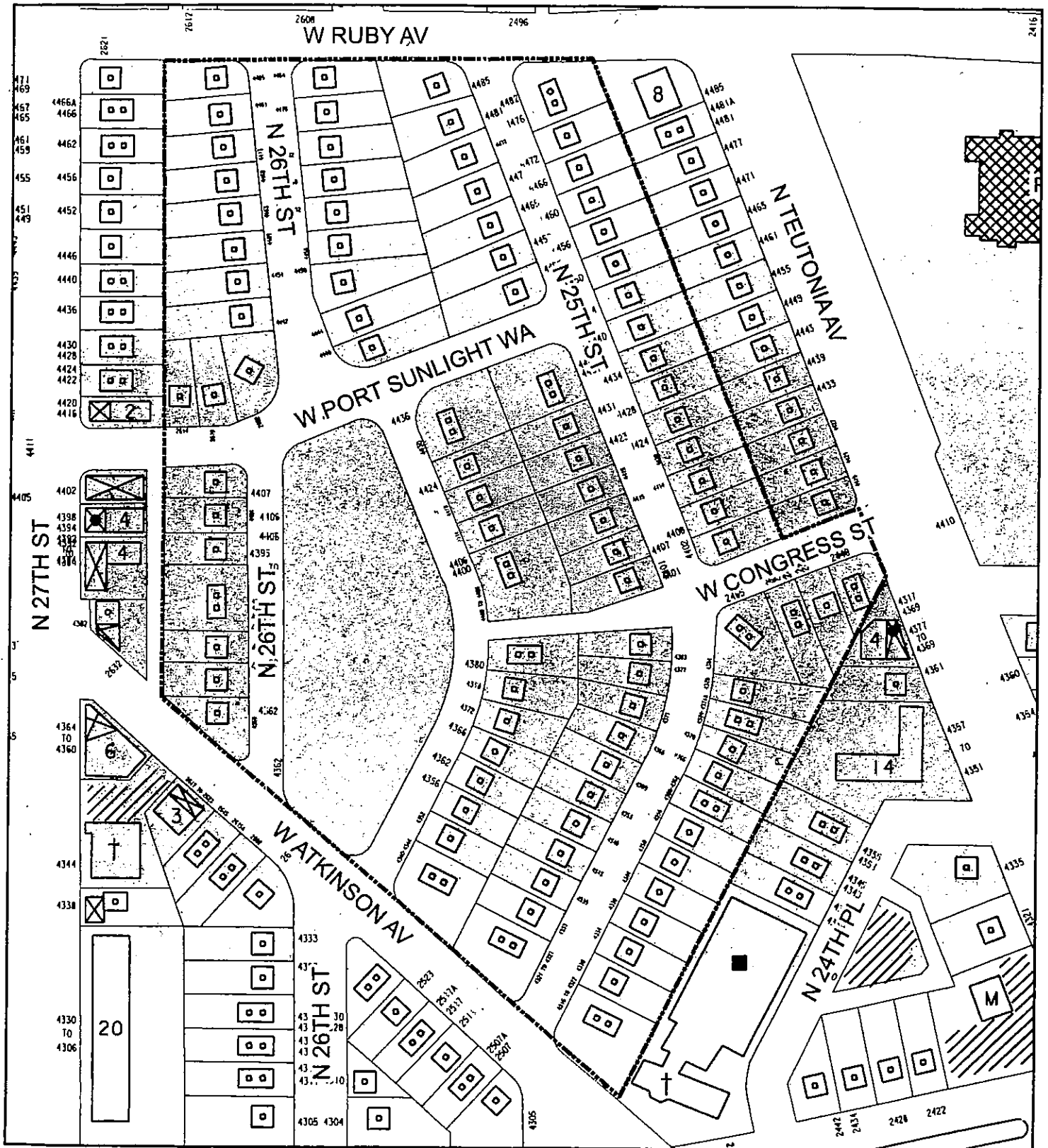
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Ronald D. Leonhardt  
City Clerk

c: Ald. Ashanti Hamilton – 1st District

# Garden Homes Historic District



 District Boundary

0 100 200 400 Feet



US BANK NATIONAL ASSN  
3476 STATEVIEW BLVD  
FORT MILL SC 29715

METRO CAPITAL FUNDING  
6820 QUEENFERRY CR  
BOCA RATON FL 33496

LISA ANN BABALOLA  
12930 CARDINAL CREST DR  
BROOKFIELD WI 53005

DANIEL J BATTIOLA  
3365 SAN MARCOS  
BROOKFIELD WI 53005

11 ARUBA PROPERTIES LLC  
PO BOX 757  
CEDARBURG WI 53012

KENNETH E MARTIN  
1932 W WRIGHT ST  
MILWAUKEE WI 53206

WILL J SHERARD  
2233 W CAPITOL DR  
MILWAUKEE WI 53206

JAMES W FERGUSON  
2533 N 18 ST  
MILWAUKEE WI 53206

WILLIE COGER III  
3603 N 23RD ST  
MILWAUKEE WI 53206

LOVE, MARTHA B  
4377 N 25TH ST  
MILWAUKEE WI 53206

DOLORES MANNS  
1819 N 28TH ST  
MILWAUKEE WI 53208

JACQUELINE A CARTER  
2449 W CONGRESS ST  
MILWAUKEE WI 53209

GARDEN HOMES EVANGELICAL  
2450 W ROOSEVELT DR  
MILWAUKEE WI 53209

GARDEN HOMES LUTHERAN  
2450 W ROOSEVELT DR  
MILWAUKEE WI 53209

MATTIE WILLIAMS  
2453 W CONGRESS ST  
MILWAUKEE WI 53209

GARY HELGELAND  
2457 W CONGRESS ST  
MILWAUKEE WI 53209

MALIK GRANT  
2465 W CONGRESS ST  
MILWAUKEE WI 53209

JEFFREY GOLD  
2610 W PORT SUNLIGHT WA  
MILWAUKEE WI 53209

JOEL J KINLOW  
3124 W SHEVIDAN AVE  
MILWAUKEE WI 53209

JOE W MAYO & HELEN A H W  
4321 N 25TH ST  
MILWAUKEE WI 53209

FRONDLA R WILLIAMS  
4334 N 25TH ST  
MILWAUKEE WI 53209

KENNETH A & LORETTA CAMPBELL  
4339 N 25TH ST  
MILWAUKEE WI 53209

JAMES E MAGEE  
4340 N 26TH ST  
MILWAUKEE WI 53209

IRENE BESANT  
4344 N 25TH ST  
MILWAUKEE WI 53209

LASONIA D TAYLOR  
4349 N 25TH ST  
MILWAUKEE WI 53209

SADIE L ROCKETT  
4350 N 25TH ST  
MILWAUKEE WI 53209

ALBERT BOSTON & VICKI HW  
4352 N 26TH ST  
MILWAUKEE WI 53209

ROBIN DONALD  
4356 N 25TH ST  
MILWAUKEE WI 53209

MARY GANT  
4360 N 25TH ST  
MILWAUKEE WI 53209

VAN L ABERNATHY &  
4362 N 26TH ST  
MILWAUKEE WI 53209

SHIRLEY A TRIBBLE  
4365 N 25TH ST  
MILWAUKEE WI 53209

DONALD FOSTER  
4366 N 25TH ST  
MILWAUKEE WI 53209

MARGARET PAGE  
4370 N 25TH ST  
MILWAUKEE WI 53209

CONINTHA S WILLIAMS  
4371 N 25TH ST  
MILWAUKEE WI 53209

LAMARR M TAYLOR  
4375 N 26TH ST  
MILWAUKEE WI 53209

MARTHA J. FREEMAN  
4376 N 26TH ST  
MILWAUKEE WI 53209

CHEVY A HEART  
4378 N 25TH ST  
MILWAUKEE WI 53209

CORA LAMPKINS  
4401 NORTH 26TH STREET  
MILWAUKEE WI 53209

JAMES GRANT & ROSIE HW  
4402 N 25TH ST.  
MILWAUKEE WI 53209

CAROL Y HAMPTON &  
4408 N 25TH ST  
MILWAUKEE WI 53209

BERNADINE GILBERT  
4415 N 25TH ST  
MILWAUKEE WI 53209

LYNDELL GILBERT  
4419 N 25TH ST  
MILWAUKEE WI 53209

KIMBERLY M ELY  
4420 N 25TH ST  
MILWAUKEE WI 53209

KENDRA JONES  
4428 N 25TH ST  
MILWAUKEE WI 53209

BERTHA D SHACKELFORD  
4440 N 25TH ST  
MILWAUKEE WI 53209

GUADALUPE PRADO JIMENEZ  
4440 N 26TH ST  
MILWAUKEE WI 53209

NEAL, WILLIAM JR  
4441 NORTH 25TH STREET  
MILWAUKEE WI 53209

BRENDA S SIMS  
4447 N 26TH ST  
MILWAUKEE WI 53209

HEATHER L TURNER  
4451 N 26TH ST  
MILWAUKEE WI 53209

NATHANIEL MCCLENDON & RINDA  
4456 N 25TH ST  
MILWAUKEE WI 53209

WILLIE B JACKSON  
4457 N 25TH ST  
MILWAUKEE WI 53209

MATTIE M WILSON  
4458 N 26TH ST  
MILWAUKEE WI 53209

JOHN A BARTON SR  
4462 N 26 ST  
MILWAUKEE WI 53209

ANDRIA M BARTON  
4463 N 26TH ST  
MILWAUKEE WI 53209

JOSEPH A BOVA  
4468 N 26TH ST  
MILWAUKEE WI 53209

JIMMIE D ADDISON JR  
4469 N 26TH ST  
MILWAUKEE WI 53209

B. J. WILLIAMS  
4473 N 26TH ST  
MILWAUKEE WI 53209

TAMMY B CANNON  
4477 N 25TH ST  
MILWAUKEE WI 53209

JOHNNY MCGILL  
4481 N 25TH ST  
MILWAUKEE WI 53209

MAE FRANCES ANDERSON  
4481 N 26TH ST  
MILWAUKEE WI 53209

JOHN HENRY SEYMORE  
4484 N 26TH ST  
MILWAUKEE WI 53209

GLENN W WILLIAMS  
4485 N 26TH ST  
MILWAUKEE WI 53209

EAGLES NEST PROPERTIES LLC  
5707A N 38TH ST  
MILWAUKEE WI 53209

ELLA DUNBAR  
7515 N 39TH ST  
MILWAUKEE WI 53209

MAYME LEE ROBINSON  
PO BOX 90433  
MILWAUKEE WI 53209

ROBERT LOUIS HOLT  
2303 N 39TH ST  
MILWAUKEE WI 53210

JANET MAYS  
2940 N DOWNER AV  
MILWAUKEE WI 53211

BOULEVARD PROPERTIES LLC  
PO BOX 11214  
SHOREWOOD WI 53211

DENNIS R EDWARDS  
PO BOX 72022  
MILWAUKEE WI 53212

HENRY BILBO IN TRUST  
2346 N 61ST ST  
MILWAUKEE WI 53213

COURTNAYE A DUPLESSIS  
954 S 56TH ST  
WEST ALLIS WI 53214

DARRELL WILLIAMS  
3129 N 50TH ST  
MILWAUKEE WI 53216

FRED LEWIS  
3300 N 45TH ST  
MILWAUKEE WI 53216

THOMAS D FOX  
3748 N 54TH BLVD  
MILWAUKEE WI 53216

LAWRENCE D JACKSON  
3873 N 66TH ST  
MILWAUKEE WI 53216

ARNEATHA COCKRANE  
4115 N 39TH ST  
MILWAUKEE WI 53216

BEST INVESTMENTS, LLC  
617 W CAPITOL DR  
MILWAUKEE WI 53216

LAURI J WYNN  
8157 W SCRANTON PL  
MILWAUKEE WI 53218

IVORY PEOPLES  
6158 W SILVER BROOK LA  
BROWN DEER WI 53223

ESSIE M COPELAND  
7523 N 79TH ST  
MILWAUKEE WI 53223

EDNA FENCEROY  
9181 N GOLDENDALE DR  
MILWAUKEE WI 53223

STEVE PRYCE  
8937 N 87TH CT  
MILWAUKEE WI 53224

DARIAN LUCKETT  
9537 W ROCHELLE AVE  
MILWAUKEE WI 53224

LINDA HAYNES  
PO BOX 25379  
MILWAUKEE WI 53225

WATERSTONE BANK SSB  
11200 W PLANK COURT  
MILWAUKEE WI 53226

MILWAUKEE COUNTY  
9480 WATERTOWN PLANK RD  
WAUWATOSA WI 53226

LIDDIE HOOKER  
1006 N PINE ST  
SUN PRAIRE WI 53590

RMS INVESTMENTS 2 LLC  
856 E HIAWATHA DR  
WISCONSIN DELLS WI 53965

STEVE J OLSON  
7857 NW ROANRIDGE RD APT H  
KANSAS CITY MO 64151

PATRICIA A NELSON  
5350 BLACKHAWK WAY  
DENVER CO 80239

6603157 CANADA LTD  
342279 1ST ST OLIVER  
BRITISH COLUMBIA CA 99999



Legislation Details (With Text)

**File #:** 110373      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/5/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Letters of Support

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/5/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110373  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for construction of two additions at 2134 N. Terrace Avenue for Michael and Cathy White.

Requestor

Drafter  
CC-CC  
dkf  
7/5/11





## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 7/25/2011**  
**Ald. Nik Kovac District: 3**  
**Staff reviewer: Paul Jakubovich**  
**PTS #69182**

**Property** 2134 N. TERRACE AV., North Point South Historic District

**Owner/Applicant** MICHAEL WHITE  
2134 N TERRACE AVE  
MILWAUKEE WI 53202

Greg Uhen  
Eppstein Uhen Architects, Inc.  
333 E. Chicago St.  
Milwaukee, WI 53202  
Phone: (414) 298-2234  
Fax: (414) 271-5350

**Proposal** Construct additions on the north, south, east and west elevations.

**Staff comments** This 1923 Mediterranean Villa style home, designed by architects Brust and Philipp, was recently cleaned of its paint to reveal the original golden cream brick. The applicants are now seeking to add additions to each of the four elevations of the house. They have met with HPC staff and have done considerable redesign of the proposal to make it a better fit with the house. Located on a corner, the two principal street-facing elevations would be changed, although the garage addition on the front of the house and the small hip roofed addition on the north elevation would be relatively difficult to see given the presence of a tall garden wall at the front of the property. The applicant also would extend the garden wall further to the south to help conceal the front addition.

The plans as they stand do not meet zoning codes for the south and east setbacks. Therefore the project would require approval from HPC and the board of zoning appeals in order to move forward. The last project that HPC approved that also required subsequent approval by the Board of Zoning Appeals, was later rejected by BOZA and had to be redesigned to meet the zoning code.

The commission must also consider a fundamental policy issue here on whether significant alterations and additions should be made to street-facing elevations in the district. To date, the commission has allowed only very minor alterations to street-facing elevations such as the extension of a terrace or a minor alteration to a window opening.

According to the local district guidelines, additions should be "Located so as not to [be] visible from the public right-of-way, if at all possible." Neither the State Historical Preservation office (SHPO) nor the National Parks Service is in favor of additions that are on the principal elevations of a historic building. According to federal and state guidelines, any new additions must not be highly visible from the public right of way. Additions to the front and street facing elevations are not allowed. Additions on all four sides of the building would render it a non-contributing building in the district, according to state historical society staff. If multiple houses in the district were to be altered in a similar manner, it could remove the district's National Register historic status, according to state staff.

**Recommendation** Because this proposal has the potential to set precedent for future new construction and additions in the district, it is vital to carefully consider all ramifications to guidelines, and potential impact to national register status.

**Conditions**

**Previous HPC action**

**Previous Council action**



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

North Point South

**ADDRESS OF PROPERTY:**

2134 Terrace Ave, Milwaukee WI

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Michael and Cathy White

Address: 1150 W. Bradley Rd.

City: River Hills

State: WI

ZIP 53217

Email: mwhite@ritehite.com

Telephone number (area code & number) Daytime: 414-350-5577

Evening: 414-351-6939

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Greg Uhen, AIA

Address: 333 E. Chicago St.

City: Milwaukee

State: WI

ZIP Code: 53202

Email: gregu@eua.com

Telephone number (area code & number) Daytime: 414-291-8120

Evening: 414-406-4133

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

1. The north and west walls of the existing garage will be affected by the proposed addition in that area. All materials and details will match the existing home.
2. The south east corner of the existing home at the kitchen will be affected by the proposed addition in that area. Portions of this wall at the existing kitchen are not original and had been previously changed. A large picture window was added that will be removed as part of this project. The existing roof line and turret will not be affected by the one story addition. All materials and details will match existing. The existing back balcony will be modified to allow access to a roof terrace above the family room.
3. The existing dining room windows will be replaced by full height doors to allow access to the south patio.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

The project consists of two additions to the existing home. A Garage addition to the north, and a Family Room addition to the south and east.

(See Attached Sheet for detailed description)

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

Michael White  
Print or type name

July 5, 2011  
Date

July 5, 2011

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

Describe all Proposed Work:

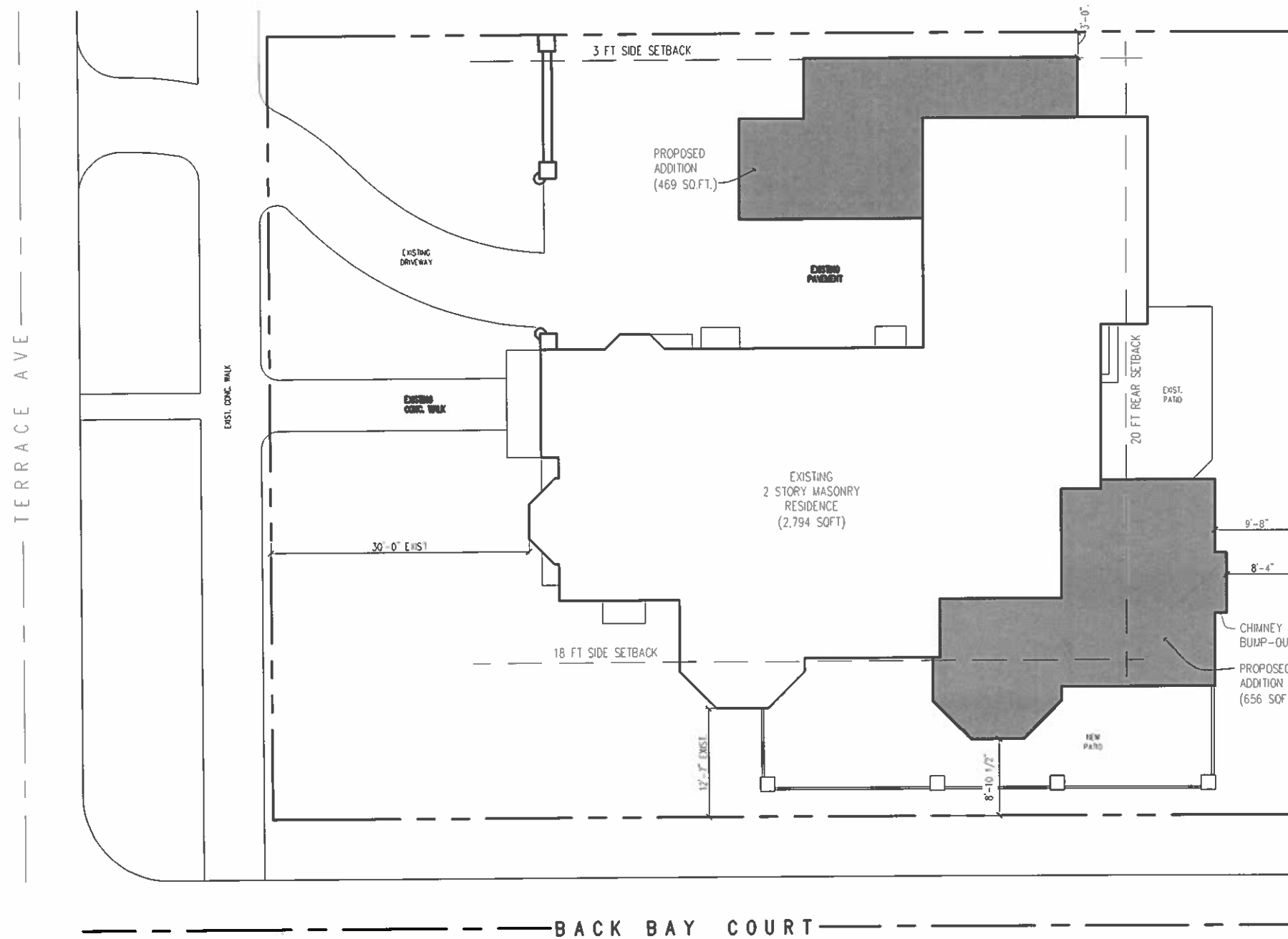
The project consists of two additions to the existing home. A Garage addition, and a Family Room addition.

The Garage addition is approximately 18 ft by 21 ft on the west side with a 7 ft projection on the north side. This addition will add one "tandem" parking space and storage to the existing two car garage. A partially covered balcony space will be accessible from the second floor of the existing home above the garage. The exterior materials will consist of; brick to match existing, clay roof tiles to match existing, windows to match existing (clad), wood soffits and details to match existing.

The Family Room addition includes a family room of approximately 18 ft by 24 ft, and a breakfast room of approximately 10 ft by 15 ft. This area would also have a low stone wall and patio that replaces the existing wood fence to the south. The breakfast room bay will match the existing home in materials and detail similar to the existing sun parlor. The family room will have a brick and stone fireplace and clad windows to match existing. The south facade of the family room will have a clay tile roof projection to match existing in details, a double French door and clad windows to match. The existing back balcony will be modified to allow access to a roof terrace above the family room. The parapet of the family room will have a cornice to match and wrought iron railing.

The profile of the existing fascia, trim, clay tile roofing, copper gutters/downspouts and cornice details will be matched to provide a seamless appearance of the proposed additions.

The new doors at the dining room will be glass and divided lights to match existing.



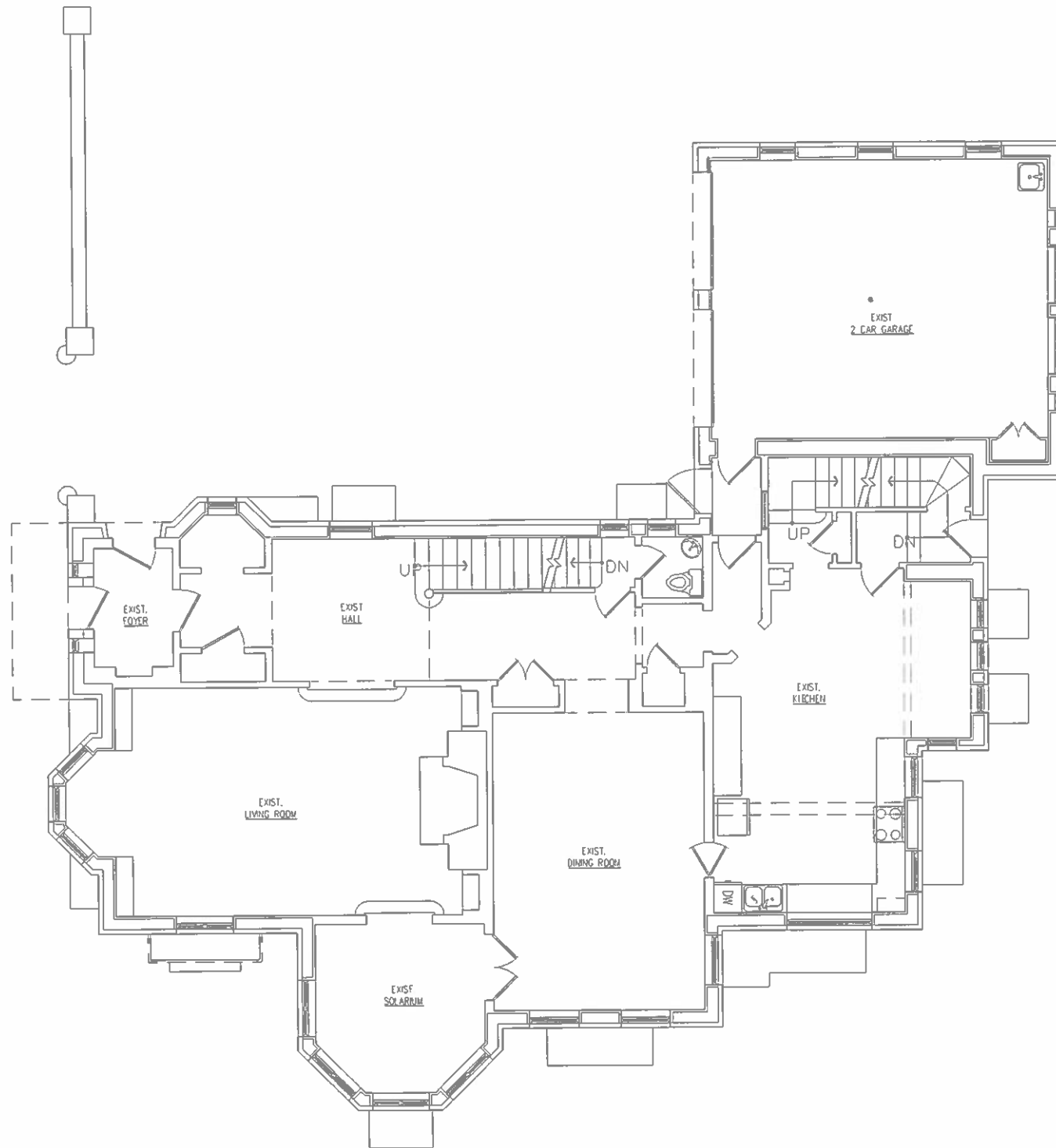
# PROPOSED REMODELING TO

2134 N TERRACE AVE  
MILWAUKEE, WI

## SITE PLAN

SCALE: 1/16"=1'-0"





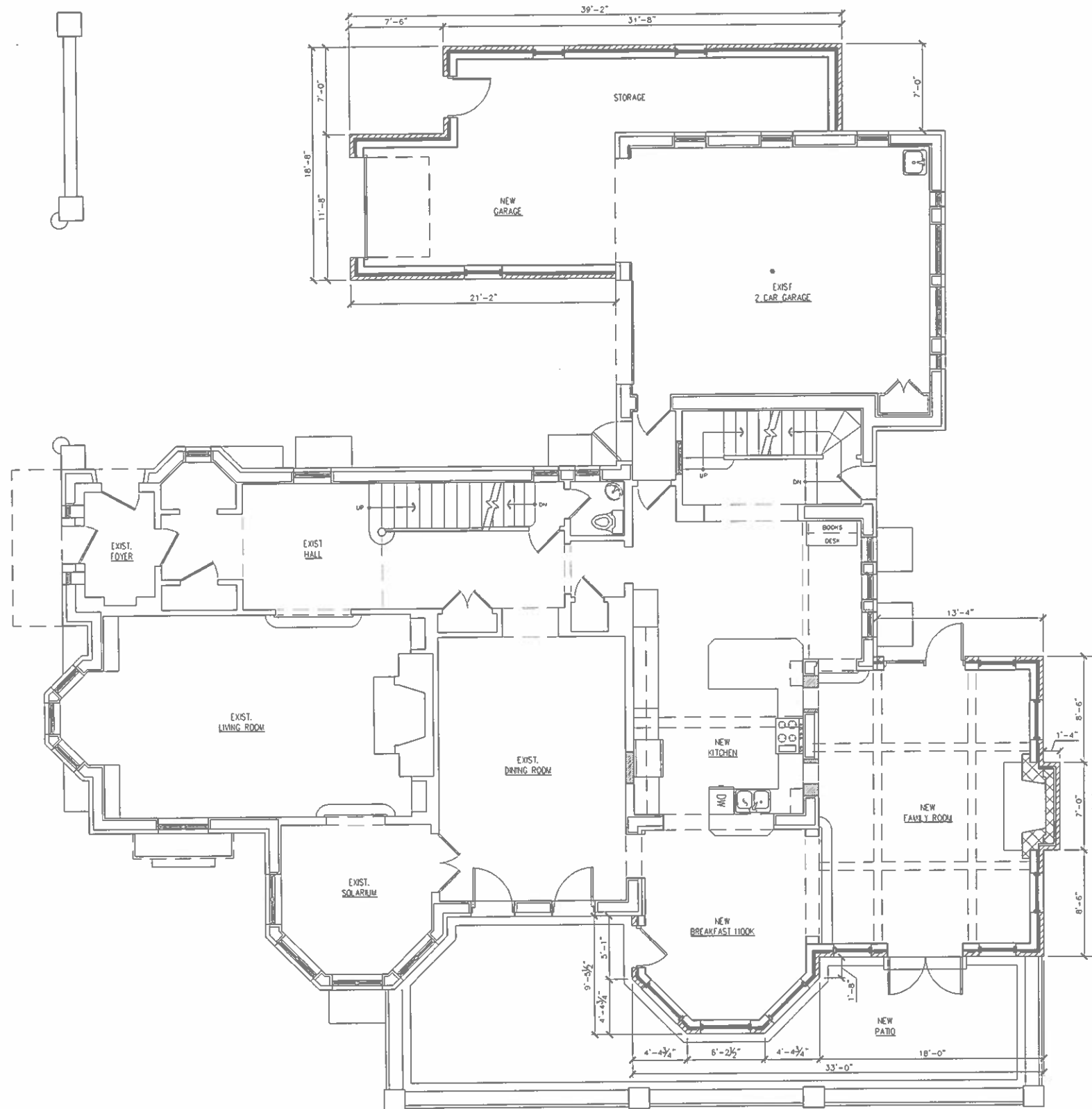
# PROPOSED REMODELING TO

**2134 N TERRACE AVE  
MILWAUKEE, WI**

## EXISTING FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"





# PROPOSED REMODELING TO

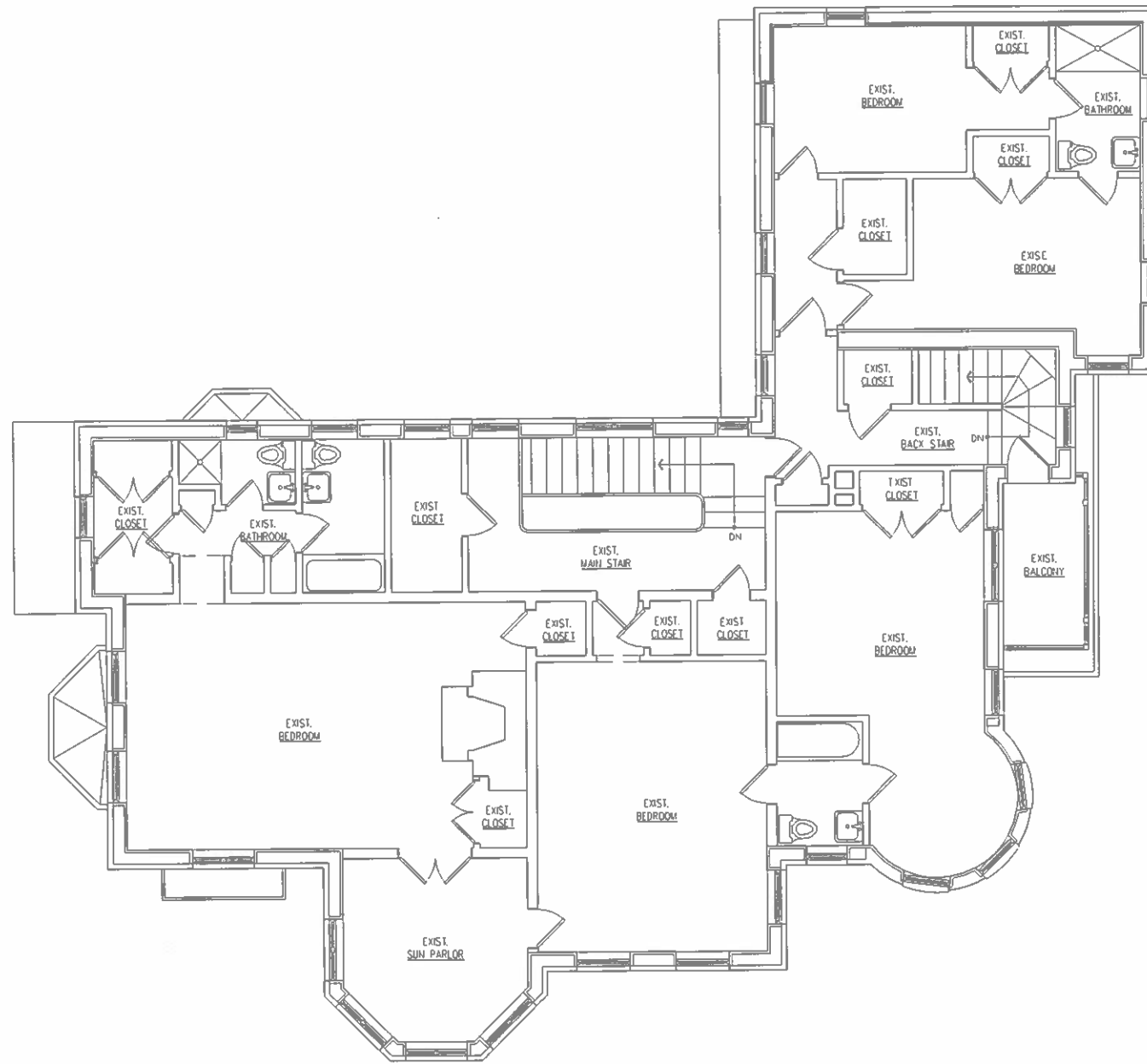
**2134 N TERRACE AVE  
MILWAUKEE, WI**

## NEW FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"







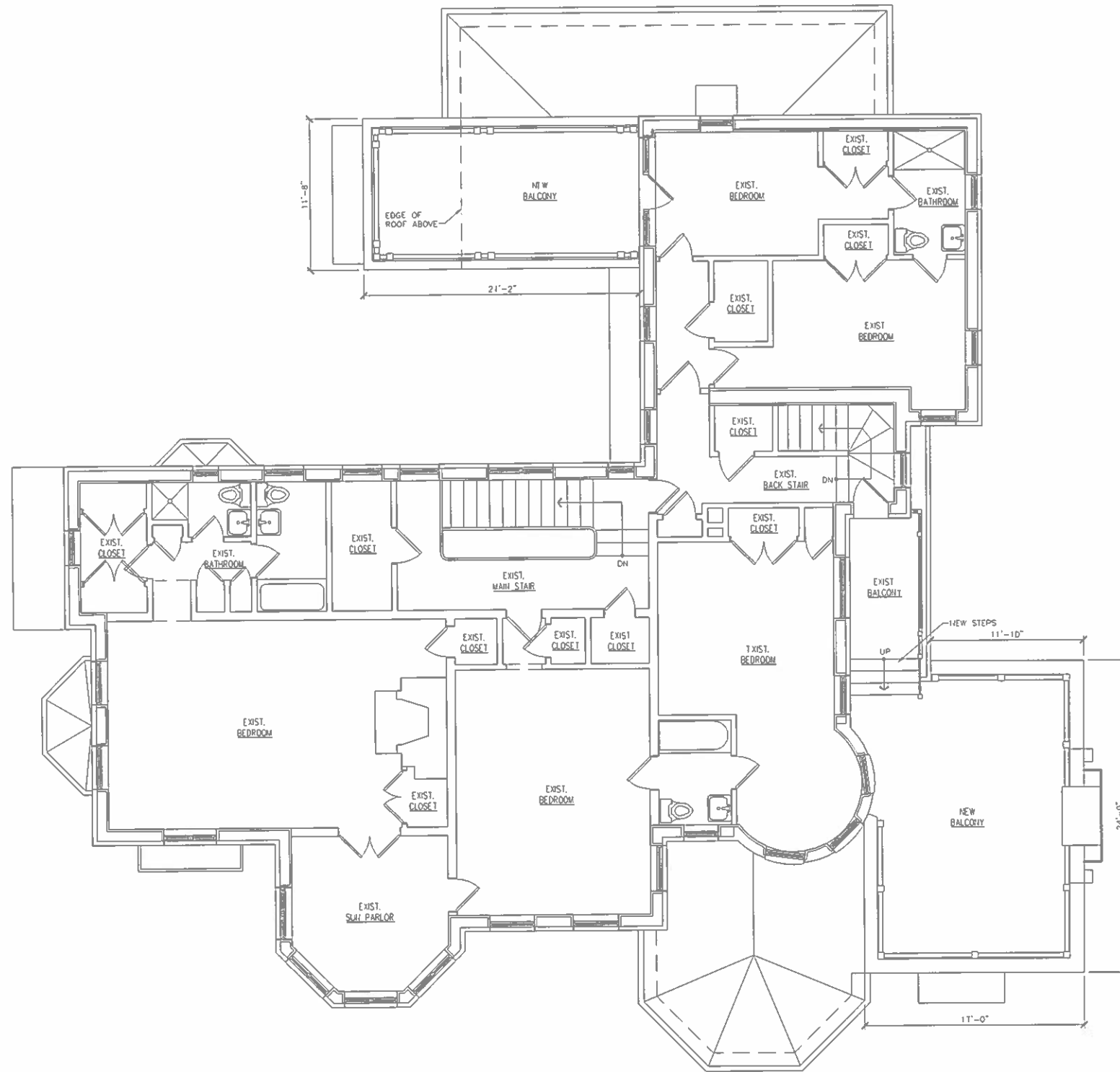
# PROPOSED REMODELING TO

**2134 N TERRACE AVE  
MILWAUKEE, WI**

## EXISTING SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"





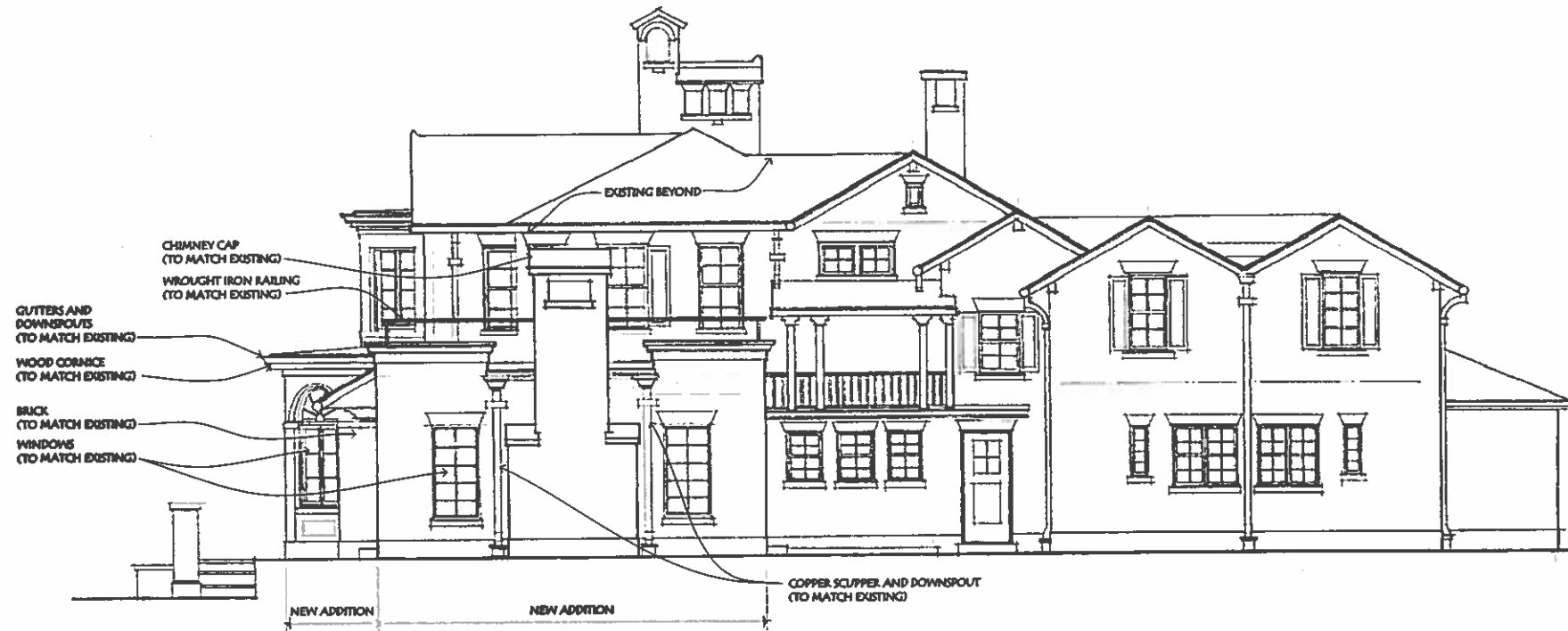
# PROPOSED REMODELING TO

**2134 N TERRACE AVE  
MILWAUKEE, WI**

## NEW SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"





**EAST ELEVATION**



**SOUTH ELEVATION**

**PROPOSED REMODELING TO**

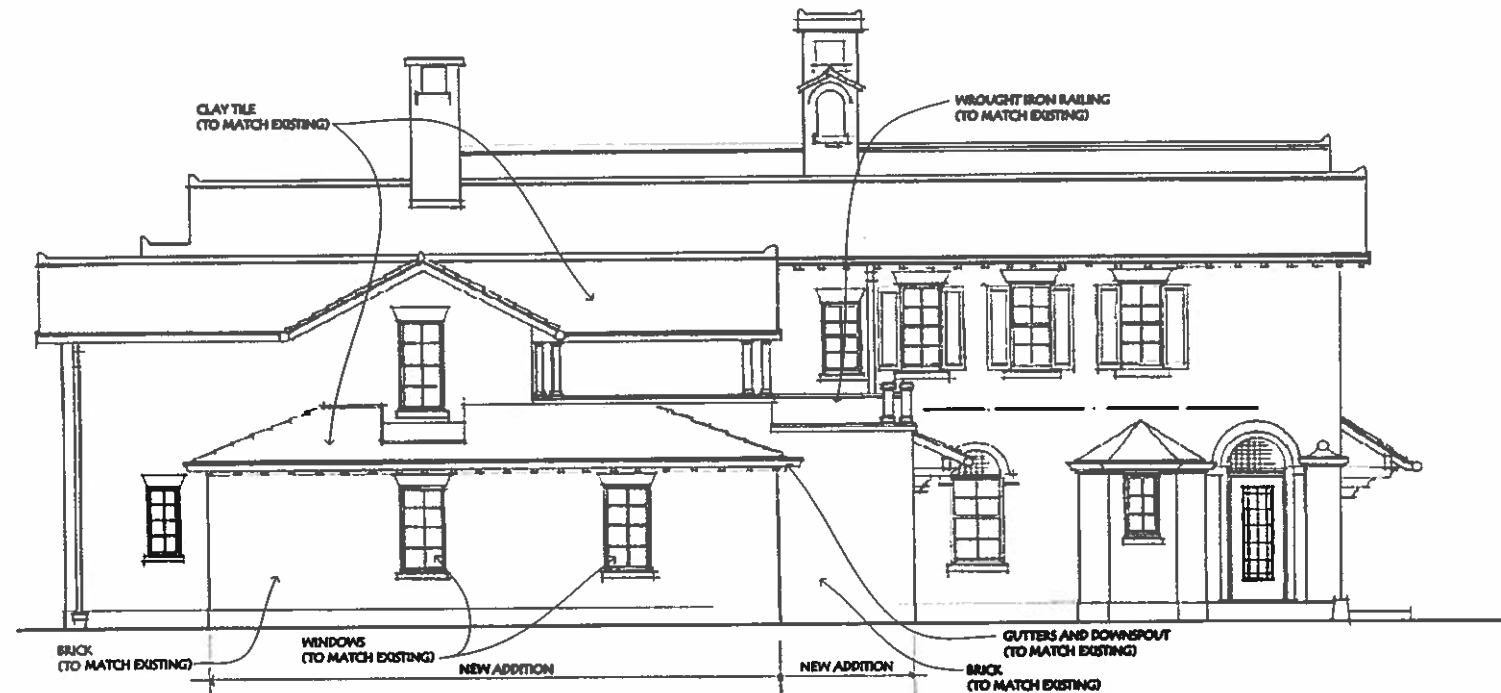
**2134 N TERRACE AVE  
MILWAUKEE, WI**

**ELEVATIONS**

SCALE: 3/32"=1'-0"



**WEST ELEVATION**



**NORTH ELEVATION**

**PROPOSED REMODELING TO**

**2134 N TERRACE AVE  
MILWAUKEE, WI**

**ELEVATIONS**

SCALE: 3/32"=1'-0"





**NORTH WEST ELEVATION**



**WEST ELEVATION**



**NORTH ELEVATION**



**NORTH ELEVATION**

# **PROPOSED REMODELING TO**

**EXISTING PHOTOS**

**2134 N TERRACE AVE  
MILWAUKEE, WI**





**SOUTH ELEVATION**



**SOUTH ELEVATION**



**SOUTH EAST ELEVATION**



**EAST ELEVATION**

# **PROPOSED REMODELING TO**

**EXISTING PHOTOS**

**2134 N TERRACE AVE  
MILWAUKEE, WI**

June 16<sup>th</sup>, 2011

To Whom It May Concern:

As the owner of 2214 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in cursive script, appearing to read "Virginia Little".

Virginia Little

Owner(2214 N Terrace Ave)

**PATRICIA W. VAN ALYEA**  
**1422 EAST ALBION STREET**  
**MILWAUKEE, WISCONSIN 53202**

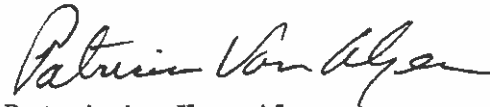
June 13, 2011

Re: 2134 North Terrace Avenue

To Whom It May Concern:

As the owner of 2137 North Terrace Avenue (directly across the street from 2134 N. Terrace) and of 2330 East Back Bay and 2344 East Back Bay I would like to go on record in favor of the setback variance and of the plans that we have been shown.

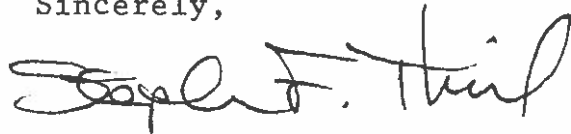
Sincerely,



Patricia Van Alyea

As the owner of 2328 East Back Bay (directly to the east of 2134 North Terrace) I am also in favor of the setback variance and of the plans that have been shown to me by Maggey & Dave Oplinger and Cathy and Mike White.

Sincerely,



Steve Thiel



June 15<sup>th</sup>, 2011

To Whom It May Concern:

As the owner of 2121 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in black ink, appearing to read "L William Teweles". The signature is written in a cursive style with a large initial "L" and "W".

L William Teweles

Owner(2121 N Terrace Ave)



Susan Miller

I have seen the plans of  
Maggey + Dave Splinger for their  
home & I approve of what they  
want to do. I also approve of  
the setback variance.

I feel the plans they have  
shown me maintain the  
integrity of the architecture of  
their home.

Susan Miller  
2228 East Woodstock Pl.

June 16<sup>th</sup>, 2011

To Whom It May Concern:

As the owner of 2202 N Terrace Ave, I would like to say that I have seen and am in support of the proposed plans for the remodeling of 2134 N Terrace Ave. Further, I am in favor of the setback variance that accompanies these plans.

Sincerely,

A handwritten signature in cursive script that reads "Ulrich T Blaschke". The signature is written in black ink and is positioned above the printed name.

Ulrich T Blaschke

Owner(2202 N Terrace Ave)


Maggie and David Oplinger  
2134 No. Terrace Ave  
Milwaukee, WI 53202

June 15, 2011

Dear Maggie and David

This letter is to confirm that as a neighbor, I have received and reviewed the plans for your additions to your property at the above address. After our phone conversation, I am fine with the plans.

Best wishes

A handwritten signature in cursive script that reads "Camille Burke". The signature is written in dark ink and is positioned above the printed name and address.

Camille Burke (owner)  
2107 N. Terrace Ave  
Milwaukee



Legislation Details (With Text)

**File #:** 110374      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/5/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for construction of a Lake Park Performance Structure.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, PARKS

**Attachments:** Application, Staff Report

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/5/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110374  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for construction of a Lake Park Performance Structure.  
Requestor

Drafter  
CC-CC  
dkf  
7/5/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Lake Park Performance Structure

**ADDRESS OF PROPERTY:**

Lake Park - Milwaukee Wisconsin

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Lake Park Friends: Represented by Sandra Wiegand and Philip Schultz

Address: P.O. Box 71197

City: Milwaukee

State: WI

ZIP 53211

Email: lakeparkfriends@sbcglobal.net

Telephone number (area code & number) Daytime: (414) 962-1680

Evening:

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Sandra Wiegand

Address: 2824 N. Farwell Ave.

City: Milwaukee

State: WI

ZIP Code: 53211

Email: sandraw@milwpc.com

Telephone number (area code & number) Daytime: (414) 332-4636

Evening: (414) 332-4636

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

The siting of the Performance Structure was approved at the May 17, 2010 Historic Preservation Commission meeting. This application is only for the Performance Structure itself.

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

The stage (24' long x 12' deep x 1' - 6" tall) on the site is to be removed. The existing stage is a wooden frame with plywood cladding set on concrete blocks. There are no foundations or canopy. It is deteriorated and uneven. No existing trees or other structures are to be removed or affected by the proposed work.

Photo No. 04

Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

The new Lake Park Performance Structure is to be located near the existing plywood stage. It will be a simple structure in the style of many historic parks buildings. The structure will include a concrete stage approximately 18" above grade with steps extending across the front of the stage. A ramp will provide accessibility for performers and equipment. The key feature of the Performance Structure is a timber frame pavilion constructed of Port Orford cedar. The timber posts and beams will be connected with wooden pegs. The roof deck which is very visible from below will be 2x6 tongue & groove cedar planks. All wood will be sealed. The roof covering will be standing seam metal roofing. All foundations will extend at least 4'-0" below grade. The concrete stage slab will be supported on compacted granular fill. Electrical connections and basic lighting will be provided. The site will be landscaped to accommodate any grade changes and to enhance the appearance of the Performance Structure. All work will be done by construction professionals. All materials will be of the highest quality. The Performance Structure will be turned over to the Milwaukee County Parks Department at the time of completion.

Photo No. \_\_\_\_\_

Drawing No. 1 and 2

**6. SIGNATURE OF APPLICANT:**

Sandra Wiegand  
Signature

Sandra Wiegand for Lake Park Friends  
Print or type name Date

July 5, 2011

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

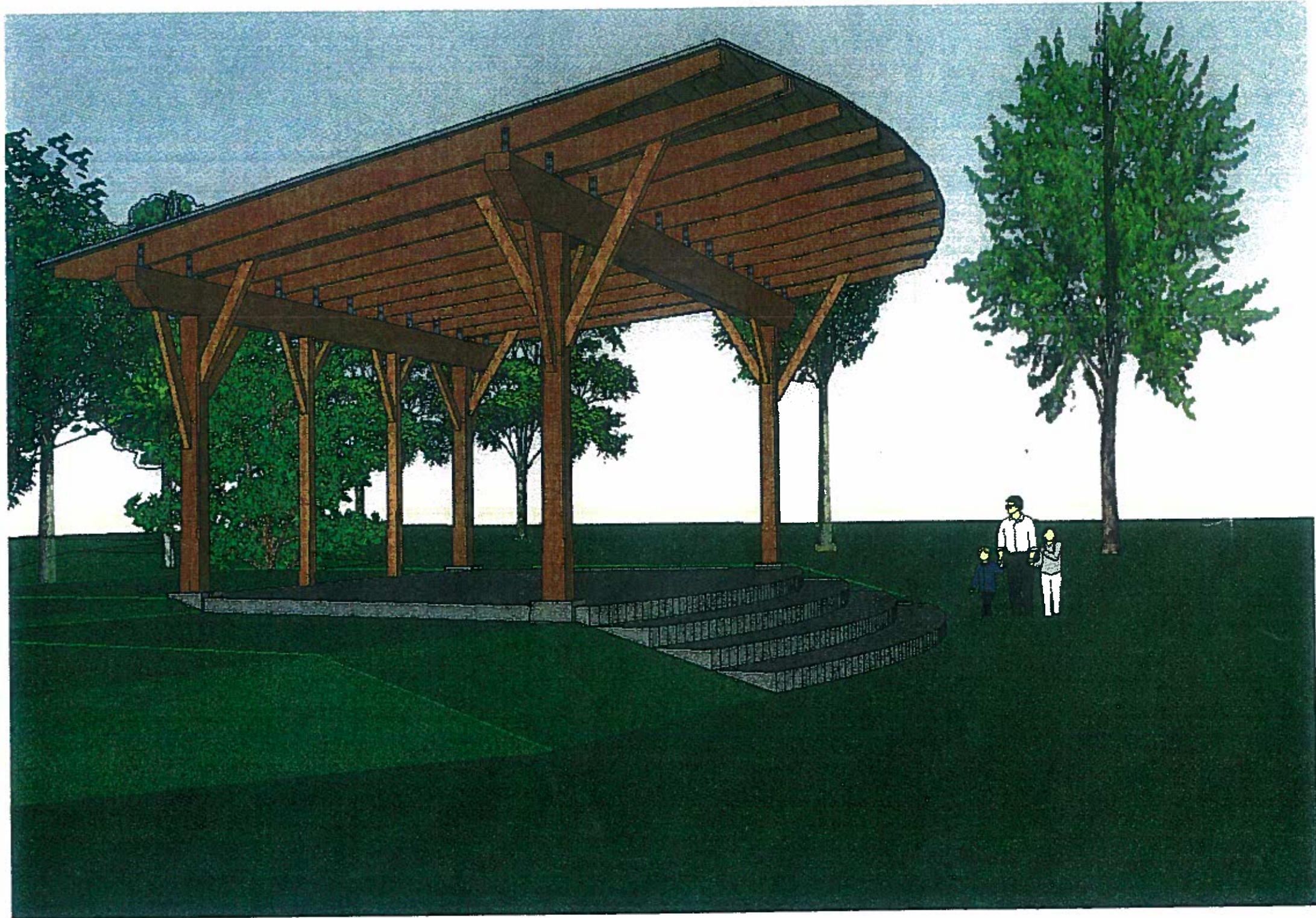
[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





EXISTING SITE PERSPECTIVE - WEST





LAKE  
PARK  
FRIENDS

## Lake Park Performance Structure

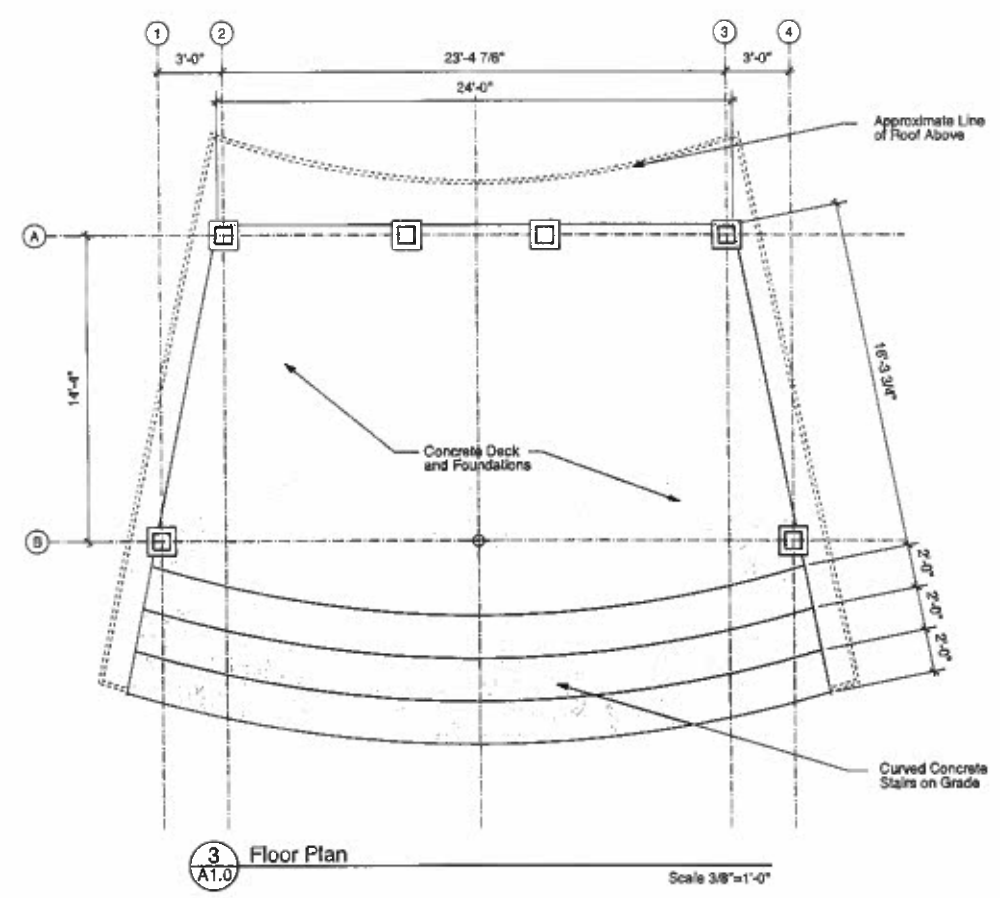
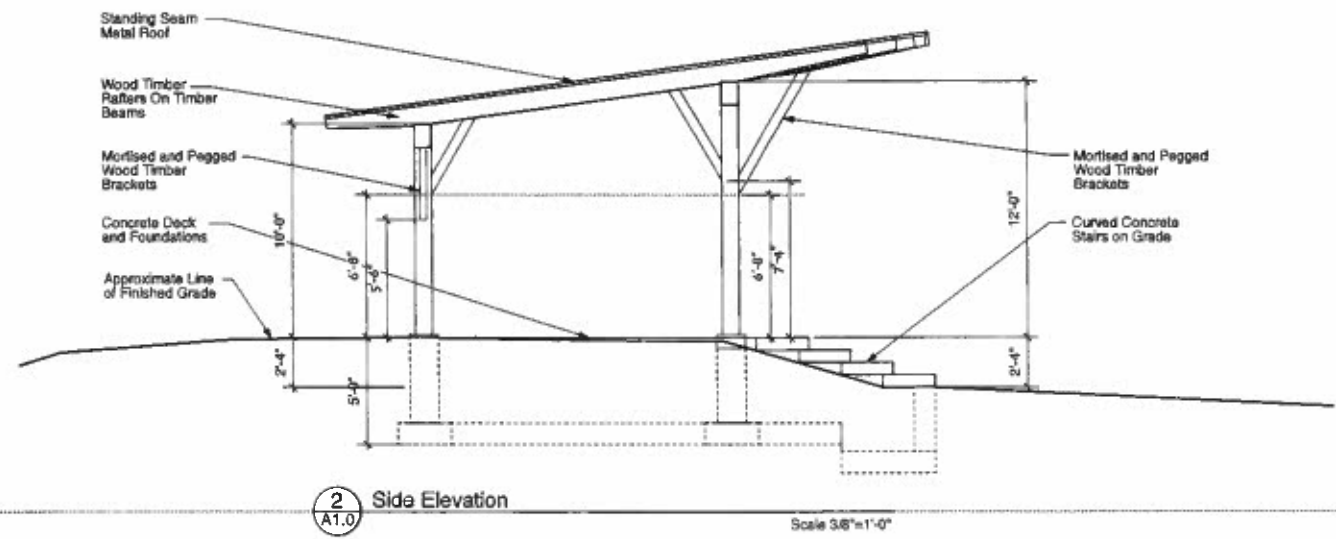
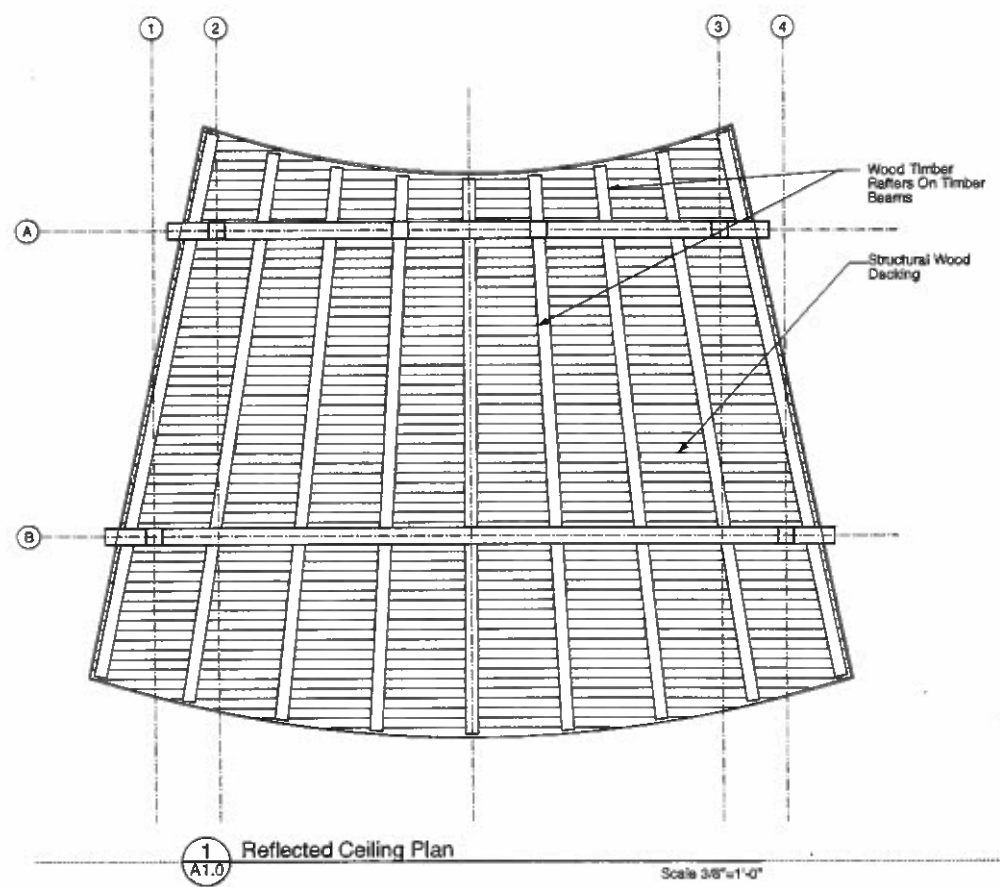
June 8, 2011





LAKE  
PARK  
FRIENDS

Preliminary



# Lake Park Performance Structure

June 8, 2011





## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 7/25/2011**  
**Ald. Nik Kovac District:**  
**Staff reviewer: Paul Jakubovich**  
**PTS #65698**

### Property

|                        |  |  |
|------------------------|--|--|
| <b>Owner/Applicant</b> | Mr. Kevin Haley<br>Department of Parks, Recreation, &<br>Culture<br>9480 Watertown Plank Rd<br>Wauwatosa, WI 53226 | Sandra Wiegand<br>2824 N. Farwell<br>Milwaukee 52311 |
|------------------------|--|--|

**Proposal** Replace existing performance stage with a new shelter topped with a shed roof and made mostly of wood.

**Staff comments** The stage is being proposed by the Lake Park Friends, a community group dedicated to the preservation of the park. The existing stage is a simple plywood platform with a footprint of 24' x 12' and raised about a foot and-a-half off the ground. It has been used periodically during the summer months by performing artists. The proposal is to remove it and build a new stage, slightly larger in footprint and covered with a shed roof supported by wood, posts and beams. Last year at the May HPC meeting a different design was proposed, but the applicants have decided against it in favor of the shed-roofed structure.

The stage is small in scale and would provide much-needed shelter for performers. The Lake Park Friends have been working with the community on the design. The structure will be located in a relatively secluded area of the park. The structure appears to meet the guidelines for new construction in the district.

**Recommendation** Recommend HPC Approval

**Conditions** An Actual sample of the roof covering material should be supplied to HPC staff and or the full commission for review and approval prior to installation.

**Previous HPC action**

**Previous Council action**



Legislation Details (With Text)

**File #:** 110400      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to construct a new parking lot with fencing and landscaping at 1301 W. Forest Home Avenue for Ernesto Villarreal, El Rey Grocery Store.

**Sponsors:** THE CHAIR

**Indexes:** FENCES, HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, PARKING LOTS

**Attachments:** Application

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110400  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to construct a new parking lot with fencing and landscaping at 1301 W. Forest Home Avenue for Ernesto Villarreal, El Rey Grocery Store.

Requestor

Drafter  
CC-CC  
dkf  
7/8/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Historic Mitchell Street

**ADDRESS OF PROPERTY:**

1301 W. Forest Home Ave.

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Ernesto Villarreal

Address: El Rey Grocery Store - 916 S. Cesar Chavez Dr.

City: Milwaukee

State: WI

ZIP 53204

Email:

Telephone number (area code & number) Daytime: 414-643-1640

Evening:

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Luis Barbosa - BMR Design Group Inc.

Address: 503 W. Lincoln Ave.

City: Milwaukee

State: WI

ZIP Code: 53207

Email: BMRDesignlb@bizwi.rr.com

Telephone number (area code & number) Daytime: 414-384-2996

Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

The project calls for the renovation of the existing vacant lot to convert the property into an extension of the existing parking lot for El Rey Grocery Store. The new parking lot would accommodate 15 new parking spaces

Photo No. P-1, P-2, P-3, P-4 Drawing No. 1/A-1

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

New parking lot with ornamental iron fence and landscaping.

Future development of a new building at the north end of the lot facing W. Forest Home Ave. Would place the parking lot between the secondary street facade and street lot line parking lot. Accessory Use.

See attached rendering P-5 for future development.

Photo No. P-1 to P-5 Drawing No. 1/A-1

**6. SIGNATURE OF APPLICANT:**

\_\_\_\_\_  
Signature

Luis Barbosa      07/05/2011  
Print or type name      Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

Date: June 24, 2011  
Project: New Parking Lot For:  
El Rey – Food Mart Grocery Store  
1301 W. Forest Home Ave  
Milwaukee, WI



Pic #1 - Looking South West



Pic #2 - Looking South



Pic #3 - Looking North West



Pic #4 - Looking North

Date: June 24, 2011  
Project: New Parking Lot For:  
El Rey – Food Mart Grocery Store  
1301 W. Forest Home Ave  
Milwaukee, WI



Pic #1 - Looking South West



Pic #2 - Looking South



Pic #3 - Looking North West



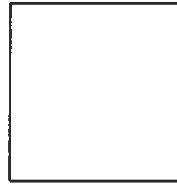
Pic #4 - Looking North



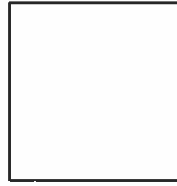
**SCOPE OF WORK**

- New Parking Lot
- New Landscaping
- New Dumpster Enclosure
- New Iron Fence
- New Catch Basin

**Consultants**



**ARCHITECT**  
 BMR Design Group, Inc.  
 503 West Lincoln Avenue  
 Milwaukee, Wisconsin 53207  
 (414) 384-2996



**SURVEYOR**  
 Surveying Associates  
 2554 N. 100th St.  
 Wauwatosa, Wisconsin  
 (414) 257-2443



**PLUMBING CONSULTANT**  
 Christopher Kidd & Associates  
 N48W16550 Lisbon Rd  
 Menomonee Falls, WI 53051  
 (262) 901-0505

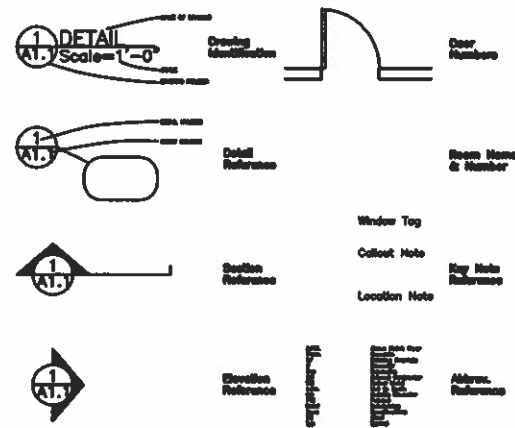
**SHEET INDEX**

- E-1 Erosion Control Plan & Details
- A-1 New Site Plan & Site Details
- A-2 New Dumpster Enclosure Plan & Details
- S-1 Legal Plat of Survey
- P-1 Plumbing Site Plan and Details

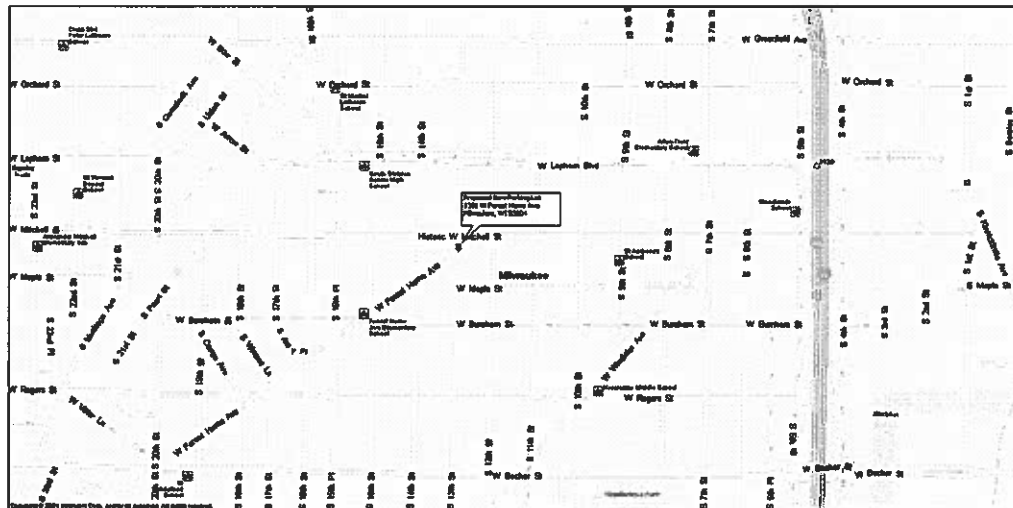
**BMR**  
 DESIGN GROUP, INC.  
 Architects - Engineers

503 West Lincoln Avenue  
 Milwaukee, Wisconsin 53207  
 Phone - (414) 384-2996  
 Fax - (414) 384-3904

**SYMBOLS**



**LOCATION PLAN**



**General Notes**

**Building Information**

LOT AREA = 13,864 SQ.FT.  
 PARKING LOT AREA = 7,060 SQ.FT.  
 VACANT AREA = 5,981 SQ.FT.

**PROJECT INFORMATION**

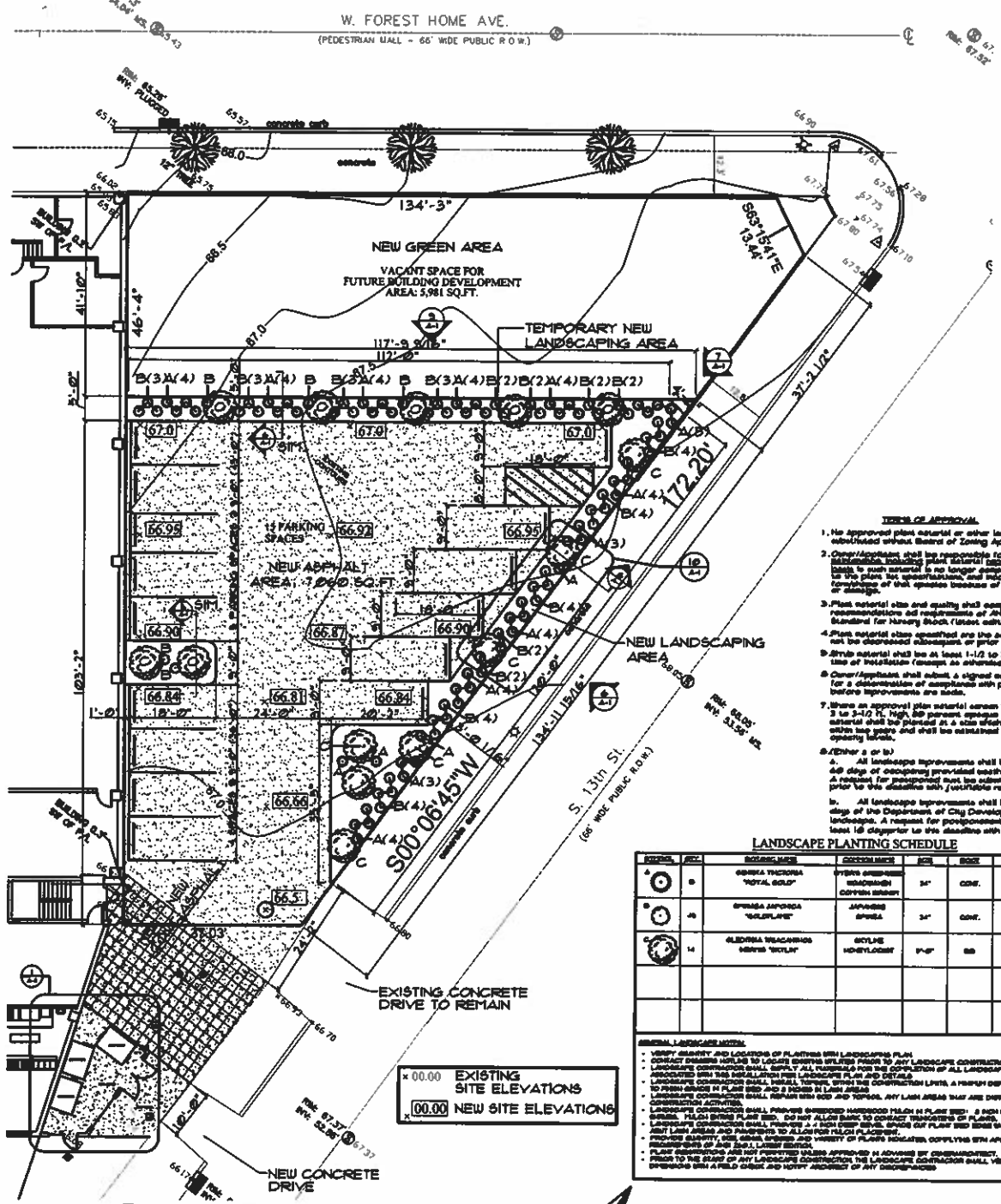
PROJECT OWNER: Ernesto Villarreal  
 PROJECT ADDRESS: 1301 W. Forest Home Ave.  
 Milwaukee, WI  
 PRINCIPAL IN CHARGE: Luis Barbosa Perches  
 PROJECT ARCHITECT: Maria Nororis

**Proposed New Parking Lot**  
 At:  
 1301 West Forest Home Ave.  
 Milwaukee, WI

DATE: June 16, 2011

BMR PROJECT NO.: 2011-01





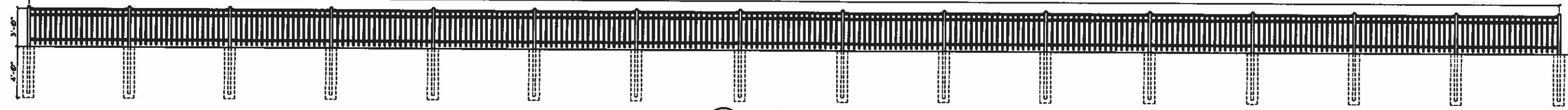
1 SITE PLAN  
A-1 Scale: 1/16"=1'-0"  
13,864 SQ. FT.

LANDSCAPE PLANTING SCHEDULE

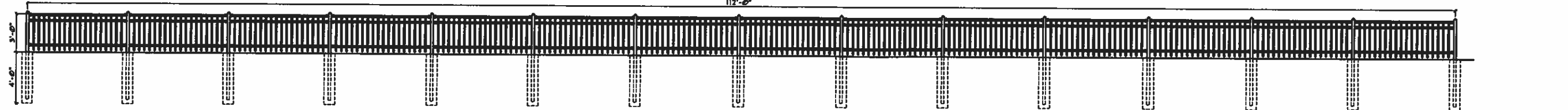
| NO. | PLANT                             | QUANTITY | SIZE | NOTE  |
|-----|-----------------------------------|----------|------|-------|
| 1   | GENERA TROPICAL "VITAL GOLD"      | 120      | 24"  | CONF. |
| 2   | GENERA SPINDA "WILDPLANE"         | 60       | 24"  | CONF. |
| 3   | ALEXANDRA MAGNOLIA "HONEY LOCUST" | 30       | 18"  | BB    |

GENERAL LANDSCAPE NOTES:  
 1. VERIFY QUANTITY AND LOCATIONS OF PLANTING WITH LANDSCAPING PLAN.  
 2. CONTRACTOR SHALL VERIFY TO LOCAL OFFICIALS PRIOR TO ANY LANDSCAPE CONSTRUCTION.  
 3. LANDSCAPE CONTRACTOR SHALL SUPPLY ALL MATERIALS FOR THE COMPLETION OF ALL LANDSCAPE WORK ITEMS.  
 4. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.  
 5. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.  
 6. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.  
 7. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.  
 8. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.  
 9. PROVIDING WITH THE BEST ALL-TERRAZZO FINISH FOR ALL LANDSCAPING WORK.

7 IRON FENCE ELEVATION  
A-1 Scale: 1/4"=1'-0"  
120'-0"

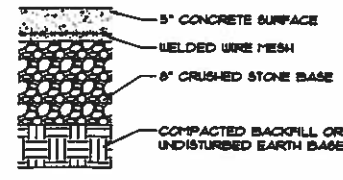


8 IRON FENCE ELEVATION  
A-1 Scale: 1/4"=1'-0"  
112'-0"

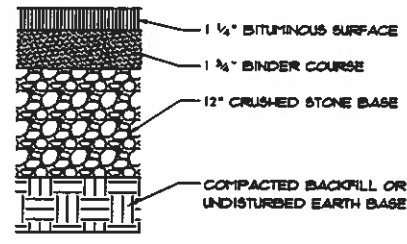


9 IRON FENCE ELEVATION  
A-1 Scale: 1/4"=1'-0"

10 TYP. CONC. DETAIL  
A-1 Scale: N.T.S.



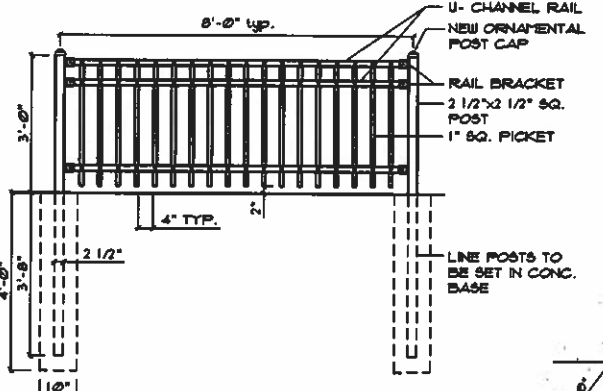
2 TYP. ASPHALT DETAIL  
A-1 Scale: N.T.S.



4 TYP. PLANTING DETAIL  
A-1 Scale: N.T.S.

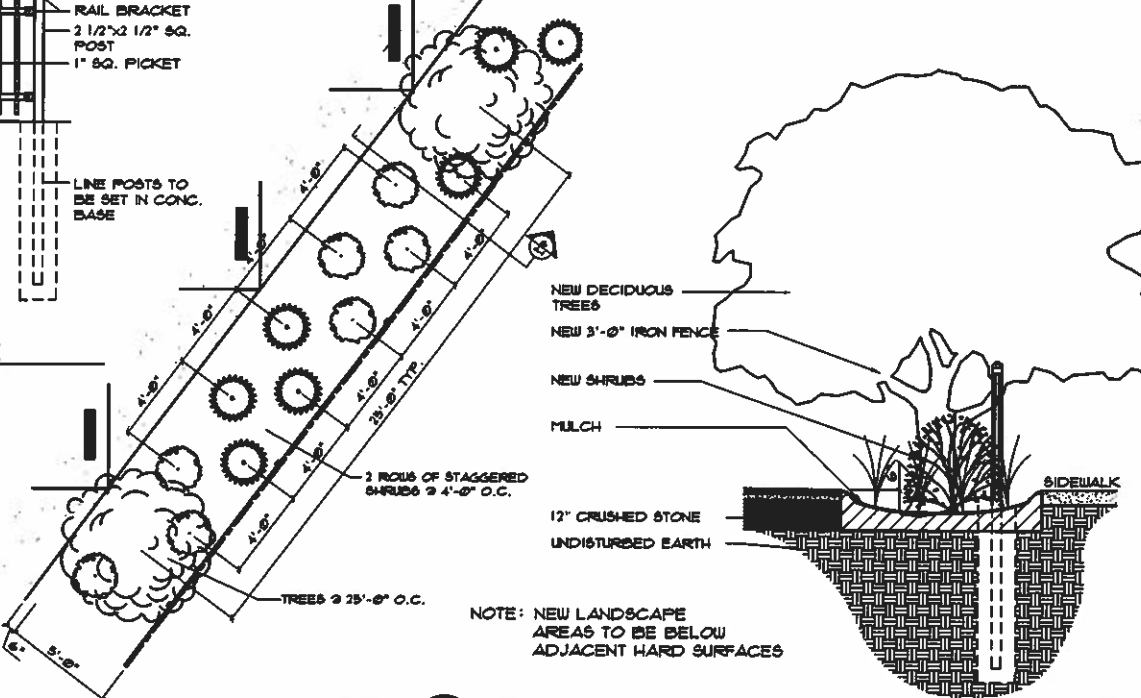


5 TYP. IRON FENCE  
A-1 Scale: 1/2"=1'-0"



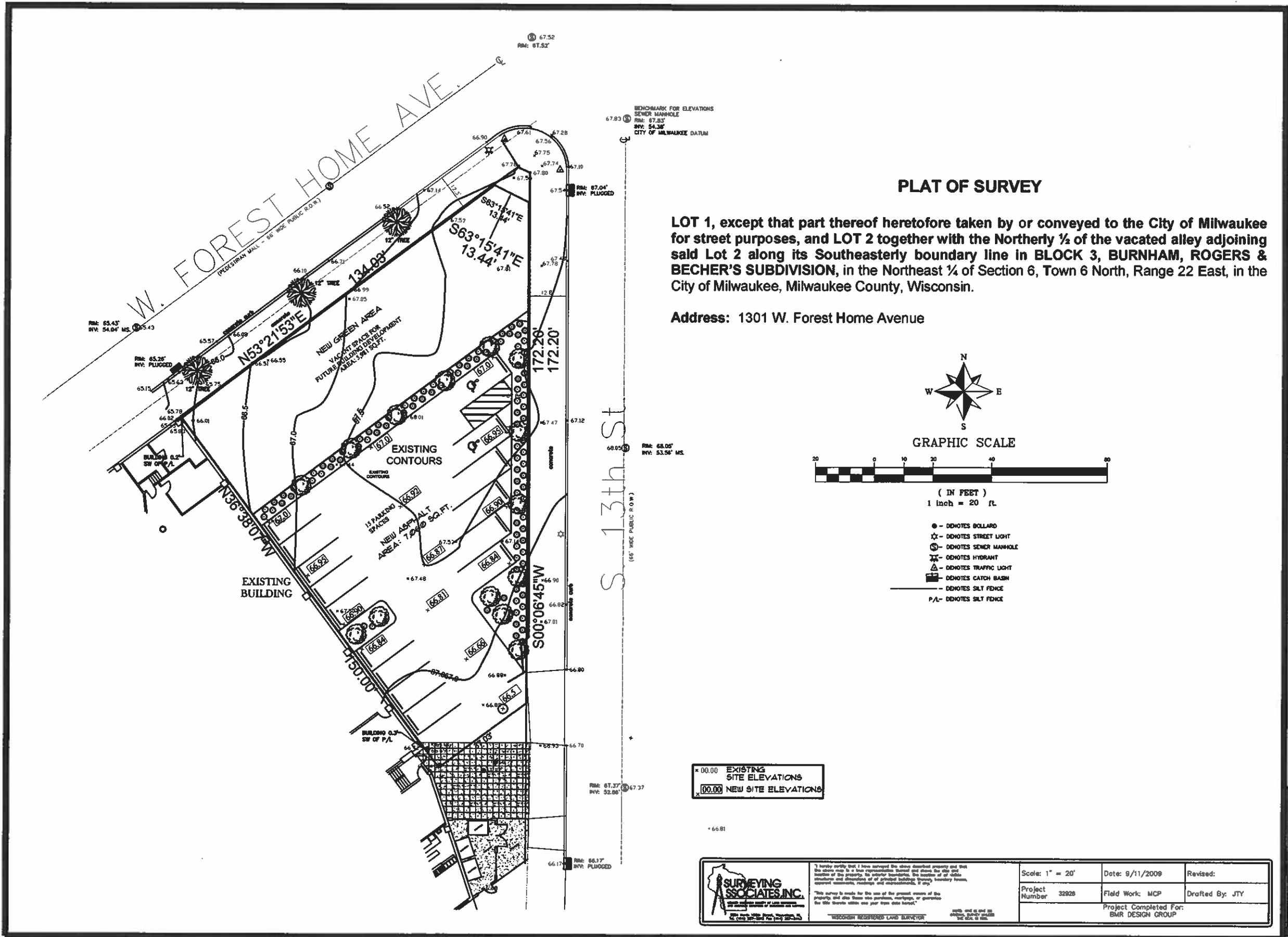
10 LANDSCAPING AREA  
A-1 Scale: 1/4"=1'-0"

6 SECTION THRU LANDSCAPING AREA  
A-1 Scale: 1/2"=1'-0"



REVISIONS

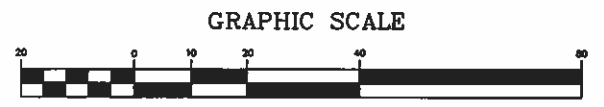
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |



**PLAT OF SURVEY**

LOT 1, except that part thereof heretofore taken by or conveyed to the City of Milwaukee for street purposes, and LOT 2 together with the Northerly 1/2 of the vacated alley adjoining said Lot 2 along its Southeasterly boundary line in BLOCK 3, BURNHAM, ROGERS & BECHER'S SUBDIVISION, in the Northeast 1/4 of Section 6, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

Address: 1301 W. Forest Home Avenue



( IN FEET )  
1 inch = 20 ft.

- - DENOTES BOLLARD
- ⊗ - DENOTES STREET LIGHT
- ⊙ - DENOTES SENDER MANHOLE
- ⊕ - DENOTES HYDRANT
- ⊘ - DENOTES TRAFFIC LIGHT
- ⊚ - DENOTES CATCH BASIN
- DENOTES SILT FENCE
- P/L- DENOTES SILT FENCE

• 00.00 EXISTING SITE ELEVATIONS  
◻ 00.00 NEW SITE ELEVATIONS

|  |   |  |                                    |
|--|---|--|------------------------------------|
|  | <small>I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the true and correct location of the property to adjacent boundaries. The location of all utility structures and dimensions of all principal buildings shown herein are based upon measurements, readings and observations, if any.</small> |  |                                    |
|  | <small>This survey is made for the use of the ground shown on the property and does not constitute a warranty, or guarantee the title thereto within one year from date hereof.</small>   | Scale: 1" = 20'<br>Project Number: 32928 | Date: 9/11/2009<br>Field Work: MCP |

**PROJECT NO.**  
Proposed New Parking  
Lot at: 1301 West  
Forest Home Ave.  
Milwaukee WI  
For El Rey  
Mexican Products

**PROJECT NO.** 2011-01

**DATE** 6/2/11

**REVISIONS**

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |

**CHECKED BY** JAA

**DRAWN BY** DAR

**SCALE** as noted

**SHEET NO.** P1.0

**SHEET TITLE**  
PLUMBING SITE  
PLAN AND DETAILS

**PLUMBING ABBREVIATIONS**

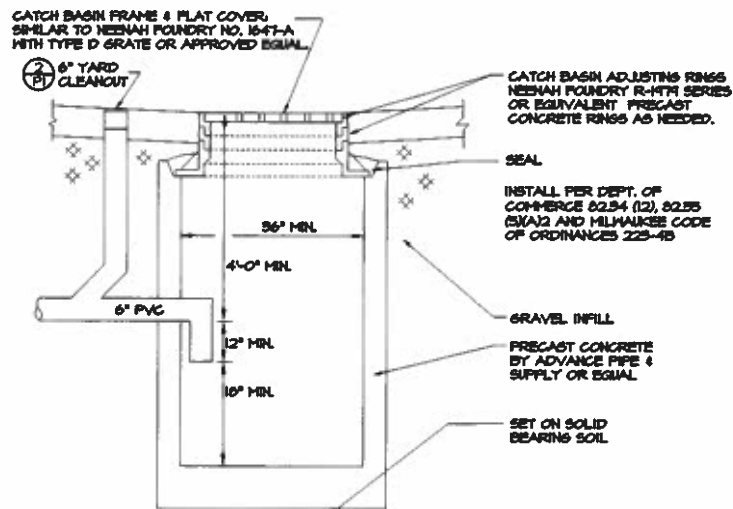
| ABB. | DESCRIPTION         | ABB. | DESCRIPTION              |
|------|---------------------|------|--------------------------|
| CB   | CATCH BASIN         | MH   | MANHOLE                  |
| CO   | CLEANOUT            | PC   | PLUMBING CONTRACTOR      |
| CTE  | CONNECT TO EXISTING | PCP  | PER FOOT                 |
| EL   | ELEVATION           | PCFP | REINFORCED CONCRETE PIPE |
| EX   | EXISTING            | SMH  | SANITARY SEWER           |
| G    | GAS PIPING          | ST   | STORM SEWER PIPING       |
| IE   | INVERT ELEVATION    | UE   | UNDERGROUND ELECTRIC     |
|      |                     | YCO  | YARD CLEANOUT            |

**PLUMBING LEGEND**

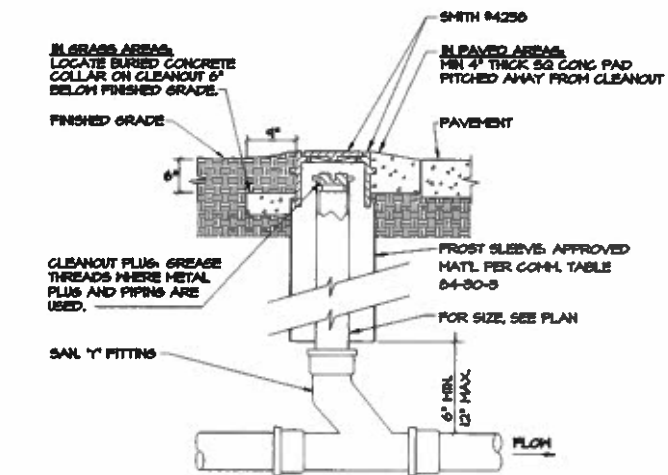
| ABB. | LINE TYPE/SYMBOL | DESCRIPTIONS                                  |
|------|------------------|---|
| SMH  | ---              | NEW SANITARY SEWER PIPING (BELOW GRADE)       |
| ST   | ---              | NEW STORM SEWER PIPING (BELOW GRADE)          |
|      | ---              | EXISTING (THIN LINE TYPE) PIPE/TECH TO REMAIN |
| SMH  | ---              | NEW (THIN LINE TYPE) PIPE/TECH                |
| SV   | +                | GATE VALVE                                    |
|      | +                | STOP & BOX                                    |

**GENERAL NOTES**

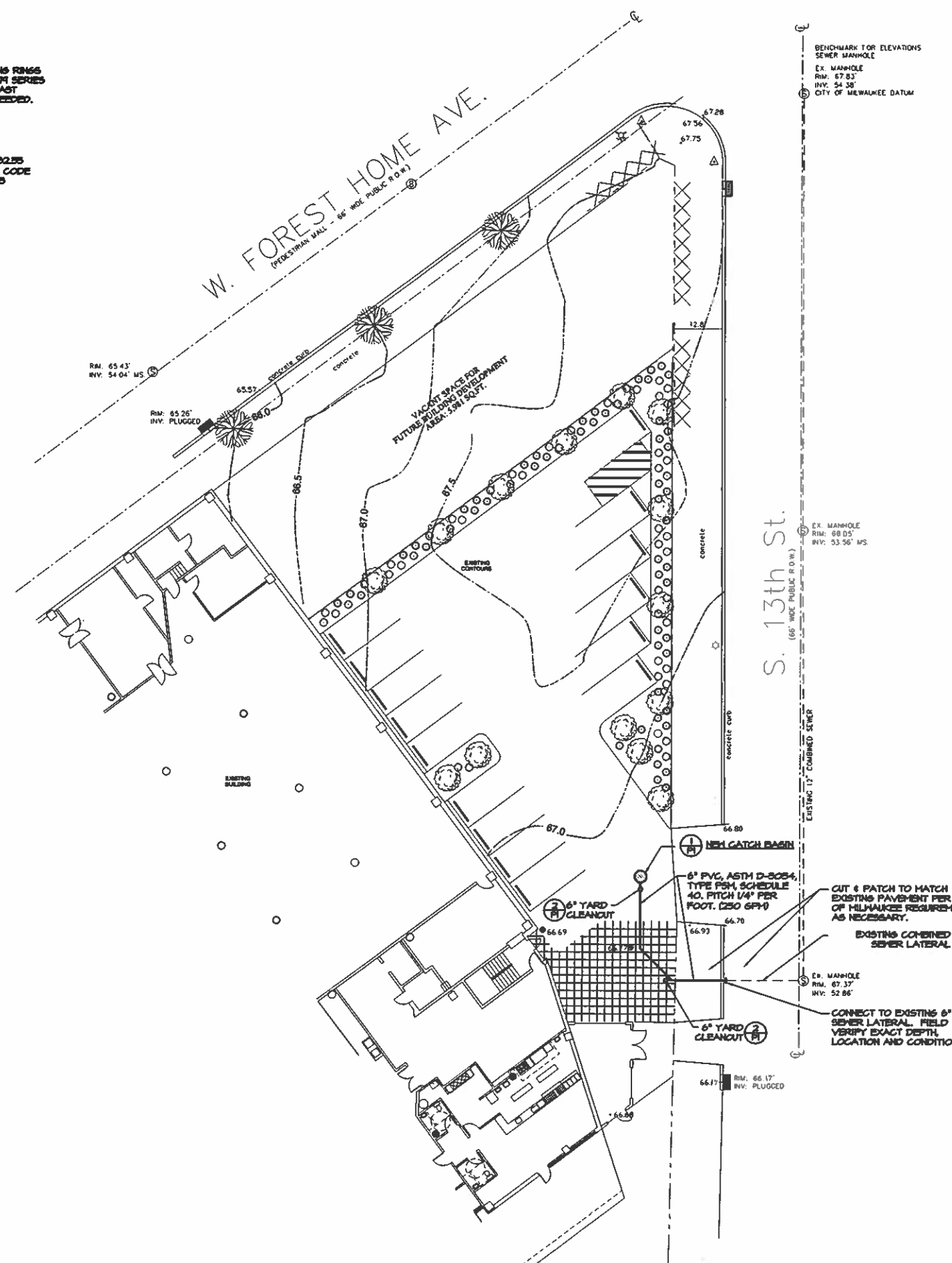
- TRENCHES THROUGH AND WITHIN 3'-0" OF PAVED AREAS SHALL BE BACKFILLED WITH GRAVEL OR CRUSHED STONE CONFORMING TO STANDARD SPECIFICATIONS. BACKFILL CONSISTING OF SPOIL SHALL CONFORM TO STANDARD SPECIFICATIONS.
- SITE UTILITY WORK SHALL NOT PROCEED PRIOR TO CONTRACTOR OBTAINING ALL NECESSARY REVIEWS, APPROVALS, AND PERMITS. INSTALLATION SHALL CONFORM TO REVIEW AND PERMIT COMMENTS AND STIPULATIONS.
- MAINTAIN CODE MINIMUM DIMENSIONS WHEN SEWER AND WATER PIPE CROSS.
- EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY. NEITHER ARCHITECT, ENGINEER NOR THE CITY OF MILWAUKEE GUARANTEE COMPLETENESS NOR EXACT LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN OR OF THOSE NOT SHOWN.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED EDITIONS OF STATE AND LOCAL CODES, LAWS, REGULATIONS, THE WISCONSIN ADMINISTRATIVE CODE AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.



**1 CITY OF MILWAUKEE APPROVED CATCH BASIN DETAIL FOR COMBINED SEWERS NOT TO SCALE**



**2 YARD CLEANOUT DETAIL NO SCALE**

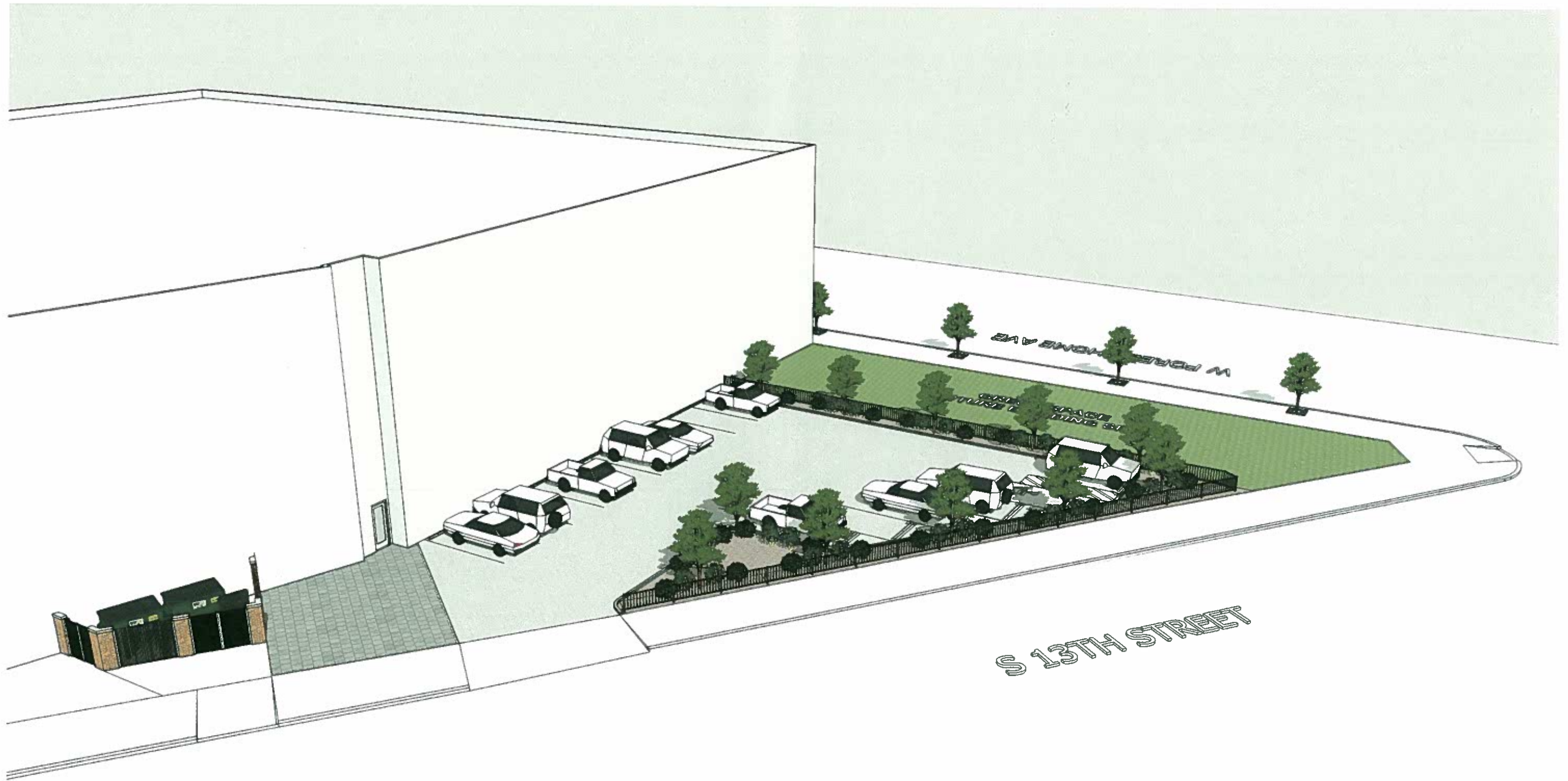


**PLUMBING SITE PLAN SCALE 1/8"=1'-0"**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

WS 182.0175(10/14) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.





Looking North

**BMR**  
DESIGN GROUP, INC.  
Architects • Engineers  
503 West Lincoln Avenue  
Milwaukee, Wisconsin  
(414) 384-2996

Sheet P-1

Proposed New Parking Lot At:  
West Forest Home Ave. & South 13<sup>th</sup> Street  
Milwaukee, WI

El Rey Mexican Products

Project # 2011-01  
January 13, 2011







Looking South

**BMR**  
DESIGN GROUP, INC.  
Architects • Engineers  
503 West Lincoln Avenue  
Milwaukee, Wisconsin  
(414) 384-2996

Sheet P-2

Proposed New Parking Lot At:  
West Forest Home Ave. & South 13<sup>th</sup> Street  
Milwaukee, WI

El Rey Mexican Products

Project # 2011-01  
January 13, 2011







Looking West

**BMR**  
DESIGN GROUP, INC.  
Architects + Engineers  
503 West Lincoln Avenue  
Milwaukee, Wisconsin  
(414) 384-2996

Sheet P-3

Proposed New Parking Lot At:  
West Forest Home Ave. & South 13<sup>th</sup> Street  
Milwaukee, WI

El Rey Mexican Products

Project # 2011-01  
January 13, 2011







Looking South West

**BMR**  
DESIGN GROUP, INC.  
Architects + Engineers  
503 West Lincoln Avenue  
Milwaukee, Wisconsin  
(414) 384-2996

Sheet P-4

Proposed New Parking Lot At:  
West Forest Home Ave. & South 13<sup>th</sup> Street  
Milwaukee, WI

El Rey Mexican Products

Project # 2011-01  
January 13, 2011







Looking South West

**BMR**

**DESIGN GROUP, INC.**

Architects • Engineers

503 West Lincoln Avenue

Milwaukee, Wisconsin

(414) 384-2996

Sheet P-5

Proposed New Parking Lot At:  
West Forest Home Ave. & South 13<sup>th</sup> Street  
Milwaukee, WI

El Rey Mexican Products

Project # 2011-01  
January 13, 2011





## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 7/25/2011**  
**Ald. Jim Witkowiak District: 12**  
**Staff reviewer: Paul Jakubovich**  
**PTS #70481**

**Property** 1301 W. FOREST HOME AV., Mitchell Street Historic District

**Owner/Applicant** EL REY ENTERPRISES II LLC Luis Barbosa  
916 S CESAR E CHAVEZ DR BMR Design Group  
MILWAUKEE WI 53204 503 W. Lincoln Ave.  
Milwaukee, WI 53207  
Phone: (414) 384-2996

**Proposal** Construct surface parking lot and related landscaping at the southwest corner of S. 13th Street and West Forest Home Avenue.

**Staff comments** The southwest corner of S. 13th and W. Forest Home was cleared of its buildings recently after they were condemned. The owners intend to use part of the vacant site as accessory, surface parking for the El Rey grocery store located immediately to the west, and add a significant band of landscaping at the corner. The green band is approximately 46 feet deep and 134 feet long. The longer term plans include the construction of a new building at the corner. Plans for a new building are not up for review at this time.

Plans for the parking lot were approved by the city's Board of Zoning Appeals because accessory parking at a street corner is generally contrary to the city's zoning code. The Mitchell Street business Improvement district has also endorsed the plans.

The extensive greenery at the corner eases the appearance of the hard-surface parking lot. Fencing, shrubbery and trees further screen the parking from the street. The project meets or exceeds preservation guidelines.

**Recommendation** Recommend HPC Approval

**Conditions**

**Previous HPC action**

**Previous Council action**



Legislation Details (With Text)

**File #:** 110403      **Version:** 0

**Type:** Motion      **Status:** In Committee

**File created:** 7/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Motion relating to the National Register of Historic Places status for the Milwaukee River Parkway.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, MILWAUKEE RIVER

**Attachments:** Nomination

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110403  
Version

Reference

Sponsor

Title  
Motion relating to the National Register of Historic Places status for the Milwaukee River Parkway.  
Requestor

Drafter  
CC-CC  
jro  
7/8/11



WISCONSIN  
HISTORICAL  
SOCIETY

June 15, 2011

The Honorable Tom Barrett  
200 E. Wells St.  
City Hall Room 201  
Milwaukee, WI 53202

Dear Mayor Barrett:

This letter is to notify you that adequately documented nomination for the following property located in the City of Milwaukee has been received by our office for nomination to the National Register of Historic Places:

***Milwaukee River Parkway***

In accordance with "Procedures for the Certification of Local Government in Wisconsin" a copy of this nomination has been transmitted to the Milwaukee Historic Preservation Commission for review and comment regarding the eligibility of this property for listing in the National Register of Historic Places.

The report of the Commission will be forwarded to you for your recommendation regarding the eligibility of this property to the National Register. The Commission's report and your recommendations should be transmitted to our office within 60 days of the Commission's receipt of the nomination, in accordance with the Certification of Agreement between the City of Milwaukee and the Wisconsin State Historic Preservation Review Board.

If you have any questions regarding this matter, please contact me at (608) 264-6501 or at [daina.penkiunas@wisconsinhistory.org](mailto:daina.penkiunas@wisconsinhistory.org).

Sincerely,

Daina Penkiunas  
National Register Coordinator

cc: Milwaukee Historic Preservation Commission



**United States Department of Interior  
National Park Service**

**National Register of Historic Places  
Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900A). Use a typewriter, word processor, or computer, to complete all items.

**1. Name of Property**

historic name Milwaukee River Parkway

other names/site number

**2. Location**

|                 |   |      |                     |        |           |      |     |          |     |
|-----------------|---|------|---------------------|--------|-----------|------|-----|----------|-----|
| street & number | Located between Good Hope Road and West Capitol Drive                     | N/A  | not for publication |        |           |      |     |          |     |
| city or town    | Cities of Milwaukee and Glendale, Villages of Shorewood and Whitefish Bay | N/A  | vicinity            |        |           |      |     |          |     |
| state           | Wisconsin   | code | WI                  | county | Milwaukee | code | 079 | zip code | N/A |

**3. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this  nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property  meets  does not meet the National Register criteria. I recommend that this property be considered significant  nationally  statewide  locally. ( See continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

In my opinion, the property  meets  does not meet the National Register criteria.  
( See continuation sheet for additional comments.)

Signature of commenting official/Title

Date

State or Federal agency and bureau

Name of Property

County and State

**4. National Park Service Certification**

I hereby certify that the property is:

 entered in the National Register. See continuation sheet. determined eligible for the National Register. See continuation sheet. determined not eligible for the National Register. See continuation sheet. removed from the National Register. other, (explain:)

Signature of the Keeper

Date of Action

**5. Classification****Ownership of Property**  
(check as many boxes as apply) private  
 public-local  
 public-State  
 public-Federal**Category of Property**  
(Check only one box) building(s)  
 district  
 structure  
 site  
 object  
 Total**Number of Resources within Property**  
(Do not include previously listed resources in the count)

| contributing | noncontributing |
|--------------|-----------------|
| 13           | 14 buildings    |
| 6            | 1 sites         |
| 19           | 16 structures   |
| 0            | 1 objects       |
| 38           | 32              |

**Name of related multiple property listing:**  
(Enter "N/A" if property not part of a multiple property listing.)Milwaukee County Parkway System**Number of contributing resources previously listed in the National Register**1\*

\*One archaeological site listed in the National Register of Historic Places is located within the Milwaukee River Parkway boundary; however, it is a noncontributing resource associated with a timeframe outside the period of significance.

**6. Function or Use****Historic Functions**

(Enter categories from instructions)

TRANSPORTATION/Road related (vehicular)LANDSCAPE/ParkRECREATION AND CULTURE/Outdoor Recreation**Current Functions**

(Enter categories from instructions)

TRANSPORTATION/Road related (vehicular)LANDSCAPE/ParkRECREATION AND CULTURE/Outdoor Recreation**7. Description****Architectural Classification**

(Enter categories from instructions)

OTHER: RUSTIC**Materials**

(Enter categories from instructions)

Foundation STONE, CONCRETEwalls STONE, WOOD, SYNTEHTICS, CONCRETEroof ASPHALTother STUCCO, BRICK**Narrative Description**

(Describe the historic and current condition of the property on one or more continuation sheets.)



**8. Statement of Significance**

**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for the National Register listing.)

- A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B** Property is associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

**Areas of Significance**

(Enter categories from instructions)

COMMUNITY PLANNING AND DEVELOPMENT  
LANDSCAPE ARCHITECTURE

**Period of Significance**

1927 - 1960

**Significant Dates**

1927

**Significant Person**

(Complete if Criterion B is marked)

N/A

**Cultural Affiliation**

N/A

**Architect/Builder**

Boerner, Alfred

**Narrative Statement of Significance**

(Explain the significance of the property on one or more continuation sheets.)



Milwaukee River Parkway  
Name of Property

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County and State

Wisconsin

## 9. Major Bibliographic References

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

### Previous Documentation on File (National Park Service):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- Local government previously determined eligible by the National Register
- designated a National Historic landmark
- recorded by Historic American Buildings Survey #
- recorded by Historic American Engineering Record #

### Primary location of additional data:

- X State Historic Preservation Office
- Other State Agency
- Federal Agency
- X

- University

Other

Name of repository:

County Parks Department

## 10. Geographical Data

Acreage of Property 634.2 acres

UTM References (Place additional UTM references on a continuation sheet.)

1 \_\_\_\_\_  
Zone Easting Northing

2 \_\_\_\_\_  
Zone Easting Northing

3 \_\_\_\_\_  
Zone Easting Northing

4 \_\_\_\_\_  
Zone Easting Northing

See Continuation Sheet

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet)

## 11. Form Prepared By

|                 |   |           |              |
|-----------------|---|-----------|--------------|
| name/title      | Christine Long, Emily Pettis, and Shannon Dolan | date      | May 2011     |
| organization    | Mead & Hunt, Inc.                               | telephone | 608-273-6380 |
| street & number | 6501 Watts Road                                 | zip code  | 53719        |
| city or town    | Madison   | state     | WI           |

Milwaukee River Parkway  
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Wisconsin

### Additional Documentation

Submit the following items with the completed form:

#### Continuation Sheets

**Maps** A USGS map (7.5 or 15 minute series) indicating the property's location.  
A sketch map for historic districts and properties having large acreage or numerous resources.

**Photographs** Representative black and white photographs of the property.

**Additional Items** (Check with the SHPO or FPO for any additional items)

### Property Owner

Complete this item at the request of SHPO or FPO.)

|                            |  |              |    |                  |              |
|----------------------------|--|--------------|----|------------------|--------------|
| <b>name/title</b>          | Milwaukee County                             |              |    |                  |              |
| <b>organization</b>        | Department of Parks, Recreation, and Culture |              |    | <b>date</b>      |              |
| <b>street &amp; number</b> | 9480 North Watertown Plank Road              |              |    | <b>telephone</b> | 414-257-4575 |
| <b>city or town</b>        | Wauwatosa                                    | <b>state</b> | WI | <b>zip code</b>  | 53226        |

|                            |                       |              |    |                  |              |
|----------------------------|-----------------------|--------------|----|------------------|--------------|
| <b>name/title</b>          |                       |              |    |                  |              |
| <b>organization</b>        | City of Milwaukee     |              |    | <b>date</b>      |              |
| <b>street &amp; number</b> | 200 East Wells Street |              |    | <b>telephone</b> | 414-286-3850 |
| <b>city or town</b>        | Milwaukee             | <b>state</b> | WI | <b>zip code</b>  | 53204        |

|                            |  |              |    |                  |              |
|----------------------------|--|--------------|----|------------------|--------------|
| <b>name/title</b>          |  |              |    |                  |              |
| <b>organization</b>        | Milwaukee Metropolitan Sewerage District |              |    | <b>date</b>      |              |
| <b>street &amp; number</b> | 260 West Seeboth Street                  |              |    | <b>telephone</b> | 414-272-5100 |
| <b>city or town</b>        | Milwaukee                                | <b>state</b> | WI | <b>zip code</b>  | 53204        |

|                            |                                    |              |    |                  |              |
|----------------------------|------------------------------------|--------------|----|------------------|--------------|
| <b>name/title</b>          |                                    |              |    |                  |              |
| <b>organization</b>        | City of Glendale                   |              |    | <b>date</b>      |              |
| <b>street &amp; number</b> | 5909 North Milwaukee River Parkway |              |    | <b>telephone</b> | 414-228-1724 |
| <b>city or town</b>        | Glendale                           | <b>state</b> | WI | <b>zip code</b>  | 53209        |

|                            |                                       |              |    |                  |            |
|----------------------------|---------------------------------------|--------------|----|------------------|------------|
| <b>name/title</b>          |                                       |              |    |                  |            |
| <b>organization</b>        | Chicago & North Western/Union Pacific |              |    | <b>date</b>      |            |
| <b>street &amp; number</b> | 1400 Douglas, Stop 1640               |              |    | <b>telephone</b> |            |
| <b>city or town</b>        | Omaha                                 | <b>state</b> | NE | <b>zip code</b>  | 68179-1640 |

|                            |   |              |    |                  |       |
|----------------------------|---|--------------|----|------------------|-------|
| <b>name/title</b>          |   |              |    |                  |       |
| <b>organization</b>        | Chicago & North Western Railway Company |              |    | <b>date</b>      |       |
| <b>street &amp; number</b> | 4823 North 119 <sup>th</sup> Street     |              |    | <b>telephone</b> |       |
| <b>city or town</b>        | Milwaukee                               | <b>state</b> | WI | <b>zip code</b>  | 53225 |

**Paperwork Reduction Act Statement:** This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects, (1024-0018), Washington, DC 20503.

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Section 7 Page 1

Milwaukee River Parkway  
Milwaukee County, Wisconsin

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**Introduction and General Setting**

The Milwaukee River Parkway (Parkway) is a historic district located along the north portion of the outer loop of two concentric and connected oval-shaped chains of parkways that were first conceived in 1923. Known as the "Emerald Necklace," the loop twice encircles the county, comprising a significant portion of the Milwaukee County Park and Parkway System. The portion of the Parkway covered by this nomination is located in the north-central portion of Milwaukee County, in the cities of Glendale and Milwaukee and the villages of Whitefish Bay and Shorewood. The Parkway is comprised of land along the Milwaukee River roughly between Good Hope Road and West Capitol Drive. The attached *Milwaukee Parks and Parkways* map shows the overall location of the Parkway.

The Milwaukee River originates in the southeast corner of Fond du Lac County, which is located in the southeast portion of Wisconsin. The river winds its way south and east through Washington and Ozaukee Counties for approximately 75 miles before entering Milwaukee County and emptying into Lake Michigan. The segment covered in this nomination roughly follows the Milwaukee River and the associated Milwaukee River Parkway Drive (Drive) between Good Hope Road and West Capitol Drive from the north to south, respectively. The Parkway is comprised of Kletzsch Park; Lincoln Park, including Henry Aaron Field, David F. Schulz Aquatic Center, and Lincoln Park Golf Course; and Estabrook Park. Lincoln Creek enters the Parkway in Lincoln Park, where it flows into the Milwaukee River. The creek separates Lincoln Park from Meaux Park to the west, which is part of the Lincoln Creek Parkway. The Parkway includes 70 resources: 38 contributing and 32 noncontributing. Twenty-seven buildings are located within the Parkway. The Drive, swimming pool, four vehicular bridges, seven pedestrian bridges, three culverts, four railroad bridges, six baseball diamonds with bleachers, two tennis courts, two dams, two TV towers, one series of concrete pylons, a pedestrian underpass, a concrete fishing pier, and a spillway are counted as structures. One sculpture is counted as an object. The Parkway and its landscape features (Kletzsch Park, Lincoln Park, Estabrook Park, Henry Aaron Field, and Lincoln Park Golf Course) are counted as contributing sites. The modern David F. Schulz Aquatic Center, located in Lincoln Park, is counted as a noncontributing site. Features of the Parkway landscape include the Milwaukee River, landscaping, retaining walls, pedestrian paths, modern playgrounds, picnic areas, signage, flagpoles, lighting, storm-water overflow structures, and athletic areas such as soccer fields.

Landscape features of Kletzsch Park include a retaining wall, flagpole, pedestrian paths, picnic areas, non-permanent athletic fields, archery targets, modern playgrounds, fences, scenic overlooks, signage, lighting, and storm-water overflow structures. Landscape features of Lincoln Park include a retaining wall, non-permanent athletic fields, modern playgrounds, pedestrian paths, a scenic overlook, signage, lighting, and storm-water

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Milwaukee River Parkway  
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overflow structures. Landscape features of Henry Aaron Field include a scoreboard, fences, pedestrian paths, signage, and lighting. Landscape features of the Lincoln Park Golf Course include the golf greens, landscaping, pedestrian paths, small pedestrian bridges, a flagpole, small shelters, and signage. Landscape features of Estabrook Park include a lagoon, athletic fields, an abandoned railroad track, a dog park, pedestrian paths, fences, modern playgrounds, a scenic overlook, lighting, signage, and storm-water overflow structures. Noncontributing resources within the Parkway are categorized based on recent construction dates outside of the period of significance, which is 1927 to 1960.

One archaeology site and one historic residence located within the Parkway boundary have been listed in the National Register of Historic Places (National Register). The Spring Grove Mound and Garden Bed Site (47MI45/BMI0140) is located within Kletzsch Park and was listed in the National Register in 1979 (see the Archaeology Potential discussion for more detail). The Kilbourntown House located within Estabrook Park just north of the intersection with West Capitol Drive was listed in the National Register in 1972. No other previously listed resources are located in within the Parkway boundaries.

The Parkway begins on the south side of Good Hope Road and roughly follows the Milwaukee River and the Drive south to West Capitol Drive. The major roads that intersect the Parkway include West Green Tree Road, West Bender Road, West Silver Spring Drive, West Hampton Avenue, and North Port Washington Road. Kletzsch Park, Lincoln Park, Henry Aaron Field, David F. Schulz Aquatic Center, Lincoln Park Golf Course, and Estabrook Park are located along the Parkway. Although the Drive ends at West Capitol Drive on the southern edge of Estabrook Park, additional discontinuous county-owned parcels of land follow the western side of the Milwaukee River between Kern Park (1915) and Gordon Park (1915). Because the County Park Commission did not issue development plans for a southern portion of the parkway in their early reports, Kern Park and Gordon Park were not mentioned in association with the Milwaukee County Parkway; therefore, they are not included within the Milwaukee River Parkway boundary.<sup>1</sup>

The Parkway extends through nearly level terrain and hills gently covered by a mixture of deciduous and coniferous trees and shrubs interspersed with pockets of grassy open spaces. Areas along the Milwaukee River tend to have shrubby undergrowth interspersed with mixed-age woods that obscure the view of the river. Wider open spaces and mowed grassy areas between the Drive and river are designated as picnic areas, fields for

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<sup>1</sup> The Parkway boundaries were determined during a site visit with the State Historic Preservation Office (SHPO) staff in April 2010.

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athletic activities, and modern playgrounds. A majority of the Drive is a two-lane asphalt roadway flanked by curb and gutter. A portion of the Drive between West Bender Road and West Silver Spring Drive features a mowed grass median with mature deciduous trees. Pendant lights hang from simple wood utility poles throughout the Drive. The roadway within the Parkway was graded to maintain the natural appearance of the surrounding topography. Travelers throughout the Parkway and associated parks are guided by Milwaukee County Parkway signage. A list of contributing and noncontributing resources located within the Parkway is included below.

| Segment   | Resource*   | Date of Construction** | Contributing/Noncontributing |
|---|---|------------------------|------------------------------|
|   | Milwaukee River Parkway                               |                        | Contributing Site            |
|   | Milwaukee River Parkway Drive                         |                        | Contributing Structure       |
| <b>Kletzch Park</b>                                   |   |                        | Contributing Site            |
|   | Baseball Diamond                                      | 1951                   | Contributing Structure       |
|   | Stone Culvert   | c.1935                 | Contributing Structure       |
|   | Bathhouse   | 1932                   | Contributing Building        |
|   | Pavilion  | 1936                   | Contributing Building        |
|   | Transformer Building                                  | 1936                   | Contributing Building        |
|   | Storage Shed  | c.1965                 | Noncontributing Building     |
|   | Pedestrian Bridge                                     | c.1990                 | Noncontributing Structure    |
|   | Baseball Diamond                                      | c.1936                 | Contributing Structure       |
|   | Baseball Diamond                                      | c.1936                 | Contributing Structure       |
|   | Baseball Diamond                                      | c.1936                 | Contributing Structure       |
|   | Dam   | 1935                   | Contributing Structure       |
|   | Stone Culvert   | c.1935                 | Contributing Structure       |
| <b>C&amp;NW/UP Bridge to West Silver Spring Drive</b> | Chicago & North Western/Union Pacific Railroad Bridge | 1928                   | Contributing Structure       |

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| Segment   | Resource*  | Date of Construction** | Contributing/Noncontributing |
|---|--|------------------------|------------------------------|
| <b>West Silver Spring Drive to Lincoln Park</b> | Chicago & North Western Railroad Bridge plate girder (P-40-0541) | 1951                   | Contributing Structure       |
|   | Chicago & North Western Railroad Bridge concrete box girder      | c.1930                 | Contributing Structure       |
| <b>Lincoln Park</b>                             |  |                        | Contributing Site            |
|   | Service Building   | c.1955                 | Contributing Building        |
|   | TV Tower   | c.2000                 | Noncontributing Structure    |
|   | Utility Building   | c.2000                 | Noncontributing Building     |
|   | TV Tower   | c.2000                 | Noncontributing Structure    |
|   | Bridge (Metal)   | c.2000                 | Noncontributing Structure    |
|   | Bridge (B-40-748) carrying the Drive over the Milwaukee River    | 2010                   | Noncontributing Structure    |
|   | Bridge (B-40-710) carrying the Drive over the Milwaukee River    | 2008                   | Noncontributing Structure    |
|   | Fishing Pier   | c.1940                 | Contributing Structure       |
|   | Bridge (P-40-750) carrying Drive over the Milwaukee River        | c.2005                 | Noncontributing Structure    |
|   | Picnic Shelter   | c.1979                 | Noncontributing Building     |
|   | Tennis Court   | c.1970                 | Noncontributing Structure    |
| <b>Henry Aaron Field</b>                        |  |                        | Contributing Site            |
|   | Baseball Diamond (Henry Aaron Field)                             | 1951                   | Contributing Structure       |
|   | Concession Building (Henry Aaron Field)                          | 1951                   | Contributing Building        |
|   | Announcer's Booth (Henry Aaron Field)                            | 1987                   | Noncontributing Building     |
|   | Dugout (Henry Aaron Field)                                       | c.2005                 | Noncontributing Building     |
|   | Dugout (Henry Aaron Field)                                       | c.2005                 | Noncontributing Building     |
|   | Maintenance/Service Building                                     | c.1996                 | Noncontributing Building     |
|   | Emil Blatz Building  | 1954                   | Contributing Building        |

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| Segment                               | Resource*                      | Date of Construction** | Contributing/Noncontributing |
|---------------------------------------|--------------------------------|------------------------|------------------------------|
| <b>David F. Schulz Aquatic Center</b> |                                | 2008                   | Noncontributing Site         |
|                                       | Admission Building             | 2008                   | Noncontributing Building     |
|                                       | Bathhouse                      | 2008                   | Noncontributing Building     |
|                                       | Swimming Pool and Water Slide  | 2008                   | Noncontributing Structure    |
|                                       | Sculpture                      | c.2005                 | Noncontributing Object       |
| <b>Lincoln Park Golf Course</b>       |                                |                        | Contributing Site            |
|                                       | Clubhouse                      | 1967                   | Noncontributing Building     |
|                                       | Comfort Station                | c.1952                 | Contributing Building        |
|                                       | Culvert (C-40-26-58)           | c.1965                 | Noncontributing Structure    |
|                                       | Storage Shed                   | c.1965                 | Noncontributing Building     |
|                                       | Maintenance/Storage Building   | c.1963                 | Noncontributing Building     |
|                                       | Storage Shed                   | c.1970                 | Noncontributing Building     |
|                                       | Storage Shed                   | c.1980                 | Noncontributing Building     |
| <b>Estabrook Park</b>                 |                                |                        | Contributing Site            |
|                                       | Pedestrian Bridge              | c.2000                 | Noncontributing Structure    |
|                                       | Comfort Station                | 1952                   | Contributing Building        |
|                                       | Pedestrian Bridge              | c.2000                 | Noncontributing Structure    |
|                                       | Dam                            | 1933-1936              | Contributing Structure       |
|                                       | Spillway                       | 1933-1936              | Contributing Structure       |
|                                       | Concrete Pylons "Dragon Teeth" | c.1955                 | Contributing Structure       |
|                                       | Utility Building               | c.1936                 | Contributing Building        |
|                                       | Pedestrian Bridge              | c.2000                 | Noncontributing Structure    |
|                                       | Comfort Station                | c.1937                 | Contributing Building        |
|                                       | Baseball Diamond               | c.1935                 | Contributing Structure       |
|                                       | Tennis Court                   | c.1960                 | Contributing Structure       |
|                                       | Pedestrian Bridge              | c.1965                 | Noncontributing Structure    |

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| Segment | Resource*                                    | Date of Construction** | Contributing/Noncontributing |
|---------|--|------------------------|------------------------------|
|         | Pedestrian Bridge                            | c.1980                 | Noncontributing Structure    |
|         | Combination Comfort Station/Service Building | c.1937                 | Contributing Building        |
|         | Pedestrian Underpass (C-858-38)              | c.1940                 | Contributing Structure       |
|         | Comfort Station                              | c.1938                 | Contributing Building        |
|         | Pedestrian Bridge                            | c.1970                 | Noncontributing Structure    |
|         | Benjamin Church House/Kilbourntown House     | c.1844                 | Contributing Building        |

\* Wisconsin Department of Transportation (WisDOT) bridge ID numbers are included when known.

\*\* Dates were determined using data from the Milwaukee County Parks Department, historic aerial maps, and WisDOT's Bridge Inventory.

The following text describes the Parkway in greater detail in segments beginning at the northern terminus.

**Good Hope Road to West Green Tree Road**

The north end of the Parkway begins at the south side of Good Hope Road in the city of Glendale. Land between the river and the Drive is predominantly covered with mixed-age deciduous trees and shrubby undergrowth. A paved path follows along the east side of the Drive. Residential properties consisting of c.1950 and c.1960 Ranch-style houses front the west side of the Drive (they are located outside the nominated boundary). An open grassy area that serves as a soccer field is located on the east side of the Drive near the intersection with West Green Tree Road.

**Green Tree Road to Chicago & North Western/Union Pacific (C&NW/UP) Railroad Bridge (Kletzsch Park)**

This segment of the Parkway is relatively level with some rolling hills and is dominated by Kletzsch Park (contributing), which was acquired by Milwaukee County between 1918 and 1934. All of Kletzsch Park is encompassed within the Parkway boundary. The park is roughly bound by North Green Bay Avenue/State Trunk Highway (STH) 57 on the west, the C&NW Railroad corridor on the south, the Milwaukee River on the east, and Green Tree Road on the north. Vegetation throughout the park includes a mixture of coniferous and deciduous trees arranged in asymmetrical groupings to create clearings and shaded areas. Within Kletzsch Park, the Milwaukee River lies to the east of the Drive and is obscured from view by mature trees and scrubby



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underbrush. The Drive gently curves through the center of the park and pendant lights line the west side of the Drive, while a paved path mirrors the Drive to the east.

Shortly after the Drive enters the park, it intersects with a side road that provides access to athletic fields and parking areas to the east. A 1951 baseball diamond (contributing) with bleachers and an associated parking area are located on the north side of the road, and an open grassy area on the south side is designated as a picnic area. As the side road continues east, it crosses a c.1935 stone culvert (contributing) before arriving at large paved parking area, with open areas used as soccer fields, and a service building. The c.1932 bathhouse with restroom facilities (contributing) is of frame construction, rectangular in plan, clad in clapboard, and rests on a concrete pad. It has a low-pitched hip roof with overhanging eaves and a simple cornice, fixed light windows, and separate men's and women's rooms at the corners of the northwest facade.

As the Drive continues south through the park, land on the west side becomes hilly and is covered with scrub brush. An asymmetrical clearing featuring scattered mature tree plantings and a mowed open grassy area with moveable archery targets is located south of the hill. Land on the east side of the Drive remains relatively flat and features an irregular mowed open grassy space that is designated as picnic area and includes a non-permanent volleyball net. A small line of deciduous trees separates the picnic area from another mowed grassy area that features a 1936 pavilion (contributing) with restroom facilities, office space, and a sheltered picnic area; a 1936 ashlar stone transformer building (contributing) with Swiss Chalet-inspired details; and a c.1965 frame storage shed clad in board and batten siding (noncontributing). The pavilion building is set back from the east side of the Drive and is accessed by a semi-circular drive and parking area that connects to a west/east road leading to North Green Bay Road/STH 57. The one-story, front gable building with slate shingles is constructed of ashlar stone. The building is oriented west/east with the front (west) facade facing the Drive, while the rear (east) elevation overlooks the Milwaukee River. The building has an irregular plan with one-story gable wings on the side (north and south) elevations. A one-story, gable portion on the north elevation is a replica of a historic hand hewn log structure. The building displays decorative elements associated with the Swiss Chalet architectural style, such as overhanging eaves supported by decorative knee braces, exposed rafters, and decorative stickwork in the gable ends. Windows are a combination of multi-light double-hung sash and multi-light casements flanked by decorative wood shutters; however, some windows on the rear (east) elevation have been covered with wood. The side (south) elevation features a prominent interior stone chimney. The rear elevation features a sheltered picnic area that overlooks the Milwaukee River. Paired, squared wood posts support the gable roof, which displays similar Swiss architectural details as the front facade. The interior of the building consists of office spaces, restrooms, and a community room with a

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fireplace. As a whole, the interior appears to remain fairly intact and retains decorative woodwork reminiscent of the Swiss style.

A paved pedestrian path extends northeast from the pavilion into a wooded area, where a series of limestone steps lead to a c.1990 wood pedestrian bridge (noncontributing) that spans a ravine near the Milwaukee River. An earthen pedestrian path continues north along the bank of the Milwaukee River and ends at the picnic area on the south side of the access road near the park entrance.

A modern playground, non-permanent volleyball court, and picnic area are located in a clearing south of the pavilion. A large, mowed, grassy area on the west side of the Drive features three c.1936 baseball diamonds with bleachers (contributing) and a soccer field. A paved parking area is located off the west side of the Drive, east of the athletic fields.

A reinforced concrete dam (contributing) faced with fieldstone was constructed by the Civilian Conservation Corps (CCC) in 1935 across the Milwaukee River north of a small island near the south end of Kletzsch Park. A stone retaining wall and c.1935 limestone culvert (contributing) are located along the west bank of the river near the dam. Further south, a 1928 deck truss railroad bridge with plate girder approach spans (contributing) constructed by the American Bridge Company carries the C&NW/UP Railroad over the Milwaukee River and the Drive.

**C&NW/UP Railroad Bridge to West Silver Spring Drive**

Land located south of Kletzsch Park between the C&NW Railroad corridor and West Silver Spring Drive was developed by the Park Commission in the mid-twentieth century. Land at the northern terminus of this segment features a large asymmetrical open grassy area that functions as a soccer field west of the Drive. Land east of the Drive features an asymmetrical clearing with a paved pedestrian path that terminates at West Bender Road and a dense group of mature trees obscure the Milwaukee River. As the Parkway continues south of West Bender Road, it moves away from the Milwaukee River, which features a wide bend with an area of residential development that separates the Drive from the river and follows the Drive south across the landscape. The Drive in this segment gently winds across level terrain in an area dominated by c.1950s and c.1960s Ranch-style residential properties and municipal development. The landscape south of West Bender Road east of the Drive is dominated by mature trees and scrubby undergrowth and a small clearing located south of the wooded area functions as a soccer field.

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Unlike other portions of the Drive, in the segment between West Bender Road and West Silver Spring Drive, the Drive divides and is separated by mowed grass medians with mature trees. As the Drive continues south through the densely populated residential neighborhoods of the city of Glendale, cross streets intersect to provide residential traffic access to north- and south-bound traffic along the Drive. In 2010 the Drive in this segment was repaved and pendant lights remain in place. Both sides of the Drive come together at the Silver Spring Drive to become one road.

**West Silver Spring Drive to Lincoln Park**

This segment of the Parkway continues south along the Drive, which follows the west side of the Milwaukee River. Pendant lights and a paved pedestrian path mirror the Drive on the east. The historic boundary in this segment corresponds with the west edge of pavement along the Drive and the west bank of the Milwaukee River on the east to encompass county-owned land. Residential properties consisting of c.1950 and c.1960 Ranch and Split-level houses fronting the Drive are excluded from the historic boundary. The terrain is nearly level and vegetation is restricted to the land located between the east side of the Drive and the west bank of the river, which is comprised of dense plantings of mature deciduous trees and shrubby undergrowth that obscures the view of the Milwaukee River.

The C&NW Railroad corridor intersects the Parkway at the north edge of Lincoln Park. A 1951, four-span, plate girder bridge (P-40-541, contributing) carries the corridor over the Milwaukee River, while a c.1930, two-span, concrete box girder bridge (contributing) carries the corridor over the Drive. From here, the west side of the historic boundary continues south along the back edge of pavement before it turns and continues east to the west bank of the Milwaukee River. Once at the river, the boundary turns and follows the west bank south to intersect with the northern boundary of Lincoln Park. The east edge of the historic boundary south of the railroad bridge over the Milwaukee River intersects with Lincoln Park on the east side of the river.

**Lincoln Park to West Glendale Road (I-43) (Lincoln Park and Lincoln Park Golf Course)**

This segment of the Parkway features gently rolling hills and is dominated by Lincoln Park (contributing), which was acquired by the City of Milwaukee in 1907 and was later transferred to Milwaukee County. Vegetation throughout the park includes a mixture of deciduous and coniferous trees arranged in asymmetrical groupings to create clearings and open areas. Lincoln Park spans both sides of the Milwaukee River and generally follows the original plans outlined by the County Park Commission. The Drive loosely follows the Milwaukee River as it meanders south then east through the park. A mix of modern and pendant light standards

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hang from wood utility poles along this stretch of the Drive. A series of paved pedestrian paths wind through the park and connect picnic areas, athletic fields, and modern playgrounds.

In 1933 and 1934, Civil Works Administration (CWA) labor relocated the Milwaukee River in Lincoln Park by excavating a new channel for flood control and constructed four islands to divert the water. As a whole the islands are dominated by natural vegetation, including mixed-age trees and shrubby undergrowth, and lack buildings and recreation areas. In 1937 a city-administered Works Progress Administration (WPA) project continued the rerouting of the Milwaukee River at Lincoln Park to eliminate horseshoe bends that frequently caused ice jams during the spring thaw. From 1933 to 1940 CWA, CCC, and WPA labor removed a six-foot rock bed from the Milwaukee River to better enable the flow of water. As a result, the Milwaukee River enters the park from the north and flows south around the islands where it joins with Lincoln Creek then turns east to exit the park. The route of the Milwaukee River essentially divides Lincoln Park into west and east halves. The west half of the park is comprised of picnic areas, modern playgrounds, athletic fields, and other recreation-related amenities, such as Henry Aaron Field, Blatz Pavilion, David F. Schulz Aquatic Center. The east half of the park is dominated by the Lincoln Park Golf Course.

All of Lincoln Park is encompassed within the Parkway boundary, which is roughly bound by North Green Bay Avenue/STH 57 on the west, West Glendale Avenue and the Milwaukee River on the south, Lincoln Park Golf Course and Interstate 43 (I-43) on the east, the C&NW Railroad corridor on the northeast, and West Lawn Avenue on the north. The northern, western, eastern, and a portion of the southern boundary of the Park coincide with the parcel lines delineating county-owned land, while the remainder of the southern boundary roughly follows the north bank of the Milwaukee River.

As the Drive enters Lincoln Park from the north it passes through a cluster of mixed-age deciduous trees. A paved drive leading to two buildings and two TV towers intersects with the Drive on the west. The c.1955 brick service building (contributing) and c.2000 TV tower (noncontributing) are set back from the Drive and are shielded by a dense grouping of deciduous trees. The one-story brick service building has an irregular plan, a flat roof with an interior brick chimney, and multi-light windows. A metal chain link fence at the rear of the building encloses a small mowed yard that includes satellite dishes, solar panels, and the TV tower. A c.2000 one-story concrete block utility building (noncontributing) with a flat roof and a c.2000 TV tower (noncontributing) are located on the east bank of Lincoln Creek west of the service building. A c.2000 metal single lane vehicular bridge (noncontributing) spans Lincoln Creek to provide access to the building and the associated tower from the west. The complex is secured by a tall metal chain link fence.

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Two bridges carry the Drive over the largest island: a 2010, single-span, concrete girder with form-lined stone treatment (B-40-748, noncontributing), and a 2008, three-span, concrete girder with form-lined stone treatment (B-40-710, noncontributing). The island features open grassy areas interspersed with mature tree plantings, picnic areas, a soccer field, and a c.1940 concrete fishing pier (contributing) constructed by the WPA that extends into the river channel on the west side of the island. After crossing the river, the Drive intersects with West Hampton Avenue, which travels west/east. As the Drive continues concurrent with West Hampton Avenue it cross the Milwaukee River via a c.2000, four-span, concrete girder bridge with a decorative metal railing (P-40-750, noncontributing).

Land west of the Milwaukee River is bound by North Green Bay Avenue on the west and West Hampton Avenue on the south. This narrow area of park land features soccer fields, a non-permanent volleyball court, c.1979 picnic shelter with restroom facilities (noncontributing), c.1970 tennis court (noncontributing), and paved parking lots and pedestrian paths. The picnic shelter has a T-shaped plan with shelter for picnic tables and restroom facilities sheathed in board and batten siding. It has a gable roof with overhanging eaves supported by simple wood brackets.

The portion of Lincoln Park located on the south side of West Hampton Avenue includes parking areas, athletic fields, a modern playground, Henry Aaron Field, a former swimming pool complex, the David F. Schulz Aquatic Center, and the Emil Blatz Pavilion. The terrain in this area is flat and open with small groupings of mature trees. A large open area originally featured three informal baseball diamonds. One of the diamonds was demolished during the construction of the aquatic center; however, the other two diamonds located in the northwest and southwest corners are extant. A non-permanent football field with goal posts is also located in the same area.

Henry Aaron Field is located south of the ball fields and includes a 1951 baseball diamond (contributing) with bleachers, 1951 concession building (contributing), 1987 announcer's booth (noncontributing), and two c.2005 dugouts (noncontributing), as well as a scoreboard and lighting. The brick concession building is a simple rectangular structure with flat roof and overhanging eaves. The front (south) facade features ashlar veneer and two service bays with replacement overhead garage doors. The announcer's booth is a small elevated building located on the north side of the ball diamond and is accessed by a series of wood steps. It is clad in board and batten siding with a flat roof. Concrete block dugouts with flat roofs are located along the north and east sides of the ball field.

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A 1963 swimming pool and associated 1963 bathhouse located east of Henry Aaron Field are nonextant. The swimming pool was filled in re-sodded and the bathhouse was demolished in 2008.<sup>2</sup> The service yard, located immediately adjacent to the east side of the swimming complex, was constructed c.2000. It is enclosed with a chain-link fence and features a single c.1996 maintenance/service pole building (noncontributing) with a rectangular plan, low-pitched gable roof, and three overhead garage doors on the north elevation. A large paved parking lot is located to the south of the former swimming complex.

The Emil Blatz Pavilion (contributing) was constructed north of Henry Aaron Field on the west bank of the Milwaukee River in 1954. The building was designed by Fitzhugh Scott Jr., a Milwaukee architect. The ashlar stone and brick building was built into a slight hill on the west bank of the Milwaukee River. The front (west) elevation faces the newly constructed David F. Schulz Aquatic Center and the rear (east) elevation overlooks the Milwaukee River. The side gable building has a rectangular plan with paired gable projections on the front (west) and rear (east) elevations. A recessed entryway with double glass entrance doors is located in the projecting gable at the northwest corner of the building on the front facade. The building has board and batten siding in the gable ends, two prominent ashlar stone exterior chimneys, and a second story balcony on the rear elevation. The rear elevation features an exposed basement level that is integrated into the landscape design along the river. A level mowed grass terrace extends from the east elevation that features paved pedestrian paths and stone stairs that lead down the bank of the Milwaukee River, which has been reinforced with a stone retaining wall and bulkheads. An overlook located north of the pavilion provides visitors a scenic view of the river and surrounding landscape.

The David F. Schulz Aquatic Center, located west of the Emil Blatz Pavilion, was constructed in 2008. It consists of an admissions building, bathhouse, and swimming pool with a waterslide. The admissions building (noncontributing) is a cross gable building clad in board and batten siding and brick veneer. A canvas awning shelters the service window on the front (north) facade. The bathhouse (noncontributing) is located west of the admissions building. The central side gable building features gable projections on the north and south elevations and flat roof wing with changing rooms on the side (west and east) elevations. The building is clad in a combination of board and batten siding and ashlar stone veneer that complements the adjacent Emil Blatz Pavilion. Windows are a combination of fixed and fixed clerestory. The swimming pool (noncontributing) is located south of the bathhouse and features a waterslide.

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<sup>2</sup> According to Milwaukee County records, the swimming pool and bathhouse were demolished in 2008.

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A c.2005 abstract sculpture (noncontributing) is situated in an open mowed grassy area on the north side of the Drive west of the Milwaukee River.

*Lincoln Park Golf Course*

The Lincoln Park Golf Course (contributing) is located on the east side of the Milwaukee River within Lincoln Park. The six-hole golf course opened to the public in 1916. Three additional holes were added to the course the following year. As a designed landscape, the golf course features rolling topography, water hazards, sand traps, small hip roof shelters, and planned groupings of deciduous trees and shrubs.

The 1967 Terrance L. Pitts Golf Clubhouse (noncontributing) and associated parking area with service yard are located north of the Drive. Paved paths lead from the parking lot to clubhouse, which is situated on a small hill overlooking the golf course. The one-story building has a rectangular plan and rests on a concrete foundation. The building is sheathed in brick and features a gable roof with wide overhanging eaves supported by decorative brackets and board and batten is located in the gable ends. Windows are a combination of original casements, fixed with awnings below, and replacement one-over-one, double-hung sash. A flagpole is located east of the clubhouse.

A c.1952 comfort station (contributing) is situated west of the clubhouse near the east bank of the river and hidden from the golf course by a grouping of mature trees. The one-story, side gable building is rectangular in plan, clad in ashlar stone, and rests on a concrete foundation. It features a simple wood cornice, multi-light windows, and simple wood entrance doors. A c.1965 concrete culvert (C-40-26-58, noncontributing) with a wood railing is located north of the storage building on the east bank of the river. A brick c.1965 storage building (noncontributing) located adjacent to the east bank of the river, is obscured from the golf course by trees and scrubby undergrowth. Situated near the north end of the golf course, the building is rectangular in plan and has a front gable roof with overhanging eaves and is accessed by hinged double doors. A service yard composed of three maintenance/storage buildings is located on the east end of the parking lot and is enclosed by a metal fence. The c.1963 brick maintenance building (noncontributing) features architectural details that complement the clubhouse, such as wide overhanging eaves supported by decorative brackets and board and batten siding in the gable ends. Two other frame storage sheds (noncontributing) constructed c.1970 and c.1980 are located east of the maintenance building.

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As the Drive exits Lincoln Park, the north side roughly follows the north bank of the Milwaukee River. At the east side of the park boundary, the Drive becomes four lanes and is divided by a mowed grassy island. From here, the Parkway boundary shifts to encompass the land between the back edge of pavement on the south side of the roadway and the Milwaukee River as the Parkway continues east under a modern bridge that carries I-43 bridge over the Parkway.<sup>3</sup> Land under the bridges retains the overall sense and feel of the Parkway as it links Lincoln Park to the west with Estabrook Park to the east. The terrain is relatively level with mixed-age deciduous trees and shrubby undergrowth that follows the river into Estabrook Park.

**West Hampton Avenue to West Capitol Drive (Estabrook Park)**

This segment of the Parkway is dominated by Estabrook Park (contributing), which was acquired between 1916 and 1931. For the most part the Parkway boundary in this segment coincides with railroad right-of-way on the north/east and the north/west bank of the Milwaukee River. The topography is relatively level with some gently rolling hills. Vegetation throughout the park is comprised of mixed-age deciduous and coniferous trees arranged in asymmetrical groupings to create clearings and shaded areas. The park spans the north and south sides of the Drive, which was constructed between 1929 and 1930 and called Estabrook Drive. Pendant lights hang from utility poles along the north side of the Drive. Paved pedestrian paths wind through the park connecting athletic fields, picnic areas, modern playgrounds, scenic overlooks, and a dog exercise area.

The west end of Estabrook Park features an asymmetrical mowed grassy area that functions as a soccer field and a c.2000, single-span, pedestrian bridge with wood railing (noncontributing) that spans a ravine. A comfort station (contributing) built in 1952 is located east of the pedestrian bridge. It is rectangular in plan and constructed of limestone. The side gable roof is covered with asphalt shingles and has a simple wood cornice, hinged wood entrance doors, and fixed windows.

Within Estabrook Park, the Milwaukee River lies to the south of the Drive. Shortly after entering the park, a side road leading to a parking lot near the bank of the Milwaukee River intersects with the Drive from the south. A c.2000, single-span, pedestrian bridge (noncontributing) with wood deck and railing carries pedestrian traffic over the side road that leads to a parking lot near the river.

A concrete dam (contributing) was constructed in the river by the CCC between 1933 and 1936. The dam connects the east bank of the Milwaukee River and an island in the center of the river. A limestone spillway

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<sup>3</sup> Because the modern bridge spans the Parkway, it was not included in the resource count.



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(contributing) was built between 1933 and 1936 and is located immediately west of the dam and connects the island with the west bank of the Milwaukee River. A series of pylons known as "dragon teeth" (contributing) were added north of the dam and spillway c.1955 to help protect the structure from debris and ice chunks.<sup>4</sup> A c.1936 concrete utility building (contributing) with metal railing at the top, likely associated with the dam, was built into a small hill immediately adjacent to the dam on the east bank of the river. It is accessed by a wood door on the south elevation.

The Drive roughly follows the Milwaukee River as it travels through Estabrook Park, and is separated from the river to the south by mature tree plantings and a soccer field and Frisbee golf stations before reaching a large paved parking lot. The parking lot is located near a modern playground, comfort station, scenic overlook, pedestrian bridge, soccer field, baseball diamond, and tennis court.

The playground is located in a clearing near the east bank of the Milwaukee River. The c.2000, single-span, pedestrian bridge (noncontributing) with wood deck and railing carries pedestrian traffic over a ravine west of the playground. The comfort station (contributing) is situated south of the playground overlooking the river. The comfort station, constructed c.1937, features a sheltered picnic area, restrooms, and an interior gathering space. The building has an irregular footprint and is clad in a combination of ashlar stone, stucco, and decorative half-timbering. The gable roof features an interior stone chimney and extends over a concrete pad sheltering picnic tables on the north and west elevations. A service window is located on north elevation. A gable portico shelters an entrance to the building on the west elevation and a one-story side gable wing with restroom facilities is located on the east elevation. The building displays decorative details reminiscent of the Tudor Revival style, such as decorative half-timbering, paired multi-light casement windows, prominent chimney, and patterned stickwork.

A scenic overlook is located west of the picnic shelter on the east bank of the Milwaukee River. The overlook is comprised of a limestone platform with a wood railing and steps that lead down to the river and a natural waterfall. A large mowed open grassy area featuring a c.1935 baseball diamond (contributing) with bleachers and c.1960 tennis court (contributing), which has been converted into an in-line hockey rink, are located east of the picnic shelter. An abandoned railroad corridor and dog exercise area is separated from the athletic fields to the north by a line of mature trees that corresponds to the north side of the remaining railroad tracks. The railroad bridge spanning the Milwaukee River was removed c.1995. Land designated as a dog exercise area is

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<sup>4</sup> Milwaukee County First, "Estabrook Dam," <http://milwaukeecountyfirst.com/?p=234> (accessed 16 April 2011)

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comprised of an asymmetrical clearing with a mowed grassy area that features wooden benches and scattered tree plantings that is enclosed by a chain-link fence. A paved pedestrian path extends south from the parking lot near the athletic fields past the dog exercise area it crosses a c.1965 concrete pedestrian bridge (noncontributing) with metal railing that spans a marshy area east of the dog exercise area.

A lagoon located on the opposite side of the Drive, east of the baseball diamond, was completed with relief labor between 1931 and 1932. A paved pedestrian path encircles the lagoon and a c.1980 single span pedestrian bridge (noncontributing) with wood deck carries the path over a stream at the north end of the lagoon.

A c.1937 combination comfort station/service building is located in a clearing south of the lagoon. The one-story stone building has an L-shaped plan and decorative details reminiscent of the Tudor Revival style, including stucco and half-timbering in the gable portico and projecting gable on the front (west) facade, multi-light windows, and prominent interior stone chimney. Remaining windows are glass block. Five service bays with overhead garage doors are located on the rear (east) elevation. A 1954, one-story, flat roof addition is attached to the east (rear). It is clad in ashlar stone with multi-light windows and two service bays on the south elevation. A large paved parking lot is located southeast of the combination comfort station/service building.

A modern playground is located in an asymmetrical clearing on the west side of the Drive across from the combination comfort station/service building and parking lot. A c.1940 pedestrian underpass (C-858-38, contributing) is located south of the playground. It is clad in ashlar stone veneer and provides passage under the Drive and aligns with another underpass further east under the former railroad corridor located outside the Parkway boundary.

As the Drive nears the southern terminus of the Parkway, it passes through an area of dense vegetation before opening into a large clearing with a soccer field to the west and small pockets of asymmetrical clearings to the east. A non-permanent volleyball court is located south of the soccer field on the west side of the Drive. A c.1938 comfort station with restroom facilities (contributing) is located south of the volleyball court. The building has a T-shaped plan is clad in ashlar stone with an intersecting gable roof and large interior ashlar stone chimney. Windows are four-over-four, double-hung sash; however, some openings have been covered with plywood. The building is accessed by wood panel doors with decorative metal details. A c.1970 pedestrian bridge (noncontributing) carries the paved pedestrian path over a small ravine south of the comfort station. The three-span concrete bridge features decorative details on the side (west and east) elevations and simple railing.

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The Benjamin Church House (contributing), also known as the Kilbourntown House, is located on the east side of the Drive across from the soccer field near the southern terminus of the Parkway. The house was moved to Estabrook Park by the WPA in 1938 and was restored as a museum.<sup>5</sup> This one-story Greek Revival house was built in 1844. It is of frame construction, clad in clapboard, and has a low-pitched hip roof with two interior chimneys. Two one-story hip roof wings are located on the side (north and south) elevations. The house features classical columns on the front (west) facade, a simple architrave, and clerestory and multi-light windows. The Benjamin Church House was individually listed in the National Register in 1972. A paved parking lot is located south of the Benjamin Church/Kilbourntown House.

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<sup>5</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive* (Milwaukee, Wis.: Court House, 1951), 69; "Milwaukee County, Registry Number 406981," in *Works Progress Administration Project Card File Record* (N.p.: 1938), n.p.

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**Milwaukee River Parkway Statement of Significance**

The Milwaukee River Parkway, including the associated Kletzsch Park, Lincoln Park, Lincoln Park Golf Course, and Estabrook Park, meets National Register *Criterion A: Community Planning and Development* and *Criterion C: Landscape Architecture*. The Parkway, parks, and golf course are significant as components of the Milwaukee County Parkway System, which was largely constructed under Depression-era federal work relief efforts. The Parkway was designed as a component of a large chain of parkways that encircled Milwaukee County, and it is largely comprised of component parks, including Kletzsch Park, Lincoln Park, and Estabrook Park. It is largely intact and the original design intention of the parkway plan is clearly visible. As such, it is a good representative example of the park and parkway property type and the period of design and construction. The period of significance extends from 1927, when implementation in Estabrook Park began, to 1960, which coincides with the National Register's 50-year cutoff. Several resources within the historic district predate the period of significance. This reflects the original parkway system plan's intent to connect existing parks into the larger parkway system.

The Parkway is one of nine parkways established between 1923 and 1960 addressed in the Multiple Property Document (MPD) *Milwaukee County Parkway System*. As such, the Parkway is linked to the historic contexts of "Community Planning and Development in Milwaukee County, 1933-1942;" "Federal Work Relief Programs in Milwaukee County, 1933-1942;" and "Landscape Architecture in the Milwaukee County Parkway System, 1923-1960," as outlined in the MPD. In particular, the Parkway has a rich history associated with the federal work relief programs of the Depression era, as it was implemented with labor from several programs.

**History of the Milwaukee County Parkway System**

Charles B. Whitnall's tentative study in 1923 for the Milwaukee County Parkway System illustrated the planned site of the Milwaukee River Parkway within the context of a series of parkways in metropolitan Milwaukee. The individual parkways would follow the Milwaukee, Menomonee, Kinnickinnic, and Root Rivers; Honey, Lincoln, Oak, and Underwood Creeks; and the Lake Michigan shore line, thus resulting in two "necklaces of green" encircling the county.<sup>6</sup> The Parkway was designed to connect three preexisting tracts of parkland: Kletzsch Park on the north, which was then undeveloped potential parkland; Lincoln

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<sup>6</sup> See plans in Milwaukee County Regional Planning Department, *The First Plans for a Parkway System for Milwaukee County: Illustrations from First Annual Report* (Milwaukee, Wis.: Milwaukee County Regional Planning Department, 1924), n.p.

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Park, which was initially developed by the City of Milwaukee; and Estabrook Park on the south, which was largely unimproved by the county until 1928. The Parkway was also envisioned to extend from the southern terminus at West Capitol Drive to the county's northern boundary and to connect with Lincoln Parkway (formerly Mud Creek Parkway) at the west end of Lincoln Park.

Although part of the broader county-wide plan from the earliest iteration, the County Park Department only published plans for the Parkway through Lincoln Park in 1924 and Estabrook Park in 1926. Land acquisition for the first segment of Parkway did not occur until 1933. Unlike other county parkways and parks, the City of Milwaukee maintained Lincoln Park until it was transferred to Milwaukee County in January 1937 as part of a park consolidation program. Therefore, the City Park Board oversaw some of the initial construction and planning, and the City of Milwaukee Bureau of Public Works administered federal funding for park implementation during the Depression era.<sup>7</sup>

Whitnall conceived the Milwaukee County Parkway System as an escape for the average person from the congestion and pollution of the city. His intention was to "preserve or conserve the bounties of nature for the benefit of the people."<sup>8</sup> In addition to this social benefit, other pragmatic benefits ultimately justified the creation of the Parkway System. Flooding, having long been a concern along the rivers flowing through Milwaukee, could be addressed by creating the Parkway along flood plains, and utilizing trees and river alterations to reduce the risk for floods could lessen the severity of flooding. While Whitnall provided the concept and motivation to create the Parkway System, Alfred Boerner provided the designs. Boerner served as landscape architect in the Milwaukee Regional Planning Department from 1926 through 1952, and in that time he implemented the plans proposed by Whitnall in a manner that was sensitive to existing topography and natural features, utilizing water as a focal point in many of his designs.<sup>9</sup>

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<sup>7</sup> *Chronology of Transfers of Other Public Lands to County Park Commission Jurisdiction, 11/1/77*. Available at Milwaukee County Historical Society Manuscripts Collection, Histories General Park Descriptions, Miscellaneous Folder, Milwaukee, Wis.

<sup>8</sup> Charles B. Whitnall, "Report on the Milwaukee Metropolitan Park Commission," ([Milwaukee, Wis.]: n.d.), 8.

<sup>9</sup> Mead & Hunt, Inc., *Milwaukee County Parkway System* (Washington, D.C.: National Register of Historic Places, National Park Service), E-17.

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**Development of the Milwaukee River Parkway**

Whitnall's early vision for the Milwaukee County Parkway System included portions of the Milwaukee River Parkway, which would extend from West Capitol Drive to the northern border of Milwaukee County. The first and only published plan for the Parkway followed the Milwaukee River from Estabrook Park north through Lincoln Park to North Green Bay Road, and was published in the *First Annual Report* of 1924. This preliminary plan included curvilinear drives and three islands in the Milwaukee River, which were not implemented as planned. The earliest implementation of the Parkway was completed within the associated parks (Kletzsch Park, Lincoln Park, and Estabrook Park), which largely comprise the segment of Parkway covered in this nomination. While roads were constructed within each park unit, work on the Milwaukee River Parkway Drive, which links each of the three parks, post-dates much of the associated park development.

The northernmost segment of the Drive, between West Good Hope Road on the north and the northern boundary of Kletzsch Park (West Green Tree Road), was acquired by the County in 1949.<sup>10</sup> Although under County ownership, a review of historic aerial photographs identifies that construction of the Drive did not occur until after 1963.<sup>11</sup> Prior to construction of the drive, this segment included undeveloped wooded and open areas along the river. Although the segment of Drive south of Kletzsch Park extending to West Bender Road is not mentioned specifically in the County's annual reports, a review of aerial photographs suggests that this portion of the Drive was constructed between 1937 and 1956.<sup>12</sup> The segment of Drive between West Bender Road on the north and West Silver Spring Drive on the south, located between Lincoln Park and Kletzsch Park, was not acquired until 1935 and 1936, and even then little was spent on improving the land at that time.<sup>13</sup> Statistics provided in the 1937-1950 County Park Commission's report suggest that the Drive improvements were completed in 1949 in this location. Work

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<sup>10</sup> *Minutes of the Milwaukee County Park Commission, 1949*, ([Milwaukee, Wis.]: Milwaukee County Park Commission), 4848.

<sup>11</sup> Milwaukee County, *Aerial Photographs 1937, 1956, 1963, 1995*, available at <http://www.maps.milwaukeecounty.org> (accessed 17 May 2011).

<sup>12</sup> Milwaukee County, *Aerial Photographs 1937, 1956, 1963, 1995*, available at <http://www.maps.milwaukeecounty.org> (accessed 17 May 2011).

<sup>13</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 83.

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on the Drive south of West Silver Spring Drive to the C&NW Railroad right-of-way began in 1950.<sup>14</sup> In 1951 the grade separation structure under the C&NW Railroad line was largely completed.<sup>15</sup> Generally, the Drive between West Silver Spring Drive and the northern boundary of Lincoln Park was finished by 1953, when the shoulders were graded and seeded, and between 1954 and 1955 a pedestrian path was added to the east side of the Drive in this location.<sup>16</sup>

**Associated Parks**

Much of the landscape and structural improvements in Kletzsch Park, Lincoln Park, and Estabrook Park were the result of work-relief labor during the Depression era. Prior to the availability of federal financial assistance, Milwaukee County operated its own work relief system in 1931 and 1932 through the Department of Outdoor Relief (DOR).<sup>17</sup> The first federal funds available to park programs in Milwaukee County were appropriated in 1933, after the CCC was created.<sup>18</sup> By the end of the year, three CCC camps were located in Milwaukee in Sheridan and Whitnall Parks and along the Honey Creek Parkway. Eventually, another CCC camp was established along the Honey Creek Parkway and additional camps were established at Estabrook and Kletzsch Parks.<sup>19</sup> Much of the CCC labor was used for parkway development, river improvement, and erosion and flood prevention. Other work relief programs that were active in the Parkway System included the WPA, CWA, and National Youth Administration (NYA).

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<sup>14</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive*, 114-115.

<sup>15</sup> Milwaukee County Park Commission, *1951 Annual Report of the Activities of Milwaukee County Park Commission*, ([Milwaukee, Wis.]: 1951), 20.

<sup>16</sup> Milwaukee County Park Commission, *1953 Annual Report of the Activities of Milwaukee County Park Commission*, ([Milwaukee, Wis.]: 1953), 42; Milwaukee County Park Commission, *Biennial Report, 1954-1955*, ([Milwaukee, Wis.]: 1955), 37.

<sup>17</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 66.

<sup>18</sup> Harry H. Anderson, "Recreation Entertainment, and Open Space: Park Traditions in Milwaukee County," in *Trading Post to Metropolis: Milwaukee County's First 150 Years*, edited by Ralph M. Aderman (Milwaukee, Wis.: Milwaukee County Historical Society, 1987), 293.

<sup>19</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive*, 69-71.

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Specific projects completed by these work-relief programs are discussed below in the histories of each associated park.

**Kletzsch Park (Blatz Park)**

Milwaukee County acquired Kletzsch Park between 1918 and 1934. The County Park Commission's annual reports from 1926 and 1927 indicate that this area was originally comprised of the 35-acre Blatz Farm and a 45-acre tract of land known as the Pierron Tract. Located approximately one mile north of Lincoln Park, the county acquired these tracts "for the purpose of preserving that portion of the river valley for future development and use, and both will amplify the Parkway when the northern portion is developed."<sup>20</sup> Moreover, the county envisioned that these two parcels, which featured wooded river banks, would form "one of the finest picnic parks in the County."<sup>21</sup> By 1928 the two tracts of land (Blatz Farm and Pierron Tract) were referred to in annual reports as Blatz Park. The park featured shade trees and open space suitable for athletic fields and playgrounds. However, little was spent on improving this park during 1928.<sup>22</sup> Between 1929 and 1930, an additional 15-acre tract of land, known as the Jaeger Tract, was acquired to unify the park and connect the original Blatz Farm and Pierron Tract. This addition provided Blatz Park with continuous river frontage.

During the 1929-1930 biennial, a park-related dwelling and garage (nonextant) at the entrance to the park on North Green Bay Avenue were painted, a bridge was constructed across the creek (nonextant), and three comfort stations (nonextant) were constructed. Notably, the historic house and garage near the intersection of North Green Bay Avenue and the east-west oriented entrance drive to the park appear to have been used as work-relief housing, in conjunction with a collection of temporary structures. The housing was removed following work-relief efforts in 1938, and the 1956 aerial photograph illustrates the absence of housing near North Green Bay Avenue in this location.<sup>23</sup> Additionally, between 1929 and 1930 a park

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<sup>20</sup> Milwaukee County Park Commission, *Annual Report for the year 1926* (Milwaukee, Wis.: Park Commission, 1927), 17.

<sup>21</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Department, *Annual Report for the Year 1927* (Milwaukee, Wis.: Milwaukee County Regional Planning Department, 1928), 8.

<sup>22</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Department, *Annual Report for the year 1928* (Milwaukee Wis.: Milwaukee County Regional Planning Department, 1929), 23, 60.

<sup>23</sup> Milwaukee County, *Aerial Photographs 1937, 1956, 1963, 1995*, available at <http://www.maps.milwaukeecounty.org> (accessed 17 May 2011).



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drive was constructed and baseball diamonds were laid out. The southernmost collection of extant baseball diamonds, located immediately south of the entrance drive at North Green Bay Avenue, were begun at this time. An aerial photograph from 1937 identifies the location of the southernmost sandlot and adequate open space for the two northernmost diamonds in this parcel. Park furnishings, such as benches and tables, were placed along the bank of the river and in shady portions of the park to accommodate the park's active picnic usage between 1929 and 1930.<sup>24</sup>

Beginning in the 1931-1932 biennium, the park became known as the Alvin P. Kletzsch Park, and the County Park Commission developed plans for establishing a beach on the east bank of the peninsula, located within the river's S-curve. The beach is no longer extant and is now tree-lined. During the biennium, the river was widened and a semi-circular beach measuring nearly 1,000 feet in length was developed. The river was also dredged to provide a diving depth of 12 feet at the upper end of the beach. In addition to the considerable river work during this period, Milwaukee County DOR laborers also erected a temporary timber foot bridge across the mill race in the park (nonextant). Other early work-relief efforts in Kletzsch Park included landscaping and the construction of a bathhouse along the Milwaukee River swimming beach in the park. The frame bathhouse featured dressing wings to serve the many anticipated bathers. This structure, located near the center of the peninsula, is extant, although it was remodeled in 1941.<sup>25</sup>

Between 1933 and 1936 a new park pavilion with Swiss chalet architectural features was built atop the bluff and near the center of Kletzsch Park's picnic area, located to the east of the semicircular entrance drive accessed by North Green Bay Avenue. At this time, CCC labor, which resided in the park from May through November 1935, landscaped Kletzsch Park and constructed a limestone-faced dam. The dam was constructed of reinforced concrete with irregular stone facing, and as a result, water falling over the stone appeared as a natural waterfall.<sup>26</sup> By 1936 the park included a bathhouse, discussed above (extant);

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<sup>24</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Department, *Biennial Report 1929 and 1930*, 19-20.

<sup>25</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Biennial Report: 1931-1932*, 17, 19, 21, 35.

<sup>26</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 55-56.

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comfort station (nonextant); Swiss chalet-style pavilion, discussed above (extant); dwelling and garage, discussed above (nonextant); refectory stand (nonextant); and three miscellaneous buildings (nonextant) within its 103 acres. Moreover, Kletzsch Park offered provisions for football, baseball, skating, hockey, tobogganing, picnicking, horseshoes, softball, volleyball, boating, hiking, and swimming, many of which are still extant.<sup>27</sup> During the 1940s and 1950s, work within Kletzsch Park, like many of the parks and parkways, was largely related to the provision of recreational facilities, such as baseball diamonds.

**Lincoln Park**

The City of Milwaukee acquired the land for Lincoln Park (originally known as Evergreen Park) in 1907, and transferred it to Milwaukee County in 1937 as part of the park consolidation program. Historically, Lincoln Park was home to a four-acre tree nursery with 32,000 small trees of numerous types, including butternut, black walnut, red oak, American elm, American beech, Norway spruce, and a number of pine varieties.<sup>28</sup> Early work in Lincoln Park included the 1913 construction of a concrete bridge across the Milwaukee River to connect the east and west banks of the park. The bridge (nonextant) carried West Hampton Avenue and connected with North Green Bay Avenue on the west to improve the accessibility of the popular city park.<sup>29</sup> In 1917 the extensive usage of the park by picnic parties resulted in the city park commissioners requesting a \$15,000 bond issue to be used to erect a permanent picnic shelter and pavilion. Ultimately, the shelter (nonextant) was constructed in 1918, located east of the concrete bridge. This pavilion included a lower floor with lavatories, locker rooms, and dressing rooms, and an upper floor with a large rest and shelter room with kitchen facilities.<sup>30</sup> Throughout the 1920s recreational facilities were provided within Lincoln Park, including facilities for swimming and improvements to the golf course. The swimming pool and bathhouse (nonextant) were replaced with a modern recreational complex in 2008.

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<sup>27</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 33.

<sup>28</sup> *Twenty-First Annual Report of the Park Commissioners of the City of Milwaukee, 1911* (Milwaukee, Wis.: Edw. Bulfin, Printer, 1913), 11-12.

<sup>29</sup> *Twenty-Third Annual Report of the Board of Park Commissioners of the City of Milwaukee, 1913* (Milwaukee, Wis.: Edw. Bulfin, Printer, 1913), 7.

<sup>30</sup> *Twenty-Seventh Annual Report of the Board of Park Commissioners of the City of Milwaukee, 1917* (Milwaukee, Wis.: Edw. Bulfin, Printer, 1917), 6-7; *Twenty-Eighth Annual Report of the Board of Park Commissioners of the City of Milwaukee, 1918* (Milwaukee, Wis.: Edw. Bulfin, Printer, 1918), 7.

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Prior to acquiring Lincoln Park in 1937 as part of the city and county park consolidation program, the County Park Commission included a preliminary plan for the park, in conjunction with a plan for the Milwaukee River Parkway, in its *First Annual Report* of 1924. The plan outlined plantings, pedestrian walks, and buildings. Major work in the park and along the river was largely completed with work relief labor. During 1933 and 1934, a large CWA project requiring nearly 2,000 laborers relocated the Milwaukee River in Lincoln Park by excavating a new channel for flood control. Historically, the Milwaukee River featured an S-curve in this location, which often caused ice jams and spring flooding. As part of the project, a large lagoon with four islands was constructed in the park. Notably, the implementation of this project differed with the preliminary 1924 plans for the Parkway in this location, which illustrated two islands. Masonry-veneered reinforced concrete bridges (nonextant, replaced in 2010 and 2011) carried the Drive over the largest island, and ultimately extended north towards Kletzsch Park. In 1937 a city-administered WPA project continued the rerouting of the Milwaukee River at Lincoln Park to eliminate horseshoe bends that frequently caused ice jams during the spring thaw. From 1933 to 1940, CWA, CCC, and WPA labor removed a six-foot rock bed from the Milwaukee River to better enable the flow of water. Excavated limestone was used to build a dam near Estabrook Park and for roads, trails, and tennis courts throughout the parkway system. In addition to the river improvement projects, a water recreation area was developed and included a fishing pier (extant).<sup>31</sup>

In the 1950s work in Lincoln Park was generally related to recreational activities. In 1951 a lighted baseball diamond, now known as Henry Aaron Field, was constructed in the southwest corner of the park. In 1952 work, such as grading, adding fertilizer, seeding, and sodding, continued on this field. A concession building was added at this time and asphalt walks were constructed near the field to link the recreational area to North Green Bay Avenue. Activities in 1953 included construction of a parking area in the southwest corner to serve the lighted baseball diamond and recreational area. Additionally, in 1954 the

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<sup>31</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 51-52; "Milwaukee County, Registry Number 342449," in *Works Progress Administration Project Card File Record* (N.p.: 1937), n.p.; Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive*, 67, 71.; City of Milwaukee and W.P.A., *Report of Work Accomplished and Money Expended* ([Milwaukee, Wis.]), n.p.; Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 51-51; C. Beermink, "Annual Report 1940, Summary W.P.A. Project No. 8670," *Reports Made at the 1940 Annual Fall Round-Up Luncheon Meeting*, available at the Milwaukee County Park Office, Milwaukee, Wis., 11.

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ashlar stone and brick Emil Blatz Pavilion was constructed on the west bank of the Milwaukee River north of Henry Aaron Field, designed by Fitzhugh Scott Jr., a local architect. Major landscaping projects adjacent to the Blatz Pavilion were completed between 1954 and 1955.<sup>32</sup> Following the period of significance, additional structures were constructed within the park, including a c.1979 picnic shelter near North Green Bay Avenue, a c.1987 announcer's booth to serve Henry Aaron Field, TV-related towers and utility structures, and the 2008 David F. Schulz Aquatic Center.

**Lincoln Park Golf Course**

Development of the Lincoln Park Golf Course was largely completed prior to the park being transferred to County ownership. City of Milwaukee reports from the period of initial development do not identify the golf course designer. In 1916 six holes of the Lincoln Park Golf Course were laid out, and in 1917 landscaping, sand traps, and bunkers were installed within the golf course. An additional three greens were developed west of the river in 1917, with adequate landscaping and hazards to establish the course as a nine-hole golf course.<sup>33</sup> City reports do not identify the construction of an original clubhouse; however, it is possible that the 1918 shelter (nonextant), described above, may have been used as a clubhouse in addition to a park pavilion. A review of historic aerial photographs suggests that the original layout of the golf course was altered following the re-routing of the Milwaukee River between 1937 and 1940. The easternmost fairway alignments appear to remain the same, while the westernmost alignments, nearest the river, have shifted due to the rerouting of the river.<sup>34</sup> Unfortunately, there is no additional information on golf course improvement or development in the County's annual reports following their acquisition in 1937. Nonetheless, information from Milwaukee County identifies that the clubhouse was constructed in

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<sup>32</sup> Milwaukee County Park Commission, *1951 Annual Report of the Activities of Milwaukee County Park Commission*, 20; Milwaukee County Park Commission, *1952 Annual Report of the Activities of Milwaukee County Park Commission*, 27; Milwaukee County Park Commission, *1953 Annual Report of the Activities of Milwaukee County Park Commission*, 41; Milwaukee County Park Commission, *Biennial Report, 1954-1955*, 36.

<sup>33</sup> *Twenty-Seventh Annual Report of the Board of Park Commissioners of the City of Milwaukee, 1917*, 6-7; *Twenty-Eighth Annual Report of the Board of Park Commissioners of the City of Milwaukee, 1918*, 7. Due to the relocation of the river, the additional three greens were eventually located on the east side of the river.

<sup>34</sup> Milwaukee County, *Aerial Photographs 1937, 1956, 1963, 1995*, Available at <http://www.maps.milwaukeecounty.org> (accessed 17 May 2011).

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1967 and maintenance sheds were added to the course between 1963 and c.1980. A comfort station, located northwest of the clubhouse, was erected in 1952.

**Estabrook Park**

Estabrook Park was acquired between 1916 and 1931. Although the park existed prior to the development of the Parkway System, the County Park Commission completed a topographic survey and preliminary layout survey in 1924.<sup>35</sup> In 1926 the park included a tourist camp (nonextant) and ball field (nonextant). In the same year, the County Park Commission published a revised comprehensive plan for the park that illustrated outlines of plantings and locations of walks and roads.<sup>36</sup> Improvements to the park, made according to the 1926 plan, were begun in 1927 and included the removal of preexisting buildings and the development of a baseball diamond, tennis courts, and foot paths.<sup>37</sup> Between 1929 and 1930 the park tar-bound macadam drive was constructed, numerous trees and shrubs were planted, and three picnic areas were prepared and equipped with tables and benches. Additionally, a bridle path, pedestrian walks, pedestrian ravine bridges, and a new mechanical building were in the process of being built. Photographs from the 1929-1930 biennial report illustrate the West Hampton Road Entrance to the park and a timber footbridge over the ravine with a two-line timber railing.<sup>38</sup>

Beginning in 1931 Milwaukee County's work relief program through the DOR resulted in considerable improvements to Estabrook Park. Between 1931 and 1932 a lagoon near the center of Estabrook Park was completed with work-relief labor and a bathing beach with a temporary bathhouse was developed along the Milwaukee River at the park. It was anticipated that the beach would accommodate thousands of bathers during the summer swimming season. The beach and wading area were developed by relocating material from the beach to the river in order to provide a reasonable depth of water for wading and swimming and a suitable slope for beach activities. Although this beach is no longer extant, it was located southeast of the

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<sup>35</sup> Milwaukee County Regional Planning Department, *First Annual Report*, 1924, 32.

<sup>36</sup> Milwaukee County Park Commission, *Annual Report For the Year 1926*, 14, 65.

<sup>37</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Department, *Annual Report for the year 1927*, 15.

<sup>38</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Department, *Biennial Report: 1929-1930*, 17-19, 36.

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c.1937 comfort station and tennis courts and south of the baseball diamond. Between 1931 and 1932 DOR laborers also erected two timber foot bridges with native limestone abutments (nonextant) over the lagoon and over the ravine. Laborers also extended the park's bridle path by one-half-mile to enable equestrians to travel the entire length of the park.<sup>39</sup>

With federal work relief monies available to the County Park Commission beginning in 1933, a number of CCC camps were established throughout the Parkway System. CCC laborers resided in Estabrook Park beginning in October 1934 and completed a considerable amount of work. The largest improvement project of the Depression era in Estabrook Park was a flood control project along the Milwaukee River, which involved clearing the river channel of a 1,500-foot-long rock ledge. Work began as a CWA project in December 1933 and continued as a CCC project beginning in 1934. Limestone was removed from the river, crushed at the site, and distributed to other projects throughout the county for usage in drives, walks, parking lots, and tennis courts. As part of this project a control dam was also constructed to control seasonal flooding. The dam was comprised of two sections separated by a small island, one of which featured a rock-faced spillway.<sup>40</sup> Work relief efforts also helped to complete a stone and timber comfort station (located near the beach, as mentioned above), two concrete tennis courts located south of the comfort station, and a combination comfort station and service building located southeast of the lagoon between 1933 and 1937.<sup>41</sup> In 1938 the WPA completed a special project that involved moving the oldest frame house in Milwaukee, the Kilbourntown House (Benjamin Church House), to Estabrook Park and restoring it for use as a museum.<sup>42</sup> Although not mentioned in annual reports, a comfort station (extant) located southwest of the Kilbourntown House was erected c.1938.

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<sup>39</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Biennial Report: 1931-1932*, 15-21, 29.

<sup>40</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive*, 71.

<sup>41</sup> Milwaukee County Regional Planning Department and Milwaukee County Park Commission, *Quadrennial Report: 1933-1936*, 51-52.

<sup>42</sup> Milwaukee County Park Commission and Milwaukee County Regional Planning Board, *Quadredecennial Report: 1937-1950 Inclusive*, 69; "Milwaukee County, Registry Number 406981," n.p. The Kilbourntown House was listed in the National Register in 1972.

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During the 1940s and 1950s work in Estabrook Park was largely related to maintenance and provision of recreational facilities, such as baseball diamonds, tennis courts, and comfort stations. For example, in 1952 a small comfort station was constructed at the north end of the park, immediately north of the dam utility building, to service the picnic areas and recreational fields in this location. Other improvements include the 1954 addition on the rear of the service building to provide additional garage space.<sup>43</sup> Information on the tunnels beneath the Drive and railroad corridor, which provide access to the park's pedestrian paths, is unavailable.

**Rustic Architecture in the Milwaukee River Parkway**

The Milwaukee River Parkway Historic District is a good representative example of a designed landscape property type. In particular, the Parkway is unified throughout the Drive and associated parks through the use of a rustic design aesthetic that is applied to the Parkway's buildings, bridges, dams, and culverts.

Rustic architecture emerged from a tradition of domestic and resort architecture in rugged and scenic places such as the coast of Maine, the Adirondacks of New York, the San Francisco Bay Area, and the Sierra Madre of California, and was characterized by the use of natural, local materials and handcrafted finishes. As the idea of developing nature and wilderness for personal pleasure extended throughout America, an increasing number of public parks, at the local, state, and national levels, adopted the rustic style of architecture for numerous park structures.<sup>44</sup>

In the case of the Milwaukee River Parkway, much of the rustic design aesthetic was the result of CCC and WPA labor work during the Depression era, which utilized local materials, including timber and limestone, to build bridges, retaining walls, and comfort stations. Examples of Rustic architecture within the Parkway include a 1936 pavilion in Kletzsch Park, which features decorative elements associated with the Swiss Chalet style; a c.1935 reinforced concrete dam with fieldstone veneer across the Milwaukee River near the south end of Kletzsch Park; a c.1937 ashlar stone comfort station in Estabrook Park with decorative half-timbering and stucco; and a c.1933 limestone spillway across the Milwaukee River at Estabrook Park.

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<sup>43</sup> Milwaukee County Park Commission, *1952 Annual Report of the Activities of Milwaukee County Park Commission*, 32; Milwaukee County Park Commission, *Biennial Report 1954-1955*, 33.

<sup>44</sup> Linda F. McClelland, "Historic Park Landscapes in National and State Parks," (National Register of Historic Places Multiple Property Documentation Form, August 1995), E: 27.

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Additionally, WPA workers installed fieldstone-faced bridges and culverts throughout the Parkway, which reflect the tenets of rustic design through their use of natural, local materials and handcrafted finishes.

**Integrity**

The segment of Parkway addressed in this nomination roughly follows the original plans published for the Parkway. Discontiguous county-owned parcels of land are located south of the southern terminus at North West Capitol Drive. The northern extent of the original plan, which would have extended from Kletzsch Park to the north Milwaukee County border, was never implemented. The segment of the Milwaukee River Parkway, addressed within this nomination, features natural plantings and intact associated parks, consistent with early development plans.

Although the Lincoln Park Golf Course has several noncontributing resources, the course itself retains its original landscape design, such as water hazards, sand traps, greens and fairways, and planned groupings of deciduous trees and shrubs. The scale of c.1963-c.1980 buildings within Lincoln Park Golf Course do not detract from its integrity because the golf course as whole conveys the original plan established by the City of Milwaukee in the late 1910s.

Modern recreational facilities, such as playgrounds, volleyball courts, and tennis courts, have been installed throughout the Parkway, and the 2008 David F. Schulz Aquatic Center was developed in Lincoln Park. However, due to the scale of the intrusions relative to the size of the Parkway district as a whole, the addition of c.1970-c.2000 sports courts, fields, and facilities throughout the Parkway does not detract from the integrity of the Parkway district. In many cases, the addition of active recreational facilities throughout the Parkway includes the replacement of earlier recreational provisions that were included in original plans and ensures that the parkway land continues to serve the recreational and athletic needs of the adjacent community.

Although the Parkway has been altered, it is still able to convey its original intention as a component within the overall county-wide system of parkways. The major features that contribute to the overall significance of the Historic District, including the river; Drive; adjacent parkway land; Kletzsch Park, Lincoln Park, Lincoln Park Golf Course, and Estabrook Park; natural setting, and rustic architecture, are still present.



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**Conclusion**

The Milwaukee River Parkway Historic District meets National Register *Criterion A: Community Planning and Development* as a significant component in the Milwaukee County Parkway System, which was implemented with federal aid work relief. In accordance with the registration requirements of the *Milwaukee County Parkway System* MPD, the Parkway is associated with the overall parkway system as it was designed, developed, and managed by the Milwaukee County Park Commission between 1923 and 1960. Moreover, the Parkway has a direct and illustrated association with Whitnall's original vision for a county-wide parkway system; it was identified in Whitnall's 1923 map for a parkway system and plans were provided in the County's *1931-1932 Biennial Report*. Although several of the Parkways contributing resources, including Kletzsch Park, Lincoln Park, and Estabrook Park, pre-date the parkway system, they were included in Whitnall's 1923 vision for a unified system of public green space and became incorporated into and associated with the system during parkway implementation.

Additionally, the Milwaukee River Parkway Historic District reflects the aims of the Milwaukee County Park Commissioners who advocated developing a parkway system to relieve urban congestion, provide a hygienic landscape, provide outdoor recreational spaces, increase adjacent property values, and control flood-prone watersheds. The Parkway also maintains a very strong association with federal-aid work relief in Milwaukee County as much of the Parkway's implementation occurred under the umbrella of federal work-relief efforts. The Milwaukee River Parkway retains strong integrity of location, design, setting, association, and feeling. Alterations to the Parkway, including the addition of modern recreational facilities and bridges, ensure that the Parkway will continue to function into the twenty-first century.

The Milwaukee River Parkway Historic District also meets National Register *Criterion C: Landscape Architecture* as a good representative example of a designed landscape property type. In accordance with the registration requirements of the *Milwaukee County Parkway System* MPD, the Parkway is unified through the use of a rustic design aesthetic, including the use of natural, local materials and handcrafted masonry finishes, which are applied to the Parkway's picnic and comfort stations, culverts, dams, and bridges. Despite slight alterations to the Parkway, it continues to demonstrate the design intent of parkway planning and development in Milwaukee County. As stated in the *Milwaukee County Parkway System* MPD's registration requirements, it is not necessary for an eligible parkway to look exactly like its original

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design as long as it retains a significant amount of its characteristic features to make its historic character clearly recognizable. The Milwaukee River Parkway includes a circulation system, vegetation, watershed feature, buildings, and bridges. These characteristic features contribute to the Parkway's ability to serve as a good representative example of its period of design and construction and its landscape type. The Parkway continues to link park and golf course units along its path, including the associated Kletzsch Park, Lincoln Park, Lincoln Park Golf Course, and Estabrook Park.

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**Archaeology Potential**

The land adjacent to the Milwaukee River that became the Milwaukee River Parkway was utilized by Native Americans for thousands of years. In addition to habitation areas, including raised garden beds; earthen conical, effigy, and linear mounds are located throughout the Parkway. Archaeological sites identified within the Parkway boundaries are organized by segments similar to the description in Section 7.<sup>45</sup>

The segment of the Parkway located between Good Hope Road and West Green Tree Road features two archaeology sites: Good Hope Village (47MI46) and Meseberg Gravel Pit Burials (47MI116/BMI139). Good Hope Village features prehistoric and historic Native American components. The Meseberg Gravel Pit Burials is an expansive mortuary center with conical mounds and non-mounded burials. In addition to being a mortuary center, the site is also classified as a campsite/village, workshop, and garden beds.

One archaeology site was identified in Kletzsch Park, within the Parkway boundary. The Spring Grove Mound and Garden Beds (47MI-45/BMI-140) was listed in the National Register on September 10, 1979. It is a small habitation site with garden beds and a group of oval and conical mounds.

The segment of the Parkway between the southern terminus Kletzsch Park and West Silver Spring Drive has one archaeology site. The Indian Prairie (47MI21/BMI81) site consists of 21 conical mounds, two linear mounds, one crescent mound, two effigy mounds, five intaglios, and four enclosures.

Two archaeology sites are located in the segment of the Parkway between West Silver Spring Drive and the northern terminus of Lincoln Park. The Stewart Farm Gravel Pit Burial (47MI155/BMI145) is recorded as a Native American cemetery that was identified during gravel mining. No other details are available for this site. The Stewart Farm Village (47MI49) site is a camp and workshop site. No other details are available for this site.

Three archaeology sites are located in the segment of the Parkway within Lincoln Park. One site (47MI244) is classified as a campsite/village. However, an investigation of the area between 1980 and 1981 did not find any evidence of the site and the area was significantly altered by grading. Lincoln Park A (47MI34) is classified as a campsite/village. No other details are available for this site. Lincoln Park Burial (47MI113/BMI142) is

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<sup>45</sup> Archaeological information obtained from the Wisconsin Historical Society's Wisconsin Historic Properties Database.

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comprised of a habitation area and cemetery. According to records, burials were destroyed during cultivation and human skeletal remains were also encountered by CWA workers during construction of the Drive.

Three archaeology sites and one historic Euro-American cemetery are located in the segment of the Parkway within Estabrook Park. Estabrook Park A (47MI187) features a scatter of habitation debris and a possible burial component based on an account of human remains being recovered during grading operations. The site may be associated with the Estabrook Park Mound Group (47MI221/BMI188), which is comprised of four conical mounds and a set of garden beds. Records indicate the mounds were excavated by the Milwaukee Public Museum and were not restored. An unnamed historic Euro-American cemetery (47BMI32) was identified in the park; however, the record does not have additional information regarding the site. Estabrook Park B (47MI333) is an isolated find consisting of an unmodified flake.

The archaeological resources discussed above are associated with timeframes that are outside the period of significance for the Milwaukee River Parkway. The archaeological resources were not included in the count of contributing and noncontributing resources for this nomination. The Milwaukee River Parkway is eligible under *Criterion A: Community Planning and Development* and *Criterion C: Landscape Architecture*. Although the archaeological sites are located within the Parkway boundary, research was not undertaken to determine the relation of these sites to the parkway planning and design.

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Root River Parkway  
Milwaukee County, Wisconsin

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**United States Department of the Interior**  
**National Park Service**

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Root River Parkway  
Milwaukee County, Wisconsin

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**United States Department of the Interior**  
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**National Register of Historic Places**  
Continuation Sheet

Section 10 Page 1

Root River Parkway  
Milwaukee County, Wisconsin

---

**Verbal Boundary Description**

The historic boundary surrounding the Milwaukee River Parkway Historic District is an irregular polygon that is shown on the attached historic boundary maps and USGS maps. The historic boundary follows the Milwaukee River Parkway Drive and Estabrook Drive from the intersection with Good Hope Road south to West Capitol Drive and includes the Milwaukee River, the Drive, Kletzsch Park, Lincoln Park, Henry Aaron Field, Lincoln Park Golf Course, Estabrook Park, and county-owned park land along the corridor.

The boundary follows the back edge of pavement along the west side of the Drive and the west embankment of the Milwaukee River between Good Hope Road south to Green Tree Road, where it expands to encompass Kletzsch Park and the Drive. Here, the boundary incorporates the county-owned land associated with the park between North Green Bay Road/STH 57 and the west bank of the Milwaukee River. Near the southern terminus of Kletzsch Park the east edge of the boundary extends to the east bank of the river to encompass a dam, adjacent county-owned island, and the C&NW/UP railroad bridge over the river. South of the park, the historic boundary generally coincides with existing county-owned land.

At West Bender Road, the boundary follows the county-owned parcels as the Parkway shifts west and away from the Milwaukee River. In this segment, the boundary continues along the back edge of pavement on the west and east sides of the Drive to exclude residential and municipal properties fronting the Drive. At the intersection with West Silver Spring Drive, the west side of the boundary continues south along the back edge of pavement, while the boundary on the east side shifts to the east to encompass the Parkway land between the Drive and the west bank of the Milwaukee River. As the Parkway continues south, the boundary turns east and crosses the Milwaukee River to eliminate private residential property on the west bank and include the C&NW railroad bridge spanning the river. Shortly after the bridge, the west side of the boundary turns and continues east to the west bank of the Milwaukee River. Once at the river, the western boundary turns and follows the west bank south to intersect with the northern boundary of Lincoln Park. The east edge of the historic boundary south of the railroad bridge intersects with the existing C&NW railroad right-of-way that corresponds with the Lincoln Park boundary on the east side of the river.

All of Lincoln Park and the Lincoln Park Golf Course are encompassed within the Parkway boundary, which is roughly bound by North Green Bay Avenue/STH 57 on the west, West Glendale Avenue on the south, and I-43 on the north and east, the C&NW railroad right-of-way on the northeast, and West Lawn Avenue on the north. The northern, western, eastern, and a portion of the southern boundary of the Park coincide with the parcel lines delineating county-owned land, while the remainder of the southern boundary roughly follows the north bank of



**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Continuation Sheet**

Section 10 Page 2

Root River Parkway  
Milwaukee County, Wisconsin

---

the Milwaukee River. As the Parkway approaches the periphery of Lincoln Park, the north side of the boundary roughly corresponds with county-owned parcel lines delineating the northern and eastern limits of the park; while the southern edge of the boundary follows the north bank of the Milwaukee River encompassing the land between the Drive and the river. From here, the boundary continues east passing under the I-43 bridge, which spans the Parkway and is not included within the Parkway boundary, and enters Estabrook Park.

Within Estabrook Park, the north side of the historic boundary corresponds with the railroad right-of-way and parcel lines delineating county-owned park land; while the southern boundary roughly follows the north bank of the Milwaukee River, with the exception of one location along the river where the boundary crosses to the south bank to include a dam and related spillway. The southern terminus of the historic Parkway boundary corresponds with the north side of West Capitol Drive.

**Boundary Justification**

The historic boundary was defined to include land historically associated with the Milwaukee River Parkway including Kletzsch Park, Lincoln Park and Golf Course, Estabrook Park, and land owned by Milwaukee County. The limits of county-owned parcels and the back edge of pavement along the Drive and resources spanning the Milwaukee River were used to define the historic boundary.

The Parkway boundary was delineated to encompass the setting and character-defining features embodied in the overall parkway system aesthetic. The river and parkway drive are the focal points of the Milwaukee River Parkway. The historic boundary includes a wide variety of transportation and recreation related resources that convey the overall visual sense of the historic environment or plan. Elements such as residential and municipal development detract from the sense of time and place as well as the overall parkway design and do not contribute to the shared relationship of the resources that comprise the Parkway.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Continuation Sheet**

Section Photos Page 1 Root River Parkway  
Milwaukee County, Wisconsin

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*Name of Property:* Milwaukee River Parkway  
*City or Vicinity:* City of Milwaukee  
*County:* Milwaukee County  
*State:* WI  
*Name of Photographer:* Mead & Hunt, Inc.  
*Date of Photographs:* November 2010, December 2010  
*Location of Original Digital Files:* Mead & Hunt, Inc., 6501 Watts Road, Madison, WI 53719  
*Number of Photographs:* 32

*Photograph 1 of 32*

Milwaukee River Parkway Drive near Good Hope Road  
View facing south

*Photograph 2 of 32*

Baseball Diamond, Kletzsch Park  
View facing northeast

*Photograph 3 of 32*

Stone Culvert, Kletzsch Park  
View facing north

*Photograph 4 of 32*

Bathhouse, Kletzsch Park  
View facing southwest

*Photograph 5 of 32*

Pavilion, Kletzsch Park  
View facing east

*Photograph 6 of 32*

Transformer Building and Storage Shed, Kletzsch Park  
View facing north

**United States Department of the Interior**  
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Section Photos Page 2

Root River Parkway  
Milwaukee County, Wisconsin

---

*Photograph 7 of 32*

Dam, Kletsch Park

View facing north

*Photograph 8 of 32*

C&NW/UP Railroad Bridge, Kletsch Park

View facing north

*Photograph 9 of 32*

Milwaukee River Parkway Drive between West Bender Road and West Silver Spring Drive

View facing south

*Photograph 10 of 32*

C&NW Railroad Bridge over the Milwaukee River Parkway Drive near Lincoln Park

View facing south

*Photograph 11 of 32*

C&NW Railroad Bridge over the Milwaukee River near Lincoln Park

View facing northeast

*Photograph 12 of 32*

Service Building and TV Tower, Lincoln Park

View facing northwest

*Photograph 13 of 32*

Bridge (B-40-748) Milwaukee River Parkway Drive over the Milwaukee River, Lincoln Park

View facing northeast

*Photograph 14 of 32*

Bridge (B-40-710) Milwaukee River Parkway Drive over the Milwaukee River, Lincoln Park

View facing northeast

**United States Department of the Interior**  
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**National Register of Historic Places**  
Continuation Sheet

Root River Parkway  
Milwaukee County, Wisconsin

Section Photos Page 3

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*Photograph 15 of 32*

Overview Lincoln Park near the Picnic Shelter  
View facing east

*Photograph 16 of 32*

Overview of Henry Aaron Field, Lincoln Park  
View facing east

*Photograph 17 of 32*

Concession Building, Henry Aaron Field, Lincoln Park  
View facing north

*Photograph 18 of 32*

Emil Blatz Pavilion, Lincoln Park  
View facing southwest

*Photograph 19 of 32*

Bathhouse, David F. Schulz Aquatic Center, Lincoln Park  
View facing west

*Photograph 20 of 32*

Overview Lincoln Park Golf Course  
View facing northeast

*Photograph 21 of 32*

Comfort Station, Lincoln Park Golf Course  
View facing southwest

*Photograph 22 of 32*

Pedestrian Bridge, Estabrook Park  
View facing west

**United States Department of the Interior  
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**National Register of Historic Places  
Continuation Sheet**

Section Photos Page 4

Root River Parkway  
Milwaukee County, Wisconsin

---

*Photograph 23 of 32*

Comfort Station, Estabrook Park

View facing west

*Photograph 24 of 32*

Series of Concrete Pylons (Dragon's Teeth) in the Milwaukee River, Estabrook Park

View facing southwest

*Photograph 25 of 32*

Dam, Estabrook Park

View facing west

*Photograph 26 of 32*

Spillway, Estabrook Park

View facing west

*Photograph 27 of 32*

Utility Building, Estabrook Park

View facing north

*Photograph 28 of 32*

Comfort Station, Estabrook Park

View facing southwest

*Photograph 29 of 32*

Combination Comfort Station/Service Building, Estabrook Park

View facing southeast

*Photograph 30 of 32*

Pedestrian Underpass, Estabrook Park

View facing east

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Continuation Sheet**

Section Photos Page 5

Root River Parkway  
Milwaukee County, Wisconsin

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*Photograph 31 of 32*

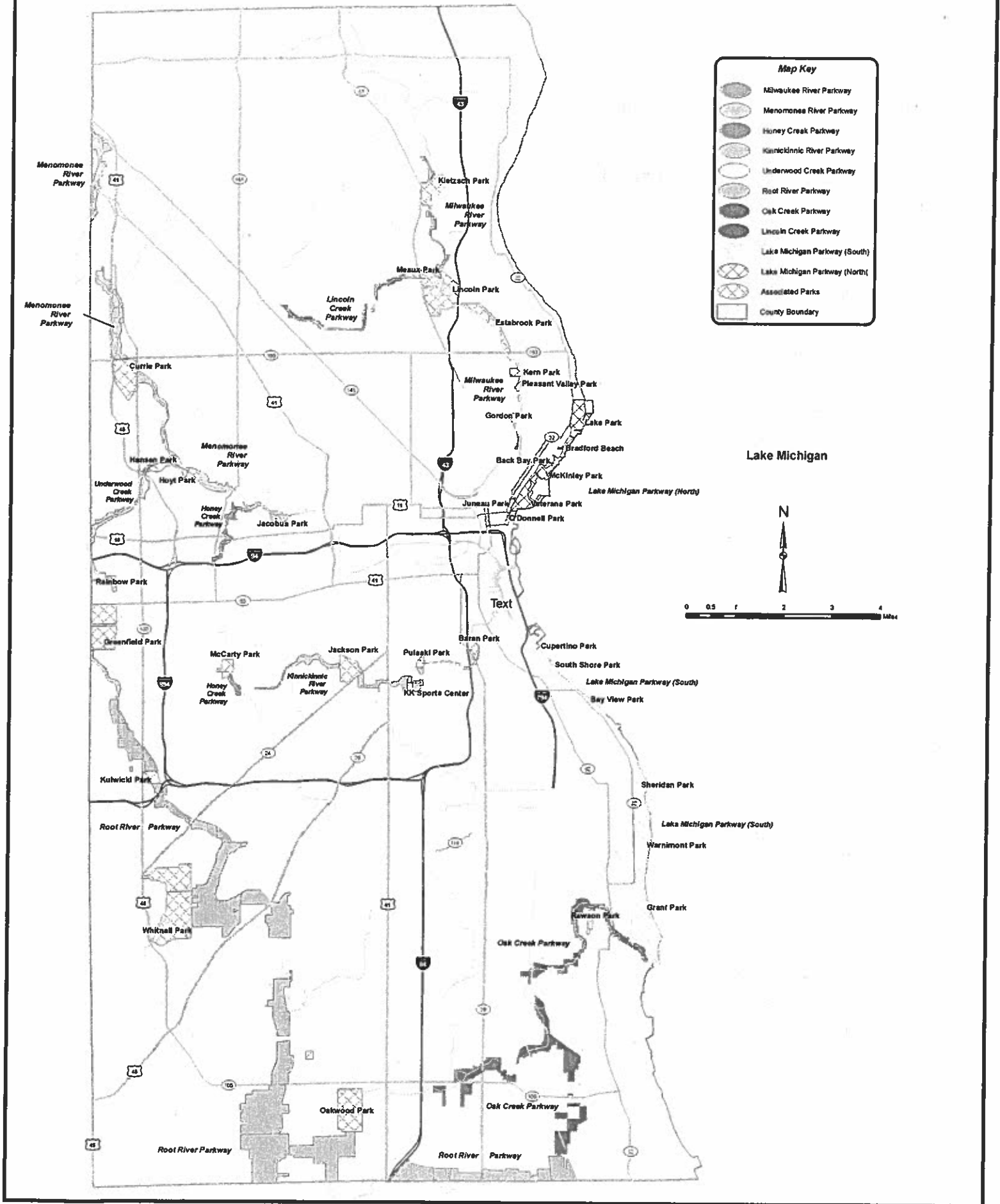
Comfort Station, Estabrook Park

View facing northeast

*Photograph 32 of 32*

Benjamin Church House/Kilbourntown House

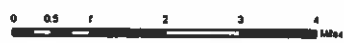
View facing southeast



**Map Key**

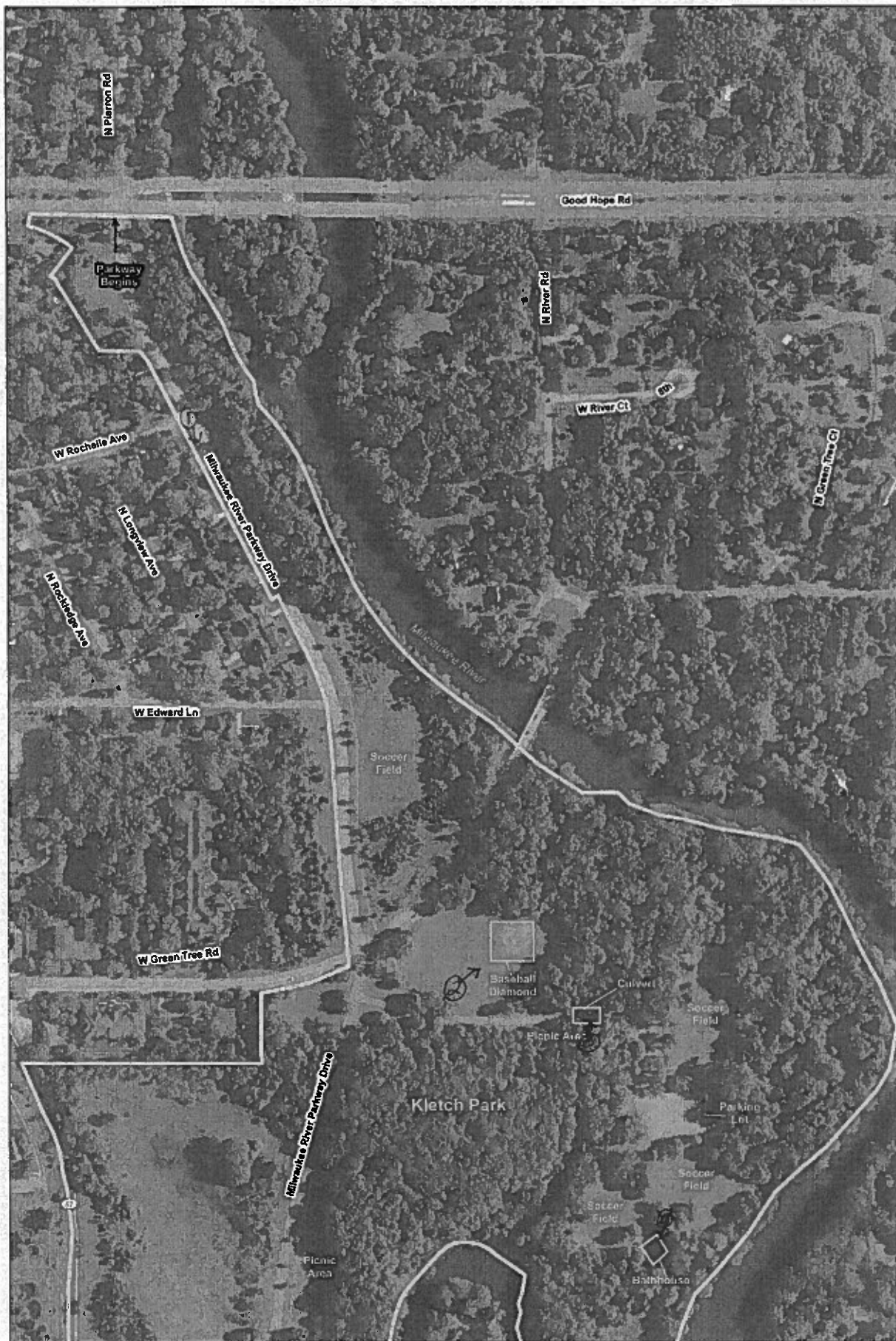
- Milwaukee River Parkway
- Menomonee River Parkway
- Honey Creek Parkway
- Kinnickinnic River Parkway
- Underwood Creek Parkway
- Root River Parkway
- Oak Creek Parkway
- Lincoln Creek Parkway
- Lake Michigan Parkway (South)
- Lake Michigan Parkway (North)
- Associated Parks
- County Boundary

Lake Michigan



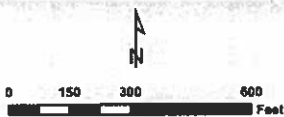
Milwaukee County Parkway System





**Milwaukee River Parkway**  
 Historic Boundary Map

Orthophoto: 2010  
 UTM Coordinates: Zone 16, Nad 27



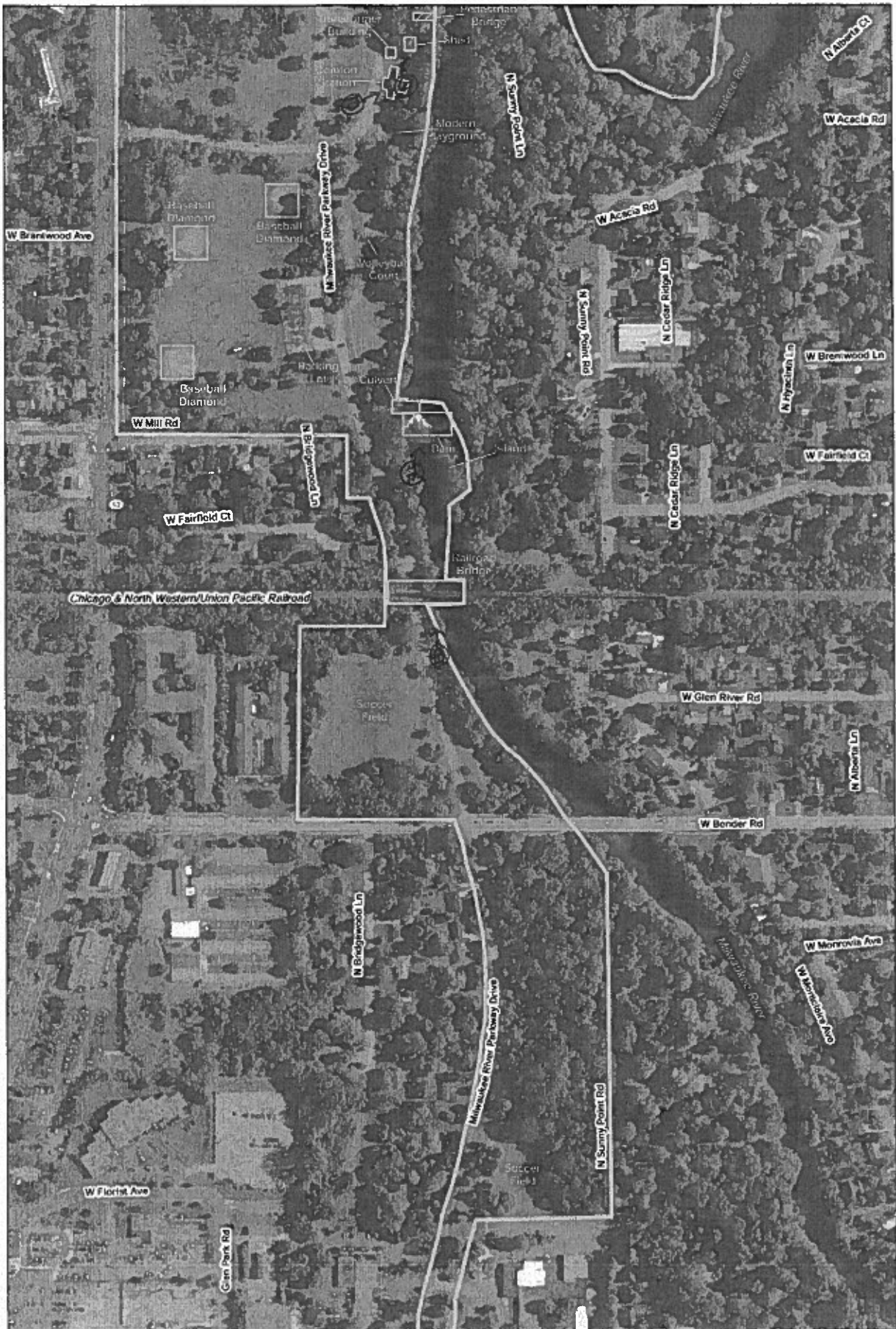
**Map Key**

- Historic Boundary
- Noncontributing
- Contributing









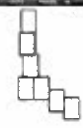
**Milwaukee River Parkway**  
**Historic Boundary Map**

Orthophoto: 2010  
 UTM Coordinates: Zone 16, Nad 27



**Map Key**

|   |                   |  |                 |
|---|-------------------|--|-----------------|
|  | Historic Boundary |  | Noncontributing |
|  | Contributing      |  |                 |

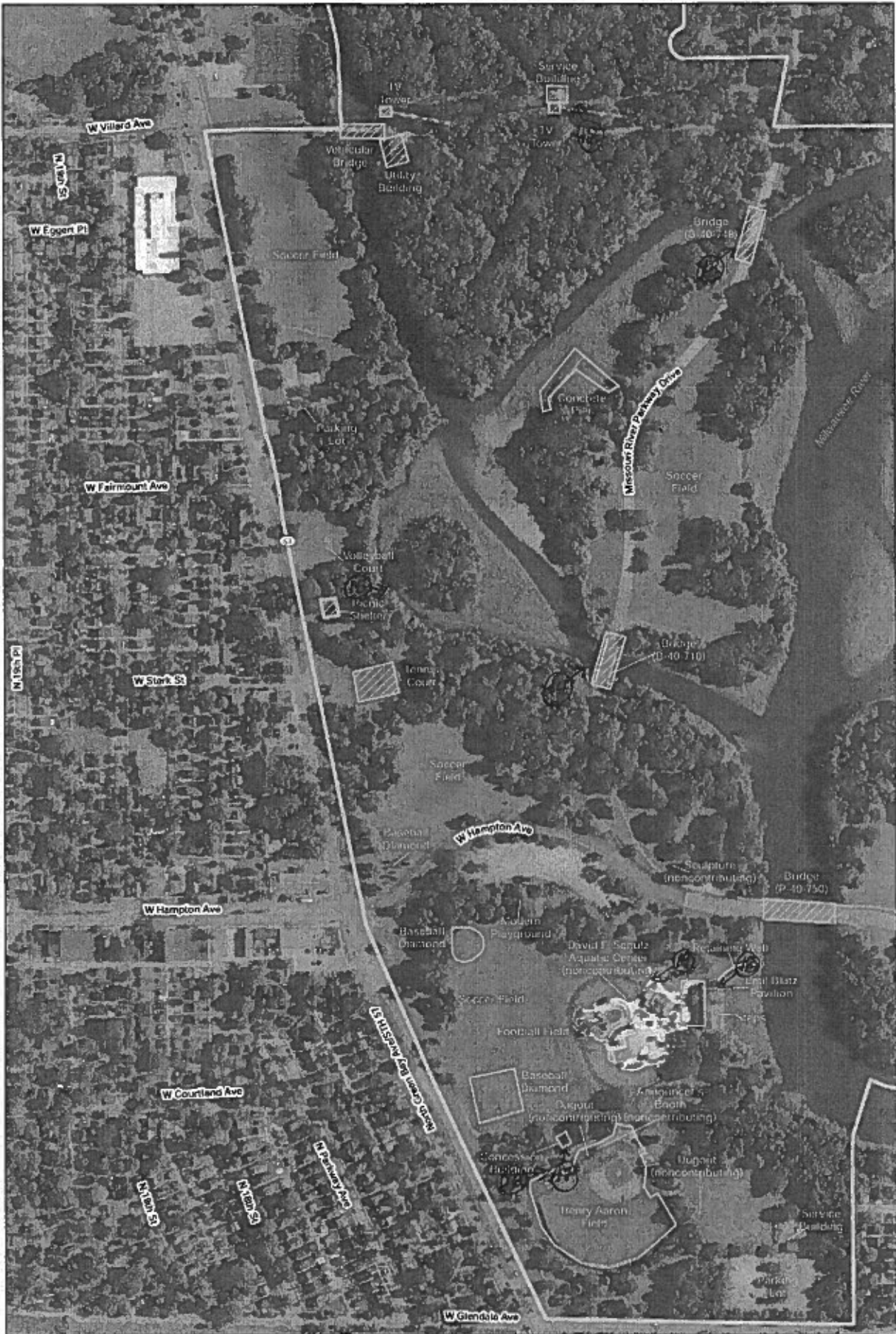






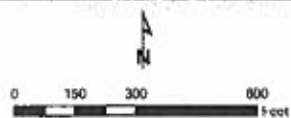






**Milwaukee River Parkway**  
 Historic Boundary Map

Orthophoto: 2010  
 UTM Coordinates: Zone 16, Nad 27



**Map Key**

-  Historic Boundary
-  Noncontributing
-  Contributing

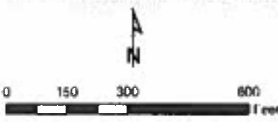






**Milwaukee River Parkway  
Historic Boundary Map**

Orthophoto: 2010  
UTM Coordinates: Zone 16, Nad 27



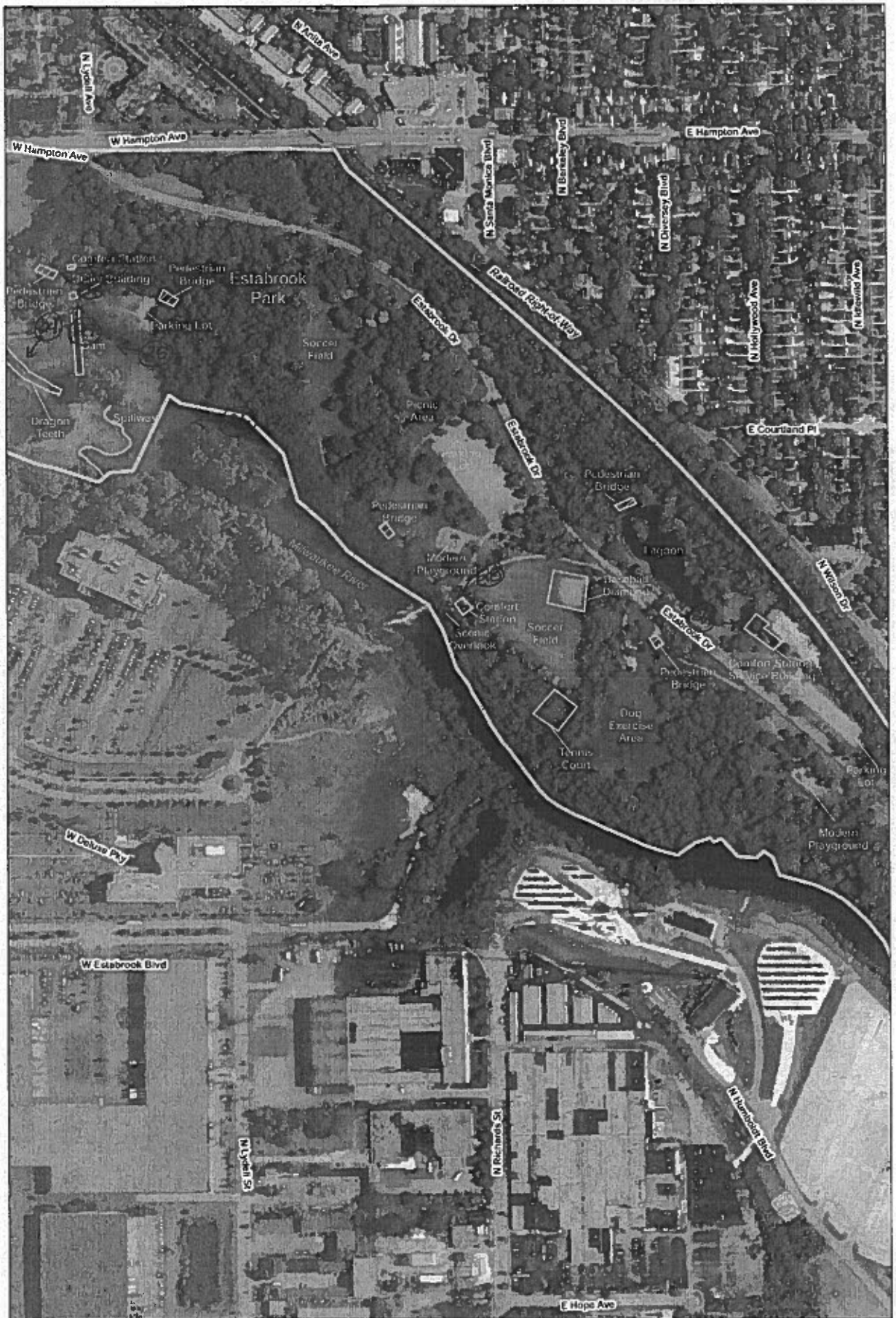
**Map Key**

|  |                   |  |                 |
|--|-------------------|--|-----------------|
|  | Historic Boundary |  | Noncontributing |
|  | Contributing      |  |                 |



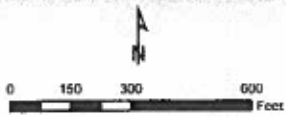









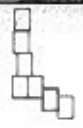
**Milwaukee River Parkway**  
 Historic Boundary Map

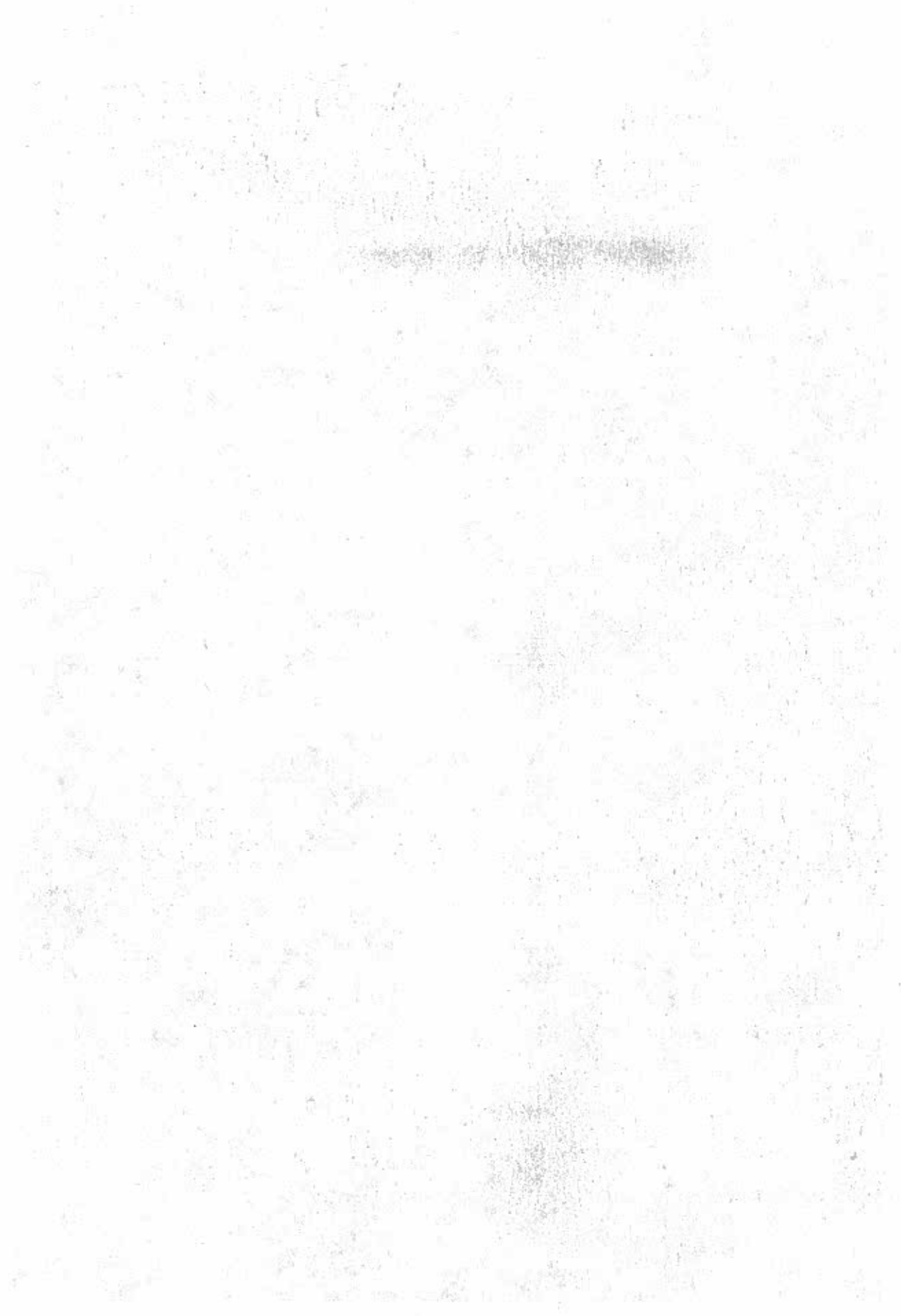
Orthophoto: 2010  
 UTM Coordinates: Zone 16, Nwd 27



**Map Key**

|   |                   |  |                 |
|---|-------------------|--|-----------------|
|  | Historic Boundary |  | Noncontributing |
|  | Contributing      |  |                 |







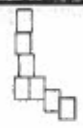
**Milwaukee River Parkway**  
 Historic Boundary Map

Orthophoto: 2010  
 UTM Coordinates: Zone 16, Nrd 27



**Map Key**

|  |                   |  |                 |
|--|-------------------|--|-----------------|
|  | Historic Boundary |  | Noncontributing |
|  | Contributing      |  |                 |





HISTORIC PRESERVATION COMMISSION  
STAFF REPORT

HPC Meeting Date: 07/25/2011  
Ald. Ashanti Hamilton and Ald. Milele Coggs  
Staff Reviewer: Carlen Hatala

PROPERTY

Milwaukee River Parkway  
Located between Good Hope Road and West  
Capitol Drive  
Cities of Milwaukee and Glendale, Villages of  
Shorewood and Whitefish Bay

OWNER/APPLICANT

Milwaukee County  
City of Milwaukee  
Milwaukee Metropolitan Sewerage District  
City of Glendale  
Chicago & North Western/Union Pacific  
Chicago & North Western Railway Company  
Prepared by Mead & Hunt, Inc.

PROPOSAL

Certified Local Government Review of the National  
Register Nomination for the Milwaukee River  
Parkway

STAFF COMMENTS

Due to need for constructing or rehabilitating new bridges and other elements within the Milwaukee Parks system, Milwaukee County agreed to have the entire parkway system evaluated for National Register eligibility. The State Review Board for National Register Nominations previously approved a thematic nomination for the overall parkway system in Milwaukee County. Individual National Register nominations are now being prepared for the various components within the parkway system. As a Certified Local Government, Milwaukee's HPC is required to either support or not support the nomination. The Kinnickinnic River Parkway was previously reviewed and supported by the Milwaukee Historic Preservation Commission on July 19, 2010.

The Milwaukee River Parkway retains many of the features from its original design including natural plantings and intact associated parks. It is a significant component in the overall parkway system and much of the work was implemented with federal aid relief work. It appears to meet the requirements of National Register Criterion A: Community Planning and Development. The commission's decision on the Milwaukee River Parkway will be forwarded to the State Historic Preservation Office and included in the comments when this nomination is reviewed at the State Review Board on August 19, 2011.

**STAFF RECOMMENDATION**

Recommend that HPC support the nomination.



Legislation Details (With Text)

**File #:** 110404      **Version:** 0

**Type:** Motion      **Status:** In Committee

**File created:** 7/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Motion relating to the National Register of Historic Places status for the Milwaukee Breakwater Light.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, LAKEFRONT

**Attachments:** Nomination

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110404  
Version

Reference

Sponsor

Title  
Motion relating to the National Register of Historic Places status for the Milwaukee Breakwater Light.  
Requestor

Drafter  
CC-CC  
jro  
7/8/11



United States Department of the Interior  
National Park Service

# National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional certification comments, entries, and narrative items on continuation sheets if needed (NPS Form 10-900a).

### 1. Name of Property

historic name Milwaukee Breakwater Light  
other names/site number \_\_\_\_\_

### 2. Location

street & number Offshore at S end of N breakwater, 0.7 mile E of Milwaukee River mouth  not for publication  
city or town Milwaukee  vicinity  
state Wisconsin code WI county Milwaukee code 079 zip code 53202

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,  
I hereby certify that this  nomination  request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property  meets  does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

national  statewide  local

[Signature]  
Signature of certifying official/Title

June 11  
Date

United States Coast Guard  
State or Federal agency/bureau or Tribal Government

In my opinion, the property  meets  does not meet the National Register criteria.

\_\_\_\_\_  
Signature of commenting official

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title State or Federal agency/bureau or Tribal Government

### 4. National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:)

\_\_\_\_\_  
Signature of the Keeper

\_\_\_\_\_  
Date of Action

Milwaukee Breakwater Light  
 Name of Property

Milwaukee County, WI  
 County and State

**5. Classification**

**Ownership of Property**  
 (Check as many boxes as apply.)

- private
- public - Local
- public - State
- public - Federal

**Category of Property**  
 (Check only one box.)

- building(s)
- District
- Site
- Structure
- Object

**Number of Resources within Property**  
 (Do not include previously listed resources in the count.)

| Contributing | Noncontributing |              |
|--------------|-----------------|--------------|
|              |                 | buildings    |
|              |                 | district     |
|              |                 | Site         |
| 1            |                 | structure    |
|              |                 | Object       |
| 1            | 0               | <b>Total</b> |

**Name of related multiple property listing**  
 (Enter "N/A" if property is not part of a multiple property listing)

Light Stations of the United States

**Number of contributing resources previously listed in the National Register**

0

**6. Function or Use**

**Historic Functions**  
 (Enter categories from instructions.)

Transportation

Water-related

**Current Functions**  
 (Enter categories from instructions.)

Transportation

Water-related

**7. Description**

**Architectural Classification**  
 (Enter categories from instructions.)

Modern Movement

**Materials**  
 (Enter categories from instructions.)

foundation: Reinforced concrete

walls: Steel

roof: Metal

other: Lantern: Cast iron, glass

Milwaukee Breakwater Light  
Name of Property

Milwaukee County, WI  
County and State

---

**Narrative Description**

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**Summary Paragraph**

The Milwaukee Breakwater Light was established as a Federal aid to navigation in 1926 to mark the entry to Milwaukee Harbor. It is situated offshore in Lake Michigan, approximately 0.7 mile east of the mouth of the Milwaukee River in Milwaukee County, Wisconsin. This property consists of one contributing resource, the lighthouse. It is an active Federal aid to navigation owned by the U.S. Coast Guard (USCG) and identified as number 20635 on the USCG Great Lakes regional light list. This structure is designed with Art Deco styling that expresses modernity and verticality. It is approximately 95 feet tall from the base of its rectangular wood and concrete foundation to the top of its steel superstructure. The foundation includes a wooden crib and a concrete pier enclosing the lighthouse's basement. The superstructure is five stories tall and includes a rectangular keepers dwelling with an integral light tower supporting a circular lantern surrounded by an open-air gallery. The lantern is equipped with a modern automated optic that signals a red flash every 10 seconds and is visible for 14 miles in clear weather. The lighthouse optic's focal plane is 61 feet above water level. The keepers dwelling and tower are painted white; the lantern and lantern gallery railing are painted black. The lighthouse is floodlighted from dusk to dawn. It is accessible by boat but is not open to public visitation. The property's offshore setting includes the Lake Michigan waters surrounding it. These waters are controlled by the State of Wisconsin, which owns the submerged land in the lighthouse vicinity. Milwaukee Breakwater Light is a prominent visual landmark for the city of Milwaukee.

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**Narrative Description**

(see continuation sheets)

Milwaukee Breakwater Light  
Name of Property

Milwaukee County, WI  
County and State

**8. Statement of Significance**

**Applicable National Register Criteria**

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield, information important in prehistory or history.

**Areas of Significance**

(Enter categories from instructions.)

Maritime History

Transportation

Engineering

**Period of Significance**

1926 to 1966

**Significant Dates**

1926

**Significant Person**

(Complete only if Criterion B is marked above.)

N/A

**Cultural Affiliation**

N/A

**Architect/Builder**

Office of the Superintendent of Lighthouses

12<sup>th</sup> Lighthouse District, Milwaukee, WI

**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

Property is:

- A Owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years old or achieving significance within the past 50 years.

**Period of Significance (justification)**

The property's period of significance begins with the establishment of Milwaukee Breakwater Light as a Federal aid to navigation in 1926 and continues to 1966, the year when this lighthouse was automated.

**Criteria Considerations (explanation, if necessary)**

N/A

United States Department of the Interior  
National Park Service

|  |
|--|
| Milwaukee Breakwater Light               |
| Name of Property                         |
| Milwaukee County, Wisconsin              |
| County and State                         |
| Light Stations of the United States MPDF |
| Name of multiple listing (if applicable) |

## National Register of Historic Places Continuation Sheet

### ADDITIONAL DOCUMENTATION

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance and applicable criteria.)

#### Summary Paragraph

The Milwaukee Breakwater Light is a prominent landmark in Milwaukee County and is historically significant on the local level. It embodies the maritime heritage of the port of Milwaukee and serves as an important guide for waterborne traffic. The property's period of historic significance begins in 1926 when it was established as a Federal lighthouse and ends in 1966, the year when its aid to navigation equipment was automated. It is eligible for listing in the National Register under Criteria A and C. This lighthouse is significant in terms of Criterion A for its association with the efforts of the Federal government to provide for safe maritime transport on the Great Lakes. It exemplifies how the long-term Federal program for establishing an integrated system of navigational aids throughout the United States was manifested in the Milwaukee County locality. Milwaukee Breakwater Light is significant under Criterion C because it represents and embodies second quarter of the twentieth century lighthouse architecture and engineering. It exemplifies methods used in building crib foundation, steel tower lighthouses during that time period. The structure's existing integrity attests to the lasting value of its design, as well as the high quality of materials and construction. This property's character and appearance are largely unchanged from when it was first established as an aid to navigation. Changes that have been made include repainting its day mark color from red, to buff and black, to white and black, as well as replacing its original beacon with a modern optic and removing equipment and furnishings associated with the lighthouse's operation by resident keepers. Despite these changes, the lighthouse's appearance remains essentially the same as during its period of historical significance. This property possesses its original location, setting and design, and embodies qualities of integrity in materials, workmanship, feeling and association. Milwaukee Breakwater Light has been an operating Federal aid to navigation for more than eight decades and continues to guide vessels navigating Wisconsin's Lake Michigan waters. It prominently exemplifies Milwaukee County's maritime history, and evokes feelings that recall the dedication to duty that characterized United States lighthouse keepers throughout the country's history.

**Narrative Statement of Significance** (Provide at least one paragraph for each area of significance.)

(see continuation sheets)

**Developmental history/additional historic context information** (if appropriate)

(see continuation sheets)

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## ADDITIONAL DOCUMENTATION

### 9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

(see continuation sheet)

#### Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67 has been requested)
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # \_\_\_\_\_

#### Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

U.S. National Archives; USCG Civil Engineering Unit (CEU) Cleveland, OH; USCG Historian's Office, Washington, DC; Wisconsin Maritime Museum; Wisconsin Historical Society.

- recorded by Historic American Engineering Record # \_\_\_\_\_
- recorded by Historic American Landscape Survey # \_\_\_\_\_

Name of repository: \_\_\_\_\_

Historic Resources Survey Number (if assigned): \_\_\_\_\_

### 10. Geographical Data

Acreage of Property Less than one acre

(Do not include previously listed resource acreage.)

#### UTM References

(Place additional UTM references on a continuation sheet.)

|   |           |               |                |
|---|-----------|---------------|----------------|
| 1 | <u>16</u> | <u>428140</u> | <u>4764180</u> |
|   | Zone      | Easting       | Northing       |

|   |                   |                   |                   |
|---|-------------------|-------------------|-------------------|
| 3 | <u>          </u> | <u>          </u> | <u>          </u> |
|   | Zone              | Easting           | Northing          |

|   |                   |                   |                   |
|---|-------------------|-------------------|-------------------|
| 2 | <u>          </u> | <u>          </u> | <u>          </u> |
|   | Zone              | Easting           | Northing          |

|   |                   |                   |                   |
|---|-------------------|-------------------|-------------------|
| 4 | <u>          </u> | <u>          </u> | <u>          </u> |
|   | Zone              | Easting           | Northing          |

#### Verbal Boundary Description (Describe the boundaries of the property.)

The property's boundary is the exterior limit of the perimeter of the rectangular base of the lighthouse's foundation.

#### Boundary Justification (Explain why the boundaries were selected.)

This boundary encompasses the USCG-owned lighthouse structure nominated for National Register listing.

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**ADDITIONAL DOCUMENTATION**

**11. Form Prepared By**

name/title Daniel Koski-Karell, Ph. D., USCG HQ Office of Environmental Management, and Jayne Aaron and Daniel Hart, e<sup>2</sup>M, Inc.

organization United States Coast Guard (COMDT CG-47) date 1 June 2011

street & number 2100 Second Street SW – STOP 7901 telephone 202.475.5683

city or town Washington state DC zip code 20593-7901

e-mail Daniel.A.Koski-Karell@uscg.dhs.gov

**Additional Documentation**

Submit the following items with the completed form:

- **Map:** A USGS topographic map (7.5 minute series) indicating the property's location.
- **Continuation Sheets**
- **Additional Items:** Black and white photograph prints.

**Property Owner:**

Name United States Coast Guard

street & number 2100 Second Street SW telephone 202.267.1587

city or town Washington state DC zip code 20593

**Paperwork Reduction Act Statement:** This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 18 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

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### ADDITIONAL DOCUMENTATION

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#### Narrative Description

##### Setting

The Milwaukee Breakwater Light is located offshore of the City of Milwaukee waterfront. It is in Lake Michigan, 0.7 mile east of the mouth of the Milwaukee River. Its setting includes the waters that surround the lighthouse and the southern end of the adjoining breakwater. The lighthouse is situated on the northern side of the principal channel for vessels navigating between Lake Michigan and Milwaukee Harbor. The submerged land surrounding the lighthouse is owned by the State of Wisconsin, which also controls the offshore setting's Lake Michigan waters. This lighthouse property sits at the southern end of the Milwaukee Harbor north breakwater, which is approximately 20 feet wide and extends 1.2 miles towards the north. It is part of the breakwater complex approximately four miles long that shelters the waters of Milwaukee Harbor. This complex includes five breakwaters separated by openings for the passage of vessels and is a Federal navigation structure owned and maintained by the U.S. Army Corps of Engineers (USACE). The property's setting has remained essentially unchanged since the lighthouse was originally constructed in 1926.

##### Contributing Resource: Lighthouse

The Milwaukee Breakwater Light sits upon submerged land in 30 feet of water at the southern end of the Milwaukee Harbor north breakwater. It includes a foundation crib, concrete pier, and a five-story steel superstructure designed with Art Deco styling. The structure's overall height from the foundation's base to the top of its superstructure is approximately 95 feet. From water level to the top is approximately 65 feet. The lighthouse's concrete pier is not painted and its wood and concrete crib foundation is underwater. The superstructure is painted white, except for the lighthouse's lantern and lantern gallery railing which are painted black. Its façades include recessed and projecting vertical sections leading upward to colonnettes standing atop each corner of the roof and light tower. The structure's Art Deco styling expresses its modernity and height. This lighthouse was established as a Federal aid to navigation in 1926 and continues in operation with a beacon light and fog signal. Milwaukee Breakwater Light is floodlighted from sunset to sunrise and is a prominent offshore landmark visible from much of the City of Milwaukee's waterfront. It is accessible by boat. This property is owned by the U.S. Coast Guard and is not open for public visitation.

The lighthouse's crib foundation and concrete pier are rectangular and measure 60 feet by 54 feet. This part of the structure is oriented with the four corners pointing toward north, east, south and west. The crib is approximately 30 feet tall and constructed of heavy timbers attached with steel fastenings. Its interior is filled with rock ballast and concrete. This foundation supports a rectangular concrete pier that stands approximately 14 feet tall above water level. The pier supports the lighthouse superstructure and contains its basement. The pier's four façades include built-in ladders with steel rungs on all four sides. These extend from water level to the pier's topside deck. There are two ladders on the pier's northwest (NW) and southwest (SW) sides, one each on the northeast (NE) and southeast (SE) sides. The pier's concrete exterior is largely intact though deterioration is evident in several places.

The pier's SW and NW sides are each pierced with a rectangular doorway fitted with a steel door. These sea doors provided access between the lighthouse's basement and a vessel moored alongside the pier. The SW side is also pierced with four rectangular window openings. The NW side is pierced with one rectangular window opening and three round port-light window openings. The SE and NE sides are both pierced with four round port-light window openings. All these port-light and rectangular window openings are presently covered with metal plates. The basement interior is 43 feet long by 26 feet wide with concrete floor, columns and ceiling. Horizontal steel I-beams provide additional support for the ceiling. The basement's northern corner includes a fuel and paint storage room partitioned from the main room. A steel stairway leads up from the basement floor to the lighthouse's first story interior.



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The pier supports the lighthouse's five-story superstructure which is approximately 51 feet tall. The superstructure is approximately 43 feet long by 26 feet wide with its long axis oriented NW to SE. The first to fourth stories are clad with steel plates fastened with rivets. The walls are pierced with windows that are 28 inches wide by 48 inches tall and fitted with double hung sash holding two-over-two lights. The windows are covered on the inner side with an acrylic sheet. The lighthouse's fifth story is its lantern, which is made of cast iron and glazing. There are open deck areas approximately 17 feet wide by 54 feet long atop the pier adjoining the superstructure's SW (front) and NE (rear) sides. Additional narrow sections of open deck approximately 5 feet wide adjoin the superstructure's NW and SE ends, between it and the edge of the pier. A non-original railing made with steel pipe and chain surrounds the pier deck's perimeter.

The lighthouse's frontal façade faces SW. Its first and second story elevation includes three bays. The left and right bays are each two stories (22 feet) tall. The center bay forms an integral, rectangular symmetrical tower that rises to four stories (42 feet) tall. This tower supports the lighthouse's lantern, which sits centered atop the tower surrounded by a rectangular open air gallery. The SW façade's left and right bays have the appearance of two-story wings abutting the center bay's tower.

A rectangular metal sign reading "U.S. Coast Guard Cable Crossing Do Not Anchor" is attached to the SW (front) façade's middle bay between the first and second stories. This sign is approximately 10 feet wide by 8 feet tall. It warns of the underwater cable that brings electrical power to the lighthouse from shore.

The first story's NW bay is on the left when viewed from the superstructure's front. It is distinguished by a 10-foot wide by 10-foot tall doorway fitted with an overhead-retracting door. The interior consists of a single room that is 26 feet long by 13 feet wide. This was used for storing and maintaining the lighthouse keepers' boat. The room's floor, walls, and ceiling are concrete; steel girders support the ceiling. A metal track used for moving a boat extends NE from the doorway into the room. It is made with two parallel steel rails spaced 42-3/8 inches apart. The boat room's NW wall has three windows; the NE wall has one. A modern electrical circuit box used for powering the lighthouse's aid to navigation equipment sits in the middle of the floor.

The SW façade of the first story's center bay includes a window and the lighthouse's front entrance. This entry is fitted with a 2-foot, 8-inch wide steel door. The doorway leads to an interior foyer approximately 12.5 feet wide by 12 feet long. This includes a closet and stairways leading up to the second story and down to the basement. The original wood flooring has been removed, leaving wooden floor joists embedded in the concrete subfloor. A rectangular window pierces the foyer's SW wall, next to the doorway. Three wood framed doorways 2 feet, 8 inches wide provide access from the foyer to other first story rooms. A doorway on the NW side provides access to the boat room. A doorway on the SE side leads to a room in the SW half of the first story's SE bay. A door on the foyer's NE side leads to the lighthouse's kitchen, which occupies the middle bay's NE half. This kitchen is approximately 12.5 feet wide by 12 feet long with a plaster ceiling. Its original wood floor has been removed leaving the wooden floor joists and concrete subfloor exposed. The kitchen's NE wall is pierced by two windows. A wood framed doorway 2 feet, 8 inches wide in the kitchen's SE wall leads to a room in the NE half of the first story's SE bay.

The first story's SE bay includes two rooms that are each approximately 12 feet long by 13 feet wide. The wooden partition separating these rooms is not original. The bay's NE room adjoins the kitchen. Its original wooden floor has been removed, exposing the wooden floor joists and concrete subfloor. The room's concrete walls and ceiling are covered with plaster. There is a 6-inch diameter floor drain in the eastern corner. This room has a window in the NE wall and another in the SE wall. A doorway in the room's SW wall leads to this bay's SW room, where the floor is covered with linoleum tiles over wooden boards. The SW room's concrete walls and ceiling are plastered. Non-original wall materials have been installed on the room's NW, NE, and SE walls. This room has one window in the SW wall and two in the SE wall. A doorway in the room's NW wall connects with the middle bay's foyer.

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The second story's plan includes three bays, directly above those on the first story. The original wooden flooring has been removed, leaving the concrete subfloor and wooden floor joists exposed. The NW bay, above the boat room, is divided into two bedrooms (SW and NE). The SW room measures 11 feet by 13 feet, 9 inches. It has two windows on the NW side and one window on the SW side. The bay's NE room measures 10 feet by 13 feet, 9 inches. It has one window on the NW side and another on the NE side. The center bay includes a hallway and a stairway with flights leading down to the first story and up to the light tower's third story. The hallway extends NW to SE across the middle bay and provides access to bedrooms in the second story's NW and SE bays. Partition walls on the hallway's NE side enclose a linen closet that is lighted with a window and a broom closet. The center bay's SE corner, next to the broom closet, is occupied by a bathroom lighted with a window. Opposite the bathroom, across the hallway, other partitions enclose a small room that measures 12 feet by 5 feet, 4 inches and is lighted by a window. The second story's SE bay is divided into two bedrooms (SW and NE). The SW room measures 13 feet, 9 inches by 13 feet, 9 inches. It has a closet and three windows, two on the SE side and one on the SW side. This is the second story's largest bedroom. It adjoins the small room in the center bay. The SE bay's NE room measures 10 feet by 13 feet, 9 inches. It has two windows, one on the SE side and one on the NE side.

The lighthouse's third story is part of the light tower and sits atop the SW half of the second story's center bay. The third story is rectangular and measures 14 feet long on each side. Its interior is a single room approximately 12 feet square. A stairway providing access down to the second story and up to the tower's fourth story occupies approximately one-third of the room. This room's original wooden flooring has been removed, leaving the concrete subfloor and wooden floor joists exposed. The four walls are each pierced with two windows. A doorway 2 feet, 8 inches wide pierces the NE wall between two windows. It is fitted with an original metal door and provides access to the roof above the superstructure's second story.

The second story's roof is metal. Its perimeter includes a decorative, three-foot tall rectangular column at each of the roof's four corners and spaced along the perimeter at approximately 12-foot intervals, including one on either side of the light tower. The spaces between these are filled with steel balustrades made with an upper and a lower horizontal steel bar and simple bar balusters. Each balustrade segment is ornamented with a metal circle below the top bar at the segment's midpoint.

The lighthouse's fourth story sits atop the third story and consists of the light tower's watch room. It includes the upper end of the light tower's stairway, which is bounded by a 3-foot tall partition except for an opening at the top of the stairs. As with other rooms below, the original wooden flooring has been removed, leaving the concrete subfloor and wooden floor joists exposed. The fourth story's NE, SE, and SW walls are each pierced with three windows. The NW wall has two windows. This is because the lighthouse originally included a metal smokestack that extended upward from the second story along the tower's midline on that side. The fourth story room is furnished with modern electrical panels used for powering the lighthouse's existing aid to navigation equipment. A television camera is installed to look out one window. In the center of the room, a curving metal ladder with a simple pipe handrail ascends to a trapdoor opening in the ceiling. This provides access to the lantern room, above.

The lighthouse's fifth story is its lantern, which sits centered atop the fourth story. The lantern is circular and approximately nine feet in diameter by nine feet tall. It includes a circular cast iron parapet wall approximately three feet tall that is pierced with five vents spaced at equal intervals. The parapet supports a series of "X" shaped mullions extending around the lantern in a helical pattern. These hold the lantern's glazing. The lantern's conical roof springs from a soffit above the glazing and rises to a cylindrical vent atop the roof's apex. A pedestal standing in the center of the lantern room's metal floor supports the lighthouse's optic, a modern automated VRB-25 marine rotating beacon with a focal plane 61 feet above water level. It signals a red flash every 10 seconds and is visible for 14 miles in clear weather.

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A six-foot tall door on the lantern's southern side includes a solid metal lower panel and a glazed upper panel. This door provides access to the open-air lantern gallery. The gallery is rectangular and measures approximately 12 feet long on each side. Its perimeter includes a decorative, three-foot tall rectangular column at each of the four corners. The spaces between these are filled with steel balustrades made with an upper and a lower horizontal steel bar and simple bar balusters. Each balustrade segment is ornamented with a metal circle below the top bar at the segment's midpoint. The lantern, columns, and railings are painted black. A modern automated fog signal and a fog detector are mounted atop the gallery deck's NE side. The fog signal sounds two 2-second blasts every 20 seconds and operates from April to November.

#### Changes in Physical Appearance and Overall Integrity

The Milwaukee Breakwater Light's structural characteristics remain largely unchanged from when it was originally established in 1926, though there have been changes to its exterior appearance and interior. One aspect that has changed is the lighthouse's day mark colors. Its superstructure was originally painted red. This was changed during the 1930s to a black lantern atop a buff-colored superstructure. The day mark colors were changed again during the 1960s to a white colored superstructure supporting a black lantern. This remains the lighthouse's day mark today. A change has also been made to the cable crossing warning sign mounted on the lighthouse. From 1926 to circa 1940, it was attached to the lighthouse's SE side. From then to the present it has been displayed on the superstructure's SW side.

Physical changes that have been made to the property include windows in its concrete pier and elements of the superstructure. When built, there was a round port-light next to the sea door on the concrete pier's SW side. This has been removed and its circular opening sealed with concrete. The pier's other windows have been covered with metal plates. Changes to the lighthouse superstructure include the removal of two metal smokestacks that originally were positioned alongside and atop the light tower. One rose upward midway between the windows on the tower's NW side. The other smokestack was attached to the lantern gallery's northern corner. Both were removed following the lighthouse's automation in 1966.

Another superstructure change relates to the lighthouse's radiobeacon, which operated from 1926 to the 1990s. When Milwaukee Breakwater Light was originally established, it was equipped with a radiobeacon distance finding system that operated in tandem with the fog signal. The radiobeacon transmitted two dashes in Morse code simultaneously with a blast of the fog signal. The crew of a vessel could estimate their distance from the lighthouse by counting the time from when the instantaneous radiobeacon signal was received until the fog signal was heard. Sound travels a little more than one mile in five seconds, so each second of time between receiving the radio signal and hearing the fog signal was approximately equivalent to 0.2 mile. The radiobeacon also provided a means for determining the direction to the lighthouse from a vessel through use of a radio direction finder. The property's radiobeacon was upgraded through time as radio technology improved and remained in use until 1995. The widespread adoption of radar, Loran-C, and global positioning system (GPS) instruments aboard commercial and recreational vessels by the late twentieth century eventually made the lighthouse's radiobeacon superfluous and it was discontinued. The radiobeacon included an antenna array that extended from the light tower to a steel monopole atop the north breakwater, approximately 200 feet from the lighthouse. After the radiobeacon was discontinued, its antenna and monopole were removed.

There have been several changes to the lighthouse's equipment and furnishings. From 1926 to 1966 the property was operated as a manned lighthouse and outfitted with facilities and furnishings for resident lighthouse keepers. After the keepers departed when the property was automated, equipment and furnishings no longer required were removed. Mechanical equipment removed included diesel engines, fuel tanks, compressors, and generators. It also included four cylindrical steel tanks that had been mounted atop the pier deck on the lighthouse's northeast side. These had held compressed air used for operating the fog signal.

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Other changes include the pier deck's guardrail and a crane that had been originally installed. When built, the deck's guardrail included steel stanchions spaced at intervals of approximately six feet with two tiers of steel chain strung between them. This was removed circa the 1960s when the existing steel pipe and chain railing was installed. In addition, from 1926 to 1966 a steel crane was mounted atop the pier deck at the western corner. It was used for lifting and lowering the lighthouse keepers' boat. This crane was removed after the lighthouse was automated in 1966.

Changes made to lighthouse's internal structure include installation of a wooden partition wall with doorway in the first story's SE bay. This partition divided what was originally a single room (16 feet long by 13 feet wide) into the existing two equal-sized rooms. Another change has been removal of the lighthouse's original wood flooring, which became deteriorated. What remains today is the concrete subfloor and wooden joists that supported the original flooring. The floor removal and first story SE bay partition wall modifications are reversible.

There have been a series of changes to the lighthouse's aid to navigation equipment. When established in 1926, the lighthouse was equipped with a fourth order Fresnel lens as its optic. This signaled a red light that cycled on for 4.5 seconds and off for 1.5 seconds. The fourth order Fresnel optic remained in use until it was removed in 1994 and replaced with the existing VRB-25 rotating marine beacon. The lighthouse's original Fresnel lens is presently on display at the Wisconsin Maritime Museum in Manitowoc, Wisconsin.

The lighthouse's fog signal equipment has also changed through time. It was originally equipped with a single horn Diaphone fog signal operated using compressed air. This sounded a 2-second blast followed by 18 seconds of silence. The existing device is a modern automated diaphragm fog signal that sounds two blasts every 20 seconds. It operates during the shipping season from April to November and is connected to an automated fog detector.

Today, the significant character-defining features of Milwaukee Breakwater Light remain largely unaltered. It retains a high level of integrity regarding its location, setting, design, workmanship, materials, feeling, and association. This includes its pier, superstructure, and lantern. Features that are missing, changed or degraded have had limited impacts on the property's integrity. These changes have not significantly altered the lighthouse's appearance and are largely reversible.

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#### Narrative Statement of Significance

##### Significance under Criterion A

The Milwaukee Breakwater Light is eligible for listing in the National Register of Historic Places (NRHP) under Criterion A for its association with local events in Milwaukee County related to Federal efforts to provide for an integrated system of navigational aids throughout the United States. It exemplifies how this long-term government program has been manifested in Wisconsin state waters. This lighthouse has been an important aid to navigation since it was established by the U.S. Bureau of Lighthouses in 1926. It is historically significant because of its contribution to the broad historical patterns of local maritime transportation and commerce. This lighthouse's signal light, fog signal and day mark have guided mariners and been an important enhancement to navigational safety in and around Milwaukee for more than eight decades. The Milwaukee Breakwater Light has enabled safe passage for thousands of ships and remains an operating lighthouse. It is widely recognized in Milwaukee County as a landmark.

##### Significance under Criterion C

This property also qualifies for the NRHP under Criterion C. It embodies and exemplifies distinctive architectural design and engineering aspects characteristic of steel lighthouses built on crib and pier foundations in the Great Lakes region during the second quarter of the twentieth century. This property retains integrity in terms of location, setting, design, materials, workmanship, feeling, and association. Its state of preservation represents the durable and weather-resistant character of its materials and construction, as well as the lasting success of its design and appropriateness to this natural setting. The appearance and character of Milwaukee Breakwater Light remain essentially the same as during its period of historical significance. Changes made to the property have been limited and are largely reversible.

#### Additional Context Information and Developmental History

This NRHP registration form is submitted as an individual listing under the overarching *Light Stations of the United States* multiple property documentation form (MPDF). The specific historic contexts that apply are *Bureau of Lighthouses and the U.S. Lighthouse Service (1910-1939)*, and *Lighthouses under the U.S. Coast Guard (1939-present)*. The property type sections of the MPDF relating to this registration are *U.S. Lighthouse Construction Type – Non-Cast Iron Tower (Steel)*, and *Foundation Type – Crib Foundation*. Information and historic contexts available in the *Light Stations of the United States* MPDF are not repeated here. This submission emphasizes facts and details supporting the historical significance of Milwaukee Breakwater Light as an individual property.

The property's Great Lakes regional setting includes Lakes Ontario, Erie, Huron, Michigan and Superior, along with their connecting waters and the St. Lawrence River. This is one of the largest concentrations of fresh water on earth. It encompasses a waterway system having a total shore length of approximately 11,000 statute miles and a total water surface area of about 95,000 square miles. The property's local setting is characterized by a combination of natural features conducive to the development of commercial activity and maritime trade. These features include the confluence of the Milwaukee River with Lake Michigan, which connects with the other Great Lakes. The river mouth provides access from Lake Michigan's open waters to a sheltered area where vessels can load and unload cargo and passengers. This includes the lower Milwaukee River as well as two other connecting navigable waterways near its mouth, the Menomonee River and Kinnickinnic River. The area's combination of ample habitable shorelines and waterborne transportation routes made it unusually favorable for the development of settlement and trading.

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During late prehistoric times, the Milwaukee vicinity was inhabited by various American Indian groups including members of the Menominee, Potawatomi, and Ho-Chunk (Winnebago) tribes. Access to Lake Michigan and the area's three rivers provided opportunities for native groups to converge by canoe and meet for trade. The aboriginal name for this area, which is preserved in the place name "Milwaukee," means "pleasant land" or "gathering place." The indigenous use of this vicinity and its routes of access to interior lands were attractive to French Canadian fur traders during the seventeenth and eighteenth centuries when colonial exploration and commerce extended into the western Great Lakes.

Expansionist rivalry between the empires of France and Great Britain led to warfare during the 1760s that ended French colonial rule in Canada. Under British sovereignty, fur trading activity in the western Great Lakes region continued to grow over time. This included the 1785 establishment of the first trading post at Milwaukee by Alexis Laframboise. Shortly after this, the 1789 Treaty of Paris concluded the American Revolution. This treaty included transferring the Northwest Territory, which encompassed the Lake Michigan area, from British sovereignty to the United States of America. Even so, American settlement of the Milwaukee area did not begin to develop significantly until after the War of 1812 was concluded by the 1814 Treaty of Ghent, and lands in Wisconsin became available through treaties between the United States government and resident Native American groups.

The Great Lakes region's historic context was generally characterized by limited settlement and commercial development until the second quarter of the nineteenth century. These aspects began to expand tremendously following completion of the Erie Canal in 1825. This important commercial waterway linked Lake Erie at Buffalo, New York, with the port of New York City via the Hudson River. Its opening marked the beginning of a period of enormous growth in the Great Lakes Region's population, maritime traffic, and trade.

Another important man-made waterway, Canada's Welland Canal, opened in 1829. It provided the means for vessels to navigate between Lake Ontario and Lake Erie. The St. Mary's Falls Ship Canal (the Soo Locks) at Sault Sainte Marie, Michigan, opened in 1855. This provided for navigation between Lake Huron and Lake Superior, thus completing one of the last major links in the Great Lakes navigation system. With the opening of the St. Lawrence Seaway in 1959, Great Lakes navigation routes to the industrial and agricultural heartland of North America became accessible to deep-draft oceangoing vessels. In addition, barge and small craft traffic reaches the Great Lakes from the Gulf of Mexico via the Mississippi River and the Illinois Waterway, and also from the Hudson River by way of the New York State Barge Canal System.

Commerce grew rapidly in the Great Lakes region throughout the second half of the nineteenth century and into the twentieth century. The lumber industry accounted for a major part of the early development and expansion of marine traffic. Through time, development of iron ore production in Michigan's Upper Peninsula, northern Wisconsin and Minnesota, as well as grain from farms and flour from mills in the Midwest and northern Great Plains, furnished cargoes carried aboard vessels bound for the lower Great Lakes. These shipments corresponded with the heavy up-bound movement of coal and manufactured goods from ports in the lower lakes.

By 1910, the amount of goods shipped annually on the Great Lakes increased to 80 million tons. Most of this was bulk cargo such as iron ore and coal. Shipped freight tonnage reached a record of 217 million tons in 1948. The combined movement of lumber, grain, flour, iron ore and coal, together with limestone cargoes from the Lake Michigan area to centers of steel production, resulted in the greatest bulk freight marine commerce the world had ever seen.

The need for aids to navigation on the Great Lakes increased along with the expansion of shipping and settlement. Seven lighthouses were built in the region between 1818 and 1822, and 32 were completed during the 1830s. From 1841 to 1852, the U.S. Lighthouse Establishment added 33 new lights. Between 1852 and 1860, the total number of aids to navigation increased from 76 to 102. Another construction spurt occurred in the 1890s. By the beginning of the twentieth century, the Great Lakes had 334 major lighted aids, 67 fog signals, and 563 buoys.

United States Department of the Interior  
National Park Service

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| Milwaukee Breakwater Light               |
| Name of Property                         |
| Milwaukee County, Wisconsin              |
| County and State                         |
| Light Stations of the United States MPDF |
| Name of multiple listing (if applicable) |

National Register of Historic Places  
Continuation Sheet

ADDITIONAL DOCUMENTATION

Section number 8, continued Page 3

Several distinct designs or types of lighthouses emerged during the nineteenth century. Until 1870 or so, the most common design consisted of a wood, stone, or brick keeper's dwelling that exhibited the lighthouse's optic in a lantern on the roof or atop an attached square tower. By the 1870s, taller towers that were connected to a keeper's dwelling by an enclosed passageway became popular. From 1870 to around 1910, lighthouse engineers practiced and perfected the construction of light stations built on isolated islands and on crib structures placed atop submerged reefs and shoals.

Another widespread Great Lakes lighthouse type is the pierhead light, used for guiding vessels into harbors along the lake shores. In the region, pierhead lighthouses are most common on Lake Michigan. Such lights differ from East Coast lights that serve the same purpose in that they are constructed on piers that project from shore into the lakes, rather than being built on land. Nineteenth century and early twentieth century Great Lakes piers consisted of timber cribs which were floated into place and then filled with rocks and other material to sink them. A timber superstructure was then built above the water, including a wooden deck where pierhead lights were placed. These piers did not hold up well to harsh weather, ice, and fire hazards such as cinders from steamers and lightning. The older wooden piers were largely replaced by the U.S. Army Corps of Engineers between 1916 and 1930 using concrete caisson piers surrounded with steel sheet piling.

Early Great Lakes pierhead lighthouses were built of wood, which was a readily available local material. This was generally suitable because they had to be strong to withstand constant buffeting from wind, waves and vibrations, but light enough so as to not overstress the wooden piers that supported them. However, wooden lighthouses were problematic to maintain in the harsh Great Lakes marine environment. Beginning in the middle 1850s, wooden towers began to be replaced with towers built of cast iron. Metal construction was more suitable because it resisted deterioration and was inexpensive and water-tight. It was also lighter than brick or stone. Elevated walkways were frequently built along the piers to provide for safe access to the lights. These were configured as catwalks that stood above the waves washing over the pier, as well as above the several feet of ice that accumulated during winter. As piers were extended through time, many pierhead lighthouses were picked up and moved with the extensions. Great Lakes breakwater lights are closely related to pierhead lights, and are usually positioned at the head of a breakwater. Both of these lighthouse varieties are usually tower-like structures constructed of metal plates.

The timber crib design concept was also used for the construction of offshore lights in the Great Lakes region from the middle nineteenth century onwards. This involved assembling a rectangular crib on shore that included several open-top compartments and was tall enough to reach the water's surface at the lighthouse's designated offshore site. It was towed to a pre-determined offshore location and sunk using ballast at a position that had been previously leveled. Additional ballast and concrete were added to stabilize and strengthen the structure, and a concrete pier was then built on top. This pier often included one or more interior rooms and served as the lighthouse's basement. It was often used as an engine room for motors powering electrical generators and air compressors, as well as the lighthouse's heating plant. The pier included a top deck and supported the lighthouse's superstructure.

The superstructures of offshore lighthouses in the Great Lakes region also went through evolution in design and technology. The earlier ones were built of masonry using cut stone or brick. During the late nineteenth century, cast iron came into widespread use for U.S. lighthouses. These cast iron structures were commonly built from parts prefabricated to specification at a foundry and sent to the designated site as a kit for onsite assembly. The expansion of mass production steel mills in the United States from the early twentieth century onwards led to a decline in the cost of steel buildings. By the 1920s, the cost versus benefit ratio for fabricating a structure using steel instead of cast iron led to the adoption of steel as the preferred building material for lighthouses. This led to the construction of several offshore lighthouses with steel superstructures, including the Milwaukee Breakwater Light.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet

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| Milwaukee Breakwater Light               |
| Name of Property                         |
| Milwaukee County, Wisconsin              |
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| Name of multiple listing (if applicable) |

### ADDITIONAL DOCUMENTATION

Section number 8, continued Page 4

#### Milwaukee Breakwater Light Historic Context

In 1818, pioneer developer Solomon Juneau established a frontier settlement named Juneau's Side or Juneau Town on the east side of the Milwaukee River near its mouth. This attracted a number of settlers to the area, including one named Byron Kilbourn who established a second settlement named Kilbourntown on the river's western shore. A third settlement was established a short distance south along the Milwaukee River's west side in 1834 by George H. Walker. Its location came to be called Walker's Point. The three neighboring communities grew over time, reaching a population of 1,700 in 1840. They eventually merged and were incorporated as the City of Milwaukee in 1846.

Milwaukee grew tremendously during the remainder of the nineteenth century, becoming Wisconsin's principal commercial center. It became especially important in the processing and shipment of agricultural products, manufacturing, brewing, insurance, and financial services. The city's population reached 285,000 in 1900. From then to 1930, the number of residents doubled to more than 578,000. Much of this increase included large numbers of German and Polish immigrants, along with other European nationalities.

Maritime commerce was important to the early growth of Milwaukee and became an essential aspect of its economic expansion through time. The first commercial cargo vessel entered the port in 1835, and the number of vessels calling there increased steadily in the years that followed. While the Milwaukee River's confluence with Lake Michigan provided access for vessels, its natural channel was curved instead of straight and there was a sand bar offshore of the river's mouth. These factors restricted the size of vessels that could enter and depart.

In 1843, local commercial interests first petitioned the Federal government for aid to improve navigation in the area. In 1852, the U.S. Congress finally approved an appropriation to fund such work. This led to a harbor improvement project directed by the U.S. Army Corps of Engineers (USACE) that began in 1857. It included excavating a channel connecting the Milwaukee River with Lake Michigan. This new, straight channel was located one-half mile north of the Milwaukee River's natural mouth and included wooden piers on either side to stabilize it. In conjunction with this, the U.S. Lighthouse Establishment built a light tower to mark the north pier for mariners. It included a one-story skeletal framework supporting a second story enclosed service room, and was topped with a lantern. This Federal aid to navigation was designated Milwaukee Pierhead Light.

In 1881, Congress authorized the creation of a Harbor of Refuge at Milwaukee to provide a protected offshore anchorage where vessels could find shelter during inclement weather or while waiting to enter the port. This project included construction of a breakwater in Lake Michigan that would extend southward from approximately 1.5 miles north-northeast of the Milwaukee Pierhead Light. The northern section of this breakwater was completed by 1896. Another section extending approximately one mile farther south was completed by 1904. Its southern terminus was originally marked by an unmanned two-light (red above white) navigational aid. This signal was changed to a flashing red light by 1912.

Other harbor improvement projects at Milwaukee during the late nineteenth century and early twentieth century included rebuilding and lengthening the north and south piers at the river mouth, and establishing a fog signal station near the head of the north pier. The original Milwaukee Pierhead Light was replaced in 1906 by a pair of range lights. Mariners approaching the port would orient their vessels so that the range lights aligned and provided a guide for identifying the entrance channel's axis. The front light of this range was a conical cast iron tower with a circular lantern equipped with a fourth order Fresnel lens. The inner range light was a taller light tower atop the north pier nearer to shore. The inner range light was discontinued and dismantled in 1926. The 1906 outer range lighthouse remains in operation today as Milwaukee Pierhead Light.



United States Department of the Interior  
National Park Service

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| Milwaukee Breakwater Light               |
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## National Register of Historic Places Continuation Sheet

### ADDITIONAL DOCUMENTATION

Section number 8, continued Page 5

During the 1910s, additional improvements to Milwaukee Harbor were proposed to Congress. This included a USACE plan for a complex of breakwaters at Milwaukee that would extend the Harbor of Refuge breakwater southward. The proposed project was to be approximately four miles long overall when completed and include multiple entries to the port. Its principal entry was to be located directly east of the Milwaukee River mouth. Work to complete this project was approved by Congress in 1922. The first section built was a dogleg breakwater extending southeast from the Harbor of Refuge, terminating at the north side of the proposed principal entry to the port. Work on the breakwater south of the entry began later. The Milwaukee breakwaters project was finally completed in 1930 at a total cost of \$6,250,000.

The U.S. Bureau of Lighthouses was responsible for establishing and operating aids to navigation along the Milwaukee breakwaters. This included constructing a lighthouse at the north breakwater's new southern end to mark the entry to Milwaukee Harbor. The Bureau decided to build this structure using a crib and pier foundation surmounted by a steel superstructure. The new lighthouse was constructed in 1926. This included removing the lantern and fourth order Fresnel lens from the 1906 Milwaukee Pierhead Light and installing it atop the new breakwater light. A decagonal lantern and a fifth order Fresnel lens were installed atop the Milwaukee Pierhead Light in their place. An underwater electrical cable extending from the Milwaukee harbor north pier to the offshore breakwater lighthouse was also installed.

When Milwaukee Breakwater Light was officially established in 1926, its fourth order Fresnel lens optic had a 61-foot focal plane and signaled a red flash that was visible for 14 miles in clear weather. It was originally operated by a resident crew of four keepers employed by the U.S. Lighthouse Service. After the Bureau of Lighthouses merged with the U.S. Coast Guard in 1939, Coast Guard personnel were assigned as keepers. The lighthouse was manned until 1966 when it was automated.

The Milwaukee Breakwater Light's fourth order Fresnel lens was replaced with a modern beacon in 1994. This Fresnel lens is presently on display at the Wisconsin Maritime Museum in Manitowoc, Wisconsin. The lighthouse's existing optic is a modern, automated VRB-25 marine beacon that signals a red flash every ten seconds. It is visible for 14 miles in clear weather. The lighthouse's fog signal was also upgraded through time and is now a modern automated device mounted on the lantern gallery. It sounds two blasts every 20 seconds and operates from April to November. Electrical power is still supplied to the lighthouse using a submarine cable, and a large rectangular sign reading "U.S. Coast Guard Cable Crossing Do Not Anchor" is affixed to the lighthouse's southwestern side.

Today, Milwaukee Breakwater Light remains standing in its original location at the south end of the harbor's north breakwater. It is floodlighted every night from sunset to sunrise. The lighthouse's basic structure, appearance, and setting remain essentially unchanged from the property's 1926 to 1966 period of historical significance. It continues to fulfill its original role of aiding mariners by marking the entry to the port of Milwaukee and providing a guide for vessels entering the harbor from Lake Michigan. This lighthouse is widely recognized as a prominent landmark in the Milwaukee County vicinity. It serves as a lasting reminder of the City of Milwaukee's historical role as one of Lake Michigan's most important commercial ports.

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet

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| Milwaukee Breakwater Light                                   |
| Name of Property<br>Milwaukee County, Wisconsin              |
| County and State<br>Light Stations of the United States MPDF |
| Name of multiple listing (if applicable)                     |

### ADDITIONAL DOCUMENTATION

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United States Department of the Interior  
National Park Service

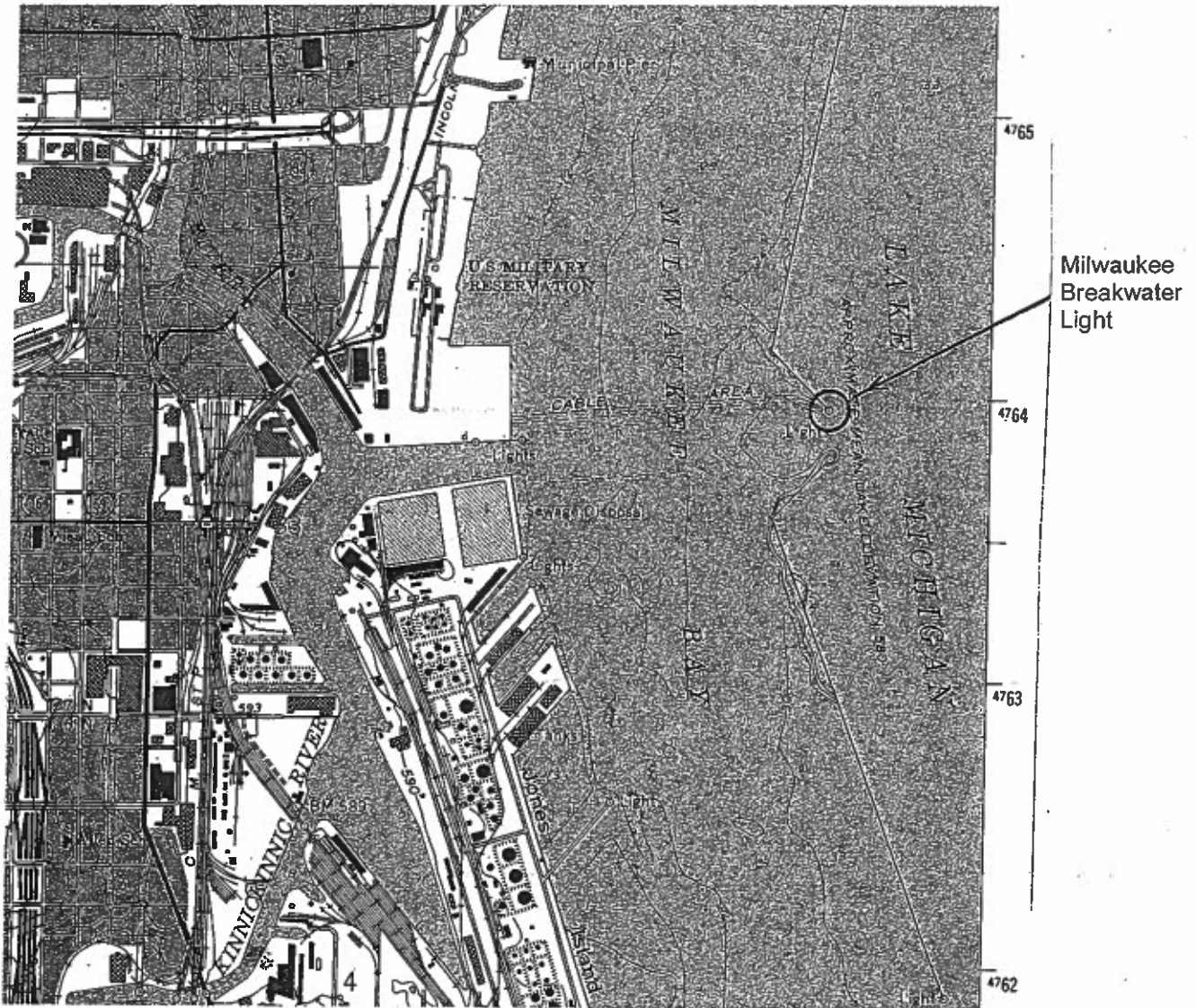
# National Register of Historic Places Continuation Sheet

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| Milwaukee Breakwater Light               |
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| Light Stations of the United States MPDF |
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## ADDITIONAL DOCUMENTATION

### Location Map

This is part of the *Milwaukee, Wis.* 7.5 minute series quadrangle topographic map (U.S. Geological Survey 1958, photorevised 1971).



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National Park Service

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| Milwaukee Breakwater Light               |
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### National Register of Historic Places Continuation Sheet

#### ADDITIONAL DOCUMENTATION

##### Photographs

The following information is common to these photographs:

Name of Property: Milwaukee Breakwater Light  
 Location: Milwaukee County, Wisconsin  
 Photographer: Timothy McGrath  
 Date: September 2005  
 Location of original negative: U.S. Coast Guard Historian's Office,  
 U.S. Coast Guard Headquarters, Washington, DC.

Photograph  
Number

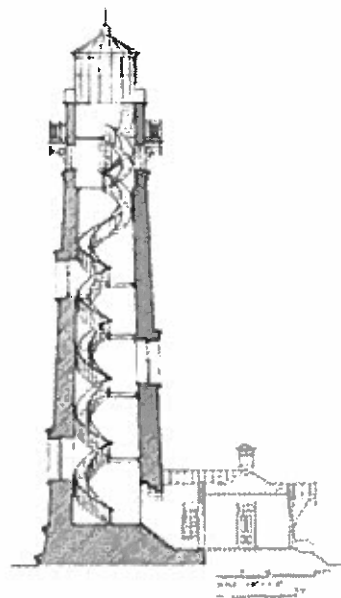
Description

1. Lighthouse northwest and southwest elevations, looking east from shore.
2. Southwest façade with light tower in center, looking upward towards northeast.
3. Concrete pier interior, lighthouse basement equipment room, looking south.
4. Keepers dwelling second story interior, northwest bay, southwest room, looking west.
5. Tower fourth story watch room, descending stairway on left, ladder to lantern room in center, looking north.
6. Lantern room interior, door to gallery on left, modern beacon in center, looking northwest.
7. Lantern gallery with lantern on left, fog signal on gallery deck, breakwater and Milwaukee skyline in rear, looking northwest.

## National Historic Lighthouse Preservation Act of 2000

[Back to Lighthouse Heritage](#)

[Background | Agency Roles in Process](#)  
[History of Program to Date | Further Information on the Program](#)  
[Available Lighthouses | NHLPA Monitoring Reports | Reference Material](#)  
[What's New](#)



## BACKGROUND

The National Historic Lighthouse Preservation Act of 2000 (NHLPA), 16 U.S.C. § 470w-7, an amendment to the National Historic Preservation Act of 1966, as amended, provides a mechanism for the disposal of federally-owned historic light stations.

NHLPA recognizes the cultural, recreational, and educational value associated with historic light station properties by allowing these to be transferred at no cost to federal agencies, state and local governments, nonprofit corporations, educational agencies, and community development organizations. These entities must agree to comply with conditions set forth in NHLPA, and be financially able to maintain the historic light

station. The eligible entity to which the historic light station is conveyed must make the station available for education, park, recreation, cultural or historic preservation purposes for the general public at reasonable times and under reasonable conditions.

Only those light stations that are listed, or determined eligible for listing, in the National Register of Historic Places, can be conveyed under this program. The nomination for listing, or determination of eligibility, is prepared by the USCG following guidelines set forth in 36 CFR 60.9(c) and 36 CFR 63 respectively, as part of their responsibilities prior to the property being transferred to the GSA inventory for disposal. Light stations that are not eligible for listing will be disposed of through other processes.

Prior to the NHLPA, historic lighthouses could be transferred to state or local agencies through the [National Park Service's Historic Surplus Property Program](#) or the [Federal Lands to Parks Program](#).

## AGENCY ROLES IN PROCESS

Administering NHLPA involves several federal and state agencies that play different roles in transferring surplus historic light stations to new owners:

- The U.S. Coast Guard (USCG), and other federal agencies, identify and report historic light stations to be excessed through the NHLPA process. These agencies also make available condition reports,



maintenance records and related documentation on these properties to the other agencies involved in the process as well as to prospective applicants.

- The General Services Administration (GSA) issues Notices of Availability (NOA) on historic light stations available for transfer, and works with the USCG to arrange open houses at the properties. In addition, GSA initiates Section 106 review with State Historic Preservation Officers, conducts environmental reviews in compliance with the National Environmental Policy Act (NEPA) and the Coastal Zone Management Act as applicable, and develops and executes conveyance documents. In the event that no applicant is approved to receive the historic light station, GSA may sell the property in accordance with procedures outlined in NHLPA (16 U.S.C. § 470w-8; Sec. 309).
- The National Park Service (NPS) of the Department of the Interior, acting on behalf of the Secretary of the Interior (Secretary), provides applications to interested parties, and reviews and evaluates submitted applications. The Secretary recommends a single suitable applicant to GSA or indicates that no suitable applicant was found.
- The State Historic Preservation Officers (SHPO) are consulted during the review of applications (16 U.S.C. § 470w-8; Sec. 308(b)(2)) and after the transfer of ownership takes place (16 U.S.C. § 470w-8; Sec. 308(c)(1)(D)).

#### HISTORY OF PROGRAM TO DATE

Through the NHLPA Program, nine historic light stations were excessed during the pilot phase in Fall 2001 and nineteen were excessed during the national phase in Fall 2002. Of these twenty-eight light stations, the NPS has recommended that twenty be transferred to new owners including other federal agencies, state and local governments, and nonprofit organizations.

The "pilot" and "national" phases of the program were managed by the NPS Maritime Heritage Program in Washington, DC. The program was transferred to the NPS regional offices on April 29, 2004.

General questions regarding the program should be addressed to [NPS\\_MaritimeHeritage@nps.gov](mailto:NPS_MaritimeHeritage@nps.gov)

To sign up to receive electronic updates on the NHLPA program see the [GSA Office of Property Disposal](#) web site.

#### Further Information:

- [The NHLPA Program at a Glance](#)
- [Full text of legislation](#)
- [Flow chart of process](#)
- [Current Application Criteria](#)
- [NPS and GSA Regional Contacts](#)
- [Application to Obtain Historic Light Station Property](#) (pdf 1195 kb)
- [Fresnel Lense Guidelines](#)
- [2009 Program Report](#)

#### Available Lighthouses :





- [2011 Program \(including Notices of Availability\)](#)
- [2010 Program \(including Notices of Availability\)](#)
- [2009 Program \(including Notices of Availability\)](#)
- [2008 Program \(including Notices of Availability\)](#)
- [2007 Program](#)
- [2006 Program](#)
- [2005 Program](#)
- [2004 Program](#)
- [Fall 2002 \(National Pilot Program\)](#)
- [Fall 2001 \(National Pilot Program\)](#)
- [Press Releases on NHLPA Pilot Program and National Pilot Program](#)

#### Monitoring Reports:

Under NHLPA, lighthouse recipients are required submit detailed annual reports to the National Park Service. These reports outline the recipients' activities and include information about maintenance/preservation, finances, and other issues or problems.

While each light station is unique and presents its own challenges, there are many issues that are common for all stewards. Posted on this page are monitoring reports from NHLPA light station recipients. The reports are presented as searchable pdf documents, to make it easier for anyone to research specific problems or solutions.

Click to view the [NHLPA monitoring reports](#).

#### Reference Material:

- [Historic Lighthouse Preservation Handbook](#)
- [Secretary of the Interior's "Standards for the Treatment of Historic Properties"](#)
- [NPS "Preservation Briefs"](#)
- [National Register of Historic Places](#)
- [Listing of State Historic Preservation Offices](#)

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HISTORIC PRESERVATION COMMISSION  
STAFF REPORT

HPC Meeting Date: 07/25/2011  
Ald. Robert Bauman  
Staff Reviewer: Carlen Hatala

PROPERTY

Milwaukee Breakwater Light  
Offshore at South end of North Breakwater  
0.7 mile East of Milwaukee River mouth

OWNER/APPLICANT

United States Coast Guard  
2100 Second Street SW  
Washington, DC 20593

PROPOSAL

Certified Local Government Review of the National Register Nomination for the Milwaukee Breakwater Light

STAFF COMMENTS

The National Historic Lighthouse Preservation Act of 2000 provides a mechanism for the disposal of federally-owned historic light stations. As part of the process, the light stations are being evaluated for National Register eligibility. The Milwaukee Breakwater Light is determined potentially eligible for National Register listing. As a Certified Local Government, Milwaukee's HPC is required to either support or not support the nomination and forward their decision to the United States Coast Guard. The building is a unique structure and has been a visual landmark on the lakefront since its construction in 1926. It has had very few changes to either its interior or exterior.

STAFF RECOMMENDATION

Recommend that HPC support the nomination.

**MILWAUKEE HISTORIC PRESERVATION COMMISSION**

**BY-LAWS & PROCEDURES**

## INTRODUCTION

The Milwaukee Historic Preservation Commission researches, conducts public hearings, and recommends to the Common Council that sites, structures, and districts be historically designated in accordance with the provisions of s. 320-21 of the Milwaukee Code of Ordinances. Once designated, the Commission oversees proposed exterior changes to designated properties through the Certification of Appropriateness process. The Commission's concern in reviewing applications for a Certificate of Appropriateness is the preservation and enhancement of those features that caused the site, structure or area to be designated.

When the Commission has found the proposed work to be appropriate, a Certificate of Appropriateness is granted. The applicant can then apply for a building permit. If, however, the proposed work is determined to be inappropriate, the Commission and staff attempt to resolve, as quickly and equitably as possible, the differences between the objectives of the owner and the goals of the Commission.

The Commission views each building, site or historic district as a unique whole that is the product of the sum of its individual parts. For this reason, all exterior alterations and new construction are deemed to affect the architectural character of the designated property and all are subject to the review process. In the interest of better defining how the Commission operates, the Commission has developed the following Procedures and By-Laws.

**MILWAUKEE HISTORIC PRESERVATION COMMISSION**

**BY-LAWS**

**ARTICLE 1**

**THE COMMISSION**

**Section 1. Commission Records**

The records of the Commission shall be maintained by the office of the City Clerk.

## **ARTICLE II**

### **OFFICERS**

#### **Section 1. Chair**

The Chair shall, whenever possible, preside at meetings and legally required public hearings of the Commission and shall perform such duties as are customarily exercised by a presiding officer. In addition, the Chair may appoint general or special committees if and when the occasion requires. The Chair may not serve successive terms.

#### **Section 2. Vice-Chair**

The Vice-Chair shall perform all of the duties of the Chair in the absence or incapacity of the Chair. In case of resignation, removal or death of the Chair, the Vice-Chair shall succeed to the duties of the Chair for the balance of the term for which the Chair was elected. The Commission may select an acting chair to perform the duties of the Chair under these conditions: (a) in the absence of the Chair and Vice-Chair during meetings; or (b) upon resignation of both Chair and Vice-Chair. The Vice-Chair shall succeed to the Chair at the expiration of the Chair's term.

#### **Section 3. Election of Officers**

The Vice-Chair shall be elected during the first meeting in January. The term of office for both the Chair and Vice-Chair shall be one year which shall be calculated from date of the meeting at which he or she is elected.

## ARTICLE III

### MEETINGS

#### **Section 1. Regular Meetings**

Regular meetings shall be scheduled at least once a month. The Commission shall hold its regular meetings at such times and places as determined by the Commission. The Chair or majority of the members of the Commission may, at least 24 hours prior, decide to change the location or starting time of a regular meeting.

#### **Section 2. Special Meetings**

The Chair of the Commission may call a special meeting, provided 48-hours' notice of the time and subject matter of the meeting is given to the office of the City Clerk. If a majority of members request of the office of the City Clerk in writing that a special meeting be called, such meeting shall be called, provided 48-hours' notice of the time and subject matter of the meeting is given.

#### **Section 3. Quorum**

At all meetings of the Commission, the continued presence of a majority of the members then serving shall constitute a quorum for the purpose of transacting business; provided, however, that a smaller number of Commissioners may meet as a Committee for consideration of Commission matters. Such matters shall be reconsidered when a quorum is attained.

#### **Section 4. Voting**

A simple majority of all voting members shall be required for any motion to win approval. Commission members shall abstain from voting during the consideration of any issue if such vote could reasonably be construed as creating a conflict of interest. In any case where a vote of the Commission does not result in a dispositive action, the application will automatically be re-docketed and heard at the next regularly scheduled hearing of the Commission.

#### **Section 5. Attendance**

Appointed Commissioners shall attend the regularly scheduled meetings of the Commission. Commissioners may not have more than three excused or one unexcused absence in a calendar year. Commissioners in violation of this section may be removed from office following a hearing and a two-thirds vote of the Commission.



# Milwaukee Historic Preservation Commission

## Procedures

### Section 1. Agenda Deadline

All requests to be placed on the Commission agenda shall be received by the office of the City Clerk no later than 12:00 noon, 12 working days before the next scheduled meeting. All requests shall be in form as approved by the Commission. Commission staff shall determine whether or not submissions are complete and in proper form.

### Section 2. Order of Business

At the regular meetings of the Commission, the following shall be the order of business, and unless otherwise provided for, with respect to the procedure at meetings, *Roberts Rules of Order, Newly Revised* shall apply:

1. Roll Call
2. Approval of minutes of previous meetings
3. Old Business
4. New Business
5. Staff report
6. Adjournment

### Section 3. Sign-in Policy

Members of the public who wish to speak on agenda items shall register and complete the appropriate form. Sign in shall be allowed up to the time of discussion for each agenda item.

### Section 4. Procedure for Consideration of Individual Agenda Issues

Agenda items shall be considered in the following manner:

1. Presentation by staff of its report and recommendation
2. Discussion of the staff report by Commission members
3. Presentations by proponents of the issue
4. Presentations by opponents of the issue
5. Discussion of the issue by Commission members
6. Decision to approve, deny, conditionally approve or continue this issue.

### Section 5. Definitions

#### 1. ELEVATION

A drawing showing the elements of a building as seen in a vertical plane.

2. FOOTPRINT

The outline of a building on land.

3. NEW CONSTRUCTION

Any work undertaken on a new building or structure is considered new construction.

4. PLAN

A drawing illustrating the elements of a building as seen in a horizontal plane.

5. STREETSCAPE

A view or picture of the street setting depicting the proposed or existing building in relationship to other buildings on the street.

*(N.B.: Other important definitions may be found in s. 320-21 of the Milwaukee Code of Ordinances.)*

**Section 6. Historic Designation Applications**

1. NOMINATION PROCEDURES

- A. Staff shall review all applications for historic designation for accuracy and completeness and prepare a written recommendation for the Commission as to whether or not the application appears to satisfy the criteria for designation. If the application is deficient, the staff shall contact the applicant and attempt to correct the deficiencies before presenting the application to the Commission.
- B. The Commission shall process all applications for designation in the order received. If two or more applications are received on the same property, the first received at the offices of the staff shall be the recognized application. The Commission does not designate sponsors, nor does it favor any group over another. The interest of all groups and individuals is invited as the Commission proceeds in considering the merit of a designation.

2. COMMISSION REVIEW OF APPLICATIONS

- A. When practical, Commission review shall include a presentation depicting the site and its environs. During this initial review of an application, the Commission shall not take testimony on the application from anyone other than its staff. It shall confine its deliberations to whether or not the nomination satisfies any of the designation criteria contained in s. 320-21 of the Milwaukee Code of Ordinances. After consideration, the Commission shall vote to either:
  - (1) Recommend that the staff schedule the site for a public hearing and prepare preservation guidelines; or

- (2) Request that the petitioner amend the request or provide additional information; or
- (3) Table the petition for consideration at a later date; or
- (4) Deny the petition.

Written notification of the action of the Commission shall be transmitted to the applicant and owner.

- B. If the Commission determines that a nomination satisfies at least one criteria of significance, a public hearing will be scheduled in compliance with the provisions of the ordinance. Notification shall include a copy of the Historic Designation Study Report. The Historic Designation Study Report shall be available for public scrutiny at the offices of the staff of the Historic Preservation Commission or by mail upon individual request.

## **Section 7. Certificate of Appropriateness**

### **1. GENERAL PROCESS**

- A. In general, the process for applying for a Certificate of Appropriateness shall be as set forth in s. 320-21-11 of the Milwaukee Code of Ordinances.

### **2. DOCUMENTATION.**

- A. Applications for Certificate of Appropriateness must be fully documented to allow for proper and speedy review. Applicants not meeting this criterion will be returned to the applicant with a list of items requiring additional documentation. Only fully documented applications will be scheduled for review. All documents submitted to the Commission as part of applications shall become records of the Commission. Work not administratively approved by the commission staff shall be submitted to the Commission for review.

#### **B. Documentation Required for New Construction Applications**

- (1) Site plan or measured drawing indicating the following:
  - a. Location of existing structures, driveways, curb cuts, property lines, right-of-ways, existing planting materials and size; and other pertinent information, including but not limited to lot and parcel number, existing zoning, existing variances and easements.
  - b. Proposed building footprint with dimensions relative to property lines, right-of-ways, and building setbacks; demolition or removal of site features and the construction of new site features including new parking

and driveways, utilities, planting and landscaping, sidewalks and patios, mechanical equipment, and other appurtenances.

- (2). Photographs showing:
  - a. Streetscape.
  - b. Individual views of the building immediately adjacent to and across the street and across the alley, if appropriate.
  
- (3) Building elevations:
  - a. Design of all elevations
  - b. Vertical dimensions, grade lines, depth of foundation and roof slopes.
  - c. Fenestration and entrances to buildings indicating types of operation, dimensions and materials.
  - d. Porch configuration.
  - e. All mechanical vents and equipment.
  - f. Location and type of outdoor light fixtures.
  - g. Proposed materials of walls, roofs, chimney flues, gutters and downspouts, exterior stairs and all other exterior features.
  
- (4) Plan and Elevation of Streetscape drawn to scale, depicting the footprint of buildings on the block and the elevation of the street façade of the proposed new construction and a minimum of two existing buildings on each side of the proposed site. If the site is a corner location, then the streetscape drawing shall depict the buildings adjacent to the site on both sides of the street.
  
- (5) Floor Plans depicting the arrangement of interior spaces, location of windows and doors, mechanical equipment, and electrical and other utility service access. Floor plans do not need to be ready-for-bid construction documents, but they need to indicate dimension.
  
- (6) Materials Specification Outline with samples, brochures, or photographs of all exterior materials, finishes and fixtures.
  
- (7) Narrative Describing the Project including: its intended use; density of development; pertinent marketing facts, if applicable; and anticipated date of construction and completion.
  
- (8) Phased Development Plan, if applicable. Documentation shall include items 1 through 7 in addition to a construction development schedule and final

construction documents for each phase to be submitted prior to commencing work.

a. Prior to commencing work on each phase, staff shall review the proposed construction.

(9) Minimum Submission Requirements: A minimum of one copy of the following documents shall be submitted with the application:

a. Elevation of streetscape, when applicable.

b. Site plan.

c. Building elevations and floor plans.

d. Materials specifications outline.

e. Phased development plan, when applicable..

#### C. Documentation Required for Rehabilitation of Existing Structure Application

The following requirements apply to those items of work in a rehabilitation project that constitute a change in the present exterior appearance of a property.

All applications require photographs of the building elevations depicting the existing features of the structure. Photographs shall be a minimum of 3" x 5" and shall be labeled to indicate location and photo direction.

(1) Change to siding or trim of a building

a. Drawings of proposed changes indicating dimensions, configuration, type of materials and where these are to be applied, for siding, indicate the area (square feet) of the siding to be replaced. One copy is required.

b. Written description of proposed work indicating the condition of existing materials or method of installation for new work.

c. Material samples.

(2) Changes to roofing materials, gutters or downspouts

a. Written description of gutter system (whether box, roof mounted, hung, fascia-mounted, or other type), indicating type of material, size and finish; description of downspouts (round, square or rectangular), indicating type of material, size and finish.

b. Written description of proposed replacement gutter or downspouts (type, size, material and finish).

- c. Detail drawings if the proposed system is a modification or change from the existing system. Two copies are required.
- (3) Structural alterations (remodeling, new additions, new porches)
- a. Photographs of each side of the building, depicting existing conditions.
  - b. Site plan drawn to scale showing the building footprint, location of proposed addition or porch to be built or removed, location of all existing bushes as well as trees more than 6” in diameter, identified according to species (common name), location of existing sidewalks and material and dimensions, and location of garages and other buildings. One copy is required.
  - c. Floor plan and elevations for new additions or porches, showing dimensions and location of columns, windows, doors, vents, railings, steps, materials and finishes. One copy is required.
  - d. Samples and brochures of roofing and siding showing the color; brochures or photographs of new windows, doors, light fixtures, hardware, skylights, ventilators and other fixtures or equipment, as applicable.
- (4) Removal of significant existing additions, porches or features
- a. Photographs of each side of the building depicting existing conditions.
  - b. Site plan drawn to scale showing the building footprint and the relationship of the feature or architectural element to the main structure and the property lines. One copy is required.
  - c. Written statement indicating the date of construction of the feature with supporting evidence.
  - d. Description of the structural system, if applicable, and the material components, as well as its physical dimensions.
  - e. Description of its present use.
  - f. Written statement giving the reasons for the proposed removal of architectural elements or features.
  - g. Additional supporting materials and substantiating documentation may be required as per subsection C.
- (5) New landscaping and fixtures or changes to existing landscape

- a. Site plan drawn to scale showing location of the footprints of the main structure and existing out-buildings with respect to property lines; all existing trees of more than six inches in diameter; all bushes identified according to species (common name); and all existing and proposed sidewalks, fences, fountains, and other appurtenances. One copy is required.
- b. Elevation and detail drawings indicating dimensions of all proposed site fixtures including fences, fountains, gazebos, play equipment, retaining walls, paving, and other appurtenances. Brochures and photographs of equipment or manufactured fixtures may be submitted in lieu of measured drawings; manufacturer and item model number or designation must be included. One copy is required.
- c. List of all proposed planting materials indicating their size at the time of installation and at their maturity.

D. Documentation Required for Demolition of Structures

- (1) Photographs of all sides of the building or structure for which demolition is proposed. Photographs shall be 3" x 5" minimum format and shall be labeled to identify location and photo direction.
- (2) An inspection report certified by a registered architect, professional engineer, or a building official of the city, affirming the structural condition of the building.
- (3) Proof of economic hardship or insubstantial effect, if required.

E. Documentation Required for Sign Applications

- (1) Drawing indicating the dimensions, materials and configuration of the proposed sign; style and size of lettering; sample of colors to be utilized; and, mounting height.
- (2) Site plan showing the relationship of the proposed sign to the building and the property lines, when free standing.
- (3) Photograph of building façade if sign is to be affixed to the structure, indicating mounting height and method of installation. Photographs shall be 3" x 5" format and shall be labeled to identify location and photo direction.

A minimum of one copy of the required documentation shall be submitted.

F. Documentation Required for Moving Structures to an Historic Area

- (1) Photographs showing:

- a. Each side of the structure or building at is present site and a general view of its surroundings that will include the adjacent buildings.
- b. The front of the proposed new site that will include at least two of the adjacent buildings or sites.

Photographs shall be 3” x 5” minimum format and shall be labeled to identify location and photo direction.

- (2) Historic profile of the building to be moved that includes: the date of construction, if known; a chronology of ownership; real estate transactions associated with the property (i.e., chain of title); and other pertinent documentation about the architect, owners or events associated with it.
- (3) Site plan of the proposed new site indicating the location and dimension of the property lines with respect to any existing right-of-ways, of any utility easements and of building setbacks. A footprint of the building at its proposed location must also be included on the site plan.
- (4) Legal description of the new site.
- (5) A copy of any deed restrictions or covenants on the property and improvements, existing or to be attached to it as a condition for the relocation of the building.
- (6) Comprehensive scope of the work for the moving operation and the rehabilitation of the building once relocated indicating materials, exterior finishes, modifications if any, and a projected schedule.
- (7) Floor plans and elevation if modifications or additions are to be made.
- (8) Explanation of why the building must be moved.
- (9) Statement explaining the intended use of the property.
- (10) Minimum Submission Requirements  
A minimum of one set of the following documents shall be submitted with the application:
  - a. Site plan.
  - b. Comprehensive scope of work.
  - c. Floor plans and elevations, if applicable.
  - d. Explanation of why the building must be moved.



3. STAFF REVIEW OF CERTIFICATES OF APPROPRIATENESS

A. The staff shall review the Certificate of Appropriateness Application for accuracy and completeness. If the application is deficient, the staff shall contact the applicant and attempt to correct the deficiencies before presenting the application to the Commission. Certain applications for Certificate of Appropriateness may be reviewed and approved by staff without prior review of the Commission. Staff shall be guided by the Design Guidelines for the site and the provisions of s. 320-21 of the Milwaukee Code of Ordinances when reviewing Certificate of Appropriateness applications. In any case where staff finds the proposed work to be inappropriate and no agreement can be reached with the applicant to modify the work to bring it into conformity with the design standards for the property, the applicant shall be submitted to the Commission for review. The following types of alterations may be approved by staff without Commission review:

- (1) Roofing where the proposed action is to replace or repair in kind or to replace a non-historic roofing material with a different type of roofing. This includes gutter and downspout, chimney, flashing and venting repair and replacement in kind.
- (2) Fences and retaining walls, landscaping and site restoration.
- (3) Paving for driveways, sidewalks and walkways.
- (4) Mechanical systems (air conditioners, side wall vent pipes, etc.) not visible from the public right-of-way.
- (5) Window and door unit replacement within existing openings.
- (6) Siding and masonry repairs and minor carpentry where materials are being replaced or repaired in kind.
- (7) Porch guard rails, decking, skirting and Americans with Disabilities Act compliant ramps.
- (8) Signage, awnings and canopies on all commercial structures and properties.

4. COMMISSION REVIEW OF CERTIFICATES OF APPROPRIATENESS

- A. In general, the procedure for Commission review of Certificates of Appropriateness shall be as set forth in s. 320-21-11-b of the Milwaukee Code of Ordinances.
- B. The Commission may direct issuance of a Certificate of Appropriateness, without scheduling a public hearing, conditioned upon the applicant's express written agreement to make specified changes in the project necessary to bring it into conformity with the design guidelines or to submit revised plans, material samples, or other information.

*Adopted with revision July 25, 2011*



Legislation Details (With Text)

**File #:** 110222      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/6/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new roof at 2616 N. Lake Drive for Alexander Kempe.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/6/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110222  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new roof at 2616 N. Lake Drive for Alexander Kempe.

Requestor

Drafter  
CC-CC  
dkf  
6/6/11



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

North Point North Historic District

**ADDRESS OF PROPERTY:**

2616 N. Lake Drive

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Alexander Kempe

Address: 2616 N. Lake Drive

City: Milwaukee

State: WI

ZIP 53211

Email:

Telephone number (area code & number) Daytime: 414-967-1589

Evening:

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): same

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

[Empty box for describing existing features]

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Tear off existing shingles. Install new architectural shingles, Timberline brand, in a mid-tone color. Install new membrane material on flat roof as needed. No other existing features will be altered or removed. Existing gutters to remain.

SLATE  
COLOR  
O.K.  
P.D.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

*Louise Kempe*  
Signature

*Louise Kempe* *6/3/2011*  
Print or type name Date

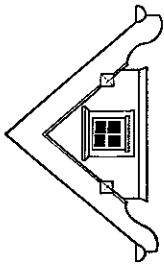
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Alexander Kempe, owner**

**2616 N. LAKE DR., North Point North Historic District**

**Description of work** Install new architectural shingle, Timberline brand roofing shingles. Install new membrane roof on flat roof, which is not visible from the street

**Date issued** 6/3/2011

PTS ID 72934 COA, flat and shingle roofs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Any box style roof vents should be kept on the slopes of the roof that are not visible from the street. A continuous ridge vent can be installed if feasible. Shingle color will be in a mid-tone range (no light brown, all black, white, or other light colors). No dormers, chimneys, moldings or gutters will be altered or removed. Roof pitches will remain as they exist. Timberline Natural Shadow line of shingles should be used. *OR High Definition.*

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Legislation Details (With Text)

**File #:** 110223      **Version:** 0  
**Type:** Resolution      **Status:** In Committee  
**File created:** 6/6/2011      **In control:** HISTORIC PRESERVATION COMMISSION  
**On agenda:**      **Final action:**  
**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of new windows and doors at Townsend Street School, 3360 N. Sherman Blvd. for the Milwaukee Public Schools.  
**Sponsors:** THE CHAIR  
**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, MILWAUKEE PUBLIC SCHOOLS  
**Attachments:** Application

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/6/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

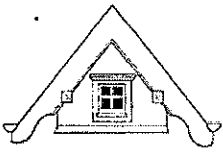
Number  
110223  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of new windows and doors at Townsend Street School, 3360 N. Sherman Blvd. for the Milwaukee Public Schools.

Requestor

Drafter  
CC-CC  
dkf  
6/6/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Townsend Street School

**ADDRESS OF PROPERTY:**

3360 North Sherman Boulevard

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Milwaukee Public Schools - Division of Facilities and Maintenance Services

Address: 1124 N. Vliet Street

City: Milwaukee

State: WI

ZIP 53233

Email: linnja@milwaukee.k12.wi.us

Telephone number (area code & number) Daytime: (414) 283-4703

Evening: (414) 771-9865

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

All existing wood framed windows are to have the sashes removed. The windows are the original units that were installed when the school was constructed in 1928, and are in poor condition. The existing windows and frames have tested positive for lead paint, and the caulking at the frames have tested positive for asbestos containing material (ACM). The existing exterior doors (both wood and metal) are also to be removed. A number of the existing doors have been replaced or modified and are not the original doors. The door frames shall remain in some cases, while those that are damaged and deteriorated will be removed. The transoms above the doors shall also be removed. The chain link security screens shall be removed from all locations.

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_


B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Window frames shall be covered with aluminum framing, and new aluminum sashes to be provided, with new aluminum panning and trim at sills. Aluminum to be prefinished in color to match existing windows and frames. Sashes to be double-hung or fixed, to match existing operation. All windows at grade, first, and second floor to have stainless steel screens installed, for security and insect protection. Screen frames to be prefinished to match windows. Existing door frames to be covered with aluminum and new frames to be hollow metal. New fiberglass reinforced polyester (FRP) doors to be provided, with glazed lites to match existing openings. Doors and frames to be finished in dark bronze color, to match existing. New transoms to be provided in aluminum framing, to match existing appearance. Clear, non-tinted insulated glass to be used at all doors and windows. At fan/exhaust locations at windows, insulated metal blank-off panels will be provided in affected sashes. New hardware shall be provided for doors, to match existing operations. Former openings that were previously closed up with masonry will not be re-opened, however, existing transite window panels will be removed and replaced with glass.

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

  
Signature

Jan A. Linn  
Print or type name

4/5/10  
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver Form to:  
Historic Preservation Division  
Department of City Development  
809 North Broadway – 1st Floor  
Milwaukee, WI

or

Mail Form to:  
Historic Preservation Division  
Department of City Development  
1st floor  
Milwaukee, WI 53202-3617

PHONE: 414.286-5722

FAX: 414. 286-0232

[www.mkedcd.org/planning/historic](http://www.mkedcd.org/planning/historic)









**MILWAUKEE  
PUBLIC SCHOOLS**

**DIVISION OF FACILITIES AND MAINTENANCE SERVICES**

1124 North 11th Street  
Milwaukee, Wisconsin 53233  
Area 414: 283-4600  
Fax 414: 283-4682

May 24, 2011

Mr. Paul Jakubovich  
Historic Preservation Commission  
City Clerk's Office  
200 East Wells Street, Room B-4  
Milwaukee, WI

*Paul  
5/24/11  
11:55am  
RP*

**RE: Exterior Window and Door Replacement - Townsend Street School  
3360 North Sherman Boulevard**

Dear Mr. Jakubovich.

Milwaukee Public Schools (MPS) is requesting re-consideration of a Certificate for Appropriateness (COA) for the Exterior Window and Door Replacement for our Townsend Street School.

MPS understands the intent of the requirements for acceptance of a COA as it applies to buildings designated as historic, or as in the case of Townsend Street School, in a designated historic district. MPS has had great success in working with the Historic Preservation Commission (HPC) in the past on the window replacements at two historic buildings – Golda Meir School and Trowbridge Street School – both sites being built in the 1800's and both had aluminum windows provided in a similar manner to what we have requested for the Townsend Street site.

The windows and exterior doors at Townsend Street School have been identified for replacement based on the age, the cost to repair and maintain, the low energy inefficiency, and the environmental concerns of the lead paint and asbestos glazing and sealants present in the existing units.

MPS has re-examined the potential options of replacing the existing windows with a wood system, however, there are a number of factors in place with respect to our buildings that need to be taken into consideration; MPS experiences a fair amount of damage to both the interior and exterior of wood window assemblies, including, but not limited to, broken glass, graffiti, broken hardware, and similar. Since we have standardized on the use of aluminum window systems the repair and maintenance required for window units has been greatly reduced.

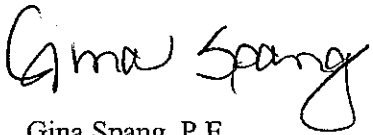
The aluminum color that has typically been used on our buildings had been dark bronze to prevent graffiti, but the color for this school would match the existing paint color or any existing color as selected by the HPC. The existing divided lites can be replicated with the new windows along with any exterior trim profiles to match the existing.

Due to security issues, MPS installs exterior security screens over the windows to prevent access and vandalism to the glazing. These security screens replace the chain link screens that are presently in use. We have successfully used an aluminum frame and stainless steel wire mesh screening on the windows at Trowbridge which we would propose for use on this project. The screens would be installed over the new windows at all locations within 10 feet above finished grade and all windows on the playground (east) side of the school. The frame color would match the aluminum window system as well.

MPS is using fiberglass-reinforced polyester (FRP) exterior doors as a replacement for wood and hollow metal, based on appearance, maintenance, and security. While our standard color is dark bronze, the doors could have a wood grain appearance or color to match the windows.

Based on the above, MPS is proposing the use of aluminum windows and FRP doors at Townsend Street School and respectfully requests re-consideration of our application for a COA. We would like the opportunity to present our case for consideration at the next Historic Preservation committee meeting on June 13, 2011. If you require new sets of the project drawings and specifications please let me know and they can be provided.

Sincerely,

A handwritten signature in black ink that reads "Gina Spang". The signature is written in a cursive, flowing style.

Gina Spang, P.E.  
Director, Facilities and Maintenance Services

Enclosures: Original Certificate of Appropriateness Application Form, April 5, 2010

cc: file  
M. Nate  
J. Linn



Legislation Details (With Text)

**File #:** 110224      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/6/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for exterior renovations at 2837 N. Grant Blvd. for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/6/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110224  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for exterior renovations at 2837 N. Grant Blvd. for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/6/11



**CERTIFICATE OF APPROPRIATENESS APPLICATION FORM**  
Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**  
Grant Boulevard Historic District

**ADDRESS OF PROPERTY:**  
2837 N. Grant Boulevard

2. **NAME AND ADDRESS OF OWNER:**

Name(s): City of Milwaukee, NIDC

Address: 809 N. Broadway

City: Milwaukee

State: WI

ZIP 53202

Email:

Telephone number (area code & number) Daytime: 414-286-8606

Evening:

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): same

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

XXXXX Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS  
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

[Empty box for describing existing features]


Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Completely renovate exterior of house. Repair built-in rain gutters. Install new dark gray, architectural shingles on pitched portion of roof. Install new membrane material on flat roofs. Remove front additions and restore front elevation to original configuration. Remove permastone exterior cladding, which was added later, and install new Portland cement stucco with a rough-cast finish to match original finish. Restore existing wood windows. Install new all-wood windows to match originals as needed. Restore existing stained glass windows on front elevation. Install new front wood door with Prairie style muntins. Raised brick foundation to be tuckpointed as needed. Foundation brick can be chemically cleaned if needed, but because it is presently painted it may be repainted.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

  
Signature *N.I.D.C.*

*DICK H. HAAK* 6-3-11  
Print or type name Date

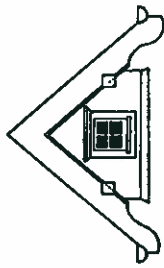
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## City of Milwaukee, NIDC, owner

2837 N. GRANT BL., Grant boulevard Historic District

## Description of work

Renovate exterior of house. Remove existing perma-stone exterior cladding, replace with new Portland cement stucco with a rough cast finish. Repair built-in rain gutters. Remove front sun porch and restore front elevation to original configuration. Install new flat and pitched roofing as needed. Tuck-point foundation as needed. Brick foundation may be chemically cleaned as an option, otherwise it can be repainted.

**Date issued** 6/3/2011

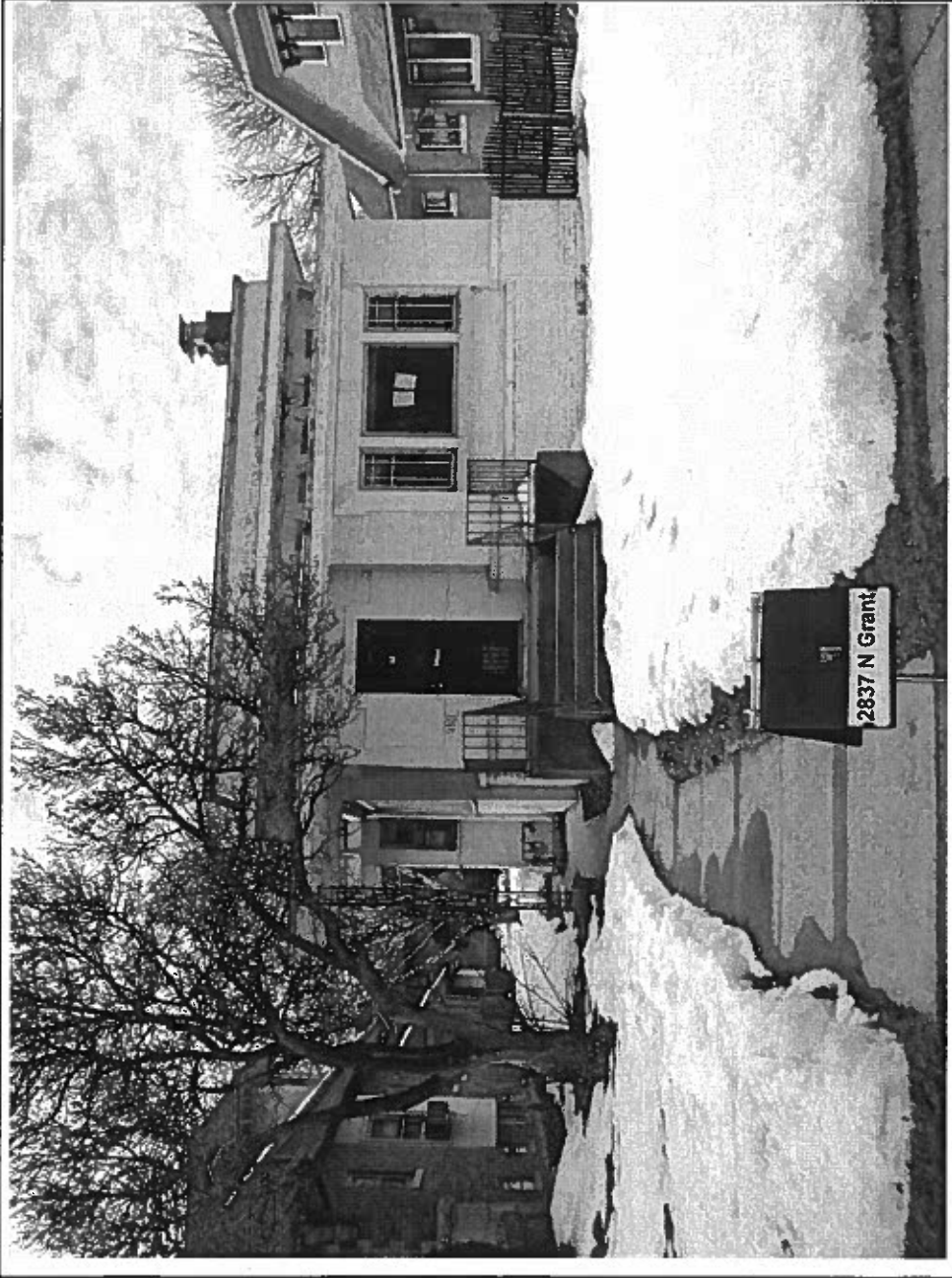
PTS ID 72929 COA, exterior renovation

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: NIDC will work closely with HPC staff during construction phase for on-site approvals as necessary. All work will be done according to attached drawings and photos. A test panel of the new stucco finish must be reviewed and approved by HPC staff prior to general installation of the material. All existing wood windows that are original to the house will be saved and rehabilitated. Any new windows will be all wood, both inside and out and will match the original Prairie style divided lites on the front elevation. the new front door will be all wood, both inside and out and will feature Prairie style muntins. Roof shingles for the pitched portion of the roof will be architectural type in a dark gray color. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkeded.org/build](http://www.mkeded.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Wade, Inspector Joel Walloch (286-8160)

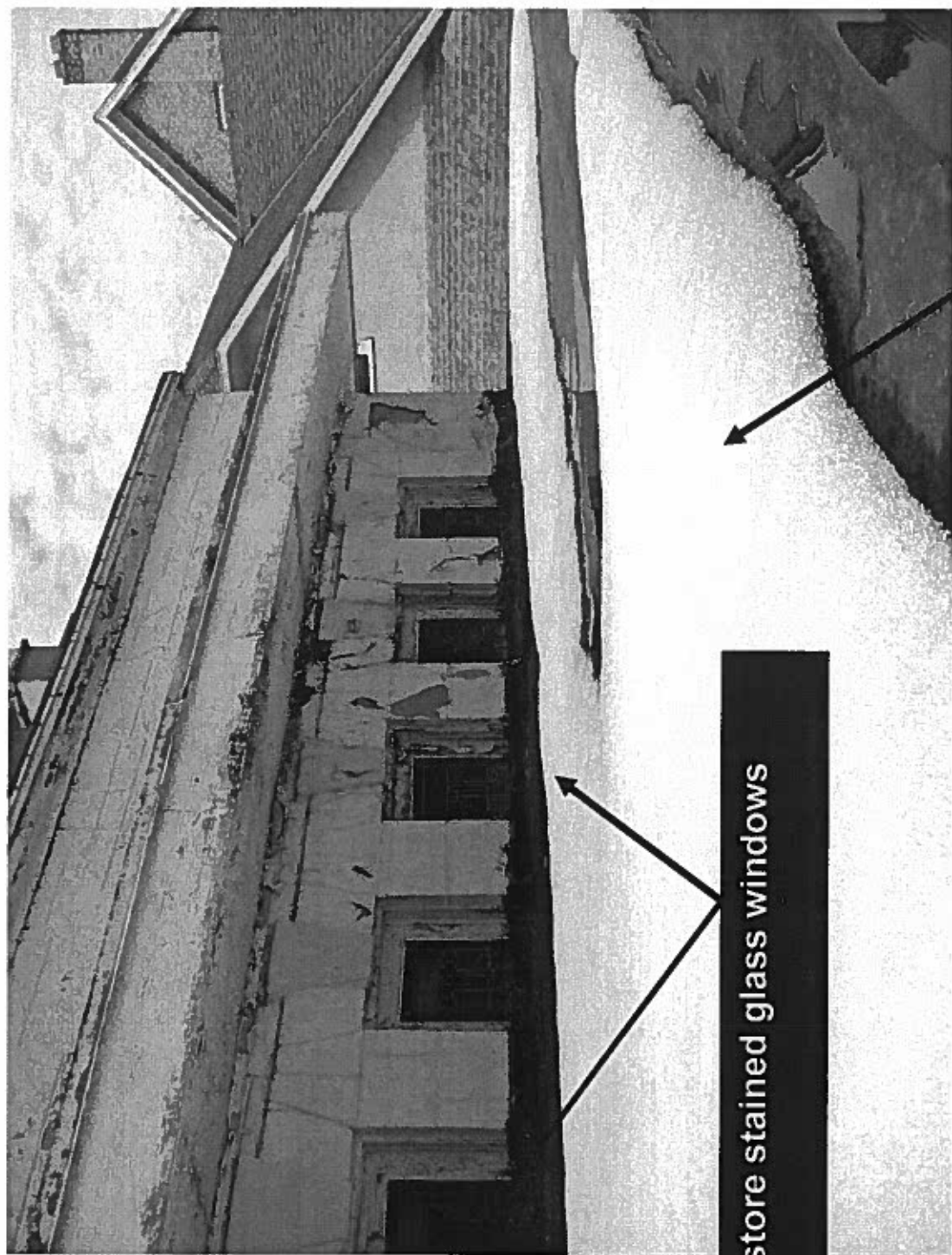




Front sun porch, which is a later addition, will be removed and front elevation restored to original condition. Existing brick foundation walls to be retained and incorporated to open front terrace.



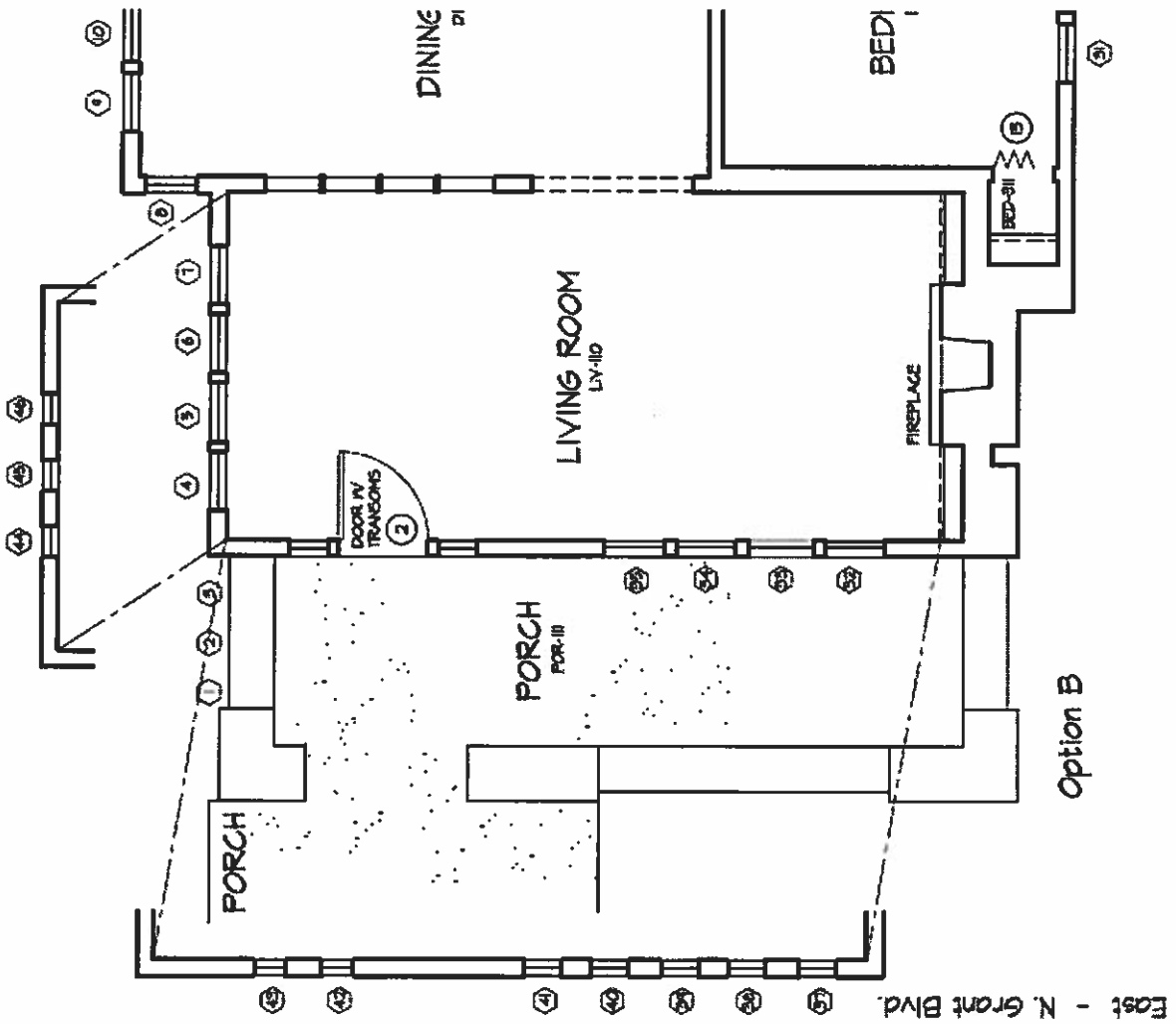
Retain front terrace walls



Restore stained glass windows

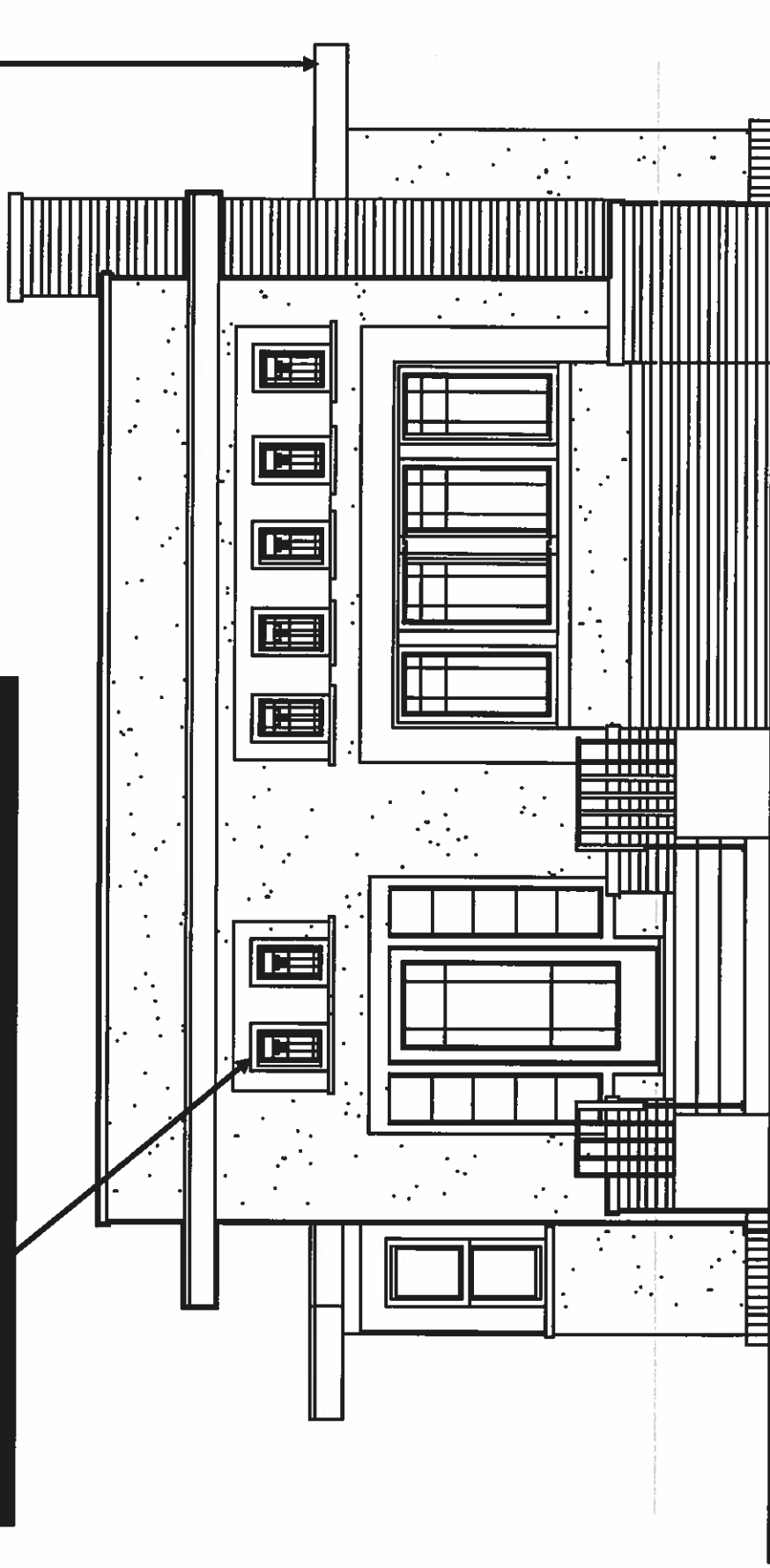
Remove flat-roofed front  
addition

New front plan showing  
removal of flat roofed  
front addition



Restore built-in rain gutters

Retain/restore original stained glass windows



East Elevation - Option B

New front elevation, showing new wood, prairie style windows, new wood entry door and new stucco wall finish



Legislation Details (With Text)

**File #:** 110225      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/6/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for repairs to foundation damage at 2008 N. 2nd Street for Benjamin Lawrenz.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/6/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110225  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for repairs to foundation damage at 2008 N. 2nd Street for Benjamin Lawrenz.

Requestor

Drafter  
CC-CC  
dkf  
6/6/11



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

Brewers Hill Historic District

**ADDRESS OF PROPERTY:**

2008 N. 2nd St.

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Benjamin Lawrenz

Address: 2036 N. 2nd St.

City: Milwaukee

State: WI

ZIP 53212

Email:

Telephone number (area code & number) Daytime: Evening:

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): same

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime: Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

Basement wall on north elevation to be repaired as needed to restore it to original condition as a result of a car hitting the building.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

Benjamin Lawrenz      6/3/11  
Print or type name      Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

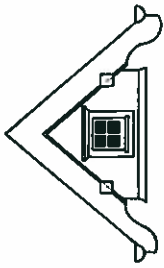
Hand Deliver or Mail Form to:  
Historic Preservation Commission  
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200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Benjamin Lawrenz**

**2008 N. 2ND ST, Brewers Hill Historic District.**

**Description of work** Restore stone foundation on north elevation in order to repair damage from a car hitting it.

**Date issued** 6/3/2011

PTS ID 72923 COA, repair foundation damage

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Original stones will be reused to repair the damage. Mortar joints will match the originals. Mortar color and texture must match the original.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggis, Inspector Bill Richter (286-2518)



Legislation Details (With Text)

**File #:** 110235      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild front, rear and side porches and repair siding at 2808 W. Wells Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110235  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild front, rear and side porches and repair siding at 2808 W. Wells Street for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/8/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
CONCORDIA DISTRICT (EXPANDED)

ADDRESS OF PROPERTY:

2. NAME AND ADDRESS OF OWNER: 2808 W. WELLS ST.

Name(s): CITY OF MILWAUKEE

Address: 809 N BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: YLADPE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: (414) 286-5762 Evening: —

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J PIONKE DBA: I-COM

Address: 3254 S. 15TH PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.VV.COM

Telephone number (area code & number) Daytime: (414) 807-7250 Evening: —

## 4. ATTACHMENTS

### A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

### B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain): ROOF IS NEW REAR PORCH ROOF WILL MATCH MAIN ROOF

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

FRONT PORCH DECK, STAIR, & RAILINGS OR DETERIORATED / SKIRT IS MISSING  
UPPER PORCH RAILING IS INAPPROPRIATE  
SIDE PORCH DECK, STAIRS, RAILING, SKIRT & ROOF ARE IN BAD SHAPE. / S-WEST WINDOW IS MISSING A STOOL AND APRON.  
REAR PORCH RAILING AND AWNING ARE IN NEED OF REPAIR  
AND REAR BASEMENT ACCESS IS UNSECURED  
EAST SIDE WATERTABLE BOARD IS MISSING  
AREAS OF WOOD SIDING, SOFFIT & FASCIA NEED TO BE REPAIRED

Photo No. 1-12 Pg 1-6 Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

FRONT PORCH DECK WILL BE REBUILT WITH NEW RAILINGS, STAIR STRINGERS & TREADS, NEW HAND RAILINGS AND NEWEL POSTS, A NEW SOLID BOARD SKIRT WITH 2" DIA VENT HOLES SPACE 12" OC. WILL BE ADDED  
THE SIDE PORCH WILL BE REBUILT PER DRAWINGS WITH NEW RAILINGS BUT NO ROOF, THE REAR PORCH WILL ADD COLUMNS FOR A SHED ROOF NEW RAILINGS AND NEWEL POST. ALL DAMAGED SIDING, SOFFIT, FASCIA AND CROWN MOLDING WILL BE REPLACED USING LIKE-WITH-LIKE DIMENSIONED WOOD  
(SEE SCOPE FOR CARPENTRY & MASON ATTACHED)

Photo No. \_\_\_\_\_ Drawing No. 1-6 + 7, 8 DETAIL

6. SIGNATURE OF APPLICANT:

Bryan J. Pionke  
Signature

BRYAN J. PIONKE 6-1-11  
Print or type name Date

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Hand Deliver or Mail Form to:  
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City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

# **SPECIFIC SCOPE OF CARPENTRY WORK FOR 2808 W WELLS STREET**

May 27, 2011

1) Replace all areas where soffit, fascia, and crown molding are deteriorated, after the roofers have completed their work. Approximately 42 linear feet of each material for the main roof area.

2) Front Porch: replace front porch decking using 5/4" T&G Ipe decking. Rehang new 2" x 8" wood floor joists if needed. Rebuild the front stairs by installing (3) 2"x12" stringers and (4) 11-1/2" x 2" steps leading up to the finished porch deck. Replace the existing side section of hand railing with a 33" tall 7'-2" long railing, with a bread loaf upper rail and composite bottom rail, installed 3" above the finished floor. (See sample porch railing design) Construct two stair railings. The western railing is to be 4' long with the upper end of the stair rail attached directly to the existing corner board on front of house. The eastern railing is to be 4'-8" long with the upper end of the stair rail attached directly to the existing porch column. Attach the lower portion of both new stair railings to 6"x 6" newel posts (with 4" dia. ball finial) attached to stringers using 3" carriage bolts. Install a porch skirt along the east side of the porch and stairs using a solid board design with ventilation holes drilled and spaced evenly apart per the existing skirt.

a) The upper level porch roof membrane deck will be untouched, but will have new 6" x 6" newel posts secured to new plinth blocks, and the plinth blocks will be attached to the roof with galvanized fasteners. All fasteners will be properly sealed with silicon rubber cement.

b) All new guard railings on the upper porch deck will be 33" tall and will include a bread loaf upper railing and a composite lower rail shoe. The lower rails will be at least 3" inches above the porch deck.

c) Both the (2) x 80" side railings and the 64-3/4" front railing on the upper porch will be attached to newel posts or the house with 4" galvanized counter-sunk screws to make future repair and replacement easier.

d) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center.

3) Side Porch: Replace the existing porch deck and steps. Rehang new 2" x 6" wood joists if needed. (See quarter scale side elevation drawing). Decking to be 5/4" Ipe T&G (or comparable) laid perpendicular to the building foundation. Remove the porch roof and cut the columns off 40" above the finished porch floor. Then install 4" diameter ball finial cap. Install 2 new 4" x 4" posts on the bottom step mounted flush with the second stair tread and attached with (2) ea. 3" carriage bolts counter-sunk and run through the post into the stringer. Notch the bottom step tread to allow it to fit into place around the post after it is attached. (See exploded view) Install two (2) stair railings that replicate the design and spindle spacing of the porch rails. The southern railing is to be approximately 44" long and will attach to the embedded wall column, and the northern railing is to be approximately 42" long and will attach to the existing column that was cut to 40". Add a framed porch skirt in 1"x 6" clear cedar frame with 1-3/4" pickets spaced 3/4" apart, or follow the existing design by installing 3-1/2" slats spaced 3/4" apart.

4) Rear Porch: Using the existing concrete stoop mount two boxed 4"x 4" columns, spaced 70" apart, to the deck with anchor bolts. Extend the columns 9' above the stoop floor to the new roof. (See roof design of rear porch at 2812 W Wells). Install 1 new 6" x 6" newel post that is 4'-6" tall (measured above finished grade), 1/2" in front of the bottom concrete step. Attach a 33" tall railing with a bread loaf upper rail and composite bottom rail between the boxed columns, placing it 3" above the surface of the concrete stoop. Then attach a stair railing approximately 39-1/2" long to the 6"x 6" newel post and the boxed column. (See sample porch railing design, porch framing drawing, and elevations). Basement access is to be enclosed by 2"x 4" framing and primed 1" exterior grade plywood.

5) All porch roofs to be finished by roofers with emerald green 3-tab shingles to match the main roof.

6) Repair missing water-table board on east side of house between front and side porch, using like with like dimensioned wood material. Preferably clear western cedar.

7) Repair the missing window stool and apron on the window on the southwest corner of the house.

## **SPECIFIC SCOPE OF MASONRY WORK FOR 2808 W WELLS STREET**

May 27, 2011

1) Repair existing Cream City brick chimney following the existing corbel design and/or as provided for in the drawing by the Owner's Representative. Repair should only include tuckpointing and flashing. If repair requires complete removal and rebuilding of the chimney from the roof up, contractor should provide this information in an alternative estimate.

a) The contractor shall use like-with-like dimensioned brick if repair or brick replacement is required.

b) Any chimneys with soft Cream City brick need to be constructed using Type "K" or Type "O" mortar if available. Another option is to use eight parts sand, three parts Portland cement, and one part lime; or Type "N" mortar- especially on houses built after 1910. (See page 84 of "As Good As New")

b) Extreme care must be taken not to damage any the new roof shingles, if already installed.

c) The finished chimney must be properly flashed at the roofline to prevent future water penetration.

2) For all masonry work:

a) The contractor shall use like-with-like dimensioned bricks of similar color and density for any repairs.

b) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.

c) When tuckpointing it is expected that the contractor use the same mortar joint style as originally existed (See page 85 of "As Good As New), unless another style is approved by the Owner's Representative prior to initiating any project work.

3) An initial inspection of the house foundation found little masonry damage. If the contractor notices areas in the foundation where repair or tuckpointing is warranted he should bring it to the Owner's Representative attention as soon as possible and break out the recommended repairs as an alternative cost estimate.

- 1) When doing mortar or brick repair, or replacement on historic homes the following process/procedure is to be followed:
- 2) Inspect all masonry for signs of deterioration. Identify any bricks that are cracked or spalled, and determine the reason for the damage. Replace damaged bricks using like-with-like material.
- 3) Check for cracks in the mortar joints and determine if excessive settling has occurred which will require additional foundation repairs.
- 4) When repairing foundations be sure to incorporate the same brick pattern.
- 5) When removing any damaged brick from a chimney, or rebuilding a chimney it is critical that the contractor take photo of the existing chimney, so that they can duplicate the corbelling pattern that exists. Rebuilt chimneys **MUST** be completed using the same type, pattern and dimensions as the existing chimney. When in doubt the chimney design on page 97 of "As Good As New" may be used if approved by the Owner's Representative.
- 6) When tuckpointing brick or block the old mortar must be removed to a minimum depth of 3/4" by means of a tuckpointer's rake pulled across the joint or lightly tapping with a hammer. If the mortar does not come loss a hammer and plugging chisel should be used. Either of these methods is preferred. Use of an electric grinder should only be done in areas that are not visible to the general public such as rear walls, and then only after being approved by the Owner's Representative. Great care must be taken not to damage the brick. "No mortar removal is to be done using a reciprocating saw with a masonry blade."
- 7) When applying the new mortar to Cream City brick the joint should be damp but not dripping wet. The new mortar should use a lime mortar mix with one part lime to two parts sand. Use Type "K" mortar if available and Type "O" mortar as a second option.
- 8) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
- 9) When applying mortar a grout bag or knife-like tuckpointing tool should be used to push the mortar all the way back into the joint. Tuckpointing should be done in 1/4 inches layers, packing each layer before applying the next. Apply mortar as neatly as possible and avoid smearing mortar on the face of the brick.
- 10) When the final layer begins to set up slightly, it **MUST** be tooled to match the style of the existing joints.
- 11) Clean up any excess mortar immediately using phosphoric acid. If this does not work use muriatic acid. Use muriatic acid in a solution of 1 part muriatic acid to 10 parts water. Apply the acid mixture with a large sponge. Leave the acid in contact with the masonry for 30 seconds then use a scrub brush to remove any excess mortar. When clean, rinse thoroughly with water and neutralize the cleaned area with 1 cup of household ammonia to 1 gallon of water. Muriatic acid is dangerous so do not get in contact with eyes or skin, and always keep a neutralizing agent like baking soda on hand.



**2808 W. WELLS STREET**



**1. Front Porch (South Elevation)**



**2. Upper deck railing above front porch**





9. Side porch (North-East Elevation) with loss skirt and deteriorated roof



10. Side porch (North Elevation)

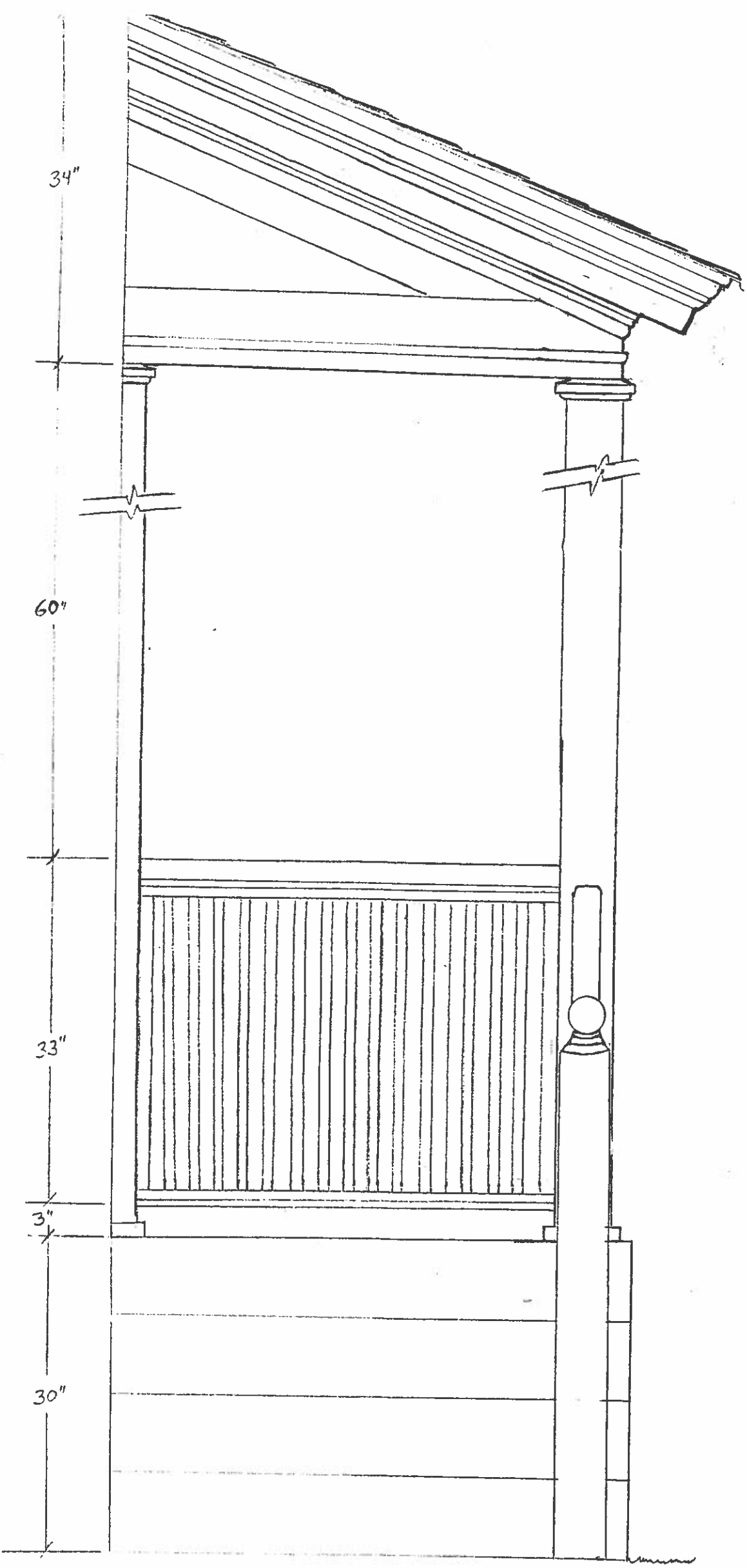


12. Rear Porch (North Elevation) concrete stoop with missing stair railing and metal overhead awning



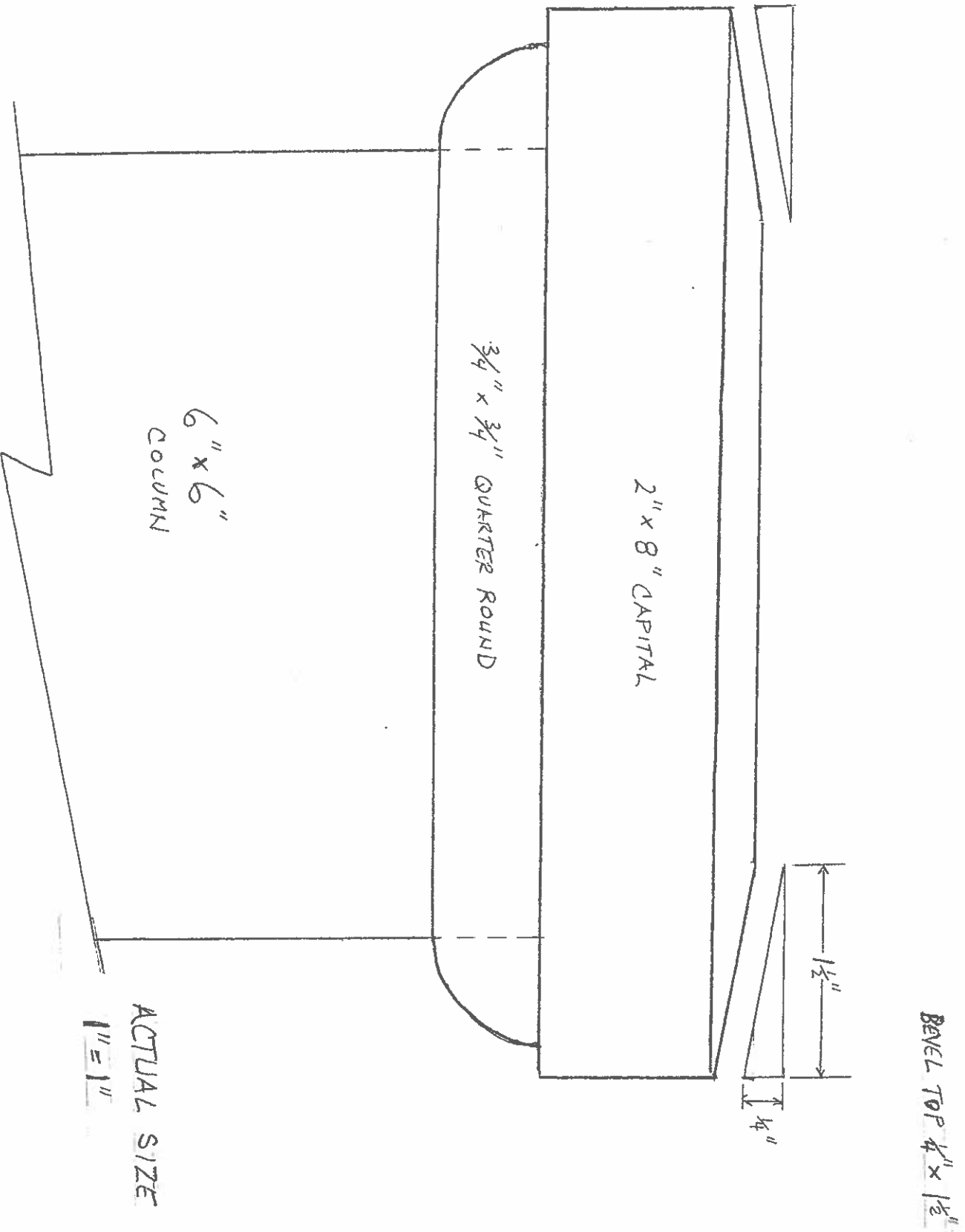
11. Front side window (South-West Elevation) with missing Stool and Apron





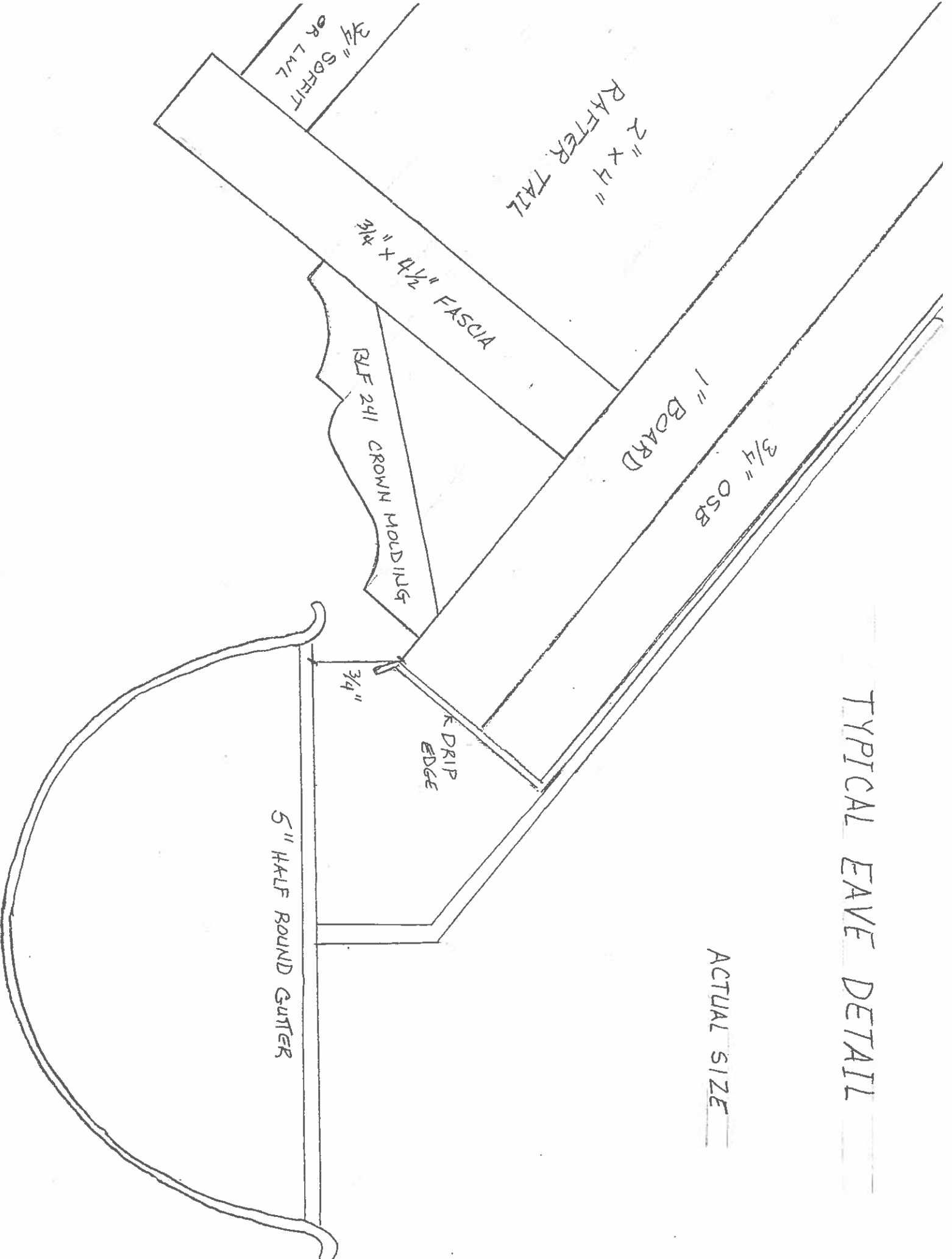
REAR PORCH 2808 W. WELLS (EAST ELEVATION)  
SCALE: 1" = 1'-0"

TYPICAL CAPITAL DESIGN



TYPICAL EAVE DETAIL

ACTUAL SIZE







5. Solid Board skirt below Front Entry foyer



6. Missing Water Table board and drip edge at foundation sill plate





3. First Floor (South-East Elevation) with horizontal stair railing and missing porch skirt



4. Front porch (East Elevation) with missing skirt





**7. Second floor (North-East Elevation) above side porch**

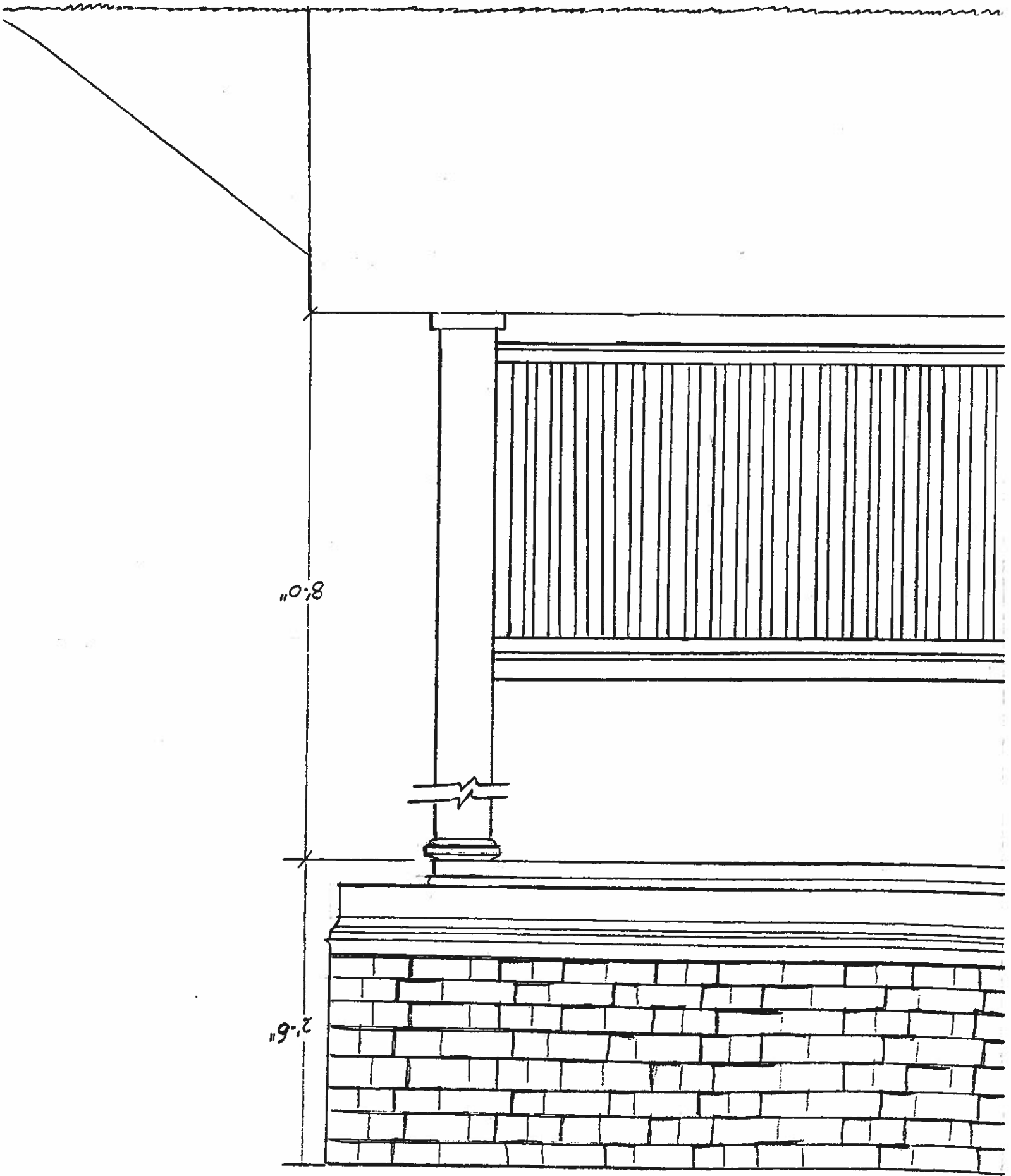


**8. Side porch roof extension, undersized columns, and horizontal railings**



SCALE 1" = 1'-0"

W. WELLS (NORTH ELEVATION)

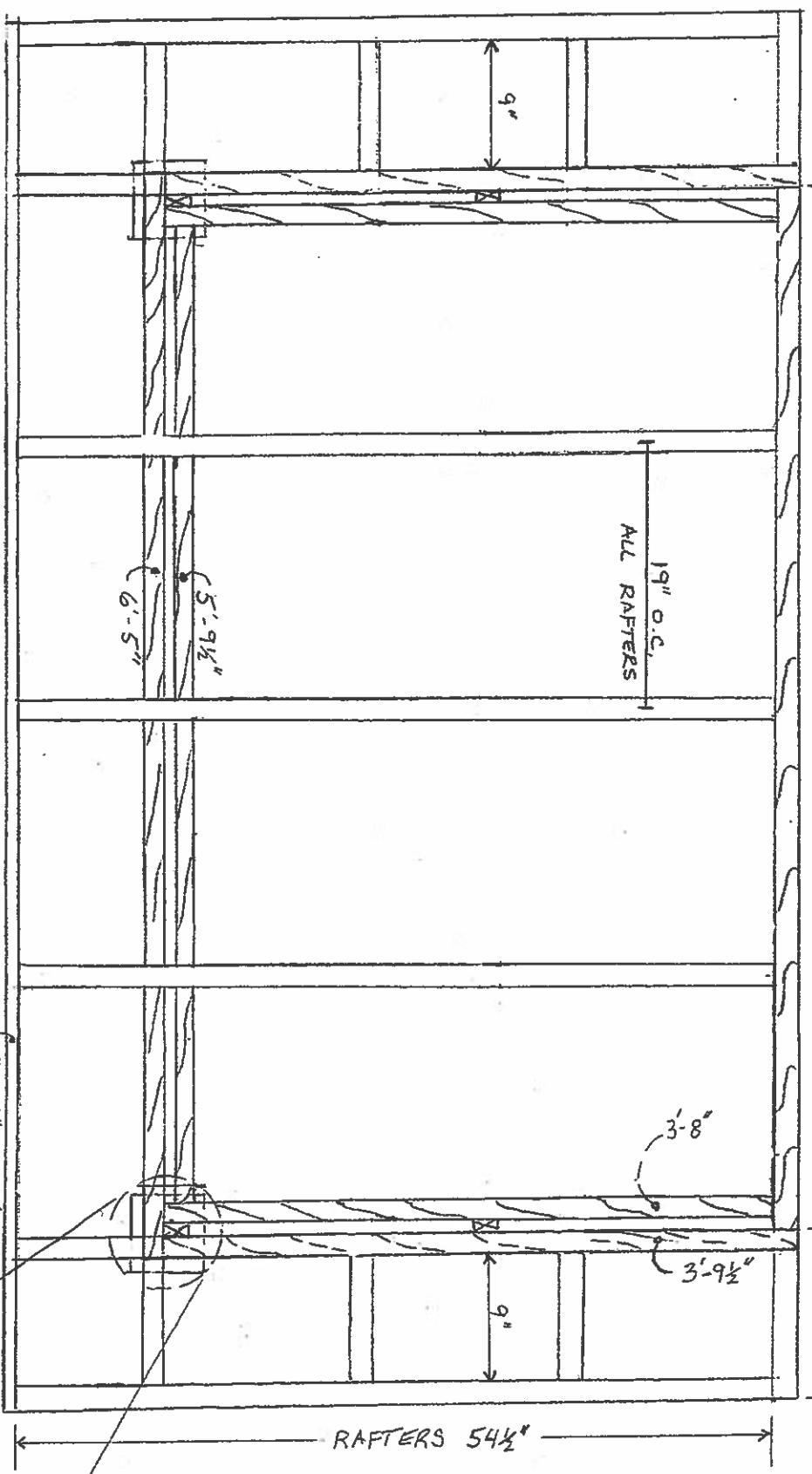


8'-0"

2'-6"

UPPER ROOF LEDGER BOARD 98½"

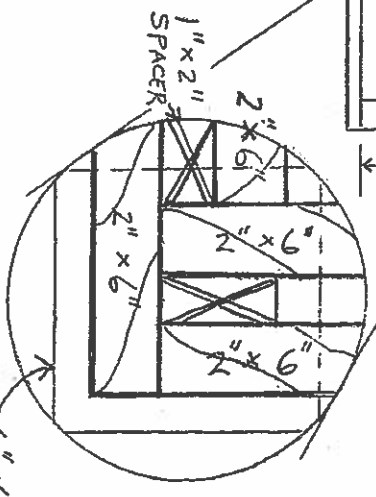
LOWER ROOF LEDGER BOARD 74"



- \* ALL STRUCTURAL FRAMING MEMBERS 2" x 6"
- ▣ INDICATES LOWER FRAMING ABOVE COLUMNS
- INDICATES ROOF FRAMING

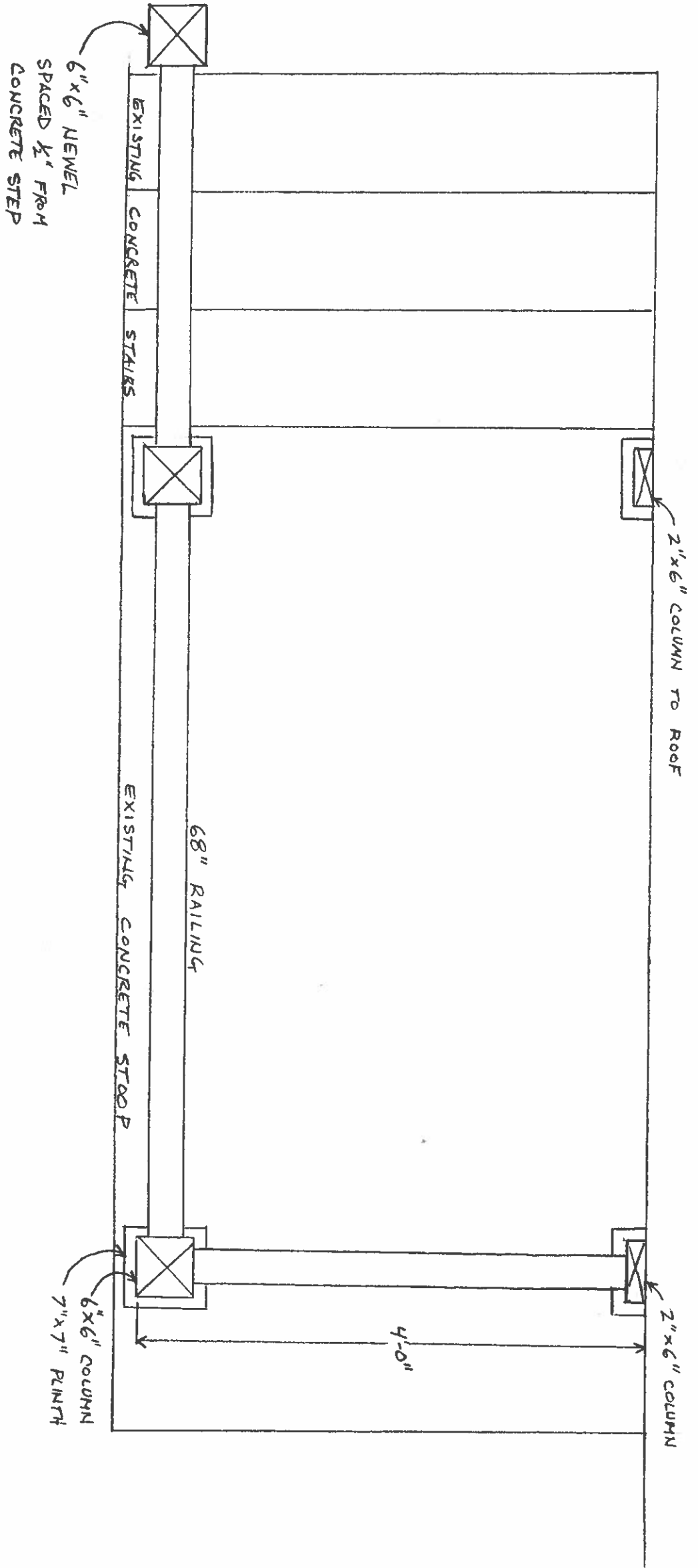
PORCH ROOF FRAMING PLAN 2808 W. WELLS

SCALE 1" = 1'-0"



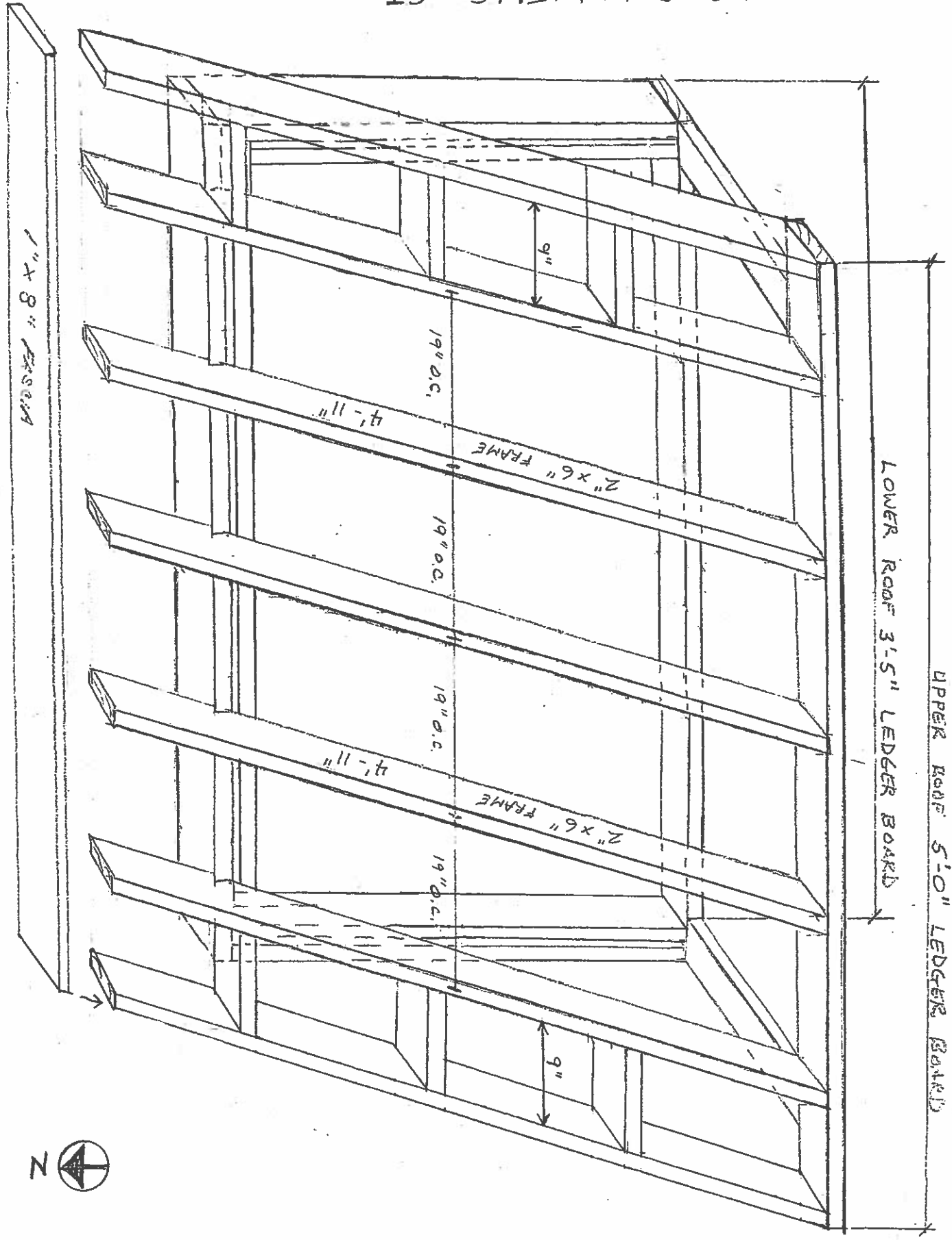
ENLARGED VIEW

6" x 6" COLUMN



REAR PORCH 2808 W. WELLS RAILING & COLUMN PLAN  
 SCALE: 1" = 1'-0"

2808 W. WELLS ST.  
PORCH ROOF AXON. FRAMING CONCEPT



SCALE: 1"=1'-0"

2808 W. WELLS UPPER PORCH RAIL PLAN

6'-1 1/2" SOUTH EDGE OF PORCH ROOF

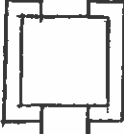
7" x 7" x 1 1/2" PLINTH BLOCK

6" x 6"

5'-4 1/2" FRONT RAILING TO NEWEL

6'-8" RAILING TO NEWEL

14'-6" EAST EDGE OF PORCH ROOF

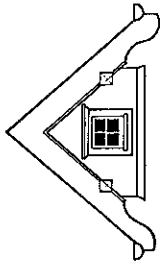


6'-8" RAILING TO WALL



HOUSE WALL

HOUSE WALL



**LIVING WITH HISTORY**

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## **Property**

**City of Milwaukee, owner**  
**2808 W. WELLS ST., Concordia Historic District**

## **Description of work**

Rebuild front porch deck with center-match flooring. Install new wood newel posts, handrails, guardrails and balusters. Remove side porch and build new wood stoop with skirting and handrails and newels to match front porch. Build new rear porch with shed-style roof. Repair damaged or missing wood siding fascia boards and crown molding as needed using materials that match the originals exactly.

## **Date issued**

6/7/2011

PTS ID 73049 COA, FRONT, SIDE AND REAR PORCHES; SIDING REPAIR

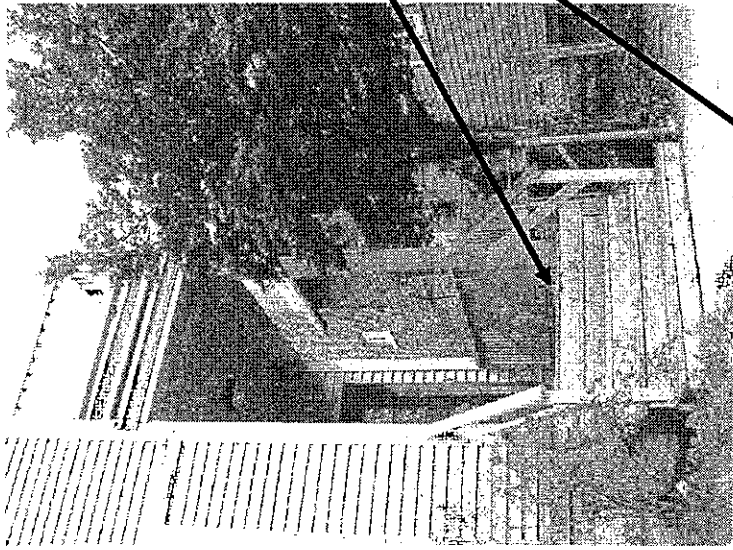
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: All work will be done according to attached drawings and specifications. All finish wood will be smooth and free of knots and sapwood. All wood will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the exterior elements for a period of only a week or two, the life of the paint job applied over it will be decreased. The front and rear porch must be finished with center match flooring. The porch stoop on the side of the house because it does not have a roof, can be finished with decking that is gapped 1/8". All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov](http://www.milwaukee.gov), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

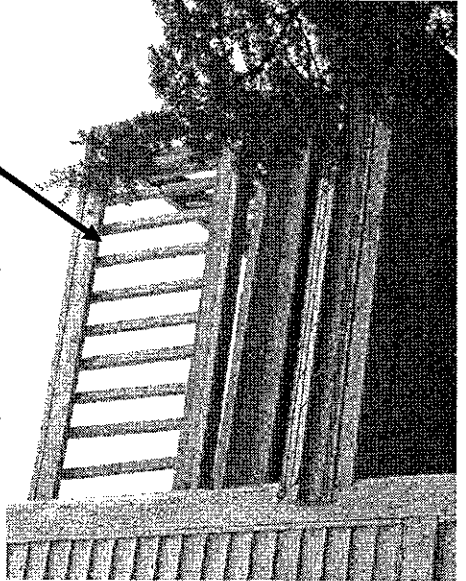
Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

2808 W. WELLS STREET

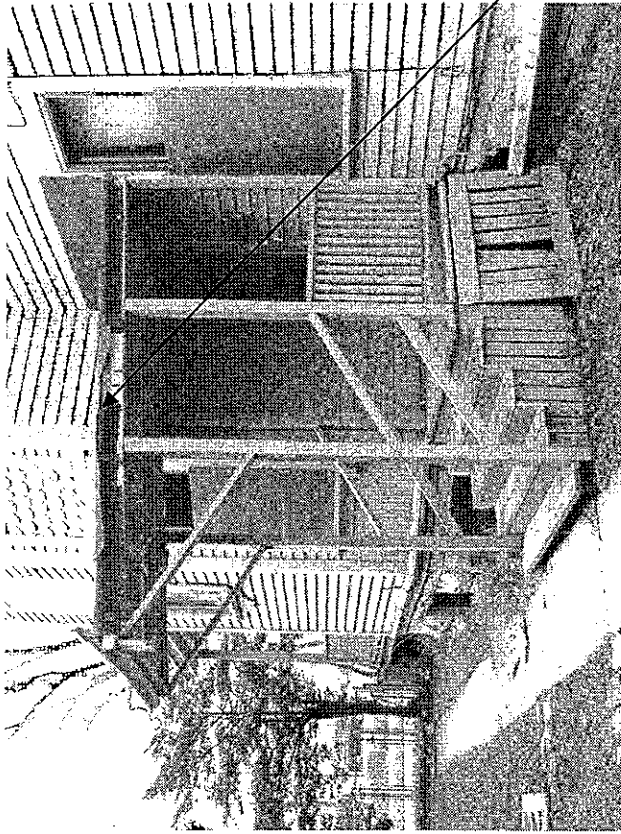


Front porch deck and railings to be replaced.

1. Front Porch (South Elevation)

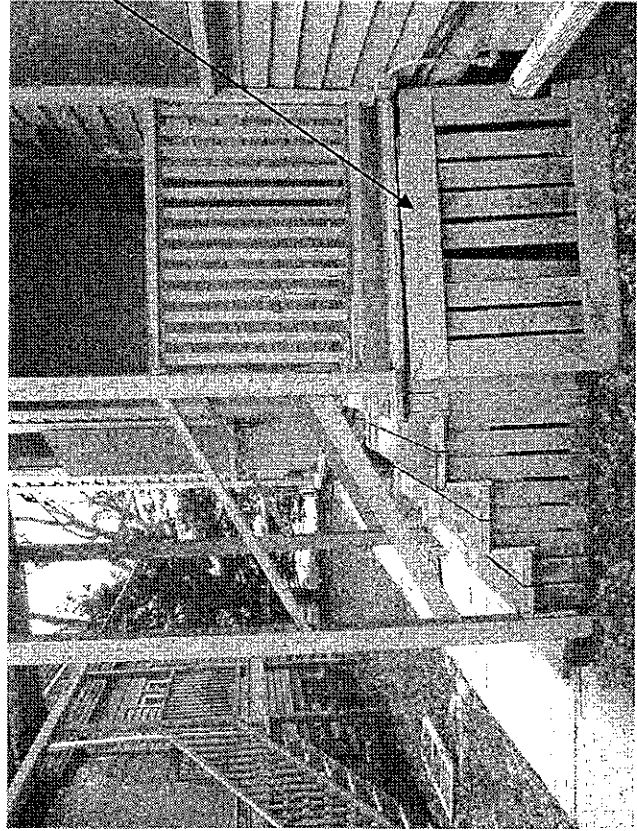


2. Upper deck railing above front porch



9. Side porch (North-East Elevation) with loss skirt and deteriorated roof

Side porch roof and stoop to be removed and replaced with a new wood stoop only. Stoop can be finished with decking boards that are gapped 1/8" for water drainage because there will not be a roof over it.



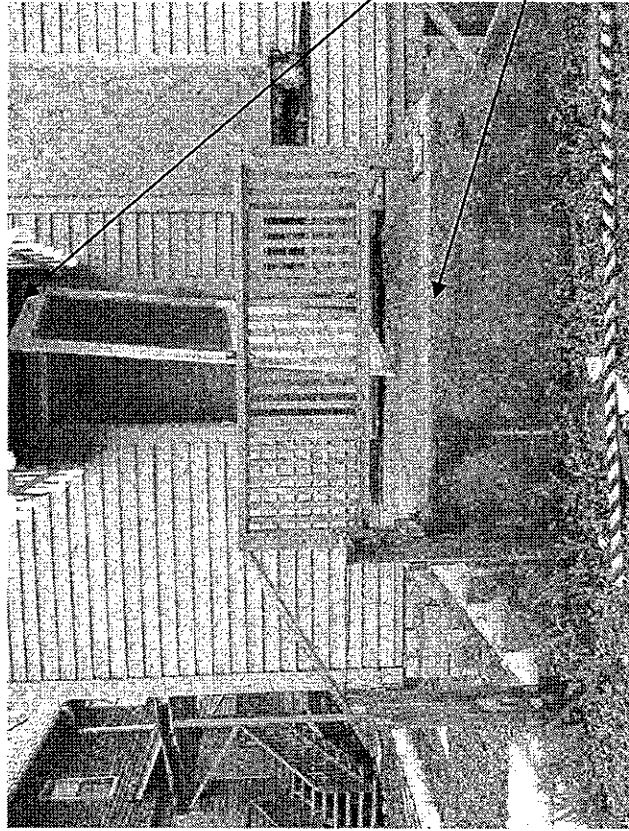
10. Side porch (North Elevation)





Replace missing trim to match original. Thickness and profile of new wood must match the original.

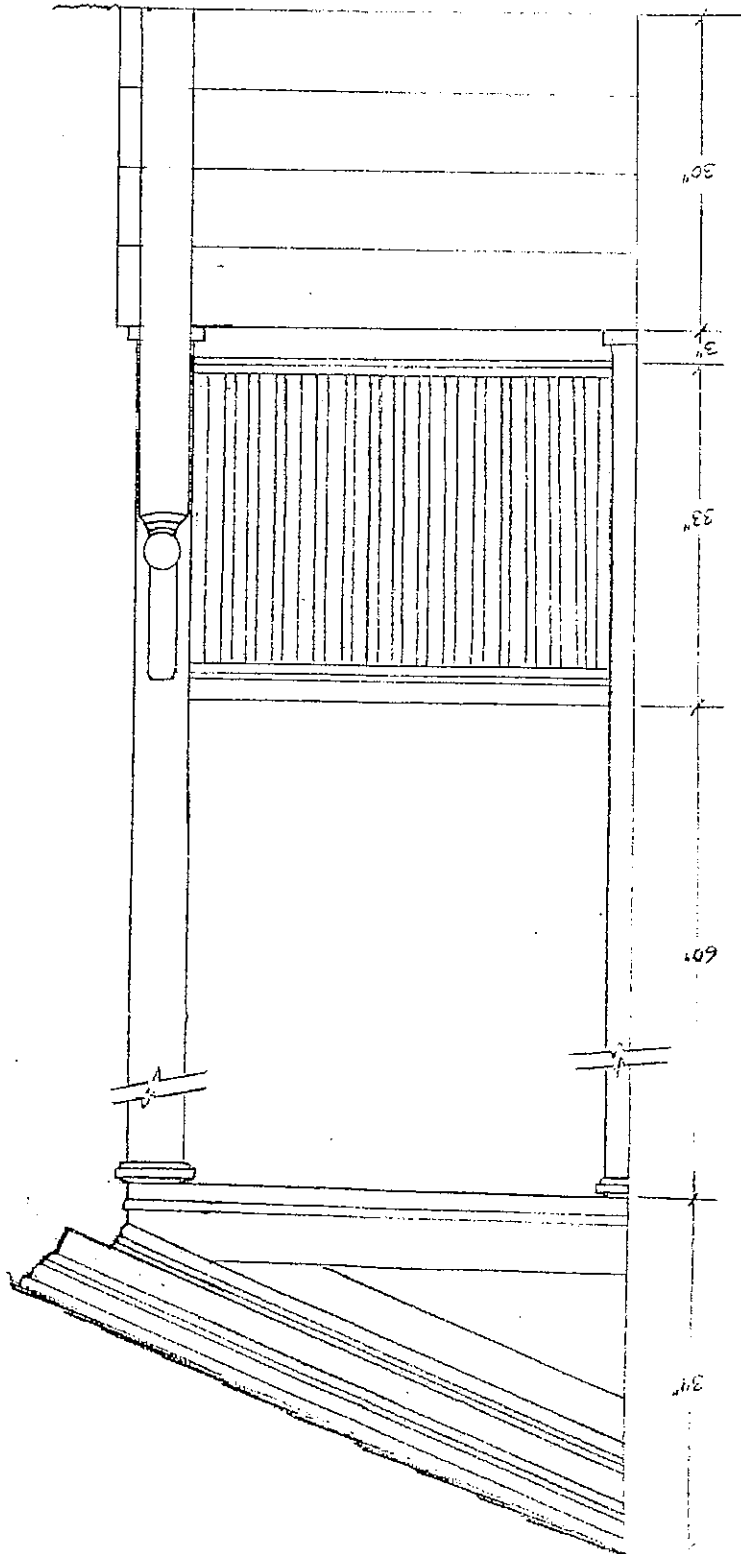
11. Front side window (South-West Elevation) with missing Stool and Apron



Rear porch and canopy to be removed and replaced with new, shed-roofed porch.

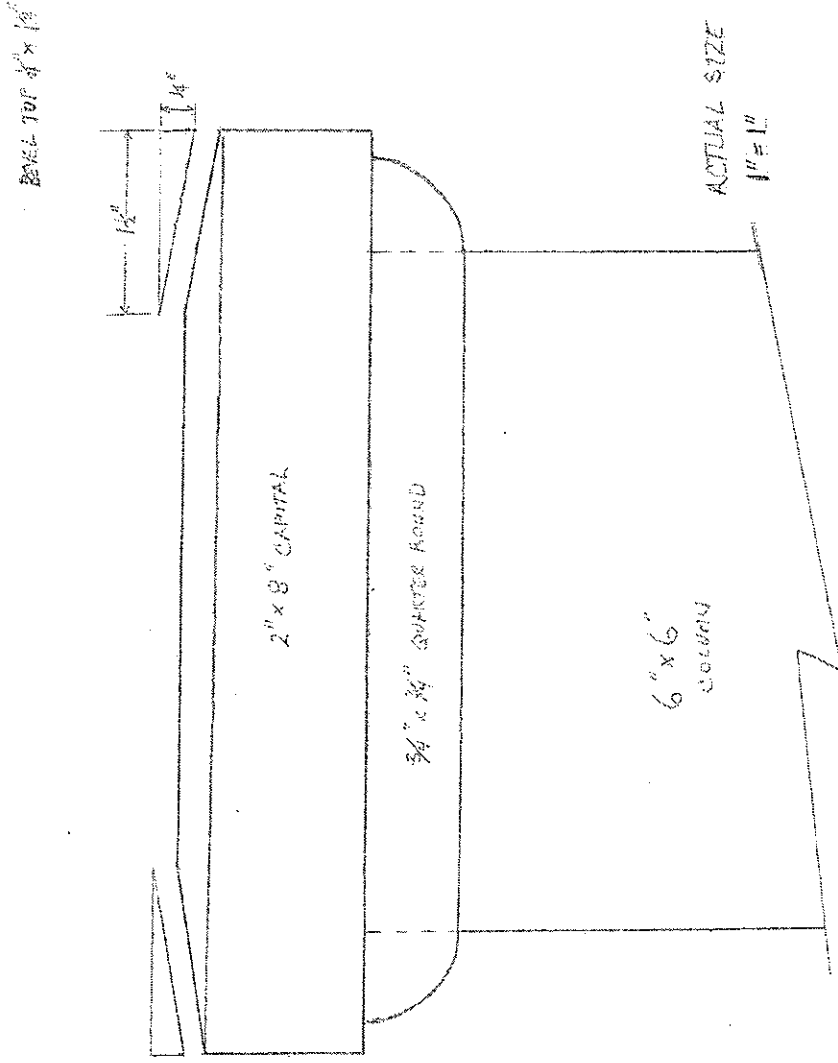
12. Rear Porch (North Elevation) concrete stoop with missing stair railing and metal overhead awning

REAR PORCH 2808 W. WELLS (EAST ELEVATION)  
SCALE: 1" = 1'-0"



Elevation of new rear porch

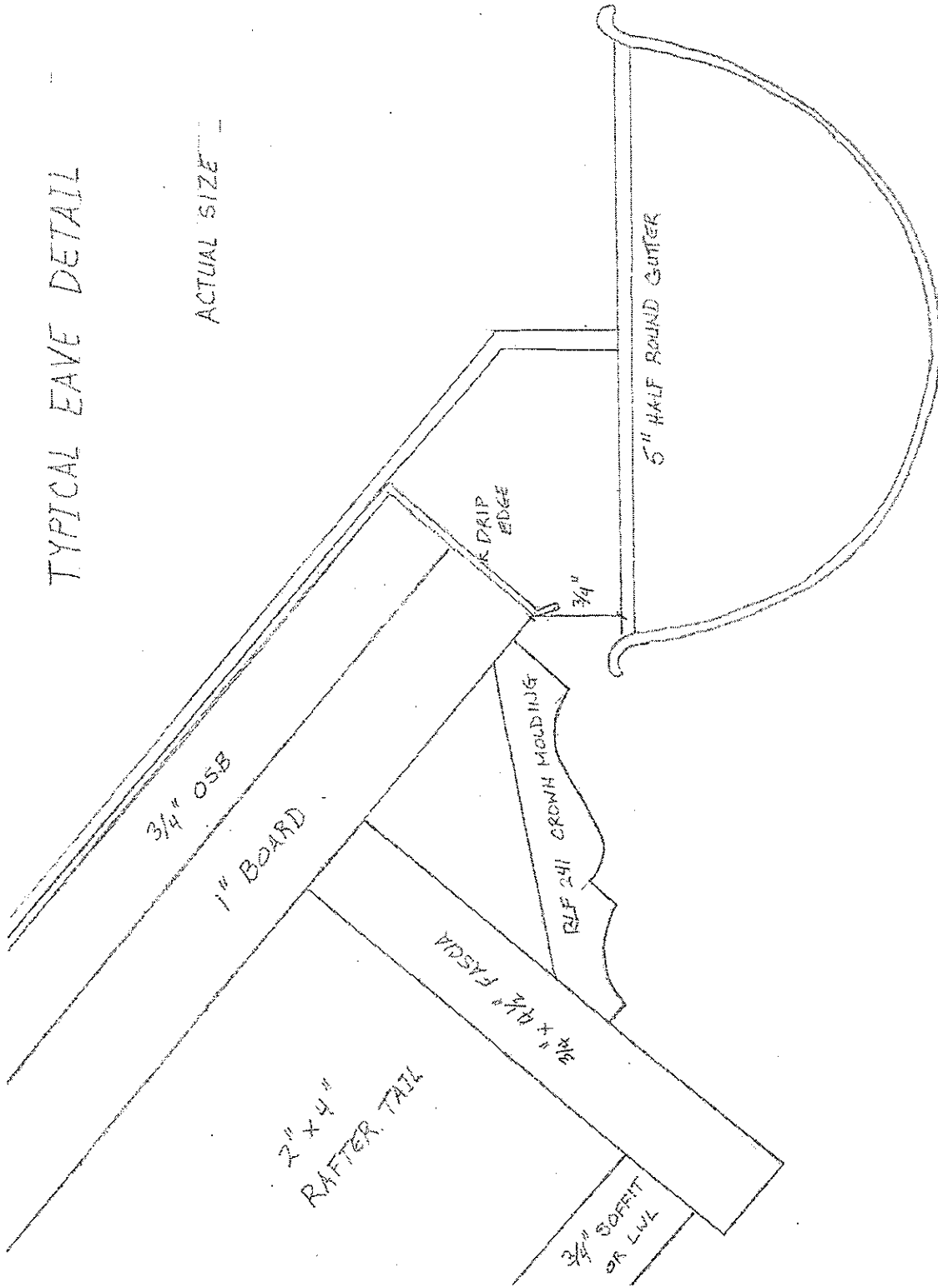
TYPICAL CAPITAL DESIGN



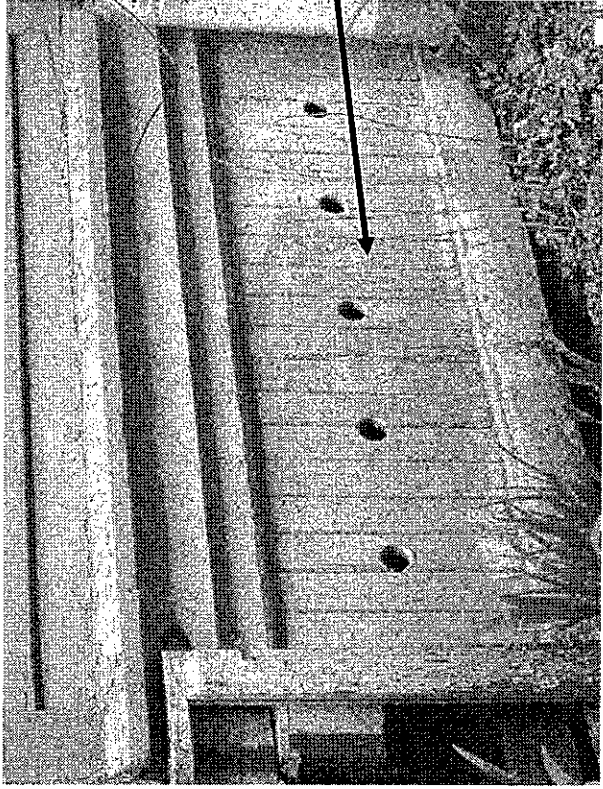
Detail of column capital for rear porch

TYPICAL EAVE DETAIL

ACTUAL SIZE

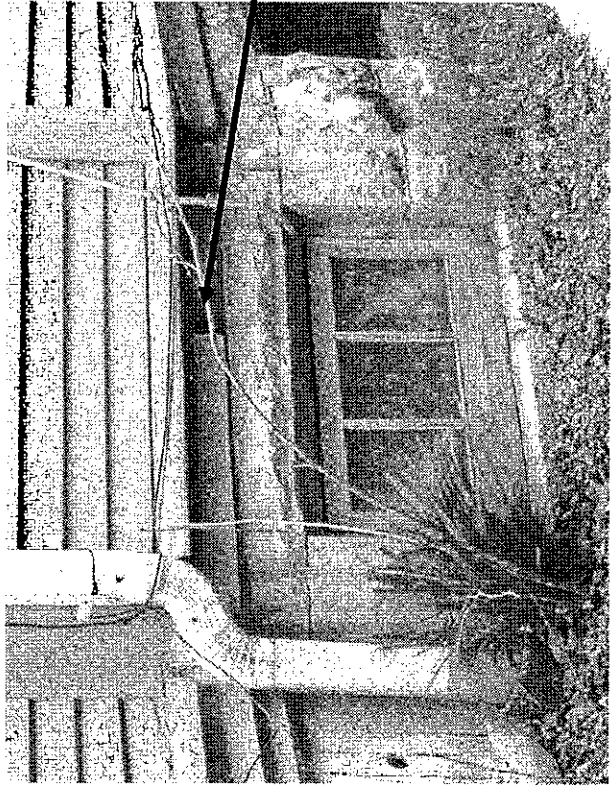


Detail of roof for rear porch



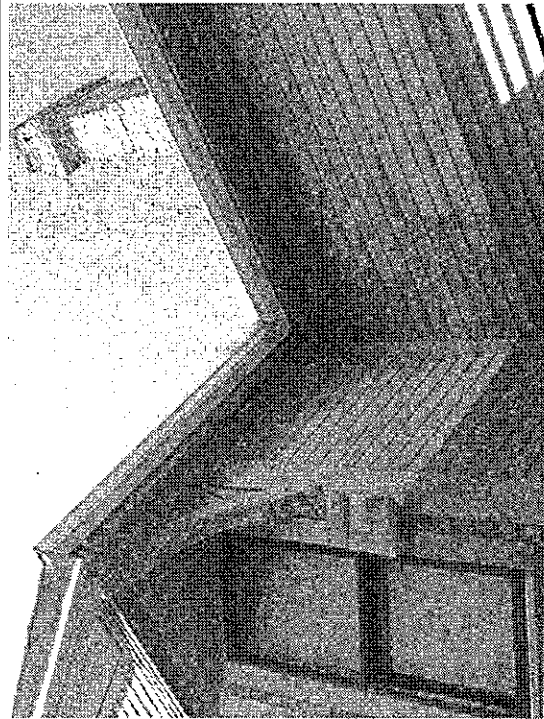
Detail of skirting that will be installed on front, side and rear porches.

5. Solid Board skirt below Front Entry foyer

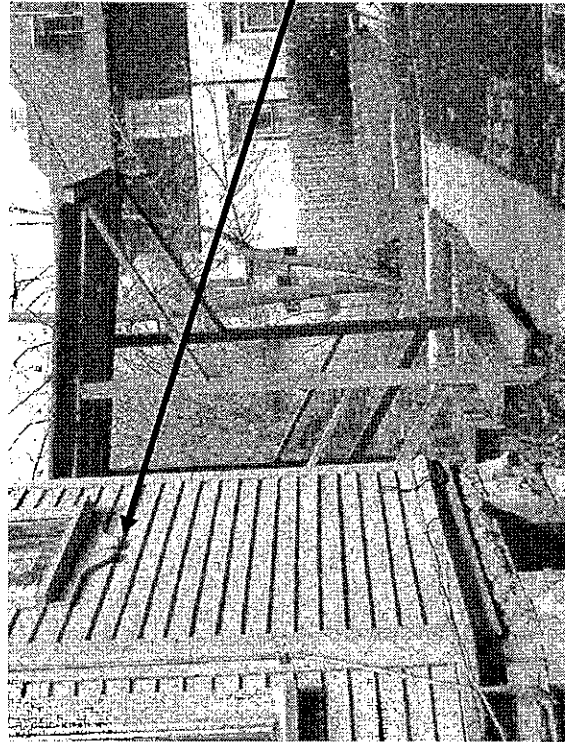


Replace missing and damaged water table boards to match originals

6. Missing Water Table board and drip edge at foundation sill plate



7. Second floor (North-East Elevation) above side porch



8. Side porch roof extension, undersized columns, and horizontal railings

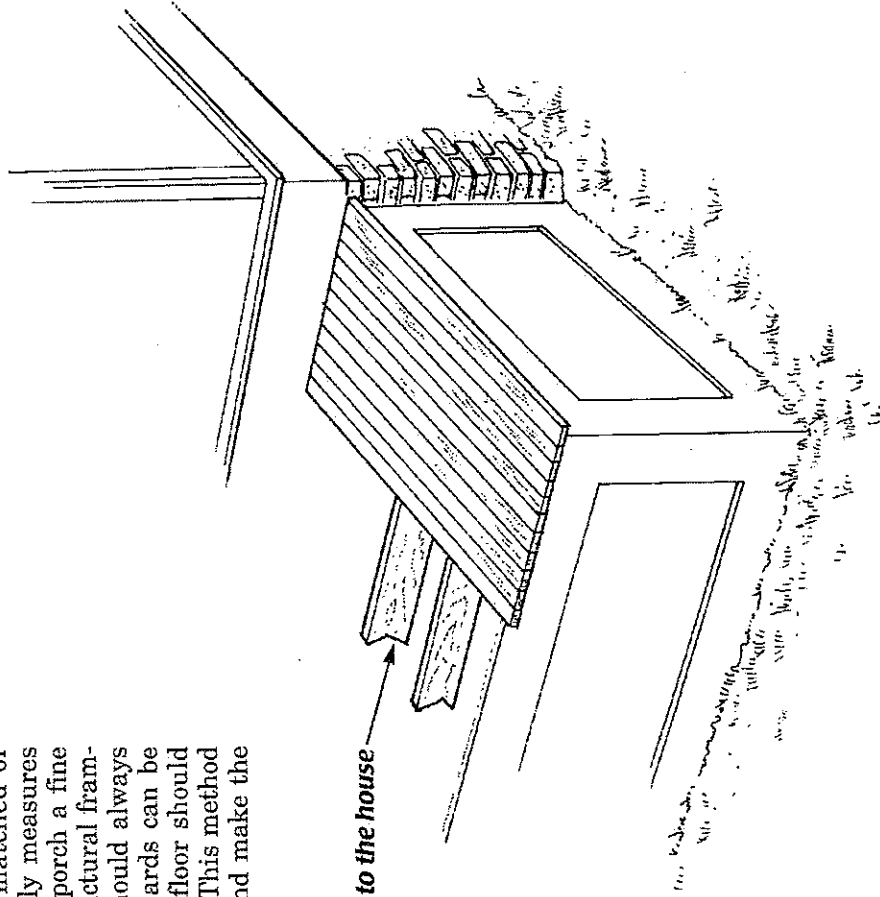
Missing trim under windows to be replaced according to this original design

# Porches

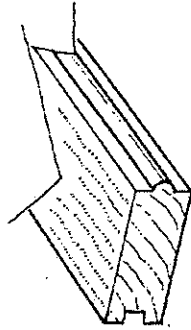


## Traditional Porch Floors

Porch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.

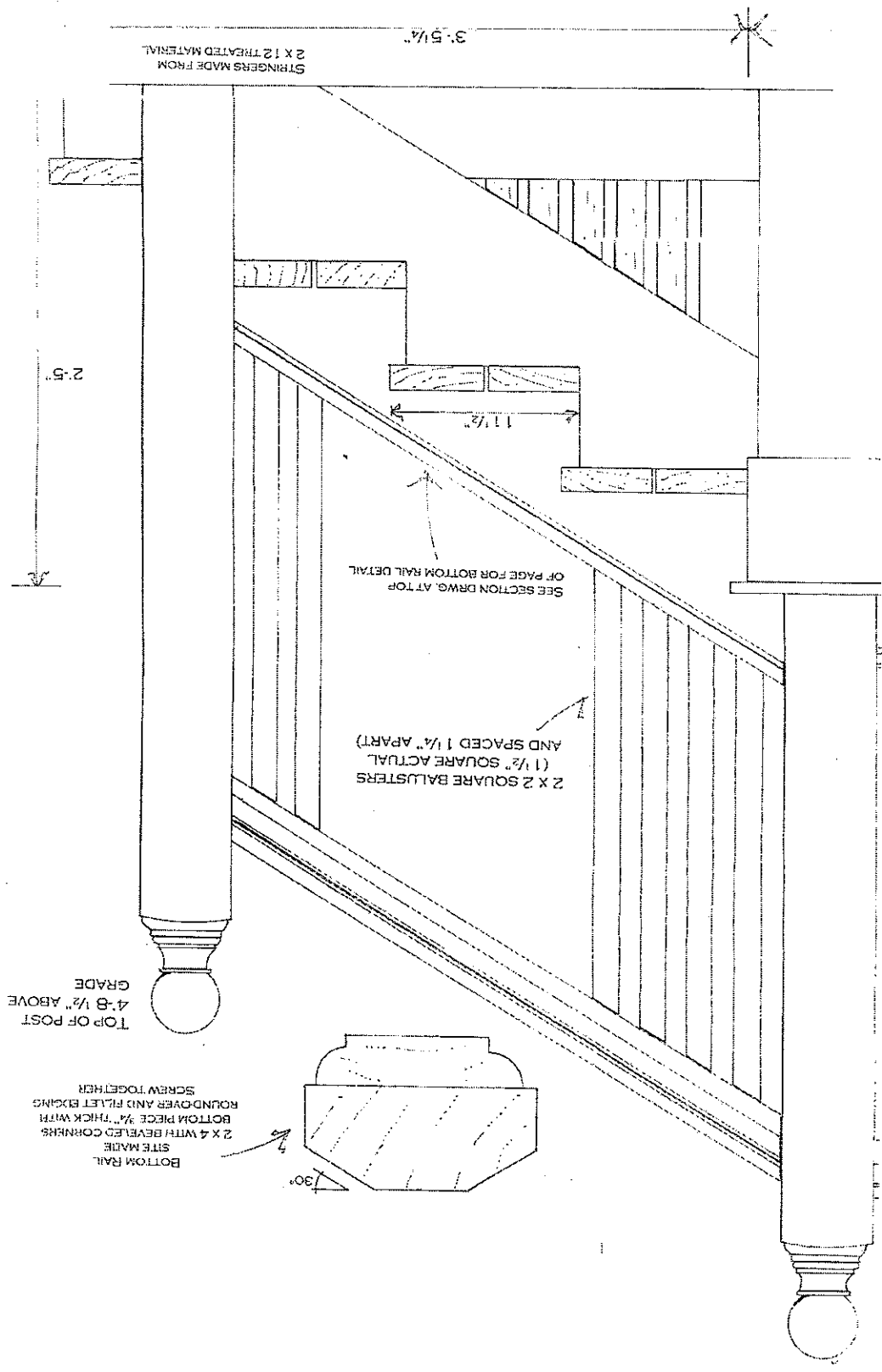


*Joists parallel to the house*



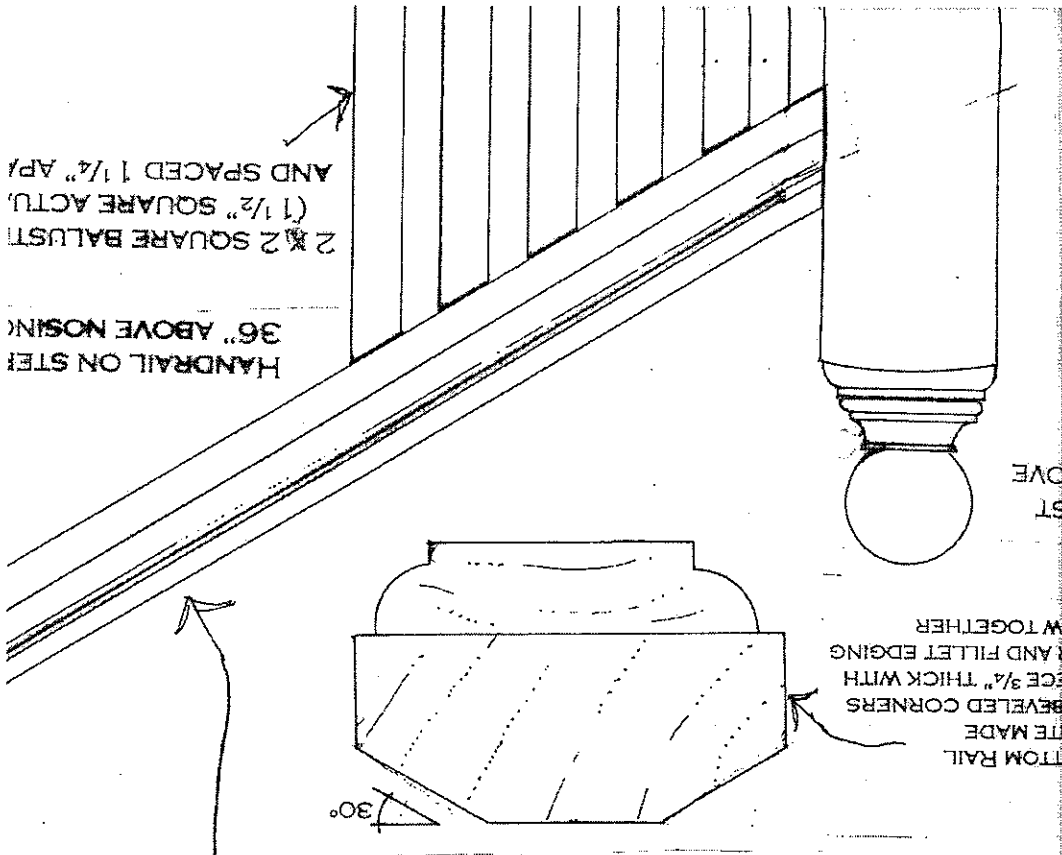
*Center match or tongue-and-groove flooring*

Front and rear porch deck to be rebuilt according to this design and configuration

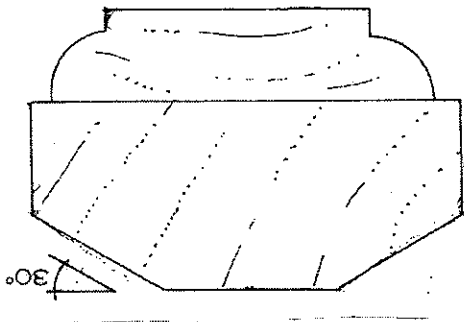
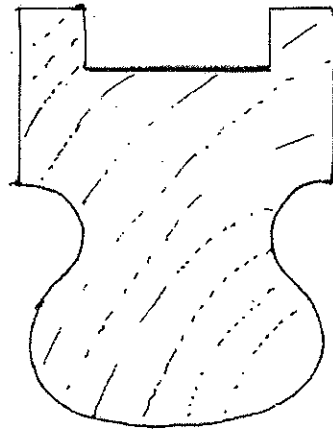


Detail of railings and newels for all three porches





GRASPABLE HANDRAIL  
 CROWN SPECIALTY MOULD  
 #HR-548  
 WWW.CROWN.SPECIALTY.MOULD  
 608-290-1338  
 MILTON, WI

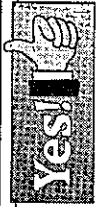


THE BOTTOM RAIL IS MADE OF BEVELED CORNERS WITH A 3/4\"/>

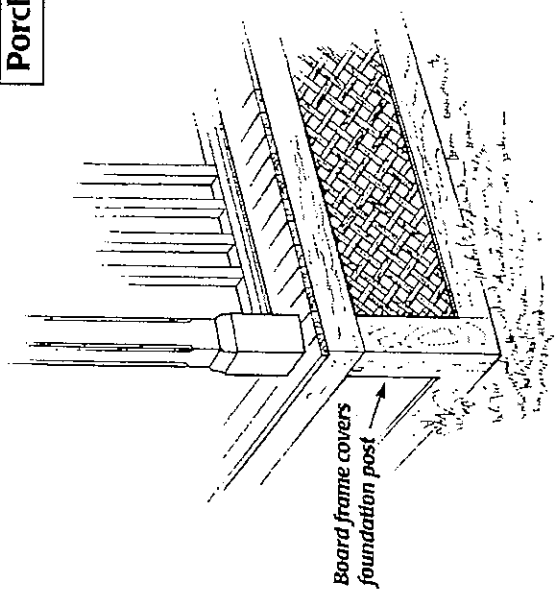
STOVE

**Detail of handrail and bottom rail for all three porches**

# Porches

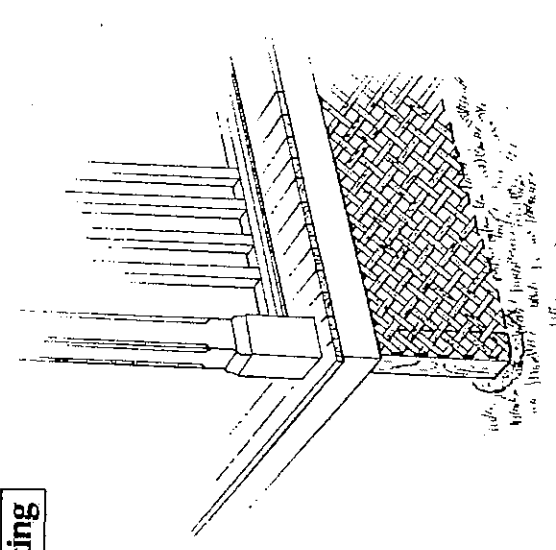
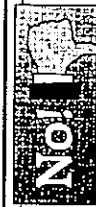


## Porch Skirting



Board frame covers foundation post

Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

**Porch skirting must be completely framed on all four sides. The lattice infill will be omitted in favor of the board skirting pictured above in this COA.**



Legislation Details (With Text)

**File #:** 110236      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new roof at 3402 W. St. Paul Avenue for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 6/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110236  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new roof at 3402 W. St. Paul Avenue for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/8/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
UNKNOWN

ADDRESS OF PROPERTY: 3402 W. ST. PAUL AVE

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE

Address: 809 N. BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: YAPIE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: 414 286-5762 Evening: -

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J. PIONKE DBA: I-COM

Address: 3254 S. 15TH PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.IV.COM

Telephone number (area code & number) Daytime: 414-807-7250 Evening: -

## 4. ATTACHMENTS

### A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

### B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

ROOF HAS MULTIPLE LAYERS OF DETERIORATED SHINGLES OF DIFFERENT STYLES AND COLORS. THERE IS ALSO SOFFIT & FASCIA DAMAGE. THE CHIMNEYS NEED TUCK POINTING AND FLASHING. THE FRONT PORCH HAS SEVERE ROOF DAMAGE AND HAS PULLED AWAY FROM THE HOUSE DUE TO WATER <sup>SOIL</sup> EROSION PORCH ENTRANCE MAY NEED TO BE RAZED AND REBUILT AS HEAVY TIMBERED WOOD DESIGN

Photo No. 1-7 pg 1-4 Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

WE WILL DO COMPLETE ROOF TEAR OFF AND RESHINGLE USING PEWTER GRAY ARCHITECTURAL SHINGLES PER SPECIFIC SCOPE OF WORK PROVIDED. CHIMNEYS WILL BE TEMPORARILY FLASHED UNTIL MASONRY WORK IS APPROVED.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Brian J. Pionke  
Signature

BRIAN J. PIONKE JUNE 6, 2011  
Print or type name Date

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

# SPECIFIC SCOPE OF ROOFING WORK AT 3402 W ST PAUL AVENUE

June 6, 2011

- 1) Do a complete shingle tear off down to the original wood.
  - 2) Inspect and replace rotted, damaged or missing boards using like-with-like dimensioned boards.
  - 3) OSB a minimum of 5/8" thick shall be used when sheathing all roof sections or the entire roof area.
  - 4) To avoid interior water damage only tear off as much roof area as can be repaired and sheathed in the same day. No roof shall be left with open areas over night. Any roof that has not had felt applied shall be securely tarped at the end of the work day.
  - 5) Install 15 lb. (non-perforated) felt with 3" minimum overlap using T-50 3/8" staples.
  - 6) Install 3 ft. wide "Ice and Water Shield" along all eave lines. On eaves extending out more than 3 feet add a second row of "Ice and Water Shield" with a 6" overlap.
  - 7) Where required install new gutter straps over ice shield evenly spaced approximately 32 inches on center.
  - 8) For all roofing venting cut a 3" wide channel along the gable peak to within 2 feet of the roof edge for installation of a ridge vent. (NOTE: Pan vents are only permitted with prior approval from the Owner's Representative or the staff of DCD.)
  - 9) Install aluminum drip edge along entire roof edge with 1/4" overlap at eave edge, using 1-1/4" galvanized roofing nails.
  - 10) Install a full shingle starter strip along the base of the roof. Then install Architectural Shingles in **Pewter Gray** color and style as specified for each project. The architectural shingles are to be nailed down using roofing nails. The size of the nail is determined by the thickness of the roofing material (typically 1-1/4"). Nail the shingles just below the tar strip using 4 nails per shingle, or in the thickest area of the shingle follow manufactures specifications.
    - a) Install your first architectural shingle 1/4 inch over the edge of the roof to force any water away from the fascia. It will also help prevent any fascia deterioration.
    - b) Next mis-match the shingle gaps by cutting different amounts of material from each piece of shingle before it is laid. For example; the first row should be left alone, the second row would be cut 5 inches, the third row 11 inches and on in 6-inch increments. This staggers the architectural shingles as they are installed so the gaps from each shingle to do overlap each other. Continue this process until the entire sides of the roof are covered, leaving the peak of the roof bare.
    - c) Install ridge cap of architectural shingles over the peak of the roof. These shingles will require a 2" nail on each side to hold them in place.
- Read more: [How to Install Architectural Shingles | eHow.com](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or review [http://www.ehow.com/how\\_2363311\\_install-architectural-shingles.html#ixzz1KNOT62ql](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or view the Timberline installation video at <http://www.youtube.com/watch?v=txcsn1df5qs>
- 11) All new **Gutters** need to match the existing gutters in design and material.
    - a) Half-round gutters must be installed with brackets or straps installed under the roof shingles and not directly mounted to the fascia board. All gutters shall be a minimum of .032 gauge, maintain a minimum slope of 1/2" per 10 running feet of gutter, and shall be attached approximately every 32" on center, or every other rafter tail, and shall be a minimum of 1/2" from the fascia board.

b) Gutters longer than 40 feet should be sloped in two directions from the midpoint of the gutter and connected to a minimum of a 3" diameter downspout. All downspouts shall be a minimum of 024 gauge.

12) All **roof valleys** shall be installed as open roof valleys using 26 gauge prefinished galvanized steel or aluminum. Start by running a piece of ice and water shield 36" wide up the valley stapled against the wood, then run 15 # felt lapping past the valley 12"-18" on each side of the valley.

a) Using a metal valley with a "w" bend in the metal, to slow water from rushing under the shingles, run the metal valley piece up the valley starting at the bottom of the valley and work your way to the top. The metal valley needs to match the color of the roof shingles using one of two methods (to be described later in this section).

b) Install the shingles past the valley center on one side of the flashing all the way up. Do not drive nails into the flashing. Then install shingles on the other side. Again, do not drive nails through flashing. Overlap shingles as you go, much like weaving.

c) Snap a chalk a line 3 inches from the center of the valley at the top of the valley and widen the gap by 1/8" per running foot on each side of the valley as it runs downward.

d) Place a piece of sheet metal under the shingles to make sure you will not damage the flashing. Use a utility knife with a hook blade to cut the shingles along the chalkline.

e) Snip off the corners of adjacent shingles (dub) to protect against water being channeled under shingles. Lift up shingles and use a hook blade to cut all the pointed unexposed ends. Make each cut about 2 inches from the point.

f) Caulk twice between shingles and flashing. Using roofing cement in a caulk tube, insert the tube's tip all the way under the shingles and run a continuous bead. Then hold the nozzle 2 inches back and apply a second bead nearer the edge. Then lift up each top shingle and apply roofing cement to adhere the shingles to each other. This is to seal out water and to attach the shingles because there are no nails.

g) The metal valley should match the color of the roof shingles. This can be done by purchasing pre-colored enameled valleys that match the shingle color, or using rust inhibiting paint in flat black or using rust inhibiting paint and matching colored roof granules. If the last method is used, then paint the valley with rust inhibitor and while it is still wet sprinkle on the matching granules. After 48 hours lightly brush the valley surface to remove excess granules.

Read more: [http://wiki.answers.com/Q/How\\_do\\_you\\_install\\_roof\\_open\\_valley#ixzz1KNiCOC2c](http://wiki.answers.com/Q/How_do_you_install_roof_open_valley#ixzz1KNiCOC2c)

13) All **Chimneys** need to be flashed on all four sides.

a) The base flashing installed at the front (lowest) part of the chimney, shall include a single sheet of chimney flashing. Base flashing shall extend over the front of the chimney and wrap slightly around the sides.

b) The step flashing installed along the sloped sides of the chimney shall extend under the shingles along the chimney. The mason shall install the cap flashing in the mortar joints above the step flashing and shall extend down over the step flashing to provide protection from falling rain.

c) The back (upper) side of the chimney may be flashed with "backer flashing" only when the chimney is narrower than 24" and is constructed on a shallow roof pitch of 4:12 or less. A chimney saddle "cricket" or mini dormer should be installed on the upper face of the chimney on any roof pitch of 6:12 or greater to prevent future leaks caused by water or snow build up. (A chimney saddle design and construction explanation is provided on the follow pages.)



The rafter was set back from the chimney because of a big gap between the roof plywood and the chimney. Otherwise, the ends of the rafters would not have adequate support.

The first pair (and only pair) of rafters. This small saddle did not need any more than this simple frame. The sheathing will have no span greater than 24" in this structure.



A piece of OSB sheathing was installed. A simple triangle.

I bevel-cut the edge that met the old roof. This made for a cleaner joint.



The completed saddle framing, sturdy enough to walk on.

Shingling the saddle is similar to any woven valley and is explained in more detail on the web site listed below.

Ice and water shield should be applied to all saddles.

NOTE: This chimney saddle and roof shingle repair took approximately two hours to complete.

How to install a chimney saddle at <http://www.hammerzone.com/archives/roof/saddlesm/frame.html>

How to shingle the saddle at <http://www.hammerzone.com/archives/roof/saddlesm/shingles.html>



## 3402 WEST ST. PAUL AVENUE



1. Southwest view of roof and central chimney, also badly damaged front porch roof, which will not be repaired until the porch structure is stabilized or rebuilt



2. East view of house showing turret roof, shed dormer, side gable, rear porch and multiple shingle colors and styles



7. Close up of roof and chimney connections.

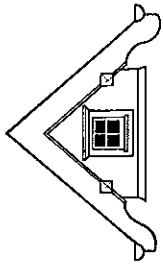




3. Closer view of roof damage on side gable taken from the south east



4. Closer view of the north east porch roof



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**City of Milwaukee, owner**

3402 W. ST PAUL AV., Weinstock historic house

**Description of work** Remove existing layers of roofing. Install new architectural shingles roof, GAF timberline natural shadow shingles in pewter gray color.

**Date issued** 6/8/2011

PTS ID 73060 COA, NEW SHINGLE ROOF

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

A continuous ridge vent can be installed. If box vents are used, they must be on the elevations that are not visible from the street and painted out to match the color of the shingles. No trim dormers or chimneys will be removed. A new half-round high-back or one-quarter round high-back gutter will be installed.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

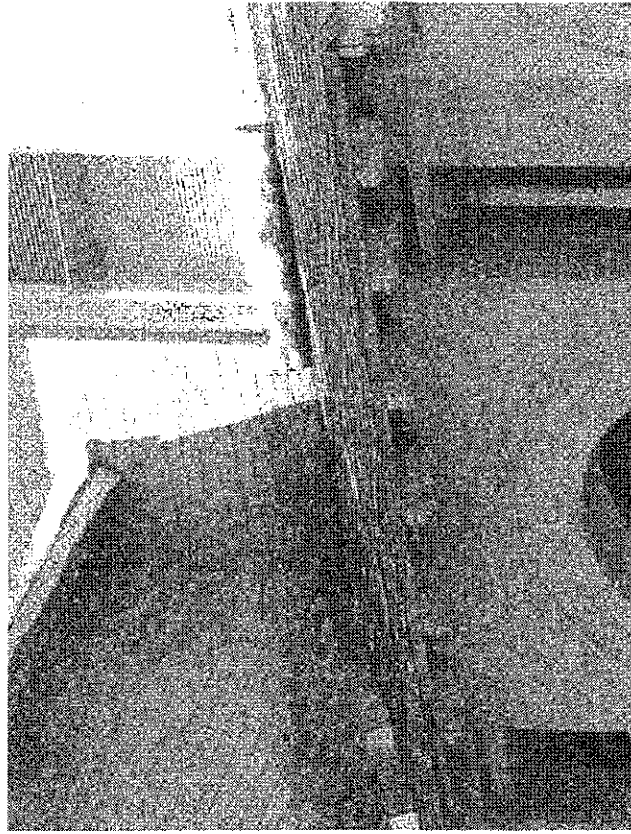
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Tim Temperly (286-2536)



3. Closer view of roof damage on side gable taken from the south east



4. Closer view of the north east porch roof

Because of the rafter tails, a quarter round high-back gutter or half-round high-back gutter is recommended. A tracing should be made of the roof edge and sent to the gutter company for a final recommendation. K-style gutters should not be used.



Legislation Details (With Text)

**File #:** 110275      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/15/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new roof and chimney repair at 825 N. 33rd Street for Ralph and Evelyn Williams.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/15/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110275  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new roof and chimney repair at 825 N. 33rd Street for Ralph and Evelyn Williams.

Requestor

Drafter  
CC-CC  
dkf  
6/15/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Concordia

ADDRESS OF PROPERTY:

825 N. 33 St. Milwaukee, Wis. 53208

2. NAME AND ADDRESS OF OWNER:

Name(s): Ralph V or Evelyn L. Williams

Address: 825 N. 33 St.

City: Milw.

State: Wis.

ZIP 53208

Email:

Telephone number (area code & number) Daytime: 414-931-0392 Evening: Cell 414-852-4007

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Rodriguez Landscape Co. Inc.

Address: 534 W. Madison St.

City: Milwaukee

State: Wis.

ZIP Code: 53204

Email: rodriguez-landscape@yahoo.com

Telephone number (area code & number) Daytime: 414-383-3300 Evening: Cell 414-828-9415

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Repair 2 chimney by replacing missing mortar on the face of each side.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Tear off old roof and dispose of. Boards are to be checked and secure or replaced where needed. Install tar paper, dip edges, & 25-30 year dimensional shingles with new air vents where needed. Install new flashing around the base of chimneys and roof valleys. Shingles will be Timberline Natural shadow product charcoal color

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Raul Rodriguez  
Signature

Raul Rodriguez 6-10-11  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

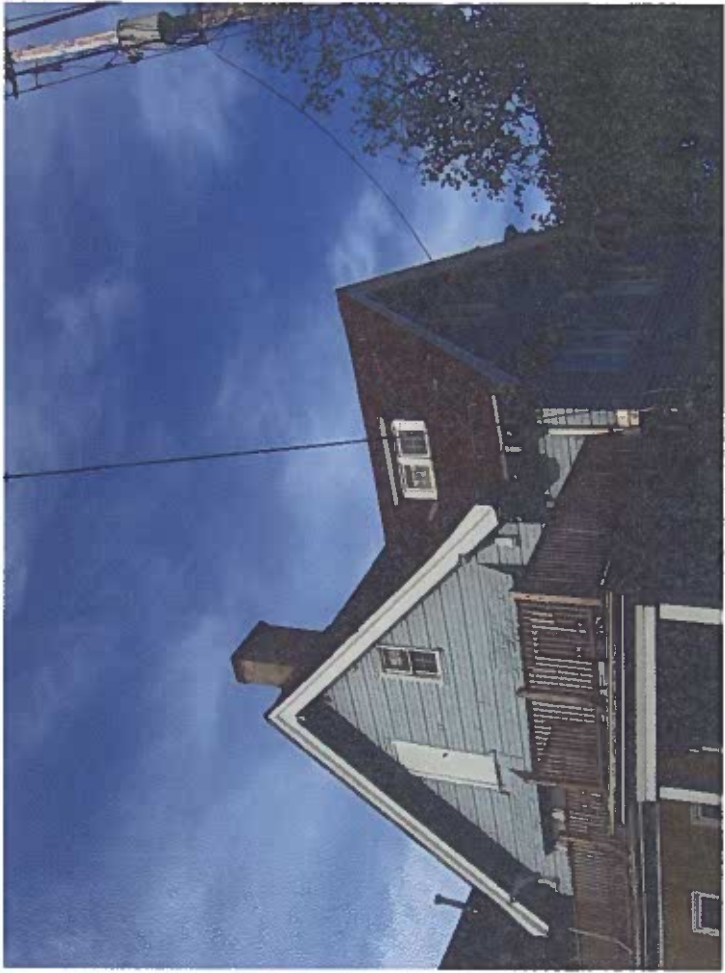
FAX: (414) 286-3004

www.milwaukee.gov/hpc













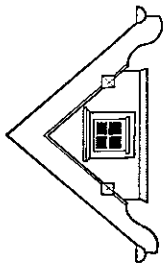












# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

**Ralph and Evelyn Williams, owners**  
825 N. 33RD ST., Concordia Historic District

**Description of work**

Remove existing shingles and repair any wood underlayment as necessary. Install new timberline, Natural shadow shingles in barkwood color. Repair chimneys as needed with new, stippled stucco finish (note chimney's already have a stucco finish over the brick which cannot be completely removed without damaging the brick).

**Date issued**

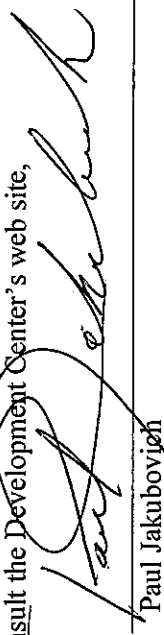
6/14/2011

PTS ID 73229 COA, new roof and chimney repair

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

No gutters chimneys dormers wood trim or other features will be removed. A continuous ridge vent will be inst all for venting. Any box style vents must be on the rear slope of the roof and not visible from the public right of way. Shingles will be timberline Natural Shadow shingles in Barkwood color.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.



Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor Rodriguez Landscape, Inspector Joel Walloch (286-8160)



Legislation Details (With Text)

**File #:** 110276      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/15/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for tuckpointing building, rebuilding back stairs, resurfacing parking lot and parking spaces at 3209 W. Highland Blvd. for Forest County Potawatomi.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, PARKING LOTS

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/15/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110276  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for tuckpointing building, rebuilding back stairs, resurfacing parking lot and parking spaces at 3209 W. Highland Blvd. for Forest County Potawatomi.  
Requestor

Drafter  
CC-CC  
dkf  
6/15/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

Lion House

**ADDRESS OF PROPERTY:**

3209 West Highland Blvd

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Forest County Potawatomi - Concordia Trust Property

Address: 320 East Buffalo Street

City: Milwaukee

State: WI

ZIP 53202

Email: rzeller@greenfirellc.net

Telephone number (area code & number) Daytime: 414-727-6110

Evening: 262-613-7696

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): Greenfire Management Services, LLC

Address: 302 E Buffalo Street

City: Milwaukee

State: WI

ZIP Code: 53202

Email: rzeller@greenfirellc.net

Telephone number (area code & number) Daytime: 414-727-6110

Evening: 262-613-7696

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

1 Photographs of affected areas & all sides of the building (annotated photos recommended)

3 Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

**THERE ARE NO ELEVATION DWGS.**

Attach Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

OK Floor Plans (1 full size and 1 reduced to 11" x 17")

OK Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Tuck Pointing only selected areas of the outside brick, resurface existing drive and add 3 new spots. Replacing existing posts and steel handrail for safety reasons. Replacing existing back outside stairs for safety reasons. Checking the outside drain at bottom of ramp, replacing one broken glass panel. Windows were replaced by previous owner and they used white aluminum sliders 1985. Having the roof inspected but doing NO work. No work inside except replacing carpet. NO painting inside or outside.

Photo No. 1-7

Drawing No. A1.1, A, B, C

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

We are not replacing or removing any outside brick. Tuck pointing only in selected areas using lime based mortar from US Heritage Group. (have the specifications if needed) Design is to replace the outside handrail with same materials only new. Back outside stairs are being replaced with same material which was rotting and in an unsafe condition. Mortar joints are being routed out using both a side grinder and small width hand tools. No brick is being removed and replaced.

Photo No. 1-7

Drawing No. A1.1, A, B, C

6. SIGNATURE OF APPLICANT:

  
Signature

Robert Zeller      6-10-11  
Print or type name      Date

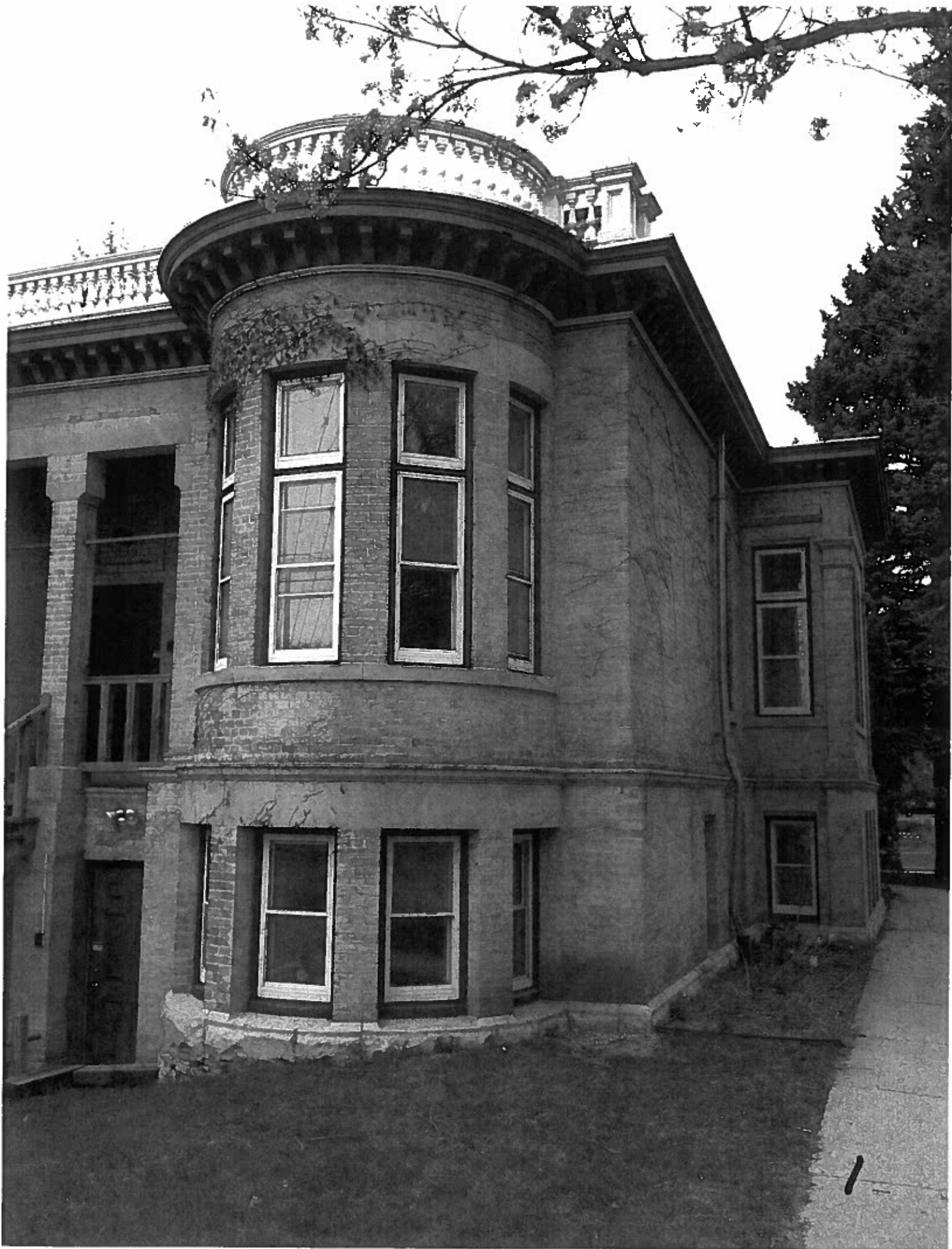
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
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City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



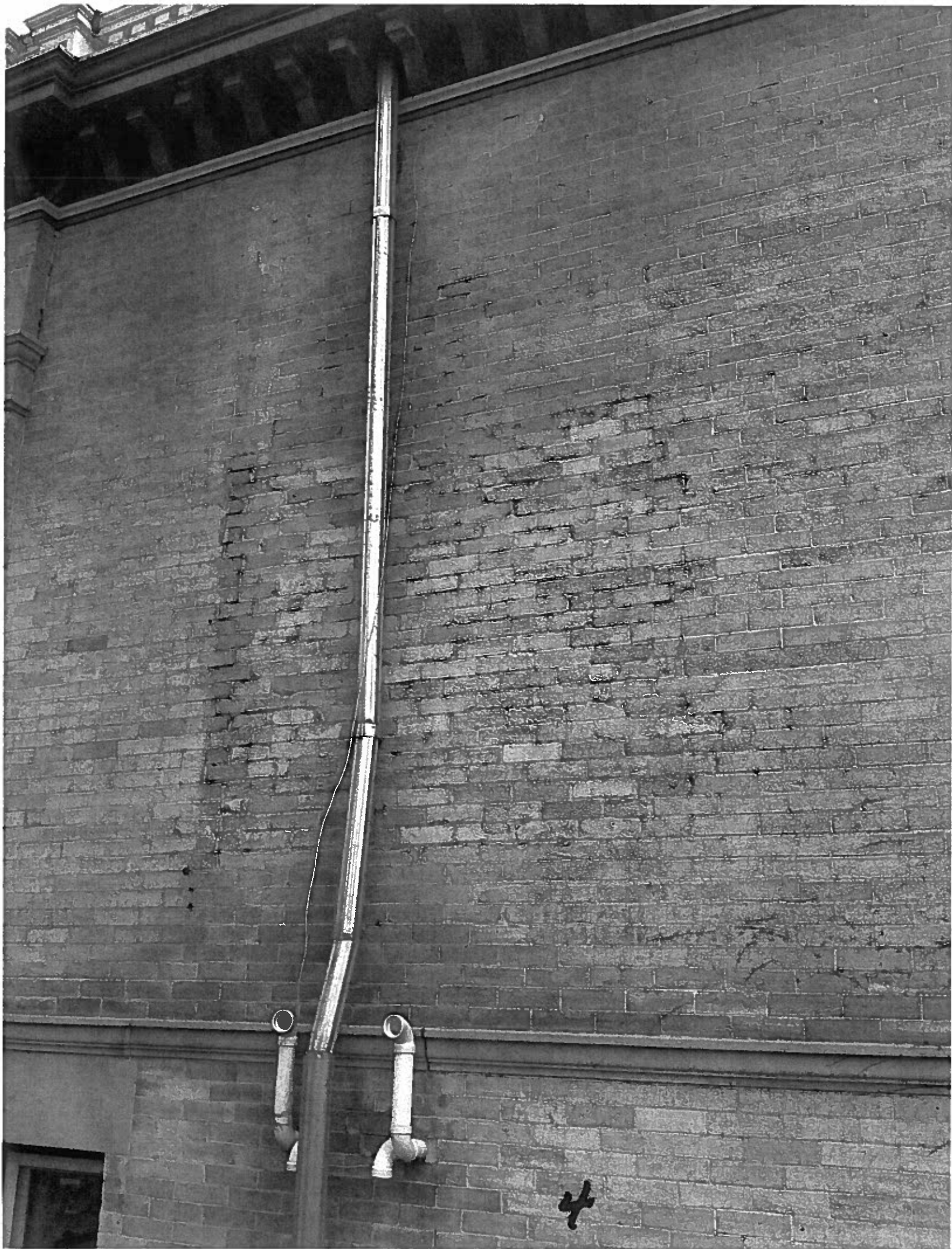


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KEEP OFF  
Can shock, burn,  
& injure severely.

2



















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This product is available online

**Submittal Sheet for Heritage Cement-Lime Mortar (Type D)**

[Print Version](#)

**Product Highlights:**

Type O mortar is a formulation that has been widely used by craftsmen and specified by architects during the twentieth century. The formulation is a factory produced blend of hydrated lime, portland cement, and sand that is proportioned to provide an even life-cycle performance for new masonry construction applications as well as historic buildings that were constructed with high lime mortars.

All mortar ingredients are carefully manufactured by weight to meet applicable ASTM C270 Standards. This product is available in a medium sand gradation for standard joints.

Heritage Cement/Lime Mortar complies with ASTM C270-07 Standard Specification for Mortar for Unit Masonry, Proportion Specification.

**NOTE:** Four full 80 pound bags of this product mixed in a conventional paddle type mortar mixer equals approximately the same quantity as a Type N mortar formulation mixed with 16 to 18 shovels of sand at the jobsite.

**Recommended Uses:**

This mortar is recommended for structures that were originally constructed using a high lime mortar. This is also the most popular mortar specified for new masonry construction or when the presence of natural or portland cement in the original formulation is confirmed through mortar testing.

This formulation is also a good choice for marine environments and/or work being carried out near the end of the construction season when frost or freezing temperatures may be a concern. This mortar sets up faster and has the ability to become more durable quicker than straight lime mortars.

**Mixing Instructions:**

Place half the amount of water into the bucket, wheelbarrow or mechanical mixer. Add the dry material slowly into the mixer. Add the additional water and remaining dry material. Using a mortar hoe, paddle drill or mechanical mixer - mix the material for 3 full minutes. Repointing mortar should resemble the consistency of brown sugar. Additional water may be added for laying masonry units. Allow mortar to stand for 15 to 20 minutes prior to using. Remix mortar again before use. If too much water is used mistakenly during mixing - set aside and allow for water evaporation in direct sunlight to thicken up the material prior to use.

**Surface Preparation:**

Repointing: Joints should be clean of debris and old mortar removed to a depth of 2 to 2.5 times the width of the joint. The joints need to be sprayed generously with water and allowed to absorb to the point of Saturated Surface Dry (SSD) with no standing water present.

Brick and Stone with high initial rate of absorption (IRA) should be pre-soaked with water prior to assembly.

For masonry walls that are extremely absorbent, such as limestone, sandstone and common brick, the walls should receive an additional water prior to the start of the work. Temperature of the masonry material and direct sunlight as well as wind, altitude and humidity will affect the ability of a wall to reach the required Saturated Surface Dry (SSD) state.

Old mortar should be removed to a minimum depth of 2-1/2 times the width of the joint to ensure an adequate bond and to prevent mortar "popouts." For most brick joints, this will require removal of the mortar to a depth of approximately 1/4 to 1 inch; for stones with wide joints, the mortar removal may need to be several inches. Any loose or disintegrated mortar beyond this minimum depth also should be removed. Mortar should be removed cleanly from the units, leaving square corners at the back of the cut.

The traditional manner of removing the mortar is through the use of hand chisels and hammers. Though labor-intensive, this method poses the least threat for damage to the masonry units. Small pneumatically powered chisels also are effective as long as the masons maintain appropriate control over the equipment. Power grinders should not be used unless the operator will assume liability if irreversible damage is caused to the historic masonry units. Use grinders with extreme caution. Before filling, the joints should be rinsed with a jet of water to remove all loose particles and dust.

Do not widen the existing masonry joints by cutting into the surrounding edges of the masonry units.

**Application Procedures:**

Mortars for repointing can be applied in single lifts up to a maximum one and one-quarter inch (1-1/4 inch). When the depth of the mortar application exceeds 1-1/4 inch, then divide the application depth by two - for example a joint depth of 1-1/2 inch can be pointed in two 3/4-inch layers. Fully compact each layer and allow it to become thumbprint hard before applying the next layer. Thumbprint hard is when the applied mortar has dried enough that it is tight when you touch it with your thumb or finger.

After the deepest areas have been filled to the same depth as the remaining joints, point all joints by placing mortar in layers not greater than one and one-quarter inch (1-1/4 inch). Fully compact the mortar into the joint.

Overfill the mortar past the face of the masonry units but do not allow it to spread over the edges onto the masonry surfaces. Do not feather edge the mortar. Where existing bricks or stones have worn edges, slightly recess the finished mortar surface below the face to avoid widened joint faces.

When the mortar is thumbprint hard, remove excess mortar from the edge of the joint by cutting with a trowel or raking tool. Match the original joint profile and finish. The point at which the mortar becomes thumbprint hard will depend on several factors: the mortar formulation, weather conditions, the rate at which the masonry units absorb water, the application depth, and the width of the joint. Lime mortar can often be finished within hours of installation or the following day. Follow the mortar manufacturer's recommendation regarding the timing for tooling the joints. The joints should be finished to match the original



**historic joint profile**

Remove existing mortar from masonry surfaces within the raked-out joints to provide reveals with square backs and to expose masonry for contact with the repointing mortar. Brush, vacuum, or flush the joints with water to remove dirt and loose mortar. Do not spall or chip masonry units in the process of mortar removal.

For the long-term performance and appearance of the replacement mortar, do not feather the edge of the existing mortar. Featheredging happens when a joint has not been raked out deep enough, when square-back corners have not been cut, or when the grinding wheel is removed from the joint. To promote bonding between the existing and the replacement mortars, the meeting point should be clean-cut at a 90-degree angle.

You have up to 2 hours to complete your work prior to the initial set of this mortar. Tempering with water is permitted during use.

**Curing Procedures:**

Acceptable curing methods include covering the repointed wall with plastic sheeting, periodic hand misting, and periodic mist spraying using a system of pipes, mist heads, and brms. Adjust curing methods to ensure that the pointing mortar is damp without eroding the surface of the mortar. Curing methods will vary in different parts of the country and at different times of the year, calling for different amounts of water to be used in the wet-and-dry cycles. Adjustments also have to take into account how much time is remaining before freezing weather arrives.

Because this formulation contains portland cement as an ingredient - maintaining the wet/dry cycles required for straight lime-based mortars is not required for optimum performance.

**Clean-Up:**

Clean tools with water.

**Safety Requirements:**

Contains portland cement, hydrated lime and silica sand. May be irritating to eyes and nose. Prolonged inhalation may cause delayed lung injury, including silicosis and possible cancer. Avoid contact with eyes and skin. Wash skin thoroughly with water after handling. In case of eye contact, flush with plenty of water for at least 15 minutes. If irritation persists, consult a physician immediately. Dust mask, gloves and eye protection is recommended when handling or opening this package.

**KEEP OUT OF REACH OF CHILDREN.****Limitations:**

This material will not adhere properly when skimmed across the surface of cracks. The use of muratic acid in field-mixed solutions or brand-name cleaners containing acidic materials are not recommended. Sands used in this product offering do not meet ASTM C144-04 Standard Specification for Aggregates for Masonry Mortar.

**Storage:**

Keep material in dry storage. Keep protected from high humidity conditions. For dry bagged product, do not allow plastic shrink wrap to remain on material pallet for extended periods of time as this can potentially trap moisture. For product packaged in buckets, ensure that the lid is tightly sealed.

**Shelf Life:**

Material should be used within six months of date of shipment.

**Limited Warranty:**

U.S. Heritage Group, inc. warrants this product to be of merchantable quality when used or applied in accordance with the manufacture's instructions. This product is not warranted as suitable for any purpose or use other than the general purpose for which it is intended. Liability under this warranty is LIMITED to the replacement of the product (as purchased) found to be defective, or at the shipping companies' option, to refund the purchase price. In the event of a claim, Chicago, IL 60641. THIS LIMITED WARRANTY IS ISSUED AND ACCEPTED IN LIEU OF ALL OTHER EXPRESSED WARRANTIES AND EXPRESSLY EXCLUDES LIABILITY FOR under this warranty, notice must be given in writing to U.S. Heritage Group, inc., 3516 North Kostner Ave.

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v. 773-286-2100 | f. 773-286-1852

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### Architectural Resource Center

Welcome to the Architectural Resource Center, which contains information that is designed to make it easier for you to specify a job to use our materials and services.

If you need additional information, please contact our office at 773-2100 or [info@usheritage.com](mailto:info@usheritage.com)

#### Benefits of USHG Type O Mortar Versus Conventional Type N

Posted by: John Spewek, Director of Education  
11/03/2008 13:07:52

When ASTM-C270 is specified, two mortars meet the specification:

- Type N qualifies under ASTM-C270
- Type O qualifies under ASTM-C270

U.S. Heritage type O mortar is blended to the ASTM-C270 proportion specifications:

One (1) part portland cement  
Two (2) parts hydrated lime  
Eight (8) parts sand

Note that ASTM-C270 does not specify sand gradation sizes. Instead "m sand," which is essentially a one size fits all product, is considered an acceptable aggregate choice, and most contractors do not appreciate the importance of appropriate sand gradation. U.S. Heritage Group trains contractors to recognize the importance of selecting sand gradation that accommodates various joint widths, and similarly, this is an opportunity for contractors to educate their customers why selecting the appropriate sand gradation is important to long lasting performance of masonry repairs.

U.S. Heritage uses the maximum amount of lime in the formula and slightly reduces the sand to enhance workability and deliver optimum bond strength. The USHG Type O is a neutral, natural light grey, and it is an excellent match for color pigments. By contrast, most type O mortars that are manufactured at high-yield cement plants use more portland cement, producing a cool grey that lacks the warmth of the more traditional Type O, and it is less likely to match historic masonry.

#### Benefits of USHG Type O Mortar Versus Conventional Type N

Our high lime formula offers the following benefits:

- Better bond strength
- Higher flexibility
- Increased porosity (Larger sand offers increased porosity)
- Breathability

- Improved vapor transmission
- Improved self-healing (Type N mortar, if made according to ASTM prop specifications, requires no lime in the formula. Since autogenesis healing on lime, Type N mortar has no self-healing properties)
- Color enhancement (less pigment is needed to achieve desired color)
- Compressive strength is 750 – 950 psi after 28 days (equal to type N)

Type O mortar offers another substantial advantage for the contractor: the flexibility to easily match color in the field. Our premeasured color pack which is one bag of pigment to one 80 lbs. bag of mortar, offers 24 color stock and ready to use. To achieve a darker color, add two color packs. offers a total of 48 instantly available color options.

#### U.S. Heritage Type O Program

Replacement of all Type N ASTM-C270 specifications

- Purchase pre-blended type O by pallet quantities (42 per pallet, medium sand)
- Stock the pigments for 48 standard colors
- USHG to provide 2- 24 piece color kits, additional color kits can be purchased at a reduced cost
- Contractor specific information sheet explaining the advantages of type O with the intent to educate your customer and differentiate yourself from the competition.

---

#### Why Specify Preblended Products?

##### Achieve a Precise Match

U.S. Heritage Group is the only mortar manufacturer in the United States that offers a quality mortar matching and custom blending service utilizing a national sand library. Our commitment to quality starts with identifying the materials used in the original mortar through laboratory procedures that correspond to the U.S. Department of the Interior, National Park Service guidelines for historic masonry. All mortar formulations are designed specifically for each application condition to maximize life cycle performance. All mortar products comply with appropriate ASTM or ACI compliance when applicable.

Mortar products are weight batched, in contrast to volume batched at the jobsite, which eliminates the chance of any inconsistencies. The use of "lime putty" is new to the modern jobsite, and a lack of familiarity with the material accounts for many contractor mixing mistakes. By contrast, our production process accounts for each mix component, wet or dry, to ensure that the finished mortar complies to design and specification requirements.

##### Consistency

Consistency is maintained in each production run by using dried sand from a national sand library, which eliminates the bulking effect associated with varying moisture within the aggregate. (The size of the sand and its moisture content at the time of mixing can change in volume by as much as 30 percent at a jobsite.) Additionally, it is well documented that hydrated lime has a volumetric loss of 25 percent when converted to putty with the addition of water. To protect against problems associated with improper proportions of sand, cement, hydrated lime, lime putty, hydraulic lime and pigments are preblended together at our factory in controlled conditions.

##### Efficiency

U.S. Heritage Group custom preblended mortars significantly reduce the time required to formulate and install mock ups for architect approval. Most projects require a contractor to install mortar mock up samples for comparison against the original material, and while this requirement seems straightforward it is often complicated by vague testing report results and the difficulty of obtaining satisfactory raw materials to make the mortar.

U.S. Heritage Group's preblended materials allow the masonry crew to concentrate on wall preparation, mortar installation and finishing. Consistent mortar is guaranteed, with the result being higher quality, consistent mortar.

We also archive our material formulas and testing results, so we can rep  
the mortar upon request at any time.

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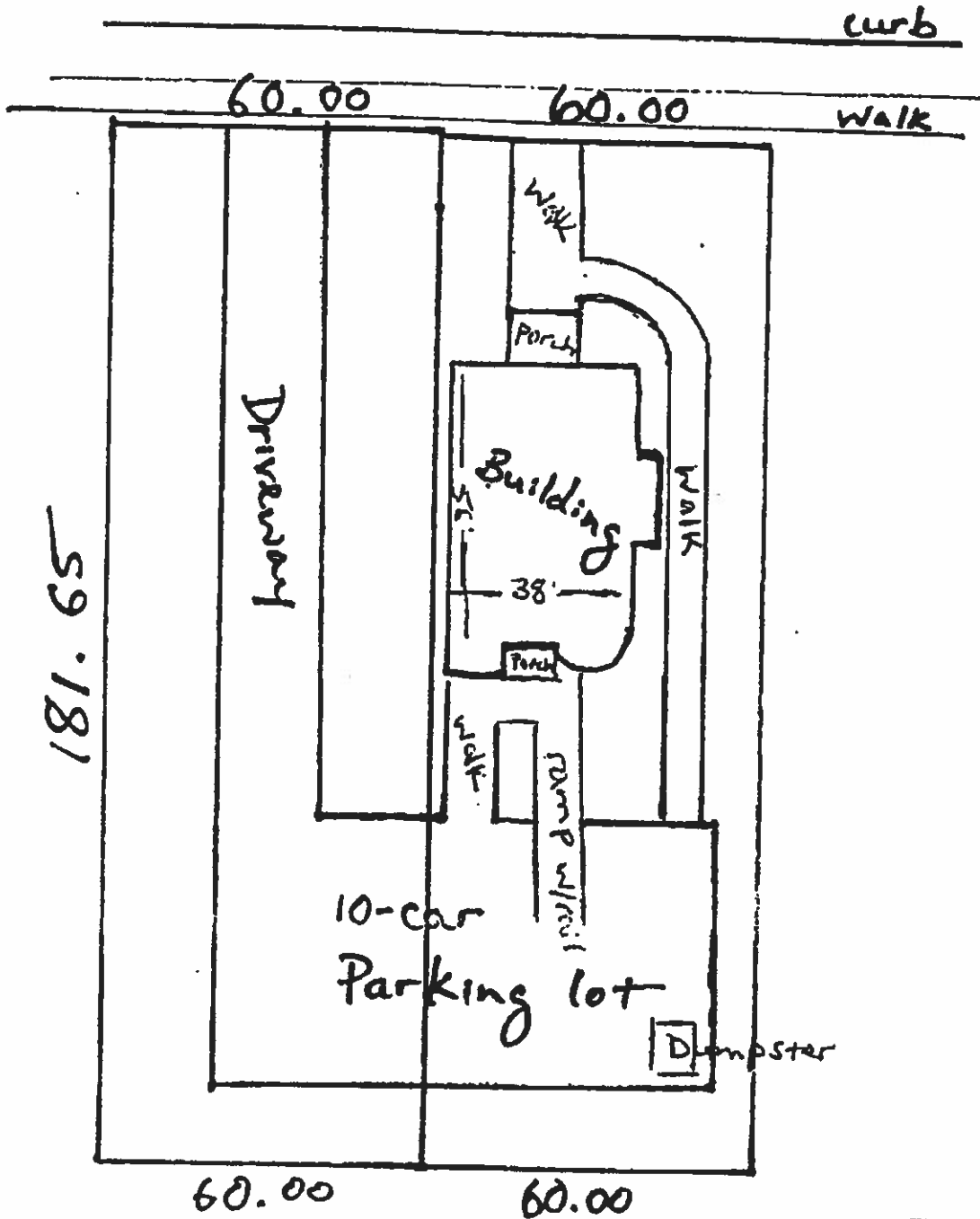
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v. 773-286-2100 | f. 773-286-1852

SPECIAL USE PERMIT RENEWAL  
for  
THE LION HOUSE AT 3209 WEST HIGHLAND BOULEVARD

OWNER: Old Milwaukee Investments, LLC

Site Plan

3215 + 3209 W. HIGHLAND BLVD



1" = 30'

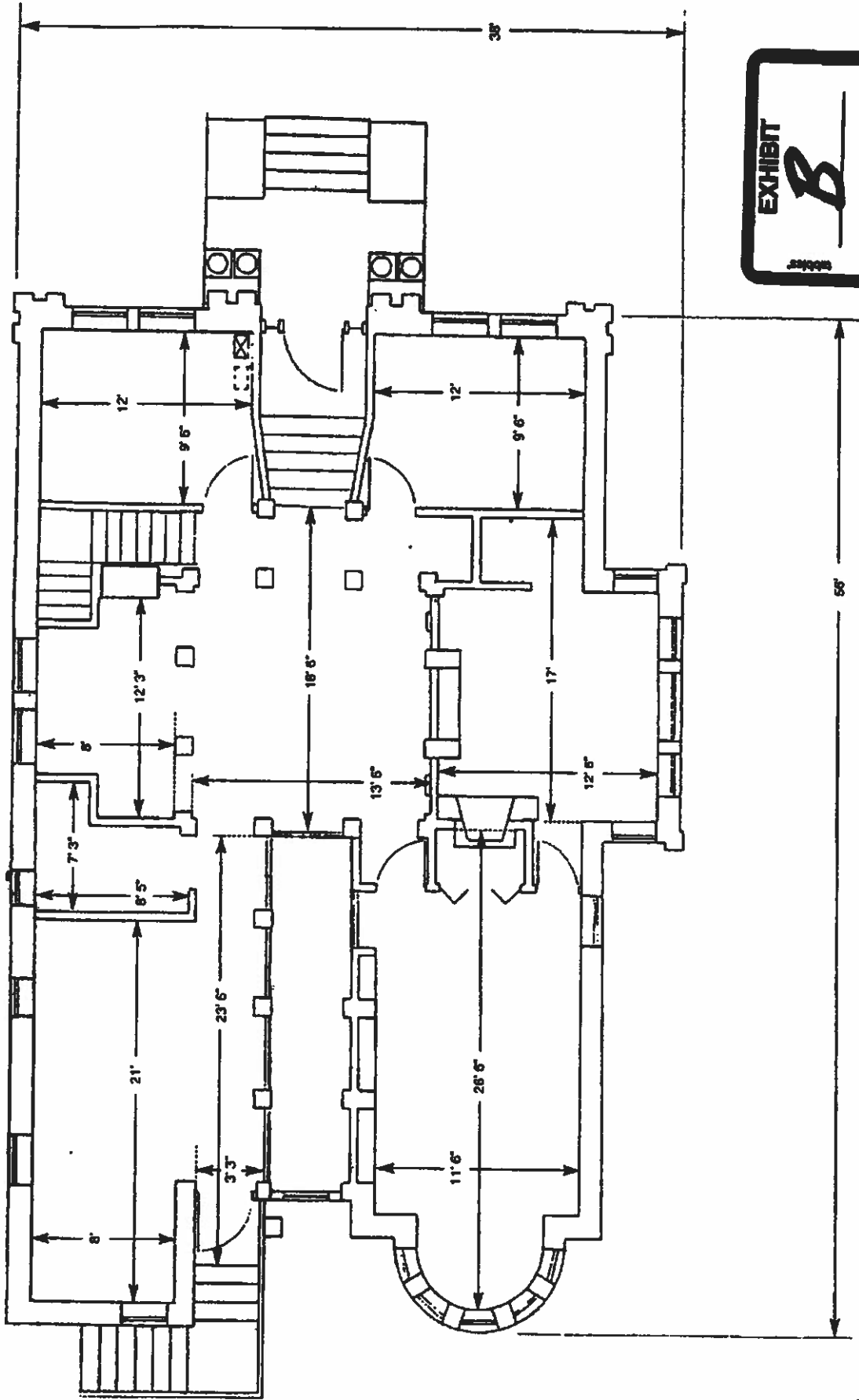
Vacated 20' Alley





**SPECIAL USE PERMIT RENEWAL**  
for  
**THE LION HOUSE AT 3209 WEST HIGHLAND BOULEVARD**

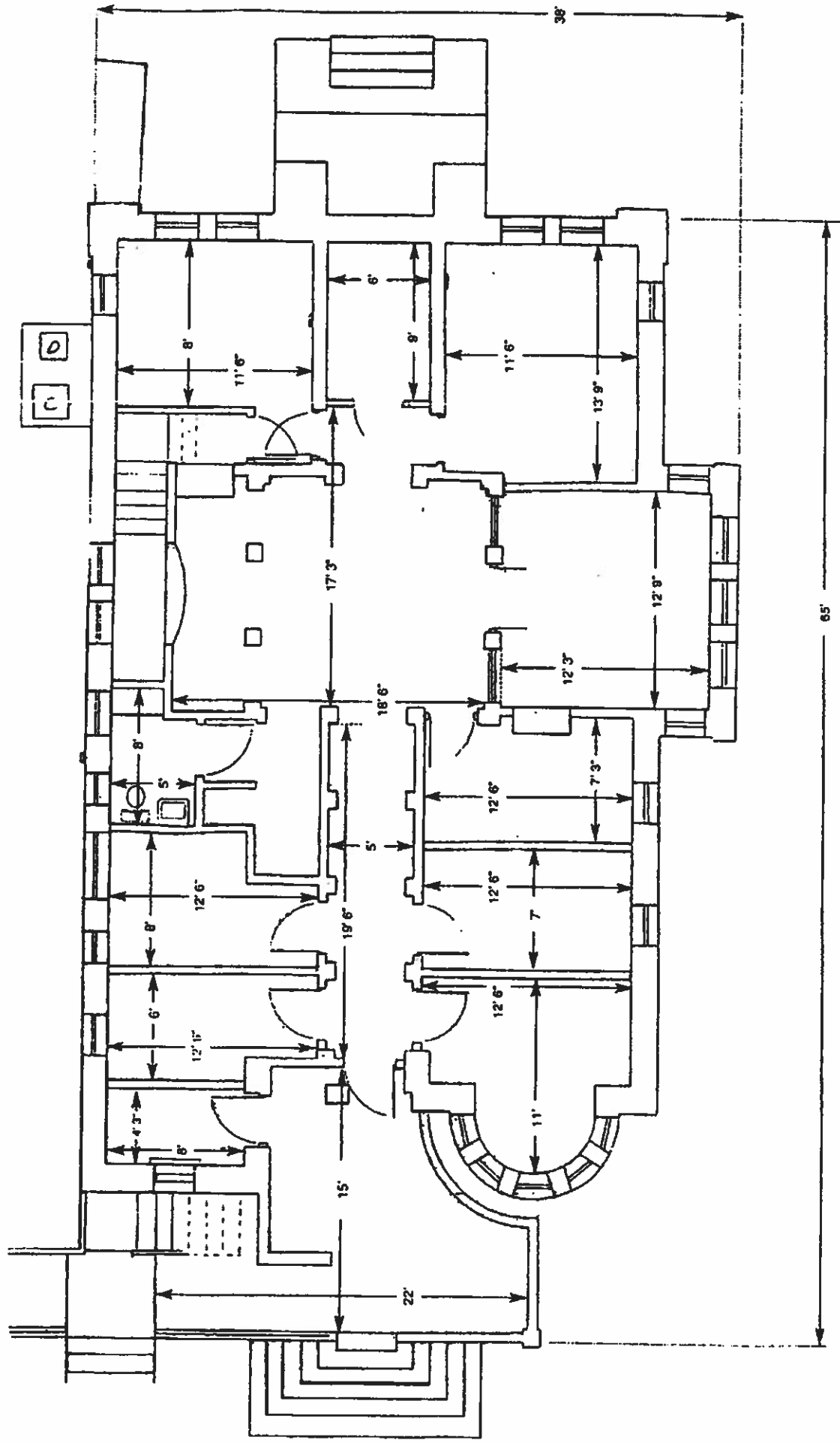
OWNER: Old Milwaukee Investments, LLC



1/8" = 1 foot  
Upper

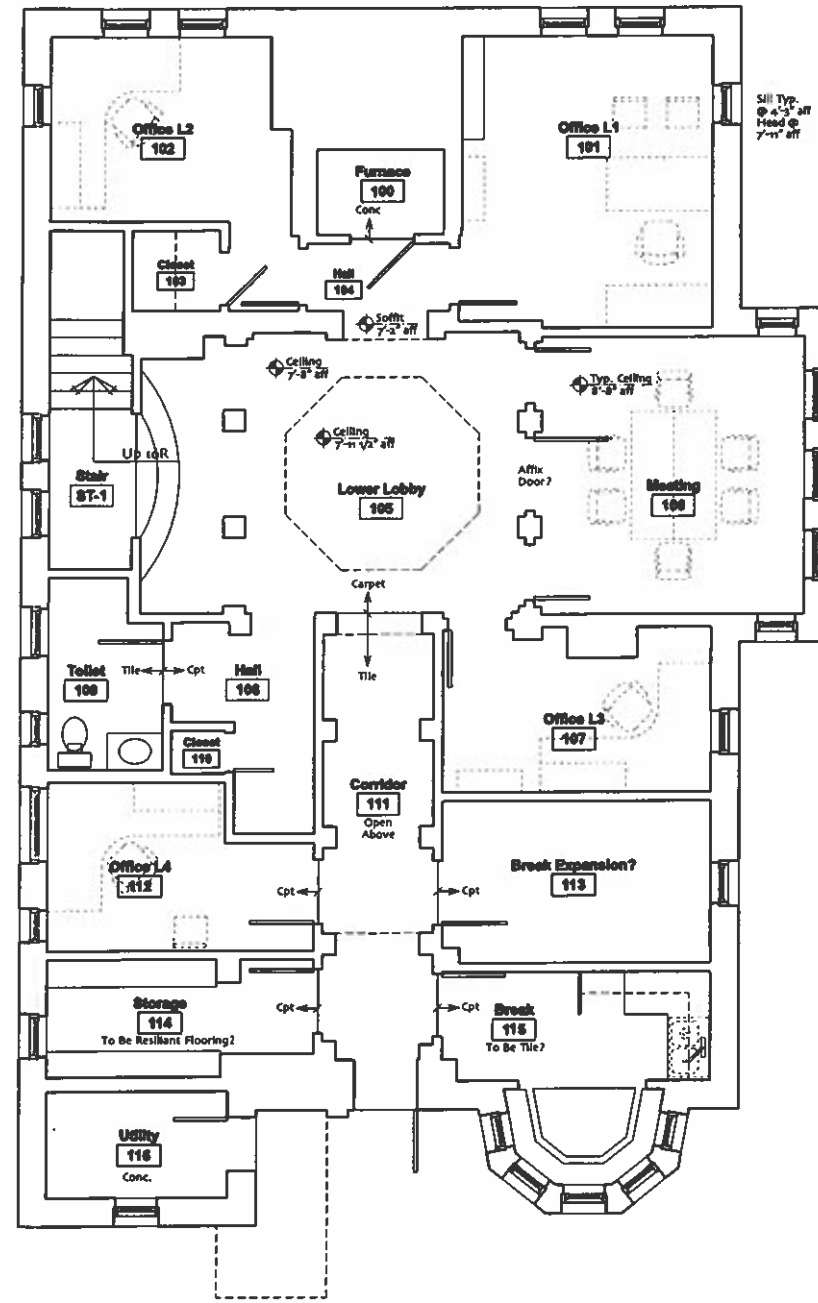
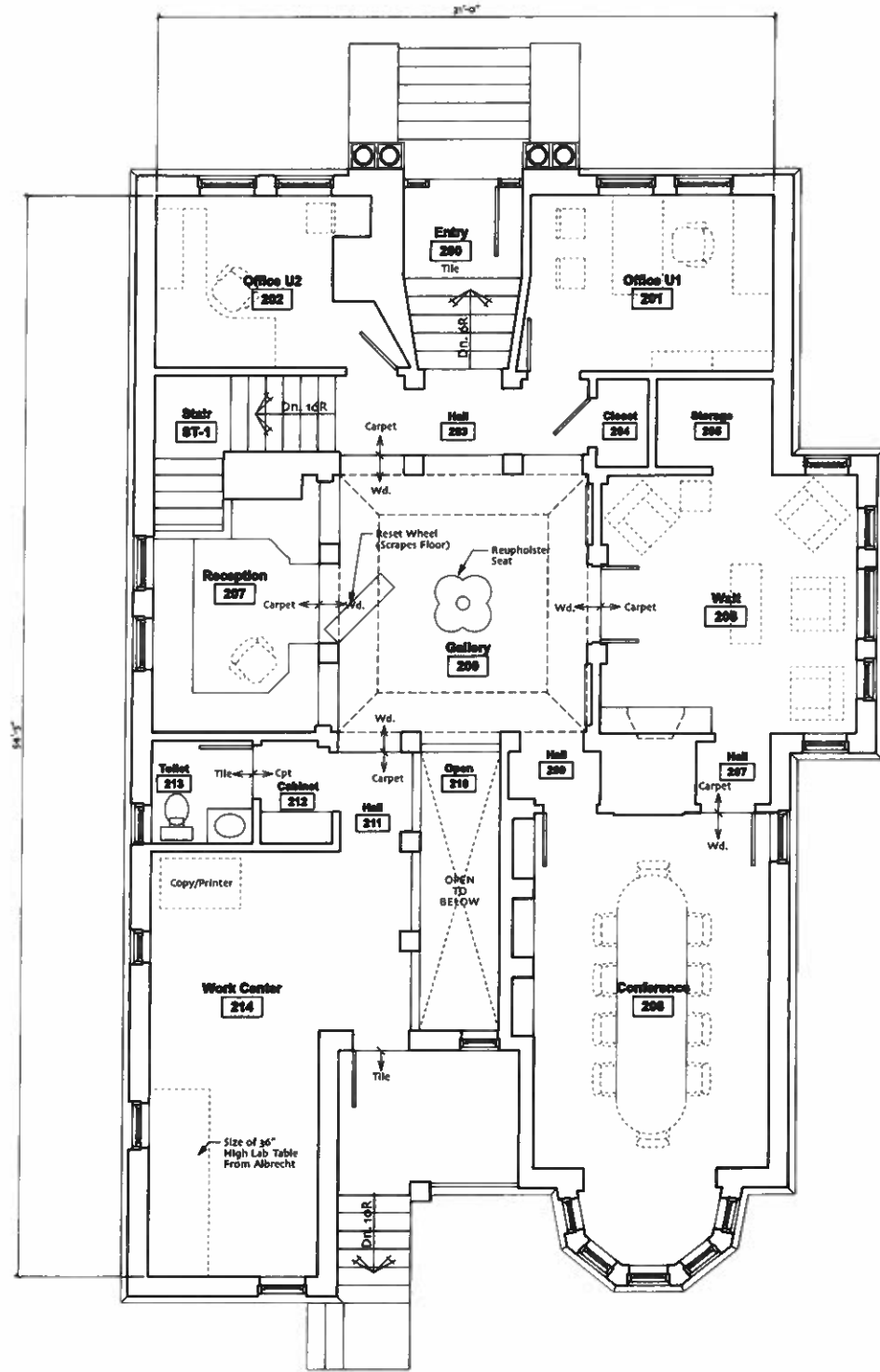
**SPECIAL USE PERMIT RENEWAL**  
for  
**THE LION HOUSE AT 3209 WEST HIGHLAND BOULEVARD**

OWNER: Old Milwaukee Investments, LLC



1/8" = 1 foot  
Lower





GENERAL NOTES:  
 1. Verify All Conditions and Sizes in Field.  
 2. All Wood Base, Both Levels, Approx. 9" High

REVISIONS

SHEET  
**June 1, 2011**

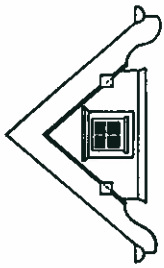
PROJECT NUMBER  
**194211**

SHEET TITLE

**Plans**

SHEET NUMBER

# A1.1



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Forest County Potawatomi, owner**

**3209 W. HIGHLAND BL., George Koch house, the "Lion House" historic building.**

**Description of work** Tuckpoint building as needed. Rebuild back wooden stairs. Replace wood guardrail and retaining wall at rear of building as needed. Install new asphalt on parking lot. Add three new parking spaces at rear of building.

**Date issued** 6/13/2010

PTS ID 73184 COA, tuckpointing, rebuild back stairs, resurface park lot, add parking spaces

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and specifications. New mortar for tuckpointing will match original in terms of hardness, color, texture, Joint width and Joint Finish. Only deteriorated mortar can be removed. Please see "Good For business" for an explanation on why mortar that is too hard is prone to premature failure and can potentially damage the existing brick. Rear stair will be rebuilt in wood with balusters spaced between 1-1/4" and 1-3/4" apart. Guard rail and retaining wall to lower level entrance will be rebuilt in kind using like with like materials in terms of dimension and design. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

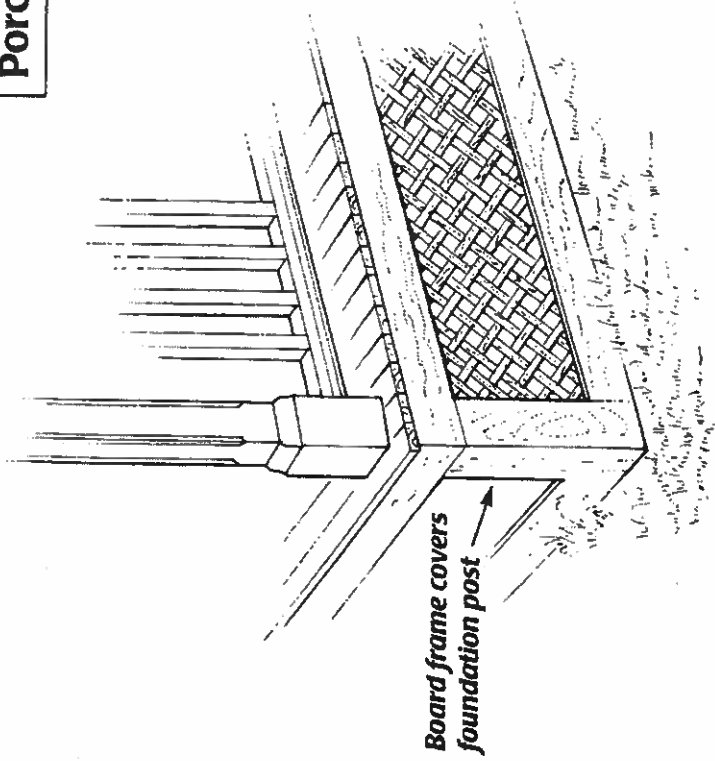
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

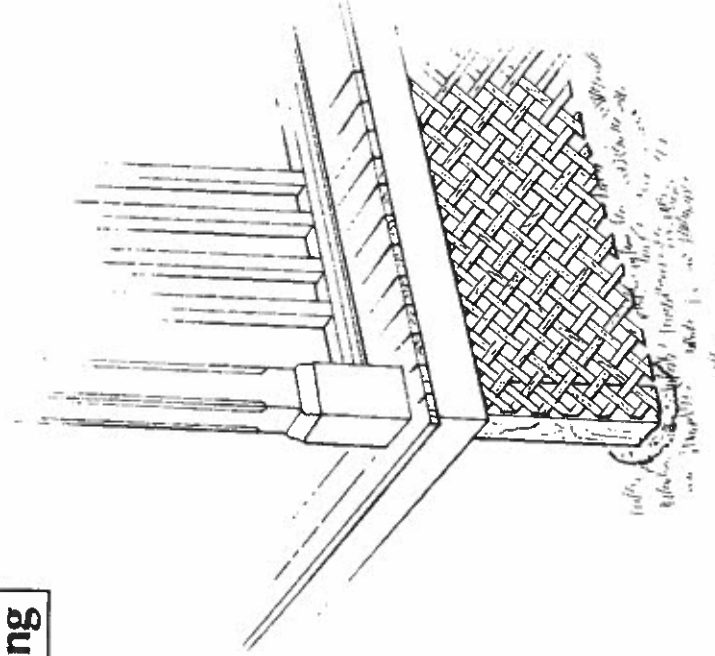
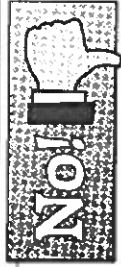
# Porches



## Porch Skirting

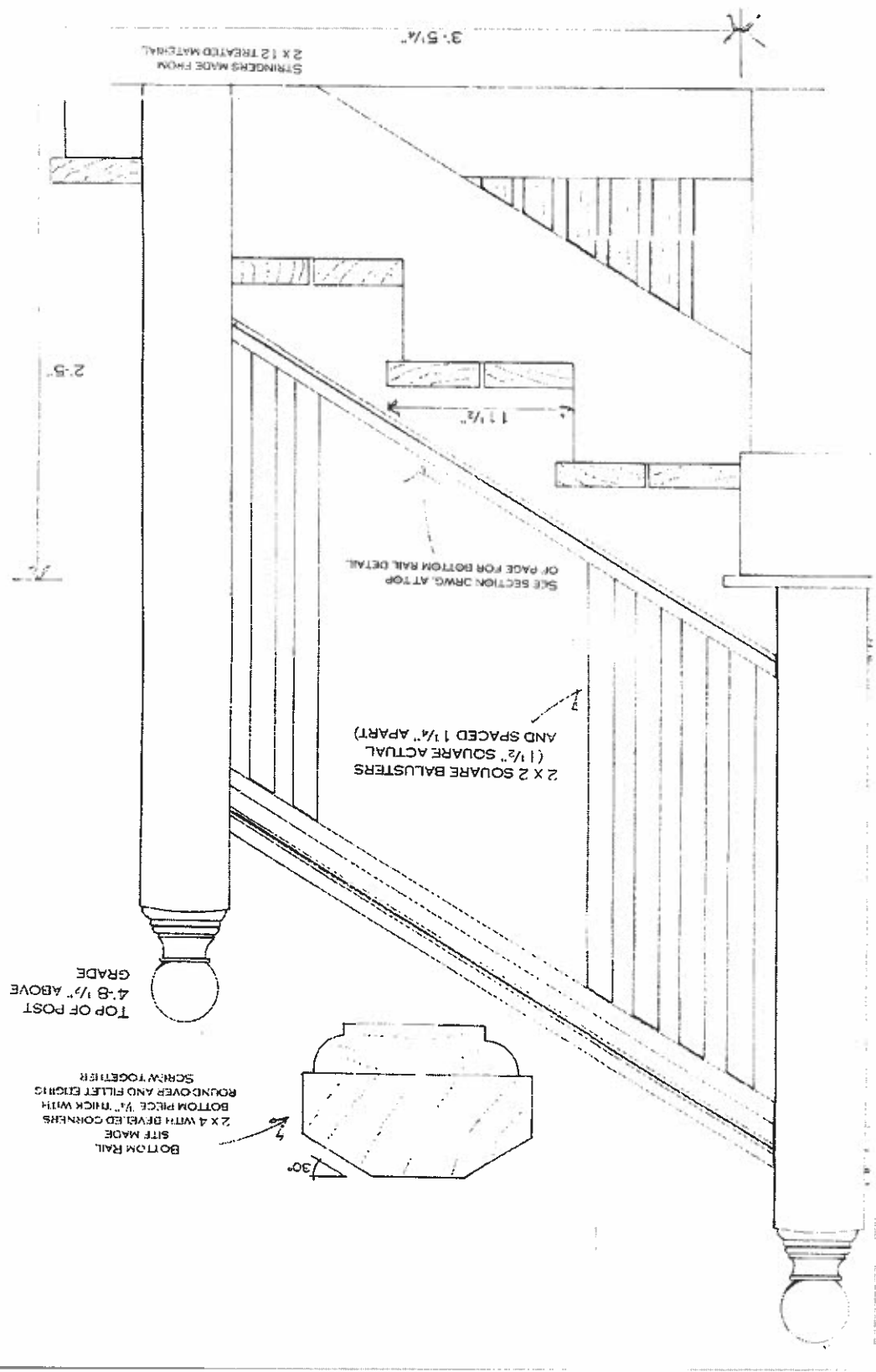


Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

A skirting will be installed around the base of the new back porch. A skirting composed of 2" wide slats spaced no more than 3/4" apart is an acceptable substitute for the lattice infill shown here.



**Detail of porch railing. Note: to meet commercial code, railings will have to be 42" above steps and decks and have a graspable handrail as required by code.**



Legislation Details (With Text)

**File #:** 110277      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/15/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild front, and rear porches, and repair siding at 805 N. 28th Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/15/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110277  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild front, and rear porches, and repair siding at 805 N. 28th Street for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/15/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

CONCORDIA DISTRICT (EXPANDED)

ADDRESS OF PROPERTY:

805 N 28<sup>TH</sup> STREET

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE

Address: 809 N BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: YLAPPE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: (414) 286-5762 Evening: —

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J PIONKE DBA: I-COM

Address: 3254 S. 15<sup>TH</sup> PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.VV.COM

Telephone number (area code & number) Daytime: (414) 807-7250 Evening: —

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**



5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

FRONT PORCH RAILING & UPPER PORCH DECK RAILING ARE NOT APPROPRIATE, PIPE STAIR RAIL IS NOT APPROPRIATE, REAR SOFFIT FASCIA & CROWN MOLDING NEED REPLACEMENT, WOOD SHINGLES ON PART OF ROAR ALL OF SIDE AND BELOW WINDOWS ON FRONT ARE IN BAD SHAPE OR MISSING, REAR PORCH IS MISSING RISERS AND PORCH SKIRT

Photo No. 1-8 pg 1-4

Drawing No. —

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

WILL INSTALL NEW FRONT PORCH AND UPPER PORCH DECK RAILING & 2 STAIR RAILS USING BROAD LOAF UPPER & COMPOSIT RAIL SHOW, AND SQUARE STOCK SPINDLES. WILL REPLACE FRONT STAIRS AND BUILD 2 LEVEL POSTS TO ATTACH STAIR RAILS. WILL REPLACE ALL DAMAGED OR MISSING WOOD SHINGLES. WILL ADD NEW SKIRT & RISERS TO REAR PORCH DECK & STAIRS SEE CARPENTER SPECS.

Photo No. \_\_\_\_\_

Drawing No. 1 & 2

NEWEL BOX NEWEL ATTACHMENT

6. SIGNATURE OF APPLICANT:

Brian J. Prose  
Signature

BRIAN PROSE JUNE 5 2011  
Print or type name Date

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

## **SPECIFIC SCOPE OF CARPENTRY WORK FOR 805 N 28th STREET**

June 5, 2011

- 1) Replace all areas where soffit, fascia, and crown molding are deteriorated, after the roofers have completed their work. Approximately 35 linear feet of each material for the rear area of the main roof, and 10 lf for the front area.
  
- 2) Selective wood shingle replacement will occur in the bottom 18" or 4 courses on the rear (west) elevation of the house, under the windows on the front (east) elevation and on the entire 55 courses of shingles on the side (south) elevation. Both east facing dormers will also be re-shingled.
  - a) Shingles will be quarter sawn wood shingles that are treated with preservative and primed on all four sides prior to installation.
  
- 3) Front Lower Porch: Selective repair the front porch decking using 5/4" T&G Ipe decking (or comparable).
  - a) Replace the existing 2 sections of hand railing with new 46" long, 36" tall railings with a bread loaf upper rail and composite bottom rail. (See side porch railing design of 2812 W Wells Street)
  - b) Install 2 new 60" long stair rails of the same design as the hand rails, and attach the upper portion to the existing fluted columns.
  - c) Attach the lower end of the railing to new 6"x 6" boxed newel post (with a post cap per attached drawing) and attached to stringers using 3" carriage bolts (See drawings).
  - d) Construct (4) four new stair stringers evenly spaced, with the end stringers placed even with the outside edge of the porch columns. Install (4) four new stairs each 7-1/8" high, with treads each 11-1/2" x 2" and (4) four new risers each 7-1/8" x 1".
  - e) Construct and attach porch skirts with 1-3/4" wide slats, spaced 3/4" apart and mounted to 1"x 6" framing. (See design of front porch railing and skirt for 2812 W Wells Street)
  
- 4) The upper level porch roof membrane deck will be untouched.
  - a) The upper level porch will have (2) two new boxed 4" x 4" newel posts secured to new 7" x 7" x 1-1/2" plinth blocks, and the plinth blocks will be attached to the roof 11" from each edge with galvanized fasteners and sealed with silicon rubber cement.
  - b) Three (3) new sections of guard railings on the upper porch deck will be 33" tall and will include a bread loaf upper railing and a composite lower rail shoe. The lower rails will be at least 3" inches above the porch deck.
  - c) Both the 126" front railing and both 63" side railings on the upper porch will be attached to the newel posts or the house with 4" galvanized counter-sunk screws to make future repair and replacement easier.
  - d) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center.
  
- 5) Rear Porch: The rear shed style porch and roof will not be rebuilt.
  - a) The stairs will have risers installed of appropriate height.
  - b) A porch skirt will be built in 3 sections with 1" x 6" cedar framing and 1-3/4" slats spaced 3/4" apart. The south section will be 4'-10" wide x 4'-6" tall, the side section will be 5' wide x 4'-6" tall, and the stair section will be 4'-6" tall and taper to zero over the length of 5'-8".
  
- 6) Repair missing water-table board on west side of house between front and side porch, using like-with-like dimensioned wood material. Preferably clear western cedar.

## **GENERAL CARPENTRY SCOPE OF WORK**

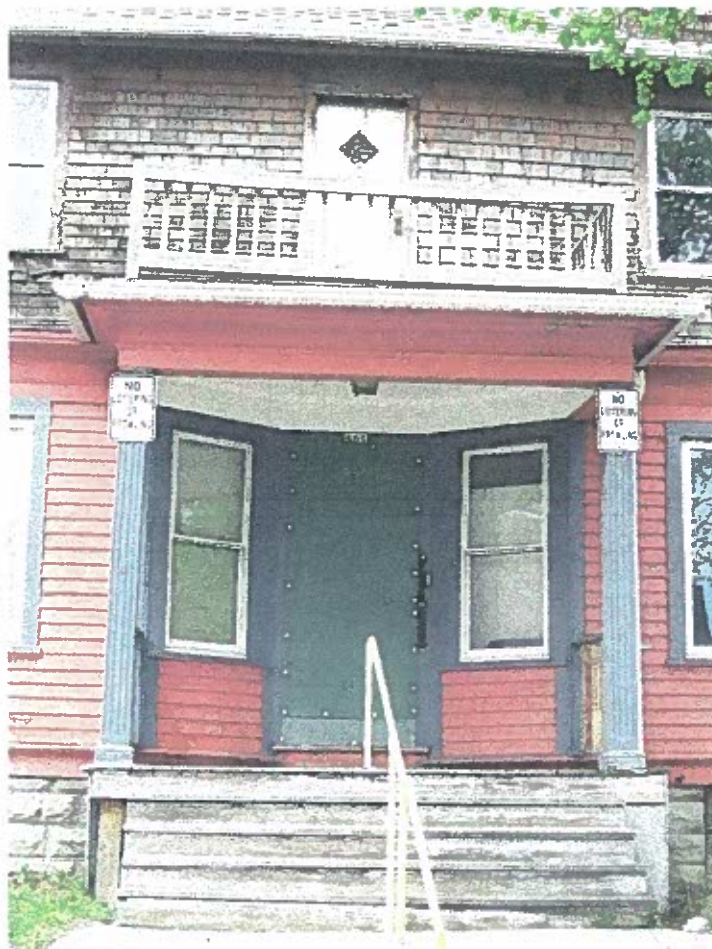
- 1) When rebuilding porch decks it is recommended that Ipe tongue & groove 5/4" x 4" decking (actual 1" x 3-1/2"), Spanish cedar, or an approved comparable material be used for all exterior porches.
  - a) All porches shall have a slope from the house to the outer porch edge of 1/4" per linear running foot of porch deck.
  - b) All decking will be run perpendicular to the house and be supported at the house with a ledger board and by joists a minimum of 18" on center, or IAW with the specifications of the UDC.
  - c) All joists will be mounted by means of joist hangers properly installed.
  - d) Specific porch deck designs will be provided for each project by the Owner's Representative prior to construction.
  
- 2) When rebuilding porch railings it is required that all railing be a minimum of 36" in height for residential properties and 42" in height for commercial properties.
  - a) All guard railings will include a bread loaf upper railing and a composite lower rail shoe, and all lower rails be installed at least 3" inches above the porch deck.
  - b) All railings will be attached to newel posts, columns, or the house with 4" galvanized counter-sunk screws to make future repair and replacement more accessible.
  - c) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center, and all spindles will be installed in a 1/4" x 1-1/2" blank with galvanized 1-1/2" screws.
  - d) All stair rails will mirror the design of the guard railings and be attached to newel posts.
  - e) All upper porch railings on second floor porches will mirror to design and appearance of the first floor railing, except that newel posts may be designed proportionate narrower.
  
- 3) When repairing or rebuilding porch skirts all materials will be of like-with-like wood replacement of the same design and dimensions as originally existed or as specified by the drawings provided by the Owner's Representative.
  - a) All porch skirts will be installed with a continuous board frame that is a minimum of 6" in width.
  - b) All framing will cover the rough framing lumber of the support posts, columns and beams.
  - c) All skirts will incorporate a slat design that will closely mirror the design of the wood railings above.
  
- 4) When repairing or rebuilding stairs all components will be of like-with-like wood materials.
  - a) All stairs will be supported by a minimum of three stringers with steps of equal height, and no step will exceed 8 inches in height.
  - b) There will be no more than a 3/16" variation between steps.
  - c) Each step will have a minimum tread width of 11" with a tread overhang of no more than 1 inch.
  - d) Each step will be constructed with a corresponding riser.
  - e) Any stairs with more than three steps will include a hand railing along each side of the stairs that attaches to a lower newel post and an upper newel post or column.
  
- 5) Miscellaneous repairs or replacement to items such as the water table board, soffit, fascia or crown moldings will use like-with-like material of the same design and dimension as currently exists.
  - a) Any new elements such as the addition of or removal of windows or doors will be indicated by the Owner's Representative and specified as to the design and dimension of each new element.
  - b) Generally new windows will be of a double-hung design with proportions and trim work similar to other existing windows. Doors will be a minimum of 6'8" in height and 36" in width to accommodate ADA accessibility, and will reflect the panel design of other exterior doors on the house.



# 805 N. 28TH STREET



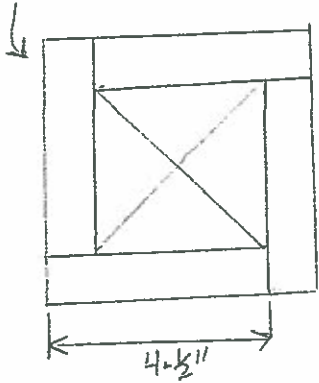
1. Front (East Elevation) w/ shingled upper level, two dormers, porch railing & K Style gutters



2. Front porch (East Elevation) with upper porch railing

# EXPLODED VIEW BOXED NEWEL DESIGN

TOP VIEW OF  
BOXED NEWEL



1" x 6" BOXED NEWEL

SECOND  
STEP

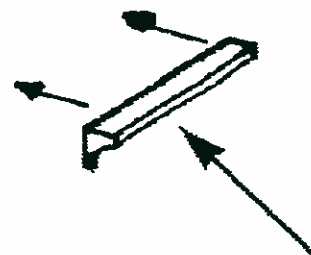
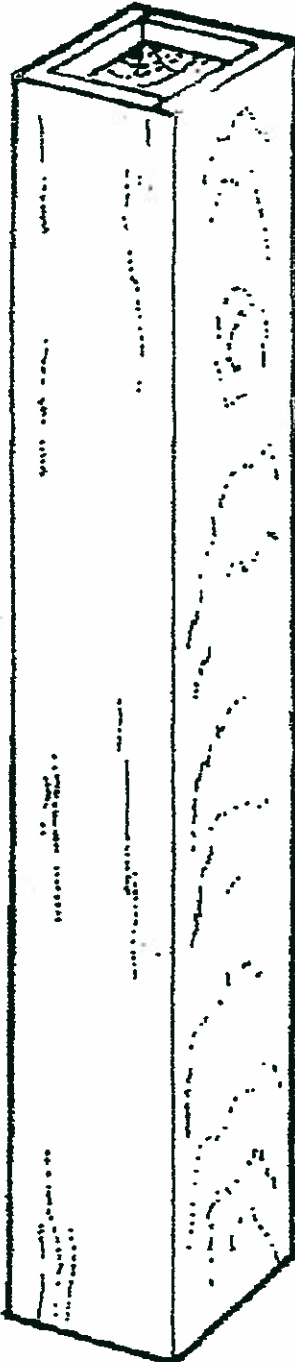
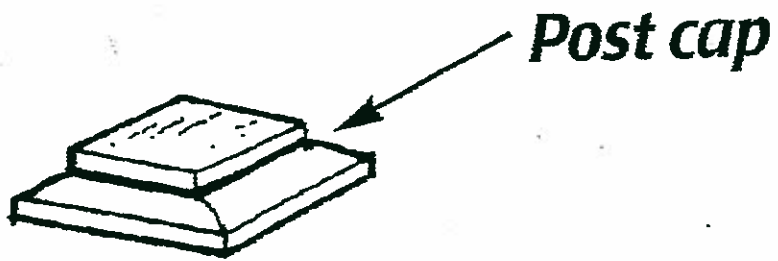
4" x 4"  
POST

BOTTOM  
STEP

2" x 12" STRINGER

2" x 4" BASE

7-1/2"



Newel post

5"



# 805 N. 28TH STREET



3. Front Porch (East Elevation) skirt and stairs



4. Front Porch south railing and column deterioration



5. Front Porch north railing and column deterioration



## 805 N. 28TH STREET

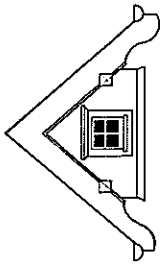


6. Northern-most Attic Dormer with wood shingle details above new K-Style gutter



7. Second floor (South-East Elevation) cornice line connection showing new K-Style gutters and shingle deterioration





# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**City of Milwaukee, owner**

**805 N. 28TH ST., Concordia Historic District**

**Description of work**

Remove existing front porch railings and spindles. Install new front porch and upper porch railings. Install new front stairs and newel posts. Replace any damaged or missing wood sidewall shingles. New skirting and risers on rear porch.

**Date issued**

6/9/2011

PTS ID 72426 COA, PORCH AND SIDING REPAIRS

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings, photos and specifications. All finish wood will be smooth and free of knots and sapwood. All wood will be painted upon completion. Please note that research has shown that when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint job applied over it will be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkdcd.org/build](http://www.mkdcd.org/build), or call (414) 286-8230.

Paul Jakubovich  
City of Milwaukee Historic Preservation

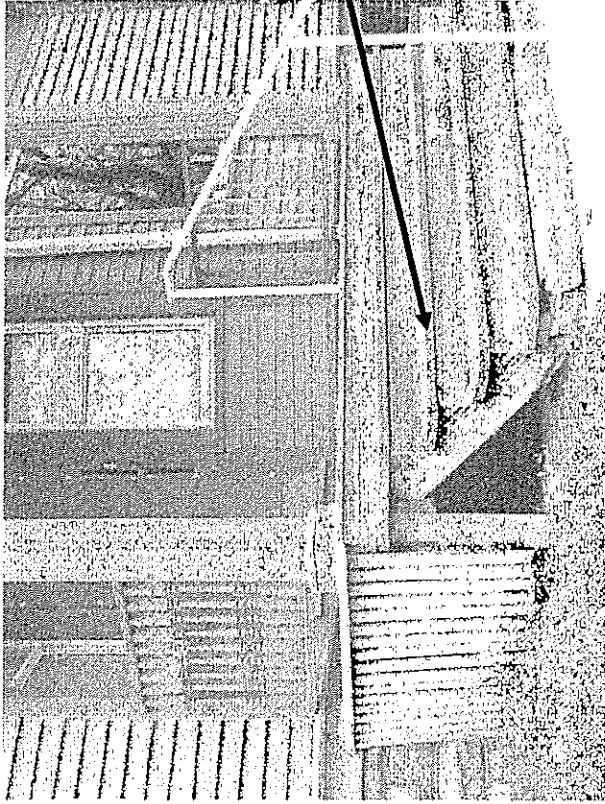
Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

Replace upper porch railing and lower porch railings, deck railings, deck and steps.



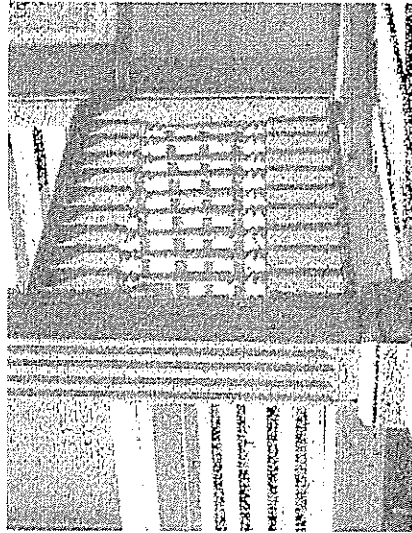
805 N. 28<sup>th</sup> St.

805 N. 28TH STREET

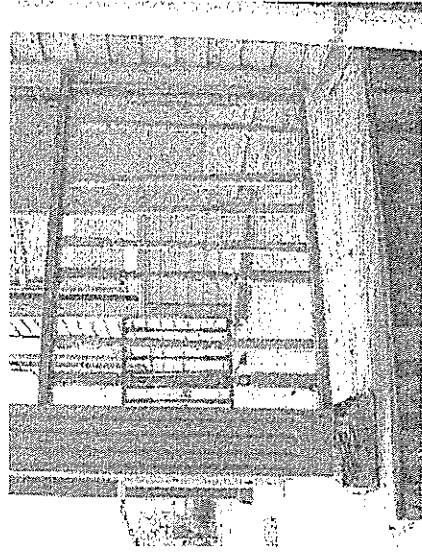


Front porch deck, steps and railings to be replaced

3. Front Porch (East Elevation) skirt and stairs

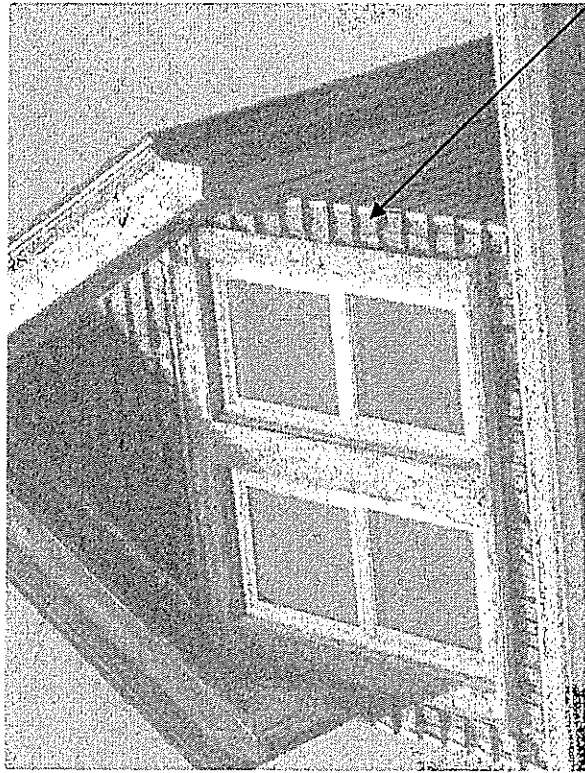


4. Front Porch south railing and column deterioration

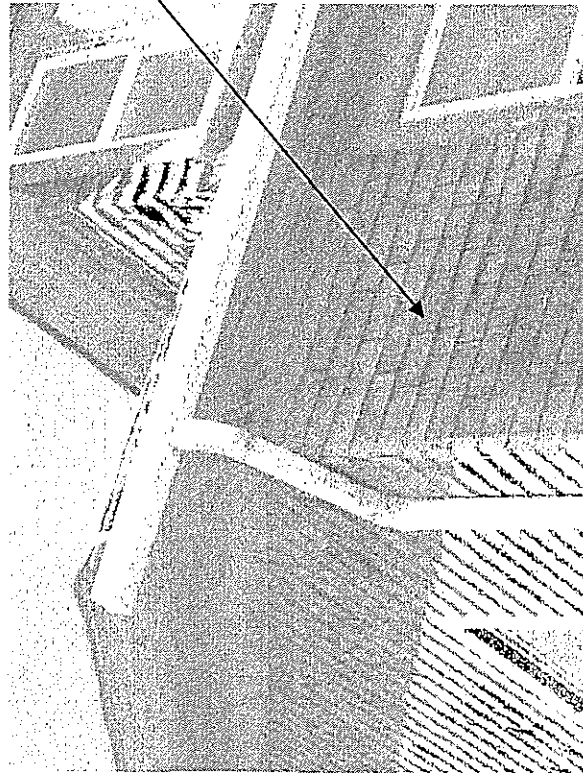


5. Front Porch north railing and column deterioration

805 N. 28TH STREET



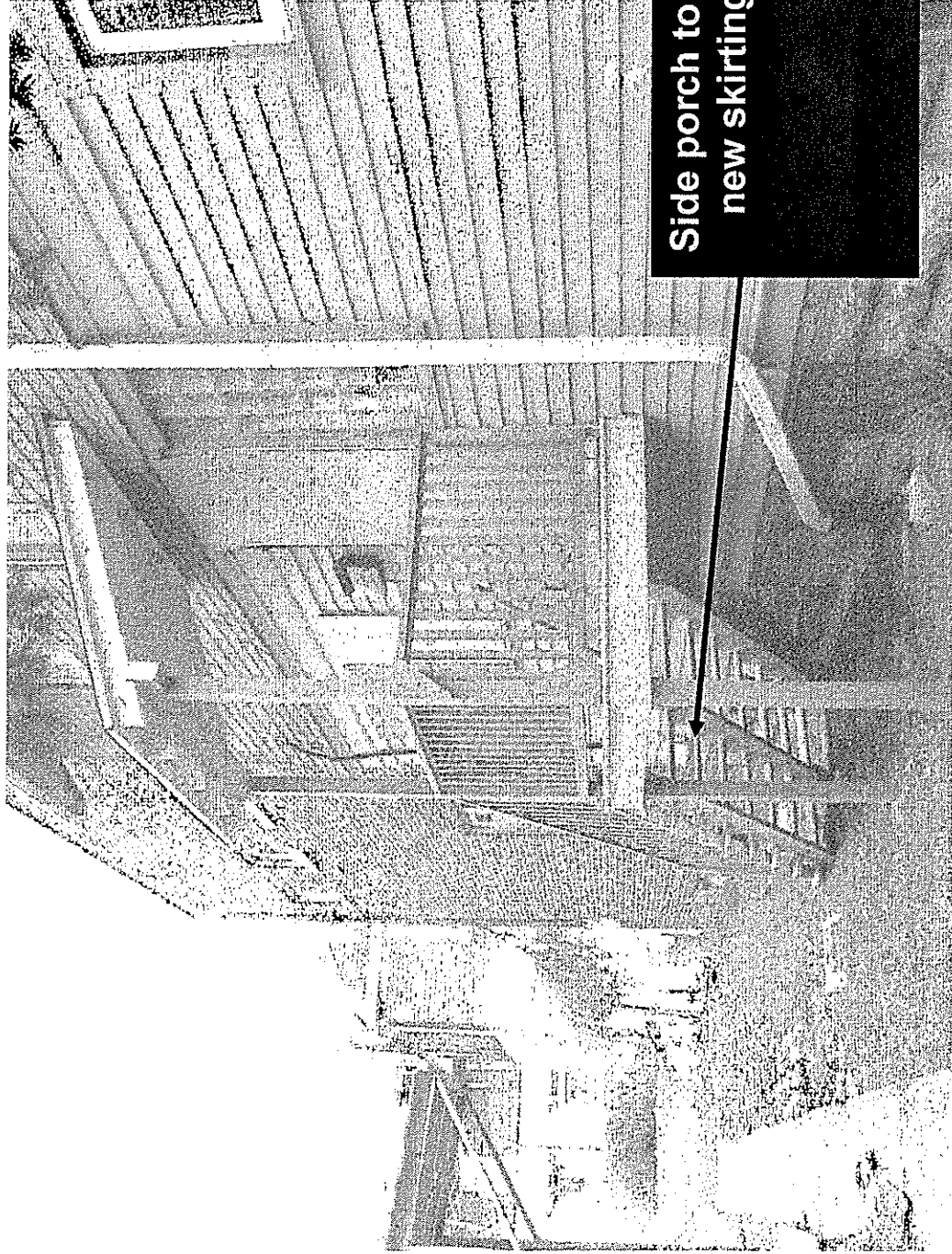
6. Northern-most Attic Dormer with wood shingle details above new K-Style gutter



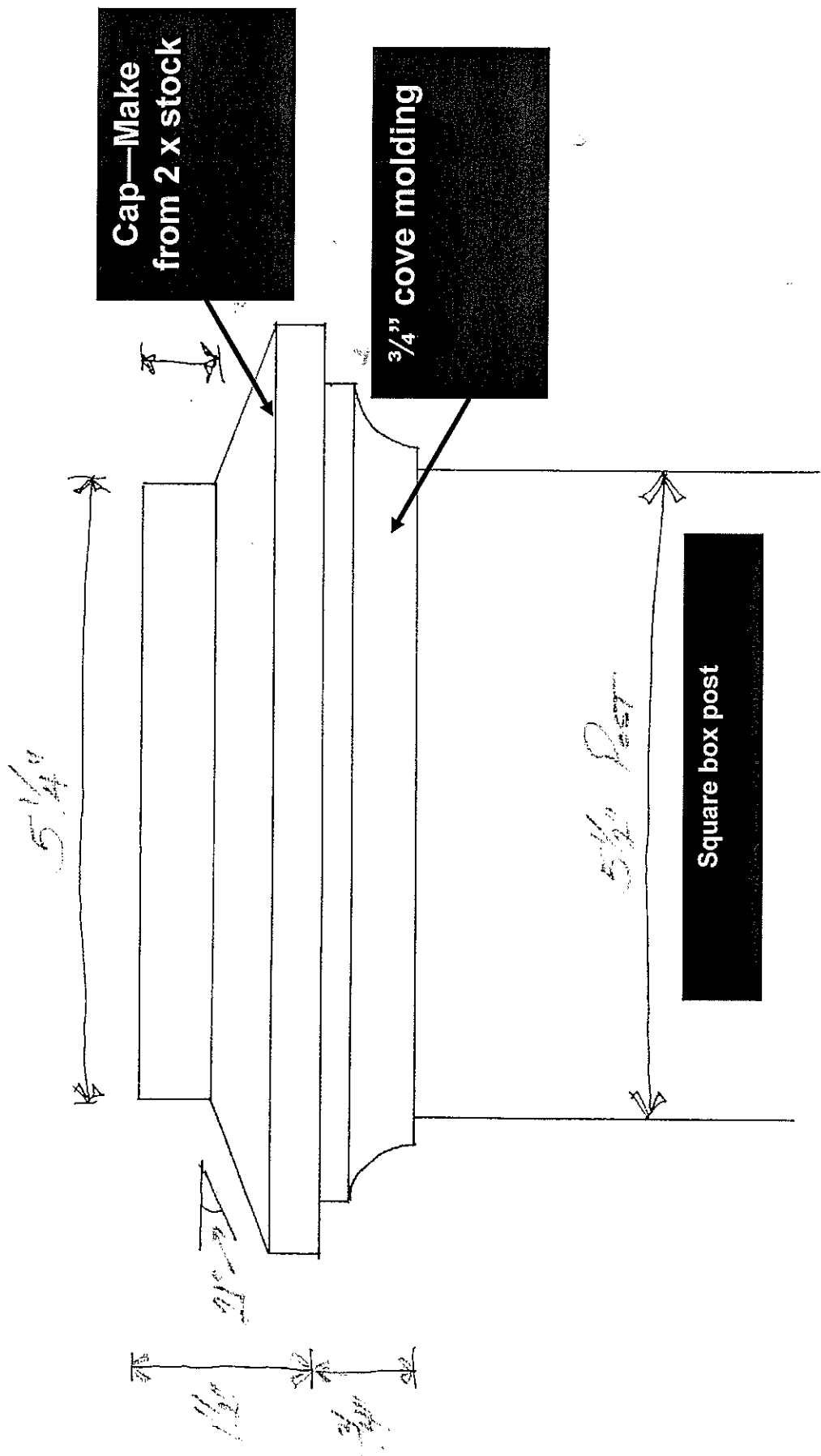
7. Second floor (South-East Elevation) cornice line connection showing new K-Style gutters and shingle deterioration

Wood sidewall shingling to be replaced as needed with new, matching wood shingles. All new shingles must be clear and free of knots and sapwood. Exposure of new shingles must match the original.

**805 N. 28TH STREET**

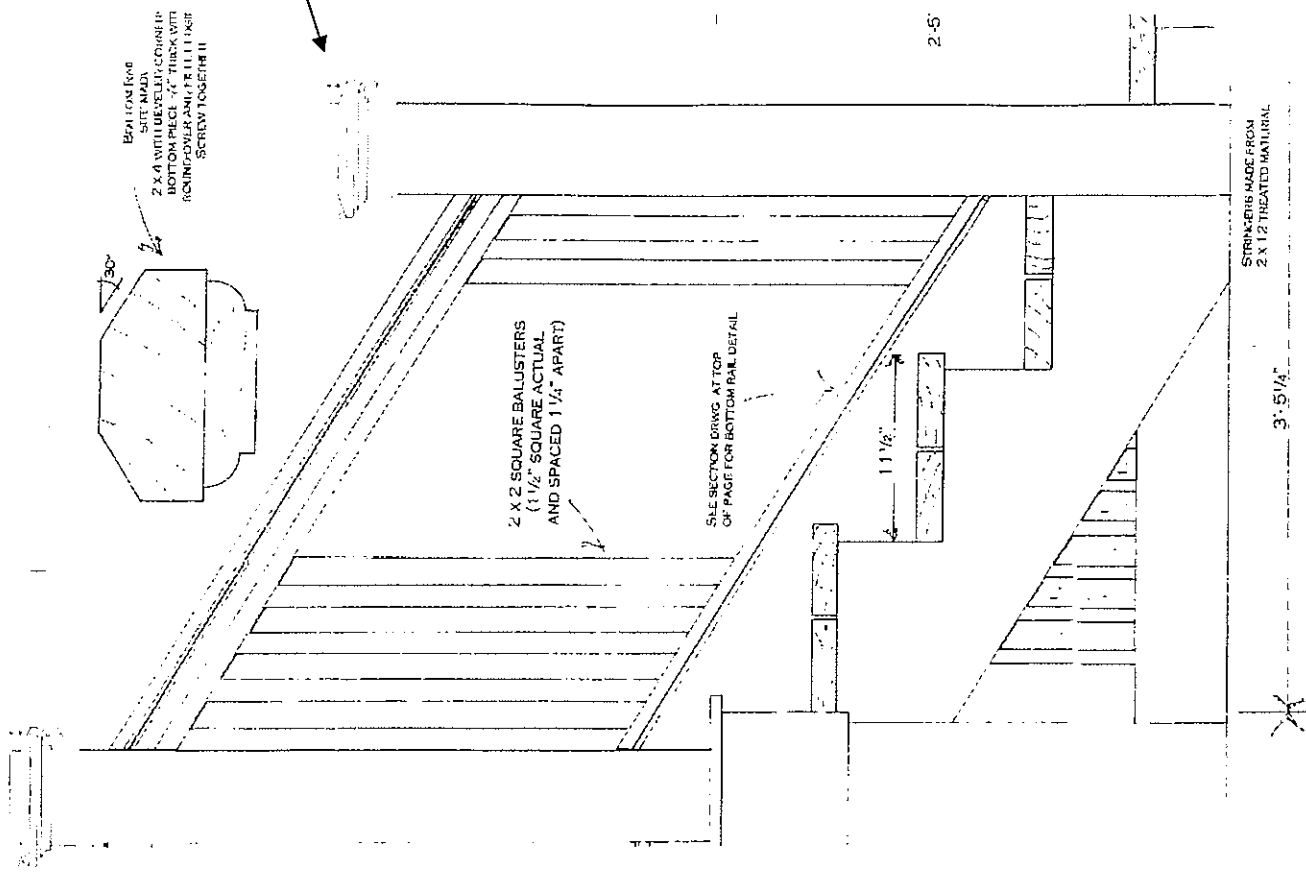


8. Rear Porch (West Elevation) roof, deck, railing, and stairs

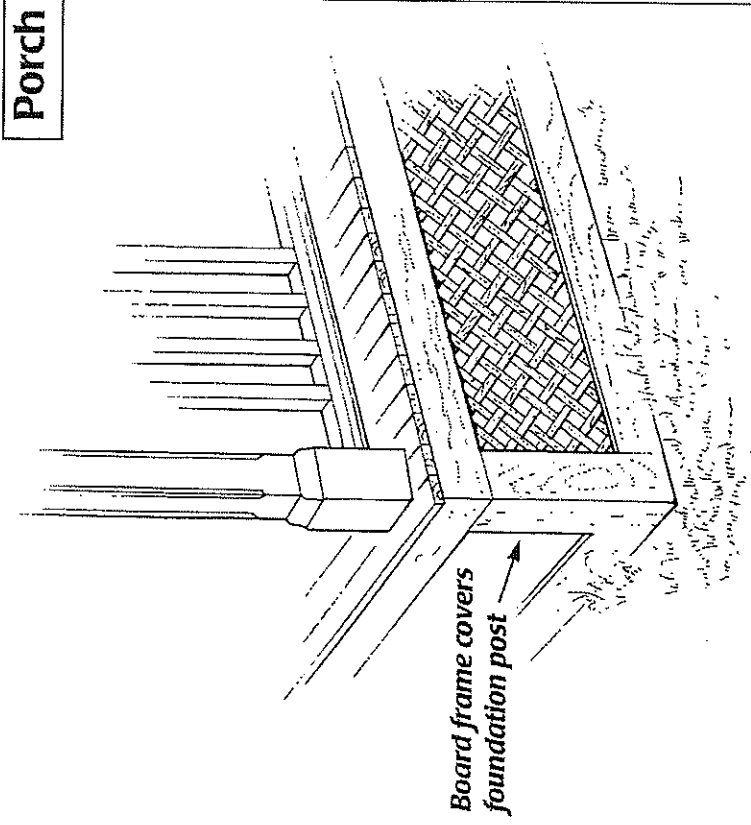


Detail of post tops for all newels

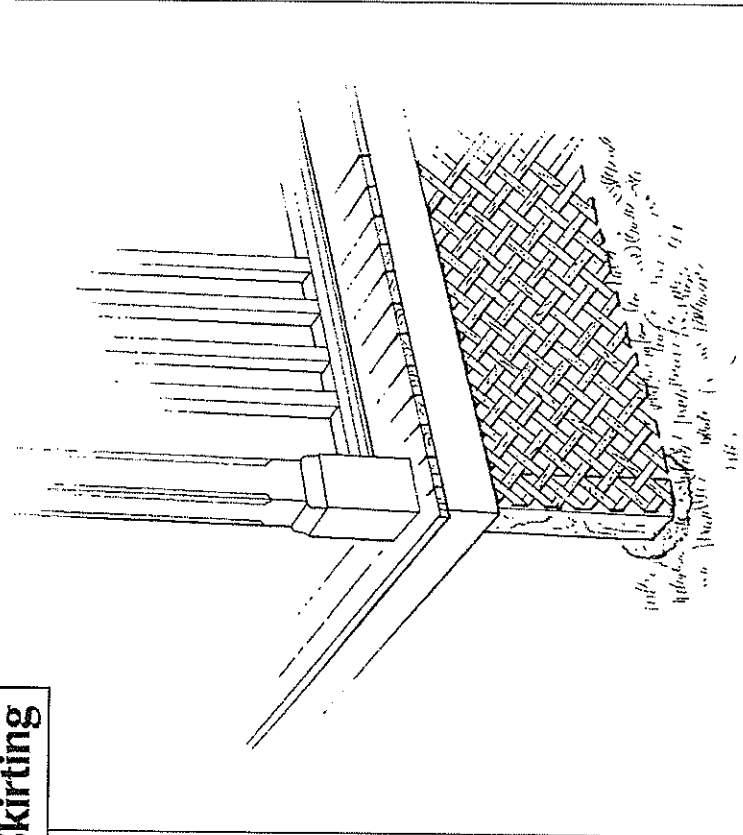
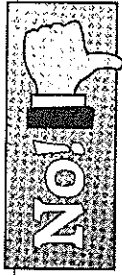
See detail above for post cap



All skirting must have a full frame. Pickets, 1-3/4" wide and spaced 3/4" apart can be substituted for the lattice infill shown here



Porch Skirting



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

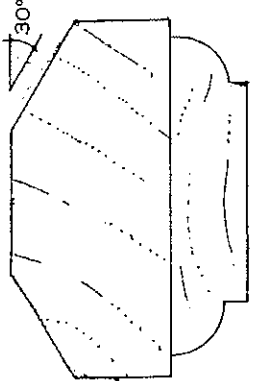
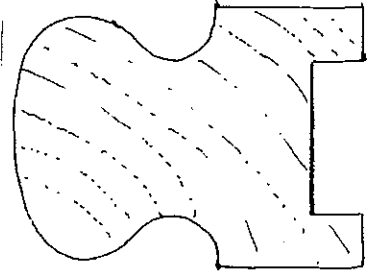
Skirting to be installed on front and rear



**Detail of top and bottom rails for porches**

**Note specs for spacing of balusters**

GRASPABLE HANDRA  
CROWN SPECIALTY MOULD  
#HR-548  
[WWW.CROWN.SPECIALTY.MOUL](http://WWW.CROWN.SPECIALTY.MOUL)  
608-290-1338  
MILTON, WI



BTOM RAIL  
ITE MADE  
BEVELED CORNERS  
ECE 3/4" THICK WITH  
1 AND FILLET EDGING  
W TOGETHER

HANDRAIL ON STEP  
36" ABOVE NOSING

2 X 2 SQUARE BALUST  
(1 1/2" SQUARE ACTU,  
AND SPACED 1 1/4" APA

5T  
2V



Legislation Details (With Text)

**File #:** 110278      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/15/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to install air conditioning units and venting at 2156 N. Sherman Blvd. for Delbert Utsey, Jr.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/15/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110278  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to install air conditioning units and venting at 2156 N. Sherman Blvd. for Delbert Utsey, Jr.

Requestor

Drafter  
CC-CC  
dkf  
6/15/11



## E-PERMITS CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

1

ADDRESS OF PROPERTY: 2156 N SHERMAN BL

2. NAME AND ADDRESS OF OWNER:

Name(s): DELBERT L UTSEY JR

Address: PO BOX 16904

City: MILWAUKEE WI State: WI ZIP Code: 53216

Telephone number (area code & number): unlisted

Fax:

Email Address:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): NAJACO HOME REPAIRS LLC

Address: 2904 N 50TH ST

City: MILWAUKEE State: WI ZIP Code: 53210

Telephone number (area code & number): 414-333-6070

Fax: 414-871-7287

Email Address: RTW1228@aol.com

4. DESCRIPTION OF PROJECT:

A. Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached) Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

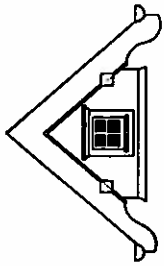
Replace furnace and install A/C system (2) Exterior condenser units to be install next to each other on east side of existing garage

5. ELECTRONIC SIGNATURE:

NAJACO HOME REPAIRS LLC 1/1/0001

Name Date

PHONE: (414) 286-5712 FAX: (414) 286-0232



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

2156 N. SHERMAN BL., North Sherman boulevard Historic District

**Description of work**

Install two new central a/c units on east side of garage.

**Date issued**

6/14/2011

PTS ID 62112 COA, a/c units and venting for boiler

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

A/c units will not be visible from the street and will be placed on grade next to the foundation. Any new sidewall venting for the boiler will be located on the rear of the building, or as far back as possible on the side elevations where they are not visible from the street. Vent pipes will be painted out to blend with the color of the surrounding building material.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Willie Hines, Inspector Joel Walloch (286-8160)



Legislation Details (With Text)

**File #:** 110280      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/15/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for tuckpointing and rear porch repairs at 3402 W. St. Paul Avenue for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/15/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110280  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for tuckpointing and rear porch repairs at 3402 W. St. Paul Avenue for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/15/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
UNKNOWN

ADDRESS OF PROPERTY: 3402 W. ST. PAUL AVE

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE

Address: 809 N. BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: YANPIE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: 414 286-5762 Evening: -

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J. PIONKE DBA: I-COM

Address: 3254 S. 15TH PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.VV.COM

Telephone number (area code & number) Daytime: 414 807-7250 Evening: -

## 4. ATTACHMENTS

### A. REQUIRED FOR ALL PROJECTS:

- Photographs of affected areas & all sides of the building (annotated photos recommended)
- Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
- Material and Design Specifications (see next page) (SEE ATTACHED SPECS)\*

### B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

- Floor Plans (1 full size and 1 reduced to 11" x 17")
- Site Plan showing location of project and adjoining structures and fences
- Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

SIDE BRICK PORCH MISSING STONE THRESHOLD AND HAS MISSING & DAMAGED BRICK. CHIMNEYS NEED TO BE CLEANED & TUCKPOINTED REAR PORCH STAIRS AND RAILINGS ARE DETEORATED, THERE ARE CRACKS ON THE NORTH, EAST & WEST WALLS.

Photo No. 7, 15-19 pg 8-10 Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

WILL INSTALL A NEW STONE THRESHOLD AND REPLACE MISSING & DAMAGED BRICK IN THE SIDE PORCH. CHIMNEYS WILL BE CLEANED AND TUCKPOINTED, REAR PORCH DECK AND STAIRS WILL BE REPAIRED AND NEW 6"x6" WOOD NEWEL POSTS W/ POST CAPS WILL BE INSTALLED THEN HAND RAIL W/ BROAD LEAF UPPER & COMPOSITE LOWER RAIL WILL BE ATTACKED. NORTH, EAST & WEST WALLS WILL BE TUCKPOINTED AND ANY MISSING OR DAMAGE BRICK REPLACED USING LIKE-NITH-LIKE

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Brian J. Pionke  
Signature

BRIAN J. PIONKE JUNE 15, 2011  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

# SPECIFIC SCOPE OF MASONRY WORK FOR 3402 W ST. PAUL AVENUE

June 10, 2011

- 1) Clean, repair and tuckpoint the existing main brick chimney following the existing design and/or as provided by in the drawing by the Owner's Representative. Provide an estimate for chimney liner and water cap.
- 2) Clean, repair and tuckpoint the rear brick chimney as needed, following the existing corbel design. If repair requires complete removal and rebuilding of the chimney from the roof up, provide separate estimate. Provide an estimate for a chimney liner and water cap.
  - a) Both chimneys contain soft Cream City brick and need to be constructed using Type "K" or Type "O" mortar if available. Another option is to use eight parts sand, three parts Portland cement, and one part lime; or Type "N" mortar. (See page 84 of "As Good As New")
  - b) Extreme care must be taken not to damage any new roof shingles.
  - c) The finished chimney must be properly flashed at the roofline to prevent future water penetration.
- 3) Both chimneys need to be flashed on all four sides.
  - a) The base flashing installed at the front (lowest) part of the chimney, shall include a single sheet of chimney flashing. Base flashing shall extend over the front of the chimney and wrap slightly around the sides.
  - b) The step flashing installed along the sloped sides of the chimney shall extend under the shingles along the chimney. The mason shall install the cap flashing in the mortar joints above the step flashing and shall extend down over the step flashing to provide protection from falling rain.
  - c) The back (upper) side of the chimney may be flashed with "backer flashing" only when the chimney is narrower than 24" and is constructed on a shallow roof pitch of 4:12 or less. A chimney saddle "cricket" or mini dormer should be installed on the upper face of the chimney on any roof pitch of 6:12 or greater to prevent future leaks caused by water or snow build up. (A chimney saddle design and construction explanation is provided in the roofers specific scope.)
- 4) Describe a procedure for stabilizing the front porch, to allow the carpenters to install new roof rafters and the roofer to install sheathing and shingles. And provide an estimate to realign the front porch bricks and tuckpoint as needed to allow temporary mothballing of the porch.
  - a) Provide an alternative estimate to remove the entire front porch structure and reconstruct it from the foundation up, reusing as many of the existing bricks and stone as possible. Indicate whether you have the ability to pour the foundation or whether this will need to be subcontracted out.
- 5) Install a new stone threshold on the northeast side porch and repair or replace missing or damaged bricks and foundation stone.
- 6) Repair the rear porch landing, stairs and concrete posts for installation of a new pipe railing, or propose a stone/concrete hand railing of similar design to the front porch to be installed.
- 7) Tuckpoint all cracks in the north<sup>EAST</sup> and west walls of the building.

TO  
BE  
RESOLVED  
LATER



- 1) When doing mortar or brick repair, or replacement on historic homes the following process/procedure is to be followed:
- 2) Inspect all masonry for signs of deterioration. Identify any bricks that are cracked or spalled, and determine the reason for the damage. Replace damaged bricks using like-with-like material.
- 3) Check for cracks in the mortar joints and determine if excessive settling has occurred which will require additional foundation repairs.
- 4) When repairing foundations be sure to incorporate the same brick pattern. The contractor shall use like-with-like dimensioned bricks of similar color and density for any repairs.
- 5) When removing any damaged brick from a chimney, or rebuilding a chimney it is critical that the contractor take photo of the existing chimney, so that they can duplicate the corbelling pattern that exists. Rebuilt chimneys **MUST** be completed using the same type, pattern and dimensions as the existing chimney. When in doubt the chimney design on page 97 of "As Good As New" may be used if approved by the Owner's Representative.
- 6) When tuckpointing brick or block the old mortar must be removed to a minimum depth of 3/4" by means of a tuckpointer's rake pulled across the joint or lightly tapping with a hammer. If the mortar does not come loss a hammer and plugging chisel should be used. Either of these methods is preferred. Use of an electric grinder should only be done in areas that are not visible to the general public such as rear walls, and then only after being approved by the Owner's Representative. Great care must be taken not to damage the brick. "No mortar removal is to be done using a reciprocating saw with a masonry blade."
- 7) When applying the new mortar to Cream City brick the joint should be damp but not dripping wet. The new mortar should use a lime mortar mix with one part lime to two parts sand. Use Type "K" mortar if available and Type "O" mortar as a second option.
- 8) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
- 9) When applying mortar a grout bag or knife-like tuckpointing tool should be used to push the mortar all the way back into the joint. Tuckpointing should be done in 1/4 inches layers, packing each layer before applying the next. Apply mortar as neatly as possible and avoid smearing mortar on the face of the brick.
- 10) When the final layer begins to set up slightly, it **MUST** be tooled to match the style of the existing joints. (See pg 85 of "As Good As New), unless another style is approved by the Owner's Representative prior to initiating any project work.
- 11) Clean up any excess mortar immediately using phosphoric acid. If this does not work use muriatic acid. Use muriatic acid in a solution of 1 part muriatic acid to 10 parts water. Apply the acid mixture with a large sponge. Leave the acid in contact with the masonry for 30 seconds then use a scrub brush to remove any excess mortar. When clean, rinse thoroughly with water and neutralize the cleaned area with 1 cup of household ammonia to 1 gallon of water. Muriatic acid is dangerous so do not get in contact with eyes or skin, and always keep a neutralizing agent like baking soda on hand.



7. Close up of roof and chimney connections.



15. Close up view of missing threshold on northeast side porch



16. Wall deterioration on north side of northeast side porch



17. North wall of northeast side porch showing a need for tuckpointing

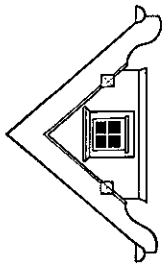


18. North elevation rear entrance porch deck with stair and railing deterioration





19. Existing crack in the west wall of the house



# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**  
**City of Milwaukee, owner**

3402 W. ST PAUL AV., **Weinstock house historic building**

**Description of work** Tuckpoint brick sidewalls and chimneys as needed. Resurface rear concrete porch and add new wood handrails and guardrails. Install new stone sill on northeast side porch.

**Date issued** 6/15/2011

PTS ID 73060 COA, tuckpointing, rear porch repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and specifications. All new mortar will match the original in terms of mortar color, texture, hardness, joint width and joint finish.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkdcd.org/build](http://www.mkdcd.org/build), or call (414) 286-8240.

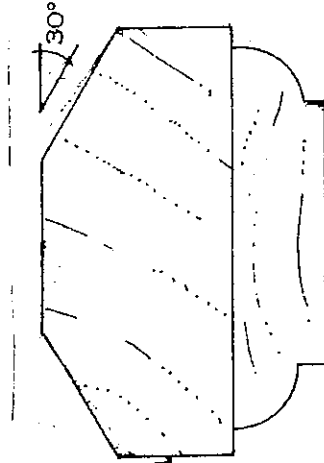
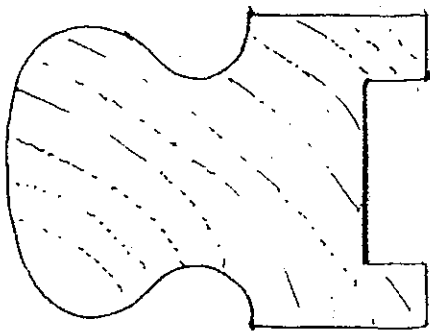
Paul Jakubovich

City of Milwaukee Historic Preservation

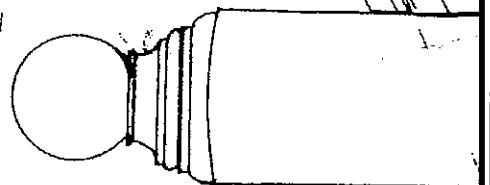
Copies to: Development Center, Ald. Robert Bauman, Inspector Tim Temperly (286-2536)

**Detail of handrail and bottom rail for rear porch.**

GRASPABLE HANDRAIL  
CROWN SPECIALTY MOULD  
#HR-548  
WWW.CROWNSPECIALTYMOULD.COM  
608.290.1338  
MILTON, WI



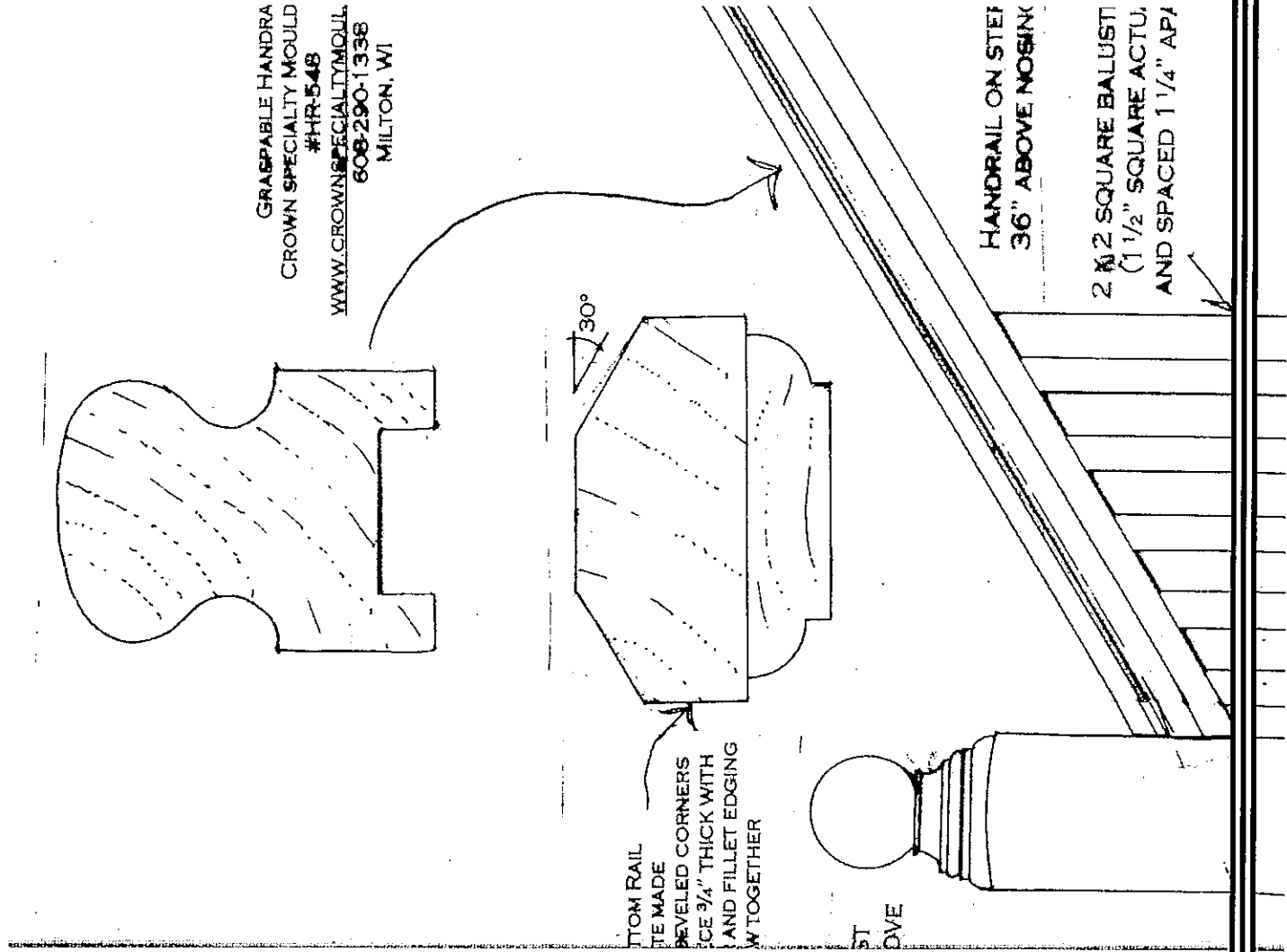
BOTTOM RAIL  
IS MADE  
OF REVELED CORNERS  
1/2" THICK WITH  
1/4" AND FILLET EDGING  
FIT TOGETHER



STOVE

HANDRAIL ON STEPS  
36" ABOVE NOSING

2 X 2 SQUARE BALUSTERS  
(1 1/2" SQUARE ACTUAL)  
AND SPACED 1 1/4" APART





Legislation Details (With Text)

**File #:** 110293      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of new copper gutters, rear porch railing, new copper roof on 2nd story porch at 2589 N. Lake Drive for Jeff Loss and Dawn McCarthy.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110293  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of new copper gutters, rear porch railing, new copper roof on 2nd story porch at 2589 N. Lake Drive for Jeff Loss and Dawn McCarthy.

Requestor

Drafter  
CC-CC  
dkf  
6/20/11





# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

*Final exp  
6/2/11*

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known) *Watertown*

ADDRESS OF PROPERTY: *2509 N Lake Dr*

2. NAME AND ADDRESS OF OWNER:

Name(s): *Jff Loss Dawn McCarthy*

Address: *2509 N Lake Dr*

City: *Milwaukee*

State: *WI*

ZIP *53211*

Email: *JWLoss@aol.com*

Telephone number (area code & number) Daytime: *414 305 1147*

Evening: *414 964 0126*

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Replacing rotted steel gutters with copper gutters + down spouts  
Estimate by Vetter Sheet Metal - Photo 1-7

Replacing existing rotted 2nd floor porch railing with new railing. Replace Tin roof on 2nd floor with copper  
Estimate by Community Restoration - Photo 1

Photo No.

Drawing No.

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Attached is approval by state of Wisconsin for Historic Tax Credits

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:

  
Signature

Print or type name

Date 5/21/11

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



May 16, 2011

Jeffrey Loss and Dawn McCarthy  
2589 N. Lake Drive  
Milwaukee, WI 53211

Re: Historic Preservation Certification Application  
Project Number w11e036

Dear Mr. Loss and Ms. McCarthy:

On 4/19/2011, the Division of Historic Preservation received a Historic Preservation Certification Application for your property at 2589 N. Lake Drive in Milwaukee. The project number assigned to this project is w11e036. We requested additional photographs of the garage to verify it is in fact contributing to the property. On May 10 we received the additional garage photographs and are now able to complete the review. We have since reviewed the Part 1 application and have determined that your house and garage contribute to the North Point North Historic District. Enclosed, for your records, is a copy of the signed Part 1 application indicating that your house has been determined to be historic property for purposes of this program.

We have also reviewed the Part 2 application and have determined the proposed project will meet the "Secretary of the Interior's Standards for Rehabilitation" if the following special conditions are met:


The replacement rail on the porch should be an in kind replacement replicating the rail it replaces without design changes.

Enclosed is a copy of the signed Part 2 application that you may use to claim the tax credits.

I have also enclosed some materials that help to explain the post-approval process. I hope that they are helpful to you. When you have completed work on the project, please take photographs of the overall appearance of the house (from all four sides), as well as detailed "after" shots of the specific work that you have carried out. These photos should be printed in color and of a high resolution. Send them to us along with the Request for Certification of Completed Work.

If you have any questions about this review, please let me know. I can be reached by mail at the Wisconsin Historical Society, by telephone at 608/264-6491, by fax at 608/264-6504, or by e-mail at [mark.buechel@wisconsinhistory.org](mailto:mark.buechel@wisconsinhistory.org).

Sincerely,



Mark T. Buechel, AIA  
Senior Preservation Architect

SPECIAL CONDITIONS

**PROPERTY NAME:**

**John Horter House**

**PROJECT NUMBER: wi11e036**

2589 N. Lake Drive  
Milwaukee

**REVIEW DATE: 5/16/2011**

Staff at the Division of Historic Preservation of the Wisconsin Historical Society have reviewed the attached application and have determined that the proposed work conforms to program standards, provided that the following special conditions are met:

**The replacement rail on the porch should be an in kind replacement replicating the rail it replaces without design changes.**

---

Mark T. Buechel for MICHAEL STEVENS, State Historic Preservation Officer    DATE

# VETTER SHEET METAL & HEATING, INC.

2578 N. Holton Street - 374-1119  
MILWAUKEE, WISCONSIN 53212

Mailing Address:  
14515 W. Crestview Dr.  
NEW BERLIN, WISCONSIN 53151

Date 1-27-81

Contract with Jett Ross

Address 2589 W. Lake Dr. Job at Same

City Milwaukee 53211 Telephone Cell 305-1147

WE, THE VETTER SHEET METAL & HEATING, INC., agree to properly Replace 5 gutters

Sections on house gutters will be fab out of 16<sup>oz</sup> copper  
with style of your choice. We will remove the lower  
course of shingles to install new high back gutters, then  
install ice & water shield to existing ice & water shield and gutter  
flange and reinstall shingles. The gutter seams, ends, & drops  
will be soldered. We will also replace the 5 downspouts on  
home with 16<sup>oz</sup> copper materials with seams being soldered.  
The garage gutter & downspout will also get replaced with  
16<sup>oz</sup> copper materials. The gutter flange will be sealed to  
existing rubber roof. All work to be done on a time &  
material basis.

House gutters Approx cost 8500.<sup>00</sup>

House downspouts Approx cost 3000.<sup>00</sup>

Garage gutter - downspout approx cost 1000.<sup>00</sup>

If there is any carpentry work that is needed to be done  
it will also be done on a time & material basis

If you have any questions please call cell 414-640-1038

All new Sheet Metal Materials and Workmanship carry no less than a three year guarantee. New Tin Decks have a five year guarantee.

All this for the sum of \$ As Above Payment to be made as follows: To be discussed

In agreement with \_\_\_\_\_

If in agreement please sign one copy & return to us.  
Retain the other copy for your guarantee.

Signature J. C. Lee  
VEA Vetter Sheet Metal & Heating, Inc.

The interest rate of 1.5% per month will be charged on past due amount after 30 days of invoice date.

## 2. Apply for a Building Permit

Apply at Development Center, on the 1<sup>st</sup> floor of 809 North Broadway, in the usual way. When the property is identified as a designated historic structure or a within a historic district, you will then be given an application for a Certificate of Appropriateness or directed to see the Historic Preservation Commission staff. Please note: If you wish to seek the advice of the Historic Preservation staff or apply for a Certificate of Appropriateness before you apply for a building permit, you may do so.

## 3. Complete the Application

Questions should be addressed to the Historic Preservation Commission staff located in City Hall Room B-4. Call 414-286-5712 or email [HistoricPreservation@milwaukee.gov](mailto:HistoricPreservation@milwaukee.gov).

## 4. Prepare Presentation Materials

Certain drawings may be required for review by the Development Center before a building permit can be issued. A set of these same drawings should accompany your application for a Certificate of Appropriateness. You should, in addition, include sketches, drawings, photographs, or any other material that you feel will help the Historic Preservation Commission understand the proposed changes to the structure. The quality of the presentation materials will be an important factor in enabling the Commission to fully understand what you intend to do. The presentation materials will be filed and retained by the Commission, so be sure to make copies for your own records.

## 5. File the Application and Presentation Materials

Mail or hand-deliver the application with accompanying photographs, drawings and materials samples to the Historic Preservation Commission staff. In most cases HPC staff will be able to approve the work outlined in the application and issue a COA in approximately seven days. If the proposed work cannot be approved by staff, the application will be heard at the next scheduled Commission meeting provided that the application is received at least 12 working days prior to that meeting. Staff is available to meet with you to review your project at any time during the COA application process. Applicants are encouraged to attend the hearing / meeting in order to answer questions. If you have an architect or professional consultant, it may help if he or she is also available to answer questions. At the meeting, the Commission may approve the application, give approval conditioned on the owner's willingness to make specified changes, or refuse the request.

## 6. Public Hearings on Refused Applications

If your application is refused or you do not agree with the Commission recommendations, a public hearing will be scheduled on all refused applications within thirty days of the original review. At that time, the owner may present further cause as to why compliance with the ordinance may not be feasible or may present other relevant evidence. The Commission will issue a final decision on whether or not to grant a Certificate of Appropriateness not more than fifteen days after the public hearing. If the Commission refuses the application, construction or demolition cannot legally proceed. The applicant has the right to waive the public hearing if he or she wishes to file an appeal with the Common Council.

## 7. Appeal of Refused Applications

Owners denied a Certificate of Appropriateness by the Historic Preservation Commission may appeal the decision to the Common Council provided that such appeal is made within twenty days of the public hearing cited in step #5.

## 8. Begin Construction

Construction can proceed legally only after issuance of a Certificate of Appropriateness and obtaining a permit for the project. Work done without a Certificate of Appropriateness is a violation of Section 320-21, Milwaukee Code of Ordinances and is subject to correction orders or citations outlined in s. 12-14 of the Milwaukee Code. The progress of the construction will be monitored to assure compliance with approved plans.

## 9. Changes During Construction Require Approval

Changes made during the construction that affect the exterior of a building or site are not permitted unless they have been approved by the Historic Preservation Commission or Commission staff in accordance with the procedures outlined previously. The Development Center may suspend an issued permit to prevent unapproved changes from being carried forward.

If you have questions or need further information on any preservation-related topic, please contact the Commission staff:

Historic Preservation Commission  
Office of the City Clerk  
200 E. Welis Street, Room B-4  
Milwaukee, WI 53202  
Phone 414/286-5712 / 286-5722  
FAX 414/286-3004  
[HistoricPreservation@milwaukee.gov](mailto:HistoricPreservation@milwaukee.gov)

COMMUNITY BUILDING AND RESTORATION, LLC  
P.O. BOX 11537  
SHOREWOOD, WISCONSIN 53211  
PHONE: 414-963-1901 FAX: 414-332-2105  
E-MAIL:

**Date:** 3/28/11

**Proposal For:**

Dawn McCarthy and Jeff Loss  
2589 N. Lake Dr.  
Milwaukee, WI 53211  
305-1147

**Work Proposed:**

Porch Roof and Rail

**Job Description:**

Porch Roof:

Option 1:

Remove existing rail; dispose.

Remove existing metal roof; dispose.

\*On the basis of time and materials, perform any necessary repairs to underlying structure.

Install firing strips to existing roof deck to provide appropriate pitch.

Install new 3/4" plywood decking to main roof area.

Apply Ice and Water barrier to entire roof and gutters.

Apply rosin paper slip sheet.

Prime and paint newels.

Install 4x4 rough, structural newel and install sleeve-newel over it.

Install rail with hidden pocket-hole screws.

Caulk as needed and touch up paint.

**Totals (see exclusions, below):**

|                |        |
|----------------|--------|
| Roof option 1: | \$5230 |
| Roof option 2: | \$1860 |
| Rail:          | \$3520 |

Unless otherwise specified, includes all materials and labor for the items described above. Does not include any items not specifically mentioned above nor shown in plans; does not include repair to underlying or preexisting damage not seen or discussed at time of estimate. Items marked with \* (if any) not included in price.

All items (including those marked with \*) that are added after the job has begun will be billed at the rate of \$75/hr. plus the cost of any materials, unless otherwise specified.

**AS REQUIRED BY WISCONSIN CONSTRUCTION LIEN LAW, CONTRACTOR HEREBY NOTIFIES OWNER THAT PERSONS OR COMPANIES FURNISHING LABOR OR MATERIALS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON THE OWNER'S LAND AND BUILDINGS IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE BELOW SIGNED CONTRACTOR, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OR THOSE WHO GIVE THE OWNER NOTICE WITHIN 60 DAYS AFTER THEY FIRST FURNISH LABOR FOR THE CONSTRUCTION AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO HIS/HER MORTGAGE LENDER, IF ANY, TO SEE THAT ALL POTENTIAL CLAIMANTS ARE DULY PAID.**

**Payment Schedule:**

40% prior to commencement

Remainder due in full directly upon completion

Note: 1 1/2% interest per month on all payments 5 days overdue; payments due upon

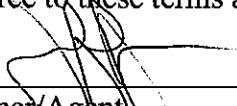


receipt of invoice.

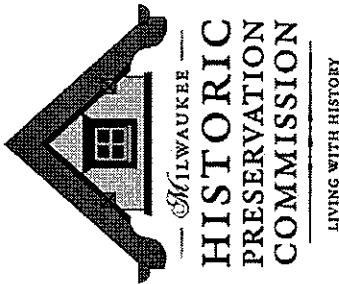
Authorized Signature, Community Building and Restoration, LLC.

Erik Lindberg Date 3/27/11

I agree to these terms and authorize the work described above.

 Date 5/20/11

Owner/Agent  
(Please sign one copy and return it to us).



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

2589 N. LAKE DR., North Point North Historic District

Jeff Loss and Dawn McCarthy, owners

**Description of work** Install new custom copper gutters and downspouts in place of existing gutters. Install new copper roof on rear porch. Install new wood guardrails on rear, second story porch.

## Date issued

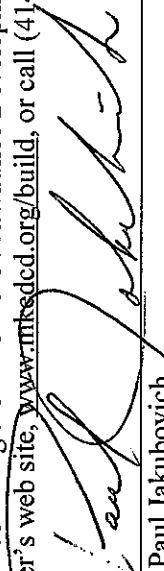
6/20/2011

PTS ID

41645 COA, new copper gutters, rear porch railing, new copper roof on 2nd story porch

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New railings on rear porch will match the existing railings. All wood will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied over it will be decreased. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mhpcd.org/build](http://www.mhpcd.org/build), or call (414) 286-8210.

  
Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982



Legislation Details (With Text)

**File #:** 110297      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/22/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new front porch and railings at 3014 W. McKinley Blvd. for W. J. Sherard.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness and Drawings

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/22/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110297  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new front porch and railings at 3014 W. McKinley Blvd. for W. J. Sherard.

Requestor

Drafter  
CC-CC  
dkf  
6/22/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

Cold Spring Park Historic District

**ADDRESS OF PROPERTY:**

3314 W. McKirley Blvd.

2. **NAME AND ADDRESS OF OWNER:**

Name(s): W.J. Sherard

Address: 2233 W. Capitol Drive

City: Milwaukee

State: WI

ZIP 53206

Email: \_\_\_\_\_

Telephone number (area code & number) Daytime: 414-444-5858

Evening: \_\_\_\_\_

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): Billy Cannon

Address: 4731 W. Nash St.

City: Milwaukee

State: WI

ZIP Code: 53216

Email: \_\_\_\_\_

Telephone number (area code & number) Daytime: 414-233-3034

Evening: \_\_\_\_\_

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

\_\_\_\_\_ Photographs of affected areas & all sides of the building (annotated photos recommended)

\_\_\_\_\_ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

\_\_\_\_\_ Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

[Empty rectangular box for describing existing features]

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Remove existing porch deck, columns and railings. Rebuild new porch deck, handrails, guardrails, posts and skirting.  
[Empty rectangular box for describing proposed work]

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

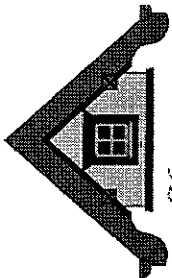
  
Signature

Billy Cannon      6/16/2011  
Print or type name      Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722      FAX: (414) 286-3004      www.milwaukee.gov/hpc



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**HISTORIC  
PRESERVATION  
COMMISSION**

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# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

3014 W. MC KINLEY BL., Cold Spring Park Historic District  
W.J. Sherrard, Owner

## Description of work

Rebuild front porch deck, railings and guardrails and skirting.

## Date issued

10.50 AM 6/16/2011

PTS ID 73258 COA, rebuild front porch deck and railings

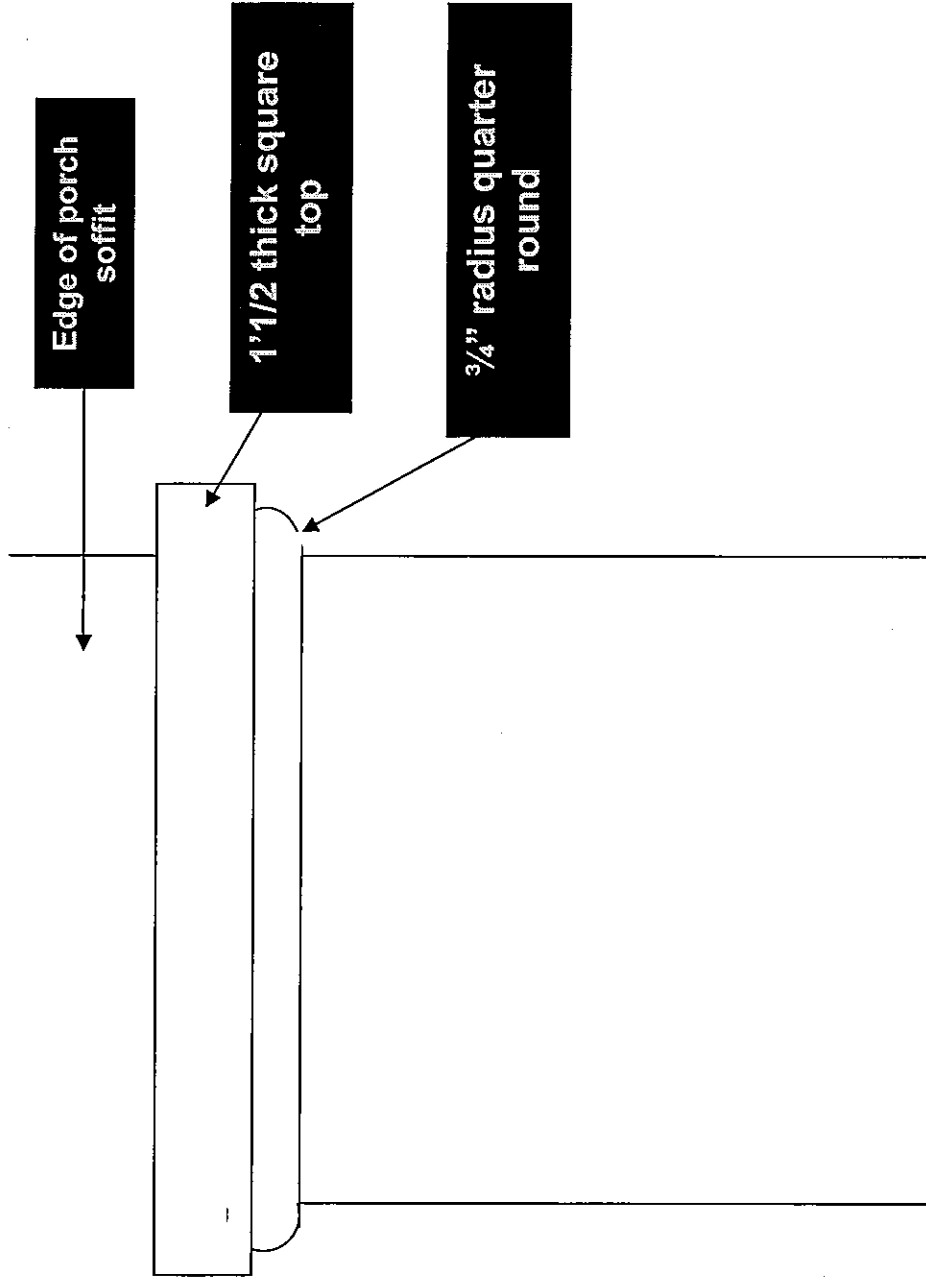
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work must be done according to attached drawings and photos. All wood must be painted upon completion. Please note that research has shown that when new, bare wood is left exposed to the elements for a period of only a week or two, the life of the paint job applied over it will be decreased. Newel posts at bottom of stairs will be 5-1/2" square and built according to the attached drawings. Porch flooring will be center-match. The four main porch posts will be box-style and 6" square. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

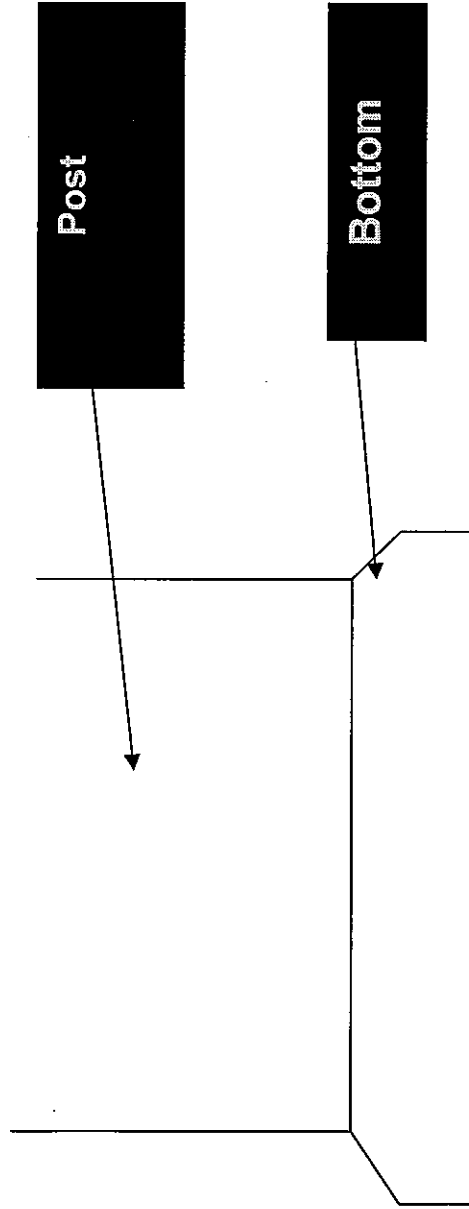
Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor Billy Cannon, Inspector Joel Walloch (286-8160)



Detail of tops for main porch posts



Bottom

Post

Detail of post bottom, 1-1/2" thick

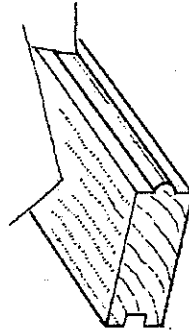


# Porches

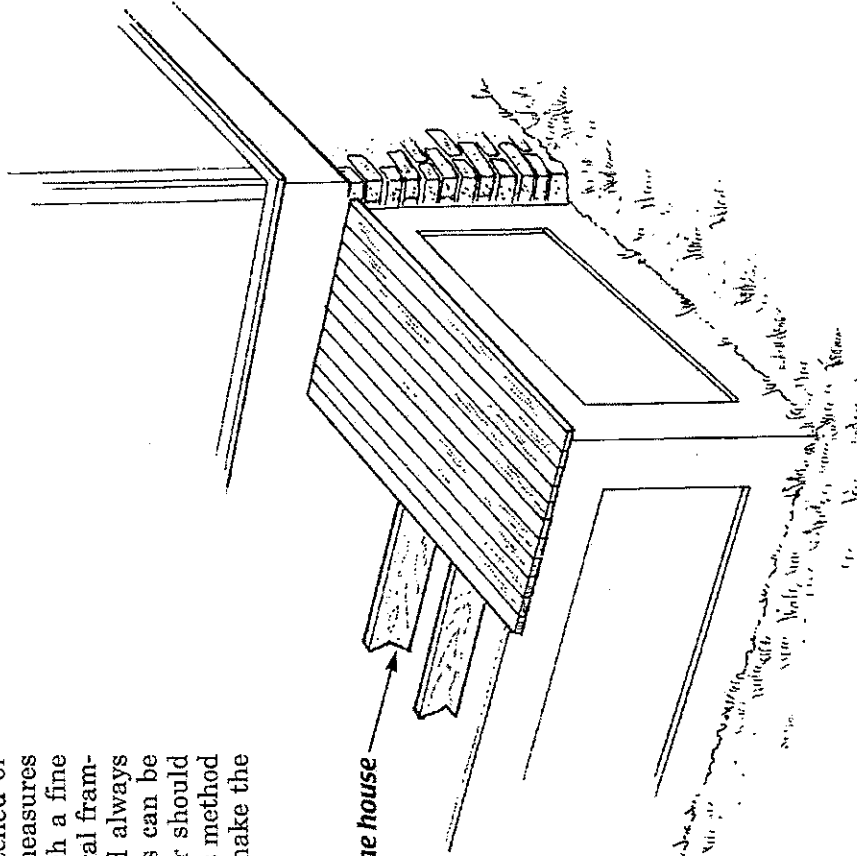


## Traditional Porch Floors

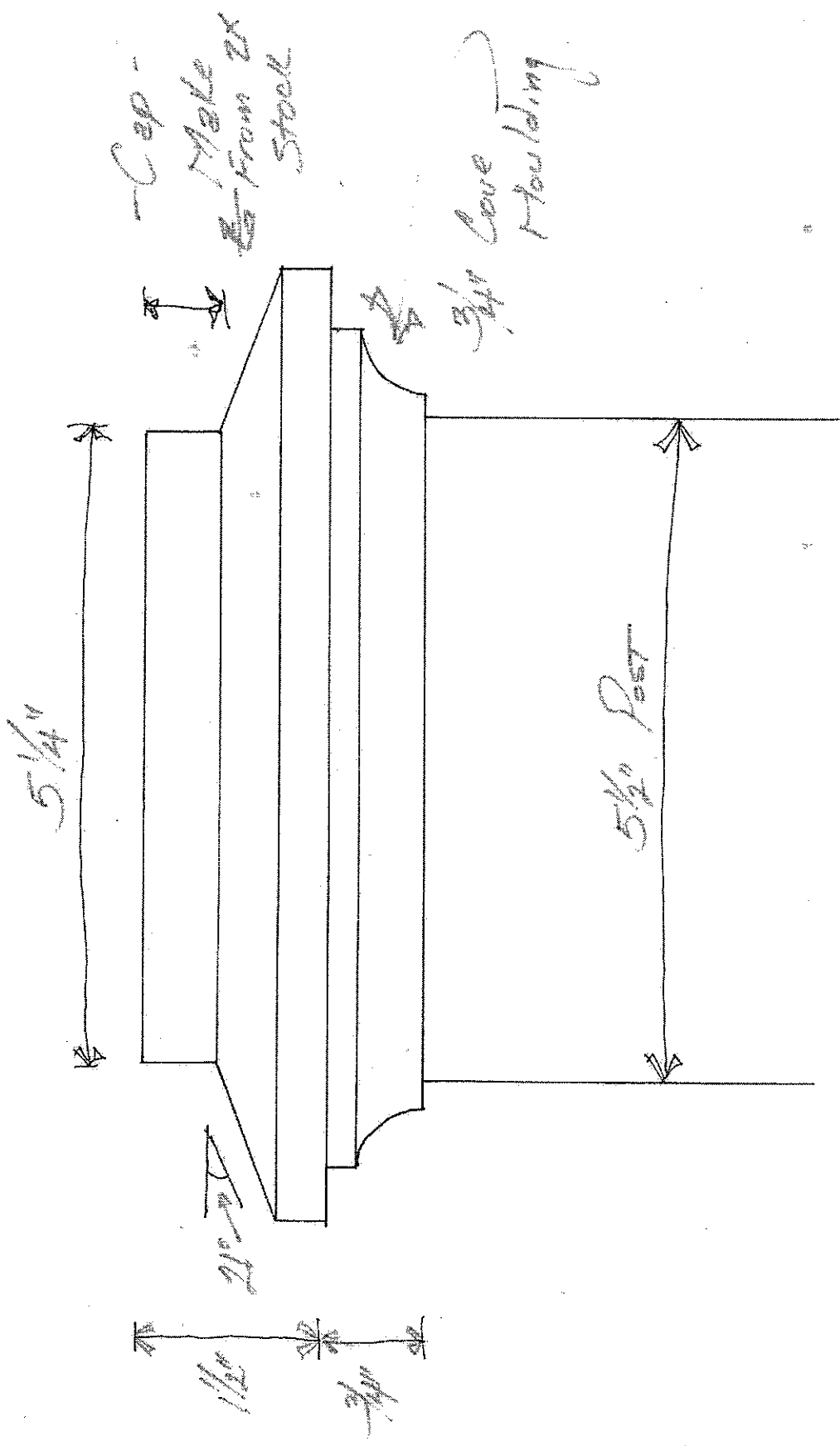
**P**orch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.



*Center match or tongue-and-groove flooring*



**Porch floor must be made of center-match material**

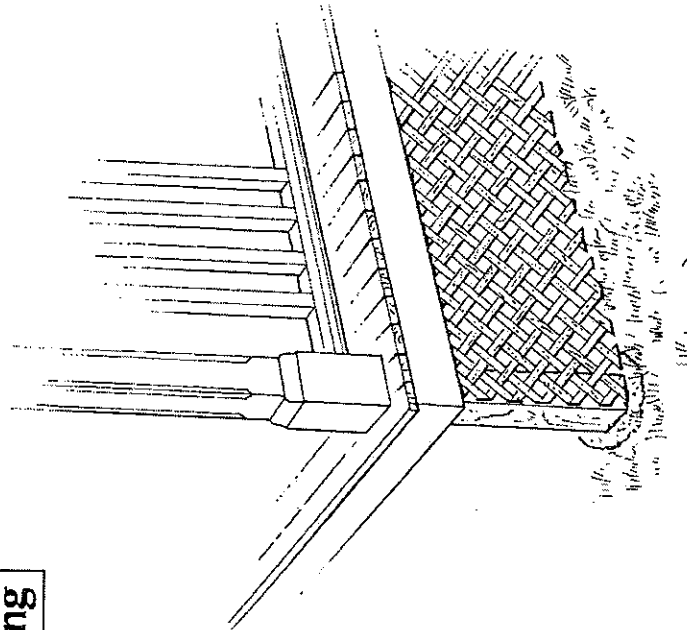
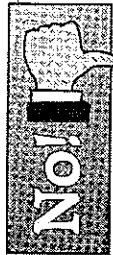
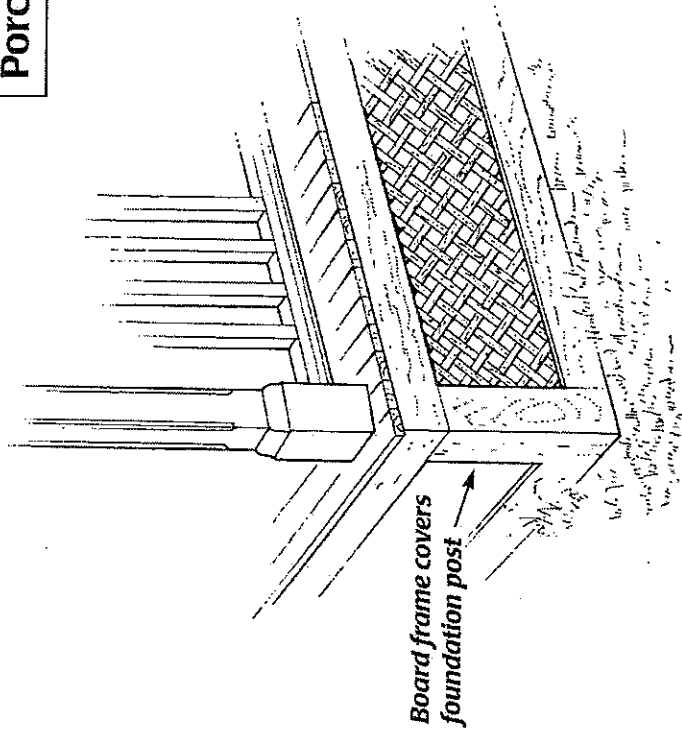


Detail of tops for all newel posts

# Porches



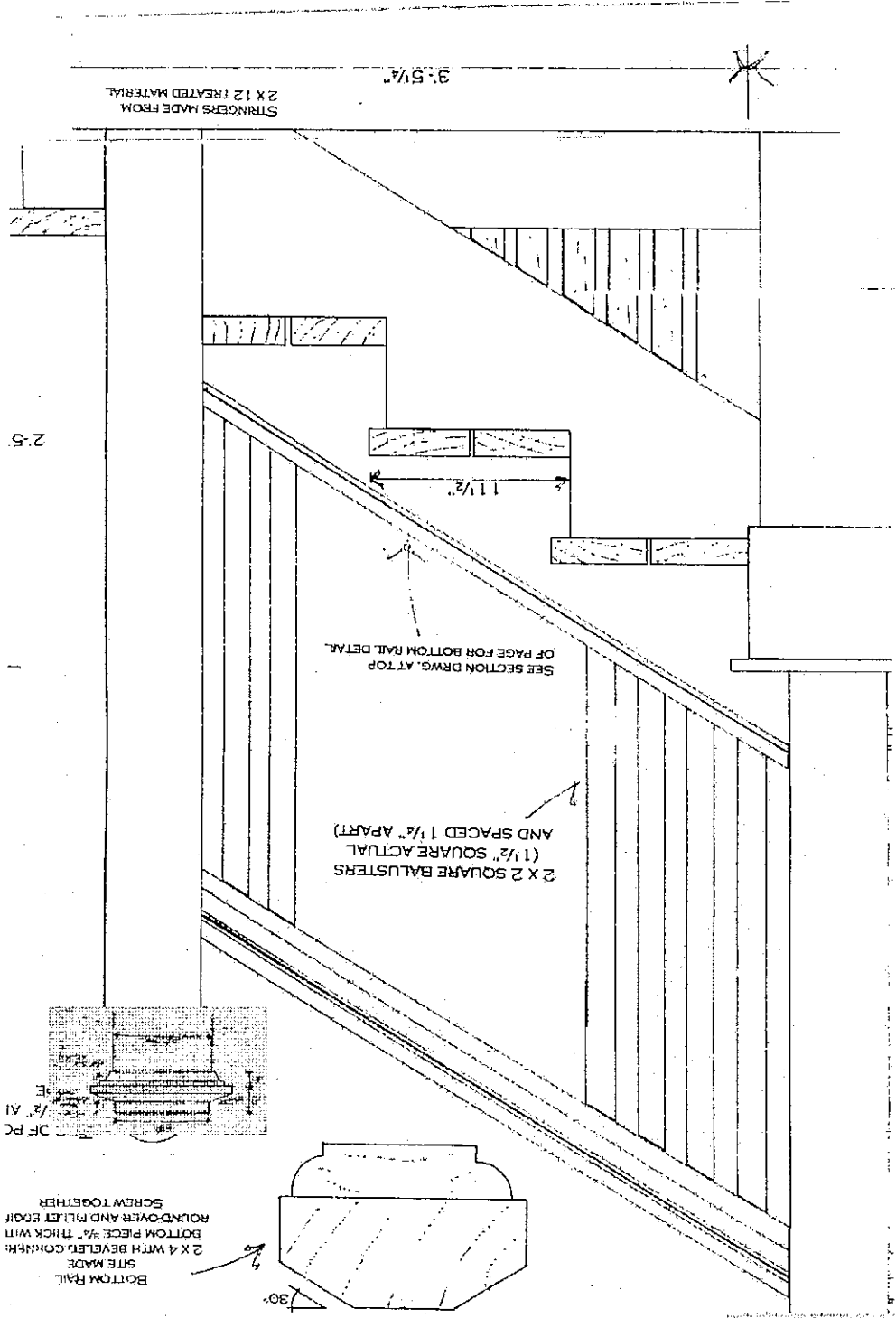
## Porch Skirting



Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.

Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

As an alternate to the lattice work infill, pickets 2" wide actual and spaced 3/4" apart (must be attached to back of skirting frame



STRINGERS MADE FROM  
2 X 12 TREATED MATERIAL

3'-5 1/4"

2'-5"

1 1/2"

SEE SECTION DRWG. AT TOP  
OF PAGE FOR BOTTOM RAIL DETAIL

2 X 2 SQUARE BALUSTERS  
(1 1/2" SQUARE ACTUAL  
AND SPACED 1 1/2" APART)

CF PC  
2" AI

BOTTOM RAIL  
SITE MADE  
2 X 4 WITH BEVELED CORNER  
BOTTOM PIECE 1/2" THICK WITH  
ROUND-OVER AND FLIT EDG  
SCREW TOGETHER

30°

**Detail of handrail and guardrails, please see detail drawing of post tops.**



Legislation Details (With Text)

**File #:** 110306      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/27/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2626 N. Terrace Avenue for Ross Williams.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/27/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110306  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 2626 N. Terrace Avenue for Ross Williams.

Requestor

Drafter  
CC-CC  
dkf  
6/27/11



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

2626 N Terrace Ave

2. NAME AND ADDRESS OF OWNER:

Name(s): Angela & Ross Williams

Address: 2626 N Terrace Ave

City: Milwaukee

State: WI

ZIP 53211

Email: ross.w.williams@me.com

Telephone number (area code & number) Daytime: 4142150123

Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

See photos

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See attached

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

  
Signature

Ross Williams 6/23/11  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



June 15, 2011

Ross Williams  
2626 N. Terrace Ave.  
Milwaukee, WI 53211

8747 North 107th Street  
Milwaukee, WI 53224-2201  
414-371-8850  
fax 414-371-8851  
Info@millenroofng.com  
www.millenroofng.com

Dear Ross:

We propose the following work to your house at the above address.

**General Repairs**

- Replace missing slates on front entrance roof.
- Reseal north bay counter-flashing and 2 north side copper window sills.

**Cost Estimate      \$590**

**Rear Flat Porch Roof**



**Option 1**

- Remove existing roofing to deck.
- Install high temp ice & water shield membrane to complete roof.
- Install red rosin slip sheet over ice & water shield membrane.
- Install 16 oz. copper flat locked panel roof system with soldered seams.

**Cost Estimate      \$4,870**

**Option 2**

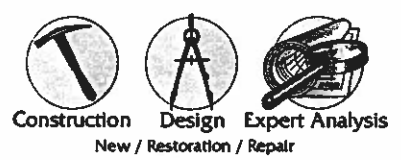
- Remove existing roof to deck.
- Install 1/2" CDX plywood to complete roof.
- Install 60 mil EPDM membrane roof system fully adhered to new plywood.

**Cost Estimate      \$3,160**

**Front Entrance Roof Gutter**

- Remove existing 4" gutter.
- Install new 5" 16 oz. copper double beaded half round gutter with soldered seams. Stainless steel rod will be installed into the gutter bead for reinforcing.
- Existing downspouts to be reused.

**Cost Estimate      \$1,530**





**Snow Guards**

- Install approximately 40 cast bronze snow guards (Mullane # 200) in slate roof section above rear flat porch roof.

**Cost Estimate        \$1,265**

- Install approximately 40 cast bronze snow guards (Mullane # 200) in slate roof at lower front entrance roof and above on main roof over the lower entrance roof.

**Cost Estimate        \$1,660**

**Upper Gutter (above rear porch roof)**

- Straighten as possible, add 1" x 1/8" copper bar straps to help support front edge.
- Replace 2 – 2" x 3" downspouts with new 16 oz. copper 3" x 4" downspouts.

**Cost Estimate        \$630**

Please contact me with any questions.

Sincerely,

Roger Hamm

New gutters at lower roof plus snow guards at lower and on upper valley...



Flat roof at rear of house to be removed and replaced with copper. May have iron/steel railing installed

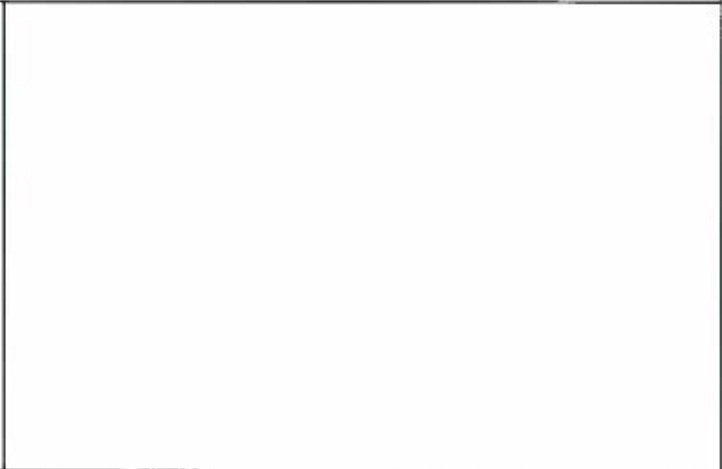




North side repairs to prevent leaking



Same snow guards installed elsewhere





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**HISTORIC  
PRESERVATION  
COMMISSION**

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# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

**Ross Williams, owner**

**2626 N. TERRACE AV., North Point North Historic District**

## Description of work

Remove existing flat roof from rear porch and install new soldered copper deck. REplace missing or damaged in dind as necessary. Install new 5" copper gutter at front entry to match existing design. Install new snow guards on slate roof as needed.

## Date issued

6/23/2011

PTS ID 73465 COA, roofing

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

No decorative or permanent features such as dormers, chimneys, moldings will be removed. All work to be done according to attached specifications. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows:  
Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Legislation Details (With Text)

**File #:** 110307      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/27/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 817 N. 28th Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/27/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110307  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new roof and gutters at 817 N. 28<sup>th</sup> Street for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/27/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

CONCORDIA DISTRICT (EXPANDED)

ADDRESS OF PROPERTY:

817 N. 28<sup>TH</sup> STREET

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE, DCD

Address: 809 N BROADWAY

City: MILW. State: WI ZIP 53202

Email: YLAPJE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: (414) 286-5762 Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J. PIONKE DBA I-COM

Address: 3254 S. 15<sup>TH</sup> PLACE

City: MILW. State: WI ZIP Code: 53215

Email: BPIONKE@WI.COM

Telephone number (area code & number) Daytime: (414) 807-7250 Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

- Photographs of affected areas & all sides of the building (annotated photos recommended)
- Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
- Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

EXISTING ASPHALT SHINGLE ROOF AND MASONRY BLOCK CHIMNEY  
ALSO K-STYLE GUTTERS AND FLAT ROOF A BOX PORCH

Photo No. 1 & 2

Drawing No.

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

DO A COMPLETE <sup>GABLED</sup> ROOF YEAR OFF AND REPLACE WITH  
GAF ARCHITECTURAL SHINGLES (Pewter Gray) REMOVE INAPPROPRIATE  
BLOCK CHIMNEY BELOW ROOFLINE AND SHATH ROOF. INSTALL K-STYLE  
GUTTERS AND DOWNSPOUTS PER ROOF SPECS. INSTALL A RIDGE VENT AT  
GABLE AND ALONG DORMERS AND INSTALL SOFFIT VENTS PAINTED TO MATCH  
SOFFIT COLOR, DN PORCH ROOF INSTALL WHITE RUBBER MEMBRANE  
ROOF & GUTTERS TO MATCH MAIN ROOF

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:

Brian J. Pionke  
Signature

BRIAN J PIONKE APR 29, 2011  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc



## SCOPE OF WORK SPECIFICATIONS: ROOFING

- 1) Do a complete shingle tear off down to the original wood.
- 2) Inspect and replace rotted, damaged or missing boards using like-with-like dimensioned boards. OSB dimensioned and of the same thickness as existing wood may be used when sheathing large roof sections or the entire roof area.
- 3) Install 15 lb. (non-perforated) felt with 3" minimum overlap using T-50 3/8" staples.
- 4) Install 3 ft. wide "Ice and Water Shield" along all eave lines. On eaves extending out more than 3 feet add a second row of "Ice and Water Shield" with a 6" overlap.
- 5) Where required install new gutter straps over ice shield evenly spaced approximately 3 ft. on center.
- 6) For all roofing venting cut a 3" wide channel along the gable peak to within 2 feet of the roof edge for installation of a ridge vent. (NOTE: Pan vents are only permitted with prior approval from the Owner's Representative or the staff of DCD.)
- 7) Install aluminum drip edge along entire roof edge with 1/4" overlap at eave edge, using 1-1/4" galvanized roofing nails.
- 8) Install a full shingle starter strip along the base of the roof. Then install **Architectural Shingles** in a color and style as specified for each project. The architectural shingles are to be nailed down using roofing nails. The size of the nail is determined by the thickness of the roofing material (typically 1-1/4"). Nail the shingles just below the tar strip using 4 nails per shingle, or in the thickest area of the shingle follow manufactures specifications.
  - a) Install your first architectural shingle 1/4 inch over the edge of the roof to force any water away from the fascia. It will also help prevent any fascia deterioration.
  - b) Next mis-match the shingle gaps by cutting different amounts of material from each piece of shingle before it is laid. For example; the first row should be left alone, the second row would be cut 5 inches, the third row 11 inches and on in 6-inch increments. This staggers the architectural shingles as they are installed so the gaps from each shingle to do overlap each other. Continue this process until the entire sides of the roof are covered, leaving the peak of the roof bare.
  - c) Install ridge cap of architectural shingles over the peak of the roof. These shingles will require a 2" nail on each side to hold them in place.

Read more: [How to Install Architectural Shingles | eHow.com](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or review

[http://www.ehow.com/how\\_2363311\\_install-architectural-shingles.html#ixzz1KNOT62ql](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or view the Timberline installation video at <http://www.youtube.com/watch?v=txcsn1df5qs>

- 9) All new **Gutters** need to match the existing gutters in design and material.
  - a) Boxed or K-Style gutters may be installed with brackets or straps installed under the roof shingles or directly mounted to the fascia board. All gutters shall be a minimum of .032 gauge, maintain a minimum slope of 1/2" per 10 running feet of gutter, and shall be attached approximately every 32" on center or with fascia brackets aligned with every other rafter butt end.
  - b) Gutters longer than 40 feet should be sloped in two directions from the midpoint of the gutter and connected to a minimum of a 3" diameter downspout. All downspouts shall be a minimum of 024 gauge.
  - c) Half-round gutters shall be mounted with brackets or straps installed under the roof shingles attached approximately every 32" on center, and shall be a minimum of 1/2" from the fascia board.



10) All **roof valleys** shall be installed as open roof valleys. Start by running a piece of ice and water shield 36" wide up the valley stapled against the wood, then run 15 # felt lapping past the valley 12"-18" on each side of the valley.

a) Using a metal valley with a "w" bend in the metal, to slow water from rushing under the shingles, run the metal valley piece up the valley starting at the bottom of the valley and work your way to the top. The metal valley needs to match the color of the roof shingles using one of two methods (to be described later in this section).

b) Install the shingles past the valley center on one side of the flashing all the way up. Do not drive nails into the flashing. Then install shingles on the other side. Again, do not drive nails through flashing. Overlap shingles as you go, much like weaving.

c) Snap a chalk a line 3 inches from the center of the valley at the top of the valley and widen the gap by 1/8 " per running foot on each side of the valley as it runs downward.

d) Place a piece of sheet metal under the shingles to make sure you will not damage the flashing. Use a utility knife with a hook blade to cut the shingles along the chalkline.

e) Snip off the corners of adjacent shingles (dub) to protect against water being channeled under shingles. Lift up shingles and use a hook blade to cut all the pointed unexposed ends. Make each cut about 2 inches from the point.

f) Caulk twice between shingles and flashing. Using roofing cement in a caulk tube, insert the tube's tip all the way under the shingles and run a continuous bead. Then hold the nozzle 2 inches back and apply a second bead nearer the edge. Then lift up each top shingle and apply roofing cement to adhere the shingles to each other. This is to seal out water and to attach the shingles because there are no nails.

g) The metal valley needs to match the color of the roof shingles. This can be done by purchasing pre-colored enameled valleys that match the shingle color, or using rust inhibiting paint and matching colored roof granules. If the second method is used, then paint the valley with rust inhibitor and while it is still wet sprinkle on the matching graduals. After 48 hours lightly brush the valley surface to remove excess granules.

Read more: [http://wiki.answers.com/Q/How\\_do\\_you\\_install\\_roof\\_open\\_valley#ixzz1KNiCOC2c](http://wiki.answers.com/Q/How_do_you_install_roof_open_valley#ixzz1KNiCOC2c)

11) All **Chimneys** need to be flashed on all four sides.

a) The base flashing installed at the front (lowest) part of the chimney, shall include a single sheet of chimney flashing. Base flashing shall extend over the front of the chimney and wrap slightly around the sides.

b) The step flashing installed along the sloped sides of the chimney shall extend under the shingles along the chimney. Cap flashing shall be installed in the mortar joints above the step flashing and shall extend down over the step flashing to provide protection from falling rain.

c) The back (upper) side of the chimney may be flashed with "backer flashing" only when the chimney is narrower than 24" and is constructed on a shallow roof pitch of 4:12 or less. A chimney saddle "cricket" or mini dormer should be installed on the upper face of the chimney on any roof pitch of 6:12 or greater to prevent future leaks caused by water or snow build up. (A chimney saddle design and construction explanation is provided on the follow pages.)

\*  Full tear-off and re-roof. Recommended - GAF Timberline Natural Shadow 30-year shingles, Pewter Gray color  
 REMOVE SHEATH FOR  
 Retain existing chimney and ~~replace flashing during re-roofing.~~

Repair and reinstall existing gutters if possible, install new gutters where needed.

Front Porch

Repair porch deck and columns as needed. Deck seems to be fine. South column may need to be re-boxed. Install new front porch rails per HPC specs. Rebuild steps same as original steps. Skirt front porch per HPC specs. Prime and paint all new or refurbished wood. Install new rubber membrane on upper level front porch roof.

Rebuild second floor deck, rails and newel posts per HPC specs

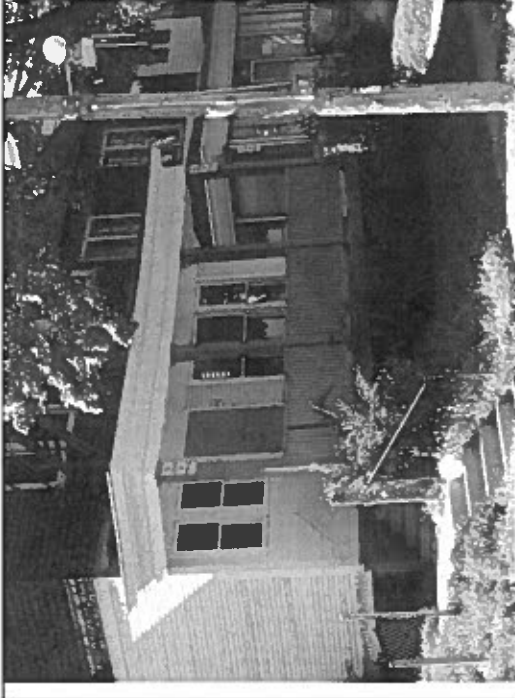
Install new 36" x 84" three panel, top light door at first floor main entrance

Repair/replace defective exterior siding. Use materials that match house's existing materials and dimensions. Cedar ~~shakes~~ to replace cedar ~~shakes~~. Eastern white pine, vertical grain, clapboards to replace damaged clapboards. Recommended - wardclapboard.com. ~~QUARTER SAWN SHINGLES~~

Maintain, do not remove fire escape from front of house.

Prime and paint all new or exposed wood surfaces.

817 North 28th Street



Full porch view

1



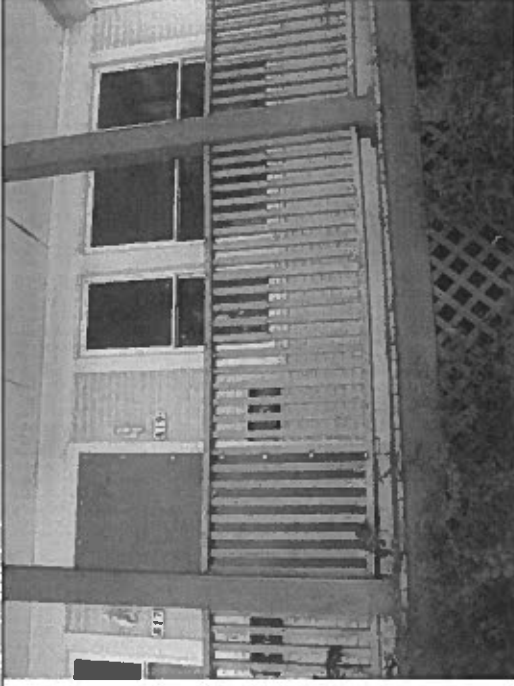
Full porch view with upper deck and door in bay.

2



Porch - view to left

3



Porch - view center

4

817 North 28th Street



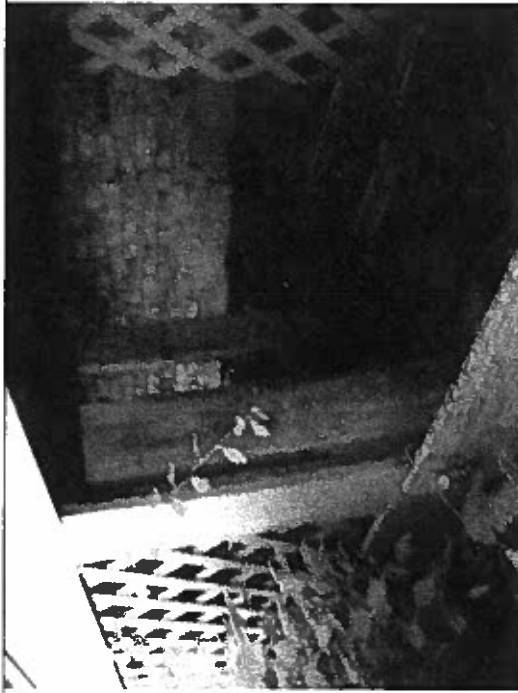
Porch - view to right

5



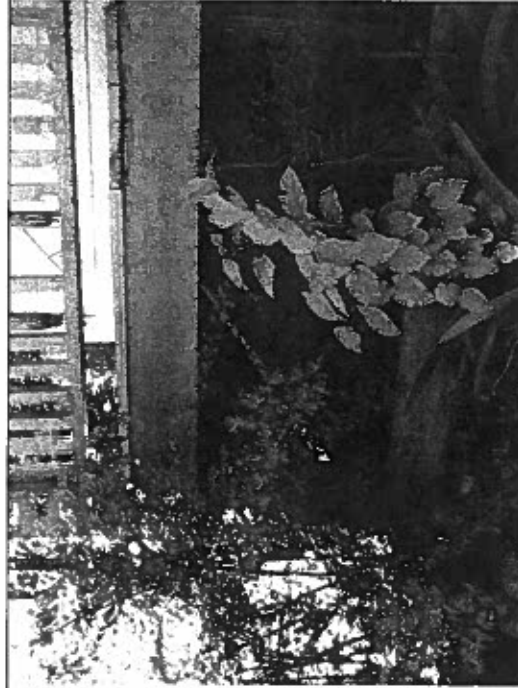
Deck and skirting

6



Support columns behind skirting

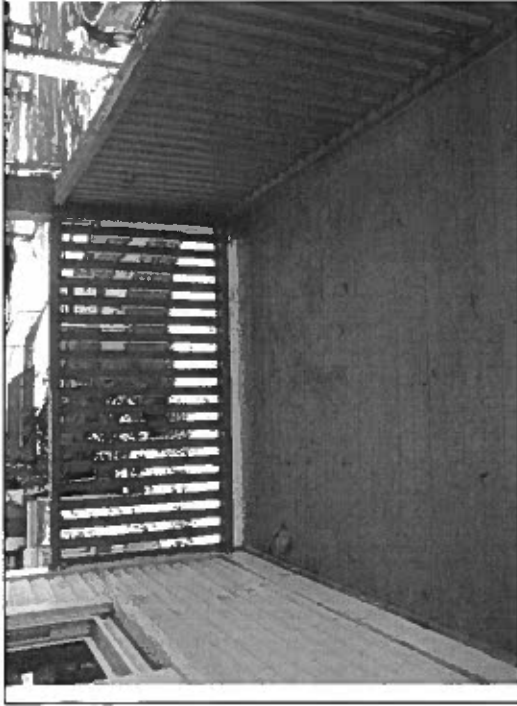
7



Stairs and skirting

8

817 North 28th Street



Porch deck in good shape

9



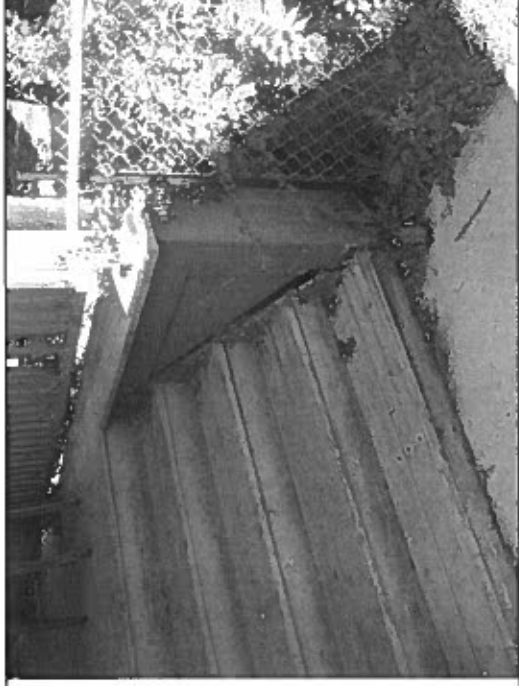
Porch deck in good shape

10



Stairs - repair/rebuild

11



Stairs - repair rebuild

12



MILWAUKEE  
**HISTORIC  
 PRESERVATION  
 COMMISSION**  
 LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

**City of Milwaukee, owner**  
 817 N. 28TH ST. **Concordia Historic District**

**Description of work**

Remove existing shingles and gutters. Install new GAF Timberline Natural Shadow shingles in pewter gray color. Install new gutters, half rounds if at all possible.

**Date issued**

6/23/2011

PTS ID 45264 COA, new roof and gutters

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

A continuous ridge vent will be installed in place of box vents. Ridge vent must extend across the entire ridge. Half round gutter should be installed if at all possible. No chimneys, moldings, dormers can be removed. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
 City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor, Inspector Joel Walloch (286-8160)



Legislation Details (With Text)

**File #:** 110308      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/27/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for exterior repairs at 817 N. 28th Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/27/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110308  
Version  
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Resolution relating to a Certificate of Appropriateness for exterior repairs at 817 N. 28<sup>th</sup> Street for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/27/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
CONCORDIA DISTRICT (EXPANDED)

ADDRESS OF PROPERTY: 817 N 28<sup>TH</sup> STREET

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE

Address: 809 N BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: VLADPE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: (414) 286-5762 Evening: —

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J PIONKE DBA: I-COM

Address: 3254 S. 15<sup>TH</sup> PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.VR.COM

Telephone number (area code & number) Daytime: (414) 807-7250 Evening: —

## 4. ATTACHMENTS

### A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

### B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**



5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

DETERIORATED WOOD SHINGLES ON GABLE ENDS OF FRONT, SIDE & REAR AREAS, SOME SELECTIVE DAMAGE ON THE SECOND FLOOR. INAPPROPRIATE PORCH RAILING ON 1ST FLOOR PORCH AND MISSING RAILING ON 2ND FLOOR PORCH LANDWG. SOME DAMAGED SOFFIT FASCIA CROWN MOLDWG AT ROOF LINE & AT PORCH ROOF AND SOME AREAS OF WATER/DAMAGE. LOSS FOUNDATION BRICKS ON SOUTH WALL & MISSING MORTAR JOINTS ON WEST WALL

Photo No. 1-6 pg 1-3 Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

WILL REPLACE ALL DAMAGED OR MISSING WOOD SHINGLES ON SECOND FLOOR AND IN THE ENTIRE FRONT SIDE & REAR GABLE ENDS, USING QUARTER SAUN WOOD OF SAME DESIGN & DIMENSION. WILL REPLACE EXISTING PORCH RAILING AND INSTALL NEW MATCHING UPPER PORCH DECK RAILING USING SAME RAILING DESIGN AND 6X6 SQUARE NEWELLS WITH POST CAPS. WILL REPLACE LATTICE SKIRT WITH SLATS 1 3/4" SPACED 3/4" APART. ALL WOOD TO BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION. SKIRT PANELS COLUMNS AND NEWEL POST TO ALIGN.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Brian J. Pionke  
Signature

Brian J. Pionke  
Print or type name Date

NO NEW PHOTOS OR DRAWINGS (WILL USE PREVIOUS SPRC FROM 2812 W WELLS & LIVWG W/ HISTORY)

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

**817 N. 28th Street**



**1. Wood Shingle Front Gable (East Elevation) attic window exit and fire escape stairs**



**2. Side Roof on Street Front Elevation showing damaged shingles**





3. Wood shingle Rear Gable (West Elevation) showing shingle deterioration



4. Wood Shingle Rear Gable (West Elevation) w/ eave connection & K-style gutter





5. Front Porch (East Elevation) Columns, Railing, and Skirt



6. Front Porch (East Elevation) Column and railing

# **SPECIFIC SCOPE OF CARPENTRY WORK FOR 817 N 28th STREET**

June 5, 2011

- 1) Replace all areas where soffit, fascia, and crown molding are deteriorated, after the roofers have completed their work. Approximately 18 linear feet of each material for the rear area of the main roof, and 25 lf for the front porch area. Crown molding replacement in selective locations
  
- 2) Selective wood shingle replacement will occur on the second level on the south elevation, but complete replacement will occur in the front, rear, and side gable areas.
  - a) Shingles will be quarter sawn wood shingles that are treated with preservative and primed on all four sides prior to installation.
  
- 3) Front Lower Porch: Selective repair the front porch decking using 5/4" T&G Ipe decking (or comparable).
  - a) Replace the existing 3 sections of front hand railing with new 88-3/4" railings and the side railing with a 61" long railing, each railing to be 33" tall with a bread loaf upper rail and composite bottom rail. All railings to be a minimum of 3" above the finished floor and attached to the existing 6"x6" square columns which will be retained for the porch. (See side porch railing design of 2812 W Wells Street)
  - b) No stair railing will be needed as the existing wall mounted railing will be retained.
  - d) Construct (2) two new stair stringers with the end stringers placed even with the inside foundation wall and the outside edge of the porch columns. Install (4) four new stairs each 7-1/4" high, with treads each 11-1/2" x 2" and (4) four new risers using 1" wide cedar boards.
  - e) Construct and attach porch skirts with 1-3/4" wide slats, spaced 3/4" apart and mounted to 1"x 6" framing. The skirt will match the design of the porch railing and separate into 3 panels to align with the new newel posts above. (See design of front porch railing and skirt for 2812 W Wells Street)
  
- 4) The upper level porch roof metal seamed deck may be replaced with a new membrane roofing system.
  - a) The upper level porch will have (4) four new boxed 6" x 6" newel posts secured to new 7" x 7" x 1-1/2" plinth blocks, and the plinth blocks will be attached to the roof to align with the columns below and will be attached with galvanized fasteners and sealed with silicon rubber cement.
  - b) Three (3) new sections of guard railings on the upper front porch deck will be 33" tall and will include a bread loaf upper railing and a composite lower rail shoe. The lower rails will be at least 3" inches above the porch deck.
  - c) Both the (3) 88-3/4" sections of the front railing and the (2) 66" side railings on the upper porch will be attached to the newel posts or the house with 4" galvanized counter-sunk screws to make future repair and replacement easier.
  - d) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center.
  
- 5) Repair missing or damaged water-table boards on the south and west side of house using like-with-like dimensioned wood material. Preferably clear western cedar.

## GENERAL CARPENTRY SCOPE OF WORK

- 1) When rebuilding porch decks it is recommended that Ipe tongue & groove 5/4" x 4" decking (actual 1" x 3-1/2"), Spanish cedar, or an approved comparable material be used for all exterior porches.
  - a) All porches shall have a slope from the house to the outer porch edge of 1/4" per linear running foot of porch deck.
  - b) All decking will be run perpendicular to the house and be supported at the house with a ledger board and by joists a minimum of 18" on center, or IAW with the specifications of the UDC.
  - c) All joists will be mounted by means of joist hangers properly installed.
  - d) Specific porch deck designs will be provided for each project by the Owner's Representative prior to construction.
  
- 2) When rebuilding porch railings it is required that all railing be a minimum of 36" in height for residential properties and 42" in height for commercial properties.
  - a) All guard railings will include a bread loaf upper railing and a composite lower rail shoe, and all lower rails be installed at least 3" inches above the porch deck.
  - b) All railings will be attached to newel posts, columns, or the house with 4" galvanized counter-sunk screws to make future repair and replacement more accessible.
  - c) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center, and all spindles will be installed in a 1/4" x 1-1/2" blank with galvanized 1-1/2" screws.
  - d) All stair rails will mirror the design of the guard railings and be attached to newel posts.
  - e) All upper porch railings on second floor porches will mirror to design and appearance of the first floor railing, except that newel posts may be designed proportionate narrower.
  
- 3) When repairing or rebuilding porch skirts all materials will be of like-with-like wood replacement of the same design and dimensions as originally existed or as specified by the drawings provided by the Owner's Representative.
  - a) All porch skirts will be installed with a continuous board frame that is a minimum of 6" in width.
  - b) All framing will cover the rough framing lumber of the support posts, columns and beams.
  - c) All skirts will incorporate a slat design that will closely mirror the design of the wood railings above.
  
- 4) When repairing or rebuilding stairs all components will be of like-with-like wood materials.
  - a) All stairs will be supported by a minimum of three stringers with steps of equal height, and no step will exceed 8 inches in height.
  - b) There will be no more than a 3/16" variation between steps.
  - c) Each step will have a minimum tread width of 11" with a tread overhang of no more than 1 inch.
  - d) Each step will be constructed with a corresponding riser.
  - e) Any stairs with more than three steps will include a hand railing along each side of the stairs that attaches to a lower newel post and an upper newel post or column.
  
- 5) Miscellaneous repairs or replacement to items such as the water table board, soffit, fascia or crown moldings will use like-with-like material of the same design and dimension as currently exists.
  - a) Any new elements such as the addition of or removal of windows or doors will be indicated by the Owner's Representative and specified as to the design and dimension of each new element.
  - b) Generally new windows will be of a double-hung design with proportions and trim work similar to other existing windows. Doors will be a minimum of 6'8" in height and 36" in width to accommodate ADA accessibility, and will reflect the panel design of other exterior doors on the house.

# **SPECIFIC SCOPE OF MASONRY WORK FOR 817 N 28th STREET**

June 6, 2011

- 1) Remove existing concrete block chimney to two below the roof line and board over and as part of approved roof project.
  
- 2) Foundation cracks and missing mortar are visible on the west foundation wall and also along the south foundation wall.
  - a) The contractor shall use like-with-like dimensioned brick if repair or brick replacement is required.
  
  - b) Mortar shall be eight parts sand, three parts Portland cement, and one part lime; or Type "N" mortar- especially on houses built after 1910. (See page 84 of "As Good As New") . The thin set mortar design shall be followed on all bricks.
  
  - c) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
  
  - d) When tuckpointing it is expected that the contractor use the same mortar joint style as originally existed (See page 85 of "As Good As New), unless another style is approved by the Owner's Representative prior to initiating any project work.

- 1) When doing mortar or brick repair, or replacement on historic homes the following process/procedure is to be followed:
- 2) Inspect all masonry for signs of deterioration. Identify any bricks that are cracked or spalled, and determine the reason for the damage. Replace damaged bricks using like-with-like material.
- 3) Check for cracks in the mortar joints and determine if excessive settling has occurred which will require additional foundation repairs.
- 4) When repairing foundations be sure to incorporate the same brick pattern.
- 5) When removing any damaged brick from a chimney, or rebuilding a chimney it is critical that the contractor take photo of the existing chimney, so that they can duplicate the corbelling pattern that exists. Rebuilt chimneys MUST be completed using the same type, pattern and dimensions as the existing chimney. When in doubt the chimney design on page 97 of "As Good As New" may be used if approved by the Owner's Representative.
- 6) When tuckpointing brick or block the old mortar must be removed to a minimum depth of 3/4" by means of a tuckpointer's rake pulled across the joint or lightly tapping with a hammer. If the mortar does not come loss a hammer and plugging chisel should be used. Either of these methods is preferred. Use of an electric grinder should only be done in areas that are not visible to the general public such as rear walls, and then only after being approved by the Owner's Representative. Great care must be taken not to damage the brick. "No mortar removal is to be done using a reciprocating saw with a masonry blade."
- 7) When applying the new mortar to Cream City brick the joint should be damp but not dripping wet. The new mortar should use a lime mortar mix with one part lime to two parts sand. Use Type "K" mortar if available and Type "O" mortar as a second option.
- 8) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
- 9) When applying mortar a grout bag or knife-like tuckpointing tool should be used to push the mortar all the way back into the joint. Tuckpointing should be done in 1/4 inches layers, packing each layer before applying the next. Apply mortar as neatly as possible and avoid smearing mortar on the face of the brick.
- 10) When the final layer begins to set up slightly, it MUST be tooled to match the style of the existing joints.
- 11) Clean up any excess mortar immediately using phosphoric acid. If this does not work use muriatic acid. Use muriatic acid in a solution of 1 part muriatic acid to 10 parts water. Apply the acid mixture with a large sponge. Leave the acid in contact with the masonry for 30 seconds then use a scrub brush to remove any excess mortar. When clean, rinse thoroughly with water and neutralize the cleaned area with 1 cup of household ammonia to 1 gallon of water. Muriatic acid is dangerous so do not get in contact with eyes or skin, and always keep a neutralizing agent like baking soda on hand.





MILWAUKEE  
**HISTORIC  
PRESERVATION  
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# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

**City of Milwaukee, owner**  
817 N. 28TH ST., **Concordia Historic District**

## Description of work

Replace all missing or damaged wood sidewall shingles. Replace porch railings, upper and lower, on front porch. Replace lattice skirting with slats 1-3/4" wide and spaced 3/4" apart. Repair foundation bricks as needed. Repair/replace missing or damaged areas of crown molding on eaves as needed.

## Date issued

6/23/2011

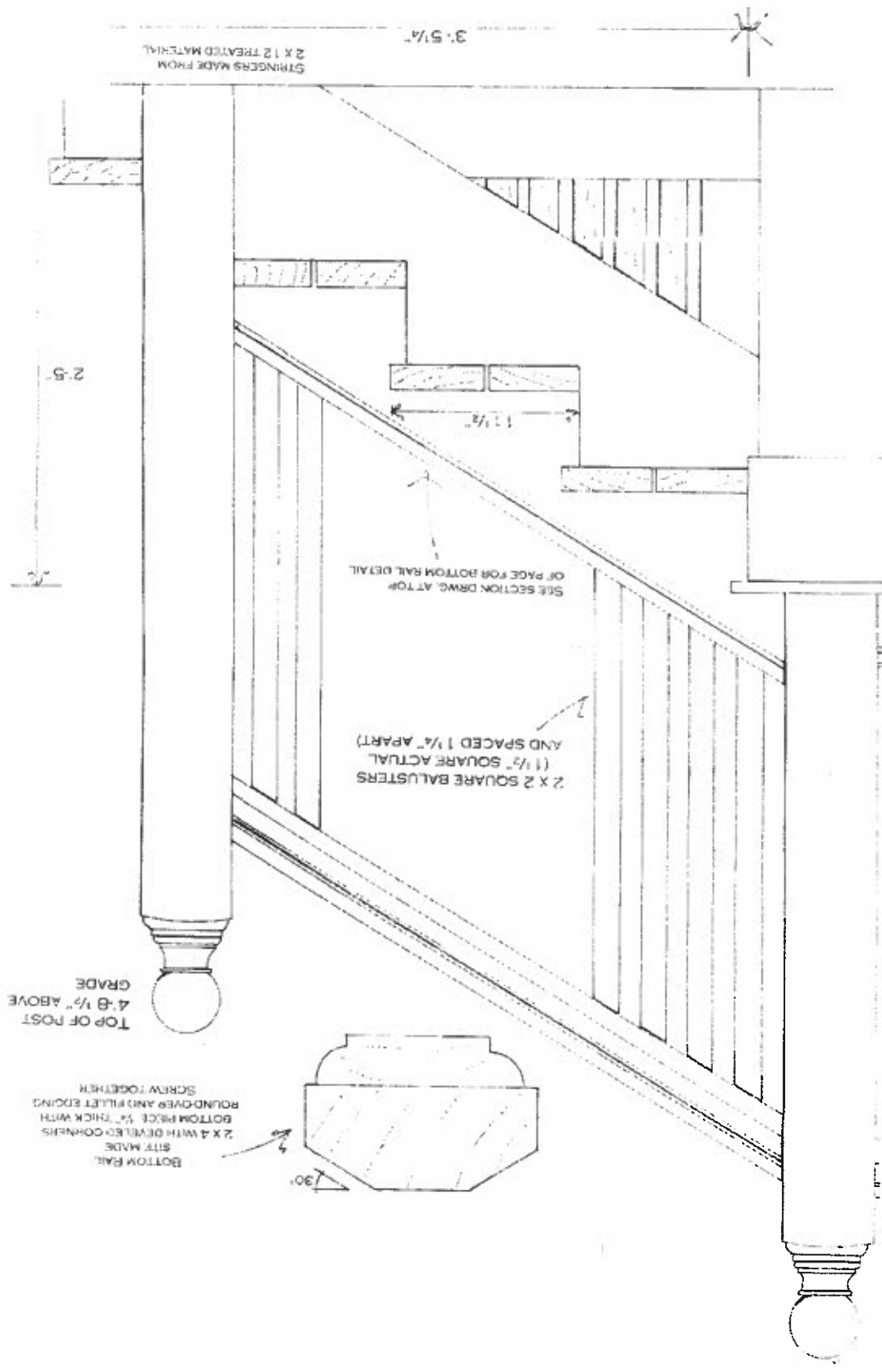
PTS ID 45264 COA, exterior repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: All work will be done according to attached drawings. All new wood will be painted or stained upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two the life of the paint job applied over it is likely to be decreased. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [piakub@milwaukee.gov](mailto:piakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)



**All porch railings and guardrails to be built according to this detail**



Legislation Details (With Text)

**File #:** 110309      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/27/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for foundation repairs at 948 N. 34th Street for Phil Perry.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/27/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110309  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for foundation repairs at 948 N. 34th Street for Phil Perry.

Requestor

Drafter  
CC-CC  
dkf  
6/27/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

Concordia

ADDRESS OF PROPERTY:

949 N 34th

2. NAME AND ADDRESS OF OWNER:

Name(s): Phil Perry

Address: OUT OF STATE

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP: \_\_\_\_\_

Email: P.L.P Flipper @ G mail.com

Telephone number (area code & number) Daytime: (202) 841-3178 Evening: \_\_\_\_\_

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): PAUL MUSCISTER

Address: 5128 SO 92nd STREET

City: Greendale State: WI ZIP Code: 53129

Email: CreamCityMasonry @ Yahoo.com

Telephone number (area code & number) Daytime: (414) 915-9440 Evening: 5442

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain): REMOVE SOUTH EAST CORNER & REBUILD

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Failed brick wall on south east corner below grade  
sinking corner of block (above grade) approx 8x4  
about 10 block above grade, all work in rear of  
house

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

remove failed brick wall & top three courses of  
block. Inspect footing - replace if failed. 8x4  
rebuild corner wall approx 8x4. using 12" CMU.  
Per eng report (verbal) Deacon Ellis engineering  
attempt to save above grade block. (414) 469-0104  
if not salvageable use 12" split face CMU

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Paul Moscister  
Signature

Paul Moscister \_\_\_\_\_  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc



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# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

948 N. 34TH ST., Concordia Historic District

## Description of work

At the southeast corner of the building (rear) rebuild the corner using existing rusticated blocks if at all possible.

## Date issued

6/22/2011

PTS ID 73419 COA, foundation repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photo and specifications. If exterior blocks cannot be saved, then new, rusticated concrete blocks can be installed. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkeded.org/build](http://www.mkeded.org/build), or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Willie Hines, Contractor Cream City Masonry, Inspector Joel Walloch (286-8160)



The southeast corner of foundation to be rebuilt using original block above grade if at all possible.





Legislation Details (With Text)

**File #:** 110316      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/28/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new porch posts, railings deck and skirting at 3316 W. McKinley Blvd. for W. J. Sherard.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/28/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110316  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new porch posts, railings deck and skirting at 3316 W. McKinley Blvd. for W. J. Sherard.

Requestor

Drafter  
CC-CC  
dkf  
6/28/11





# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Cold Spring Park Historic District

**ADDRESS OF PROPERTY:**

3314 W. McKinley Blvd.

**2. NAME AND ADDRESS OF OWNER:**

Name(s): W.J. Sherard

Address: 2233 W. Capitol Drive

City: Milwaukee

State: WI

ZIP 53206

Email:

Telephone number (area code & number) Daytime: 414-444-5858

Evening:

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Billy Cannon

Address: 4731 W. Nash St.

City: Milwaukee

State: WI

ZIP Code: 53216

Email:

Telephone number (area code & number) Daytime: 414-233-3034

Evening:

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

\_\_\_\_\_

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_


**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

Remove existing porch deck, columns and railings. Rebuild new porch deck, handrails, guardrails, posts and skirting.

\_\_\_\_\_

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
\_\_\_\_\_  
Signature

Billy Cannon      6/16/2011  
Print or type name      Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



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# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

3316 W. MC KINLEY BL., Cold Spring Park Historic District, Will Sherard, Owner

**Description of work**

Remove existing porch deck, columns, railings and guardrails. Install new porch deck, handrails, guardrails posts and skirting.

**Date issued**

6/27/2011

PTS ID 73501 COA, porch posts, railings, guardrails, deck and skirting.

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos, drawings and specifications. All finish exterior wood will be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two, the life the paint job applied over it is likely to be decreased. Finish wood will be free of knots. Balusters to be 2.x 2 and spaced 1-1/4" apart. Box posts for the porch will be 7-1/2 inches square. Porch deck must be center-match (also known as tongue-and-groove) material. Spaced deck boards are not permitted. Slats or lattice may be used for the skirting (see attached drawings). All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
 City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

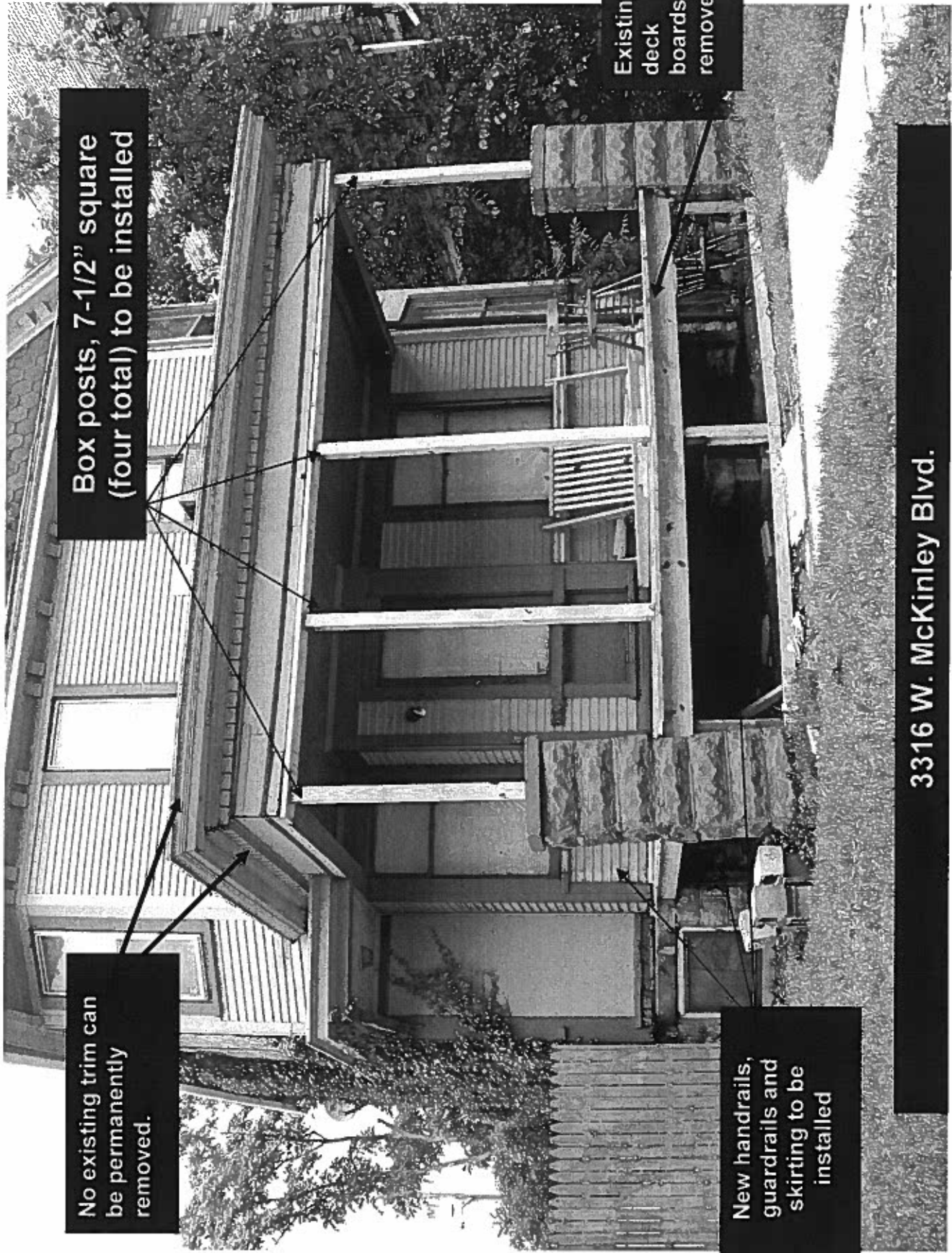
No existing trim can be permanently removed.

Box posts, 7-1/2" square (four total) to be installed

Existing deck boards to be removed

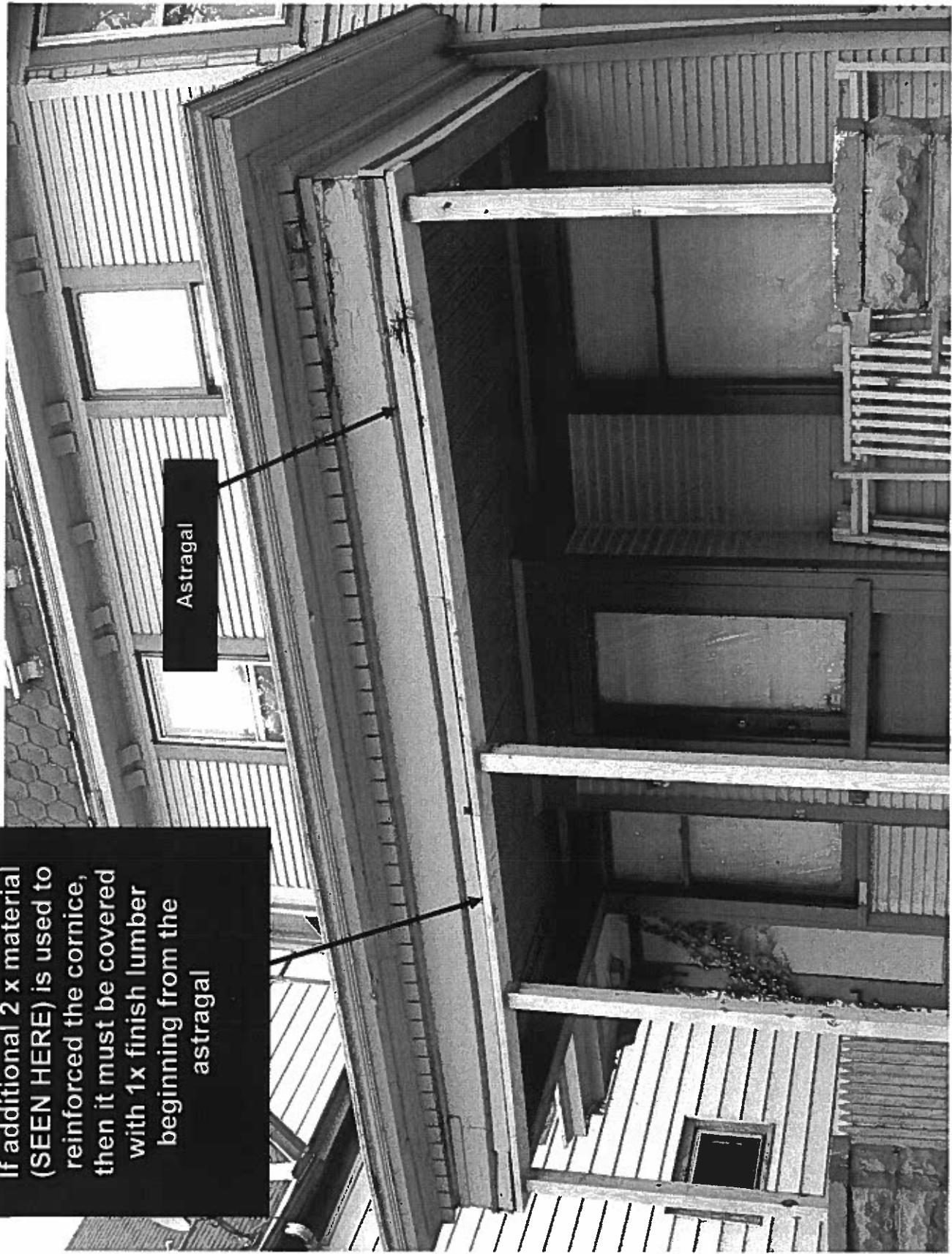
New handrails, guardrails and skirting to be installed

3316 W. McKinley Blvd.

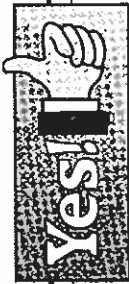


If additional 2 x material (SEEN HERE) is used to reinforced the cornice, then it must be covered with 1x finish lumber beginning from the astragal

Astragal



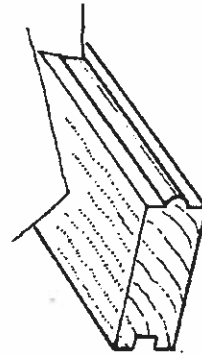
# Porches



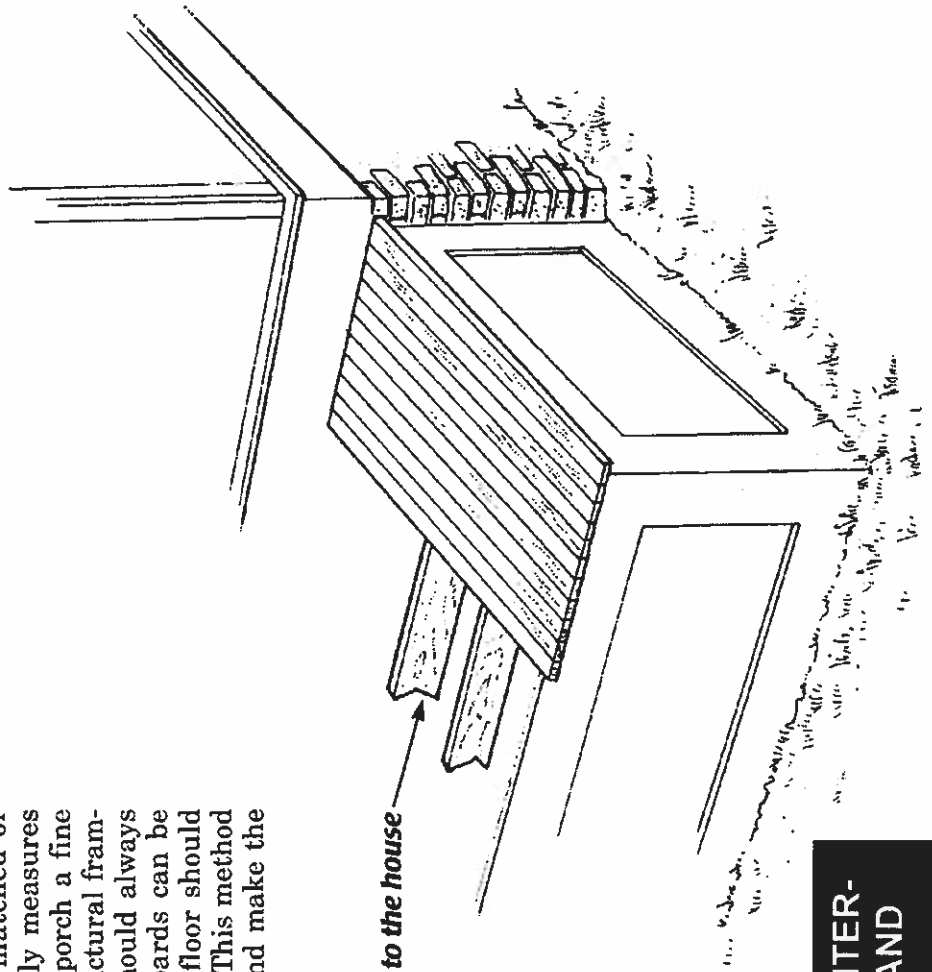
## Traditional Porch Floors

Porch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.

*Joists parallel to the house*



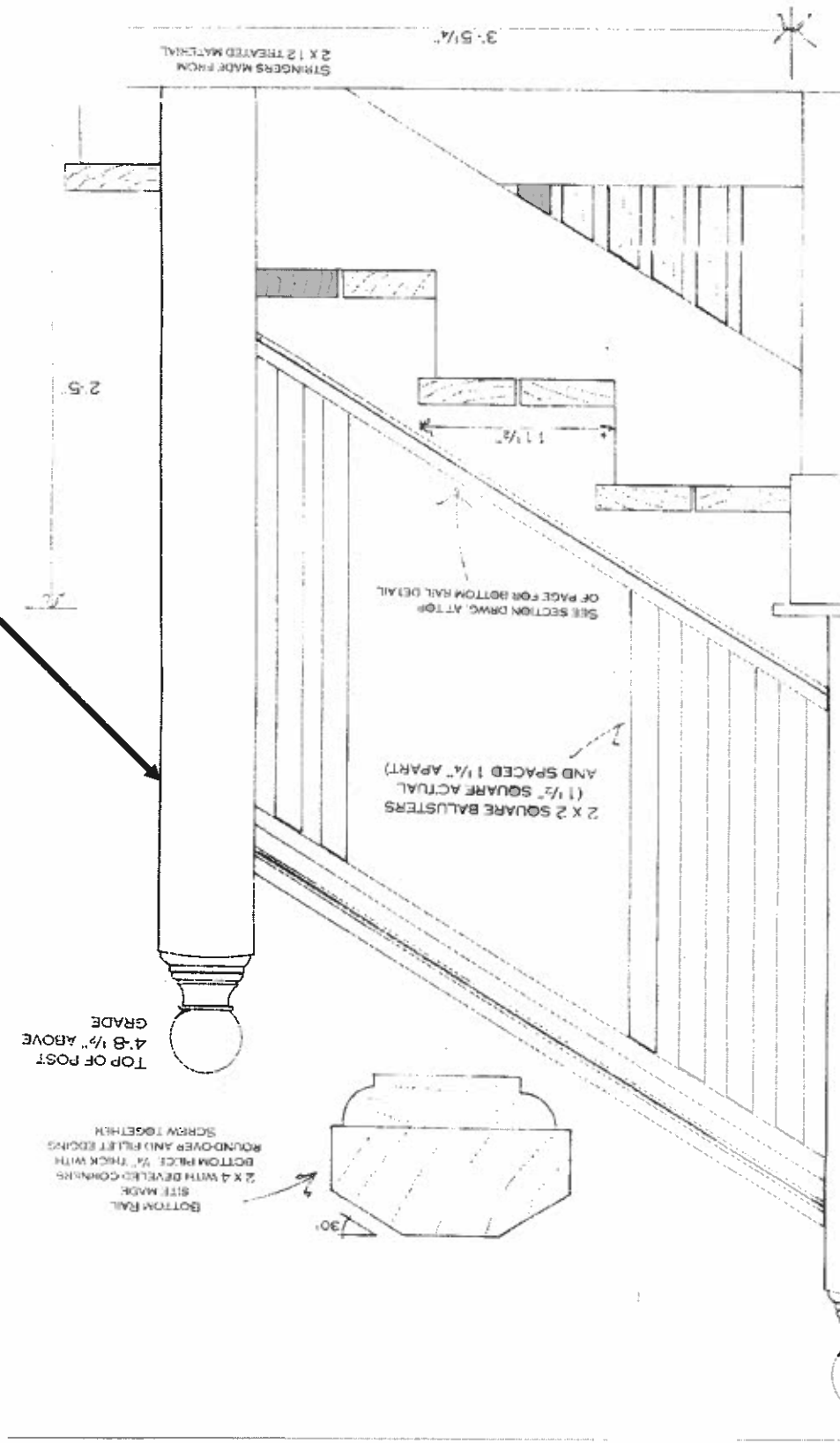
*Center match or tongue-and-groove flooring*



**PORCH DECK MUST BE MADE OF CENTER-MATCH, ALSO KNOWN AS TONGUE AND GROOVE MATERIAL**

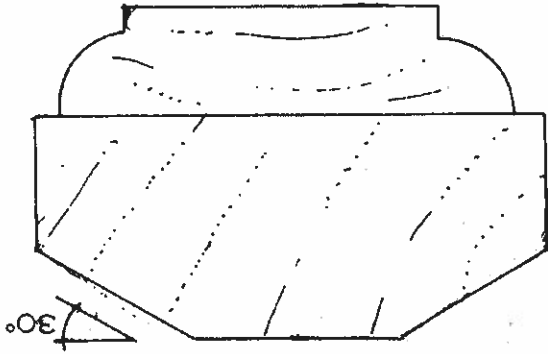
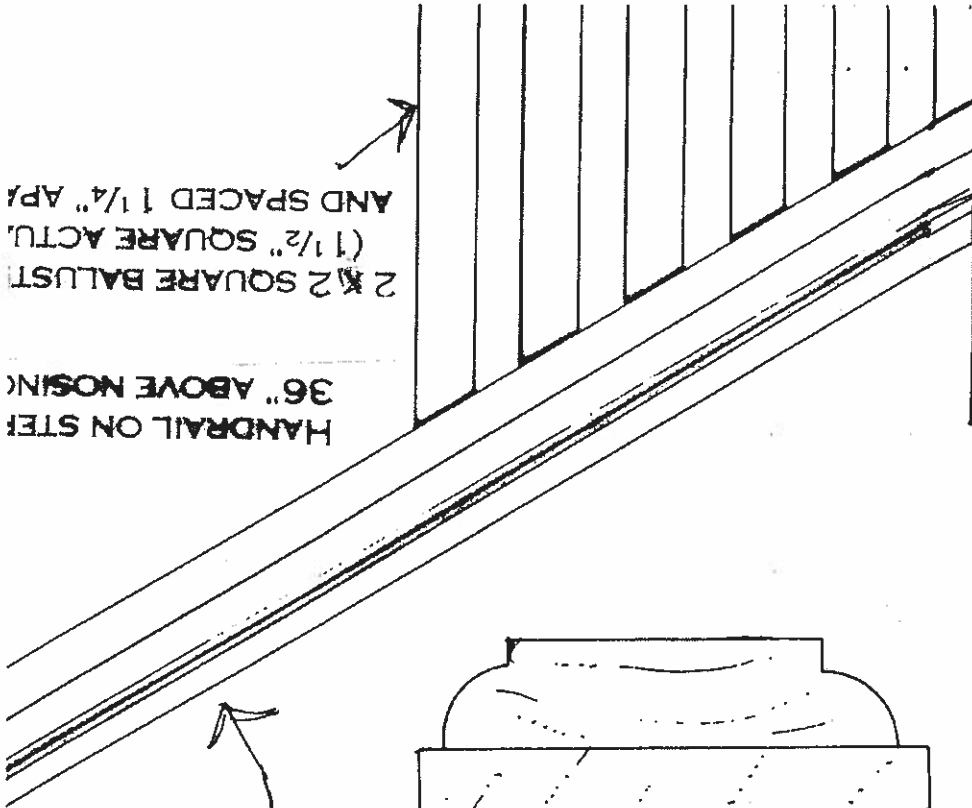


Please note the design for the optional 5-1/2" square box post and top elsewhere on this certificate.

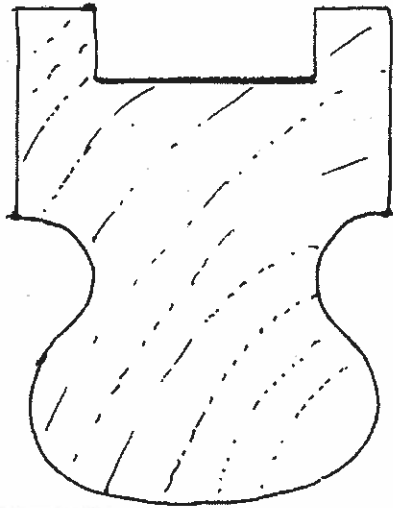


Porch railings and guardrails to be constructed according to this plan. Slats in skirting are 1-3/4" wide and spaced 3/4" apart. As an alternate to the vertical slats, a skirting infill of lattice may be substituted. 2 x 2 square balusters are spaced 1-1/4" apart

HANDRAIL ON STEPS  
36" ABOVE NOSING  
2 X 2 SQUARE BALUST  
(1 1/2" SQUARE ACTU.  
AND SPACED 1 1/4" APART)



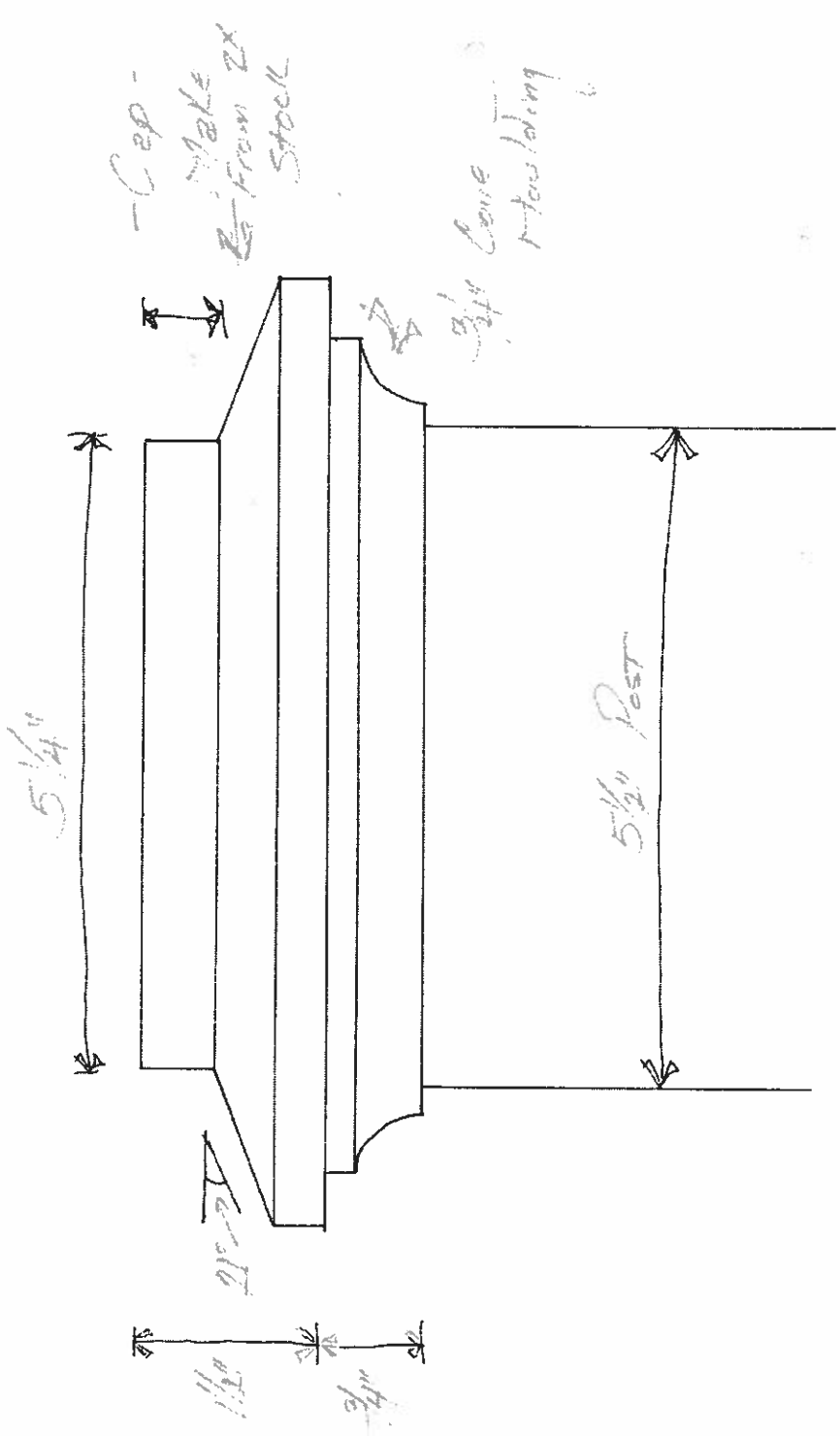
FROM RAIL  
THE MADE  
BEVELED CORNERS  
THICK WITH  
AND FILLET EDGING  
TO



GRASPABLE HANDRA  
CROWN SPECIALTY MOULD  
#HR-548  
WWW.CROWN.SPECIALTY.MOULD  
608-290-1338  
MILTON, WI

Section of handrail and bottom rail for porch. Bottom rail made from a 2x4 (clear) stock, beveled 30 degrees at the corner. A 1x3 with round-over and fillet to be screwed to the bottom



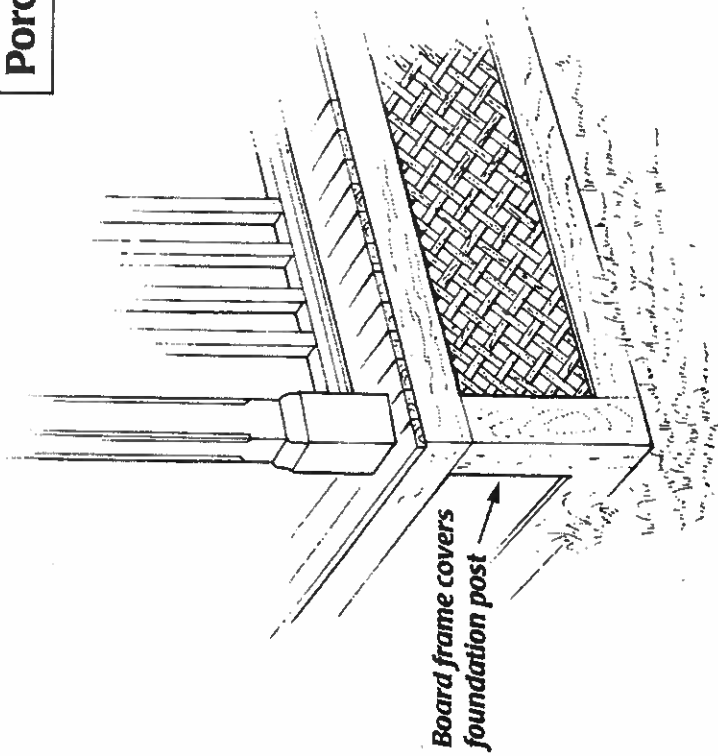


Optional square box post and top for newel posts on porch steps.

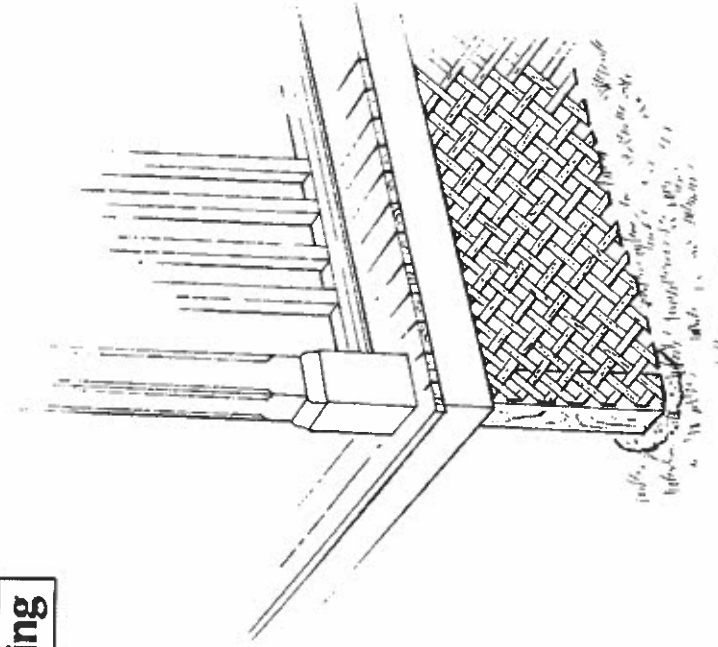
# Porches



## Porch Skirting



Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

Slats of 1-3/4" wide and spaced 3/4" apart may be substituted for the lattice work, but in either case a full frame surround as pictured at left is required.



Legislation Details (With Text)

**File #:** 110351      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/30/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new fence at 2031 N. 1st Street for Sarah Zirbel and Michael Nowak.

**Sponsors:** THE CHAIR

**Indexes:** FENCES, HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/30/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110351  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new fence at 2031 N. 1st Street for Sarah Zirbel and Michael Nowak.

Requestor

Drafter  
CC-CC  
dkf  
6/30/11



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Brewer's Hill

**ADDRESS OF PROPERTY:**

2031 N. 1st Street, Milwaukee, WI 53212

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Sarah Zirbel / Michael nowak

Address: 2031 N. 1st Street

City: Milwaukee

State: WI

ZIP 53212

Email: nowak.mike@gmail.com

Telephone number (area code & number) Daytime: 414-449-6898

Evening: 414-218-1873

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s):

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. **DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

As shown on the attached diagram, we desire to install a white cedar picket fence on our property as shown. There will be a 22 foot section with a 4 foot gate on the front of the house. The fence height on the front will be 4 feet high. There will be a 22 foot section along the back of the house with a 4 foot gate, with height 6 feet. There will also be a 43 foot section along the (south side) of the house of height 6 feet.

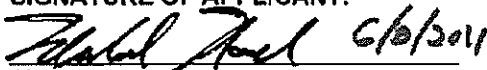
Photo No. \_\_\_\_\_ Drawing No. 1

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See attached. Materials will be white cedar pickets, braces and posts. Boardwidth=1x4, Spacing 1", backrails 2x4, posts 4x4, post top pyramid caps, gate post=4x6, stainless steel nailing.

Photo No. \_\_\_\_\_ Drawing No. 1

6. **SIGNATURE OF APPLICANT:**

  
Signature

Michael Nowak June 10, 2011  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 2031 N. 1ST ST., **Brewers Hill Historic District, Sarah Zirbel and Michael Nowak, owners**

**Description of work** Install new all wood French gothic picket fence in rear and side yards.

**Date issued** 6/29/2011 PTS ID 68387 COA, wood fence

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and photos. Fence will be painted or stained upon completion to protect it from the weather.

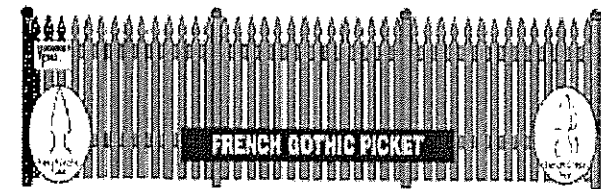
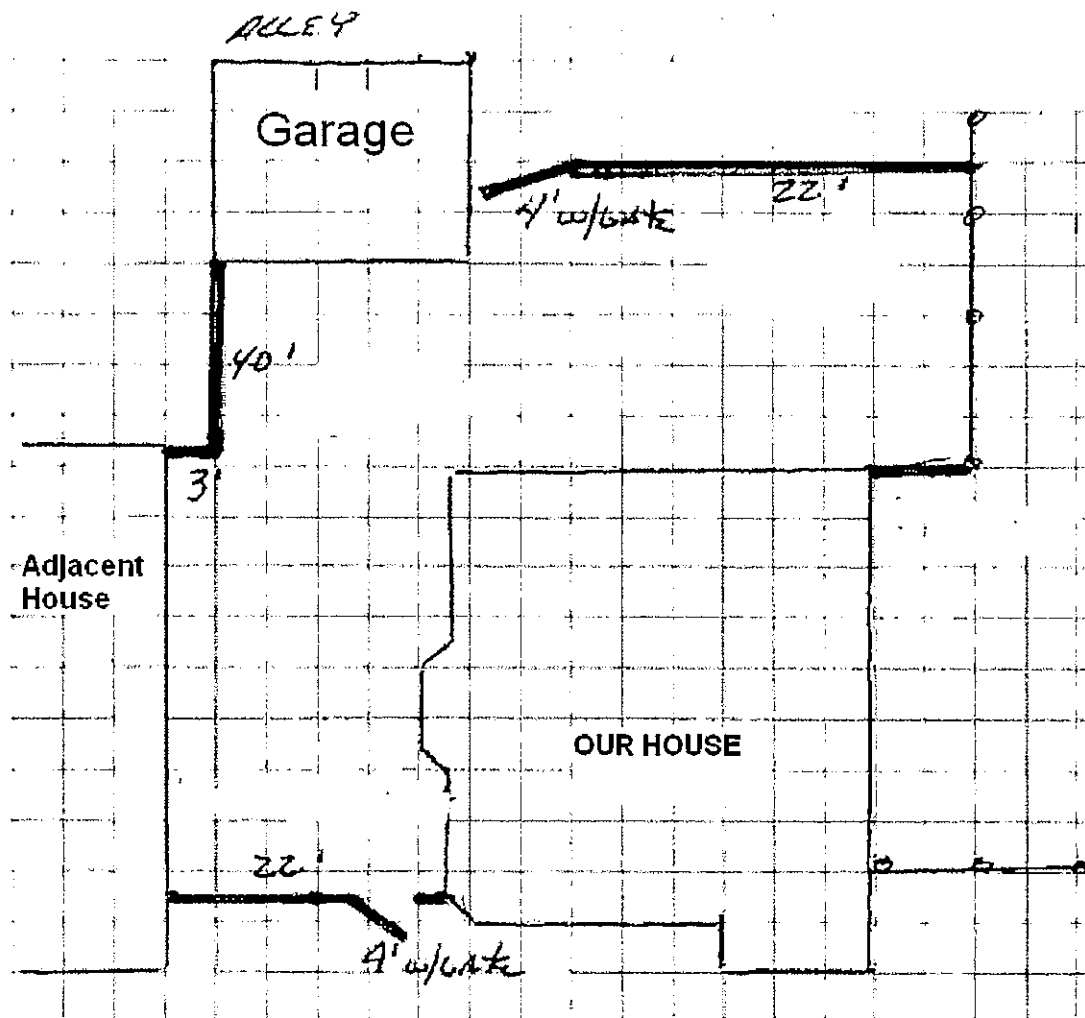
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

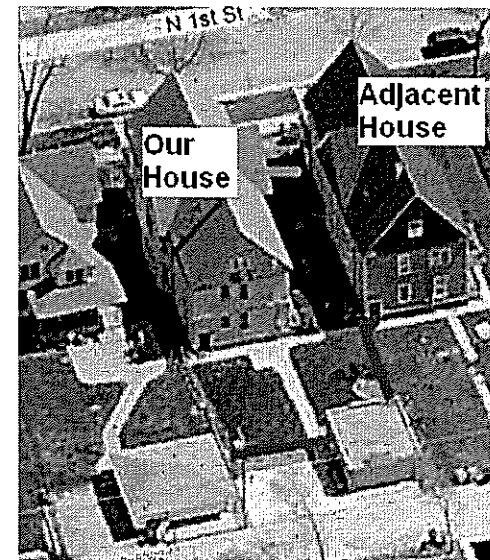
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Inspector Bill Richter (286-2518)

2031 N. 1st Street, Milwaukee, WI – Fence Job  
Mike Nowak 414-218-1873



Red = 6 foot high picket  
Green = 4 foot high picket



Style and location of new wood fence





Legislation Details (With Text)

**File #:** 110356      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 6/30/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for exterior repairs at 2742 W. State Street for the City of Milwaukee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 6/30/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110356  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for exterior repairs at 2742 W. State Street for the City of Milwaukee.

Requestor

Drafter  
CC-CC  
dkf  
6/30/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)  
CONCORDIA DISTRICT

ADDRESS OF PROPERTY: 2742 W. STATE ST.

2. NAME AND ADDRESS OF OWNER:

Name(s): CITY OF MILWAUKEE

Address: 809 N BROADWAY

City: MILWAUKEE State: WI ZIP 53202

Email: VLAPIE@MILWAUKEE.GOV

Telephone number (area code & number) Daytime: (414) 286-5762 Evening: -

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BRIAN J PIONKE DBA: J-COM

Address: 3254 S 15TH PLACE

City: MILWAUKEE State: WI ZIP Code: 53215

Email: BPIONKE@WI.VV.COM

Telephone number (area code & number) Daytime: (414) 807-7250 Evening: -

## 4. ATTACHMENTS

### A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

### B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS  
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

THE REAR HOUSE ROOF HAS DETERIORATED & MISSING SHINGLES  
 A FIRE AT THE NORTH WEST (REAR ENTRANCE) HAS DESTROYED THE  
 OVERHEAD SHED ROOF THE SIDING AND ROOF SOFFIT & FASCIA.  
 THE EAST CROSS GABLE ATTIC WINDOW TRIM IS MISSING AS ARE THE  
 BOTTOM <sup>SCHOOL</sup> BRACKETS FROM UNDER THE ORIEL WINDOW. THE FRONT  
 PORCH HAS WINDOW TRIM DETERIORATED OR MISSING. THE FRONT  
 PORCH DECK & STAIRS NEED TO BE REPLACED. <sup>SOME</sup> WATER TABLE BOARDS  
 AND CORNER BOARDS NEED TO BE REPLACED. SIDEWALK DAMAGED

Photo No. 1-27 Pg 1-14 Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

<sup>(INSTALL NEW)</sup>  
 REPLACE REAR SIDING, CORNER BOARDS WATER TABLE, WINDOW & DOOR (SEE PG 25 LWH)  
 FRAMING AND TRIM. INSTALL NEW ATTIC WINDOW TRIM "EAST CROSS GABLE"  
 REPLACE PORCH DECK BOARDS & STAIRS REPAIR/REPLACE PRIVATE WALKWAY  
 STAIRS & APRON, REPLACE ROOF SHINGLE W/ NEW ARCHITECTURAL "Pewter  
 Gray" SHINGLES, CLEAN AND REPAIR CHIMNEYS AS NEEDED. ADD NEW  
 SIDING ON EAST WALL (PIC. 13). REPAIR MISSING SOFFIT & FASCIA & CROWN  
 MOLDING. PRIME ALL NEW WOOD. SEE SPECIFIC SCOPE OF WORK  
 FOR ROOFER, MASON & CARPENTER

Photo No. \_\_\_\_\_ Drawing No. 1

6. SIGNATURE OF APPLICANT:

Bruce J. Pionke  
 Signature

BRUCE J. PIONKE JUNE 13, 2011  
 Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
 Historic Preservation Commission  
 City Clerk's Office  
 200 E. Wells St. Room B-4  
 Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

## **SPECIFIC SCOPE OF ROOFING WORK AT 2742 W STATE STREET**

June 13, 2011

- 1) Do a complete shingle tear off down to the original wood.
- 2) Inspect and replace rotted, damaged or missing boards using like-with-like dimensioned boards.
- 3) OSB a minimum of 5/8" thick shall be used when sheathing all roof sections or the entire roof area.
- 4) To avoid interior water damage only tear off as much roof area as can be repaired and sheathed in the same day. No roof shall be left with open areas over night. Any roof that has not had felt applied shall be securely tarped at the end of the work day.
- 5) Install 15 lb. (non-perforated) felt with 3" minimum overlap using T-50 3/8" staples.
- 6) Install 3 ft. wide "Ice and Water Shield" along all eave lines. On eaves extending out more than 3 feet add a second row of "Ice and Water Shield" with a 6" overlap.
- 7) Where required install new gutter straps over ice shield evenly spaced approximately 32 inches on center.
- 8) For all roofing venting cut a 3" wide channel along the gable peak to within 2 feet of the roof edge for installation of a ridge vent. (NOTE: Pan vents are only permitted with prior approval from the Owner's Representative or the staff of DCD.)
- 9) Install aluminum drip edge along entire roof edge with 1/4" overlap at eave edge, using 1-1/4" galvanized roofing nails.
- 10) Install a full shingle starter strip along the base of the roof. Then install approximately **2864 s.f.** of Architectural Shingles in **Pewter Gray**. This amount including the turret, **294 s.f.** for the front porch roof and **50 s.f.** for the rear shed roof porch overhang. The architectural shingles are to be nailed down using roofing nails. The size of the nail is determined by the thickness of the roofing material (typically 1-1/4"). Nail the shingles just below the tar strip using 4 nails per shingle, or in the thickest area of the shingle follow manufactures specifications.
  - a) Install your first architectural shingle 1/4 inch over the edge of the roof to force any water away from the fascia. It will also help prevent any fascia deterioration.
  - b) Next mis-match the shingle gaps by cutting different amounts of material from each piece of shingle before it is laid. For example; the first row should be left alone, the second row would be cut 5 inches, the third row 11 inches and on in 6-inch increments. This staggers the architectural shingles as they are installed so the gaps from each shingle to do overlap each other. Continue this process until the entire sides of the roof are covered, leaving the peak of the roof bare.
  - c) Install ridge cap of architectural shingles over the peak of the roof. These shingles will require a 2" nail on each side to hold them in place.

Read more: [How to Install Architectural Shingles | eHow.com](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or review

[http://www.ehow.com/how\\_2363311\\_install-architectural-shingles.html#ixzz1KNOT62ql](http://www.ehow.com/how_2363311_install-architectural-shingles.html#ixzz1KNOT62ql) or view the Timberline installation video at <http://www.youtube.com/watch?v=txcsn1df5qs>

11) Some areas of roof overhang (such as at the attic eave level) may require installation of a 2-ply rubberized roof membrane, to be installed per manufactures specifications.

12) All new **Gutters** need to be by special order high-backed quarter round aluminum or steel gutters. installed per the manufacturers instructions. Check out Rutland Gutter at <http://www.rutlandguttersupply.com> or Classic Gutters at <http://www.classicgutters.com>

## **SPECIFIC SCOPE OF MASONRY WORK FOR 2742 W. STATE STREET**

June 13, 2011

- 1) Clean and/or repair the existing main brick chimney located behind the main cross gabled roof, following the existing corbel design. Repair should not require complete removal and rebuilding of the chimney from the roof up.
- 2) Retain the front fireplace chimney. Clean and/or repair the chimney as needed following the existing corbel design.
  - a) Any chimneys with soft Cream City brick need to be constructed using Type "K" or Type "O" mortar if available. Another option is to use eight parts sand, three parts Portland cement, and one part lime; or Type "N" mortar- especially on houses built after 1910. (See page 84 of "As Good As New")
  - b) Extreme care must be taken not to damage any the new roof shingles if already installed.
  - c) The finished chimney must be properly flashed at the roofline to prevent future water penetration.
- 3) For all masonry work:
  - a) The contractor shall use like-with-like dimensioned bricks of similar color and density for any repairs.
  - b) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
  - c) When tuckpointing it is expected that the contractor use the same mortar joint style as originally existed (See page 85 of "As Good As New), unless another style is approved by the Owner's Representative prior to initiating any project work.
- 4) The private front walk and stairs adjacent to the public sidewalk need to be removed. New forms need to be installed in order to pour new concrete stairs and apron that are floated and then brush finished. All work should be done to DPW standards.

- 1) When doing mortar or brick repair, or replacement on historic homes the following process/procedure is to be followed:
- 2) Inspect all masonry for signs of deterioration. Identify any bricks that are cracked or spalled, and determine the reason for the damage. Replace damaged bricks using like-with-like material.
- 3) Check for cracks in the mortar joints and determine if excessive settling has occurred which will require additional foundation repairs.
- 4) When repairing foundations be sure to incorporate the same brick pattern.
- 5) When removing any damaged brick from a chimney, or rebuilding a chimney it is critical that the contractor take photo of the existing chimney, so that they can duplicate the corbelling pattern that exists. Rebuilt chimneys MUST be completed using the same type, pattern and dimensions as the existing chimney. When in doubt the chimney design on page 97 of "As Good As New" may be used if approved by the Owner's Representative.
- 6) When tuckpointing brick or block the old mortar must be removed to a minimum depth of 3/4" by means of a tuckpointer's rake pulled across the joint or lightly tapping with a hammer. If the mortar does not come loss a hammer and plugging chisel should be used. Either of these methods is preferred. Use of an electric grinder should only be done in areas that are not visible to the general public such as rear walls, and then only after being approved by the Owner's Representative. Great care must be taken not to damage the brick. "No mortar removal is to be done using a reciprocating saw with a masonry blade."
- 7) When applying the new mortar to Cream City brick the joint should be damp but not dripping wet. The new mortar should use a lime mortar mix with one part lime to two parts sand. Use Type "K" mortar if available and Type "O" mortar as a second option.
- 8) When tuckpointing it is important that the mortar match the existing mortar in color. New mortar must be colored or tinted and installed in an inconspicuous test area, prior to installing it in highly visible areas.
- 9) When applying mortar a grout bag or knife-like tuckpointing tool should be used to push the mortar all the way back into the joint. Tuckpointing should be done in 1/4 inches layers, packing each layer before applying the next. Apply mortar as neatly as possible and avoid smearing mortar on the face of the brick.
- 10) When the final layer begins to set up slightly, it MUST be tooled to match the style of the existing joints.
- 11) Clean up any excess mortar immediately using phosphoric acid. If this does not work use muriatic acid. Use muriatic acid in a solution of 1 part muriatic acid to 10 parts water. Apply the acid mixture with a large sponge. Leave the acid in contact with the masonry for 30 seconds then use a scrub brush to remove any excess mortar. When clean, rinse thoroughly with water and neutralize the cleaned area with 1 cup of household ammonia to 1 gallon of water. Muriatic acid is dangerous so do not get in contact with eyes or skin, and always keep a neutralizing agent like baking soda on hand.

## **SPECIFIC SCOPE OF CARPENTRY WORK FOR 2742 W STATE STREET**

June 13, 2011

- 1) Replace all areas where soffit, fascia, and crown molding are deteriorated, after the roofers have completed their work.
- 2) Re-attach or replace the crown molding above the front, second floor bay window, and repair the roof deck area below the front gable-end attic windows, being sure to install new soffit, fascia, and crown molding.
- 3) Repair the cornice molding and any arched trim work on the southeast corner turret. Also re-attach or install new quarter sawn cedar wood shingles to the turret, being sure to prime all wood prior to installation.
- 4) Install new decorative window trim on the east cross gable attic windows that matches the design and materials on the west cross gable attic windows.
- 5) Install new 2"x 4" studs on the east wall exterior attached to the masonry chimney frame. Apply OSB and 15# felt and then install new beveled clear cedar wood siding by staggering the siding lengths to blend in with the existing wall siding.
- 6) Repair the boxed soffit and fascia at the roof connection at the bottom of the north barge board of the east cross gable end, using like-with-like dimensioned clear cedar lumber.
- 7) Install new scroll-work brackets below the east oriel (bow) window, using brackets of similar design as those found below the west oriel (bay) window. Also repair the dentil molding at the bottom of the east oriel window.
- 8) On the west oriel (bay) window invert the center base board so that the dentil block molding are up, and base molding matches both sides of the bay. Also install a 60" crown molding to the upper center section of the bay, and repair or replace the underlying fascia board if needed.
- 9) Front Porch: Evaluate the existing 2" x 8" wood floor joists system. Replace any damaged or deteriorated floor joists. All floor joists shall run parallel to the house foundation.
  - a) Replace the front porch decking whenever needed to maintain a porch deck overhang of no less than 1" width from the porch skirt or framing boards. Use 5/4" T&G Ipe decking (or comparable).
  - b) Rebuild the front stairs by installing (5) 2"x12" stringers spaced 24" o.c. and (5) 11-1/2" x 2" steps approximately 96" long, leading up to the finished porch deck.
  - c) Evaluate the porch roof ceiling and repair any loose boards.
- 10) Repair or replace any deteriorated or missing water-table board or drip above the entire foundation, and repair or replace any deteriorate or missing corner boards, especially in the area of the rear at-grade entrance.
- 11) Rear at-grade Entrance: Raze the fire damaged overhead shed roof, being sure to mark the height and location for installation of a new roof.
  - a) Repair existing or install new 2"x4" vertical wall studs.
  - b) After insulating the interior space and installing a proper vapor barrier, install OSB underlayment and add 15# felt to the exposed area.
  - c) Install new 1/2"x 4" clear cedar wood clapboard siding with a 3" exposure.
  - d) Be sure to prime all wood on all four sides prior to installation.
  - e) Rebuild the overhead shed roof using the same framing plan and rafter spacing as previously existed. Install a new roof directly to the underside of the rafters using 3/4" exterior grade plywood primed prior to installation. Upon completion the roofers will shingle and flash the new roof.
- 13) Install a rear entry door as shown on page on page 25 of "Living with History" (see attached).

## **GENERAL CARPENTRY SCOPE OF WORK**

- 1) When rebuilding porch decks it is recommended that Ipe tongue & groove 5/4" x 4" decking (actual 1" x 3-1/2"), Spanish cedar, or an approved comparable material be used for all exterior porches.
  - a) All porches shall have a slope from the house to the outer porch edge of 1/4" per linear running foot of porch deck.
  - b) All decking will be run perpendicular to the house and be supported at the house with a ledger board and by joists a minimum of 18" on center, or IAW with the specifications of the UDC.
  - c) All joists will be mounted by means of joist hangers properly installed.
  - d) Specific porch deck designs will be provided for each project by the Owner's Representative prior to construction.
  
- 2) When rebuilding porch railings it is required that all railing be a minimum of 36" in height for residential properties and 42" in height for commercial properties.
  - a) All guard railings will include a bread loaf upper railing and a composite lower rail shoe, and all lower rails be installed at least 3" inches above the porch deck.
  - b) All railings will be attached to newel posts, columns, or the house with 4" galvanized counter-sunk screws to make future repair and replacement more accessible.
  - c) All railings will have 2" x 2" (actual 1-1/2" x 1-1/2") square stock spindles spaced 3" on center, and all spindles will be installed in a 1/4" x 1-1/2" blank with galvanized 1-1/2" screws.
  - d) All stair rails will mirror the design of the guard railings and be attached to newel posts.
  - e) All upper porch railings on second floor porches will mirror to design and appearance of the first floor railing, except that newel posts may be designed proportionate narrower.
  
- 3) When repairing or rebuilding porch skirts all materials will be of like-with-like wood replacement of the same design and dimensions as originally existed or as specified by the drawings provided by the Owner's Representative.
  - a) All porch skirts will be installed with a continuous board frame that is a minimum of 6" in width.
  - b) All framing will cover the rough framing lumber of the support posts, columns and beams.
  - c) All skirts will incorporate a slat design that will closely mirror the design of the wood railings above.
  
- 4) When repairing or rebuilding stairs all components will be of like-with-like wood materials.
  - a) All stairs will be supported by a minimum of three stringers with steps of equal height, and no step will exceed 8 inches in height.
  - b) There will be no more than a 3/16" variation between steps.
  - c) Each step will have a minimum tread width of 11" with a tread overhang of no more than 1 inch.
  - d) Each step will be constructed with a corresponding riser.
  - e) Any stairs with more than three steps will include a hand railing along each side of the stairs that attaches to a lower newel post and an upper newel post or column.
  
- 5) Miscellaneous repairs or replacement to items such as the water table board, soffit, fascia or crown moldings will use like-with-like material of the same design and dimension as currently exists.
  - a) Any new elements such as the addition of or removal of windows or doors will be indicated by the Owner's Representative and specified as to the design and dimension of each new element.
  - b) Generally new windows will be of a double-hung design with proportions and trim work similar to other existing windows. Doors will be a minimum of 6'8" in height and 36" in width to accommodate ADA accessibility, and will reflect the panel design of other exterior doors on the house.





MILWAUKEE  
**HISTORIC  
PRESERVATION  
COMMISSION**

LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

2742 W. STATE ST., **Concordia Historic District, City Of Milwaukee, owner**

**Description of work**

Tear off existing roof shingles. Install new GAF Timberline Natural Shadow roof shingles in pewter gray color. Replace built-in gutters as needed. Tuckpoint and repair all chimneys as needed. Clean brick chimneys. Replace all missing and damaged siding on rear and east elevations with new, matching wood siding. Install new attic window trim to match original in the east cross gable. Replace front porch deck boards and stairs. Replace missing soffit and fascia on southeast corner of east side gable with new wood to match the original. Replace missing crown moldings, fascia boards, soffits and brackets as needed on all elevations. Remove non-original porch at northwest (rear) corner of building and install a new hood over the rear door. Install new ladder style wood door at northwest corner of building. Remove the non-original wood shingles on the round front tower walls and replace with new wood shingles laid in even courses with an exposure to match the original wood shingles in the east gable. Replace front concrete steps and walk.

**Date issued**

6/24/2011

PTS ID 73475 COA, exterior repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos, specifications and drawings. Mortar for tuckpointing of chimneys must match the original in terms of color, texture, hardness, joint width and joint finish. Chimneys can be cleaned using chemical cleaner only followed by hot water wash. Care must be taken so that the water wash does not erode the surface of the brick. Chimneys will be topped with a new stone cap, at least 3-1/2" thick but no more

than 4" thick and will overhang the brick course below it by 1 inch. All new finish wood and trim will match the original in terms of design, dimension and profile. Any new siding will be radial-sawn clapboards only in eastern white pine or eastern red spruce. A continuous ridge vent can be installed on roof and any box vents on the roof must not be visible from the street. New, front concrete steps and walk to match existing footprint. New front porch deck will be made of center-match (tongue and groove) flooring. All new finish wood must be primed and painted upon completion. Please note that research has shown that when , new, bare wood is exposed to the exterior r elements for a period of only a week or two, the life of the paint job applied over it will be reduced. Design for brackets beneath bay window on east elevation must be submitted to HPC staff for review and approval prior to installation.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.



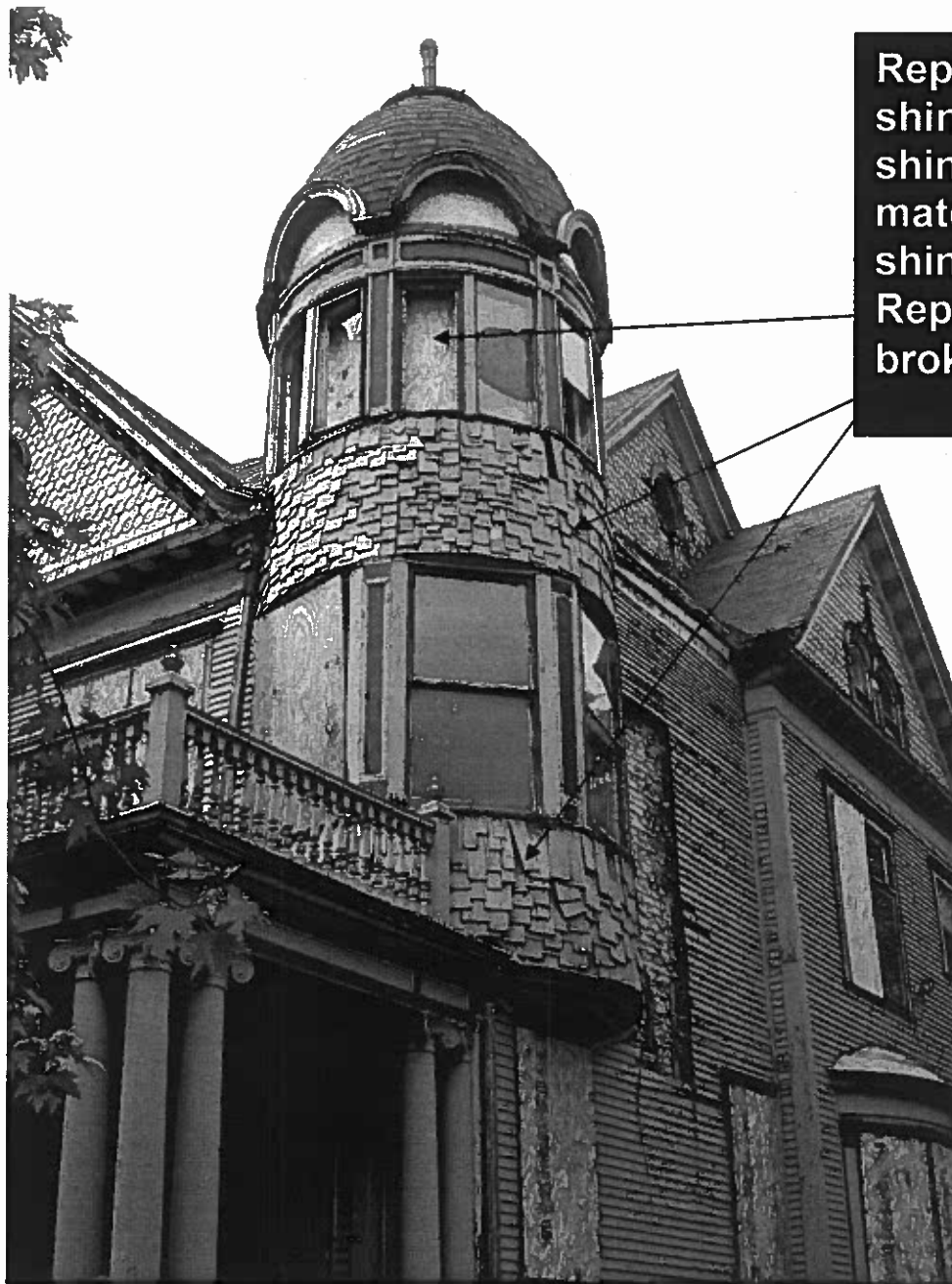
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Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Yves La Pierre real estate, Inspector Joel Walloch (286-8160)



2742 W. State St.



Replace existing, non-original shingles on tower with new, clear shingles laid in even courses to match the exposure of the shingles in the side gables. Repair/replace missing and broken tower windows.

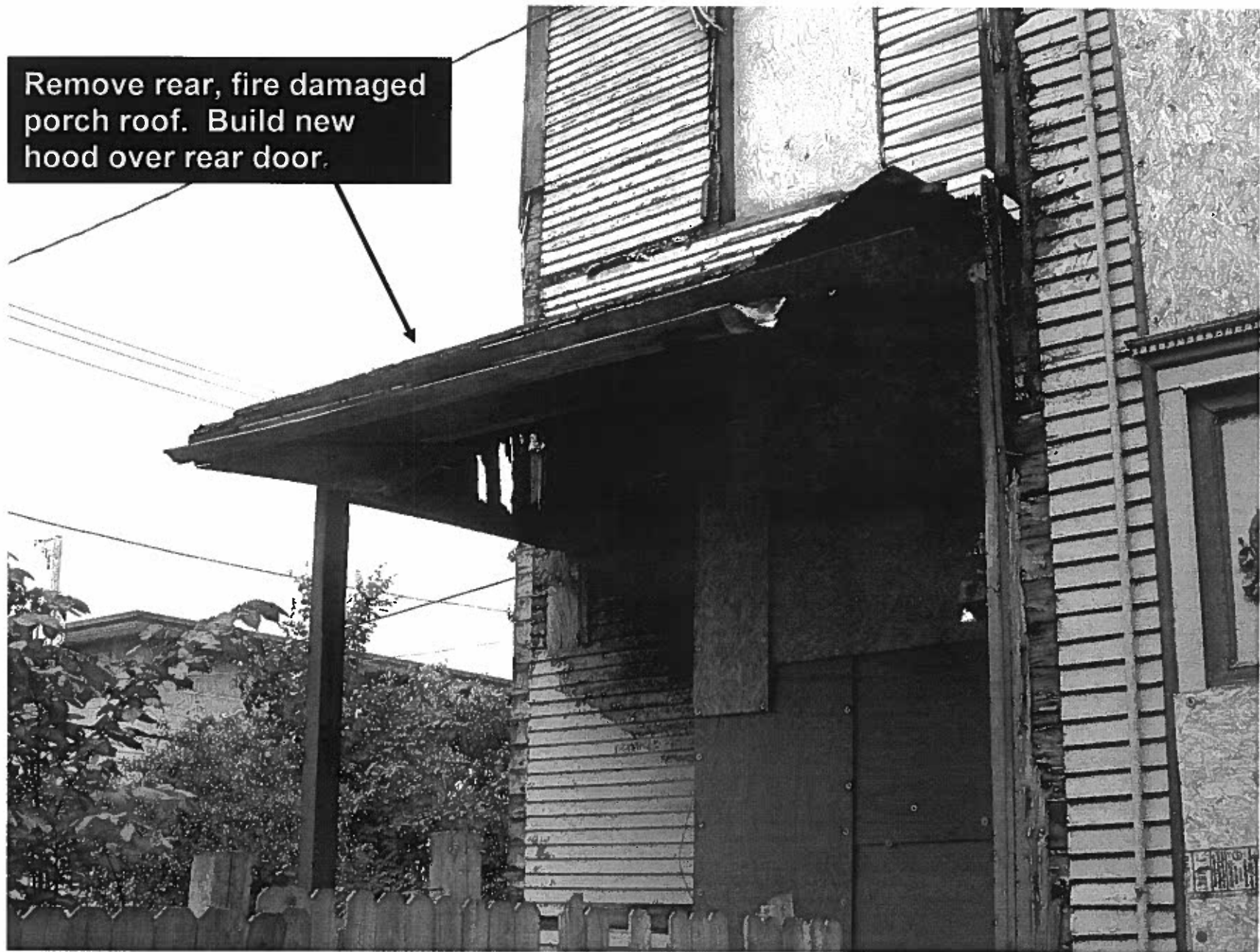


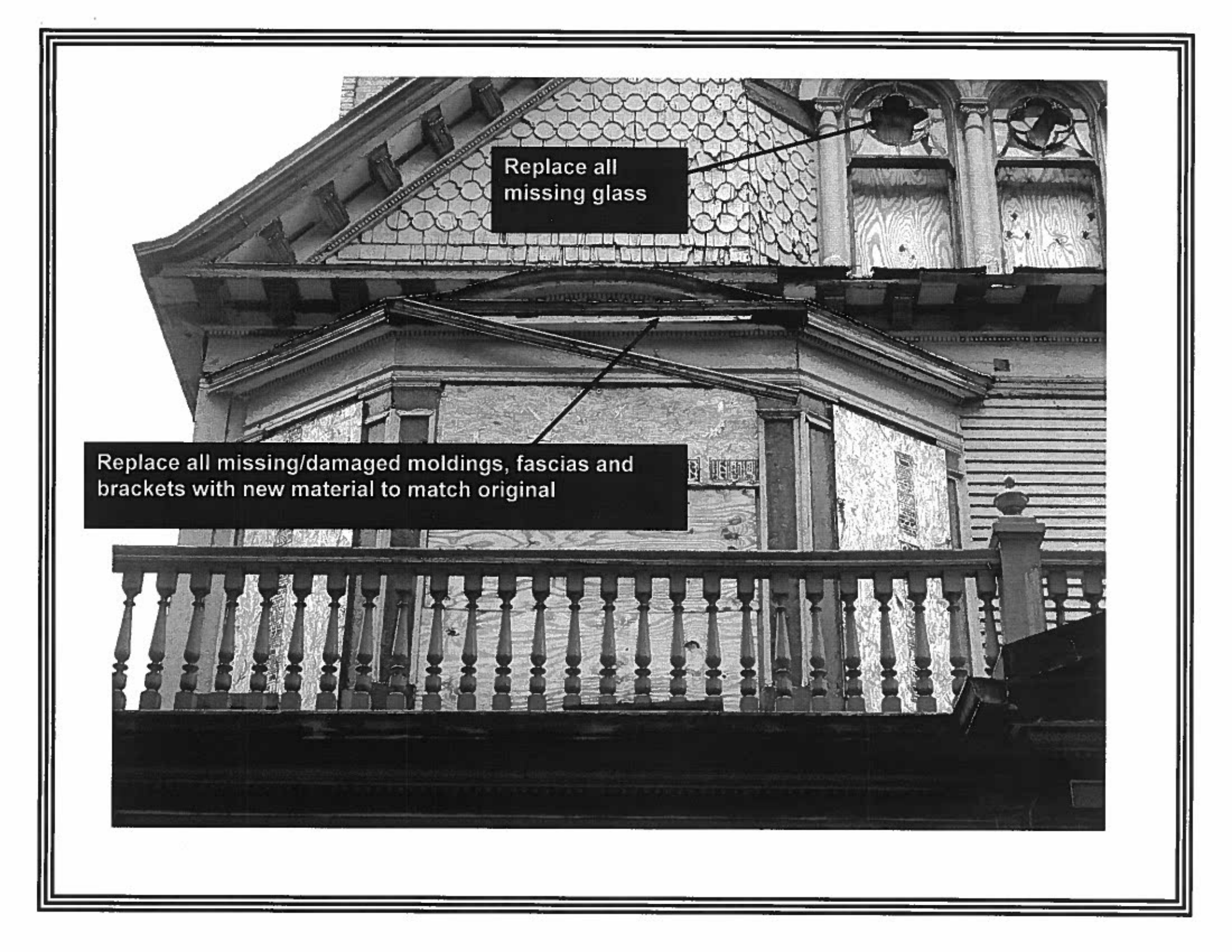
This area to be patched  
in with new radially-  
sawn clapboards to  
match the existing  
profile and exposure

East Elevation



Remove rear, fire damaged porch roof. Build new hood over rear door.



A black and white photograph of a building's exterior, showing a balcony with a decorative railing in the foreground. The building has a classical facade with a pedimented entrance and arched windows above. Two text boxes with arrows point to specific areas: one points to the roofline and upper windows, and the other points to the moldings and brackets of the balcony and entrance.

Replace all missing glass

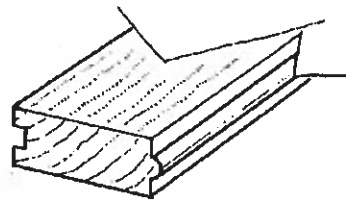
Replace all missing/damaged moldings, fascias and brackets with new material to match original

# Porches



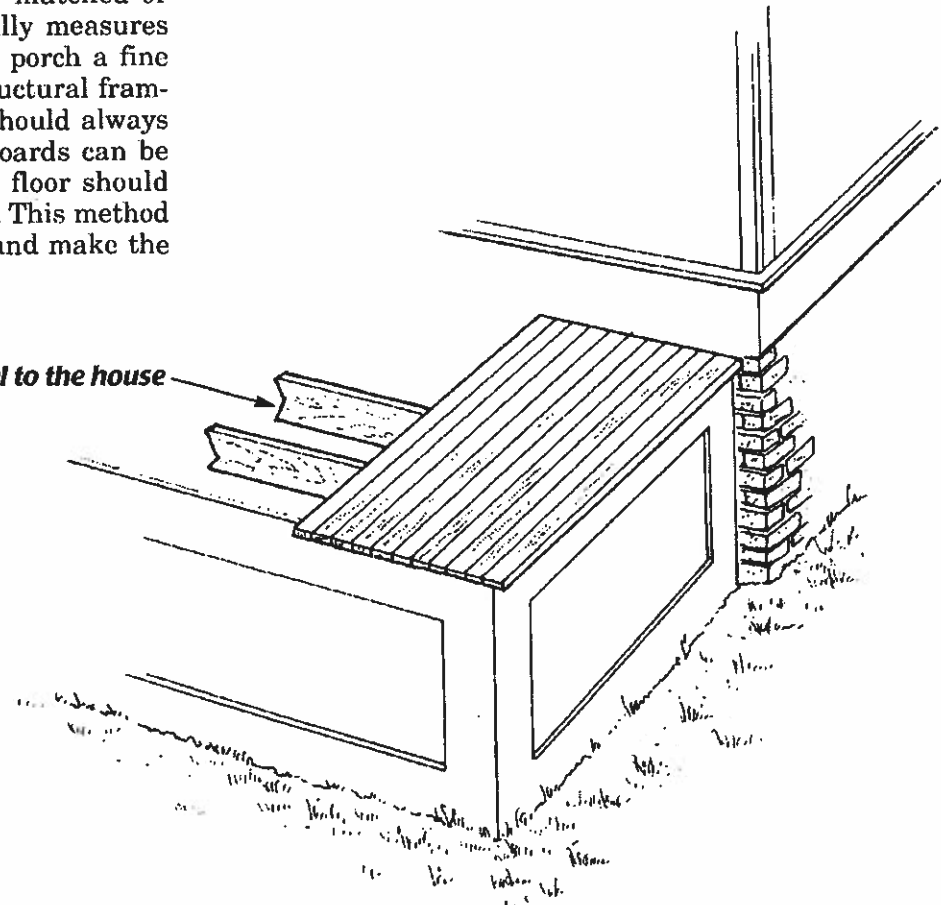
## Traditional Porch Floors

**P**orch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.



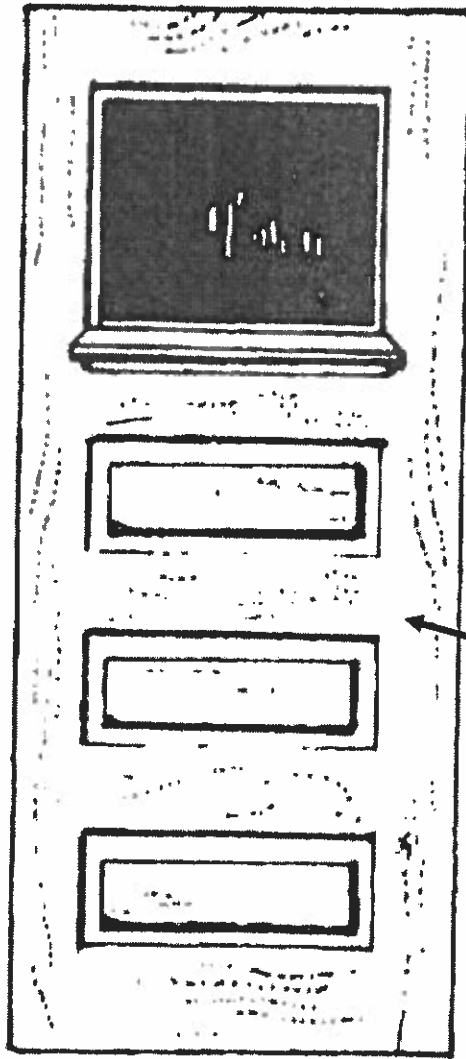
*Center match or tongue-and-groove flooring*

*Joists parallel to the house*



Tongue and groove, also called center-match flooring to be installed on front porch deck. Note direction of floorboards.





Design for ladder-style new rear door to replace the one that was destroyed by the fire.

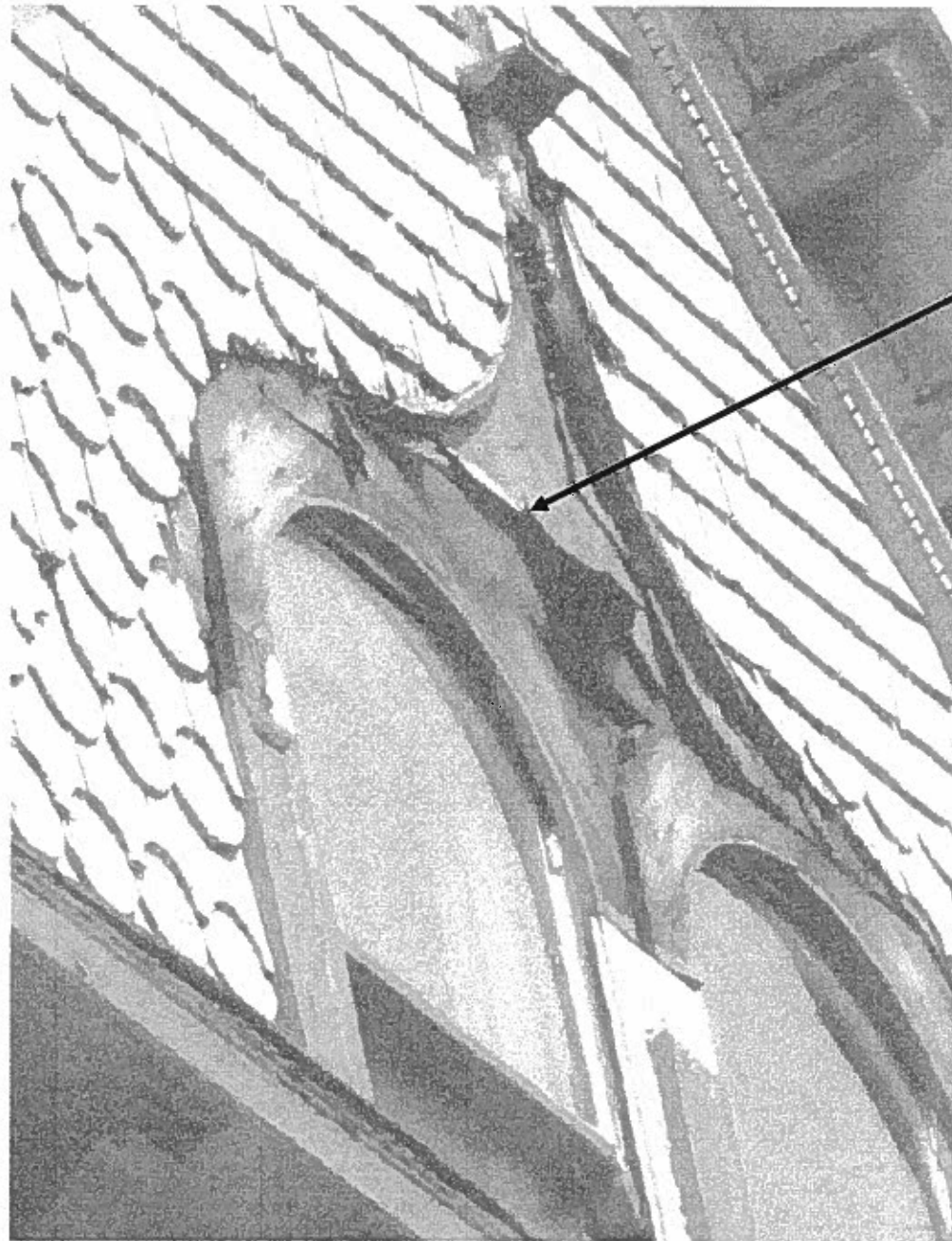
Queen Anne  
1885-1895



**Front concrete steps and service walk to be replaced with new concrete in same footprint.**



Fire damage on north elevation  
to be repaired with new,  
radially-sawn pine clapboards



Missing window top to be replaced to match the similar existing window tops of the same design on the house



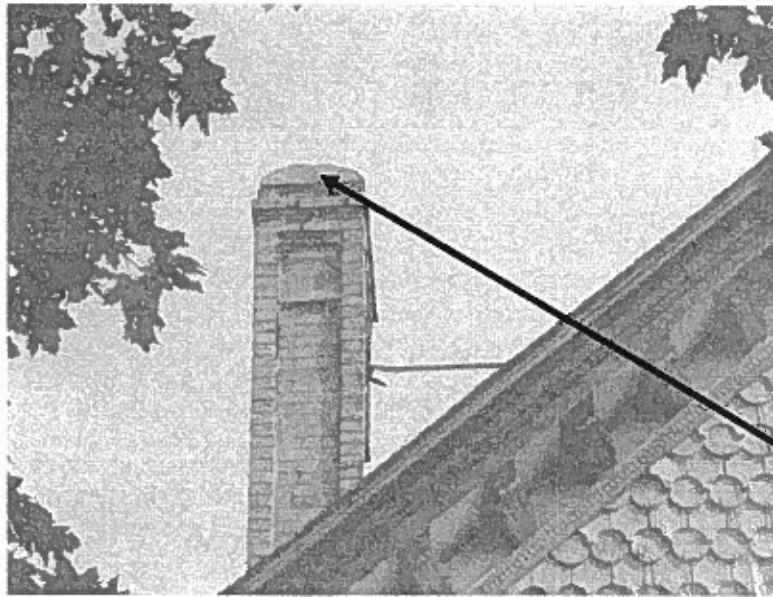
Rebuild damaged and missing soffit, fascia and trim where needed. Rebuild built-in rain gutters as needed. All molding profiles and original designs must be duplicated exactly.

15. Missing soffit and fascia on southeast corner of east side gable.



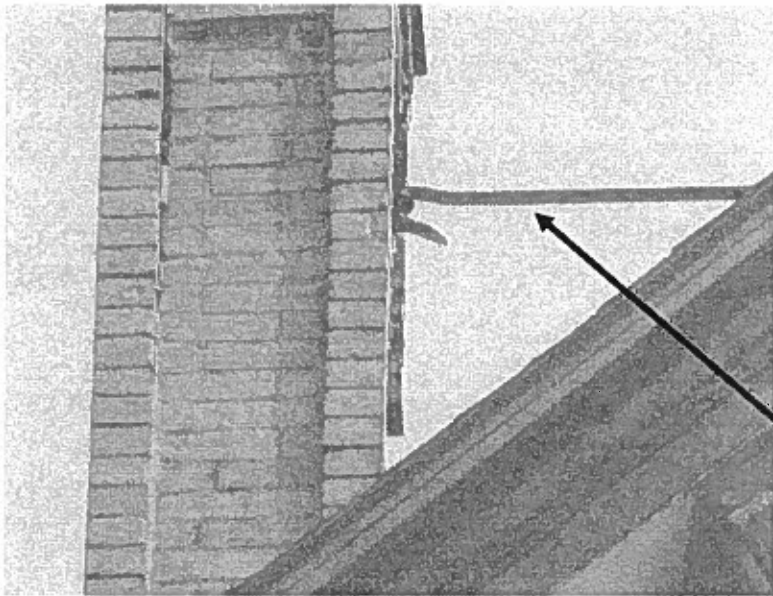
Replace missing brackets under bay window on east elevation

Note: Bracket design has not been supplied. Bracket design must be reviewed and approved by HPC prior to installation



3. Front elevation chimney on west roof

Front chimney to be cleaned and tuckpointed/rebuilt as needed. All new mortar must match the original in terms of joint, width, finish, texture and color. A stone cap, 3-1/2" in thickness, to overhang the course below it by 1 inch may be installed at the top the chimney in place of the existing concrete cap.



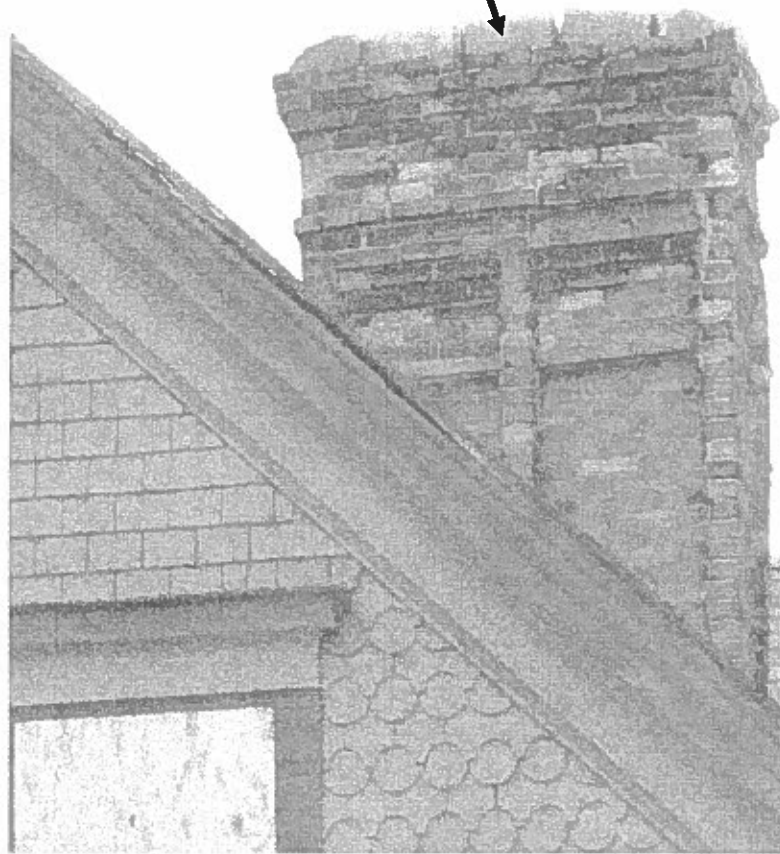
4. Front chimney connection with tie bar and hook

Hook must be preserved in its original location

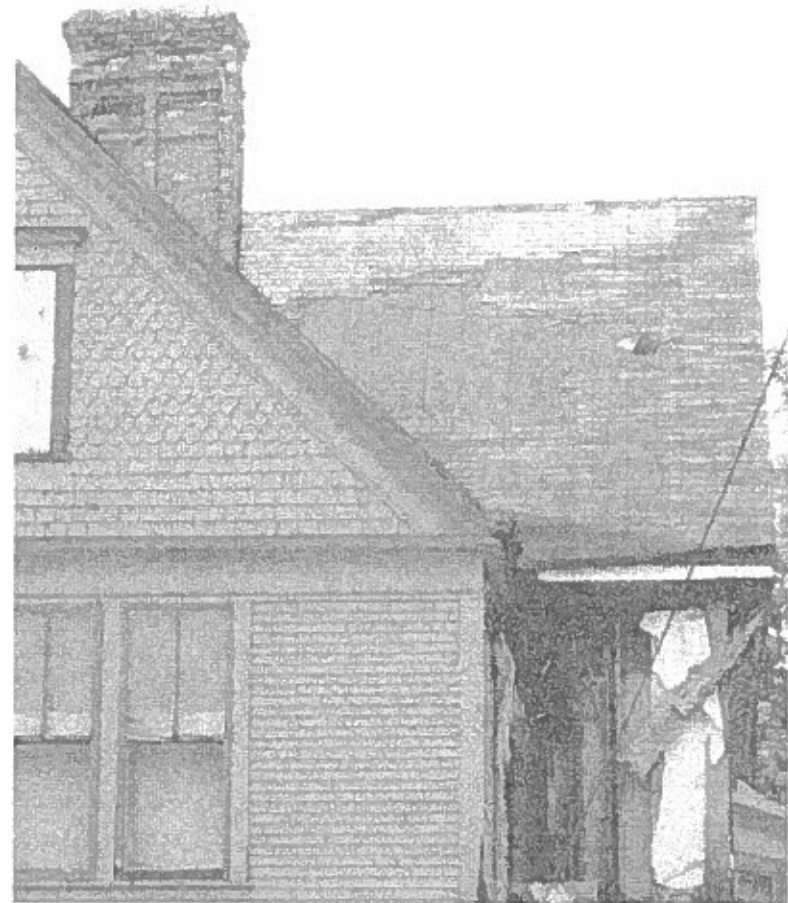


Remove existing cap  
and replace with stone

8. Rear chimney (close up) showing need for cleaning and possible repair

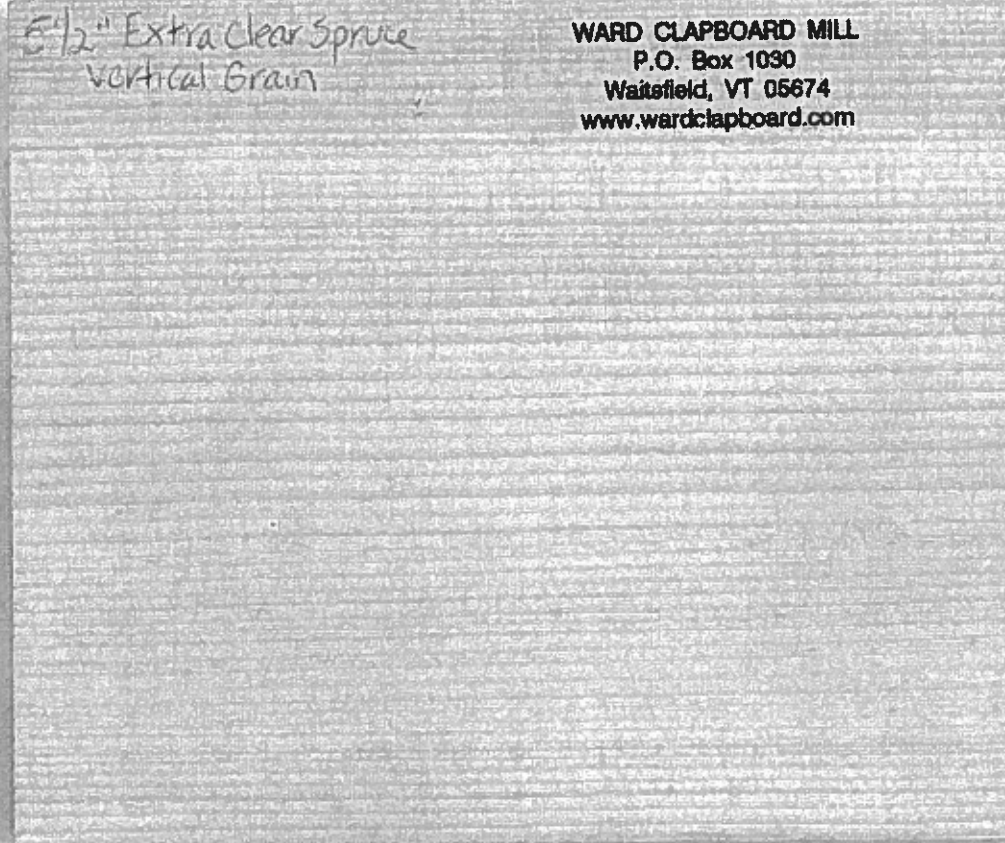


7. Rear chimney taken from north side of building



Rear chimney must be preserved in its original design. It can be tuckpointed and cleaned using a chemical cleaner and a hot water wash (no baking soda, walnut shells or other abrasives are permitted). The top of the chimney should be fitted with a stone cap, 3-1/2" in thickness that overhangs the brick course beneath it by one inch.

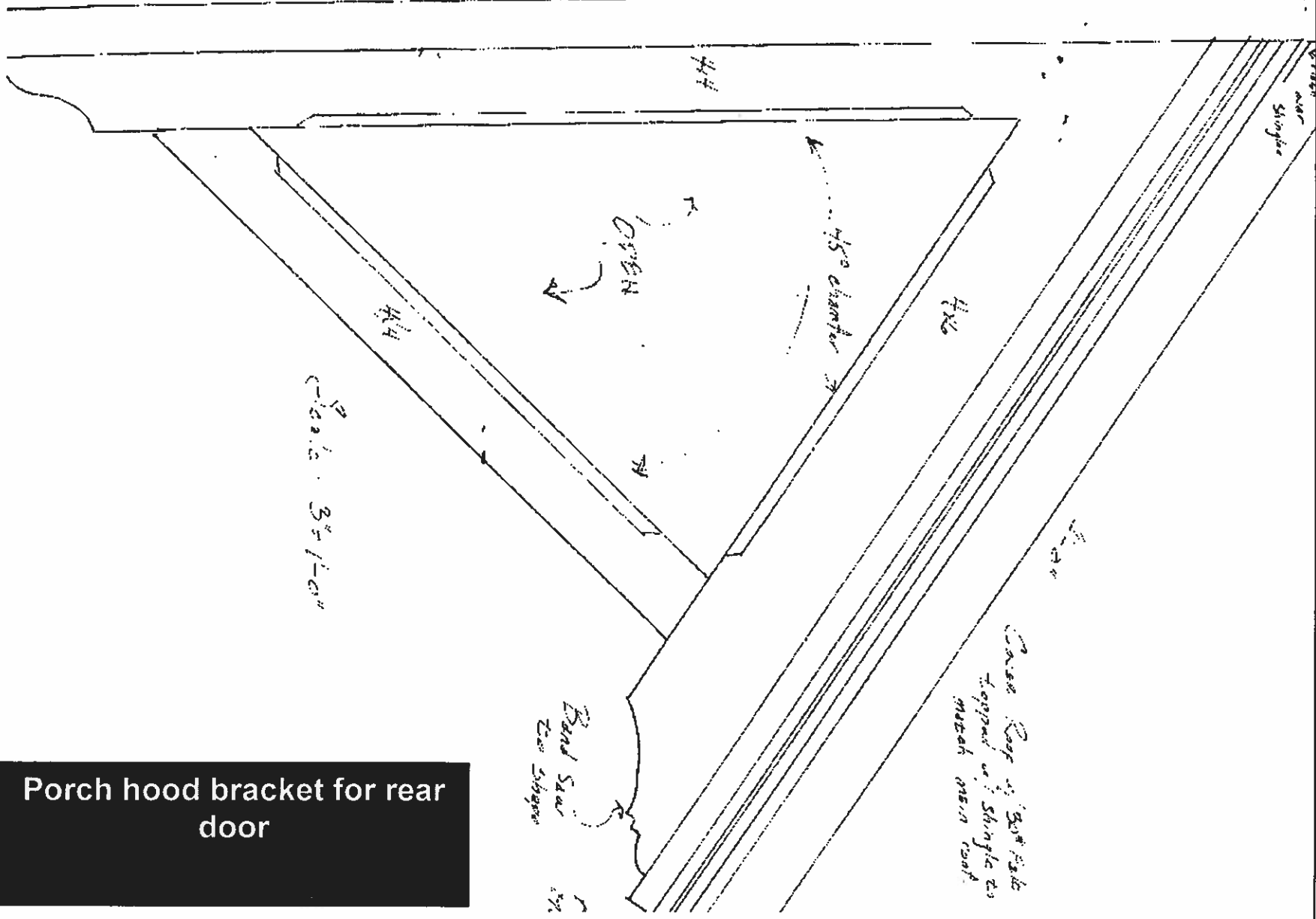
***Radially-sawn* clapboards to be used for repair work on the house**



An example of *radially-sawn* clapboard with its characteristic narrow, even grain pattern and crisp, sharp edges. These clapboards because of the way they were cut from the log, lay flatter, hold painted better and longer, and look better compared with plain-sawn clapboards.



4'-8"



Porch hood bracket for rear door

Plank 3x12"

Band Saw  
Cut Shaper

OPEN

45° chamfer

Cover Roof of 30° pitch  
topped w/ shingle to  
match main roof.

Shingle



Legislation Details (With Text)

**File #:** 110367      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/5/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificates of Appropriateness for installation of signs at 1300 W. Historic Mitchell Street for Johnson Bank.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, SIGNS

**Attachments:** Application, Certificate if Appropriateness

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/5/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

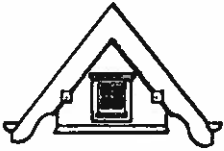
Number  
110367  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificates of Appropriateness for installation of signs at 1300 W. Historic Mitchell Street for Johnson Bank.

Requestor

Drafter  
CC-CC  
dkf  
7/5/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

1300 W historic Mitchell Street, Milwaukee, WI 53204

2. NAME AND ADDRESS OF OWNER:

Name(s): Johnson Bank

Address: 14000 W North Avenue

City: Brookfield

State: WI

ZIP 53005

Email: rkoepsel@cpa-wi.com (Russ Koepsel)

Telephone number (area code & number) Daytime: (414)271-3298

Evening: \_\_\_\_\_

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): Anchor Sign, Inc.

Address: 2200 Discher Avenue

City: Charleston

State: SC

ZIP Code: 29405

Email: brisher@anchorsign.com

Telephone number (area code & number) Daytime: (800) 213-3331

Evening: \_\_\_\_\_

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:



Photographs of affected areas & all sides of the building (annotated photos recommended)



Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")



Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Proposed signs to be attached to existing building. See attached plans.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See attached plans.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

6. SIGNATURE OF APPLICANT:

Brandi Risher  
Signature

Brandi Risher 6/24/11  
Print or type name Date

This form and all supporting documentation MUST arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722 FAX: (414) 286-3004 www.milwaukee.gov/hpc

|                 |   |
|-----------------|---|
| <b>Sign A</b>   |   |
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway                                      |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 40  |
| To Grade:       | Top of Sign To Grade = 21'-5"<br>Bottom of Sign To Grade = 19'-5" |

|                 |  |
|-----------------|--|
| <b>Awning A</b> |  |
| Awning:         | Dollar Tree  |
| Awning Type:    | 28½" x 231½"   |
| Square Footage: | 45.81  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |

|                 |  |
|-----------------|--|
| <b>Awning B</b> |  |
| Awning:         | Dollar Tree  |
| Awning Type:    | 28½" x 395¼"   |
| Square Footage: | 78.22  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |

|                         |  |
|-------------------------|--|
| <b>Awning Recover 1</b> |  |
| Awning:                 | Dollar Tree  |
| Awning Type:            | Fabric Recover (296" length)<br>Sunbrealla Seagrass Green 6045 |




Existing



**Front Elevation (West)**

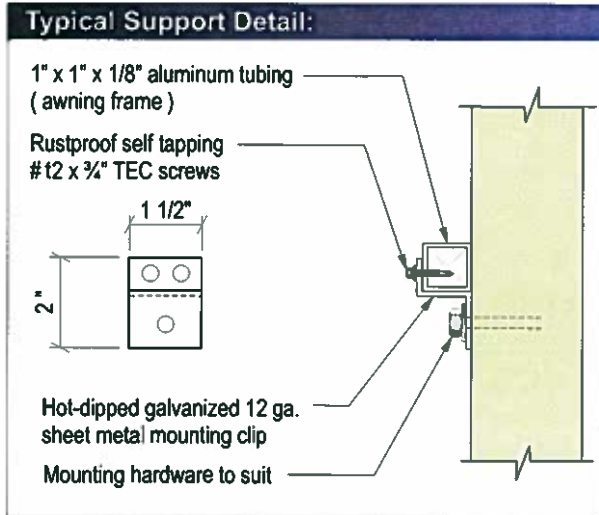
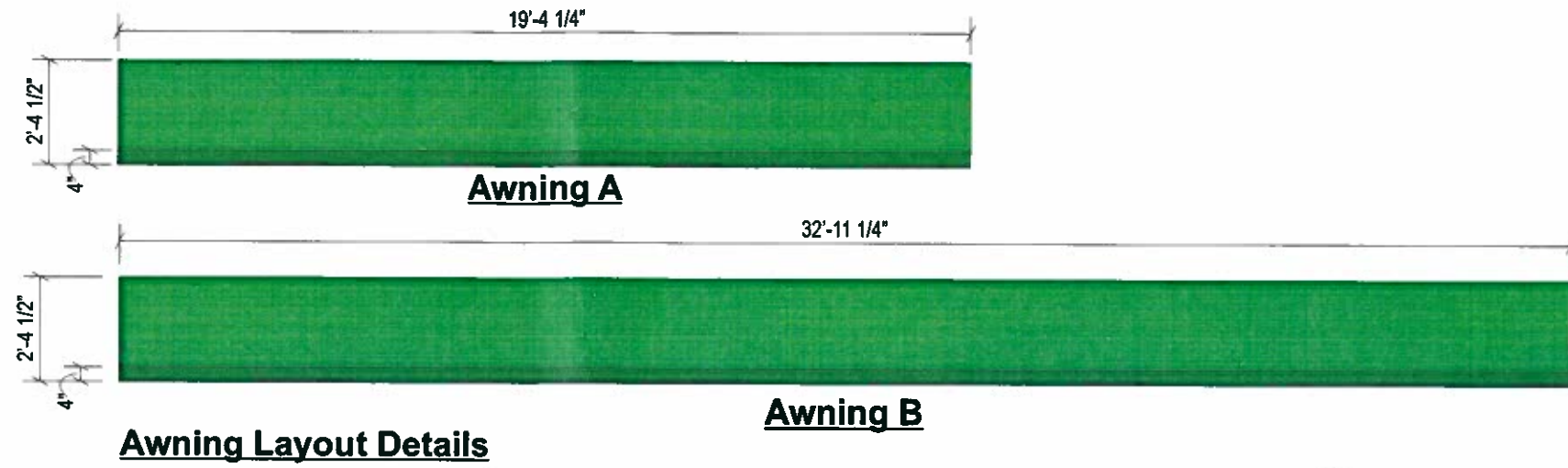
Scale: 1/8" = 1'-0"

|                    |   |               |            |   |    |  |
|--------------------|---|---------------|------------|---|----|--|
| <b>DOLLAR TREE</b> | Client: Dollar Tree                           | REVISION INFO | 05/09/2011 | Original Rendering  | DH | This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement. |
|                    | Site #: A14744                                |               |            |   |    |  |
|                    | Address: 1300 W Historic Mitchell Street      |               |            |   |    |  |
|                    | Milwaukee, WI 53204<br>Former Hollywood Video |               |            |   |    |  |
|                    |   |               |            | <br>1.800.213.3331 |    |  |

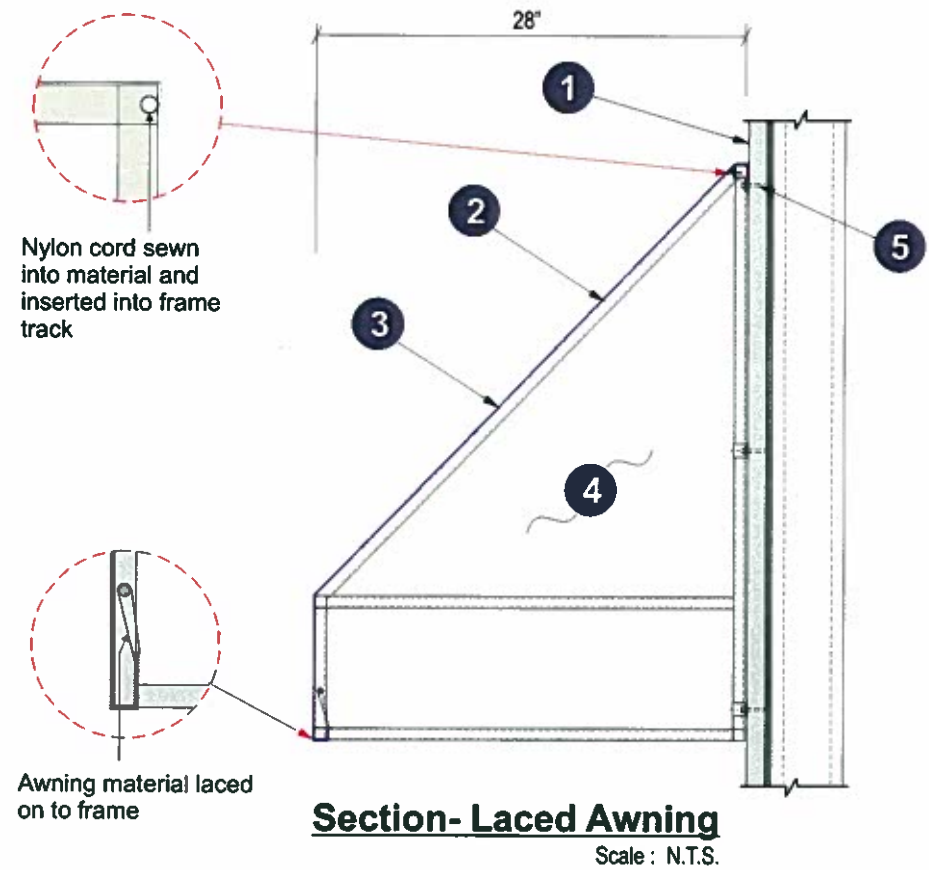


|                 |  |
|-----------------|--|
| <b>Awning A</b> |  |
| Awning :        | Dollar Tree  |
| Awning Type:    | 28½" x 231½"   |
| Square Footage: | 45.81  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |

|                 |  |
|-----------------|--|
| <b>Awning B</b> |  |
| Awning :        | Dollar Tree  |
| Awning Type:    | 28½" x 395½"   |
| Square Footage: | 78.22  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |



- Specifications:**
- Existing Facade: Brick
  - Awning Material: sunbrella seagrass green #6045
  - 1" x 1" x 0.125" Aluminum square tubing frame with natural finish (wire brush all welds)
  - Open Sides & Bottom
  - Mounting hardware to suit



Client: Dollar Tree  
Site #: A14744  
Address: 1300 W Historic Mitchell Street  
Milwaukee, WI 53204  
Former Hollywood Video

|               |            |                    |    |
|---------------|------------|--------------------|----|
| REVISION INFO | 05/05/2011 | Original Rendering | DH |
|               |            |                    |    |
|               |            |                    |    |
|               |            |                    |    |
|               |            |                    |    |

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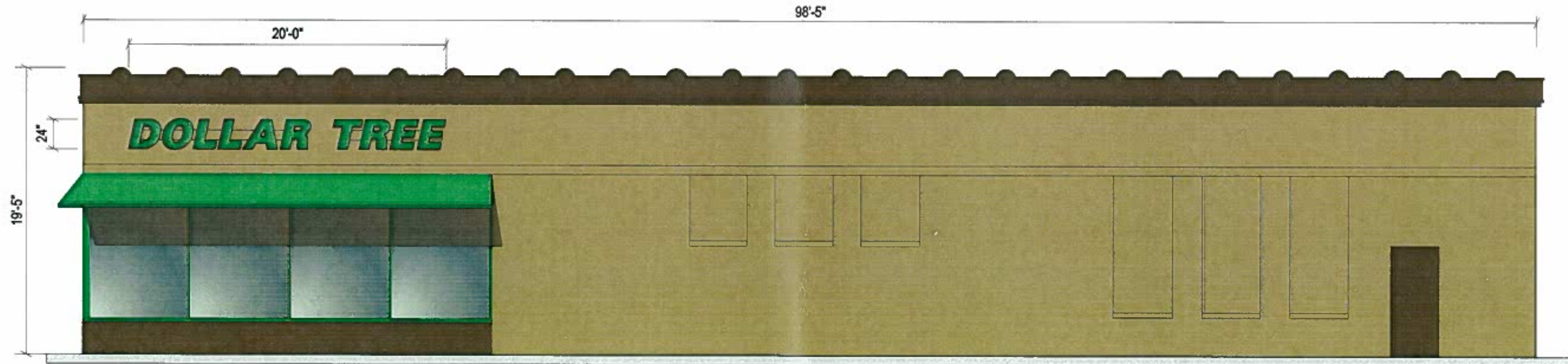


|                 |   |
|-----------------|---|
| <b>Sign C</b>   |   |
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway  |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 40  |
| To Grade:       | Top of Sign To Grade = 15'-11"<br>Bottom of Sign To Grade = 13'-11" |

|                         |  |
|-------------------------|--|
| <b>Awning Recover 6</b> |  |
| Awning :                | Dollar Tree  |
| Awning Type:            | Fabric Recover (332" length)<br>Sunbrealla Seagrass Green 6045 |




Existing



**Side Elevation (West)**

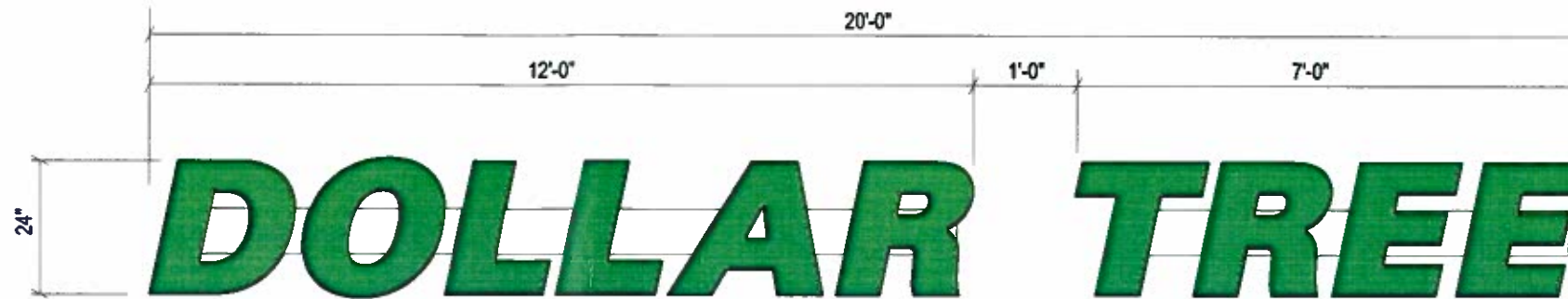
Scale: 1/8" = 1'-0"

|                    |  |               |            |   |    |  |
|--------------------|--|---------------|------------|---|----|--|
| <b>DOLLAR TREE</b> | Client: Dollar Tree                      | REVISION INFO | 05/09/2011 | Original Rendering  | DH | This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement. |
|                    | Site #: A14744                           |               |            |   |    |  |
|                    | Address: 1300 W Historic Mitchell Street |               |            |   |    |  |
|                    | Milwaukee, WI 53204                      |               |            |   |    |  |
|                    | Former Hollywood Video                   |               |            |   |    |  |
|                    |  |               |            | <br>1.800.213.3331 |    |  |



|                 |   |
|-----------------|---|
| <b>Sign A</b>   |   |
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway                                      |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 40  |
| To Grade:       | Top of Sign To Grade = 21'-5"<br>Bottom of Sign To Grade = 19'-5" |

|                 |   |
|-----------------|---|
| <b>Sign C</b>   |   |
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway  |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 40  |
| To Grade:       | Top of Sign To Grade = 15'-11"<br>Bottom of Sign To Grade = 13'-11" |



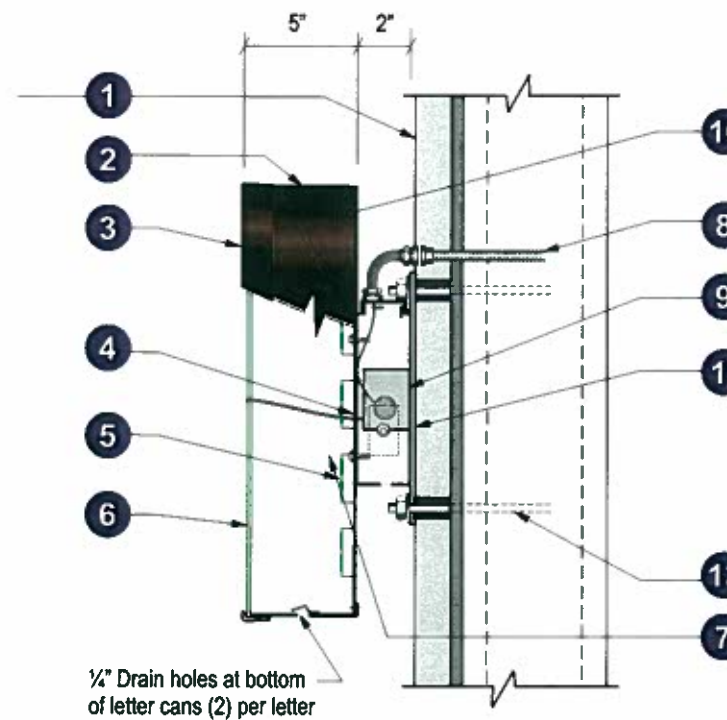
**Sign Layout Detail**

Scale: 3/8" = 1'-0"

|                                |  |
|--------------------------------|--|
| <b>Electrical Detail:</b>      |  |
| AGILIGHT TUFFRAYZ GREEN LED    |  |
| (2) 60wTransformers @ .85 each |  |
| Total Amps = 1.7               |  |

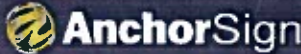
|  |  |
|--|--|
| <b>General Notes:</b>  |  |
| This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code. |  |
| 1) Grounded and bonded per NEC 600.7/NEC 250   |  |
| 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps                                   |  |
| 3) Sign is to be UL listed per NEC 600.3   |  |
| 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*                  |  |
| *For multiple signs, a disconnect is permitted but not required for each section                                 |  |

|   |  |
|---|--|
| <b>Specifications: Channel Letters</b>  |  |
| 1. Existing Facade: Brick   |  |
| 2. 0.040" Aluminum letter returns painted to match bronze   |  |
| 3. 0.125" x 1" trim cap to match bronze   |  |
| 4. 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)                           |  |
| 5. Green LEDs   |  |
| 6. 3/16" White Acrylic with first surface applied vinyl to match; <span style="color: green;">■</span> Arlon#2500-156 (Vivid Green) |  |
| 7. Waterproof disconnect switch per NEC 600-6   |  |
| 8. Primary electrical feed  |  |
| 9. Transformers   |  |
| 10. 0.080" Aluminum raceway painted to match the facade   |  |
| 11. 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway - Maximum 6" from each end and every 48" o.c.                       |  |
| 12. #12 x 1" TEC screws with 11/4" fender washers   |  |
| 13. Mounting hardware to suit   |  |



**Section @ LED Channel Letter Raceway (Center)**

Scale: N.T.S.

|   |   |               |            |                    |    |  |
|---|---|---------------|------------|--------------------|----|--|
| <b>DOLLAR TREE</b>  | Client: Dollar Tree                           | REVISION INFO | 05/05/2011 | Original Rendering | DH | This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement. |
|   | Site #: A14744                                |               |            |                    |    |  |
|   | Address: 1300 W Historic Mitchell Street      |               |            |                    |    |  |
|   | Milwaukee, WI 53204<br>Former Hollywood Video |               |            |                    |    |  |
| <br>1.800.213.3331 |   |               |            |                    |    |  |



|               |  |
|---------------|--|
| <b>Sign B</b> | Sign: 18" Dollar Tree linear             |
|               | Sign Type: Channel Letters on a Raceway  |
|               | Illumination: Internally Illuminated LED |
|               | Square Footage: 24.13                    |
|               | To Grade: Top of Sign To Grade = 24'-1"  |
|               | Bottom of Sign To Grade = 22'-7"         |

|                         |   |
|-------------------------|---|
| <b>Awning Recover 2</b> | Awning: Dollar Tree   |
|                         | Awning Type: Fabric Recover (246" length)<br>Sunbrealla Seagrass Green 6045 |

|                         |   |
|-------------------------|---|
| <b>Awning Recover 4</b> | Awning: Dollar Tree   |
|                         | Awning Type: Fabric Recover (187" length)<br>Sunbrealla Seagrass Green 6045 |

|                         |  |
|-------------------------|--|
| <b>Awning Recover 3</b> | Awning: Dollar Tree  |
|                         | Awning Type: Fabric Recover (185½" length)<br>Sunbrealla Seagrass Green 6045 |

|                         |   |
|-------------------------|---|
| <b>Awning Recover 5</b> | Awning: Dollar Tree   |
|                         | Awning Type: Fabric Recover (232" length)<br>Sunbrealla Seagrass Green 6045 |



**Existing**



**Side Elevation (South)**

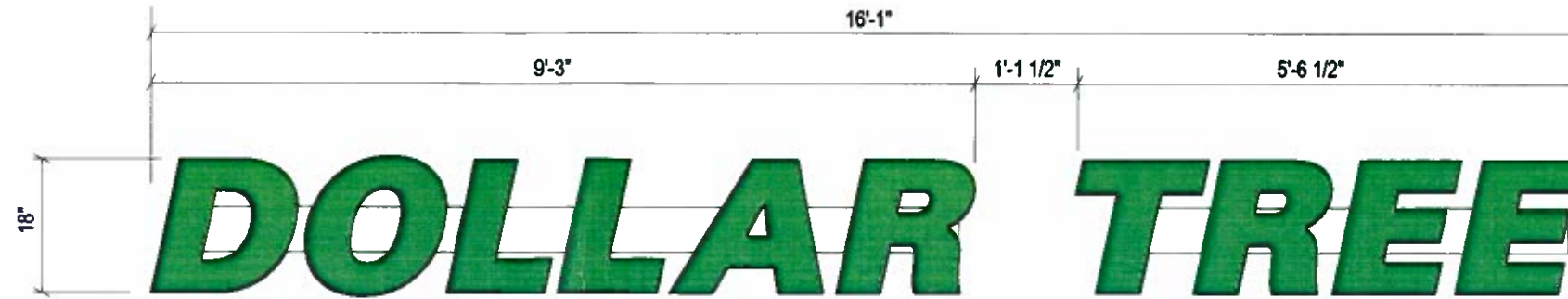
Scale: 1/8" = 1'-0"

|                    |  |               |            |                    |    |  |
|--------------------|--|---------------|------------|--------------------|----|--|
| <b>DOLLAR TREE</b> | Client: Dollar Tree                      | REVISION INFO | 05/09/2011 | Original Rendering | DH | This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement. |
|                    | Site #: A14744                           |               |            |                    |    |  |
|                    | Address: 1300 W Historic Mitchell Street |               |            |                    |    |  |
|                    | Milwaukee, WI 53204                      |               |            |                    |    |  |
|                    | Former Hollywood Video                   |               |            |                    |    |  |



**Sign B**

|                 |   |
|-----------------|---|
| Sign:           | 18" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway                                      |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 24.13   |
| To Grade:       | Top of Sign To Grade = 24'-1"<br>Bottom of Sign To Grade = 22'-7" |



**Sign Layout Detail**

Scale: 1/2" = 1'-0"

**Electrical Detail:**

AGILIGHT TUFFRAYZ GREEN LED  
(2) 60w Transformers @ .85 each  
Total Amps = 1.7

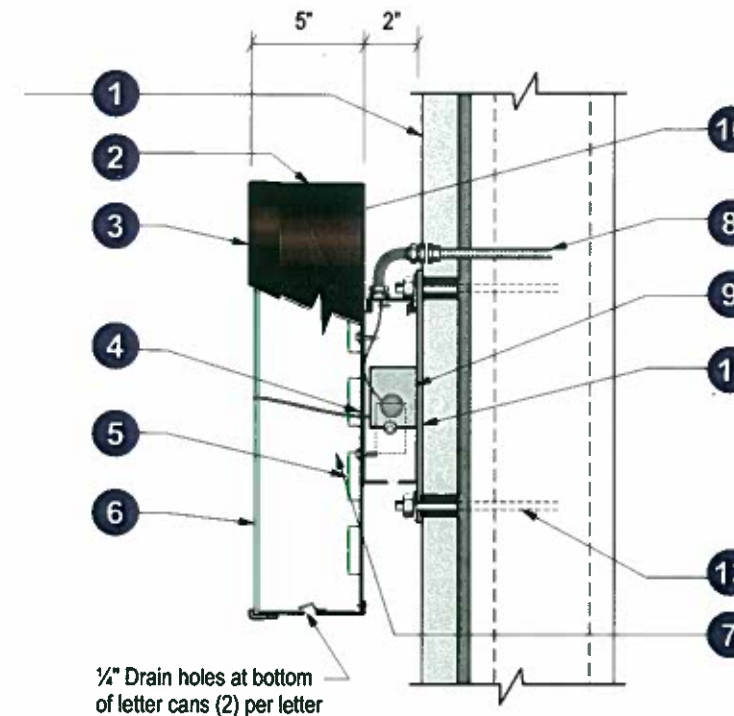
**General Notes:**

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*  
\*For multiple signs, a disconnect is permitted but not required for each section

**Specifications: Channel Letters**

1. Existing Facade: Brick
2. 0.040" Aluminum letter returns painted to match bronze
3. 0.125" x 1" trim cap to match bronze
4. 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)
5. Green LEDs
6. 3/16" White Acrylic with first surface applied vinyl to match; Arlon#2500-156 (Vivid Green)
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. 0.080" Aluminum raceway painted to match the facade
11. 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway - Maximum 6" from each end and every 48" o.c.
12. #12 x 1" TEC screws with 11/4" fender washers
13. Mounting hardware to suit



**Section @ LED Channel Letter Raceway (Center)**  
Scale: N.T.S.

|                    |   |               |            |                    |    |  |
|--------------------|---|---------------|------------|--------------------|----|--|
| <b>DOLLAR TREE</b> | Client: Dollar Tree   | REVISION INFO | 05/05/2011 | Original Rendering | DH | This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of Anchor Sign, Inc. and the party which requested the rendering. It is an unpublished original drawing not to be distributed, reproduced or exhibited without the consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement. |
|                    | Site #: A14744  |               |            |                    |    |  |
|                    | Address: 1300 W Historic Mitchell Street<br>Milwaukee, WI 53204 |               |            |                    |    |  |
|                    | Former Hollywood Video  |               |            |                    |    |  |





# DOLLAR TREE

## Former Hollywood Video

| Sign A          |   |
|-----------------|---|
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway                                      |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 43  |
| To Grade:       | Top of Sign To Grade = 21'-5"<br>Bottom of Sign To Grade = 19'-5" |

| Sign B          |   |
|-----------------|---|
| Sign:           | 18" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway                                      |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 24.13   |
| To Grade:       | Top of Sign To Grade = 24'-1"<br>Bottom of Sign To Grade = 22'-7" |

| Sign C          |   |
|-----------------|---|
| Sign:           | 24" Dollar Tree linear  |
| Sign Type:      | Channel Letters on a Raceway  |
| Illumination:   | Internally Illuminated LED  |
| Square Footage: | 43  |
| To Grade:       | Top of Sign To Grade = 15'-11"<br>Bottom of Sign To Grade = 13'-11" |

| Awning A        |  |
|-----------------|--|
| Awning:         | Dollar Tree  |
| Awning Type:    | 28½" x 231½"   |
| Square Footage: | 45.81  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |

| Awning B        |  |
|-----------------|--|
| Awning:         | Dollar Tree  |
| Awning Type:    | 28½" x 395½"   |
| Square Footage: | 78.22  |
| To Grade:       | Top of Sign To Grade = 13'-8½"<br>Bottom of Sign To Grade = 11'-4" |



**DOLLAR TREE**

Client: Dollar Tree  
 Site #: A14744  
 Address: 1300 W Historic Mitchell Street  
 Milwaukee, WI 53204  
 Former Hollywood Video

REVISION INFO

| REVISION INFO | DATE               | DESCRIPTION | BY |
|---------------|--------------------|-------------|----|
| 05/05/2011    | Original Rendering |             | DH |
|               |                    |             |    |
|               |                    |             |    |
|               |                    |             |    |
|               |                    |             |    |

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**AnchorSign.**  
 1.800.213.3331





MILWAUKEE  
**HISTORIC  
PRESERVATION  
COMMISSION**

LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

1300 W. HISTORIC MITCHELL ST., Mitchell Street Historic District, Johnson Bank, owner

## Description of work

Install new individual letter internally illuminated signs on west, east and south elevations.  
Install new awnings on east, west and south elevations.

## Date issued

6/30/2011 PTS ID 73673 COA, new signage

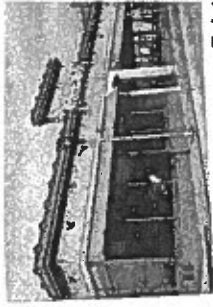
In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Awnings will be covered with non-shiny material such as acrylic.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

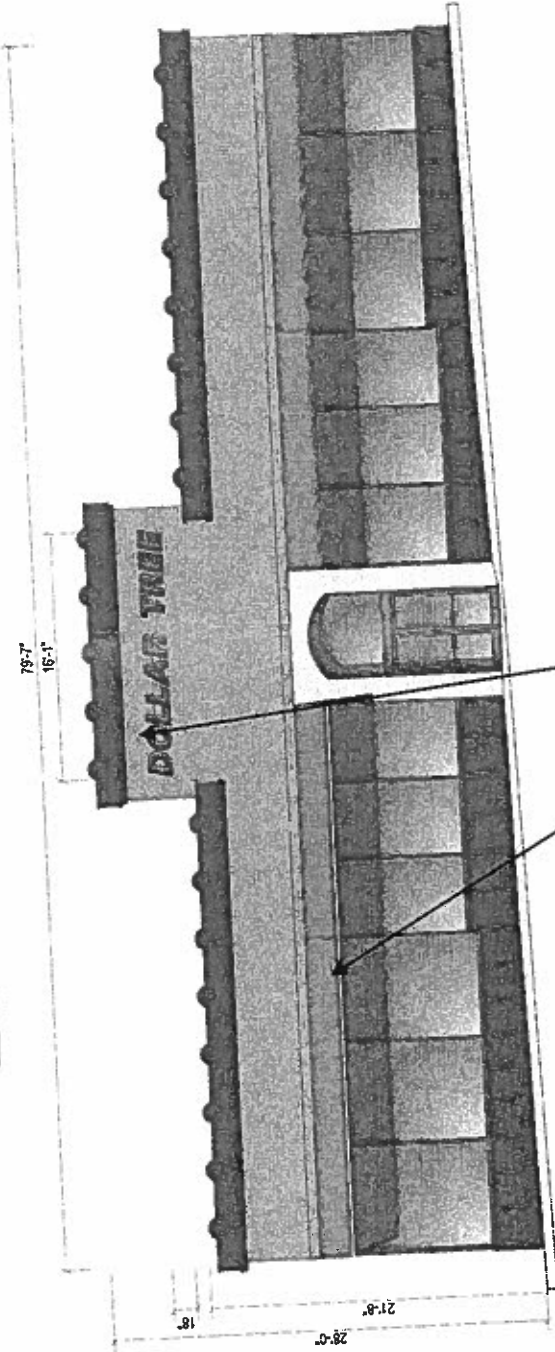
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Jim Witkowiak, Contractor Anchor sign, Inspector Bill Richter (286-2518)



Exist

|  |  |  |  |  |
|--|--|--|--|--|
| <b>Sign B</b><br>Sign: 18" Dollar Tree linear<br>Sign Type: Channel Letters on a Raceway<br>Illumination: Internally Illuminated LED<br>Square Footage: 24.13<br>Top of Sign To Grade = 24'-1"<br>Bottom of Sign To Grade = 22'-7" | <b>Awning Recover 2</b><br>Awning: Dollar Tree<br>Fabric Recover (246" length)<br>Awning Type: Sunbrella Seagrass Green 6045 | <b>Awning Recover 3</b><br>Awning: Dollar Tree<br>Fabric Recover (185 1/2" length)<br>Awning Type: Sunbrella Seagrass Green 6045 | <b>Awning Recover 4</b><br>Awning: Dollar Tree<br>Fabric Recover (187" length)<br>Awning Type: Sunbrella Seagrass Green 6045 | <b>Awning Recover 5</b><br>Awning: Dollar Tree<br>Fabric Recover (232" length)<br>Awning Type: Sunbrella Seagrass Green 6045 |
|--|--|--|--|--|



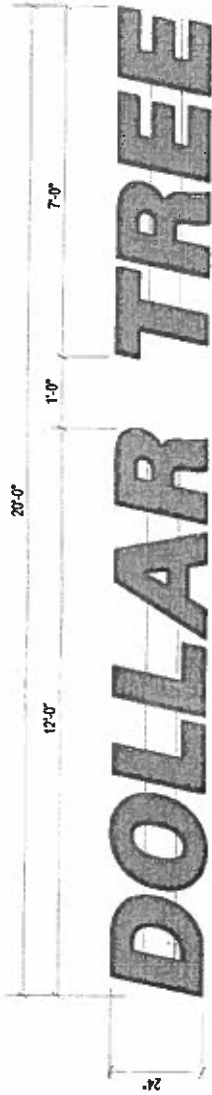
Side Elevation (South)  
Scale: 1/8" = 1'-0"

|                    |   |  |
|--------------------|---|--|
| <b>DOLLAR TREE</b> | Client: Dollar Tree   | The rendering is the property of Anchor Graphics, Inc. and the party who requested the rendering. It is to be used only for the project and location specified. Anchor Graphics, Inc. is not responsible for the content of any information or data contained in this rendering. |
|                    | Site #: A14744  |  |
|                    | Address: 1300 W Historic Mitchell Street<br>Milwaukee, WI 53204<br>Former Hollywood Video | Anchor<br>1.800.213.   |
|                    | REVISIONS INFO<br>05/09/2011 Digital Rendering  | DH   |

Individual letter signage and awnings on south elevation

|                          |                                  |
|--------------------------|----------------------------------|
| <b>Sign A</b>            | Sign: 24" Dollar Tree linear     |
| Sign Type:               | Channel Letters on a Raceway     |
| Illumination:            | Internally Illuminated LED       |
| Square Footage:          | 40                               |
| To Grade:                | Top of Sign To Grade = 21'-5"    |
| Bottom of Sign To Grade: | Bottom of Sign To Grade = 19'-5" |

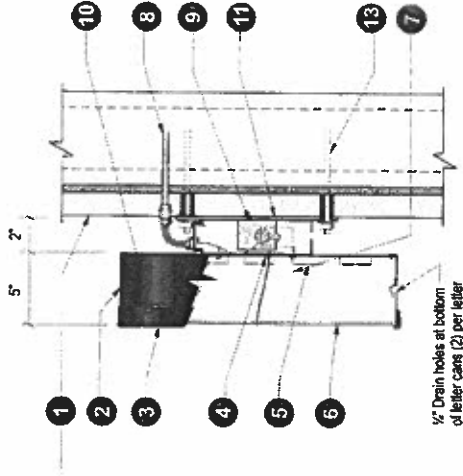
|                          |                                   |
|--------------------------|-----------------------------------|
| <b>Sign C</b>            | Sign: 24" Dollar Tree linear      |
| Sign Type:               | Channel Letters on a Raceway      |
| Illumination:            | Internally Illuminated LED        |
| Square Footage:          | 40                                |
| To Grade:                | Top of Sign To Grade = 15'-11"    |
| Bottom of Sign To Grade: | Bottom of Sign To Grade = 13'-11" |



**Sign Layout Detail**  
Scale: 3/8" = 1'-0"

|  |
|--|
| <b>Electrical Detail:</b>  |
| AGILIGHT TUFFRAYZ GREEN LED<br>(2) 60w Transformers @ .85 each<br>Total Amps = 1.7                               |
| <b>General Notes:</b>  |
| This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code. |
| 1) Grounded and bonded per NEC 600.7/NEC 250   |
| 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps                                   |
| 3) Sign is to be UL listed per NEC 600.3   |
| 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer                   |
| *For multiple signs, a disconnect is permitted but not required for each section                                 |

|  |
|--|
| <b>Specifications: Channel Letters</b>                               |
| 1. Existing Facade: Brick  |
| 2. 0.040" Aluminum letter returns painted to match bronze            |
| 3. 0.125" x 1" trim cap to match bronze                              |
| 4. 3mm Signabond Lite composite back                                 |
| 5. Interior of sign can painted ultra white for maximum illumination |
| 6. 3/16" White Acrylic with first surface applied vinyl to match;    |
| - Arlon#2500-156 (Vivid Green)                                       |
| 7. Waterproof disconnect switch per NEC 600-6                        |
| 8. Primary electrical feed   |
| 9. Transformers  |
| 10. 0.080" Aluminum raceway painted to match the facade              |
| 11. 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway      |
| - Maximum 6" from each end and every 48" o.c.                        |
| 12. #12 x 1" TEC screws with 11/14" fender washers                   |
| 13. Mounting hardware to suit  |



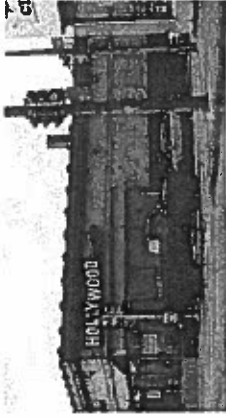
1/2" Drain holes at bottom of letter cans (2) per letter

**Section @ LED Channel Letter Raceway (Center)**  
Scale: N.T.S.

|                     |                     |
|---------------------|---------------------|
| Client: Dollar Tree | Site #: A14744      |
| Date: 05/05/2011    | Project: Rebranding |
| Drawn: DPT          | Scale: N.T.S.       |

This drawing is the property of Dollar Tree and is to be used for the exclusive use of Dollar Tree, Inc. and its affiliates.

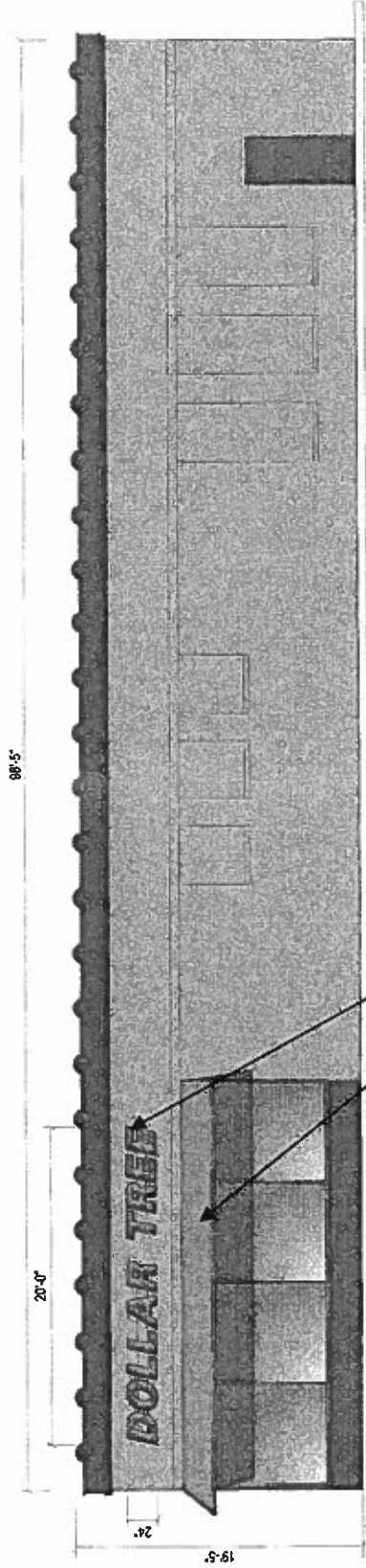
Section drawings of individual letter signs



Existing

|                  |                                   |
|------------------|-----------------------------------|
| <b>Sign C</b>    | Sign: 24" Dollar Tree linear      |
| Sign Type:       | Channel Letters on a Recessway    |
| Illumination:    | Internally Illuminated LED        |
| Signage Footage: | 40                                |
| To Grade:        | Top of Sign To Grade = 15'-11"    |
|                  | Bottom of Sign To Grade = 13'-11" |

|                         |                               |
|-------------------------|-------------------------------|
| <b>Awning Recover 6</b> | Dollar Tree                   |
| Awning:                 | Fabric Recover (332" length)  |
| Awning Type:            | Sunbreaks Seagrass Green 6045 |



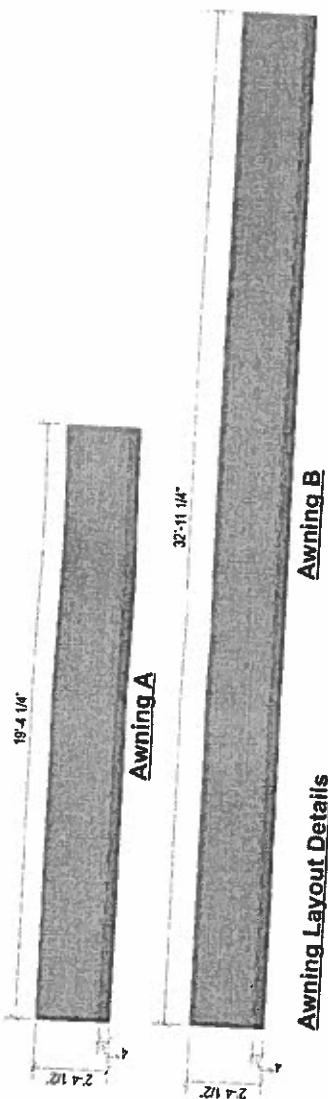
East Elevation

|   |                     |   |    |
|---|---------------------|---|----|
| <b>DOLLAR TREE</b>  | Client: Dollar Tree | Original Bandwidth  | DR |
|   | Site #: A11724      | REVISION NO.  |    |
| Address: 1300 W Historic Mitchell Street<br>Milwaukee, WI 53204<br>Former Hollywood Video |                     | <p>The material is the property of Anchor Signage, Inc. and the party which prepared the rendering. It is to be returned to Anchor Signage, Inc. upon completion of the project. No part of this drawing or any other part of this drawing shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the written permission of Anchor Signage, Inc. All conditions regarding the statement</p> |    |
| AnchorSign  |                     | 1-800-213-3331  |    |

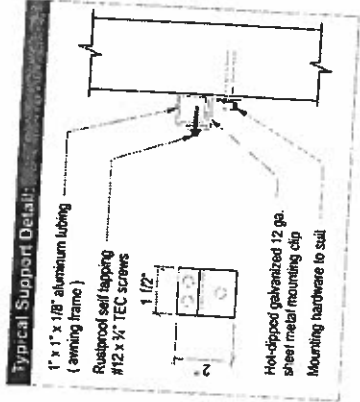
Individual letter sign and awning on east elevation

|                 |                                   |
|-----------------|-----------------------------------|
| <b>Awning A</b> | Dollar Tree                       |
| Awning Type:    | 28' x 231 1/2"                    |
| Square Footage: | 45.61                             |
| To Grade:       | Top of Sign To Grade = 13'-8 1/2" |
|                 | Bottom of Sign To Grade = 11'-4"  |

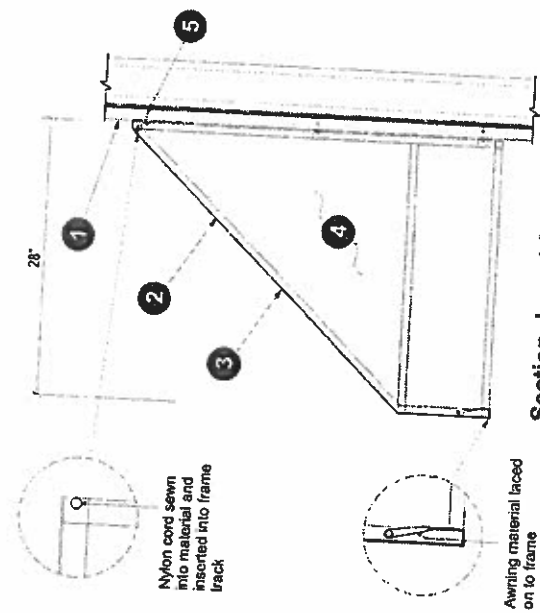
|                 |                                   |
|-----------------|-----------------------------------|
| <b>Awning B</b> | Dollar Tree                       |
| Awning Type:    | 28' x 393 1/2"                    |
| Square Footage: | 78.22                             |
| To Grade:       | Top of Sign To Grade = 13'-8 1/2" |
|                 | Bottom of Sign To Grade = 11'-4"  |



**Awning Layout Details**  
Scale: 1/4" = 1'-0"



- Specifications:**
- Existing Facade: Brick
  - Awning Material: sunbrella seagrass green #6045
  - 1" x 1" x 0.125" Aluminum square tubing frame with natural finish (wire brush all welds)
  - Open Sides & Bottom
  - Mounting hardware to suit



**Section-Laced Awning**  
Scale: N.T.S.

|   |                        |
|---|------------------------|
| <b>DOLLAR TREE</b>  |                        |
| Client: Dollar Tree   | Site #: A14744         |
| Address: 1300 W Historic Mitchell Street  |                        |
|   | Milwaukee, WI 53204    |
|   | Former Hollywood Video |
| REV: 02/10/11   | Original Fabricating   |
| D11   |                        |
| <p>The drawing is the property of Anchor Sign, Inc. and the contractor shall not reproduce or use it for any other project without the written consent of Anchor Sign, Inc. Please do not use this drawing for any other project without the written consent of Anchor Sign, Inc.</p> |                        |
| AnchorSign<br>1-800-213-3337  |                        |

Section of awning construction

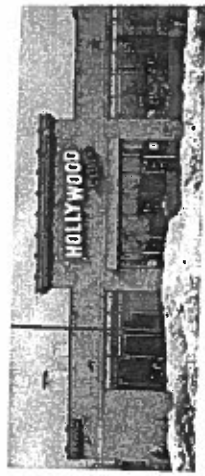


|                 |   |
|-----------------|---|
| <b>Sign A</b>   | Sign: 24" Dollar Tree Inset                                       |
| Sign Type:      | Channel Letters on a Recessed Illumination                        |
| Square Footage: | 40  |
| To Grade:       | Top of Sign To Grade = 21'-5"<br>Bottom of Sign To Grade = 19'-5" |

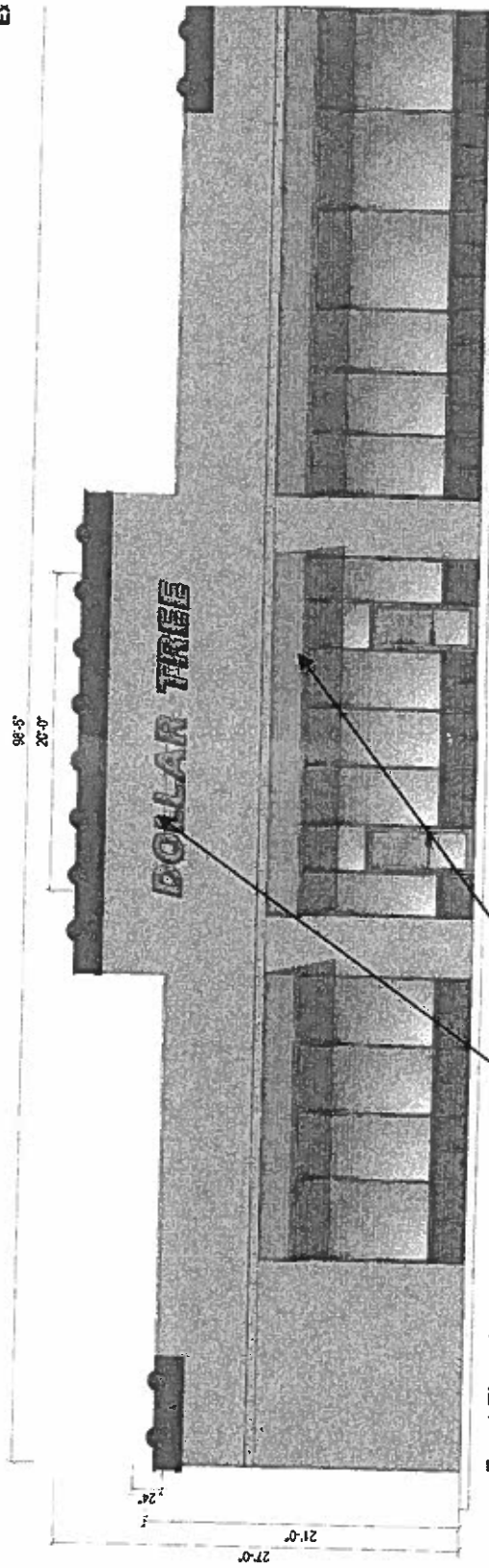
|                 |   |
|-----------------|---|
| <b>Awning A</b> | Dollar Tree   |
| Awning Type:    | 28 1/2" x 23 1/2"   |
| Square Footage: | 45.81   |
| To Grade:       | Top of Sign To Grade = 13'-8 1/2"<br>Bottom of Sign To Grade = 11'-4" |

|                         |   |
|-------------------------|---|
| <b>Awning Recover 1</b> | Dollar Tree   |
| Awning Type:            | Fabric Recover (236" length)<br>Sunbrella Seagrass Green 6045 |

|                 |   |
|-----------------|---|
| <b>Awning B</b> | Dollar Tree   |
| Awning Type:    | 28 1/2" x 39 5/8"   |
| Square Footage: | 78.22   |
| To Grade:       | Top of Sign To Grade = 13'-8 1/2"<br>Bottom of Sign To Grade = 11'-4" |



Ex



**Front Elevation (West)**  
Scale: 1/8" = 1'-0"

|                    |   |
|--------------------|---|
| <b>DOLLAR TREE</b> | Client: Dollar Tree<br>Site #: A14744<br>Address: 1300 W Historic Mitchell Street<br>Milwaukee WI 53204<br>Former Hollywood Village |
| REVISION INFO      | 05/09/2011 Original Revision  |
| DI                 |   |

All drawings are the property of Anchor Sign, Inc. and the party which Anchor Sign, Inc. has provided to you. This drawing is not to be used for any other project without the written consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this agreement.

**Anchor Sign**  
1-800-273-3333

**New awnings over windows and new individual letter, internally illuminated sign**



Legislation Details (With Text)

**File #:** 110401      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/8/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild the front terrace at 2409 N. Wahl Avenue for Ken Walter and Antoinette Zell.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Certificate of Appropriateness, Application, Pictures

| Date     | Ver. | Action By      | Action      | Result | Tally |
|----------|------|----------------|-------------|--------|-------|
| 7/8/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110401  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild the front terrace at 2409 N. Wahl Avenue for Ken Walter and Antoinette Zell.

Requestor

Drafter  
CC-CC  
dkf  
7/8/11



MILWAUKEE

HISTORIC  
PRESERVATION  
COMMISSION

LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

2409 N. WAHL AV., North Point North Historic District, Ken Walter and Antoinette Zell, owners

## Description of work

Rebuild original front terrace.

## Date issued

7/7/2011

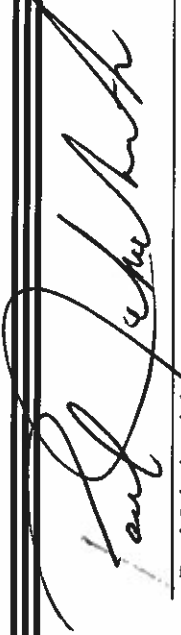
PTS ID 73787 COA, rebuild front terrace

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos and drawings. New porch will match the original footprint and elevation of the old porch. Every effort will be made to reclaim and reuse existing brick and stone. Stone that is damaged beyond reuse will be duplicated to match the original pieces in terms of design, texture, size and profile. Stone was original fabricated with an ashlar effect (small parallel lines carved into the stone) and this finish must be incorporated into the new pieces. All new mortar will match the original in terms of joint color, texture, hardness, joint width and joint finish. Please note that mortar that is too hard is prone to premature failure. See the masonry chapter in As Good as New and Good for Business for further explanation. Any new brick must match the original as closely as possible in terms of color texture and size.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkdcd.org/build](http://www.mkdcd.org/build), or call (414) 286-8210.

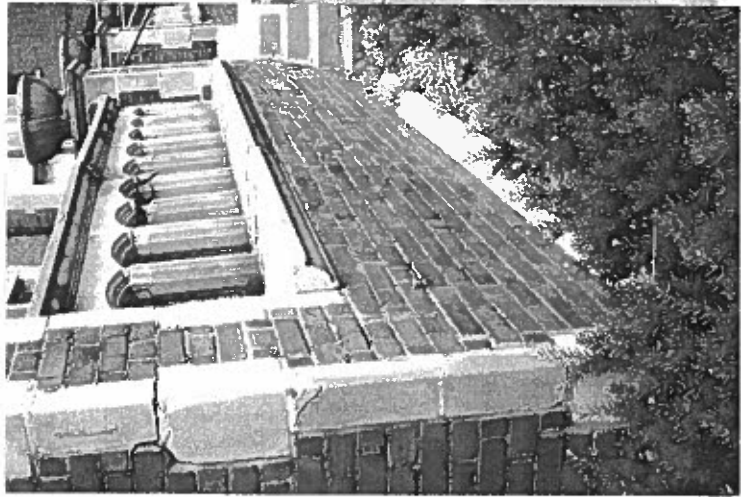


Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)



Front terrace to be rebuilt exactly, in kind

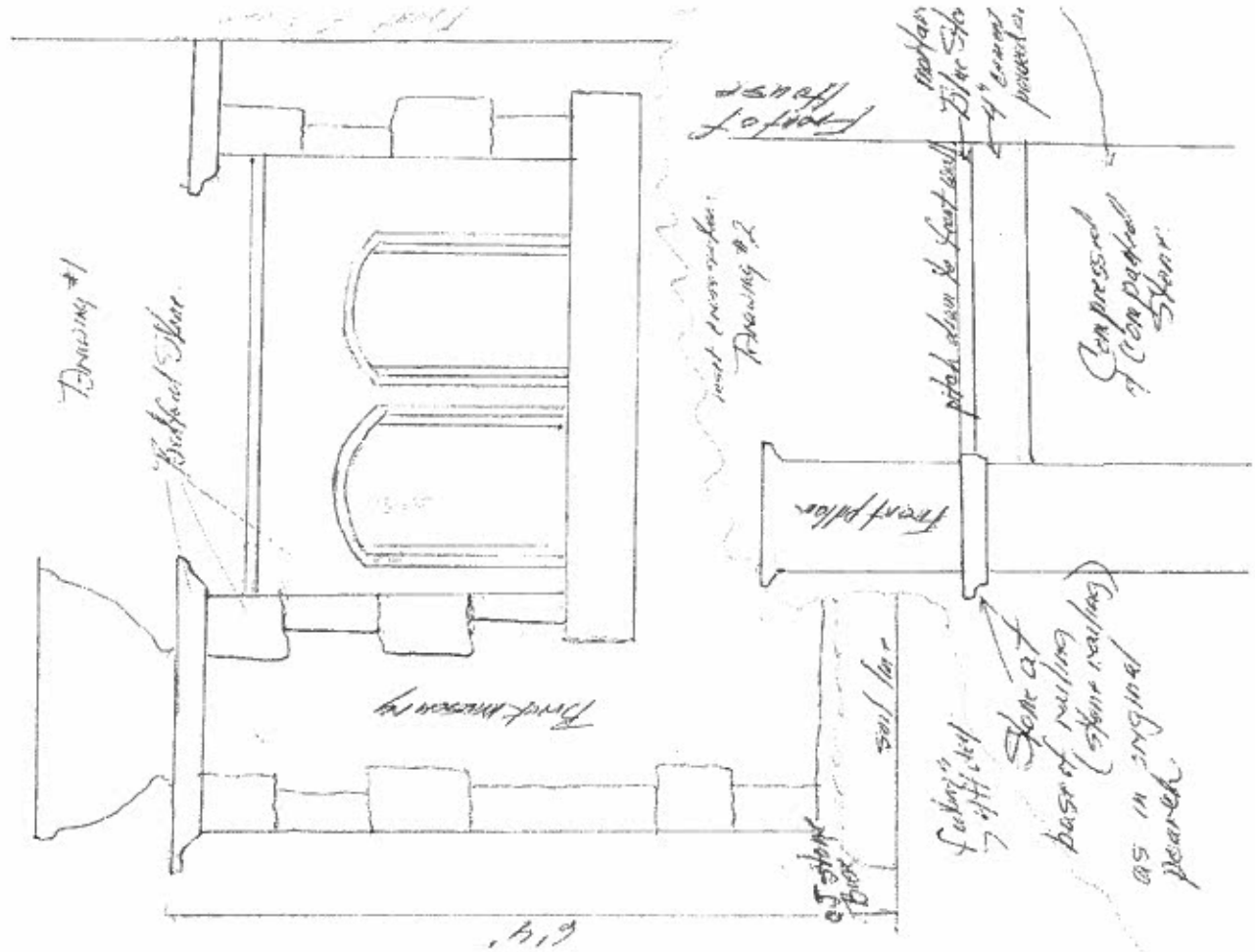


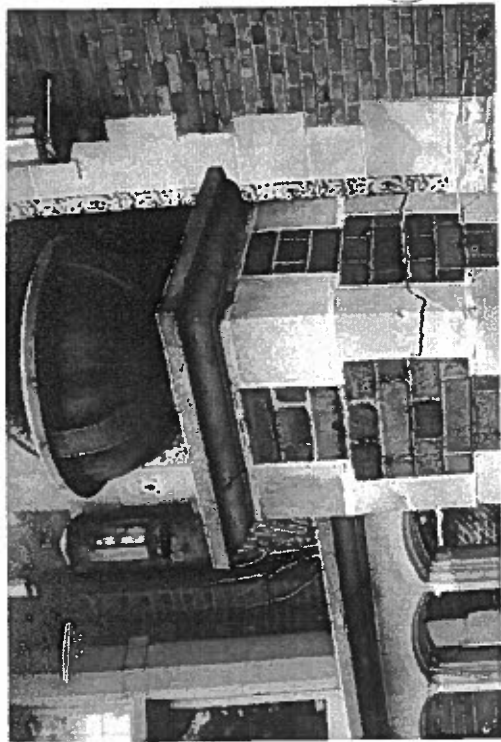
*front wall and stone ledge  
from existing porch to  
be used as part of front*

Every effort will be made to salvage and reuse existing stone, but where necessary new pieces will match the originals exactly in terms of size, design texture (ashlar finish)



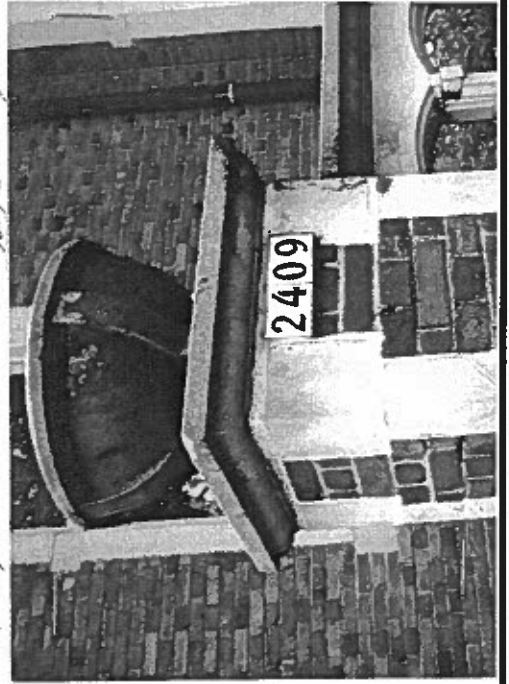
**Drawings of existing porch to be rebuilt**



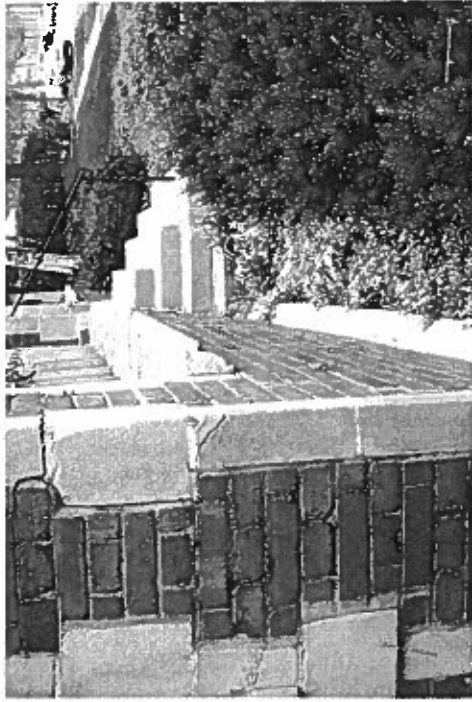


The corner pillars have a standard  
 double beam. The for used primary  
 it will need to be submitt but  
 we will endeavor to preserve the  
 caps of flower posts to give the

Detail of posts tops which  
 will be salvaged and reused,  
 and then set on piers of  
 matching size.



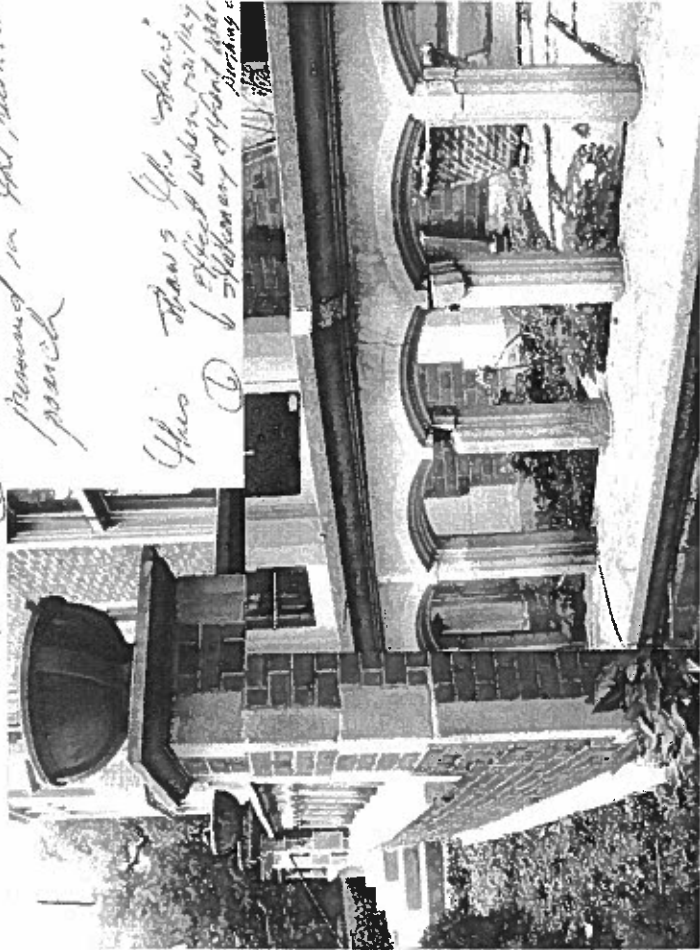
2409  
 Prop.



④

I don't see how  
 you can get  
 The original of  
 are what it will be  
 proved in this, new  
 porch

This shows the  
 effect when  
 Dictionary of  
 porch



New, rebuilt porch will match the original including the quoins at the corners of the brick piers. Railings will match the existing height.





# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

*East Side Historic District*

ADDRESS OF PROPERTY:

*2409 North Wahl Ave Milwaukee Wis 53211*

2. NAME AND ADDRESS OF OWNER:

Name(s): *Ken Walter of Ankenutte M. Zell*

Address: *2409 North Wahl Ave*

City: *Milwaukee* State: *Wis* ZIP *53211*

Email: *kenwalte@yabco.com*

Telephone number (area code & number) Daytime: *414-687-2620* Evening: *414-687-2622*

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): *Innovative Masonry LLC* // Business address:

Address: *12132 Briarhill Dr* // *PO Box 2*  
*Thiensville Wis 53092*

City: *Mequon* State: *Wis* ZIP Code: *53097*

Email: *Dustin@innovativemr.com*

Telephone number (area code & number) Daytime: *262-238-8874* Evening: \_\_\_\_\_

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

- Photographs of affected areas & all sides of the building (annotated photos recommended)
- Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
- Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain)

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:



Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Front porch 44 ft long 5 ft wide in masonry  
 Buck & Bradford Stone original to property that  
 was filled with soil by original design. with  
 ruying of leaving front wall has cracked  
 forward (outward) which shows railing fixed  
 to front pillars creating fracturing in the  
 stone - front face forward (small under/looming)  
 will eventually fall off  
 Photo No. 1-8 Drawing No. colp 57

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Replacement of front porch with in kind  
 stone & masonry - where possible existing  
 elements (stone & concrete) & hopefully the  
 top railing & caps on the pillars but when  
 Bedford stone is not intact - pieces will be re-  
 placed in the stone carved as original pieces  
 Buck matched columns used a European Tolus stone  
 set in as walking surface on porch (extra page)  
 Photo No. 1 Drawing No. 1 & 2 to supplement

6. SIGNATURE OF APPLICANT:

  
 Signature Ren Walter (inset cross section of porch)  
  
 Print or type name REN WALTER 7-7-11  
 Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver Form to:  
 Historic Preservation Division  
 Department of City Development  
 809 North Broadway - 1st Floor  
 Milwaukee, WI

or

Mail Form to:  
 Historic Preservation Division  
 Department of City Development  
 1st floor  
 Milwaukee, WI 53202-3617

PHONE: 414.286-5712

FAX: 414. 286-0232

[www.mkedcd.org/planning/historic](http://www.mkedcd.org/planning/historic)

Drawing #1



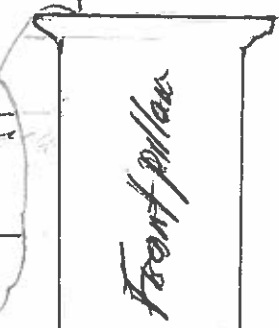
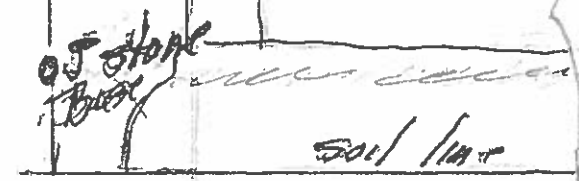
Bedford Stone.

Brick masonry

Front of House

6' 4"

Inset cross section:  
Drawing #2



Front of House

pitch down to front wall

Mortared  
Blue Stone.  
4" cement  
poured over

Footings  
7 1/2 ft deep

Stone at  
base of railing  
(stone railing)

as in original  
porch

Compressed  
& Compacted  
Stone.



The corner pillars have structural cracks from the forward pressure of wall needs to be rebuilt but we will endeavor to preserve the caps & flower pots to give the look of age.



5' square cap. →





①



④

↑  
These stone  
elements will  
need to be  
replaced. ⑤

The original of hand railing  
on intact it will be  
preserved in the reconstructed  
porch

② Front wall  
Bowling forward  
causing  
of railing to  
break

③

This shows the "shear"  
effect when railing //  
stationary of front wall  
pushing out ⑥







Legislation Details (With Text)

**File #:** 110423      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild the roof and sheet metal on cupola at 207 E. Michigan Street for Josh Jeffers, agent for 207 E. Michigan Street LLC.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

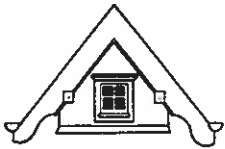
Number  
110423  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild the roof and sheet metal on cupola at 207 E. Michigan Street for Josh Jeffers, agent for 207 E. Michigan Street LLC.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Mitchell Building

**ADDRESS OF PROPERTY:**

207 E. Mitchell Street

**2. NAME AND ADDRESS OF OWNER:**

Name(s): 207 E. Mitchell Street LLC - Attention: Mr. Josh Jeffers

Address: P.O. Box 305

City: Milwaukee

State: WI

ZIP 53201

Email: [jjjeffers@gmail.com](mailto:jjjeffers@gmail.com)

Telephone number (area code & number) Daytime: 312-622-3266

Evening: \_\_\_\_\_

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Langer Roofing - Attention: Mr. David Novak

Address: 345 S. Curtis Road

City: Milwaukee

State: WI

ZIP Code: 53214

Email: [dnovak@langer-roofing.com](mailto:dnovak@langer-roofing.com)

Telephone number (area code & number) Daytime: 414-476-5800

Evening: \_\_\_\_\_

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Remove and replace EPDM roof on top of cupola.  
Remove and replace slate shingles and lead coated copper flashings on cupola.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

See attached

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

David A. Novak \_\_\_\_\_  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





www.langer-roofing.com

345 SOUTH CURTIS ROAD • MILWAUKEE, WI 53214

PHONE (414) 476-5800

FAX 414.476.3044

July 7, 2011

Mr. Josh Jeffers  
207 E. Michigan Street LLC  
P.O. Box 305  
Milwaukee, Wisconsin 53201

Re: Mitchell Building  
207 E. Michigan Street  
Milwaukee, Wisconsin

Dear Mr. Jeffers:

As you are aware, we have invested a tremendous amount of time investigating the existing construction detail of the façade and roofing components of the Mitchell Building in an attempt to 1) identify areas of possible water infiltration that may be affecting the building currently and 2) identify up front as many factors as possible that may impact the ultimate cost of the project. We have conducted significant investigative testing. We have disassembled portions of the slate façade, performed core cuts on the roofs, conducted tests on paints samples, and investigated numerous construction details of the slate façade and roofs.

Our detailed recommendations for repairs and replacements of the original 6<sup>th</sup> floor of the Mitchell Building are as follows (Note that our proposal excludes any work done to the façade or roof on the 6<sup>th</sup> floor "addition" located behind the original 6<sup>th</sup> floor). We believe that the following work scope combined with general repairs in other areas will eliminate moisture infiltration into the building.

#### SETUP:

In 2008 we discussed set-up considerations with the City of Milwaukee, Badger Scaffold and the Milwaukee Department of Public Works. We are proceeding with the understanding that the City and DPW concerns are the same now as then.

Considering the relatively narrow sidewalks and how close the building is to the street, we contemplate occupancy of the parking lane on Michigan Street while the scaffold is in place to provide protection for the canopy legs in addition to vehicle parking and a material handling zone.

July 7, 2011

Page 2

- 1) Permits will be obtained for the sidewalk and parking lane.
- 2) Concrete barriers will be installed to provide protection for the canopy as necessary.
- 3) The pedestrian canopy will be six feet wide and 12 feet high. The top of the canopy will overhang the edges by approximately two feet to restrict access. Aluminum joists will be installed 16 inches on center and the deck will be ¾" plywood.
- 4) The scaffolding will be erected on top of the canopy.
- 5) A stair unit will be provided, location to be determined.
- 6) Scaffold construction will be OSHA compliant.
- 7) Shoring is included for the vaulted sidewalks.

#### SLATE FAÇADE AREAS:

Our investigation indicates that the slate façade structure is comprised of hollow clay "book" tile approximately 14" x 14" set in a bed of mortar onto the steel T-angle. The exterior of the tile joints were grouted and it appears a similar mortar served as a topping/leveling bed for the slate when it was originally installed. The topping is relatively thin and served to flush out and level the substrate as the slate tiles were installed. The topping thickness ranges from about 1/8" to 1/2." The fasteners used to attach the slate are 1½" galvanized square masonry nails. These fasteners were installed through holes pre-punched in the slate, through the mortar topping into the clay tile. As part of our investigation, we removed pieces of slate in three locations to examine the substrate. In an area where it appeared the slate had failed, the topping and grout joints have deteriorated to some extent and in some locations crumbled as we probed at it. The grout joints were about 1" wide and 1" deep. Some crumbling was observed in the outer layer of clay tile. In areas where the slate was sound, the topping appeared dry and solid. Considering in some locations the topping either fractured or crumbled as we removed the slate, it is logical to conclude some or all of the topping will require removal and replacement and the grout joints will require repair. Another concern is that the clay tile may not serve as a sound/acceptable substrate to secure the new slate since some portions of it appear to be deteriorated. As such, we propose the following:

July 7, 2011

Page 3

- 1) Inspect the substrate after removing the slate.
- 2) Deteriorated tile joints will be re-grouted and loose topping will be removed and replaced during this process on a time and material basis as necessary.
- 3) We will prime the substrate and install an ice and water shield membrane. This membrane will also serve to provide temporary waterproofing during construction.
- 4) Over the ice and water membrane, new clear unfading black slate matching the existing color, shape and dimensions of the original slate will be installed utilizing 10-gauge stainless steel slating nails.

The original ornamental cast iron cresting at the top of the original 6<sup>th</sup> floor façade is rusted and requires careful restoration. It will be removed, sandblasted, primed, repainted and re-set. The EPDM roof membrane system on the original 6<sup>th</sup> floor façade will be removed and entirely replaced with new. New stainless steel pitch-pans will be installed around the refurbished railing posts. These will be filled with a non-shrinking pourable sealer. The balance of the façade slate replacement scope is as indicated above, with the following additional work. Given the amount of repairs visible on the original 6<sup>th</sup> floor facade, it appears some moisture infiltration has been an ongoing problem. We believe that this is due to the curvature of the 6<sup>th</sup> floor façade walls as discussed above. Therefore, we will install individual strips of ice and water shield over the top of the diamond shaped pieces of slate as they are installed. This extra measure will prevent snow and ice from blowing up between the nailed portion of the exterior façade slate and the substrate. This will provide added protection against moisture infiltration and add to the facade's expected useful life over the long term.

#### **SHEET METAL WORK:**

The existing sheet metal work features a variety of metals including lead sheet, cold rolled red copper sheet, lead-coated copper sheet and tin. Lead sheet was used predominantly where the architectural elements incorporated radius and complex transitions between the slate and stone or terra cotta. The malleability of the soft lead sheet enabled the installer to conform it to the numerous sculptured stone and terra cotta components.

July 7, 2011

Page 4

Tin was used to fabricate the flat seam decks and cornice that apparently failed prematurely due to corrosive elements in the masonry and cementitious components. While we have indicated below that lead coated copper will be used predominantly, lead sheet may also be incorporated where necessary. Note: The following components will be fabricated from 16-ounce lead coated copper (LCC) unless otherwise noted. Please be advised, this proposal is priced with copper at \$4.15 per pound plus \$1.59 per square foot for the lead coating.

- 1) New LCC chimney caps will be fabricated and installed.
- 2) New 16 oz red copper valley flashings will be installed.
- 3) New LCC windowsill flashings will be installed.
- 4) New LCC ledge flashing will be installed.
- 5) New LCC saddles will be installed.
- 6) At the top course of slate, a new LCC counter-flashing will be installed up under the terra cotta band.
- 7) New LCC hip "tin" tiles will be installed on the 6th floor.

**PRICING:**

Price includes: Scaffolding, permits, demo and replacement of slate on original 6<sup>th</sup> floor and roofing on original 6<sup>th</sup> floor. \$223,814. Per your request, we have broken out the pricing for façade, roofing, and scaffolding components as follows:

\$133,414.00 for façade components as outlined above

\$ 64,800.00 for scaffolding components as outlined above

\$ 25,600.00 for roofing components as outlined above

We trust this information meets your requirement for response at this time, but if you have any questions do not hesitate to contact us.

Very truly yours,

LANGER ROOFING & SHEET METAL INC.



David A. Novak

LEDGE - LOTS OF JOGS - 80'

DRIP & C/F - 144'

SADDLE - 8 Small - 2 Large

BUILT-IN GUTTERS & SILLS FLASHING - 52 (Non-vented)

SIDEWALL FLASHING - TINS & C/F  
Incl on  
Eave/haire

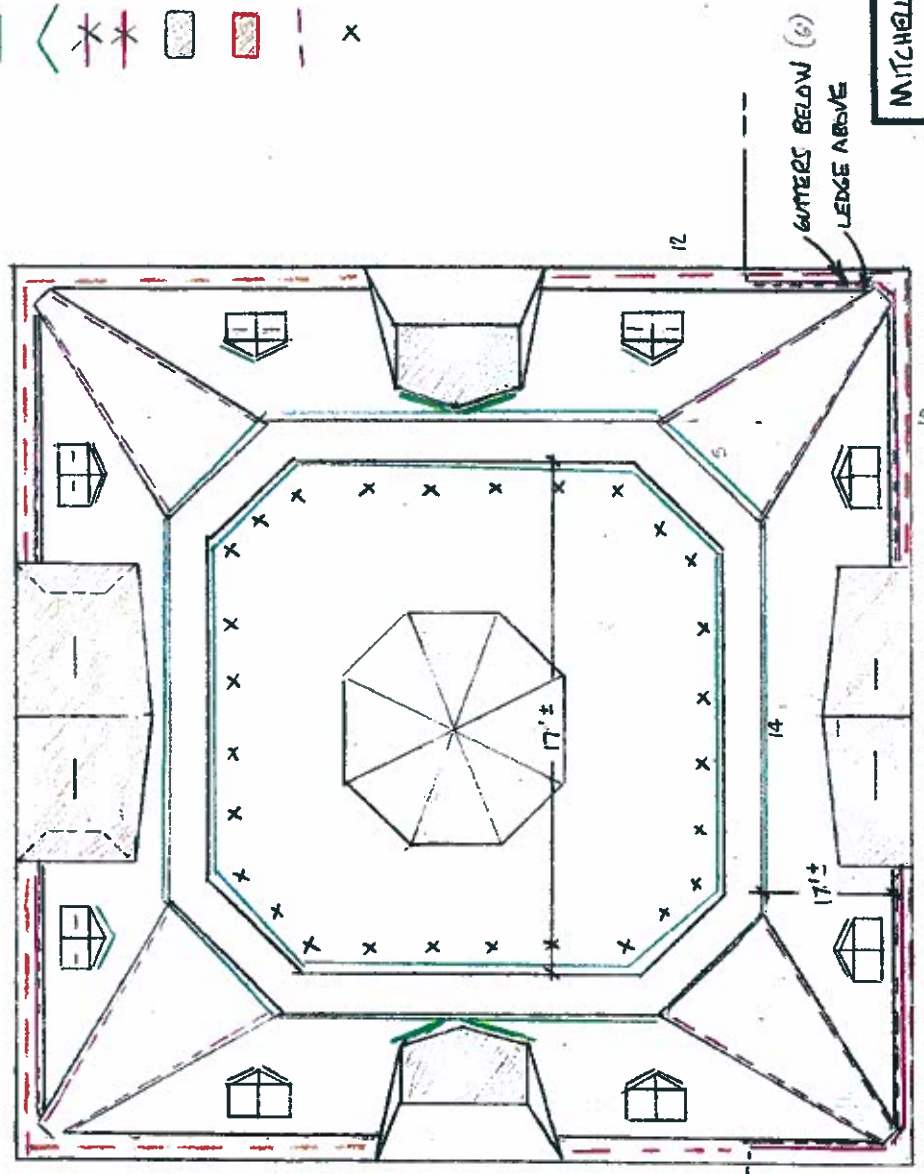
\* CHIMNEY CAP - 2

DORMER ROOF - 12

TIN SHINGLES

FITCH PANS

- X
- 
- <
- X
- X
- 
- 
- 
- X



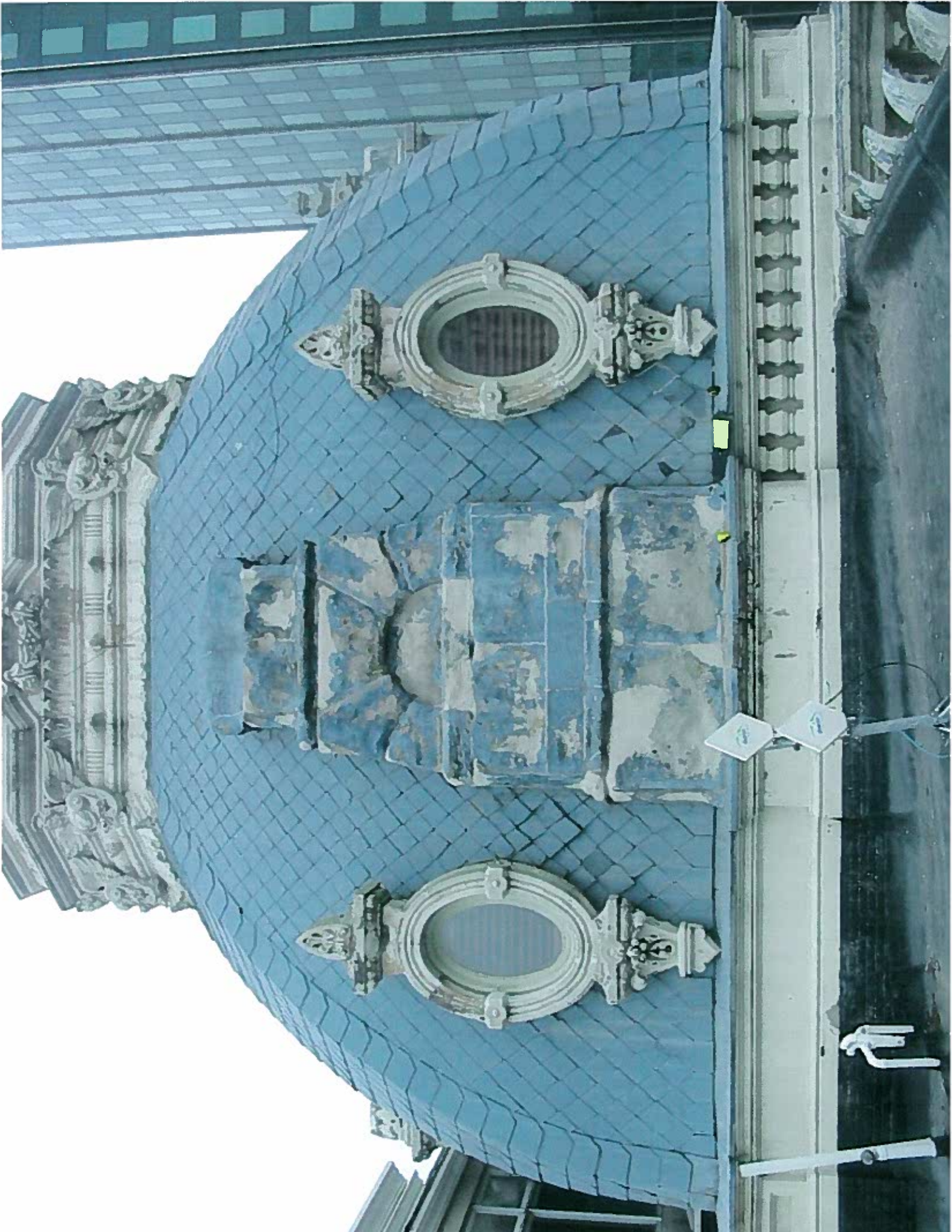
GUTTERS BELOW (6)  
LEDGE ABOVE

MITCHELL BUILDING - CUPOLA ROOF & SHEET METAL

|   |              |              |
|---|--------------|--------------|
| SCALE:  | APPROVED BY: | DRAWN BY:    |
|   |              |              |
| <p>LANIER ROOFING &amp; SHEET METAL INC.</p> <p>36 SOUTH CLAYTON RD<br/>MARIETTA, GA 30067<br/>(770) 427-1100</p> |              |              |
| DATE:   |              | REVISION:    |
|   |              |              |
| PROJECT:  |              | DESCRIPTION: |
|   |              |              |

PLAN VIEW





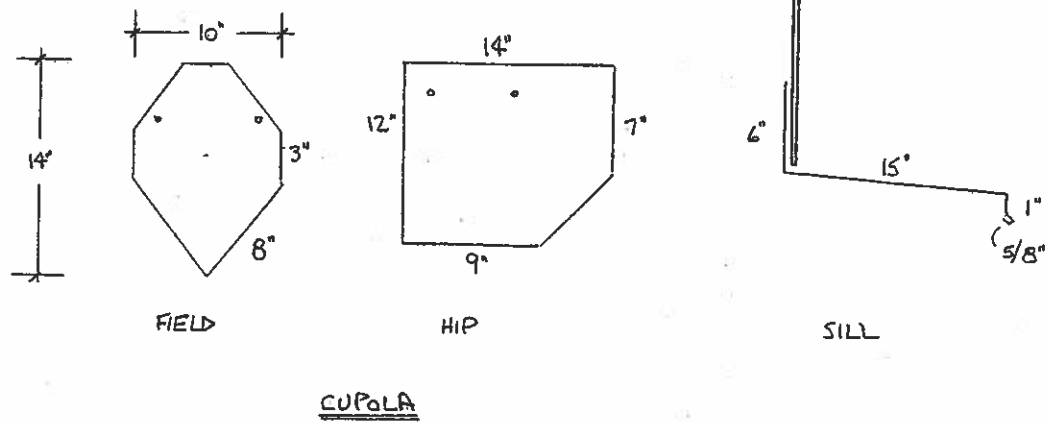
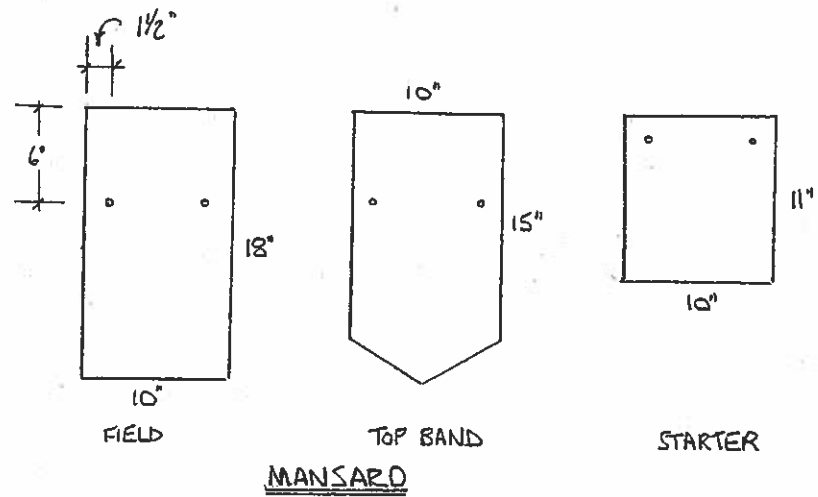






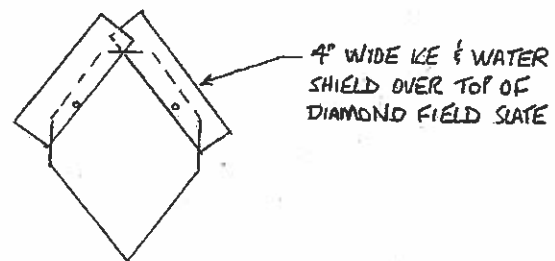




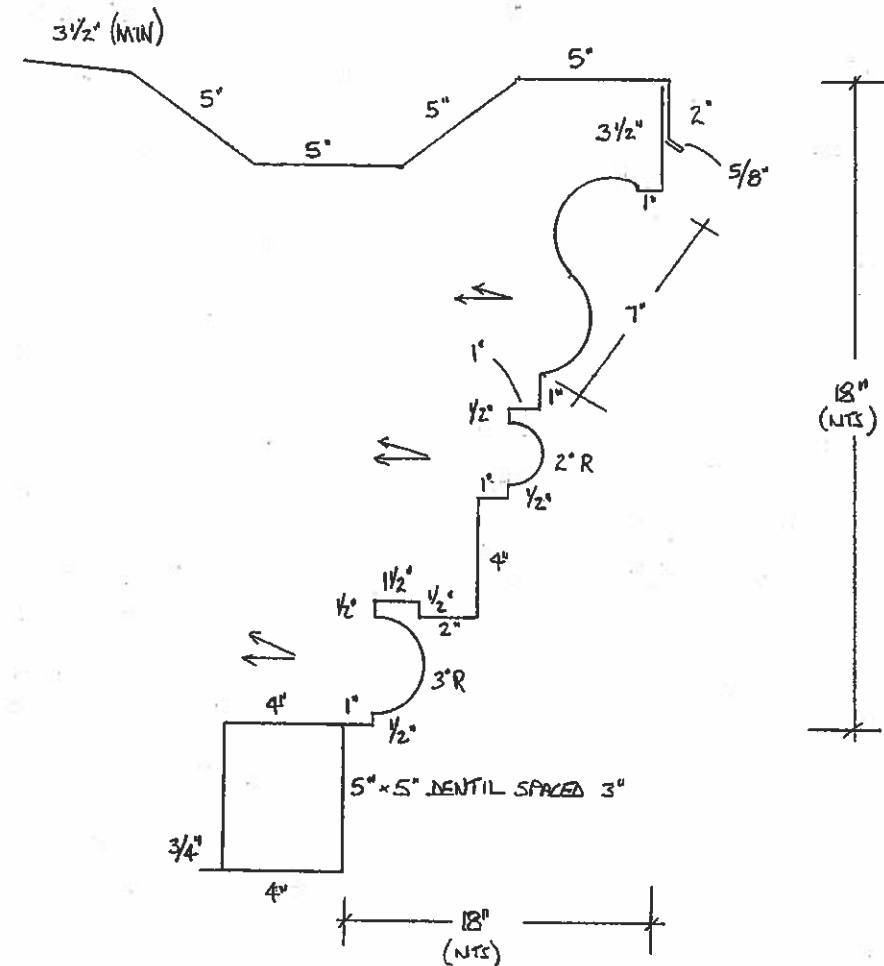


NOTE: STARTER AND FIRST COURSE ON CUPOLA IS SAME AS MANSARD

SLATE CATALOG



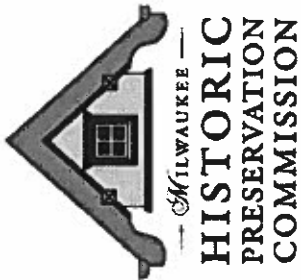
CUPOLA FIELD APPLICATION



SOUTH & EAST CORNICE

SHEET METAL GUTTER, CORNICE AND DENTIL

|  |              |   |
|--|--------------|---|
| MITCHELL BLDG.                               |              |   |
| SCALE:                                       | APPROVED BY: | DRAWN BY:   |
| DATE:  | REVIEWED:    |   |
| <b>LANGER ROOFING &amp; SHEET METAL INC.</b> |              | 945 SOUTH CURTIS RD<br>MILWAUKEE, WI 53214<br>PHONE: 478-8000 |
| (EST. 1988)                                  |              | DRAWING NUMBER  |



LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

207 E. MICHIGAN ST., Mitchell Building, East Side Commercial Historic District

## Description of work

Remove existing slate on central cupola. Install all new genuine black slate to match original. Install new grout over existing book tiles beneath shingles. Remove iron cresting from top of cupola; sandblast it, repaint and replace in original location. Install lead coated copper chimney caps, saddles and hip tiles. Flash windowsills in cupola with lead coated copper. Rebuild copper built in gutter on front of gutter exactly per original design.

## Date issued

7/19/2011

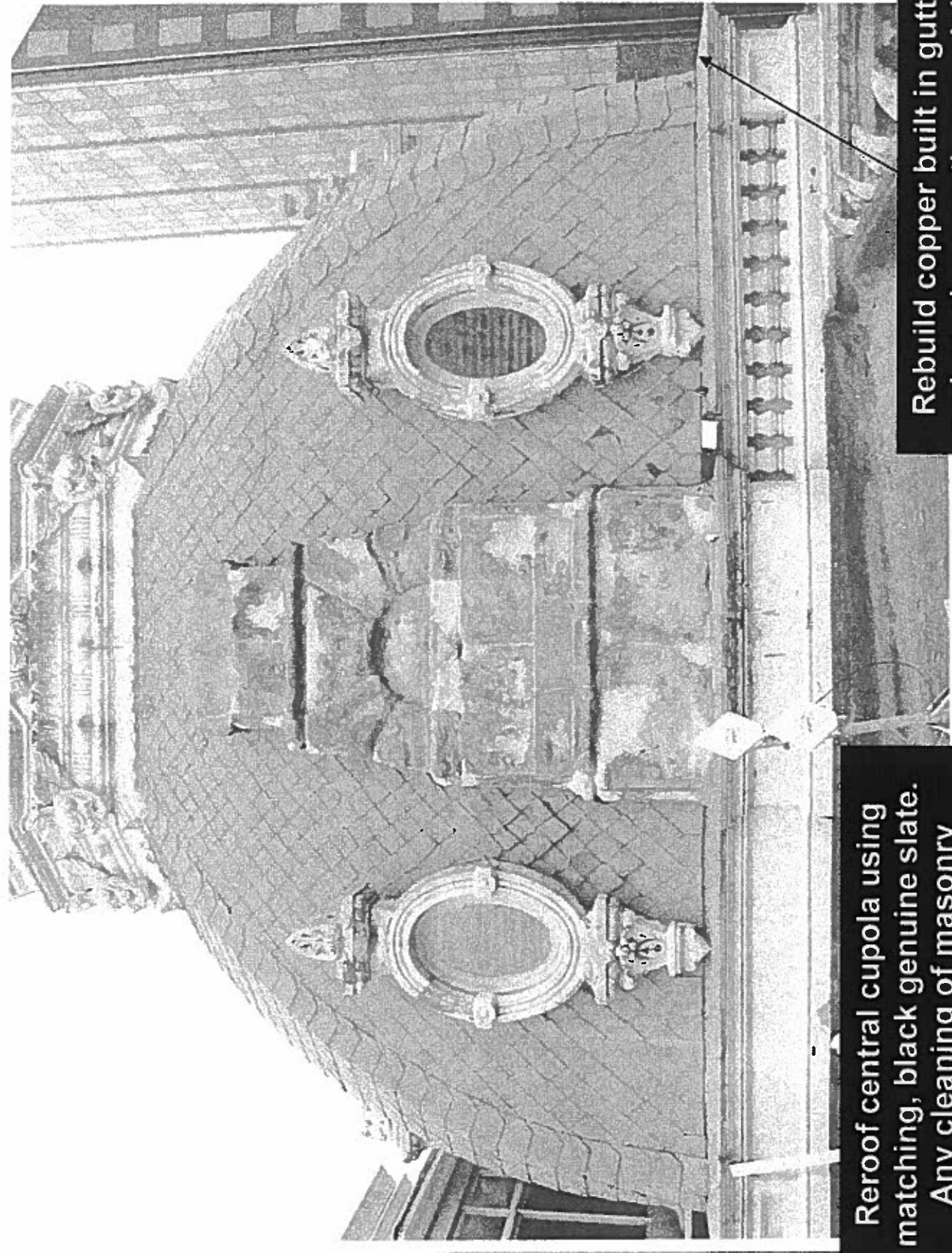
PTS ID 74071 COA, roofing and sheet metal on cupola

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and photos. Any cleaning of masonry surfaces requires a separate Certificate of Appropriateness and permit. All new slate shingles will match the originals exactly in terms of color, size, texture, design and exposure. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mikedcd.org/build](http://www.mikedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation

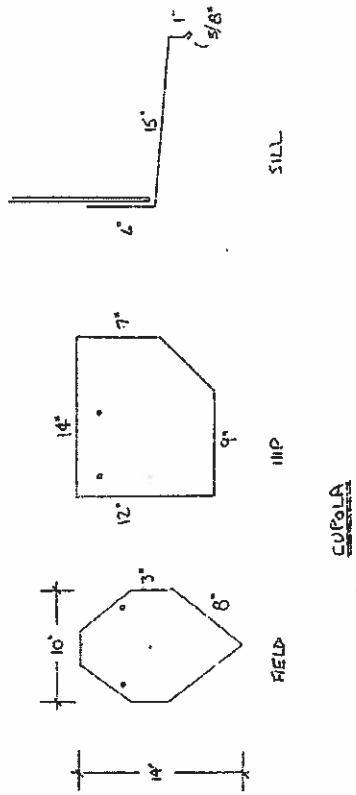
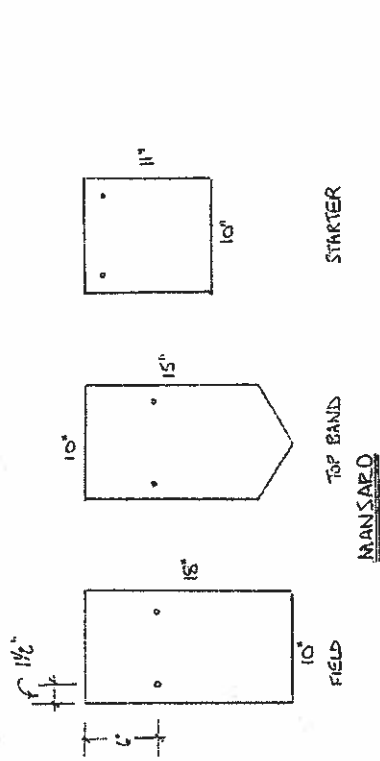
Copies to: Development Center, Ald. Robert Bauman, Contractor Langer Roofing, Inspector Bill Richter (286-2518)



Reroof central cupola using matching, black genuine slate. Any cleaning of masonry requires separate COA.

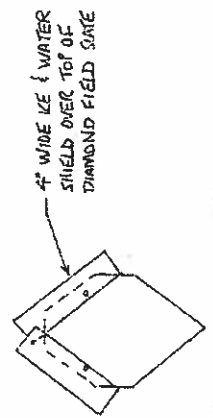
Rebuild copper built in gutter and cornice exactly per original on front of cupola.

Designs of slates needed for  
re roof.



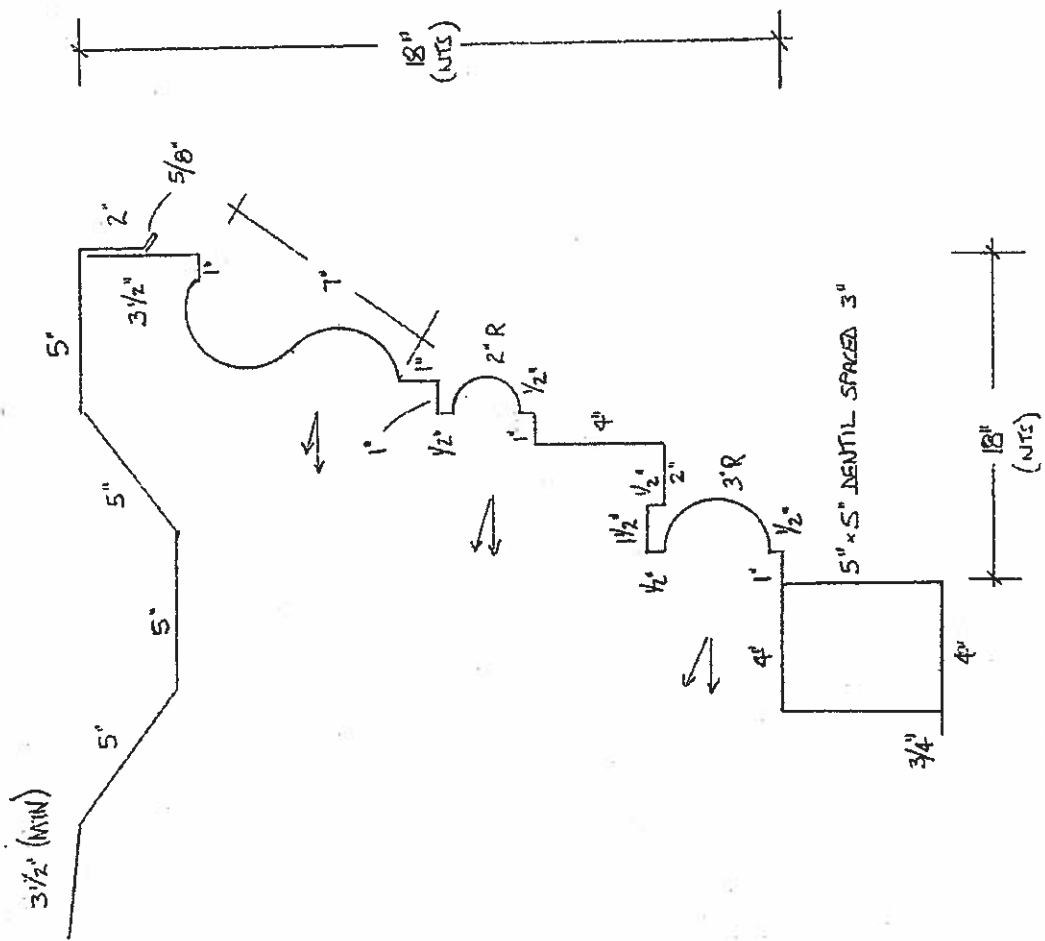
NOTE: STARTER AND FIRST COURSE ON CUPOLA IS SAME AS MANSARD

SLATE CATALOG



CUPOLA FIELD APPLICATION

Design of built-in gutter  
and copper cornice



SOUTH & EAST CORNICE

SHEET METAL GUTTER, CORNICE AND DENTIL



Legislation Details (With Text)

**File #:** 110424      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for exterior renovations at 800 N. Marshall Street for ESG Properties, LLC.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110424  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for exterior renovations at 800 N. Marshall Street for ESG Properties, LLC.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Milo P. Jewett House

**ADDRESS OF PROPERTY:**

800 North Marshall Street

**2. NAME AND ADDRESS OF OWNER:**

Name(s): ESG Properties, LLC

Address: 330 East Kilbourne Avenue

City: Milwaukee

State: WI

ZIP 53202

Email: ELudwig@esmithgroup.com

Telephone number (area code & number) Daytime: 414-273-3421

Evening: \_\_\_\_\_

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): James G. Otto Architect, LLC James Otto

Address: 1374 Saint Augustine Road

City: Hubertus

State: WI

ZIP Code: 53033

Email: jotto@jgottoarchitect.com

Telephone number (area code & number) Daytime: 262-628-4572

Evening: \_\_\_\_\_

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

X Photographs of affected areas & all sides of the building (annotated photos recommended)

X Sketches and Elevation Drawings (~~1 full size and 2 reduced to 11" x 17" or 8 1/4" x 11"~~)

X Material and Design Specifications (see next page)

↑ PER THE PHOTO CONVERSATION

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

\_\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

## James Otto

---

**From:** James Otto [jotto@jgottoarchitect.com]  
**Sent:** Monday, June 27, 2011 2:11 PM  
**To:** 'pjakub@milwaukee.gov'  
**Subject:** FW: 11004.00 ESG Office Attic Addition - Masonry Package COA Application  
**Attachments:** Masonry Package Drawings.pdf; ESG Masonry Package Specification\_6-10-11.pdf; COAApplicationForm - Pointing pdf.pdf; H West.JPG; H South.JPG; H East.JPG; H North.JPG; G West.JPG; G South.JPG; G North.JPG; G East.JPG

---

**From:** James Otto [mailto:jotto@jgottoarchitect.com]  
**Sent:** Friday, June 17, 2011 4:08 PM  
**To:** 'pjakub@milwaukee.gov'  
**Subject:** 11004.00 ESG Office Attic Addition - Masonry Package COA Application

Paul,

Please find attached the masonry restoration COA Application and supporting materials discussed this morning. The application for the other work (wood and window repairs, re-roofing, front stair and side porch) will be submitted separately.

As discussed, I understand the application will be handled as a staff review/approval.

If you have any questions or concerns, please contact me. I will be on vacation next week and the nearest cell and data signal is six miles from the lake, so I may not be able to respond immediately.

Thanks, Jim

■  
*James G. Otto Architect, LLC*

■  
■  
1374 Saint Augustine Road  
Hubertus, Wisconsin 53033  
p 262.628.4572 c 262.247.5867  
[www.jgottoarchitect.com](http://www.jgottoarchitect.com)  
■



■  
**James G. Otto Architect, LLC**  
■

1374 Saint Augustine Road  
Hubertus, Wisconsin 53033  
P 262.628.4572  
www.jgottoarchitect.com  
■

## Transmittal

|                     |                                  |
|---------------------|----------------------------------|
| <b>Date</b>         | June 27, 2011                    |
| <b>To</b>           | <b>Mr. Paul Jakubovich</b>       |
|                     | Historic Preservation Commission |
|                     | City Clerk's Office              |
|                     | 200 East Wells Street, Room B-4  |
|                     | Milwaukee, WI 53202              |
| <b>Fax No.</b>      | <b>Phone No.</b>                 |
| <b>Project No.</b>  | 11004.00                         |
| <b>Project Name</b> | ESG Office Restoration           |

**Sent Via**       Mail    Courier    Fax    **No. of pages including this page**

| <b>Copies</b> | <b>Dated</b> | <b>Description</b>  |
|---------------|--------------|---|
| 2 Sets        | 6/10/2011    | 11 x 17 size drawings   |
| 1 EA          | 6/10/2011    | Specifications Sections   |
| 1 EA          |              | Photographs of the exterior elevations of the House and Garage, 8 total |
| 1 EA          | 6/17/2011    | COA Application Form  |
| 1 EA          |              | CD with electronic files of the above submittal items                   |
| 1 EA          |              | Email (6/17/2011 and 6/27/2011)   |

Paul,

Please call if you have any questions or concerns.

---

**From** James G. Otto, AIA, NCARB, Principal

**Copied**

































# EVERETT SMITH GROUP, LTD.

PROJECT  
**Milwaukee, Wisconsin**

**Masonry Restoration**

**James G. Otto**  
**Architect, LLC**  
AIA, NCARB

1374 St. Augustine Road

Hubertus, Wisconsin 53033

P 262.628.4572

**EVERETT SMITH GROUP,  
LTD.**

**EXTERIOR REPAIRS,  
ADDITION &  
REMODELING**

800 North Marshall Street  
Milwaukee, Wisconsin 53202

Owner  
Everett Smith Group, Ltd.

Project No 11004.00

Issued For:

| No. | Description | Date      |
|-----|-------------|-----------|
| 01  | Bidding     | 6-10-2011 |

SEAL

## Architectural

## Structural

## General Contractor

**James G. Otto**  
**AIA, NCARB**

**Pujara, Wirth, Torke, Inc.**

**Beyer Construction**

CONSULTANTS

1374 St. Augustine Road  
Hubertus, Wisconsin 53033  
Ph 262.628.4572

13100 Watertown Plank Road  
Elm Grove Wisconsin 53122  
Ph 262 641-0750  
Fx 262 641-0584

3080 South Calhoun Road  
New Berlin Wisconsin 53151  
Ph 262 789-8040  
Fx 262 789-8055

DRAWINGS

T2.1 Title & Sheet Index  
A2.1 Site/1st Floor Plan  
A2.3 Basement Plan  
A2.4 North & East Elevations  
A2.5 South & West Elevations  
A2.9 Garage Floor & Roof Plan, Elevations

Drawn by JGO  
Checked by jo  
File 11004\_T2.1.dwg

**Title & Sheet Index**

# T2.1



**EVERETT SMITH GROUP,  
LTD.  
EXTERIOR REPAIRS,  
ADDITION &  
REMODELING**

800 North Marshall Street  
Milwaukee, Wisconsin 53202

Owner  
Everett Smith Group, Ltd.

Project No 11004.00

| No. | Description | Date      |
|-----|-------------|-----------|
| 01  | Bidding     | 6-10-2011 |

Drawn by JGO  
Checked By jo  
File 11004A2.1.dwg

**Site/1st Floor Plan**

**A2.1**

**GENERAL NOTES FOR GARAGE MASONRY RESTORATION**

- G4 - POINT EXTERIOR MASONRY MORTAR JOINTS 100% WITH TYPE "M" MORTAR...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS
- G5 - STRIP PAINT COATING(S) FROM EXTERIOR OF EXISTING WALLS
- G6 - PROVIDE SURFACE CONSOLIDATION TREATMENT ON EXTERIOR MASONRY SURFACES AFTER COMPLETION OF ALL MASONRY RESTORATION WORK
- G7 - THROUGH-WALL FLASHING BEHIND COPING STONES AND REPLACEMENT OF GUTTERS & DOWNSPOUT AND ROOF REPAIRS / PATCHING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G8 - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G9 - REPLACEMENT OF EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G10 - FINISH GRADING OF SITE AT PERIMETER OF GARAGE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G11 - NEW PAINT FINISH ON EXTERIOR MASONRY SURFACES WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G12 - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED UNDER SEPARATE CONTRACT
- G13 - REPLACEMENT OF CONCRETE FINING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE

**KEYED NOTES FOR HOUSE GARAGE RESTORATION**

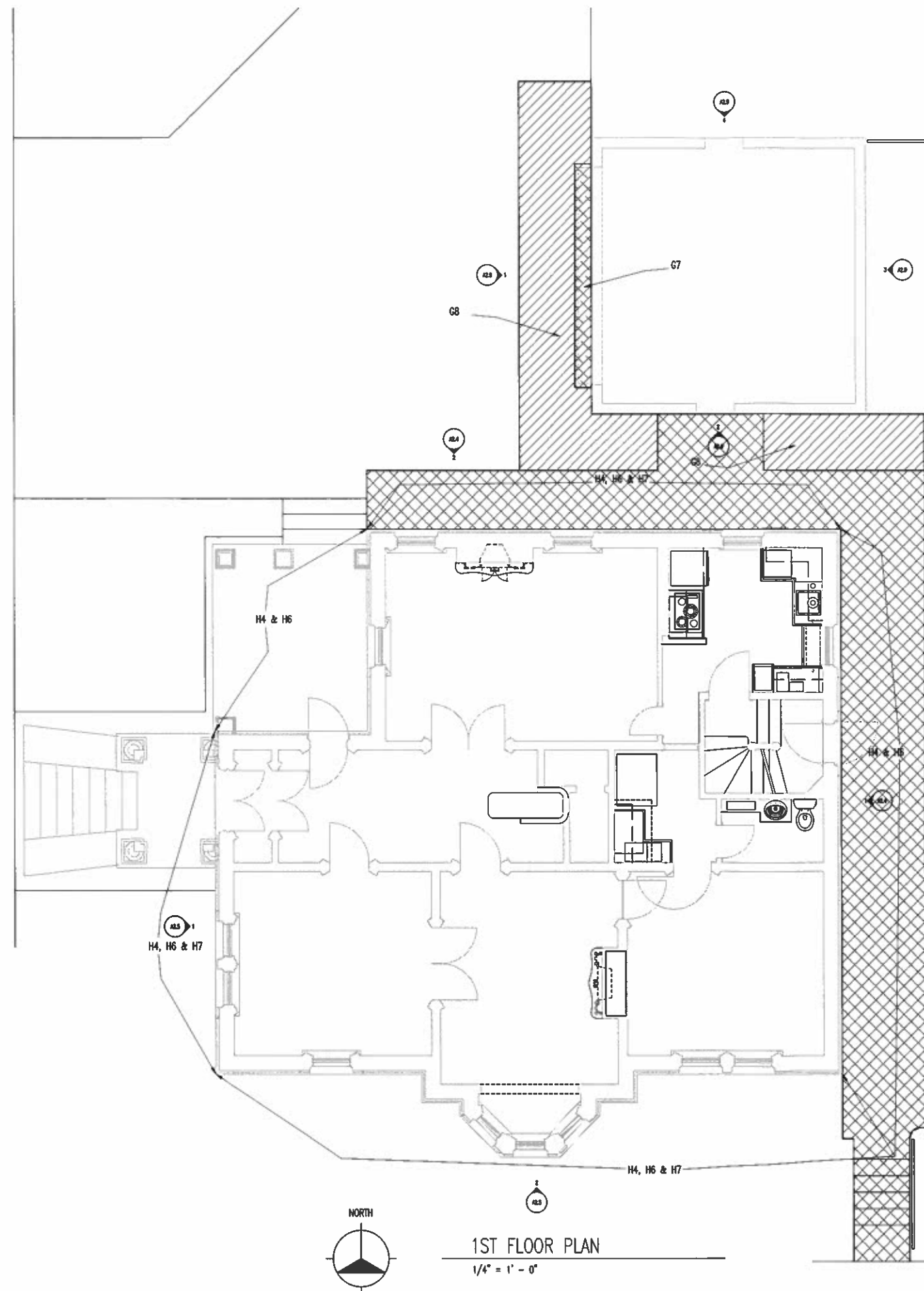
- G1 - REMOVE & SALVAGE COPING STONES FOR REUSE...REINSTALL COPING STONES AFTER INSTALLATION OF NEW LEADCOATED COPPER THROUGH-WALL FLASHING (REINSTALL ORIGINAL SHIPPED STONE AT NORTHWEST CORNER IN ORIGINAL POSITION)
- G2 - REMOVE UPPER TWO COURSES OF NON-MATCHING CMU PARAPET WALL
- G3 - REPLACE DAMAGED EXISTING CMU WITH NEW MATCHING UNITS (CONTRACTOR OPTION - RECLAIMED UNITS FROM OTHER SOURCES OR CAST STONE)...INCLUDE 45 (115, 1M, 1M, 1M) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G4 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...EXCAVATE FOUNDATION WALL FOR INSPECTION...REMOVE AND RECONSTRUCT FOUNDATION WALL WITH NEW CMU TO MATCH EXISTING WALL THICKNESS TO EXTENTS SHOWN...PROVIDE (6 X 24" DONNELLS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION (ASSUME TOP OF FOOTING IS 48" BELOW GARAGE)...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REHABILITATE WITH REZE DRAINAGE GRANULAR FILL
- G5 - REPAIR MINOR CRACK IN CMU...INCLUDE 12 (2S, 4U) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G6 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REHABILITATE WITH REZE DRAINAGE GRANULAR FILL
- G7 - PROVIDE NEW 10" X 16" POURED CONCRETE FOOTING 1/2 - (6 BARS AND 8" CMU FOUNDATION WALL BELOW EXTENDED WOOD FRAMED GARAGE DOOR AREA (ASSUME TOP OF FOOTING IS 48" BELOW GARAGE)...PROVIDE (6 X 24" DONNELLS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION
- G8 - REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- G9 - REMOVE EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR
- G10 - REMOVE & RECONSTRUCT WALL AREA SHOWN...PROVIDE NEW W24 STEEL LINTEL...GROUT CMU SOLD 3 COURSES BELOW LINTEL BEARING...GROUT CMU SOLD BELOW BELOW ROOF BEAM BEARING
- G11 - REMOVE EXISTING WINDOW...ENLARGE MASONRY OPENING FOR NEW 30"x34" DOOR (PANE HEAD 1 COURSE)...PROVIDE NEW LINTEL 2 ANGLES 4"x3-1/2"x5/16"...EXACT WIDTH OF NEW OPENING WILL BE DETERMINED FOLLOWING COMPLETION OF A SEPARATE BID PACKAGE

**GENERAL NOTES FOR HOUSE MASONRY RESTORATION**

- M4 - POINT EXTERIOR BRICK AND STONE MASONRY MORTAR JOINTS 100% WITH LIME PUTTY MORTAR...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT SKYWARD JOINTS...INCLUDE NORTH AND SOUTH CHIMNEYS
- M5 - REPLACE SPALLED EXISTING STONE INTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS...INCLUDE 4 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M6 - STRIP PAINT COATING(S) FROM EXTERIOR OF EXISTING WALLS AND STONE SILLS WHERE EXISTING COATINGS REMAIN...DOWNSPOUTS WILL BE REMOVED UNDER A SEPARATE BID PACKAGE
- M7 - RED COPPER FLASHING RECEIVERS / REGLETTS AND FLASHINGS AND REPLACEMENT OF GUTTERS & DOWNSPOUTS AND ROOF REPAIRS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- M8 - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- M9 - FINISH GRADING OF SITE AT PERIMETER OF HOUSE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- M10 - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED AND REPLACE UNDER SEPARATE CONTRACT
- M11 - REPLACEMENT OF CONCRETE FINING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- M12 - INSPECTION OF EXISTING STORM DRAIN PIPING AND DOWNSPOUT RISERS AND PROVIDING ADDITIONAL DOWNSPOUT RISERS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE

**KEYED NOTES FOR HOUSE MASONRY RESTORATION**

- M1 - NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING
- M2 - ALTERNATE BID "A" - EXTEND CHIMNEY VERTICALLY...REMOVE AND REPLACE EXISTING METAL CHIMNEY CAP...INCLUDE A 32" EXTENSION BASED ON A CORBELED DECORATIVE DESIGN SIMILAR TO DETAIL 3/4A...THE FINAL DESIGN WILL BE DETERMINED AFTER COMPLETION OF A FUTURE BID PACKAGE
- M3 - REMOVE FINING FROM INTERIOR BASEMENT WALL USING CAREFUL HAND METHODS...NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING
- M4 - NEW EXTERIOR DRAIN TILE SYSTEM WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE...COORDINATE FOUNDATION REPAIR WORK WITH SEPARATE BID PACKAGE WORK
- M5 - NEW WINDOW WELL WILL BE PROVIDED UNDER SEPARATE BID PACKAGE
- M6 - ALTERNATE BID "A" - EXCAVATE AS REQUIRED FOR ACCESS TO EXTERIOR BASEMENT WALL...NEUTRALIZE EFFLORESCENCE AND POINT EXTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING...PROVIDE NEW DRAINAGE MAT AT FOUNDATION WALL AND DRAINAGE WITH FINE DRAINAGE GRANULAR FILL...REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- M7 - ALTERNATE BID "A" - REMOVE REMAINING LANDSCAPING IN AREAS TO BE EXCAVATED FOR FOUNDATION REPAIR WORK
- M8 - REMOVE EXISTING FINING FROM LIMESTONE ENTRY STOOP...RETOOL STONE TO RESTORE SURFACE...PROVIDE NEW SEALANT AND BACKER ROD JOINT BETWEEN LIMESTONE AND STOOP PERIMETER
- M9 - INJECTION REPAIR HORIZONTAL CRACK IN BRICK MASONRY UNIT...INCLUDE 70 (4U, 7S, 30E, 23U) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M10 - REPLACE SPALLED AND CRACKED AND DAMAGED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 230 (CRACKED BRICK: 6U, 13S, 60E, 54U) (SPALLED / DAMAGED BRICK: 18U, 28S, 31E, 20U) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M11 - REMOVE METAL ANCHOR...INCLUDE 72 (14U, 8S, 20E, 23U) ANCHORS IN BASE BID...PROVIDE UNIT PRICE PER ANCHOR FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M12 - REPLACE SPALLED EXISTING STONE EXTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS...INCLUDE 10 SQUARE FEET IN BASE BID...PROVIDE UNIT PRICE PER SQUARE FOOT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M13 - RESET EXISTING DELOANED FACE BRICK UNIT
- M14 - INJECTION REPAIR HORIZONTAL CRACK IN LIMESTONE SILL UNIT
- M15 - CLEAN MOLD AND ALGAE FROM BRICK MASONRY
- M16 - CLEAN SOOT AND RUST STAINING FROM BRICK AND LIMESTONE MASONRY
- M17 - NORTH CHIMNEY - PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED...REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 20 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- M18 - SOUTH CHIMNEY - REMOVE OUTER RHYTHM OF BRICK MASONRY AT STEPPED BASE AND RECONSTRUCT WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED...REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 20 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID



**EVERETT SMITH GROUP,  
LTD.**  
**EXTERIOR REPAIRS,  
ADDITION &  
REMODELING**  
800 North Marshall Street  
Milwaukee, Wisconsin 53202

Owner  
Everett Smith Group, Ltd.

Project No 11004.00

| Issued For: |             |           |
|-------------|-------------|-----------|
| No.         | Description | Date      |
| 01          | Bidding     | 6-10-2011 |

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| Drawn by   | .GO           |
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**Basement Floor Plan**

**A2.3**

**GENERAL NOTES FOR GARAGE MASONRY RESTORATION**

- GA - POINT EXTERIOR MASONRY MORTAR JOINTS 100% WITH TYPE "M" MORTAR...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS
- GB - STRIP PAINT COATING(S) FROM EXTERIOR OF EXISTING WALLS
- GC - PROVIDE SURFACE CONSOLIDATION TREATMENT ON EXTERIOR MASONRY SURFACES AFTER COMPLETION OF ALL MASONRY RESTORATION WORK
- GD - THROUGH-WALL FLASHING BENEATH COPING STONES AND REPLACEMENT OF GUTTERS & DOWNSPOUT AND ROOF REPAIRS / PATCHING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- GE - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- GF - REPLACEMENT OF EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- GG - FINISH GRADING OF SITE AT PERIMETER OF GARAGE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- GH - NEW PAINT FINISH ON EXTERIOR MASONRY SURFACES WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- GI - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED UNDER SEPARATE CONTRACT
- GJ - REPLACEMENT OF CONCRETE PAVING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE

**KEYED NOTES FOR HOUSE GARAGE RESTORATION**

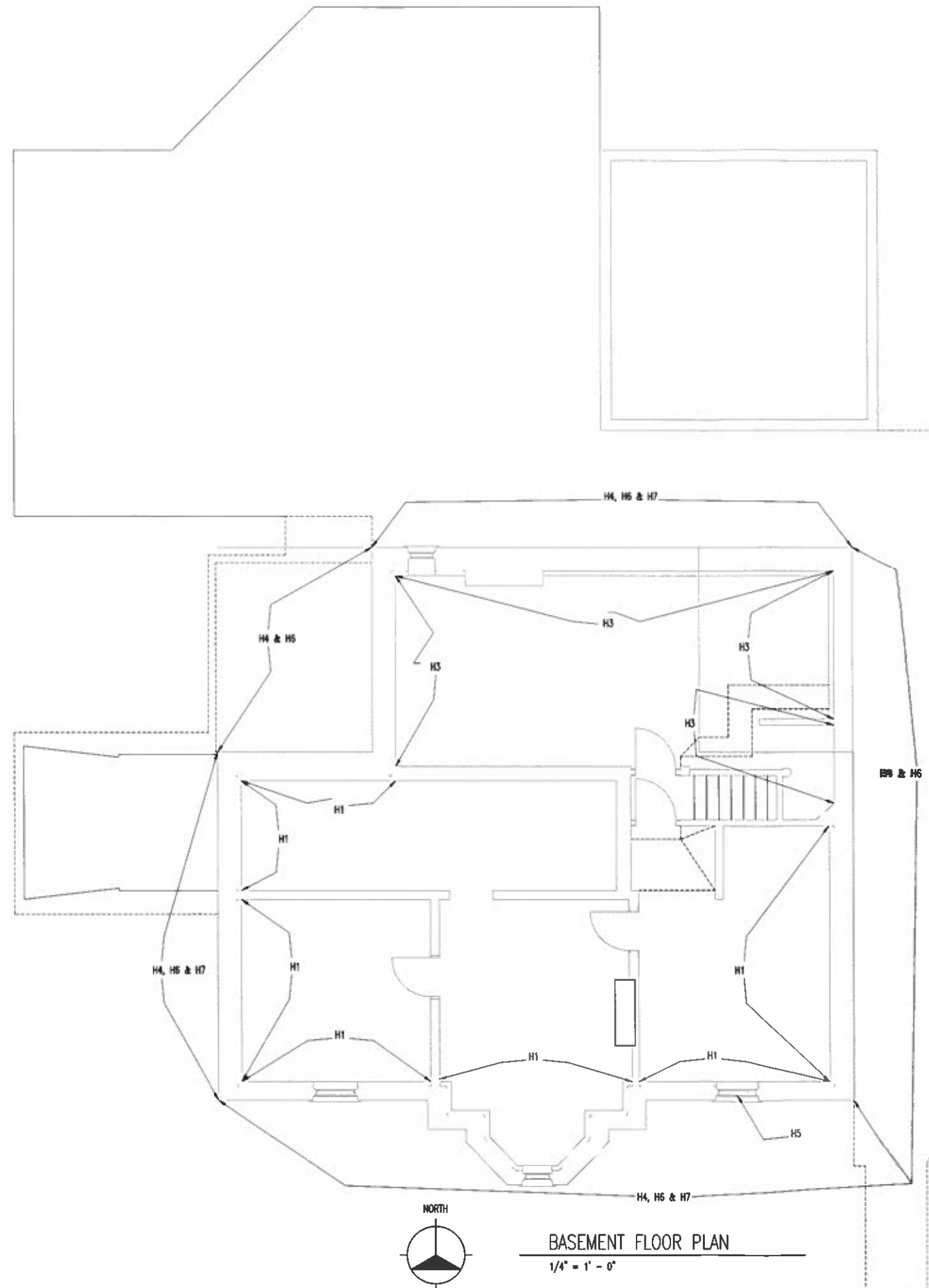
- G1 - REMOVE & SALVAGE COPING STONES FOR REUSE...REINSTALL COPING STONES AFTER INSTALLATION OF NEW LEADCOATED COPPER THROUGH-WALL FLASHING (REINSTALL ORIGINAL SHAPED STONE AT NORTHWEST CORNER IN ORIGINAL POSITION)
- G2 - REMOVE UPPER TWO COURSES OF NON-MATCHING CMU PARAPET WALL
- G3 - REPLACE DAMAGED EXISTING CMU WITH NEW MATCHING UNITS (CONTRACTOR OPTION - RECLAIMED UNITS FROM OTHER SOURCES OR CAST STONE)...INCLUDE 45 (115, 141, 198, 149) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G4 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...EXCAVATE FOUNDATION WALL FOR INSPECTION...REMOVE AND RECONSTRUCT FOUNDATION WALL WITH NEW CMU TO MATCH EXISTING WALL THICKNESS TO EXTENTS SHOWN...PROVIDE (6 X 24" DONNELLS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION (ASSUME TOP OF FOOTING IS 48" BELOW GRADE)...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REMAIN...BACKFILL WITH FREE DRAINING GRANULAR FILL
- G5 - REPAIR HORIZ CRACK IN CMU...INCLUDE 12 (85, 40) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G6 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REMAIN
- G7 - PROVIDE NEW 10" X 16" POURED CONCRETE FOOTING 1/2" - (5 BARS AND 6" CHU FOUNDATION WALL BELOW EXTENDED WOOD FRAMED GARAGE DOOR AREA (ASSUME TOP OF FOOTING IS 48" BELOW GRADE)...PROVIDE (6 X 24" DONNELLS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION
- G8 - REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- G9 - REMOVE EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR
- G10 - REMOVE & RECONSTRUCT WALL AREA SHOWN...PROVIDE NEW W24X4 STEEL LINTEL...GROUT CMU SOLID 3 COURSES BELOW LINTEL BEARING...GROUT CMU SOLID BELOW BELOW ROOF BEAM BEARING
- G11 - REMOVE EXISTING WINDOW...ENLARGE MASONRY OPENING FOR NEW 36"x64" DOOR (BASE HEAD 1 COURSE)...PROVIDE NEW LINTEL 2 ANGLES 4"x3-1/2"x1/4" EXACT WIDTH OF NEW OPENING WILL BE DETERMINED FOLLOWING COMPLETION OF A SEPARATE BID PACKAGE

**GENERAL NOTES FOR HOUSE MASONRY RESTORATION**

- HA - POINT EXTERIOR BRICK AND STONE MASONRY MORTAR JOINTS 100% WITH LINE PUTTY MORTAR...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS...INCLUDE NORTH AND SOUTH CHIMNEYS
- HB - REPLACE SPALLED EXISTING STONE EXTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS...INCLUDE 4 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- HC - STRIP PAINT COATING(S) FROM EXTERIOR OF EXISTING WALLS AND STONE SILLS WHERE EXISTING COATINGS REMAIN...DOWNSPOUTS WILL BE REMOVED UNDER A SEPARATE BID PACKAGE
- HD - RED COPPER FLASHING RECEIVERS / REGLETS AND FLASHINGS AND REPLACEMENT OF GUTTERS & DOWNSPOUTS AND ROOF REPAIRS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- HE - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- HF - FINISH GRADING OF SITE AT PERIMETER OF HOUSE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- HG - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED AND REPLACE UNDER SEPARATE CONTRACT
- HH - REPLACEMENT OF CONCRETE PAVING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- HI - INSPECTION OF EXISTING STORM DRAIN PIPING AND DOWNSPOUT RISERS AND PROMING ADDITIONAL DOWNSPOUT RISERS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE

**KEYED NOTES FOR HOUSE MASONRY RESTORATION**

- H1 - NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LINE PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING
- H2 - ALTERNATE BID "B" - EXTEND CHIMNEY VERTICALLY...REMOVE AND REPLACE EXISTING METAL CHIMNEY CAP...INCLUDE A 32" EXTENSION BASED ON A COBBLED DECORATIVE DESIGN SIMILAR TO DETAIL 3/A2.4...THE FINAL DESIGN WILL BE DETERMINED AFTER COMPLETION OF A FUTURE BID PACKAGE
- H3 - REMOVE PAVING FROM INTERIOR BASEMENT WALL USING CAREFUL HAND METHODS...NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LINE PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING
- H4 - NEW EXTERIOR DRAIN TILE SYSTEM WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE...COORDINATE FOUNDATION REPAIR WORK WITH SEPARATE BID PACKAGE WORK
- H5 - NEW WINDOW WELL WILL BE PROVIDED UNDER SEPARATE BID PACKAGE
- H6 - ALTERNATE BID "A" - EXCAVATE AS REQUIRED FOR ACCESS TO EXTERIOR BASEMENT WALL...NEUTRALIZE EFFLORESCENCE AND POINT EXTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN 100% WITH LINE PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING...PROVIDE NEW DRAINAGE MAT AT FOUNDATION WALL AND BACKFILL WITH FREE DRAINING GRANULAR FILL...REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- H7 - ALTERNATE BID "X" - REMOVE REMAINING LANDSCAPING IN AREAS TO BE EXCAVATED FOR FOUNDATION REPAIR WORK
- H8 - REMOVE EXISTING PAVING FROM LIMESTONE ENTRY STOOP...RECYCLE STONE TO RESTORE SURFACE...PROVIDE NEW SEALANT AND BACKER ROD JOINT BETWEEN LIMESTONE AND STOOP PERIMETER
- H9 - INJECTION REPAIR HORIZ CRACK IN BRICK MASONRY UNIT...INCLUDE 70 (40, 75, 306, 230) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H10 - REPLACE SPALLED AND CRACKED AND DAMAGED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 230 (CRACKED BRICK: 60, 135, 806, 540) (SPALLED / DAMAGED BRICK: 180, 295, 316, 280) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H11 - REMOVE METAL ANCHOR...INCLUDE 72 (40, 85, 296, 220) ANCHORS IN BASE BID...PROVIDE UNIT PRICE PER ANCHOR FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H12 - REPLACE SPALLED EXISTING STONE EXTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS...INCLUDE 10 SQUARE FEET IN BASE BID...PROVIDE UNIT PRICE PER SQUARE FOOT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H13 - RESET EXISTING DISLOADED FACE BRICK UNIT
- H14 - INJECTION REPAIR HORIZ CRACK IN LIMESTONE SILL UNIT
- H15 - CLEAN MOLD AND ALGAE FROM BRICK MASONRY
- H16 - CLEAN SOOT AND RUST STAINING FROM BRICK AND LIMESTONE MASONRY
- H17 - NORTH CHIMNEY - PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED...REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 20 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H18 - SOUTH CHIMNEY - REMOVE OUTER RIVET OF BRICK MASONRY AT STEPPED BASE AND RECONSTRUCT WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED...REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES...INCLUDE 20 UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID



6  
3'  
1-1/2"  
1"  
3/4"  
1/2"  
1/4"

**James G. Otto  
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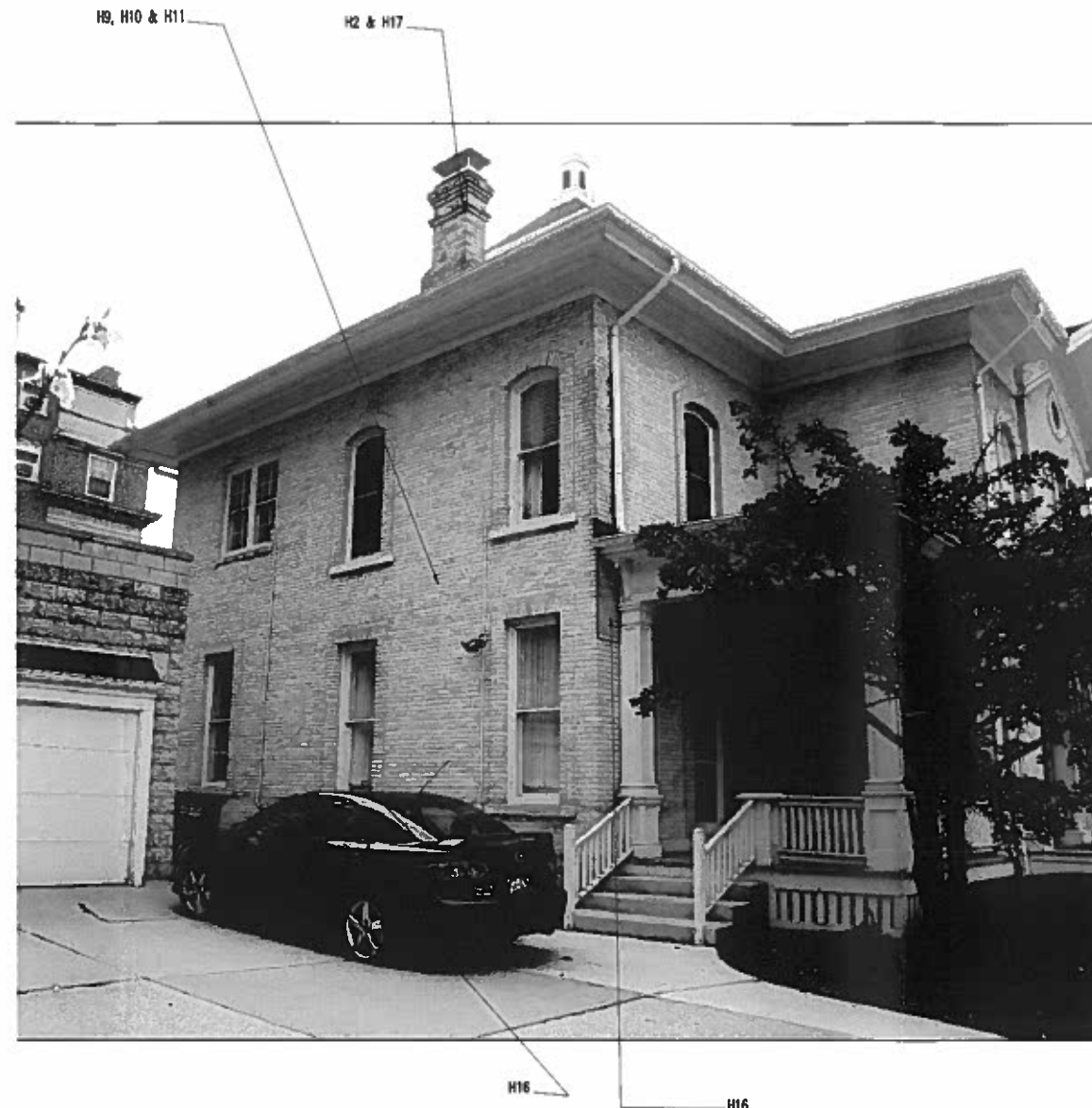
**EVERETT SMITH GROUP,  
LTD.**  
**EXTERIOR REPAIRS,  
ADDITION &  
REMODELING**

800 North Marshall Street  
Milwaukee, Wisconsin 53202

Owner  
Everett Smith Group, Ltd.

Project No 11004.00

Issued For:  
No. Description Date  
01 Bidding 6-10-2011



1  
A2.4  
**EXISTING EAST ELEVATION OF HOUSE**  
1/4" = 1' - 0" (APPROXIMATE)



3  
A2.4  
**CONCEPTUAL CHIMNEY EXTENSION**  
No Scale

**GENERAL NOTES FOR HOUSE MASONRY RESTORATION**

- HA - POINT EXTERIOR BRICK AND STONE MASONRY MORTAR JOINTS 100% WITH LIME PUTTY MORTAR. PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS. PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT SKYLINE JOINTS. INCLUDE NORTH AND SOUTH CHIMNEYS.
- HB - REPLACE SPALLED EXISTING STONE INTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS. INCLUDE 4 UNITS IN BASE BID. PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- HC - STRIP PAINT COATINGS FROM EXTERIOR OF EXISTING WALLS AND STONE SILLS WHERE EXISTING COATINGS REMAIN. DOWNSPOUTS WILL BE REMOVED UNDER A SEPARATE BID PACKAGE.
- HD - RED COPPER FLASHING RECEIVERS / REGLETTS AND FLASHINGS AND REPLACEMENT OF GUTTERS & DOWNSPOUTS AND ROOF REPAIRS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE.
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- HG - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED AND REPLACE UNDER SEPARATE CONTRACT.
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- HI - INSPECTION OF EXISTING STORM DRAIN PIPING AND DOWNSPOUT RISERS AND PROVIDING ADDITIONAL DOWNSPOUT RISERS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE.

2  
A2.4  
**EXISTING NORTH ELEVATION OF HOUSE**  
1/4" = 1' - 0" (APPROXIMATE)

**KEYED NOTES FOR HOUSE MASONRY RESTORATION**

- H1 - NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN TOOK WITH LIME PUTTY MORTAR. PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING.
- H2 - ALTERNATE BID "B" - EXTEND CHIMNEY VERTICALLY. REMOVE AND REPLACE EXISTING METAL CHIMNEY CAP. INCLUDE A 32" EXTENSION BASED ON A COORDINATED DECORATIVE DESIGN SIMILAR TO DETAIL 3/A2.4. THE FINAL DESIGN WILL BE DETERMINED AFTER COMPLETION OF A FUTURE BID PACKAGE.
- H3 - REMOVE PARING FROM INTERIOR BASEMENT WALL USING CAREFUL HAND METHODS. NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN TOOK WITH LIME PUTTY MORTAR. PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING.
- H4 - NEW EXTERIOR DRAIN TILE SYSTEM WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE. COORDINATE FOUNDATION REPAIR WORK WITH SEPARATE BID PACKAGE WORK.
- H5 - NEW WINDOW WELL WILL BE PROVIDED UNDER SEPARATE BID PACKAGE.
- H6 - ALTERNATE BID "A" - EXCAVATE AS REQUIRED FOR ACCESS TO EXTERIOR BASEMENT WALLS. NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN TOOK WITH LIME PUTTY MORTAR. PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING. PROVIDE NEW DRAINAGE MAT AT FOUNDATION WALL AND BACKFILL WITH FREE DRAINING GRANULAR FILL. REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION.
- H7 - ALTERNATE BID "A" - REMOVE REMAINING LANDSCAPING IN AREAS TO BE EXCAVATED FOR FOUNDATION REPAIR WORK.
- H8 - REMOVE EXISTING PARING FROM LIMESTONE ENTRY STOOP. SETTLE STONE TO RESTORE SURFACE. PROVIDE NEW SEALANT AND BACKER ROD JOINT BETWEEN LIMESTONE AND STOOP PERIMETER.
- H9 - INJECTION REPAIR HORIZONTAL CRACK IN BRICK MASONRY UNIT. INCLUDE 70 (40, 75, 300, 230) UNITS IN BASE BID. PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- H10 - REPLACE SPALLED AND CRACKED AND DAMAGED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES. INCLUDE 230 (CRACKED BRICK: 40, 135, 600, 540) (SPALLED / DAMAGED BRICK: 180, 295, 310, 280) UNITS IN BASE BID. PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- H11 - REMOVE METAL ANCHOR. INCLUDE 72 (140, 85, 200, 220) ANCHORS IN BASE BID. PROVIDE UNIT PRICE PER ANCHOR FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- H12 - REPLACE SPALLED EXISTING STONE EXTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS. INCLUDE 10 SQUARE FEET IN BASE BID. PROVIDE UNIT PRICE PER SQUARE FOOT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- H13 - RESET EXISTING DELOADED FACE BRICK UNIT.
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- H15 - CLEAN MOLD AND ALGAE FROM BRICK MASONRY.
- H16 - CLEAN SOOT AND RUST STAINING FROM BRICK AND LIMESTONE MASONRY.
- H17 - NORTH CHIMNEY - PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED. REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES. INCLUDE 30 UNITS IN BASE BID. PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID.
- H18 - SOUTH CHIMNEY - REMOVE OUTER RYNE OF BRICK MASONRY AT STEPPED BASE AND RECONSTRUCT WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES. PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED. REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES. INCLUDE 20 UNITS IN BASE BID. PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID.

Drawn by JGO  
Checked by jo  
File 11004A2.4.dwg

**North & East  
Elevations**

**A2.4**





1374 St. Augustine Road

Hubertus, Wisconsin 53033

P 262.628.4572

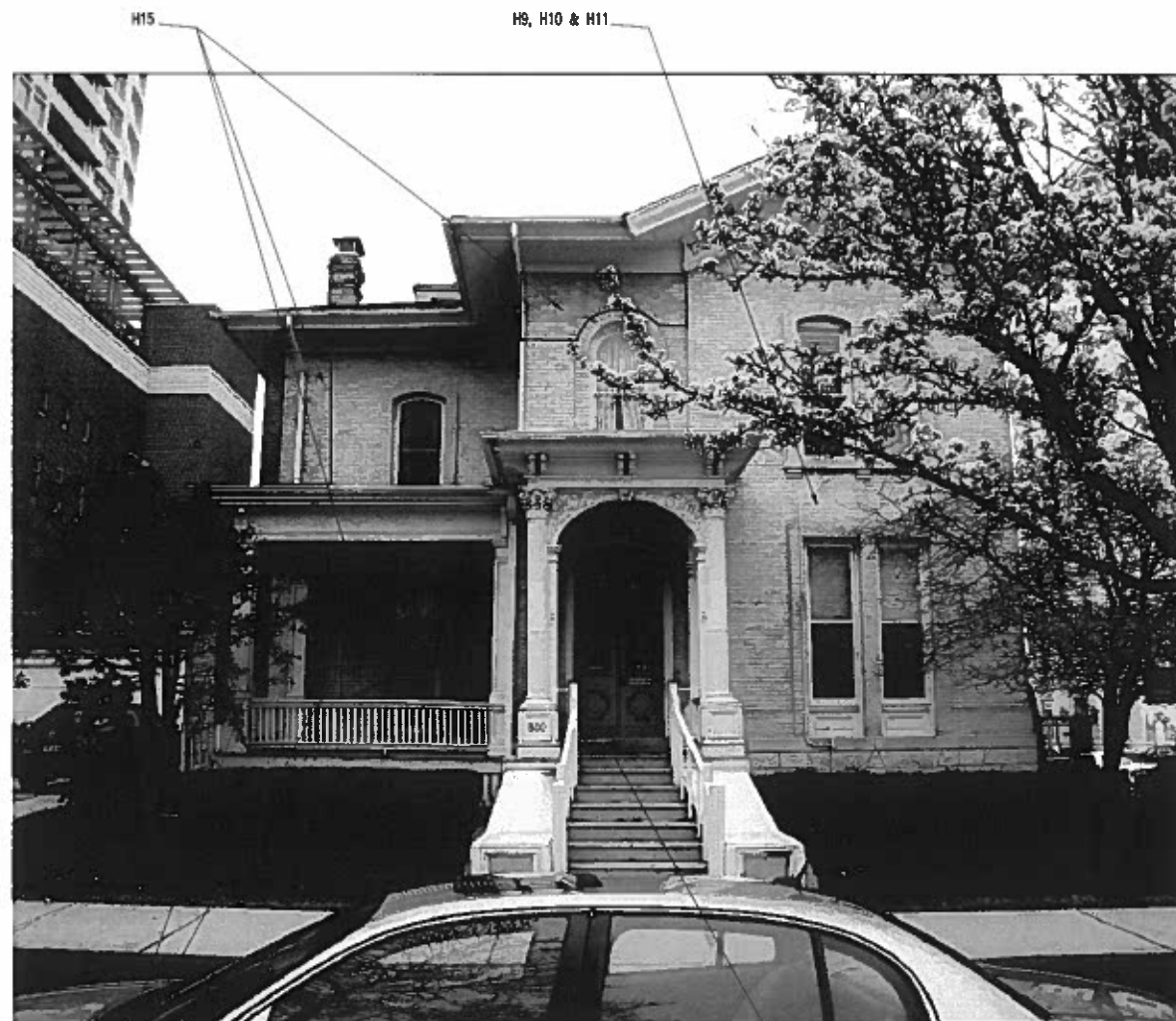
**EVERETT SMITH GROUP,  
LTD.  
EXTERIOR REPAIRS,  
ADDITION &  
REMODELING**

800 North Marshall Street  
Milwaukee, Wisconsin 53202

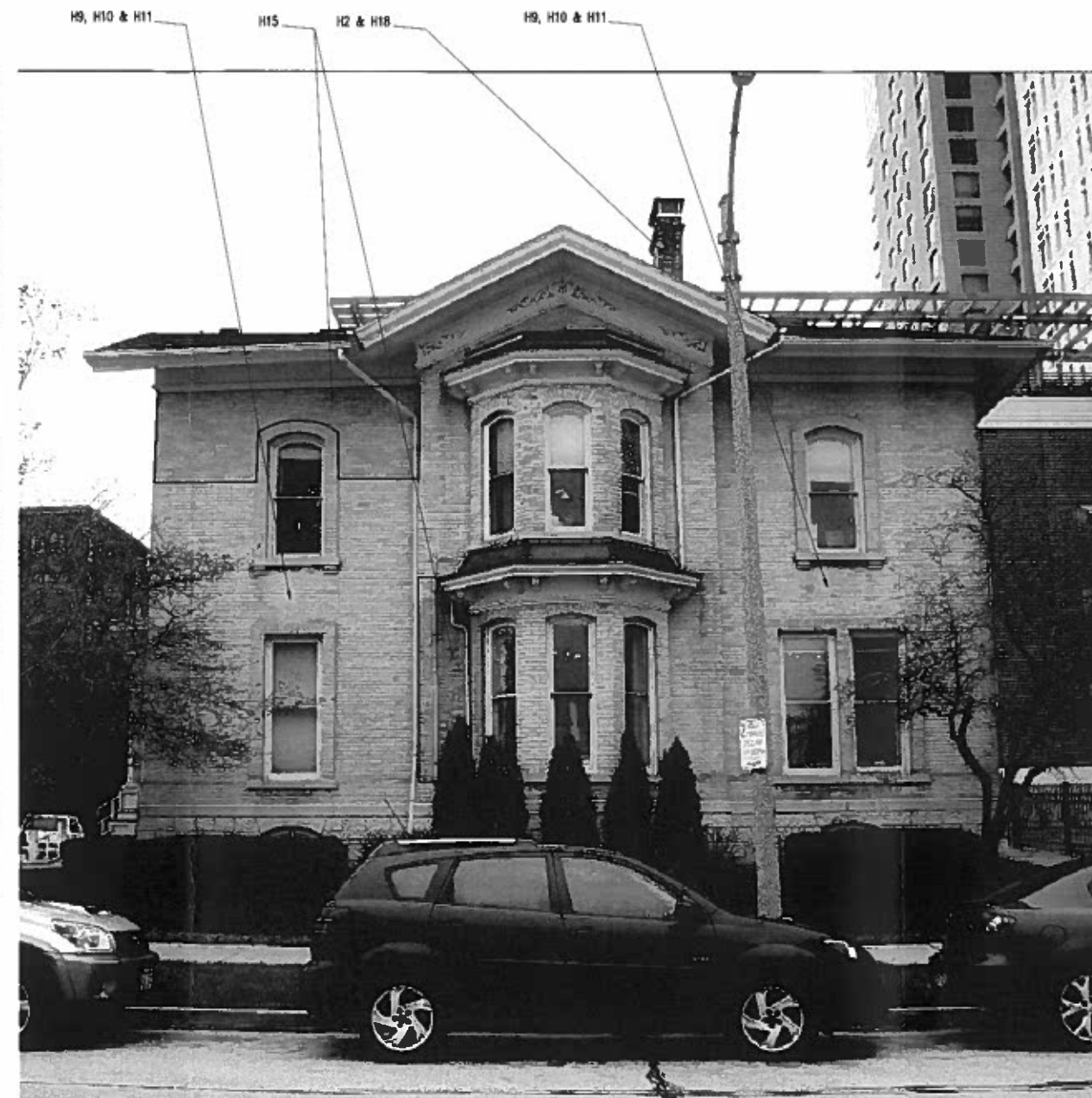
Owner  
Everett Smith Group, Ltd.

Project No 11004.00

| Issued For: |             |           |
|-------------|-------------|-----------|
| No.         | Description | Date      |
| 01          | Bidding     | 6-10-2011 |



1  
A2.5  
EXISTING WEST ELEVATION OF HOUSE  
1/4" = 1' - 0" (APPROXIMATE)



2  
A2.5  
EXISTING SOUTH ELEVATION OF HOUSE  
1/4" = 1' - 0" (APPROXIMATE)

**KEYED NOTES FOR HOUSE MASONRY RESTORATION**

- H1 - NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN LOOK WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING CHIMNEY CAP... INCLUDE A 3" EXTENSION BASED ON A COORDINATED DESIGN SIMILAR TO DETAIL S/A2.4... THE FINAL DESIGN WILL BE DETERMINED AFTER COMPLETION OF A FUTURE BID PACKAGE
- H2 - REMOVE PARING FROM INTERIOR BASEMENT WALL USING CAREFUL HAND METHODS... NEUTRALIZE EFFLORESCENCE AND POINT INTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN LOOK WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING
- H3 - NEW EXTERIOR DRAIN TILE SYSTEM WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE... COORDINATE FOUNDATION REPAIR WORK WITH SEPARATE BID PACKAGE WORK
- H4 - NEW WINDOW WELL WILL BE PROVIDED UNDER SEPARATE BID PACKAGE
- H5 - ALTERNATE BID "X" - EXCAVATE AS REQUIRED FOR ACCESS TO EXTERIOR BASEMENT WALL... NEUTRALIZE EFFLORESCENCE AND POINT EXTERIOR BASEMENT STONE MASONRY MORTAR JOINTS AT WALLS SHOWN LOOK WITH LIME PUTTY MORTAR... PROVIDE TOOLED JOINT PROFILE TO MATCH EXISTING... PROVIDE NEW DRAINAGE MAT AT FOUNDATION WALL AND BACKFILL WITH FREE DRAINING GRANULAR FILL... REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- H6 - ALTERNATE BID "X" - REMOVE REMAINING LANDSCAPING IN AREAS TO BE EXCAVATED FOR FOUNDATION REPAIR WORK
- H7 - REMOVE EXISTING PARING FROM LIMESTONE ENTRY STOOP... RETOOL STONE TO RESTORE SURFACE... PROVIDE NEW SEALANT AND BACKER ROD JOINT BETWEEN LIMESTONE AND STOOP PERIMETER
- H8 - INJECTION REPAIR HARBORLINE CRACK IN BRICK MASONRY UNIT... INCLUDE 70 (40, 75, 300, 230) UNITS IN BASE BID... PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H9 - REPLACE SPALLED AND CRACKED AND DAMAGED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES... INCLUDE 230 (CRACKED BRICK: 60, 135, 600, 540) (SPALLED / DAMAGED BRICK: 180, 295, 310, 280) UNITS IN BASE BID... PROVIDE UNIT PRICE PER UNIT REPLACED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H10 - REMOVE METAL ANCHOR... INCLUDE 72 (140, 85, 200, 220) ANCHORS IN BASE BID... PROVIDE UNIT PRICE PER ANCHOR FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H11 - REPLACE SPALLED EXISTING STONE EXTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS... INCLUDE 10 SQUARE FEET IN BASE BID... PROVIDE UNIT PRICE PER SQUARE FOOT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H12 - RESET EXISTING DISLOADED FACE BRICK UNIT
- H13 - INJECTION REPAIR HARBORLINE CRACK IN LIMESTONE SILL UNIT
- H14 - CLEAN MOLD AND ALGAE FROM BRICK MASONRY
- H15 - CLEAN SOOT AND RUST STAINING FROM BRICK AND LIMESTONE MASONRY
- H16 - NORTH CHIMNEY - PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED... REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES... INCLUDE 20 UNITS IN BASE BID... PROVIDE UNIT PRICE PER UNIT REPLACED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H17 - SOUTH CHIMNEY - REMOVE OUTER WYTHE OF BRICK MASONRY AT STEPPED BASE AND RECONSTRUCT WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES... PREPARE MORTAR JOINTS TO ACCEPT NEW COUNTERFLASHING RECEIVERS AS NOTED / REQUIRED... REPLACE SPALLED AND CRACKED BRICK MASONRY WITH MATCHING RECLAIMED MILWAUKEE CREAM CITY BRICK FROM OTHER SOURCES... INCLUDE 20 UNITS IN BASE BID... PROVIDE UNIT PRICE PER UNIT REPLACED FOR MODIFICATIONS OF QUANTITY IN BASE BID

**GENERAL NOTES FOR HOUSE MASONRY RESTORATION**

- H1 - POINT EXTERIOR BRICK AND STONE MASONRY MORTAR JOINTS LOOK WITH LIME PUTTY MORTAR... PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS... PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT SKYLINE JOINTS... INCLUDE NORTH AND SOUTH CHIMNEYS
- H2 - REPLACE SPALLED EXISTING STONE INTERIOR FOUNDATION WALL UNITS WITH NEW MATCHING UNITS... INCLUDE 4 UNITS IN BASE BID... PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- H3 - STRIP PAINT COATINGS FROM EXTERIOR OF EXISTING WALLS AND STONE SILLS WHERE EXISTING COATINGS REMAIN... DOWNSPOUTS WILL BE REMOVED UNDER A SEPARATE BID PACKAGE
- H4 - RED COPPER FLASHING RECEIVERS / REGLETS AND FLASHINGS AND REPLACEMENT OF GUTTERS & DOWNSPOUTS AND ROOF REPAIRS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- H5 - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- H6 - FRESH GRADING OF SITE AT PERIMETER OF HOUSE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- H7 - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED AND REPLACE UNDER SEPARATE CONTRACT
- H8 - REPLACEMENT OF CONCRETE PAVING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- H9 - INSPECTION OF EXISTING STORM DRAIN PIPING AND DOWNSPOUT RISERS AND PROVIDING ADDITIONAL DOWNSPOUT RISERS WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE

Drawn by JGO  
Checked by jo  
File 11004A2.5.dwg

**South & West Elevations**

**A2.5**

6'  
5'  
1-1/2"  
1"  
3/4"  
1/2"  
1/4"  
1/8"

# James G. Otto Architect, LLC

AIA, NCARB

1374 St. Augustine Road

Hubertus, Wisconsin 53033

P 262.628.4572

## EVERETT SMITH GROUP, LTD. EXTERIOR REPAIRS, ADDITION & REMODELING

800 North Marshall Street  
Milwaukee, Wisconsin 53202

Owner  
Everett Smith Group, Ltd.

Project No 11004.00

| No. | Description | Date      |
|-----|-------------|-----------|
| 01  | Bidding     | 6-10-2011 |

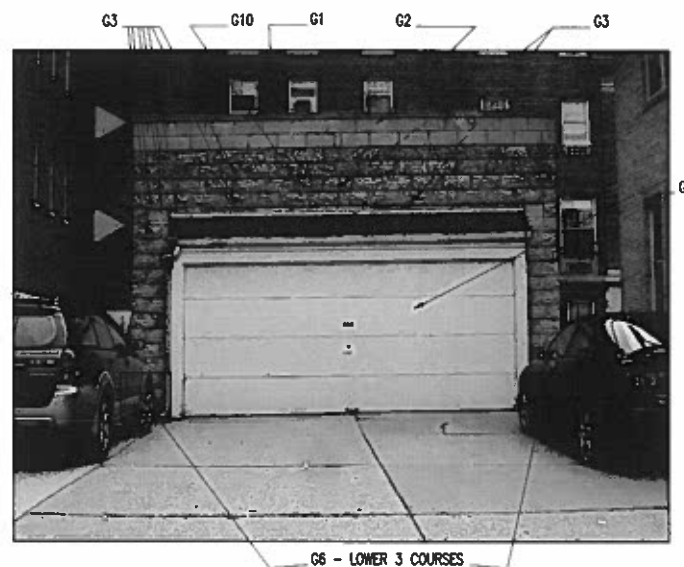
Drawn by JGO  
Checked by jo  
File 1100442.9.dwg

### Garage Floor, Roof Plan & Elevations

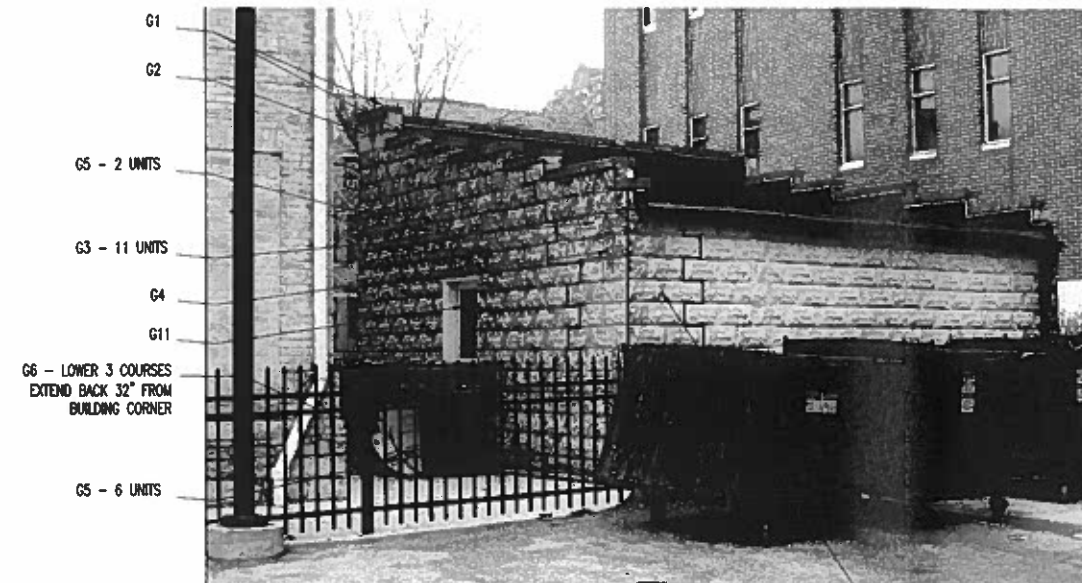
# A2.9

#### GENERAL NOTES FOR GARAGE MASONRY RESTORATION

- G1 - POINT EXTERIOR MASONRY WORKER JOINTS 100R WITH TYPE "M" MORTAR...PROVIDE SLIGHTLY CONCAVE TOOLED JOINT PROFILE AT VERTICAL WALL JOINTS
- G2 - STRIP PAINT COATING(S) FROM EXTERIOR OF EXISTING WALLS
- G3 - PROVIDE SURFACE CONSOLIDATION TREATMENT ON EXTERIOR MASONRY SURFACES AFTER COMPLETION OF ALL MASONRY RESTORATION WORK
- G4 - THROUGH-WALL FLASHING BENEATH COPING STONES AND REPLACEMENT OF GUTTERS & DOWNSPOUT AND ROOF REPAIRS / PATCHING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G5 - RESTORATION OF WOOD WINDOW FRAMES AND SASH WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G6 - REPLACEMENT OF EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G7 - FINISH GRADING OF SITE AT PERIMETER OF GARAGE WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G8 - NEW PAINT FINISH ON EXTERIOR MASONRY SURFACES WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE
- G9 - THE OWNER WILL REMOVE LANDSCAPING TO BE SALVAGED UNDER SEPARATE CONTRACT
- G10 - REPLACEMENT OF CONCRETE PAVING WILL BE PROVIDED UNDER A SEPARATE BID PACKAGE



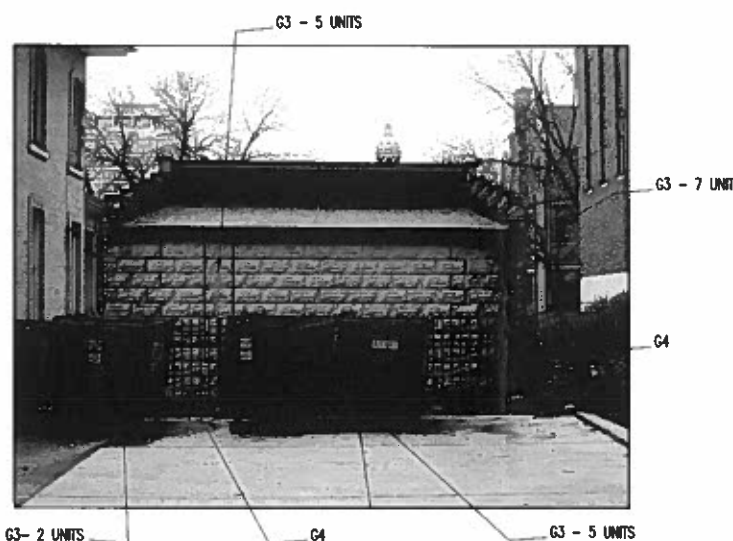
1  
A2.9  
EXISTING WEST ELEVATION OF GARAGE  
1/4" = 1' - 0" (APPROXIMATE)



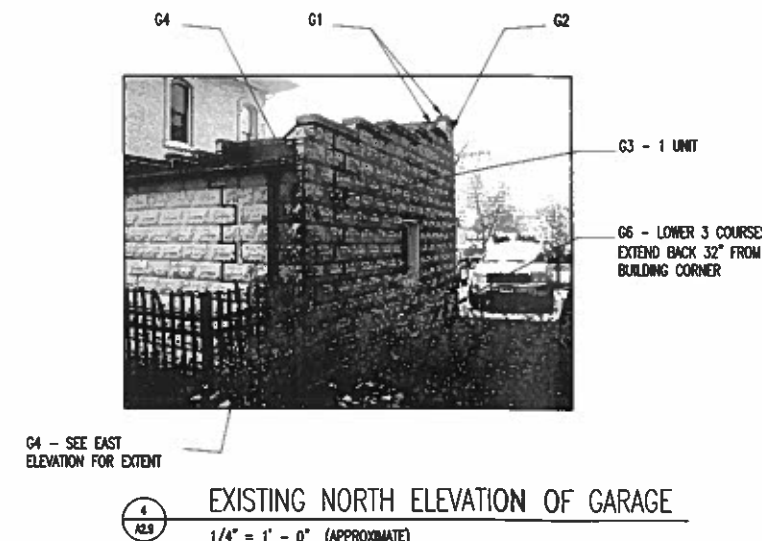
2  
A2.9  
EXISTING SOUTH ELEVATION OF GARAGE  
1/4" = 1' - 0" (APPROXIMATE)  
G4 - SEE EAST ELEVATION FOR EXTENT

#### KEYED NOTES FOR HOUSE GARAGE RESTORATION

- G1 - REMOVE & SALVAGE COPING STONES FOR REUSE...REINSTALL COPING STONES AFTER INSTALLATION OF NEW LEADCOATED COPPER THROUGH-WALL FLASHING (REINSTALL ORIGINAL SHAPED STONE AT NORTHWEST CORNER IN ORIGINAL POSITION)
- G2 - REMOVE UPPER TWO COURSES OF NON-MATCHING CMU PARAPET WALL
- G3 - REPLACE DAMAGED EXISTING CMU WITH NEW MATCHING UNITS (CONTRACTOR OPTION - RECLAIMED UNITS FROM OTHER SOURCES OR CAST STONES)...INCLUDE 45 (11S, 11L, 11R, 11W) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT INSTALLED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G4 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...EXCAVATE FOUNDATION WALL FOR INSPECTION...REMOVE AND RECONSTRUCT FOUNDATION WALL WITH NEW CMU TO MATCH EXISTING WALL THICKNESS TO EXTENTS SHOWN...PROVIDE #5 X 24" BOWELS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION (ASSUME TOP OF FOOTING IS 48" BELOW GRADE)...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REMAIN...BACKFILL WITH FREE DRAINING GRANULAR FILL
- G5 - REPAIR MINOR CRACK IN CHILL...INCLUDE 12 (1S, 4R) UNITS IN BASE BID...PROVIDE UNIT PRICE PER UNIT REPAIRED FOR MODIFICATIONS OF QUANTITY IN BASE BID
- G6 - CAREFULLY DECONSTRUCT CORNER OF GARAGE TO EXTENTS SHOWN...SALVAGE SOUND CMU FOR REINSTALLATION...RECONSTRUCT CORNER TO MATCH EXISTING CONSTRUCTION WITH SALVAGED AND REPLACEMENT MASONRY UNITS...TOOTH RECONSTRUCTED CORNER INTO EXISTING CONSTRUCTION TO REMAIN
- G7 - PROVIDE NEW 10" X 16" POURED CONCRETE FOOTING 1/2 - #5 BARS AND 8" CMU FOUNDATION WALL BELOW EXTENDED WOOD FRAMED GARAGE DOOR AREA (ASSUME TOP OF FOOTING IS 48" BELOW GRADE)...PROVIDE #5 X 24" BOWELS AT 16" OC VERTICAL TO THE NEW WORK TO EXISTING CONSTRUCTION
- G8 - REMOVE PORTION OF CONCRETE SIDEWALK / DRIVEWAY AS REQUIRED FOR EXCAVATION OF FOUNDATION
- G9 - REMOVE EXTENDED WOOD FRAMED GARAGE DOOR AREA AND WOOD LINTEL BOARD AND OVERHEAD DOOR
- G10 - REMOVE & RECONSTRUCT WALL AREA SHOWN...PROVIDE NEW WOOD STEEL LINTEL...GROUT CMU SOLID 3 COURSES BELOW LINTEL BEARING...GROUT CMU SOLID BELOW ROOF BEAM BEARING
- G11 - REMOVE EXISTING WINDOW...ENLARGE MASONRY OPENING FOR NEW 36"x24" DOOR (BASE HEAD 1 COURSE)...PROVIDE NEW LINTEL 2 ANGLES 4"x3-1/2"x15/16"...EXACT WIDTH OF NEW OPENING WILL BE DETERMINED FOLLOWING COMPLETION OF A SEPARATE BID PACKAGE



3  
A2.9  
EXISTING EAST ELEVATION OF GARAGE  
1/4" = 1' - 0" (APPROXIMATE)



4  
A2.9  
EXISTING NORTH ELEVATION OF GARAGE  
1/4" = 1' - 0" (APPROXIMATE)  
G4 - SEE EAST ELEVATION FOR EXTENT

6'  
3'  
1-1/2"  
1"  
3/4"  
1/2"  
1/4"



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 800 N. MARSHALL ST., Milo P. Jewett, Historic House  
**Description of work** Tuckpoint building as needed.  
**Date issued** 7/15/2011 PTS ID 73986 COA, tuckpointing

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All new mortar will match original mortar in terms of color, texture hardness, joint width and joint finish. A sample panel of tuckpointing must be reviewed and approved by HPC staff before general commencement of the work. Please note that mortar that is too hard is prone to premature failure. For more information please see the mortar chapter in *As Good As New*. Care must be taken so the edges of the brick are not damaged or cut during mortar removal process.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. ~~If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.~~

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Bill Richter (286-2518)





Legislation Details (With Text)

**File #:** 110425      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for signage and a new door at 1031 N. Old World Third Street for Tom and Patty LLC.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, SIGNS

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110425  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for signage and a new door at 1031 N. Old World Third Street for Tom and Patty LLC.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Third Street Historic District

**ADDRESS OF PROPERTY:**

1031 N. Old World third Street

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Tom and Patty LLC

Address: 1029 N. Old world Third St.

City: Milwaukee

State: WI

ZIP 53203

Email:

Telephone number (area code & number) Daytime:

Evening:

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): ~~Kate Erd~~ Ryan Bennett

Address: 1031 N. Old World Third

City: Milwaukee

State: WI

ZIP Code: 53203

Email:

Telephone number (area code & number) Daytime: 414-272-0977

Evening:

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

xxxxx Photographs of affected areas & all sides of the building (annotated photos recommended)

xxxxx Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

Install new full view, all wood entry door in place of existing door. New door will match the size of existing door. Remove existing sign above storefront. Install new non-illuminated, raised letter sign on cedar back board. Install new, projecting, non-illuminated sign at corner of building above storefront windows.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
\_\_\_\_\_  
Signature

Ryan Bennett      7/13/11  
Print or type name      Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

**PHONE: (414) 286-5722**

**FAX: (414) 286-3004**

**[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)**

BY E.P. YALLES . 414-803-1549

SUGGESTED STAIN & LDC

\* 2 SIDES

① GOLDEN OAK OR RED OAK STAIN BOARDER

② LETTERING & LINE BOARDER / METALIC Gold

MED. GREEN

MAROON

28" 3/4 COLORS / ONE SHOT EXTERIOR HIGH GLOSS

GLOSS BLACK OR MAROON

SIGN SEALED W/ HIGH GLOSS EXT. VAF

TOTAL COST OF PROJECT INCLUDING TIME & WATER INSTALLATION \$30000

\$100 DOWN TO SECURE MATERIALS

TO REPAINT EXTERIOR EXISTING SIGN ON BUILDING \$400.00

NEW SIGN

USING WOOD SIGN BOARD / OLD ENGLI: LETTERS AS SEEN. BACK COVER OR LETT OF YOUR CHOICE.

3' x 12' PRICE INCLUDE



414-803-1549

Free Estimates

18" 15"

The Final Coat

• Residential & Commercial  
• Custom Painting & Stains



July 7, 2011

Attention:

Historic Preservation Commission/Society  
709 N. 8<sup>th</sup> Street, Milwaukee; WI 53203

c/o: Tom and Kate Erd, The Spice House, 1031 Old World Third St., WI 53203.

Distinguished Members of The Historical Preservation Commission/Society:

My name is Craig Shaub, president and CEO of Dig-it all Sign Company, LLC.; a fully insured, licensed and bonded architectural sign shop of Southeast Wisconsin.

I have prepared and am submitting documents for project review on behalf of Tom and Kate Erd of The Spice House, for the desired Architectural Facade Sign they wish to have for the location at 1031 Old World 3rd Street in Milwaukee.

Above the main entrance my clients would like to have a façade sign containing their business name routed from 1/2" thick high impact acrylic lettering, finished with a baked enamel metallic gold paint. The lettering will be affixed with 1/4" stand-offs onto a base of stained red cedar planks.

On the following pages you will find supporting documents for this proposal containing facade photographs illustrating the sign in a full color digital Sample Proof with dimensions, dimensioned Schematic Diagram accompanied by a list of proposed materials designed for this project.

Please feel free to contact me with any questions or concerns that you might have with regard to this submission or my License and Bond documentation. Thank You!

Best regards,

**Craig R. Shaub**  
President  
**Dig-it all Sign Company, LLC**  
2226 Douglas Avenue  
Racine, WI 53404

Direct:262-498-2613  
[craig.shaub@digitallsigns.com](mailto:craig.shaub@digitallsigns.com)  
[www.digitallsigns.com](http://www.digitallsigns.com)

192"

Rosette

30"

15"



Cedar Plank Base

Acrylic Lettering

6"

Changes

Date

Approved by:

|  |                               |  |   |   |
|--|-------------------------------|--|---|---|
| Client<br>THE SPICE HOUSE  | Scale                         | Sign Specifications<br>30" x 192"W<br>High Impact Acrylic Letters<br>Red Cedar Back Planking<br>15" tall - THE SPICE HOUSE<br>6" tall - established 1957<br>1-1/2" Decorative Rosettes in scallops | Colors<br>CMYK - 4 COLOR PROCESS<br>Lettering > Metallic Gold #26S7<br>Cedar Planks > Dark Mahogany Stain | <p>2226 Douglas Ave., Ste. B<br/>Racine, WI 53402<br/>www.digitaligns.com</p> <p><small>NOTICE: The ideas and designs contained in this original and unpublished drawing are the sole property of Dig-It All Sign Company, LLC, and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.</small></p> |
|  | Date of Rev #<br>06-25-2011 1 |  |   |   |
| Electrical Requirements<br>120 <input type="checkbox"/> 277 <input type="checkbox"/> | Designer<br>CS                | Salesman<br>CS   |   |   |

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISH PAINTED PRODUCT.



Client:

**THE SPICE HOUSE**  
*established 1957*

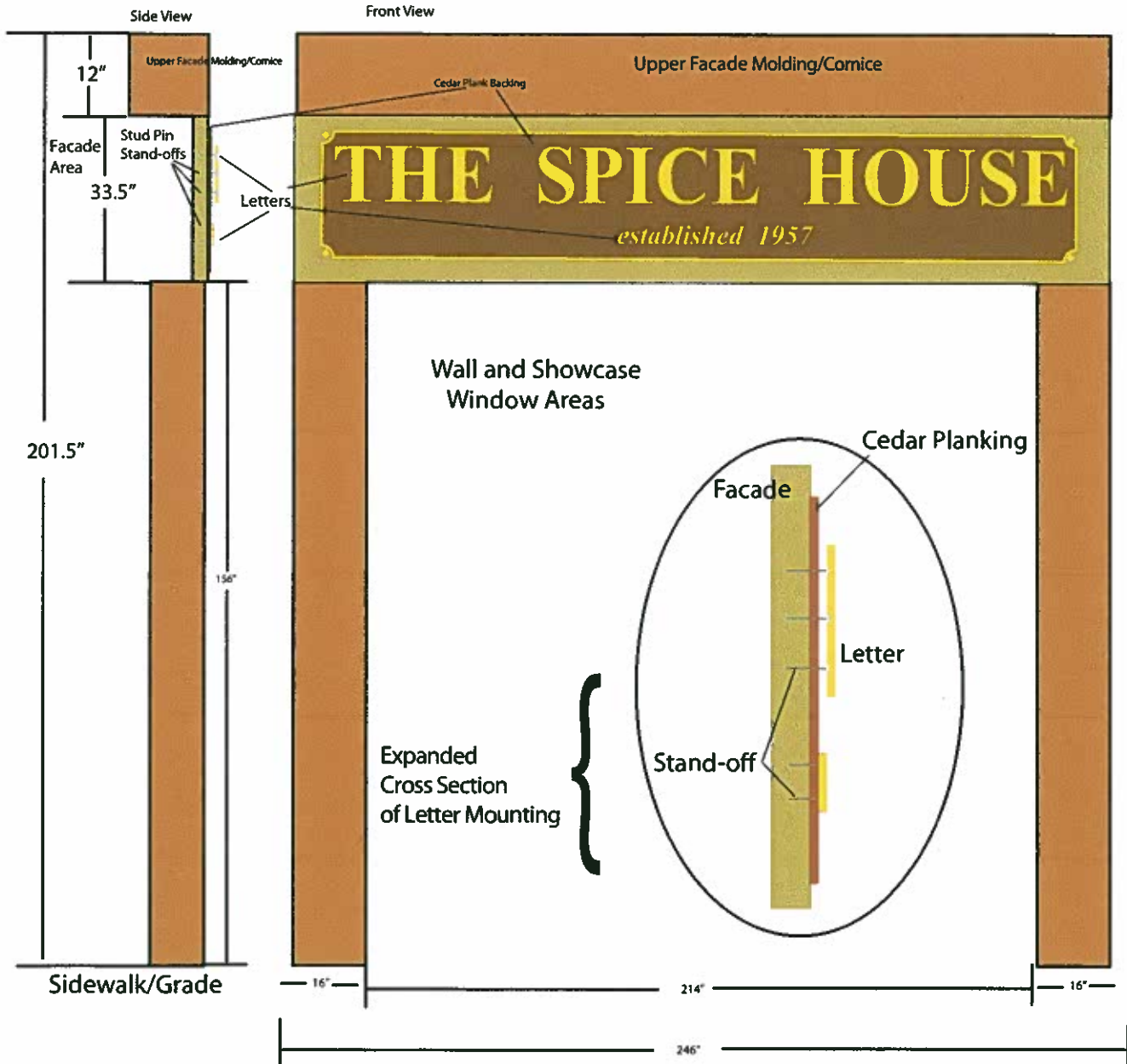
1031 Old World 3rd Street  
Milwaukee, WI 53203

Design and Installation Firm:

**DIG-IT ALL**  
**SIGNS** Providing Architectural and Commercial Signs  
for the Greater Milwaukee Area and SE Wisconsin

2226 Douglas Ave., Ste. B  
Racine, WI 53402

## Schematic Diagram for The Spice House Facade Sign



### Sign Component Specifications:

- Base Planks: 1" x 12" x 16 feet long red cedar plank boards
- Base Finish: Stain and sealer
- Mounting Hardware: 1/4" x 4" long Aluminum Stud Stand-offs with support pad
- Lettering Finish: Metallic Gold Baked Enamel



Client:

# THE SPICE HOUSE

*established 1957*

1031 Old World 3rd Street  
Milwaukee, WI 53203

Design and Installation Firm:



2226 Douglas Ave., Ste. B  
Racine, WI 53402



32"

# THE SPICE HOUSE

*established 1957*

15"

192"

6"





Milw - 3rd St



Old World Third Street  
Milwaukee, Wisconsin

The Spice House  
1031 North Old World 3<sup>rd</sup> Street  
Milwaukee, Wisconsin 53203

## Signage

The current sign mounted to the face of the building will be replaced in addition to one hanging sign to be mounted over the sidewalk on either corner of the building. The hanging sign will have a bracket on top and bottom. The brackets from Sign Bracket Store are more than sufficient to hang the sign. The larger sign will be flush mounted to the building where the current sign is. Dig-It-All Signs will provide a flush mounted wooden sign. The wood used will be Red Cedar Planks and stained with Sherwin-Williams WoodScape, SW 3524 Chestnut. Kid Sign will provide a flush mounted wooden sign. The wood used will be plywood. Because of the nature of this wood it will be painted in a gloss paint to match the color of SW 3524 Chestnut. The second layer will also be painted in a color to match SW3009 Pineneedle. The brand of paint used by Kid Sign will be up to their discretion. We prefer the Dig-It-All Sign because of the durability of the wood and the wood grain appearance it will provide.

Enclosed are detailed proposals and documentation.

Thank you,  
Kate Erd





Old World Third Street  
Milwaukee, Wisconsin

The Spice House  
1031 North Old World 3<sup>rd</sup> Street  
Milwaukee, Wisconsin 53203

### **Install New Entry Door**

After reviewing the two quotes received we would like to have Productive Builders complete the door. The quality of product is much better. They are able to supply an upgraded closure, which has been a constant problem with our existing door. With it's constant opening and the wind in the downtown area, adjustments had to be made much too often and sometimes the door still would not close on its own. Therefore we feel the closure Productive Builder offers is superior and would improve the closure problem.

The new door will be a full view wooden door, new hardware, and new heavy-duty closure. The door will be stained with Sherwin-Williams WoodScape semi-transparent stain SW 3508 Covered Bridge.

Please see the enclosed comparison spread sheet and enclosed documentation for detail.

Telephone (414) 272-0977 ▪ Fax (414) 272-1271 ▪ Toll-Free 1-888-488-097

[www.thespicehouse.com](http://www.thespicehouse.com)

## **Paint/Stain Façade Comparison**

|   | <b>Materials</b> | <b>Labor</b> | <b>Pillar Repair</b> | <b>total</b> |
|---|------------------|--------------|----------------------|--------------|
| <b>Frank's Painting</b>                     | \$322.81         | \$1,000.00   | \$119.63             | \$1,442.44   |
| <b>The Spice House f<br/>Do-It-Yourself</b> | \$322.81         | \$700.00     | \$119.63             | \$1,142.44   |

## **Entry Door**

|  | <b>Door/Jam/Trim</b> | <b>Closure</b> | <b>Hardware</b> | <b>Labor</b> | <b>total</b> |
|--|----------------------|----------------|-----------------|--------------|--------------|
| <b>On the Level Carpentry LLC</b>  | \$1,015.00           | \$160.00       | \$200.00        | \$1,200.00   | \$2,575.00   |
| <b>Productive Builders, Inc.</b><br>(option #1 plus new<br>hardware/closure of option<br>#4 alternate) | \$1,350.00           | \$465.00       | \$400.00        | included     | \$2,215.00   |

**high total**      \$4,017.44  
**low total**      \$3,357.44



**Productive Builders, Inc.**

COMMERCIAL ■ INSTITUTIONAL ■ RESIDENTIAL  
DESIGN / BUILD ■ CONSTRUCTION MANAGEMENT ■ GENERAL CONTRACTORS

June 2, 2011

The Spice House  
Attn: Tom Erd  
1941 Central Street  
Evanston, IL 60201

Job address: 1031 N. Old World Third St.  
Milwaukee, WI 53203

## Door Replacement

We propose to furnish all material, labor and equipment as necessary to complete the door replacement as per the following specifications:

We include

Option #1

- To remove existing entry door
- To remove existing door hardware and reuse on new door
- To furnish and install a Simpson® full-view wood exterior door
- To fit new door into existing door opening
- To furnish and install an ADA aluminum sill and new weather stripping
- To install existing lockset
- To paint door in color selected by owner

Yes

No

Total for option #1: **\$1,350.00**

**One thousand three hundred fifty and 00/100 U.S. dollars**

Option #2

- To use a Simpson® one lite with one panel in the bottom of the door in lieu of the full-view door

Yes

No

Total for option #2: **\$1,410.00**

**One thousand, four hundred ten and 00/100 U.S. dollars**

June 2, 2011  
 The Spice House  
 Door Replacement  
 Page 2

Option #3

- To remove door, existing jamb and trim on the exterior and interior
- To furnish a Western® full-view steel door #234 pre-hung unit with weather stripping and sill included in unit
- To install existing trim, exterior and interior that was removed previously
- To furnish and install new lockset (existing one will not work with a steel door) with an allowance of \$150.00 figured
- To paint new door and jamb in color selected by owner
- To paint exterior and interior trim in color to match existing color

Yes

No

Total for option #3: **\$1,695.00**

**One thousand, six hundred ninety five and 00/100 U.S. dollars**

Option #4

- To furnish and install a new closer (8000 series). This would work for all three door options
- To install this closer on the exterior side of the door voids manufacturer warranty

Yes

No

Total for option #4: **\$265.00**

**Two hundred sixty five and 00/100 U.S. dollars**

Alternate

- To upgrade to a better closer (LCN4040 series)

Yes

No

Add: **\$200.00**

**Two hundred and 00/100 U.S. dollars**

Payments to be made as follows:

To be paid in full upon completion of work

Contractor will receive a 1.5% monthly service charge on all past due amounts, plus all costs of collection, including attorneys' fees.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications above involving extra costs will be executed only upon written orders, and will become an extra charge over and above the contract. In the case of mathematical or clerical errors on the contract or change orders, the amount due from the client shall be the original contract amount plus change orders, if any, signed by the contractor and client. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

All workmanship is guaranteed for one year from date of completion of work. All manufacturers' warranties for materials shall be passed on to the owner at time of occupancy.



# FIXED GRILLES & CLEAR DOORGLASS

**201**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**112 Lite 208-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'6"  |    |    |    |    |
| 2'6"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'6"  |    |    |    |    |
| 2'6"  |    |    |    |    |
| 2'6"  |    |    |    |    |

**Full Lite 234-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**112 Lite 401-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**112 Lite 104-CLR**

| Door  | WE | SE |
|-------|----|----|
| 2'8"  |    |    |
| 2'8"  |    |    |
| 2'10" |    |    |
| 2'8"  |    |    |
| 2'8"  |    |    |
| 2'8"  |    |    |

**3/8 Lite 105-CLR**

| Door | TF | SP | WE | SE |
|------|----|----|----|----|
| 2'0" |    |    |    |    |
| 2'0" |    |    |    |    |
| 2'0" |    |    |    |    |
| 2'0" |    |    |    |    |
| 2'0" |    |    |    |    |
| 2'0" |    |    |    |    |

**Center Arch 415**

| Door | WE | SE |
|------|----|----|
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |

**411**

| Door | WE | SE |
|------|----|----|
| 2'0" |    |    |
| 2'0" |    |    |
| 2'0" |    |    |
| 2'0" |    |    |
| 2'0" |    |    |
| 2'0" |    |    |

**422**

| Door | WE | SE |
|------|----|----|
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |
| 2'6" |    |    |

**112 Lite 238-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**Full Oval 251-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**Summit 462-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**464-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**445-CLR**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**1-Panel 470**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**510-CLR**

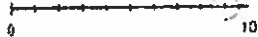
| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

**Segment Head 410**

| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

# RAIN GLASS

Privacy Rating | 9



| Door  | TF | SP | WE | SE |
|-------|----|----|----|----|
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'10" |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |
| 2'8"  |    |    |    |    |

# Simpson®

Door Company

Print



**7501**

---

7501

**Series:** Stain Grade

**Type:** Exterior French & Sash

**Standard Features**

Available in Any Wood Species

Available in Virtually Any Size

Textured Glass Options

Privacy Rating: 1

**Panels:** 1-7/16" Innerbond

**Moulding:** na

**Glass:** 3/4" Insulated

**Caming:** na

☐ SHRR

Customer Service: 1-800-SIMPSON (746-7766)

Email: [SimpsonCustomerService@brandner.com](mailto:SimpsonCustomerService@brandner.com)



[Print](#)



[SHARE](#)

### Thermal French (I.G.)

7002

Series: Stain Grade

Type: Exterior French & Sash

#### Standard Features

Available in Any Wood Species

Available in Virtually Any Size

Textured Glass Options

Privacy Rating: 1

Panels: na

Moulding: na

Glass: 3/4" Insulated

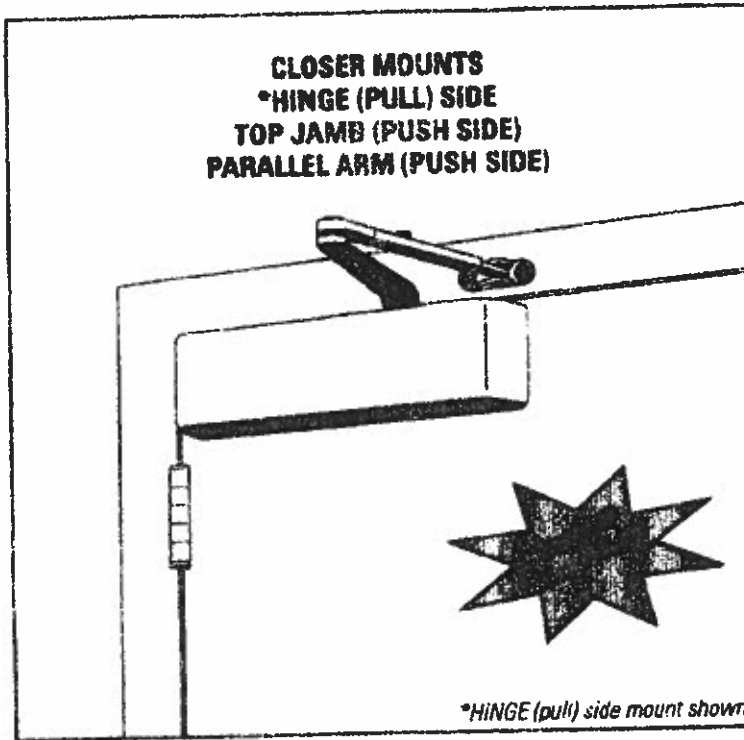
Caming: na

Customer Service: 1-800-SIMPSON (746-7766)

Email: [SimpsonCustomerService@brandner.com](mailto:SimpsonCustomerService@brandner.com)

# LCN 4040 SERIES

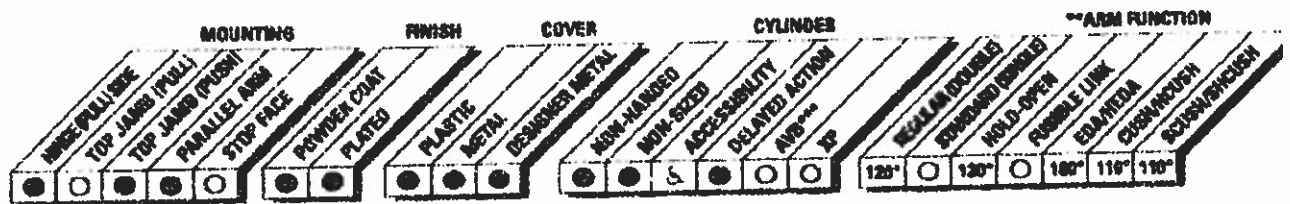
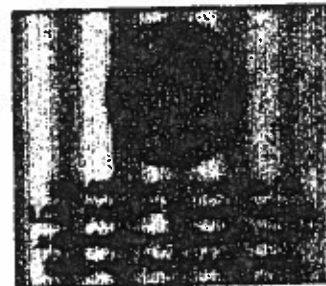
FEATURES



The 4040 SUPER SMOOTHIE® is LCN's most flexible heavy duty closer designed for institutional and other rugged high traffic applications.

- ▶ Ten Million Cycles
- ▶ Cast Iron
- ▶ Forged Steel Arm
- ▶ Double Heat Treated Steel Pinion
- ▶ All Weather Fluid
- ▶ Non-Handed
- ▶ LCN® Fast™ Power Adjust
- ▶ Fast & Accurate Installation
- ▶ UL & cUL Listed

- ▶ Standard 4040 series closer shipped with regular arm, standard plastic cover, and self reaming and tapping screws. See 4040 Series pages 45-47 for options.
- ▶ Non-sized cylinder is adjustable for interior doors to 5'0" and exterior doors to 4'0".
- ▶ Closer mounts hinge side, top jamb, and parallel arm w/PA Shoe on either right or left swinging doors.
- ▶ Closers to meet ADA requirements. See 4040 Series page 48.
- ▶ Standard or optional custom powder coat finish.
- ▶ Optional plated finish on cover, arm, and fasteners.
- ▶ Optional SFI primer for installations in corrosive conditions.
- ▶ Optional designer series metal cover
- ▶ UL and cUL listed for self-closing doors without hold-open.
- ▶ Tested and certified under ANSI Standard A156.4, grade one.



● Available  
 ○ Not available

♿ Closer available with less than 5.0 lbs. opening force on 35" door.  
 \*\*Maximum opening/hold-open point with standard template.  
 \*\*\* Advanced Variable Backcheck

**LCN.**

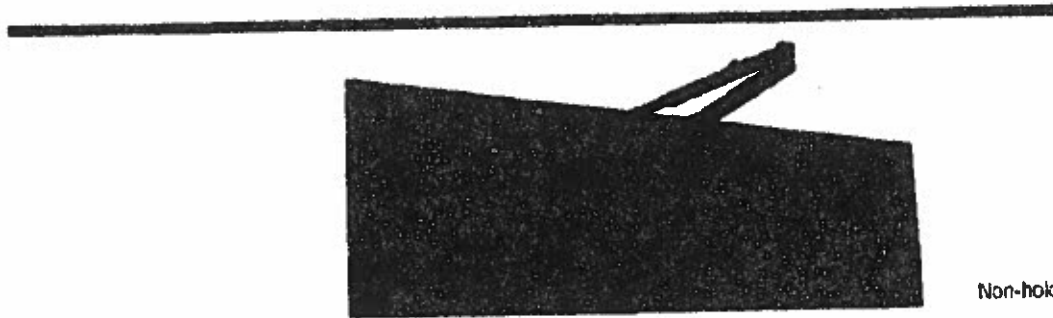
LCN CLOSERS  
 121 W. RAILROAD AVE.  
 P.O. BOX 100  
 PRINCETON, IL USA 61356-0100

PHONE 800-526-2400  
 FAX 800-248-1460  
 www.lcn.ingersollrand.com  
 3/07

## 8000 Series Door Closer



APPLICATIONS



Non-hold open arm shown

### Regular Arm

This is the only pull-side application where a double lever arm is used. It is the most power efficient application for a door closer. Sufficient frame, door and/or ceiling clearance must be considered.

Since the arm assembly projects directly out from the frame, this application may present an aesthetics issue or be prone to vandalism.

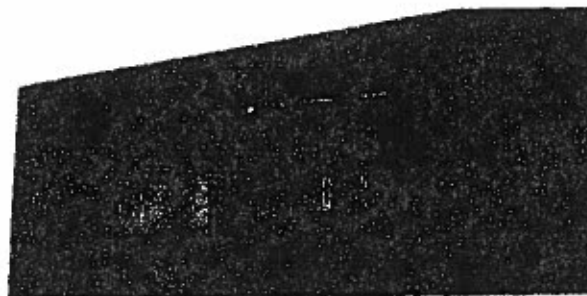


Non-hold open arm shown

### Top Jamb

For efficiency reasons this application provides the best alternative to the regular arm application. There must be sufficient frame face and/or ceiling clearance for this application. It requires a top rail on the door of just 2-1/4" (57mm). This application provides the best door control for doors in exterior walls that swing out of a building.

The entire door closer and arm assembly project from the frame, similar to the regular arm application, where matters of appearance and malicious abuse can be of concern. Consideration must be given to depth of reveal.



Non-hold open arm shown

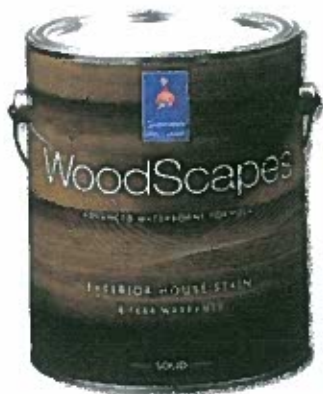
### Parallel Arm

This application provides the most appealing design appearance for a surface-mounted door closer having a double lever arm. This also makes it beneficial in vandalism-prone areas. It is on the push side of the door and the arm assembly extends almost parallel to the door. In the closed position there is very little or no hardware projecting beyond the frame face in most situations.

Due to the geometry of the arm it is approximately 25% less power efficient than a regular arm application. The entire closer and arm assembly are mounted below the frame stop. Top rail clearance dimensions will vary based on the type of cover used. (See pg.15)



**SHERWIN-WILLIAMS.**



## WoodScapes® Exterior Acrylic Solid Color House Stain

WoodScapes is warrantied for twice as long as you would expect a traditional stain to last. And with faster application and better brush load, efficiency and productivity are improved. The thicker formula also ensures a uniform finish with no lap marks and great coverage. WoodScapes is self-priming with easy water cleanup, saving you time and money. It also minimizes the spotty appearance and discoloration problems caused by knots and cedar bleeding, so you can virtually eliminate callbacks.

[Be the first to review this product](#)

### Product Features

- Warrantied Against Fading and Discoloration for 8 Years (See product labels for complete warranty details)
- Better performance than an oil-base with all the convenience of a waterborne
- Exceptional prevention of tannin stains in cedar and redwood
- Long-term color retention and mildew resistance
- Enhances appearance and texture for greater curb appeal
- Penetrates for long-lasting protection and resistance to peeling
- Apply in temperatures as low as 35°F or 2°C
- Professionals choose it for: new or previously-owned homes, condominiums, apartments, hotels and commercial buildings

[View Product Literature](#)

[View WoodScapes® Exterior House Stains](#)

**Find a store near you:  
Call 1-800-4-SHERWIN**

| Product Number | Base           | Size**    | MSDS                 | PDS                 | EDS                 |
|----------------|----------------|-----------|----------------------|---------------------|---------------------|
| A15W00051      | Extra White    | 1 Gallon  | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15T00054      | Ultradeep Base | 1 Gallon  | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15W00053      | Deep Base      | 1 Gallon  | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15W00051      | Extra White    | 5 Gallons | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15T00054      | Ultradeep Base | 5 Gallons | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15W00053      | Deep Base      | 5 Gallons | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |

\* Not all sizes available in all areas.



Cheyenne Red SW 3043



Sequoia SW 3015



Rock Rose SW 3016



Rancho Red SW 3044



Cape Cod Red SW 3020



Russet Brown SW 3045

Samples approximate the actual paint color.

268 10/09

WOODSCAPES SHERWIN-WILLIAMS



Covered Bridge SW 3508



Cedar Bark SW 3511



Spice Chest SW 3513



Baja Beige SW 3509



Woodridge SW 3504



Hawthorne SW 3518

Samples approximate the actual paint color.

277 10/09

WOODSCAPES SHERWIN-WILLIAMS





Old World Third Street  
Milwaukee, Wisconsin

The Spice House  
1031 North Old World 3<sup>rd</sup> Street  
Milwaukee, Wisconsin 53203

### **Prepare and Paint or Stain Facade**

We have had considerable problems getting a painter to give a written estimate let alone do the prep and paint (staining) of the façade due to rainy weather this spring. Therefore I can only submit one estimate from a painters and an estimate for doing the job our self. Target complication date is August 31, 2011.

We would supply both options with the paint/stain needed to complete the job, and the repairs for the base of the front pillar.

To follow is a break down of the cost of paint, additional supplies to be used if we do the job, and the estimated hours if we do the job vs. a professional painter.

- Sherwin-Williams WoodScape Exterior Polyurethane Semi-Transparent House stain. Pillars to be in SW3509 Baja Beige, 1 gallon and Trim to be in SW3508 Covered Bridge, 3 gallons. (see color samples enclosed) Cost \$41.99/gallon total of \$167.96
- Sherwin-Williams WoodScape Exterior Acrylic Solid Color House Stain. Back ground to be in SW3020 Cape Cod Red, 3 gallons. Cost \$41.99/gallon total \$125.97.
- Sherwin-Williams Stripper, 1 gallon. Cost \$24.39/gallon
- Sandpaper, 4 packages, \$1.47/package total \$5.88. Brushes 2, cost \$8.97, total cost \$17.94. Steel wool, 3 packages, cost \$3.98/package, total \$11.94. Total cost of misc. supplies \$35.76.
- Estimated hours to complete prep, paint/stain, not include repair work on pillar base 40 hours. Maximum pay to be paid out \$17.50/hour, total \$700.00

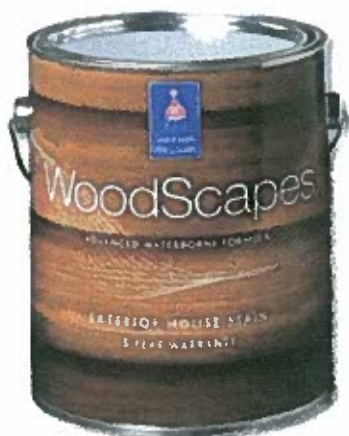
Please see additional documentation for the detail on the color and type of stain, painters proposal and the repair of the pillar base.

Telephone (414) 272-0977   ▪   Fax (414) 272-1271   ▪   Toll-Free 1-888-488-097

[www.thespicehouse.com](http://www.thespicehouse.com)



**SHERWIN-WILLIAMS.**



## WoodScapes® Exterior Polyurethane Semi-Transparent House Stain

WoodScapes is warranted for twice as long as you would expect a traditional stain to last. And with faster application and better brush load, efficiency and productivity are improved. The thicker formula also ensures a uniform finish with no lap marks and great coverage. WoodScapes is self-priming with easy water cleanup, saving you time and money.

[Be the first to review this product](#)

### Product Features

- Warrantied Against Fading and Discoloration for 5 Years (See product labels for complete warranty details)
- Better performance than an oil-base with all the convenience of a waterborne
- Long-term color retention and mildew resistance
- Enhances appearance and texture for greater curb appeal
- Penetrates for long-lasting protection and resistance to peeling
- Apply in temperatures as low as 35°F or 2°C
- Professionals choose it for: new or previously-owned homes, condominiums, apartments, hotels and commercial buildings

[View Product Literature](#)

[View WoodScapes® Exterior House Stains](#)

**Find a store near you:  
Call 1-800-4-SHERWIN**

| Product Number | Base       | Size**    | MSDS                 | PDS                 | EDS                 |
|----------------|------------|-----------|----------------------|---------------------|---------------------|
| A15T00005      | Clear Base | 1 Quart   | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15T00005      | Clear Base | 1 Gallon  | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |
| A15T00005      | Clear Base | 5 Gallons | <a href="#">MSDS</a> | <a href="#">PDS</a> | <a href="#">EDS</a> |

Not all sizes available in all areas.

Not all products available in all areas.

Due to individual printer limitations, colors seen here may not accurately reflect Sherwin-Williams paint colors.

To confirm your color choices, visit your neighborhood Sherwin-Williams store and refer to our in-store color cards.

1-800-4-SHERWIN

[www.sherwin-williams.com](http://www.sherwin-williams.com)



Stripper \$24.39/gal  
Stain \$41.99/gal



Palmetto SW 3038



Chestnut SW 3524



Orchard SW 3036



Banyan Brown SW 3522



Greenbrier SW 3050



Crossroads SW 3521



Shade Tree SW 3037



Ficus SW 3520



Blue Spruce SW 3008



Moss Olive SW 3530



Pineneedle SW 3009



Foliage SW 3535

Samples approximate the actual paint color.

Samples approximate the actual paint color.

273 10/09

278 10/09

WOODSCAPES SHERWIN-WILLIAMS

WOODSCAPES SHERWIN-WILLIAMS

# DIG-IT ALL SIGNS, LLC. & CUSTOM GRAPHICS

Quotation # A-002423-FS  
06/13/2011

Attn: Kate Erd  
The Spice House  
1031 N. Old World Third St.  
Milwaukee WI 53203

**We are pleased to submit the following quote #A-002423-FS:**

**Description:** Manufacture and install a dimensional sign with architectural lettering mounted onto a red cedar plank back plate.  
Copy to read: "THE SPICE HOUSE / established 1957" (Times Bold and Times Bold Italic fonts)

**Size:** 32" x 192" (cedar back plate) ; 187" wide x 27" high overall (lettering) - 15" THE SPICE HOUSE / 6" Established 1957

**Material(s):** Red Cedar planks, Dimensional Letters(acrylic or anodized metal), metallic gold paint, silicone sealant

**Color(s):** Metallic Gold or Gold Anodized Aluminum lettering on dark stained cedar back planking (dark mahogany actual TBD)

**Artwork:** By Dig-it all Signs

**Finishing:** Metallic Gold painted routed border on sign back

|                  | Option 1  | Option 2    |             |              |                 |          |                |
|------------------|-----------|-------------|-------------|--------------|-----------------|----------|----------------|
| <b>Quantity:</b> | Backing   | Anodized    | Acrylic     | Installation | Sub-Total       | Tax 5.6% | Grand Total    |
| <b>Price:</b>    | \$ 750.00 | \$ 2,140.62 | \$ 1,042.16 | \$ 640.00    | \$ 3,530.62 (1) | \$197.72 | (1) \$3,728.34 |
|                  |           |             |             |              | \$ 2,432.16 (2) | \$136.23 | (2) \$2,568.39 |

**Prepress:** Not Applicable

**Proof:** Digital proof submitted for approval. \*Please see Sample Proof document to verify spelling, punctuation and case. We will submit a formal proof document and schematic for the zoning proposal once the sample proof is approved.

**Tooling:** Routed border on sign back and painted metallic gold, stud mounted letters with 1/4" stand-off. and flush mount

**Installation:** Installation of Sign Component by Dig-it all Sign Company.

**Delivery:** FOB

**Note:** Stain color for red cedar back planks must be chosen.

**Terms are:** 50% Down payment upon acceptance, 40% upon mobilization/installation and 10% balance due 30 days after installation and completion, unless pre-arrangements are made, subject to credit approval. Changes to Scope of Supply or installation methods will require additional costs. 1% Discount on Balances paid within 5 days of completion. 1.8% interest accrued monthly to all unpaid balances over 30 days, 21.6% annually. See attached for complete set of terms and conditions of sale. Quotation is valid for 30 days. \_\_\_\_\_Initials

Please review, sign, date and return this proposal to validate this contract and allow us to proceed with your order. Thank you for this opportunity to serve you. We look forward to working with you. Please contact us with any questions.

Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

Purchase Order # \_\_\_\_\_ Quotation submitted by: \_\_\_\_\_  
Craig Shaub



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Home > Architectural Sign Brackets > Architectural Sign Brackets- All > Wall Mount Sign Brackets > Wall Mount Blade Sign Brackets > 29" Twisted Arm Blade Sign Bracket



### 29" Twisted Arm Blade Sign Bracket

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#### Architectural Sign Brackets

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- Wall Mount Sign Brackets
- Single Post Sign Brackets
- Ceiling Mount Sign Brackets
- Street Sign Frames & Brackets
- Sign Hanging Hardware

#### Sign Hardware & Sign Mounts

- Sign Hardware- All
- Wall Mount Sign Hardware
- Post Mount Sign Hardware
- Ceiling Mount Sign Hardware
- Interior Displays & Brackets
- Street Sign Mounting Brackets
- Strap Banding Sign Hardware
- Sign Hanging Hardware

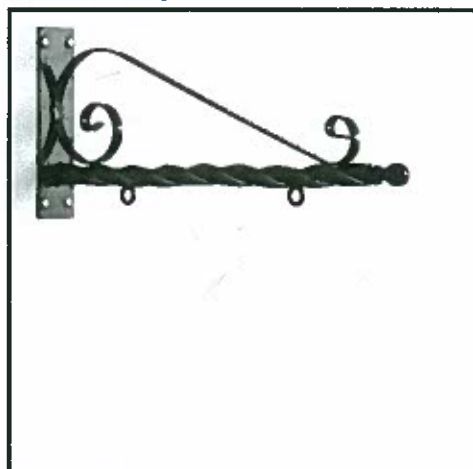
#### Banner Brackets

- Banner Brackets- All
- Wall Mounted Banner Brackets
- Post Mount Banner Brackets
- Banner Bracket Hardware
- Ceiling Mount Banner Brackets

#### Sign & Business Lighting

- Lighting - All
- Gooseneck Lighting
- Flood/Spot Lights
- Sign Lighting- Other
- Barn Lights & Barn Style Sconces

#### Post and Panel



[Click to enlarge](#)



Description    Dimensions

**Description:** The 29" Twisted Arm Blade Sign Bracket is made with a twisted steel shaft and a solid cast iron ball finial. Mounts to any flat post or wall with a heavy duty 3" back plate with four mounting holes. Black Powder Coat Finish

**Overall Width:** 29"

**Suggested Sign Width:** 18"-24"

**Ring Centers:** 14"

**Optional Sign Blank Kit:** One "Classic" sign shape and one pair of sign hangers. (12"H x 22"L x .063 gauge)

Code: M3-TA29

Price: \$64.85

Availability: Usually ships in 2-3 business days.

Dimensions: Backplate: 3" x 12"

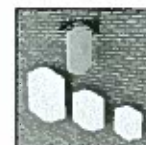
Options:

Bracket Only = \$64.85

Qty:  [Add to Cart](#)

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#### You May Also Like



PVC Sign Blanks



Sign 8 - Black Stainless Steel Sign Bracket Hardware Kit - For Mounting Signs to bracket

Price: \$15.85

#### Customer Product Reviews



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

LIVING WITH HISTORY

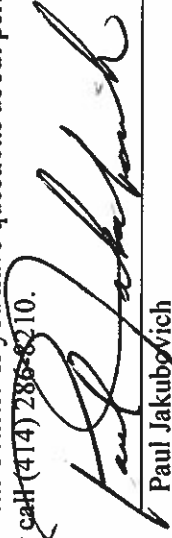
**Property** 1031 N. OLD WORLD THIRD ST., Third Street Historic District, Kate Erd, owner  
**Description of work** Install one new projecting, non-illuminated sign and one new raised letter, non-illuminated sign. Replace existing front door with a new, wood, full view door.  
**Date issued** 7/13/2011 PTS ID 73901 COA, signage and new door

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings and photos.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.



Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Clarence Goyette (286-2540)



PROVIDE WITH FOR THE SIGN... 1111

BY E.P. YATES 414-803-1549

SUGGESTED STAIN → DU

→ 2 SIDES

- ① GOLDEN OAK OR RED OAK STAIN BOARDS
- ② LETTERING & LINE BORDER / METAL Gold
- MED. GREEN
- MAROON

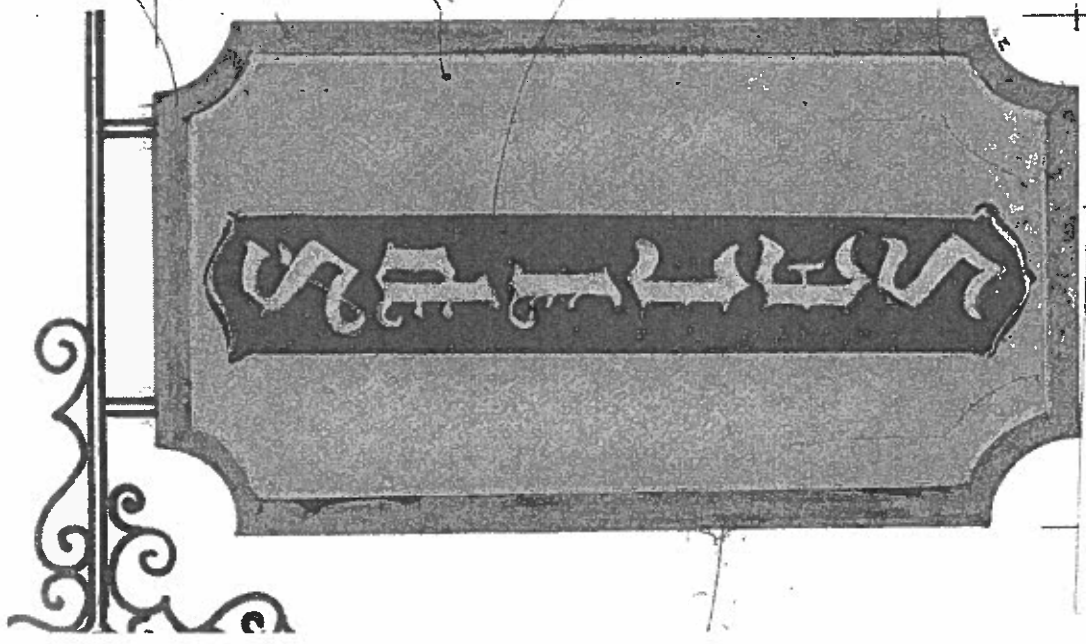
23" 5" COLORS / ONE-SHOT EXTERIOR HIGH GLO

GLOSS BLACK or MAROON SIGN SEALED w/ HIGH GLOSS EXT. VA

TOTAL COST OF PROJECT INCLUDING TIME & MATERIALS \$3000

TO DO DOWN TO SECURE MATERIALS TO REPAIR EXTERIOR EXISTING SIGN ON BUILDING \$400.00

NEW SIGN USING WOOD SIGN BOARDS / OLD ENGLISH LETTERS AS SEEN BACK COVER OR LET OF YOUR CHOICE. 3' x 12' PRICE INCLUDE



Free Estimates 18"

414-803-1549

The Final Coat

Residential & Commercial Custom Painting & Stains

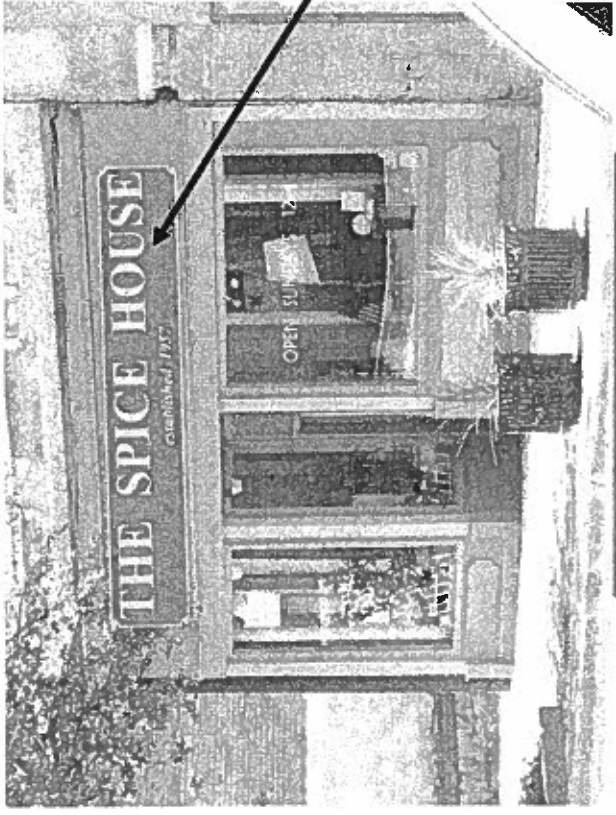
Projecting, non-illuminated sign to be installed at corner of building above storefront windows.





Existing sign to be removed

New full view, all wood door to installed in place of existing door.



New raised letter sign with cedar back board. Projecting sign to be installed at corner of building.

32"  
15"  
6"  
THE SPICE HOUSE  
ESTABLISHED 1987  
192"



Legislation Details (With Text)

**File #:** 110426      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for construction of wood accessible ramp at 2576 N. 4th Street for Savannah Jackson.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110426  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for construction of wood accessible ramp at 2576 N. 4th Street for Savannah Jackson.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Frederick Ehlers Historic House

**ADDRESS OF PROPERTY:**

2564 N. 4th St.

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Savannah Jackson

Address: 2576 N. 4<sup>th</sup> St

City: Milwaukee

State: WI

ZIP 53210

Email:

Telephone number (area code & number) Daytime:

Evening:

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): J.D.M Development

Address: 2743 N. 24<sup>th</sup> Place

City: Milwaukee

State: WI

ZIP Code: 53206

Email: Pritchard.Willie71@yahoo.com

Telephone number (area code & number) Daytime: 4144195777

Evening:

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B.** Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Build a accessible ramp on  
south side of house

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

Willie Pritchard 7/14/2011  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

Savannah Jackson  
2576 N. 4th St.  
Milwaukee, WI  
by Design Trends ADA

# Cover

# C-1

Sheet #:

Sheet Type:

SCALE: n/a



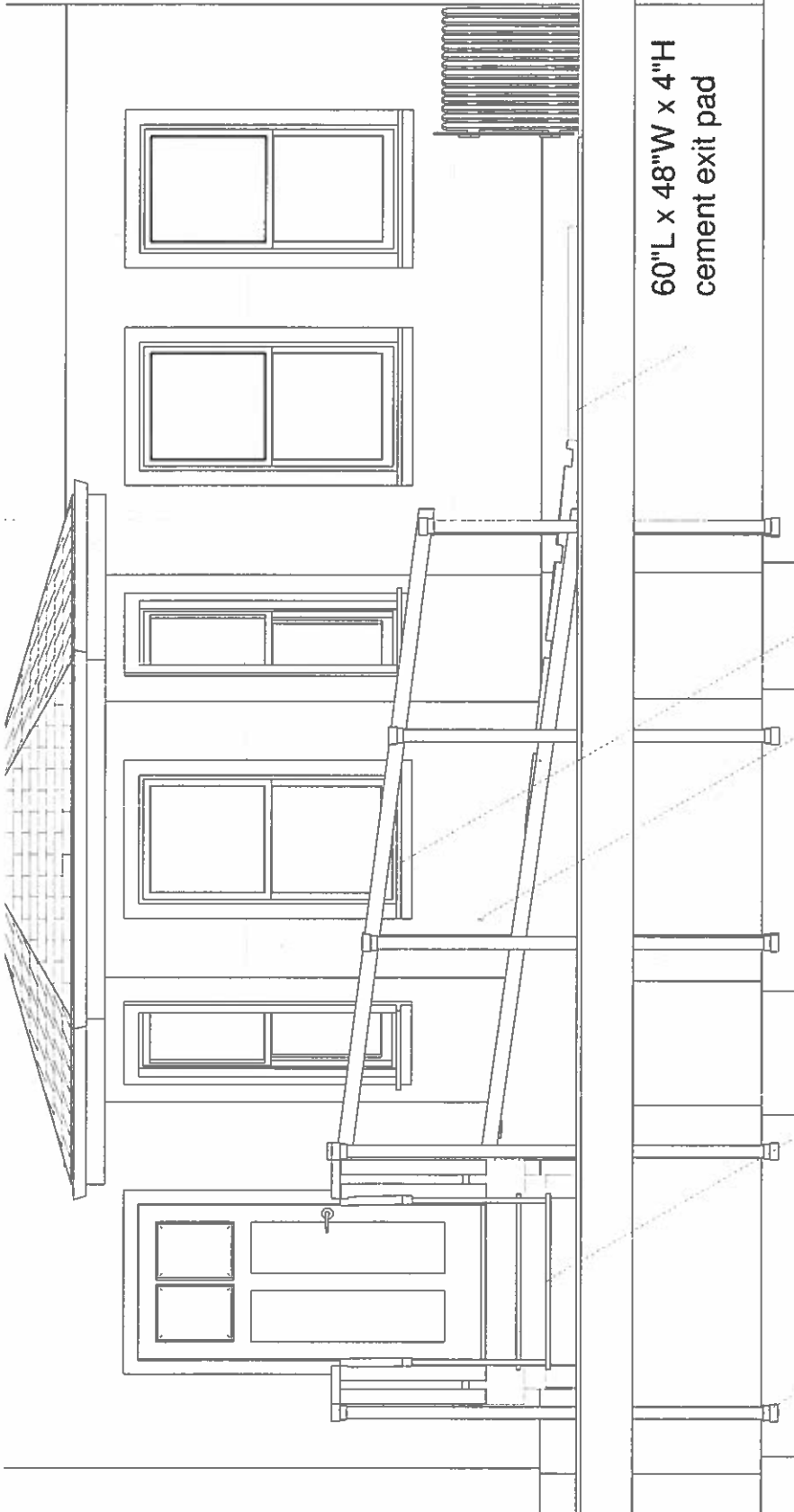
# Elevation

# E-1

Sheet #:

Sheet Type:

SCALE: 1"=1'



60" L x 48" W x 4" H  
cement exit pad

all handrail tops 36"  
above deck surface

spindles omitted in illustration  
for the sake of clarity

3 treads x 42" stairs

all 4" x 4" posts encased  
in 48" frost footings

Savannah Jackson  
2576 N. 4th St.  
Milwaukee, WI  
by Design Trends ADA

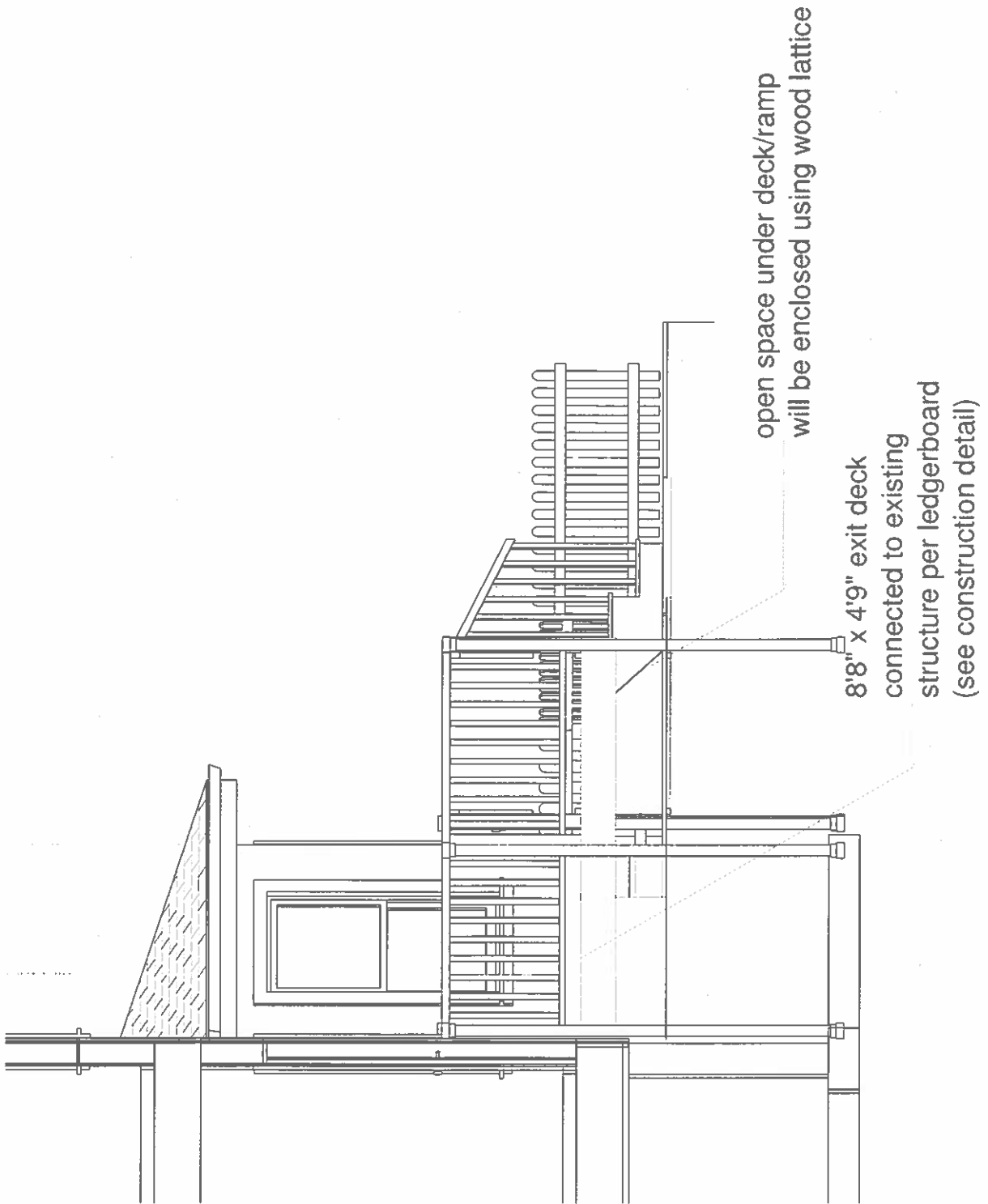
# Elevation

# E-2

Sheet #:

Sheet Type:

SCALE: 1"=1'





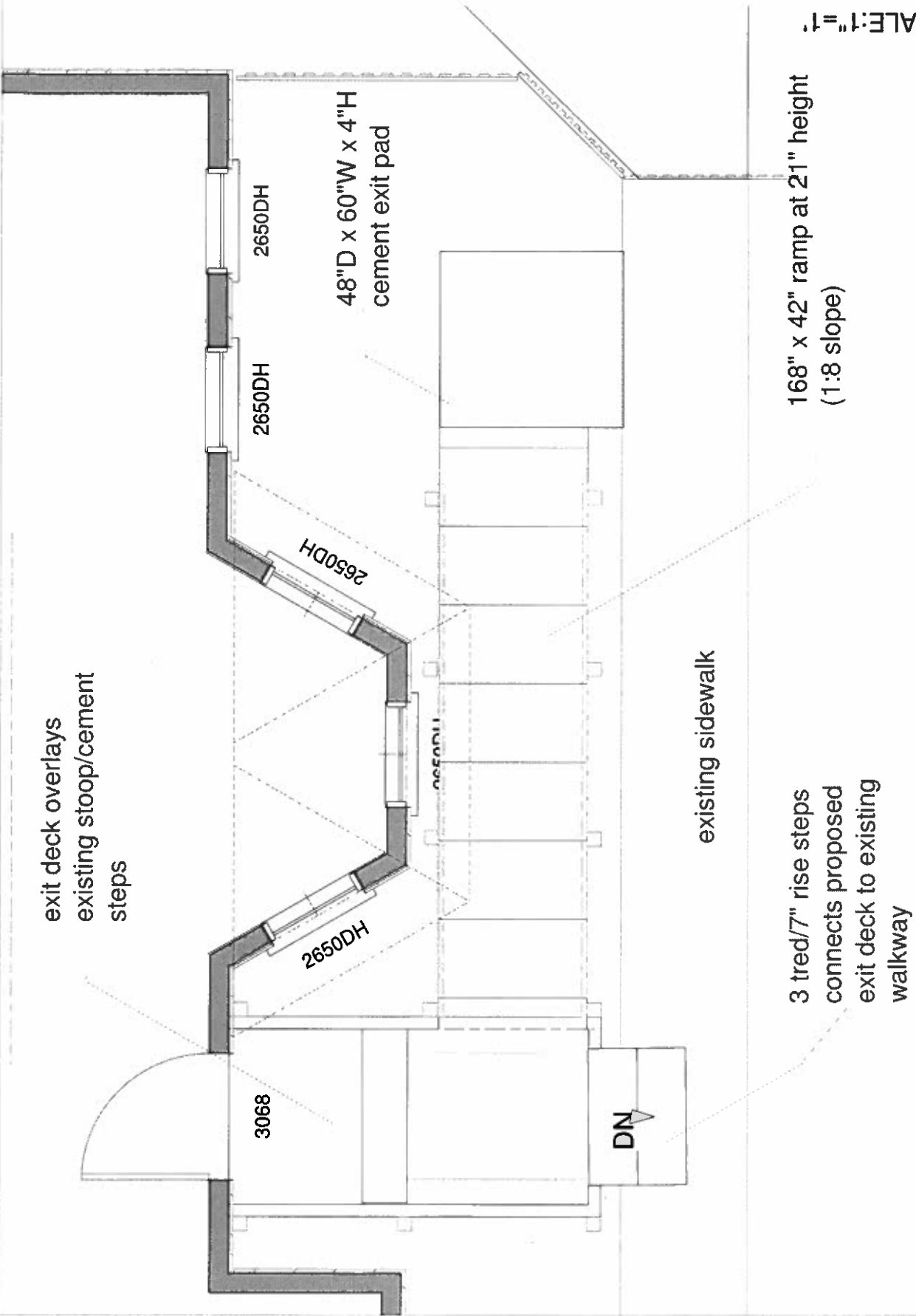
# Floor Plan

# F-1

Sheet #:

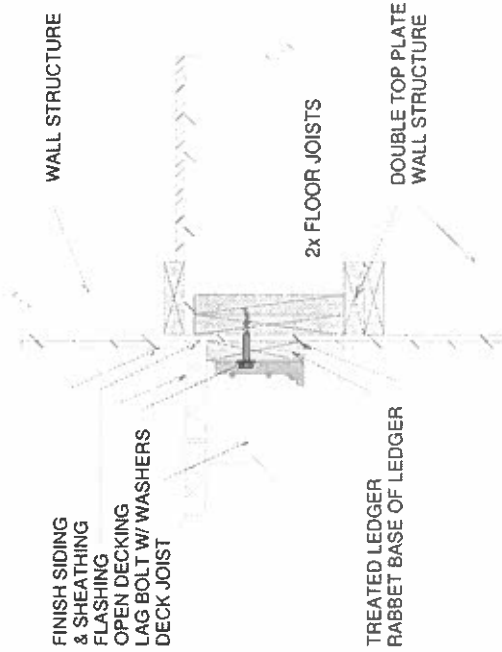
Sheet Type:

SCALE: 1" = 1'



## GENERAL NOTES

- Note 1: all ramp and landing frames constructed of treated 2"x6" lumber
- Note 2: all ramps are framed length wise with 3 ea. 2"x6" joists NTE 24" o.c.
- Note 3: all ramps are cross framed using 2"x6" lumber NTE 48" o.c.
- Note 4: all decks and landings are framed using 3 ea. 2"x6" joists NTE 24" o.c.
- Note 5: all decks and landings are cross framed using 2x6" joists NTE 48" o.c.
- Note 6: decking material is 1/2" thick
- Note 7: all ballisters are made of 2"x2" treated spindles placed 5 1/2" o.c.
- Note 8: all handrails are rounded 2"x4", with top NTE 36"
- Note 9: ledger to wall (see detail below)



## Deck Anchored to Wood Wall: Ledger to Wall

(print at 1"=1')

THIS DRAWING IS THE PROPERTY OF DESIGN TRENDS ADA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

Savannah Jackson  
2576 N. 4th St.  
Milwaukee, WI  
by Design Trends ADA

Construction  
Notes-General

Sheet #:  
CN-1

SCALE:

min. 36"  
handrail  
clearance

handrail height  
36" above ramp

2"x2" ballisters  
5 1/2" o.c.

6"x1/2" decking  
(planking direction TBD)

4"x4" support posts  
NTE 72" o.c.

support posts anchored  
to deck frame using  
2 ea. 3/8" carriage bolts

2"x6"  
joist hangers

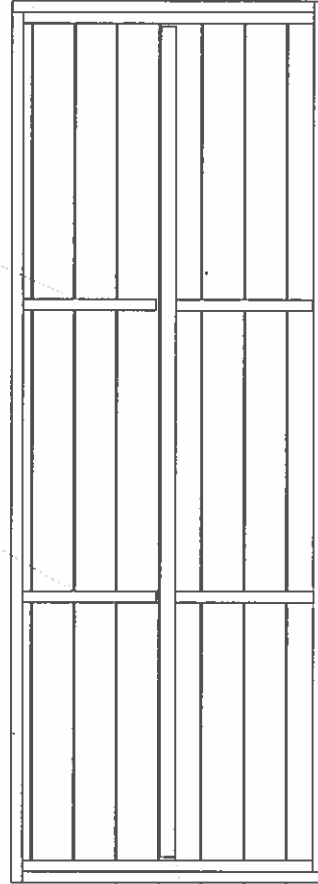
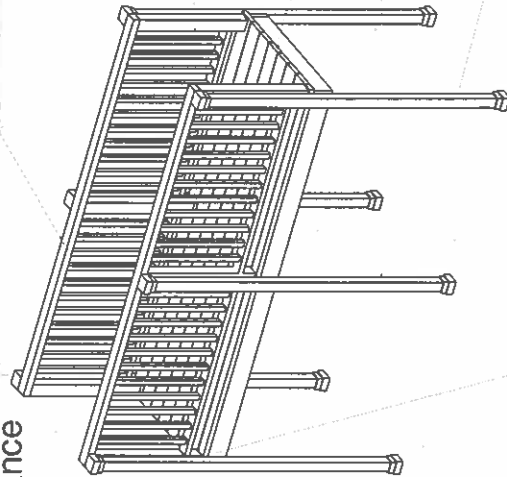
frame joists  
NTE 24" o.c.

cross braces NTE 48" o.c.

frame ends  
doubled

**MATERIAL NOTES**

- Note 1. all frames constructed of 2"x6" treated lumber
- Note 2. all support posts 4"x4" treated lumber
- Note 3. all support posts anchored in fitted cement piers
- Note 4. all decking 1/2"x6" decking material
- Note 5. 2"x6" joist hangers attached to ramp sections



SCALE:

Savannah Jackson  
2576 N. 4th St.  
Milwaukee, WI  
by Design Trends ADA

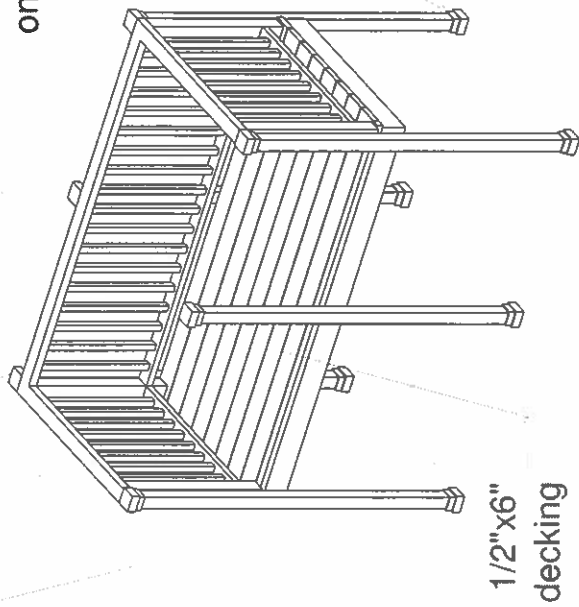
Construction  
Notes-Ramp

Sheet #:  
**CN-2**

Sheet Type:

support posts either surface mounted in cement piers or sunk 48", as noted on plans

min. 36" handrail clearance

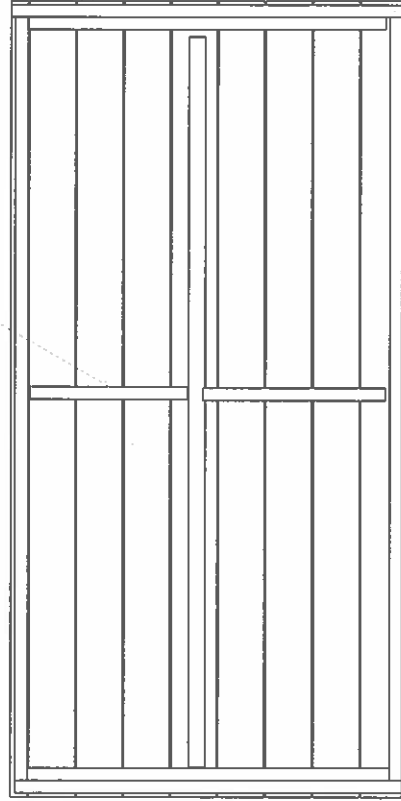


1/2"x6" decking

### MATERIAL NOTES

1. all frames are 2"x6" treated lumber
2. all support posts are 4"x4" treated lumber
3. all decking is of 1/2"x6" decking material
4. support post anchored in cement piers, when noted

cross braces NTE 48" o.c.



2"x6" frame joists  
24" o.c.

doubled end plates

SCALE:



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 2576 N. 4TH ST., Frederick Ehlers, historic house  
**Description of work** Construct new wood accessible ramp.  
**Date issued** 7/14/2011


PTS ID 73961 COA, accessible ramp

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Railings, newels and skirting must be painted upon completion. Please note that when new bare wood, treated or not, is exposed to the exterior elements for a period of only a week or two, the life the paint job applied over it is likely to be decreased. Skirting beneath the ramp may be either a lattice work or slats. See the illustrations in the COA.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

  
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Coggs, Contractor J.D.M. Development, Inspector Jim Friedrichs (286-5982)

C-1

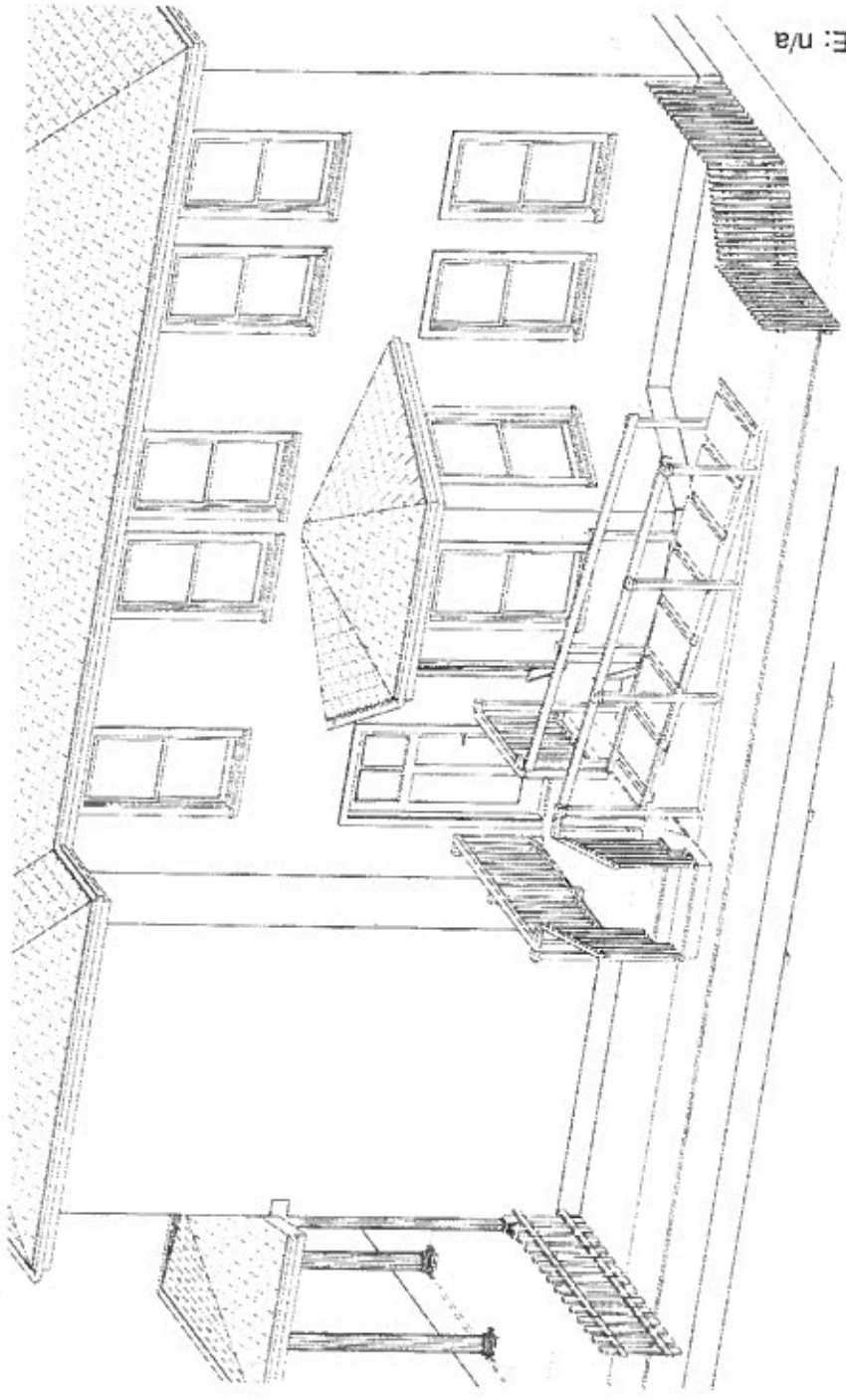
Sheet #:

Cover

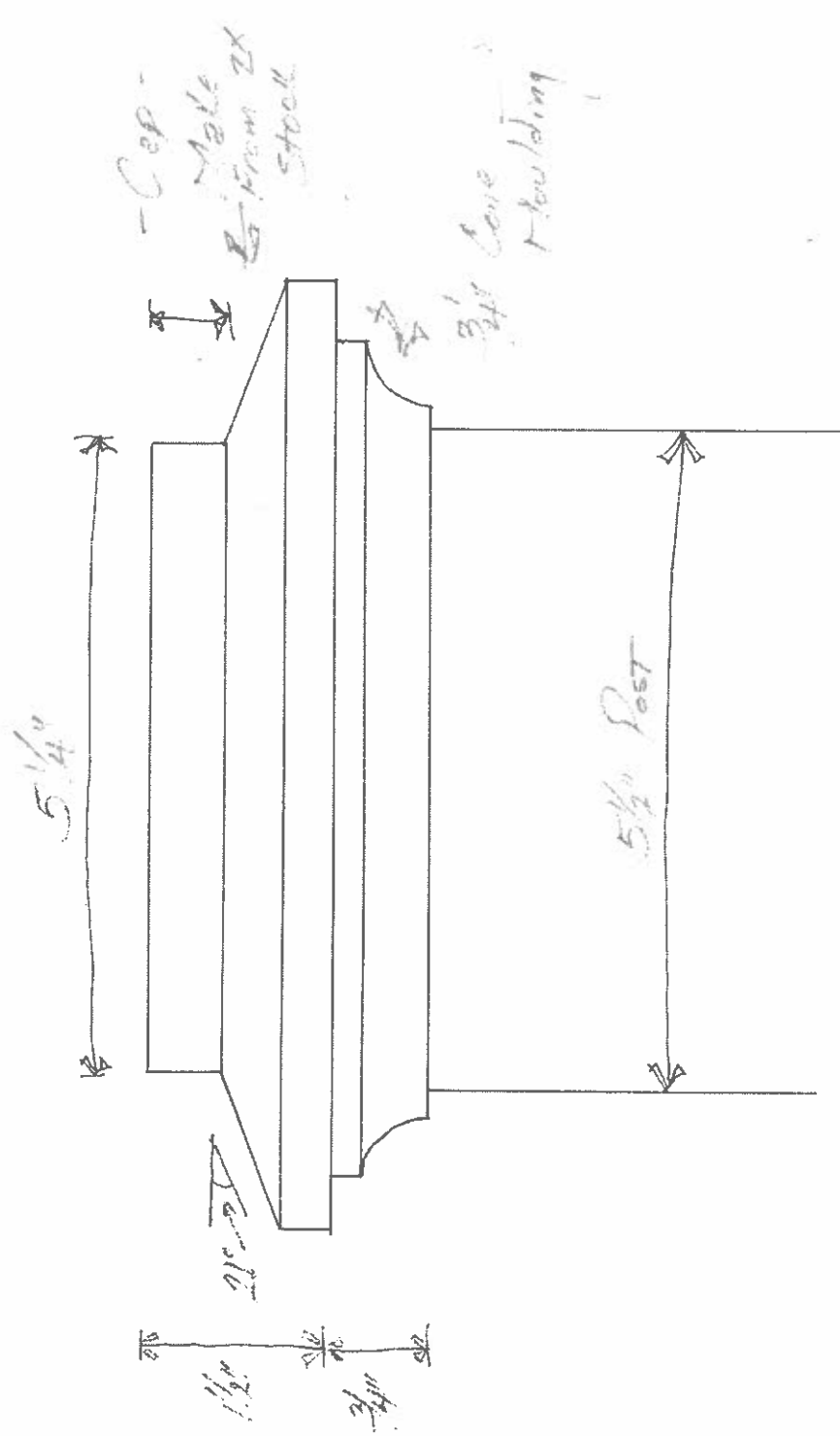
Sheet Type:

Savannah Jackson  
2576 N. 4th St.  
Milwaukee, WI  
by Design Trends ADA

SCALE: n/a



Ramp to be placed on south elevation of house.  
Railings, skirting and posts to be built  
according to attached drawings below



Option 1 for built-up box posts for all newels.

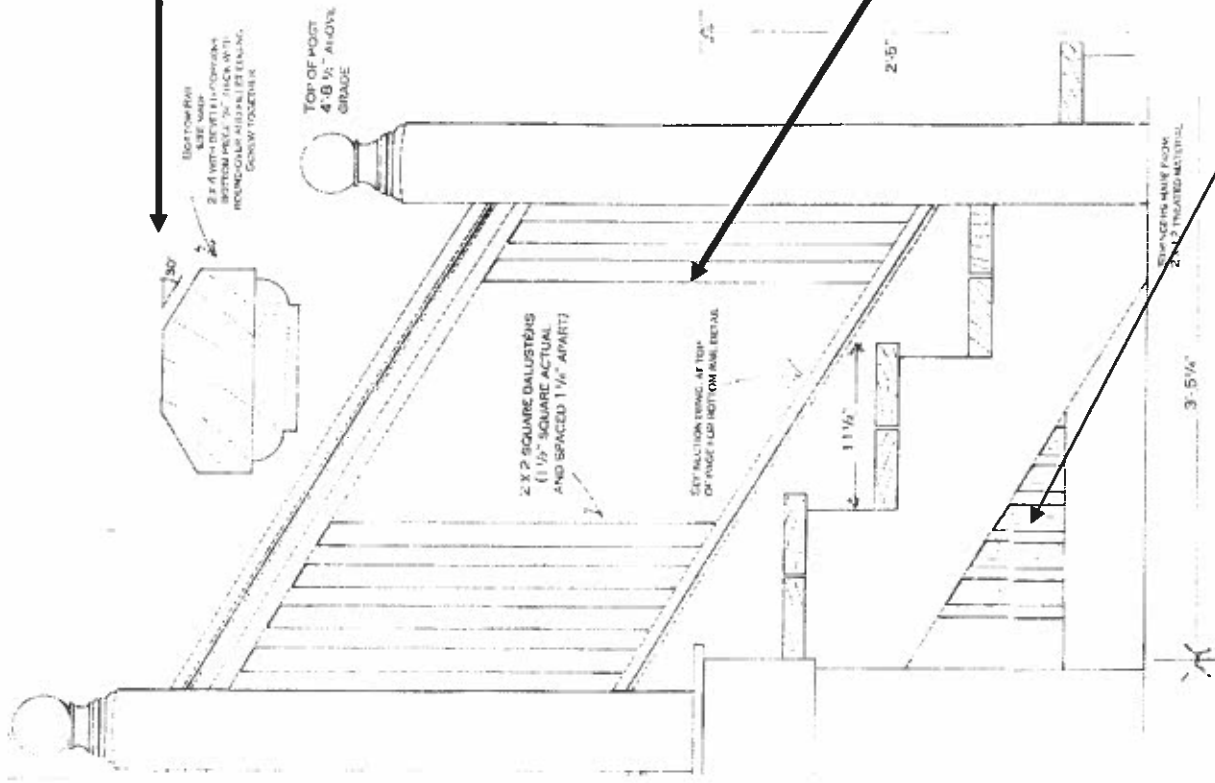


Built-up bottom rail

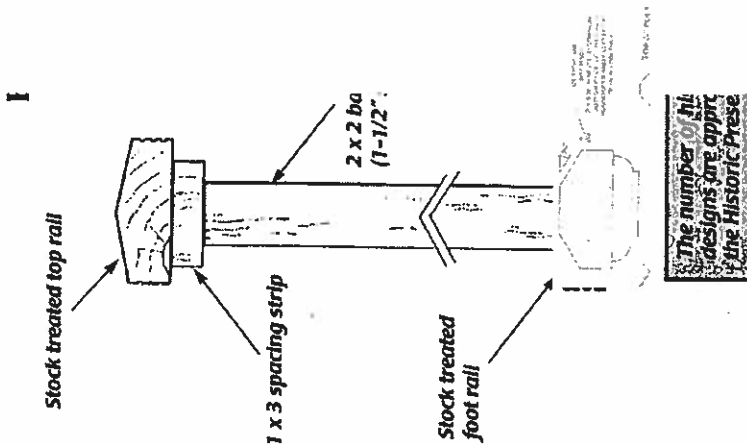
Option 2 for All newel posts which may be 6x6 topped with finial

Spindles, 1-1/2 square and spaced 1-1/4" apart.

Option 1 for ramp skirting is a frame of 1x6 or 1x8 with slats 1-3/4" wide and spaced 3/4" apart



# Porches

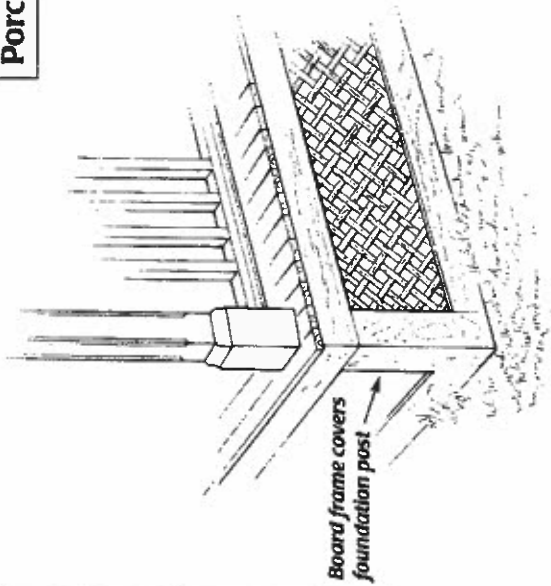


Design of railing for ramp. An auxillary handrail must be mounted on the sidie of the balustrade. This can be a simple pole railing set on brackets.

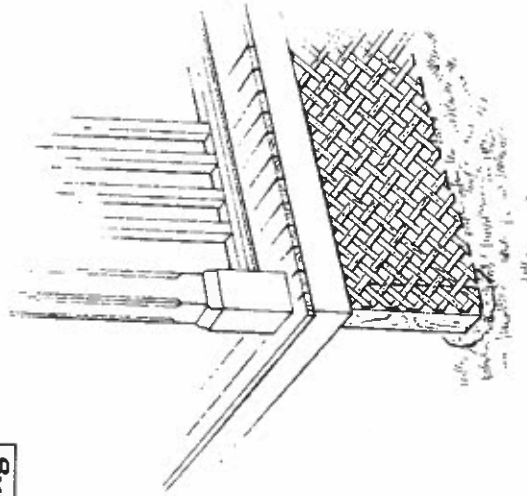
# Porches



## Porch Skirting



Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

This is option 2 for lattice and frame skirting that can be used beneath the floor of the ramp. The other is the frame with slats shown elsewhere in this COA.



Legislation Details (With Text)

**File #:** 110428      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild the parapet wall and to add an awning at 807 E. Brady Street for Stanley and David Larson.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110428  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild the parapet wall and to add an awning at 807 E. Brady Street for Stanley and David Larson.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

\_\_\_\_\_

**ADDRESS OF PROPERTY:**

807 E. Brady Street, Milwaukee, WI Sherwin-Williams

2. NAME AND ADDRESS OF OWNER:

Name(s): Stanley D. Larson & David D. Larson

Address: W148 N7739 Menomonee Manor Drive

City: Menomonee Falls

State: WI

ZIP 53012

Email: dl Larson301@aol.com

Telephone number (area code & number) Daytime: 262-573-5725

Evening: 262-573-5725

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Email: \_\_\_\_\_

Telephone number (area code & number) Daytime: \_\_\_\_\_ Evening: \_\_\_\_\_

4. ATTACHMENTS

**A. REQUIRED FOR ALL PROJECTS:**

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Replace existing front brick work on storefront above awning line and recreate as best as possible what is there currently. We intend to salvage and reuse all existing cap pieces if possible. New brick will be matched in surface texture as close as possible and the re-painted.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

We propose to replace existing awning with a more traditional design that wraps around on the west side like what currently is in place and install decorative light fixtures above the awning as shown in photograph. We request to replace (We had a sign that we took down due to condition of existing brick) and mount a new sign pole that projects off the building, so it is visible traveling both east or west on Brady Street, with similar style light fixtures to illuminate. Building would be prepped for new paint coating, patched, caulked, primed and completely repainted. All existing windows and doors remain unchanged. Additional brick repair and tuck pointing will more than likely be done on west and south (rear of building) sides. We also have some gutter that will be replaced or repaired on rear side of building.

Photo No. \_\_\_\_\_ Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

\_\_\_\_\_  
Signature

Stanley D. Larson 06-22-11  
Print or type name Date

David D. Larson 06-22-11  
\_\_\_\_\_  
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady St., New Front

**Date:** Wed, Jun 22, 2011 9:19 pm

**Attachments:** photo.jpg (36K)

---

Sent from my iPhone

1 Attached Images





**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady St. New Front View

**Date:** Wed, Jun 22, 2011 9:21 pm

**Attachments:** photo.jpg (23K)

---

807 E. Brady St.

Sent from my iPhone

1 Attached Images



**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady Street - Currently

**Date:** Wed, Jun 22, 2011 5:18 pm

**Attachments:** photo.jpg (34K)

---

Front of Sherwin-Williams

Sent from my iPhone

1 Attached Images



**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady NW Corner Front

**Date:** Wed, Jun 22, 2011 5:37 pm

**Attachments:** photo.jpg (36K)

---

Brady St.

Sent from my iPhone

1 Attached Images



**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady St NW Corner

**Date:** Wed, Jun 22, 2011 5:31 pm

**Attachments:** photo.jpg (143K)

---

NW corner, Brady and Cass Streets.

Sent from my iPhone

1 Attached Images



**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady, West Side

**Date:** Wed, Jun 22, 2011 5:29 pm

**Attachments:** photo.jpg (119K)

---

Cass Street and rear (south) of building.

Sent from my iPhone

1 Attached Images



**From:** David Larson <dlarson301@aol.com>

**To:** David Larson <dlarson301@aol.com>

**Subject:** 807 E. Brady - Rear of Building

**Date:** Wed, Jun 22, 2011 5:24 pm

**Attachments:** photo.jpg (111K)

---

Rear picture (south side)

Sent from my iPhone

1 Attached Images



From: Jakubovich, Paul <pjakub@milwaukee.gov>

To: David Larson <dlarson301@aol.com>

Subject: RE: 807 E. Brady St. Sherwin-Williams

Date: Tue, Jun 21, 2011 11:48 am

Attachments: Application\_form.url (169)

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Hello David.

What you will need to get started is a completed Certificate of Appropriateness application form (attached). Basically you need to have your name and address on the first page. Check the boxes on the first page relating to what drawings and photos you have (you don't need interior plans) and then on the second box on the second page tell us what you are doing. This should not take but a few minutes to complete. When I receive the application, then I can issue a COA and you can proceed to get any necessary permits from the permit center at 809 N. Broadway.

I will do this as a staff approval (no need to go before the commission) as you are rebuilding in kind and I can also approve any awning or signage changes as well.

So, thanks for sending in the rendering. We will use that, of course in the COA. I do need a photo of the building as it currently stands. I can take the photo if you are unable. I certainly want the approval and process to go as quickly and smoothly as possible.

Thanks for the significant investment you are making in the building and the Brady Street Historic District.

I look forward to receiving the application materials. Please call or write with any questions.

Regards,

Paul  
Preservation  
Office of the Common Council/City Clerk  
200 E. Wells St.  
Milwaukee, WI 53202  
414-286-5712

-----Original Message-----

From: David Larson [<mailto:dlarson301@aol.com>]  
Sent: Tuesday, June 21, 2011 10:38 AM  
To: Jakubovich, Paul  
Subject: 807 E. Brady St. Sherwin-Williams

Hi Paul,

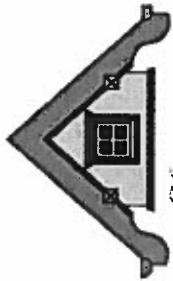
I've attached a rendering of our building on Brady Street. We would like to get your approval so we can begin to replace the brick above the awning line. We would like to paint new brick(cream-tan) to blend into the lower existing area around windows. We would like to change the awning to a more traditional design that would begin at the bottom o the brick facade and come down to the top of the current windows. We would like to again wrap around the building as it currently does. We would like to add the additional decorative light figures above the awnings as shown and would like to put a sign that would project off the building so it is visible while driving east or west on Brady Street as shown in the rendering. Please let me know what else is needed so I can get Holton Brothers Contracting scheduled.

Many thanks for your assistance.



David Larson

The City of Milwaukee is subject to Wisconsin Statutes related to public records. Unless otherwise exempted from the public records law, senders and receivers of City of Milwaukee e-mail should presume that e-mail is subject to release upon request, and is subject to state records retention requirements. See City of Milwaukee full e-mail disclaimer at [www.milwaukee.gov/email\\_disclaimer](http://www.milwaukee.gov/email_disclaimer)



MILWAUKEE

HISTORIC  
PRESERVATION  
COMMISSION

LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

807 E. BRADY ST., **Brady Street Historic District; David Larson, owner.**

## Description of work

Rebuild front parapet on Brady Street and return around the corner. Salvage capstones and reinstall if at all possible. Otherwise new capstones to match originals will be fabricated. New brick will match the size and texture as closely as possible to the original. Because color match has not been successful and the building is presently painted. The new brick will be painted to match the rest of the building. Install new shed roof style awning on face that will wrap around the corner if desired. Install new projecting, externally illuminated signage at center of Brady street facade.

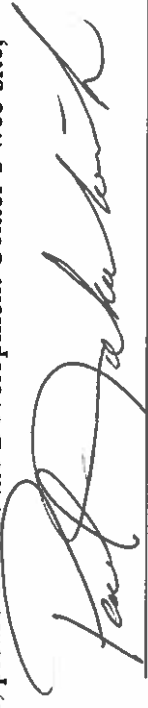
## Date issued

7/6/2011

PTS ID 73744 COA, rebuild parapet wall; add awning

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: All work will be done according to attached renderings and photos. Parapet wall will be rebuilt to match existing configuration design and detail. Mortar joints will be as close as possible to the original size of the joints and the joints will be tooled to match the original finish. Please note that mortar that is too hard is subject to premature failure. See the Masonry chapters in *Good for Business* and *As Good As New* for more information, or consult historic Preservation staff. Awnings will be covered with a material that will be non-shiny, such as acrylic. (No plastic is allowed.). All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations.

If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712  
Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the  
Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site,  
[www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

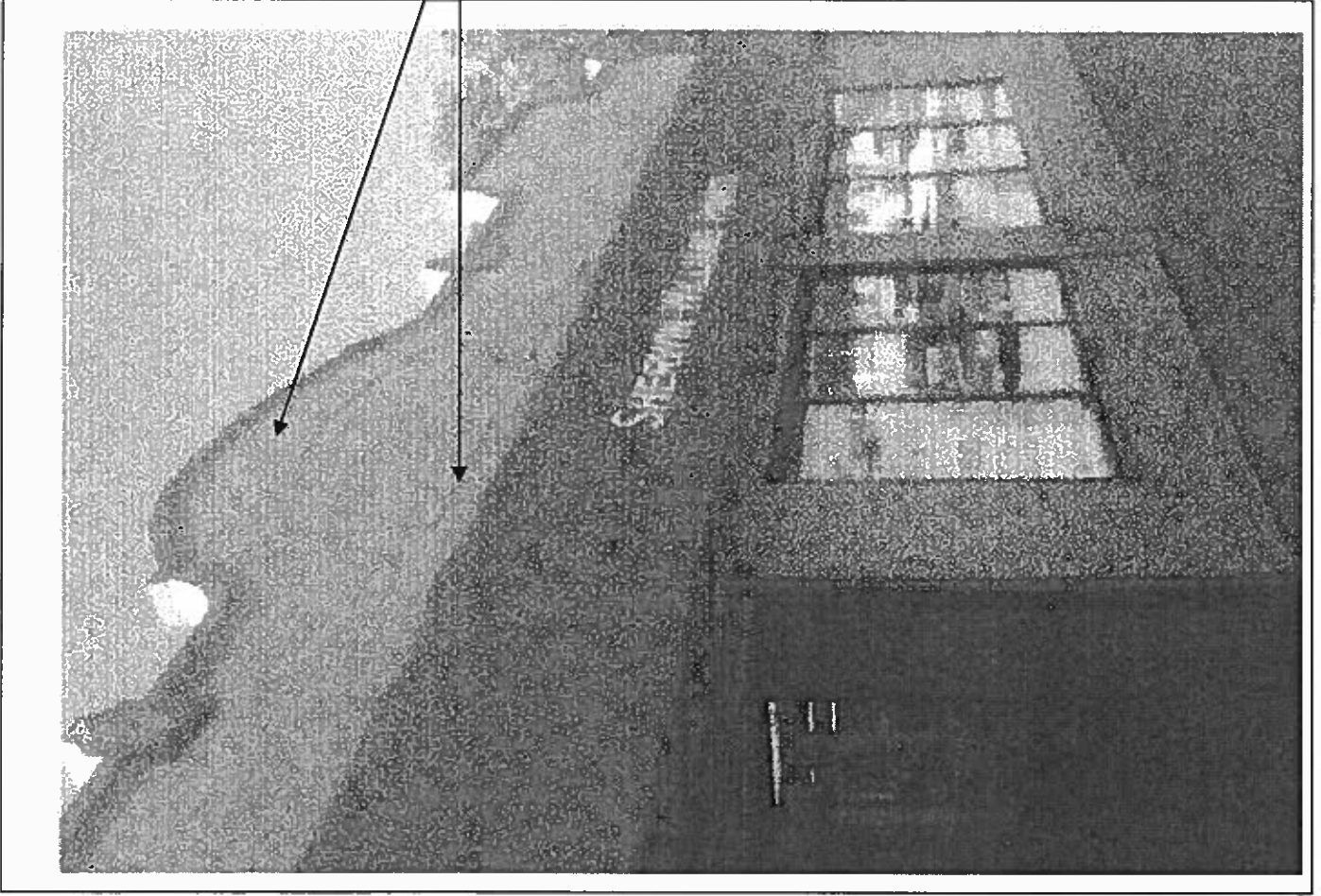


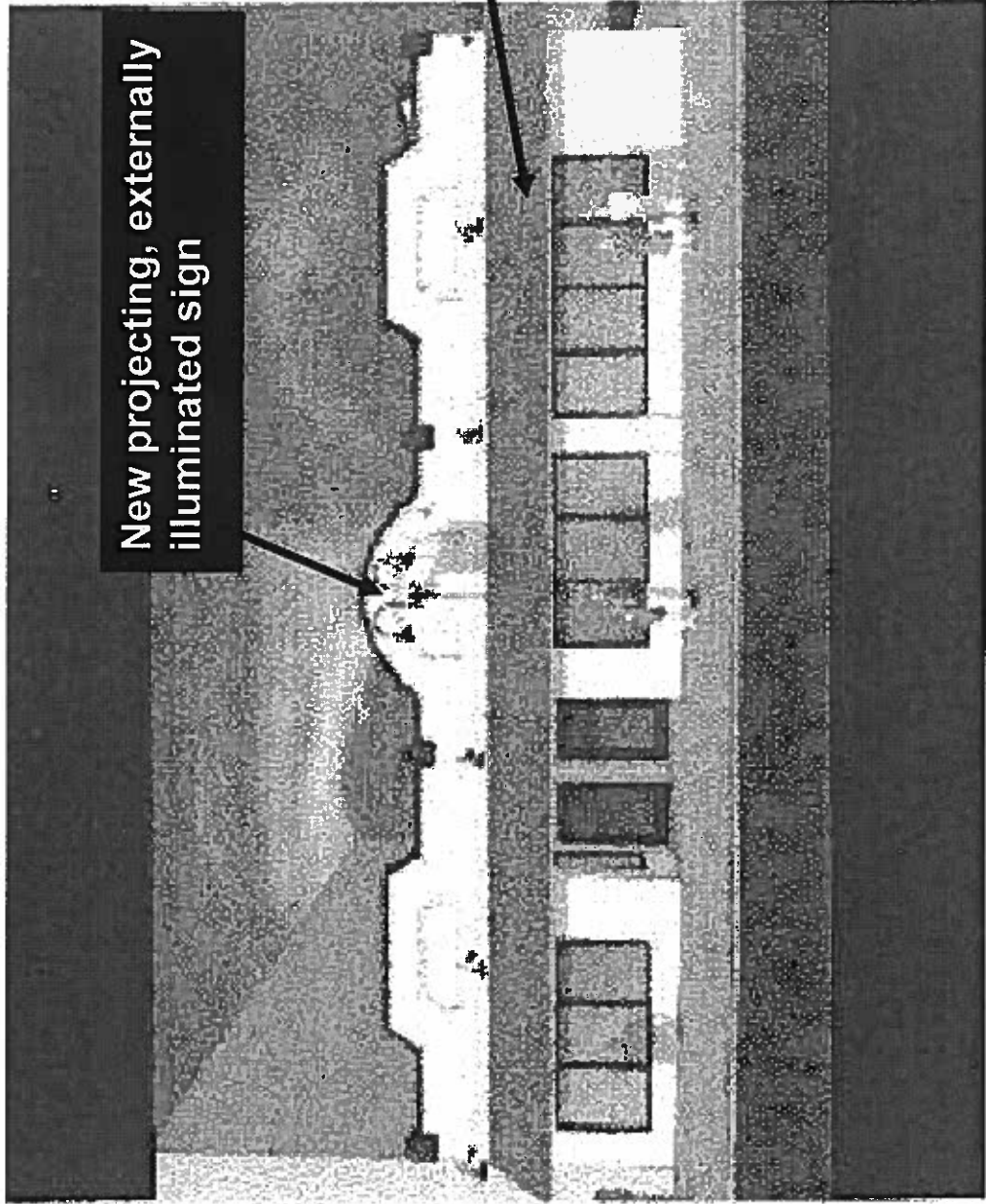
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Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Nik Kovac, Inspector Jim Friedrichs (286-5982)

Existing parapet wall is leaning due to deterioration. This parapet wall above the storefront windows will be rebuilt to match the existing design and detail





New projecting, externally illuminated sign

New shed roofed-style awning covered with non-shiny acrylic material

Rendering of the rebuilt storefront. The parapet will be rebuilt to match the original. Because the existing brick on the building is already painted (before this was a historic district), the area of repair can be painted to match the rest of the building.





Legislation Details (With Text)

**File #:** 110429      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 7/20/2011      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to rebuild the back porch and to add a deck at 101 W. Vine Street for Martha McGee.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

| Date      | Ver. | Action By      | Action      | Result | Tally |
|-----------|------|----------------|-------------|--------|-------|
| 7/20/2011 | 0    | COMMON COUNCIL | ASSIGNED TO |        |       |

Number  
110429  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to rebuild the back porch and to add a deck at 101 W. Vine Street for Martha McGee.

Requestor

Drafter  
CC-CC  
dkf  
7/20/11



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

101 W. Vine Street

2. NAME AND ADDRESS OF OWNER:

Name(s): Martha McGee

Address: 101 W. Vine Street

City: Milwaukee State: WI ZIP 53202

Email: m.mcgee@yahoo.com

Telephone number (area code & number) Daytime: 414-418-2441 Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): The Bowles Group, LLC

Address: 135 Aviz Court

City: Brookfield State: WI ZIP Code: 53045

Email: info@BowlesGroupLLC.com

Telephone number (area code & number) Daytime: 414-915-7428 Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**



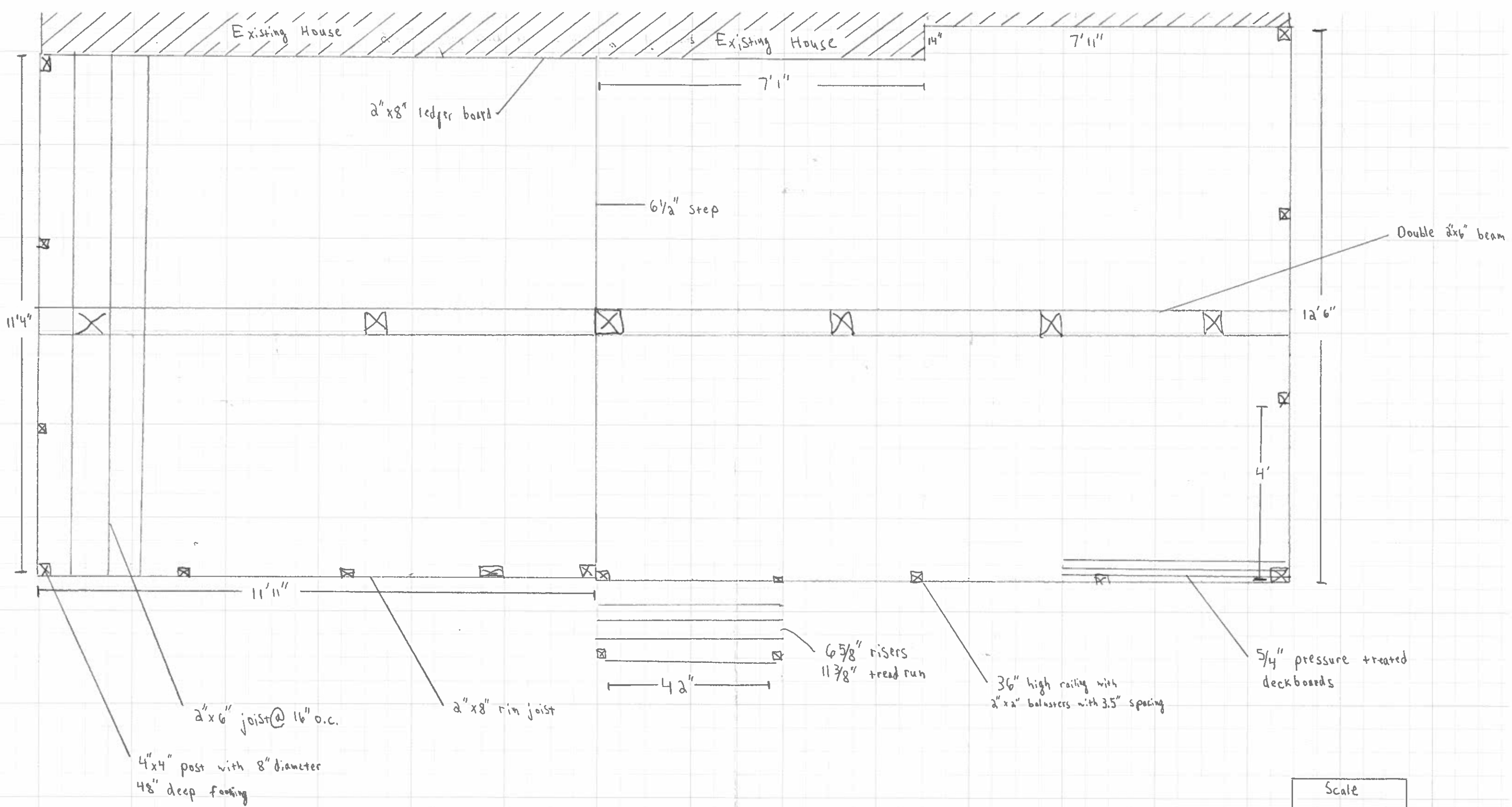
## **Description of Project**

**5a**

**An attached deck will be added to the house in the backyard. There will be no structural changes made to the home. The existing windows and doorways will all remain as is. The deck will be low to the ground so no architectural features will be covered or changed.**

**5b**

**We propose to install an 11' X 24' treated deck in the backyard at 101 W Vine Street. The deck will have a historic natural look. No synthetic material will be used in the construction of the new deck. The deck will be attached to the house and will be located in the backyard and after landscaping will only be partially visible from the street. No historic changes will be made to the house as there will not be a patio door added. The deck is designed for the added enjoyment of the homeowner's backyard and will not diminish the historic value of the home or the Brewer's Hill Neighborhood. All construction techniques will create an end result that will meet or surpass all local building codes.**



Martha Marie McBee  
101 W. Vine Street  
Milwaukee, WI 53202



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

LIVING WITH HISTORY


**Property** 101 W. VINE ST., **Brewers Hill Historic District, Martha McGee, owner**  
**Description of work** Build wood deck, 12x26 and steps at rear of house.  
**Date issued** 7/12/2011 PTS ID 73897 COA, rear porch/deck

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will follow attached drawings. A built-up top rail and built-up bottom rail will be used for all railings and guardrails. All posts will be boxed out to 5-1/2" square and topped with a beveled cap per attached drawings. A skirting consisting of a frame and 1-3/4" wide slats spaced 3/4" inches apart will be installed around the base of the deck. Because this is an open porch with no roof, it is permissible to space the deck boards for water drainage max of 1/2" apart. All wood railings and skirting must be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two, the life of the paint job applied over it is likely to be decreased.

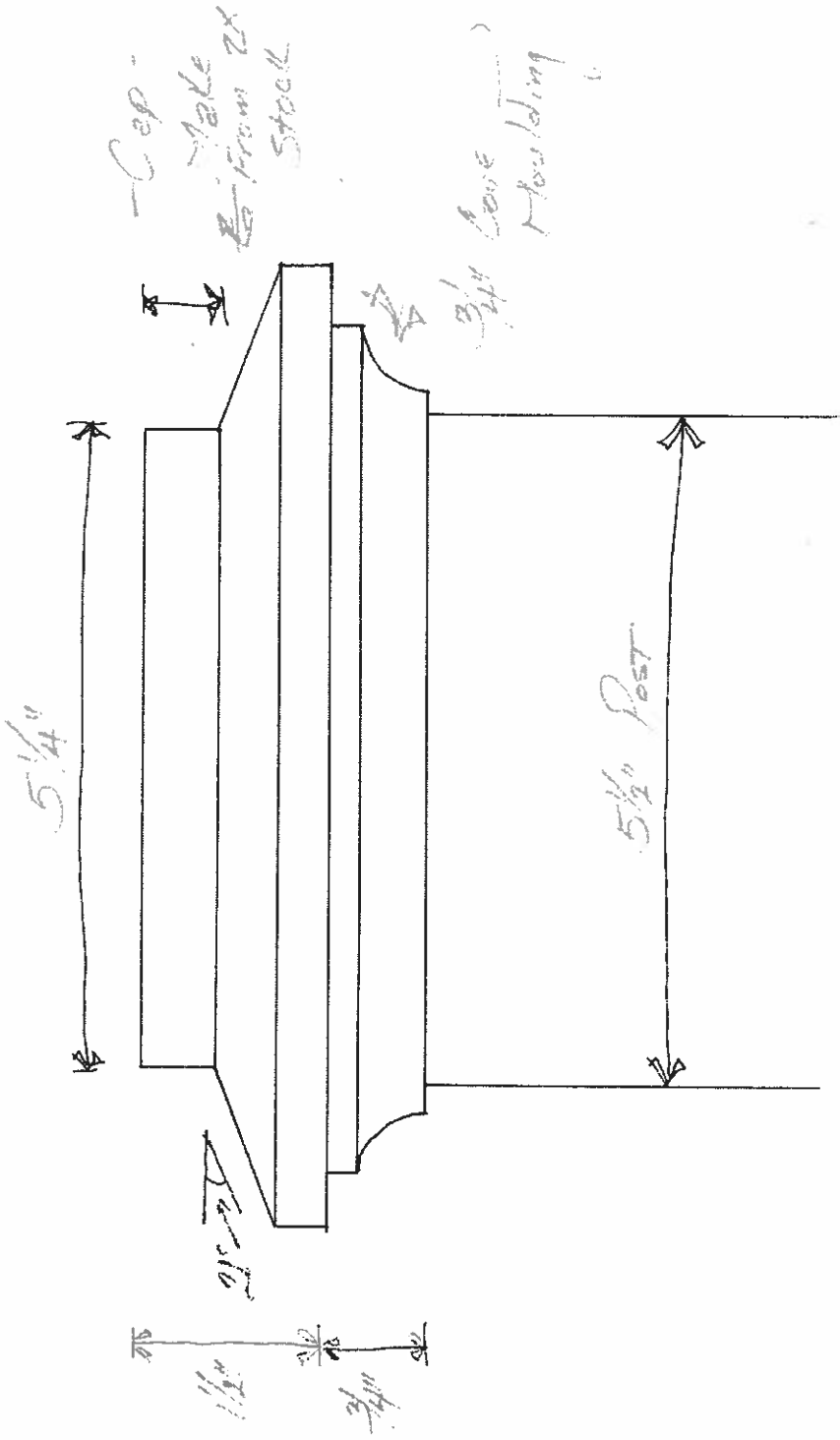
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. ~~If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.~~



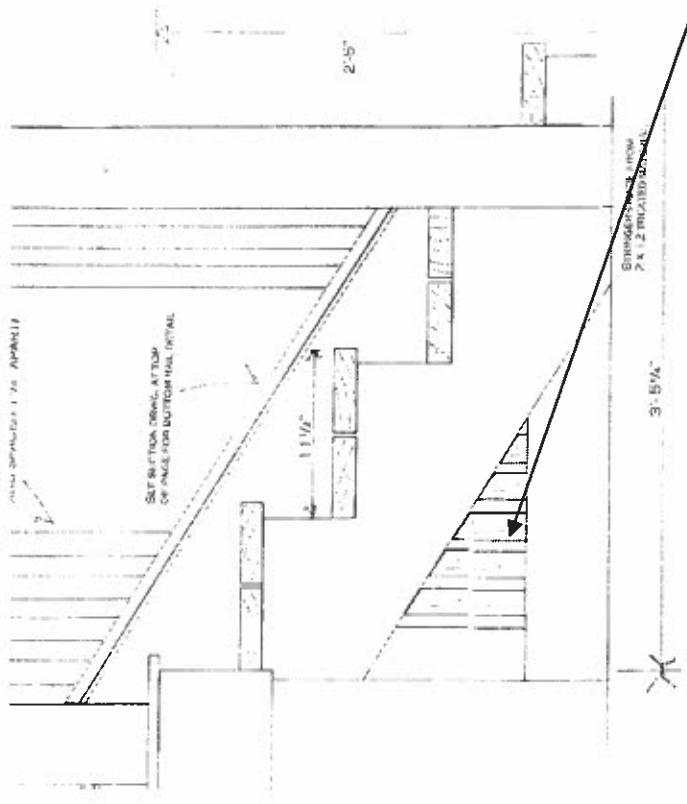
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Milele Cogg, Inspector Bill Richter (286-2518)



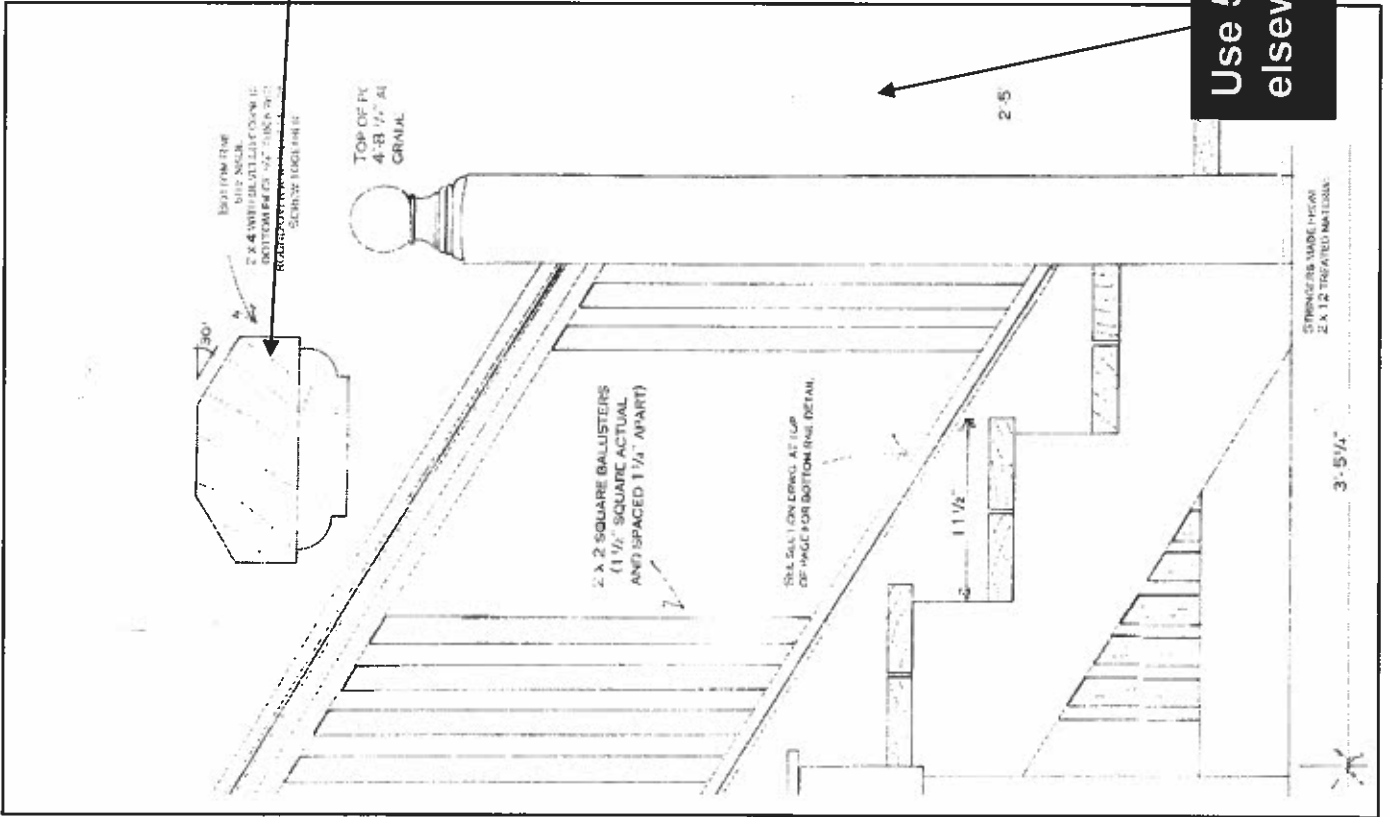
All posts to be 5-1/2" square and topped with beveled top piece per the above drawing.

All skirting on porch will consist of a frame, with 1x6 or 1x8 boards and slats 1-3/4" wide and spaced 3/4" apart

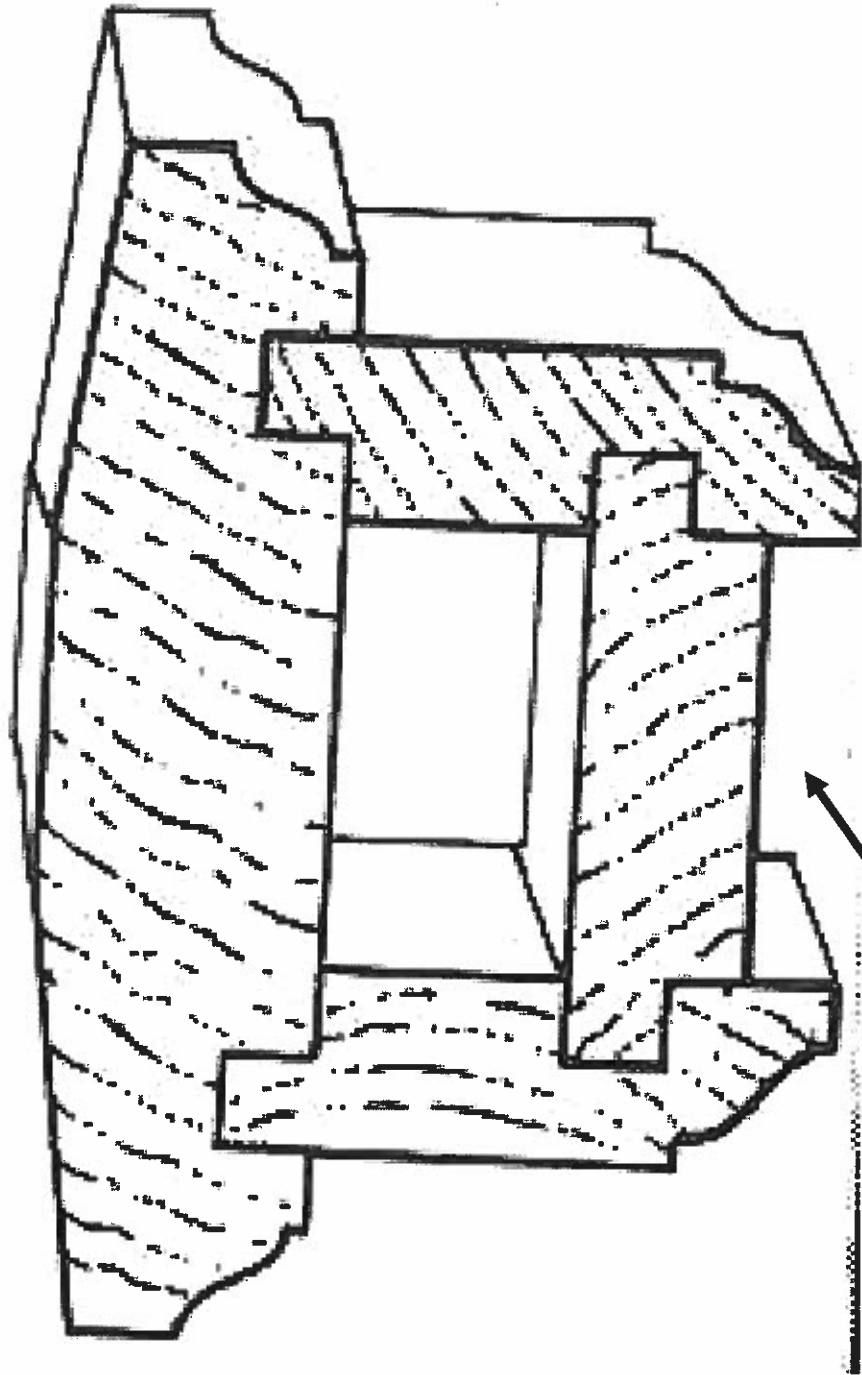


Use this bottom, built-up rail made with a 2x4 top rail beveled to 30 degrees on each top edge. Attach a 3/4" thick piece of stock, 3" inches wide and finished on each side with a round-over bit.

Use 5-1/2" square box posts as show elsewhere in this COA.



Total height of handrail should be 4"



Design for built-up top rails. Bottom rebate should be 1-1/2" to accept 2x2/ balusters spaced 1-1/4" apart