



LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

2381 N. TERRACE AV. North Point North HD

## Description of work

This is a new design submittal for the construction of a single-family residence at 2381 N Terrace Ave. The two-story home will be approximately 3,670 sq. ft, not including a three-car attached garage and basement. The home will have three bedrooms and an office, 2 1/2 baths, and a rec room in the basement.

The front (East) elevation of the home features a double, side-by-side, front gabled roof profile. The front walk leads to an entrance with glazing through the first and second stories. A light-colored modular brick is utilized to clad the body of the home beneath the gables. A porte cochere with a copper metal work awning on the north side of the home is grounded with masonry columns and features living space above. It is set back slightly from the front elevation. It features a series of four operable casement windows. The windows on this elevation and throughout the home are aluminum clad wood windows with clear low-E glazing. At the central region of the facade, two fields of aluminum clad windows with shadow box jambs extend from the first level up to the second level. To the South, a flat-roofed living space projects from the main body of the home. It features outdoor living space above with a partial height steel railing and two evenly spaced aluminum clad windows. A recessed space with a shed roof at the second level is clad with horizontal wood siding with a dark opaque stain. At the main roof level, a large skylight is situated above the entrance to the home.

At the side (North) elevation, the porte-cochere features four masonry support columns and three open bays covered with copper metal work awnings. The living space above features aluminum clad wood windows with shadow box jambs. The roof level features half round metal gutters and a shingle style roof (exact materials to be determined) To the East, the home is clad with a light-colored modular brick. To the West, the attached garage is clad with horizontal wood siding with dark opaque stain. The horizontal wood siding at the plane of the garage carries across the home through the porte-cochere. The garage also features wood paneled doors and a green roof system on the flat roof above.

At the rear (West) elevation, the gabled portions and small flat roofed portion of the home are clad with brick. Dark stained horizontal wood siding is present at the garage, the central body of the home, and the shed roofed space at the second story. The upper level living space wraps around from the front of the home to the rear. Foldable type patio doors at the first level lead to a wood deck with a metal guard rail on the south side of the home. The deck will be 5/4" cedar decking with steps down to grade where a rear patio with large format stone pavers creates additional outdoor living space.

At the other side (South) of the home, the garage and shed roofed second story space are clad with dark stained horizontal wood siding. The remainder of the home from this elevation is clad with light colored brick. A region of patterned end face extended brick is centrally located on the facade between two picture windows at the first floor of the home. Outdoor living space at the second level is accessed by two sets of swing patio doors. There is a field of solar panels on the south facing pitch of the roof.

**Date issued**

4/27/2020

PTS ID 114777: new house

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

1. Materials as indicated; however, masonry must be clay brick, poured concrete, or natural stone.
2. Match solar panel color to roof color as closely as possible.
3. All finish wood must be smooth and free of knots and must be painted or treated with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied to it will be decreased. The use of a naturally decay-resistant wood species for exterior finish applications is required for porch areas. Using western white pine or Ponderosa pine is "at your own risk" because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact \_\_\_\_\_ of the Historic Preservation staff as follows: .

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.



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City of Milwaukee Historic Preservation Staff

**8 pages follow**

Copies to: Development Center, Ald. N. Kovac, Contractor , Inspector P. Wolfgramm







**PAVING NOTES**

1. GENERAL
  - 1.1. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION AND APPLICABLE CITY OF MILWAUKEE ORDINANCES.
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL AFFECTED SURFACE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
  - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE-COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 451, 452 AND 463 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINING. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 415, STATE HIGHWAY SPECIFICATIONS.
  - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
  - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVEMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS./CUBIC YARD.
  - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 20 FEET.
  - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-261UV CONCRETE SEALANT.

**UTILITY NOTES**

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS, INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - CERTIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - COORDINATING CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MILWAUKEE SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER 18" DEEP AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PERSONAL INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, WALK BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS AFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. WATER MAIN SPECIFICATIONS -
  - PIPE - POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF ANNA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON D.I.D. INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(1)(j).
  - VALVES AND VALVE BOXES - GATE VALVES SHALL BE ANNA GATE VALVES MEETING THE REQUIREMENTS OF ANNA C-500 AND CHAPTER 8.2.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
  - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CURBS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.0 OF THE "STANDARD SPECIFICATIONS".
13. SANITARY SEWER SPECIFICATIONS -
  - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
  - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (a). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRING OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.0 OF THE "STANDARD SPECIFICATIONS".
14. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TPP).

**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MILWAUKEE OFFICIALS MUST APPROVE ANY DEVIATIONS PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MILWAUKEE ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MILWAUKEE.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. REPAIRS OR CORRECTIONS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
8. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE DITCH PROTECTIVE MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER TO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEPARTMENT TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (HDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WORK TECHNICAL STANDARDS 1052 AND 1053.
11. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WORK TECHNICAL STANDARD 1058.
12. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WORK REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WORK REQUIREMENTS.
14. STABILIZATION PRACTICES
  - 14.1. \*STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - THE INITIATOR STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \*CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN CONSTRUCTION ACTIVITY CEASED. TO BE TOTAL, THE PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - 14.2. \*STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND SOIL TYPE. THESE MEASURES MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
    - HYDRO-MULCHING WITH A TACKIFIER
    - GEOTEXTILE EROSION MATTING
    - SOODING

**GRADING AND SEEDING NOTES**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROXIMATE BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PROPOSED GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOIL/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
8. CONTRACTOR TO DEEP TILL ALL COMPACTED PEROUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
10. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WORK TECHNICAL STANDARD 1050 AND CITY OF MILWAUKEE ORDINANCE.

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. SURVEY WAS PERFORMED BY CHARTER LAND SURVEYORS, JSD PROFESSIONAL SERVICES, INC. SHALL NOT BE HELD RESPONSIBLE FOR ERRORS (IF ANY) BETWEEN THE SURVEY AND FIELD.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

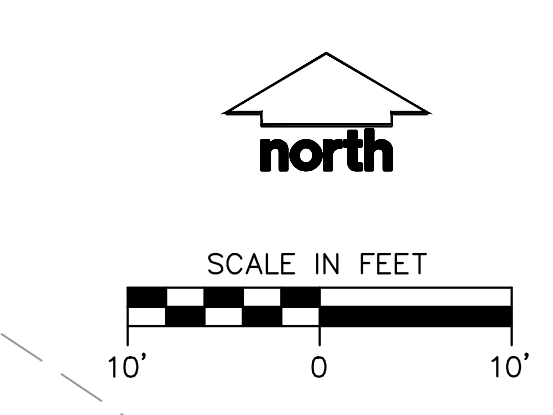
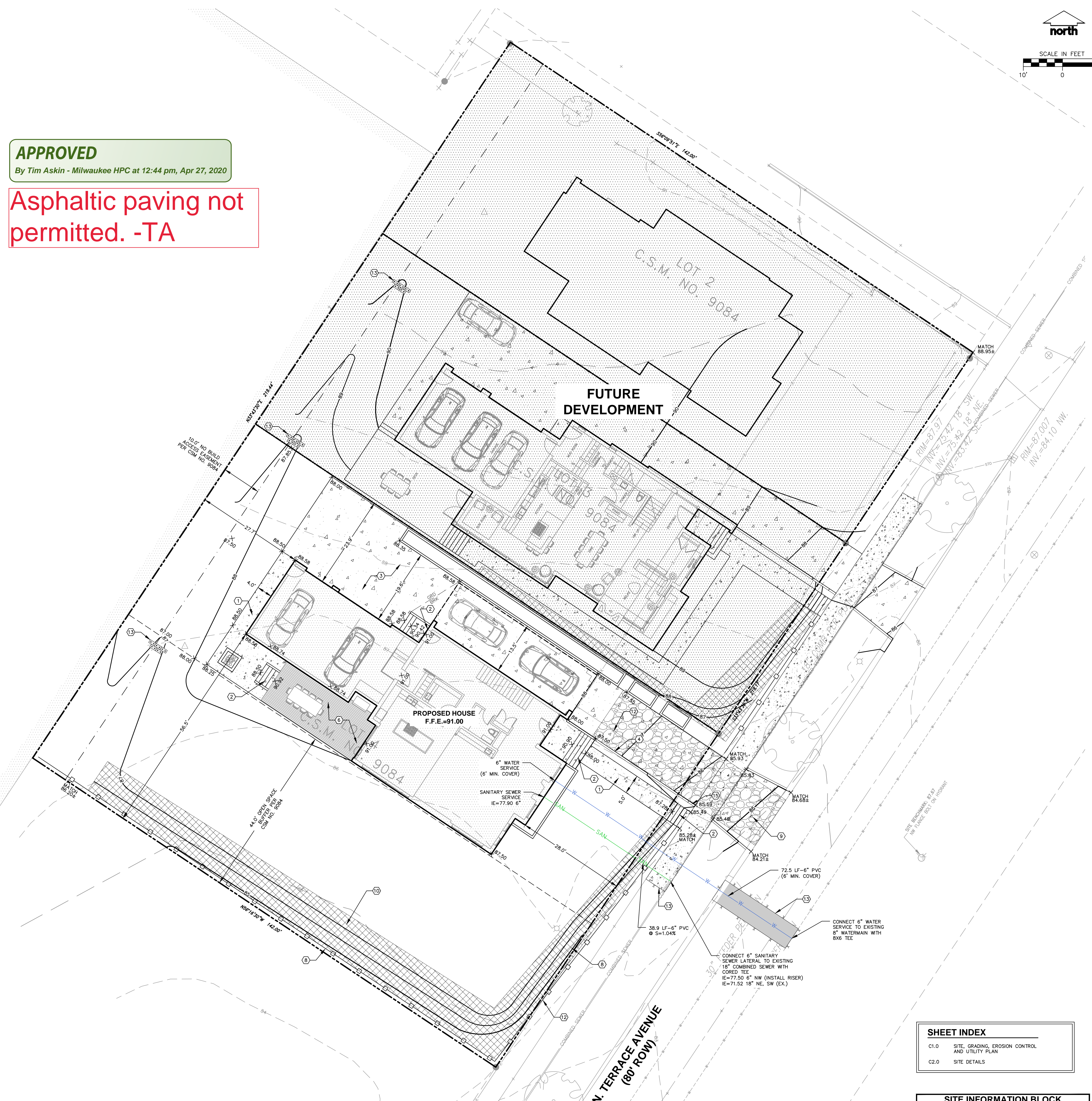
**CONSTRUCTION SEQUENCING**

1. INSTALL PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL DITCH CHECKS WITHIN DRAINAGE DITCHES AS NEEDED.
4. INSTALL UTILITY SERVICE LATERALS.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL, AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**APPROVED**  
By Tim Askin - Milwaukee HPC at 12:44 pm, Apr 27, 2020

**Asphaltic paving not permitted. -TA**



**PROJECT**  
TERRACE AVE LOTS  
2381-2387 N. TERRACE AVE  
MILWAUKEE, WI 53211

**OWNER**  
NEW LAND ENTERPRISES, LLC  
1818 N. FARWELL AVE.  
MILWAUKEE, WI 53202  
P 414.349.2448

**ARCHITECT**  
KORB + ASSOCIATES  
ARCHITECTS  
645 N. PLANKINTON AVE.  
SUITE 240  
MILWAUKEE, WI 53203  
P 414.273.8230

**CIVIL ENGINEER**  
JSD PROFESSIONAL SERVICES, INC.  
W238 WISCONSIN BUSSE ROAD, SUITE 100  
WALKESHA, WI 53188  
P 262.513.0866

| SHEET INDEX |   |
|-------------|---|
| C1.0        | SITE, GRADING, EROSION CONTROL AND UTILITY PLAN |
| C2.0        | SITE DETAILS                                    |

| SITE INFORMATION BLOCK                 |                             |
|--|-----------------------------|
| SITE ADDRESS                           | 2381-2387 N. TERRACE AVENUE |
| PROPERTY ACREAGE                       | 0.715 ACRES                 |
| NUMBER OF BUILDING STORIES             | 2 STORES                    |
| TOTAL BUILDING SQUARE FOOTAGE          | 4,420 SF                    |
| 2381 N. TERRACE AVENUE                 | 4,159 SF                    |
| 2387 N. TERRACE AVENUE                 | 4,159 SF                    |
| EXISTING VS. PROPOSED SITE COVERAGE    |                             |
| EXISTING IMPERVIOUS SURFACE AREA       | 0 SF                        |
| EXISTING PERVIOUS SURFACE AREA         | 31,142 SF                   |
| EXISTING IMPERVIOUS SURFACE AREA RATIO | 0.00                        |
| PROPOSED IMPERVIOUS SURFACE AREA       | 10,474 SF                   |
| PROPOSED PERVIOUS SURFACE AREA         | 20,668 SF                   |
| PROPOSED IMPERVIOUS SURFACE AREA RATIO | 0.34                        |

| # | DATE:    | DESCRIPTION    |
|---|----------|----------------|
| 1 | 04-24-20 | CITY SUBMITTAL |

| LEGEND |                         |
|--------|-------------------------|
|        | PROPERTY LINE           |
|        | RIGHT-OF-WAY            |
|        | EASEMENT LINE           |
|        | BUILDING OUTLINE        |
|        | BUILDING OVERHANG       |
|        | 6" CURB HEAD            |
|        | CONCRETE PAVEMENT       |
|        | CONCRETE SIDEWALK       |
|        | PROPOSED 1 FOOT CONTOUR |
|        | PROPOSED 5 FOOT CONTOUR |
|        | EXISTING 1 FOOT CONTOUR |
|        | EXISTING 5 FOOT CONTOUR |
|        | SPOT ELEVATION          |
|        | GRADE BREAK             |
|        | SILT FENCE              |
|        | CONSTRUCTION ENTRANCE   |
|        | EROSION MATTING         |
|        | SANITARY SEWER          |
|        | WATERMAIN               |

| KEY |   |
|-----|---|
|     | 1 CONCRETE SIDEWALK (SEE DETAIL)                |
|     | 2 CONCRETE STAIRS (SEE ARCH. PLANS)             |
|     | 3 CONCRETE PAVEMENT (SEE DETAIL)                |
|     | 4 6" CURB HEAD                                  |
|     | 5 WOOD DECK STAIRS (SEE ARCH. PLANS)            |
|     | 6 WOOD DECK (SEE ARCH. PLANS)                   |
|     | 7 PLANTER BOXES                                 |
|     | 8 SILT FENCE, TYP.                              |
|     | 9 CONSTRUCTION ENTRANCE, TYP.                   |
|     | 10 EROSION MATTING, CLASS I, TYP.               |
|     | 11 DITCH CHECK, TYP.                            |
|     | 12 REMOVE EXISTING FENCE                        |
|     | 13 SAWCUT EXISTING PAVEMENT AND REPLACE IN KIND |
|     | 14 RETAINING WALL                               |
|     | 15 CURB TAPER                                   |

| PAVEMENT STRUCTURE |  |
|--------------------|--|
|                    | 1 CONCRETE PAVEMENT                                      |
|                    | 2 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED) |
|                    | 3 5" CONCRETE  |
|                    | 4 CONCRETE SIDEWALK                                      |
|                    | 5 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED) |
|                    | 6 5" CONCRETE  |

**DIGGERS HOTLINE**  
Call 811 or (800) 242-8511  
Milwaukee Area (262) 432-7910  
www.diggers-hotline.com

**JSD Professional Services, Inc.**  
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JSD JOB NO.: 20-952

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**PLUMBING FIXTURE SCHEDULE**

| NO. | LOCATION     | ITEM                   | MANUFACTURER  | MODEL               | FINISH | NOTES                              |
|-----|--------------|------------------------|---------------|---------------------|--------|------------------------------------|
| 002 | BATHROOM     | TOILET                 | KOHLER        | VEL WALL HUNG K0209 | WHITE  | DUAL FLUSH WALL CONTROLS           |
|     |              | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | SHOWER                 |               |                     |        |                                    |
|     |              | SHOWER TRIM            |               |                     |        |                                    |
| 003 | MECHANICAL   | FLOOR DRAIN            |               |                     |        |                                    |
| 004 | REC ROOM     | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
| 102 | DINING       | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | KEE MAKER              |               |                     |        | PROVIDE WATER LINE AND CONNECT     |
| 103 | KITCHEN      | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | GARBAGE DISPOSAL       |               |                     |        |                                    |
|     |              | DISHWASHER             | SEE EQUIPMENT |                     |        | PLACE AND CONNECT                  |
|     |              | REFRIGERATOR / FREEZER | SEE EQUIPMENT |                     |        | PROVIDE WATER LINE AND CONNECT     |
| 104 | PANTRY       | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
| 107 | BATHROOM     | TOILET                 | KOHLER        | VEL WALL HUNG K0209 | WHITE  | DUAL FLUSH WALL CONTROLS           |
|     |              | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
| 109 | GARAGE ENTRY | FLOOR DRAIN            |               |                     |        | PROVIDE TRENCH DRAIN AT EACH STALL |
| 204 | MASTER BATH  | TOILET                 | KOHLER        | VEL WALL HUNG K0209 | WHITE  | DUAL FLUSH WALL CONTROLS           |
|     |              | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | SHOWER                 |               |                     |        |                                    |
|     |              | SHOWER TRIM            |               |                     |        |                                    |
|     |              | SOAKING TUB            | ADM           | OVAL FREESTANDING   | WHITE  |                                    |
|     |              | SOAKING TUB TRIM       |               |                     |        |                                    |
| 206 | LAUNDRY      | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | WASHER                 | SEE EQUIPMENT |                     |        | PLACE AND CONNECT                  |
| 210 | BATHROOM     | TOILET                 | KOHLER        | VEL WALL HUNG K0209 | WHITE  | DUAL FLUSH WALL CONTROLS           |
|     |              | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
|     |              | TUB                    |               |                     |        |                                    |
|     |              | TUB / SHOWER TRIM      |               |                     |        |                                    |
|     |              | GLASS SHOWER DOORS     |               |                     |        |                                    |
| 212 | BATHROOM     | SINK BASIN             |               |                     |        |                                    |
|     |              | SINK FAUCET            |               |                     |        |                                    |
| 213 | BATHROOM     | TOILET                 | KOHLER        | VEL WALL HUNG K0209 | WHITE  | DUAL FLUSH WALL CONTROLS           |
|     |              | TUB                    |               |                     |        |                                    |
|     |              | TUB / SHOWER TRIM      |               |                     |        |                                    |
|     |              | GLASS SHOWER DOORS     |               |                     |        |                                    |

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:48 pm, Apr 27, 2020

**DOOR SCHEDULE**

| NO.   | LOCATION           | DOOR                       |      | FRAME  |      |         | GLASS   | HARDWARE GROUP NO. | KEY NOTES       |
|-------|--------------------|----------------------------|------|--------|------|---------|---------|--------------------|-----------------|
|       |                    | SIZE                       | TYPE | FINISH | TYPE | MATL.   |         |                    |                 |
| 001.1 | REC ROOM           | 5'-0" x 7'-0" x 1-3/4"     | -    | PT-2   | -    | PT-2    |         | 4                  |                 |
| 001.2 | REC ROOM CLOSET    | (2) 3'-0" x 7'-0" x 1-3/4" | P    | PT-2   | B    | WD      | PT-2    | 5                  |                 |
| 002.1 | BATHROOM           | 3'-0" x 7'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 003.1 | MECHANICAL         | 3'-0" x 7'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 3                  |                 |
| 100.1 | ENTRY              | 4'-0" x 8'-0" x 1-3/4"     | PV   | STN    | XXX  | AL CLAD | FACTORY | 1                  |                 |
| 100.2 | ENTRY CLOSET       | (2) 3'-0" x 8'-0" x 1-3/4" | P    | PT-2   | B    | WD      | PT-2    | 5                  |                 |
| 101.1 | KITCHEN            | (2) 3'-0" x 8'-0" x 1-3/4" | -    | -      | -    | AL CLAD | FACTORY | 9                  | CLEAR, TEMPERED |
| 104.1 | PANTRY             | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 3                  |                 |
| 105.1 | MUD ROOM           | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 6                  |                 |
| 105.2 | MUD ROOM ENTRY     | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 10                 |                 |
| 106.1 | HALL ENTRY         | 3'-0" x 8'-0" x 1-3/4"     | VL   | PT-2   | B    | WD      | PT-2    | 2                  | CLEAR, TEMPERED |
| 107.1 | POWDER ROOM        | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 108.1 | GARAGE ENTRY       | 3'-0" x 8'-0" x 1-3/4"     | VL   | PT-2   | B    | WD      | PT-2    | 6                  |                 |
| 109.2 | GARAGE SINGLE OVHD | 8'-0" x 8'-0" x xxx"       | O/HO | -      | -    | -       | -       | -                  | -               |
| 109.3 | GARAGE DOUBLE OVHD | 16'-0" x 8'-0" x xxx"      | O/HO | -      | -    | -       | -       | -                  | -               |
| 202.1 | MASTER BEDROOM     | (2) 3'-0" x 8'-0" x 1-3/4" | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 203.1 | PATIO              | (2) 3'-0" x 8'-0" x 1-3/4" | FL   | -      | -    | AL CLAD | FACTORY | 7                  | CLEAR, TEMPERED |
| 204.1 | MASTER BATH        | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 205.1 | MASTER CLOSET      | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 3                  |                 |
| 206.1 | LAUNDRY            | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 3                  |                 |
| 207.1 | CLOSET             | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 3                  |                 |
| 208.1 | PATIO              | (2) 3'-0" x 8'-0" x 1-3/4" | FL   | -      | -    | AL CLAD | FACTORY | 7                  | CLEAR, TEMPERED |
| 209.1 | BEDROOM            | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 210.1 | BATHROOM           | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 211.1 | BEDROOM            | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 212.1 | BATHROOM           | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 212.2 | BATHROOM           | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 213.1 | WATER CLOSET       | 3'-0" x 8'-0" x 1-3/4"     | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |
| 214.1 | OFFICE             | (2) 3'-0" x 8'-0" x 1-3/4" | P    | PT-2   | B    | WD      | PT-2    | 4                  |                 |

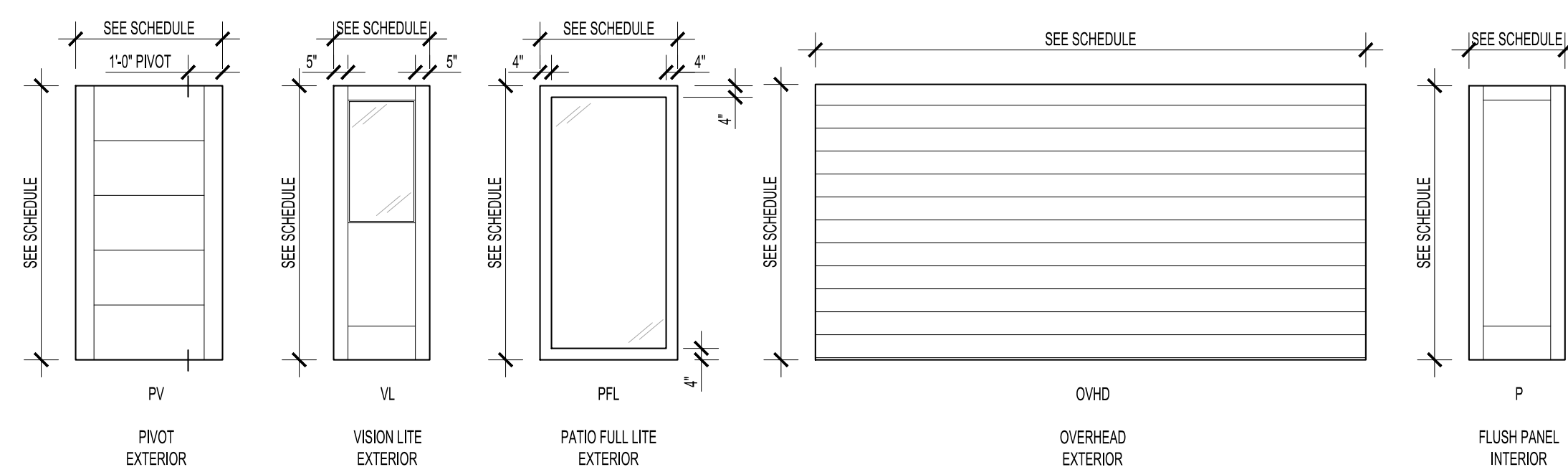
GENERAL NOTES  
1 FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING DOORS, HARDWARE AND TRIM  
2 PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL

**HARDWARE GROUPS**

- GROUP 1 - ENTRY PIVOT**  
PIVOT HINGE AS SELECTED FROM DOOR MANUFACTURER'S STANDARD OFFERINGS  
PULL: TBD, FINISH: FLAT BLACK  
LOCK: WALL MOUNT, FINISH: FLAT BLACK  
DOOR STOP: INOX D50X9, FINISH: GRAPHITE BLACK (19G)
- GROUP 2 - ENTRY**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: EMTEK TUBULAR ENTRY SET, MODEL: LAUSANNE WITH DUMONT LEVER  
FINISH: FLAT BLACK  
DOOR STOP: INOX D50X9, FINISH: GRAPHITE BLACK (19G)
- GROUP 3 - PASSAGE**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: SMITH DUMONT LEVER WITH STRETTO ROSETTE FINISH: FLAT BLACK  
DOOR STOP: INOX D50X9, FINISH: GRAPHITE BLACK (19G)  
HINGE STOP: FINISH: BLACK, WHEN WALL STOP IS NOT AN OPTION
- GROUP 4 - PRIVACY**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: EMTEK DUMONT LEVER WITH STRETTO ROSETTE FINISH: FLAT BLACK  
DOOR STOP: INOX D50X9, FINISH: GRAPHITE BLACK (19G)  
HINGE STOP: FINISH: BLACK, WHEN WALL STOP IS NOT AN OPTION
- GROUP 5 - PAIRED CLOSET DOORS**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: SMITH DUMONT LEVER WITH STRETTO ROSETTE FINISH: FLAT BLACK  
HINGE STOP: FINISH: BLACK, WHEN WALL STOP IS NOT AN OPTION
- GROUP 6 - SERVICE ENTRY**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: EMTEK TUBULAR ENTRY SET, MODEL: LAUSANNE WITH DUMONT LEVER  
FINISH: FLAT BLACK  
HINGE STOP: FINISH: BLACK, WHEN WALL STOP IS NOT AN OPTION

- GROUP 7 - PATIO SWING DOORS**  
HINGES: SET OF 3 HINGES AT 7'-0" DOORS, SET OF 4 AT 8'-0" DOORS  
LOCKSET: AS SELECTED FROM DOOR MANUFACTURER'S STANDARD OFFERINGS  
FINISH: MATCH WINDOW FRAMES
- GROUP 8 - BARN DOOR**  
EMTEK MODERN RECTANGULAR TOP MOUNT AND FLAT WHEEL AND FLAT FASTENER  
FINISH: FLAT BLACK  
PULL: EMTEK, RUSTIC MODERN RECTANGULAR DOOR PULL, FINISH: FLAT BLACK, INSTALLED, QTY OF 1 EACH SIDE OF DOOR PANEL

**DOOR TYPES**



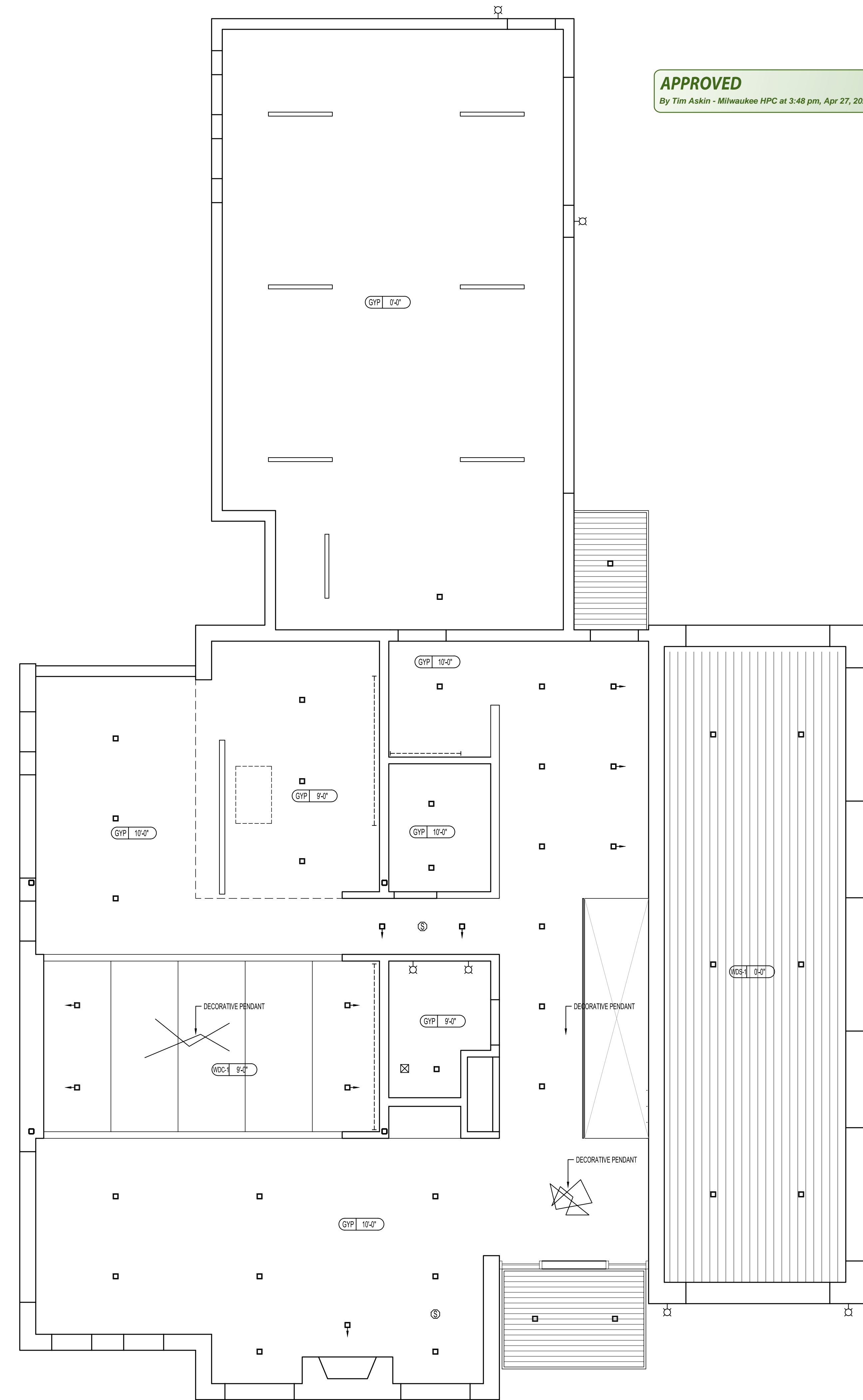
**FURNITURE AND EQUIPMENT SCHEDULE**

| NO.   | LOCATION       | ITEM                              | MANUFACTURER | MODEL       | FINISH | NOTES                          |
|-------|----------------|-----------------------------------|--------------|-------------|--------|--------------------------------|
| 001.1 | STORAGE CLOSET | CLOSET SYSTEM                     |              |             |        |                                |
| 002   | BATHROOM       | TOWEL BAR                         |              |             |        |                                |
|       |                | TOWEL RING                        |              |             |        |                                |
|       |                | TOILET PAPER HOLDER               |              |             |        |                                |
|       |                | MIRROR                            |              |             |        | ALLOWANCE \$450/UNIT           |
|       |                | ROBE HOOK                         |              |             |        |                                |
|       |                | GLASS SHOWER DOORS                |              |             |        |                                |
|       |                | SHOWER PULL                       |              |             |        |                                |
| 003   | MECHANICAL     | AIR CONDITIONER                   |              |             |        |                                |
|       |                | FURNACE                           |              |             |        |                                |
| 004   | REC ROOM       | FLAT SCREEN TV                    |              |             |        |                                |
|       |                | FLAT SCREEN TV BRACKET            |              |             |        |                                |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 100.1 | ENTRY CLOSET   | STORAGE CLOSET SYSTEM             |              |             |        |                                |
|       |                | FLAT SCREEN TV                    |              |             |        |                                |
|       |                | FLAT SCREEN TV BRACKET            |              |             |        |                                |
|       |                | GAS REPLACEMENT UNIT              | KOZY HEAT    | CARLTON 48" |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 103   | KITCHEN        | COOKTOP                           | GE           |             |        |                                |
|       |                | REFRIGERATOR / FREEZER            | GE           |             |        |                                |
|       |                | STOVE/OVEN / MICROWAVE            | GE           |             |        |                                |
|       |                | DISHWASHER                        | GE           |             |        |                                |
|       |                | VENTILATION HOOD                  | ELICA        | SENA        |        |                                |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 104   | PANTRY         | APRON OR MOP HOOK                 |              |             |        |                                |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
| 105   | MUD ROOM       | COAT HOOK(S)                      |              |             |        |                                |
|       |                | CLOSET HARDWARE                   |              |             |        |                                |
| 106   | HALLWAY / STAR | STAIR RAIL                        |              |             |        |                                |
|       |                | STAIR RAIL BRACKETS               |              |             |        |                                |
| 107   | POWDER ROOM    | TOWEL BAR                         |              |             |        |                                |
|       |                | TOWEL RING                        |              |             |        |                                |
|       |                | TOILET PAPER HOLDER               |              |             |        |                                |
|       |                | MIRROR                            |              |             |        | ALLOWANCE \$50/UNIT            |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
| 108   | GARAGE         | DOOR OPENER                       |              |             |        |                                |
|       |                | SHELVING SYSTEM                   |              |             |        |                                |
|       |                | CHARGING STATIONS                 |              |             |        |                                |
|       |                | BIKE RACKS                        |              |             |        |                                |
| 201   | HALLWAY        | STAIR RAILINGS                    |              |             |        |                                |
| 202   | MASTER BEDROOM | GAS REPLACEMENT UNIT              | KOZY HEAT    | CARLTON 48" |        |                                |
|       |                | FLAT SCREEN TV                    |              |             |        |                                |
|       |                | FLAT SCREEN TV BRACKET            |              |             |        |                                |
| 204   | MASTER BATH    | TOWEL BAR                         |              |             |        |                                |
|       |                | TOWEL RINGS                       |              |             |        |                                |
|       |                | TOILET PAPER HOLDER               |              |             |        |                                |
|       |                | MIRROR                            |              |             |        | ALLOWANCE \$450/UNIT           |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | GLASS SHOWER DOOR                 |              |             |        |                                |
|       |                | SHOWER PULL                       |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 205   | MASTER CLOSET  | CLOSET SYSTEM                     |              |             |        |                                |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | FULL LENGTH MIRROR (BACK OF DOOR) |              |             |        | ALLOWANCE \$250/FRAMELESS UNIT |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 206   | LAUNDRY        | CABINET HARDWARE                  |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 207   | BEDROOM CLOSET | CLOSET SYSTEM                     |              |             |        |                                |
|       |                | FULL LENGTH MIRROR (BACK OF DOOR) |              |             |        | ALLOWANCE \$250/FRAMELESS UNIT |
| 208   | BEDROOM        | WINDOW TREATMENTS                 |              |             |        |                                |
| 210   | BATHROOM       | TOWEL BAR                         |              |             |        |                                |
|       |                | TOWEL RINGS                       |              |             |        |                                |
|       |                | TOILET PAPER HOLDER               |              |             |        |                                |
|       |                | MIRROR                            |              |             |        | ALLOWANCE \$50/UNIT            |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | GLASS SHOWER DOOR                 |              |             |        |                                |
|       |                | SHOWER PULL                       |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 211   | BEDROOM        | CABINET HARDWARE                  |              |             |        |                                |
|       |                | FULL LENGTH MIRROR (BACK OF DOOR) |              |             |        | ALLOWANCE \$250/FRAMELESS UNIT |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 212   | BATHROOM       | TOWEL RINGS                       |              |             |        |                                |
|       |                | MIRROR                            |              |             |        | ALLOWANCE \$50/UNIT            |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |
| 213   | WATER CLOSET   | TOWEL BAR                         |              |             |        |                                |
|       |                | TOILET PAPER HOLDER               |              |             |        |                                |
|       |                | GLASS SHOWER DOOR                 |              |             |        |                                |
|       |                | SHOWER PULL                       |              |             |        |                                |
| 214   | BEDROOM        | CLOSET SYSTEM                     |              |             |        |                                |
|       |                | CABINET HARDWARE                  |              |             |        |                                |
|       |                | FULL LENGTH MIRROR (BACK OF DOOR) |              |             |        | ALLOWANCE \$250/FRAMELESS UNIT |
|       |                | WINDOW TREATMENTS                 |              |             |        |                                |

**FINISH IDENTIFICATION LIST**

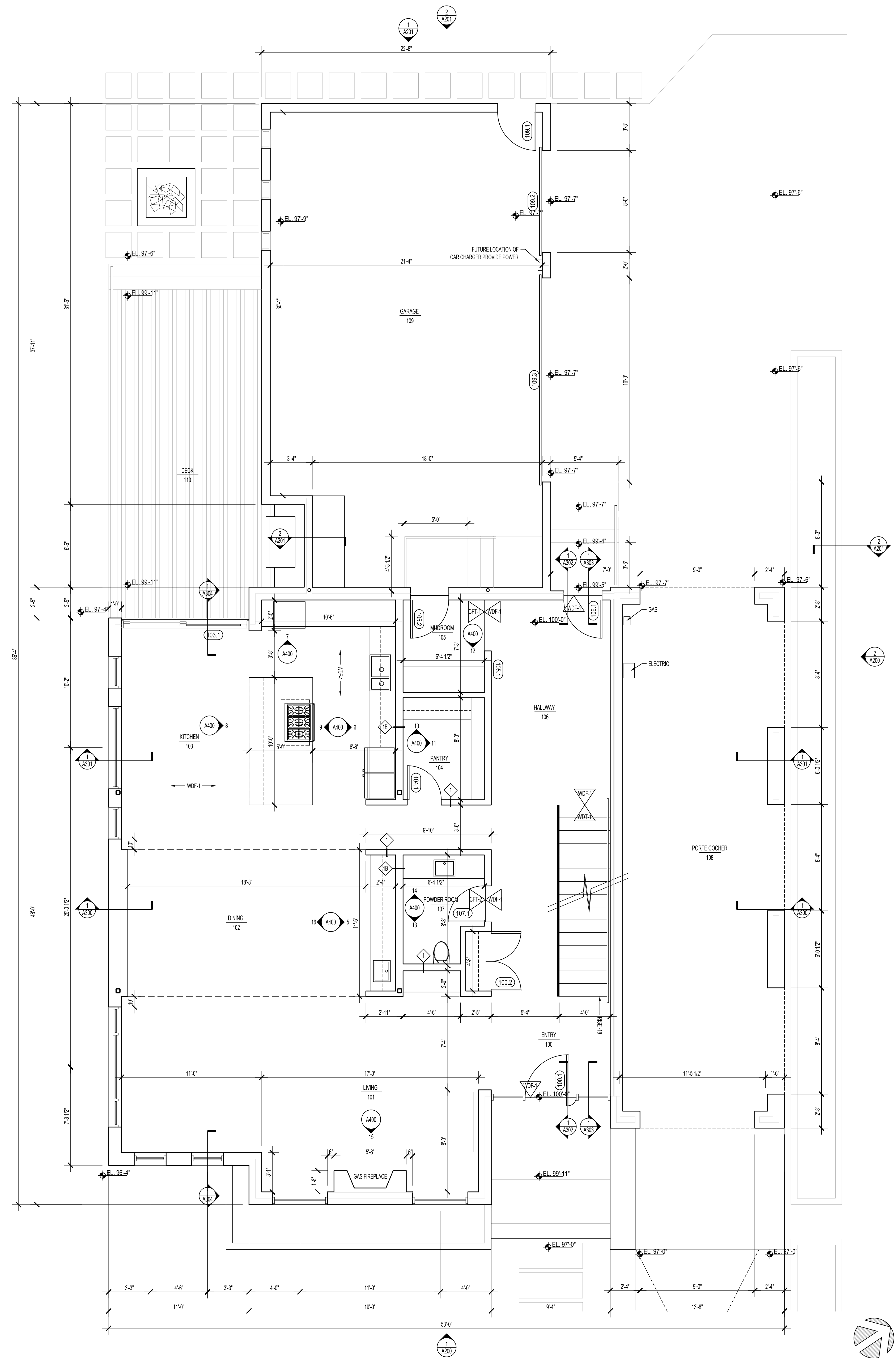
| NO.    | LOCATION AND PRODUCT TYPE         | ALLOWANCE AND NOTES  |
|--------|-----------------------------------|--|
| CTF-1  | MUD ROOM FLOOR TILE               | MFG: ERGON, PRODUCT: STONETALK, COLOR: DARK MARTELLATA, SIZE: TBD, CONTACT: MARK KUEPPER / INSULATION + SUPPLY, P: 920.470.2111, MATERIAL ALLOWANCE \$4.92 / SF (DOES NOT INCLUDE FREIGHT) |
| CTF-2  | BATHROOM FLOOR TILE               | MATERIAL ALLOWANCE \$6.92 / SF FOR 24"x24" (PRICE DOES NOT INCLUDE FREIGHT)  |
| CTW-1  | BASEMENT BAR WALL TILE            | MATERIAL ALLOWANCE \$6.92 / SF (SIZE TBD - PRICE DOES NOT INCLUDE FREIGHT)   |
| CTW-2  | DINING RM BAR WALL TILE           | MATERIAL ALLOWANCE \$20.00 / SF  |
| CTW-3  | KITCHEN WALL TILE                 | MFG: ANN SACKS, PRODUCT: FIGURATI DECO 6" HEX, COLORS: BURNISHED BRONZE, BLUE AND DENIM (USED EQUALLY)   |
| CTW-4  | MUD ROOM WALL TILE                | MFG: ERGON, PRODUCT: STONETALK, COLOR: DARK MARTELLATA, SIZE: TBD, CONTACT: MARK KUEPPER / INSULATION + SUPPLY, P: 920.470.2111, MATERIAL ALLOWANCE \$4.92 / SF (DOES NOT INCLUDE FREIGHT) |
| CTW-5  | POWDER ROOM WALL TILE             | MATERIAL ALLOWANCE \$20.00 / SF  |
| CTW-6  | LAUNDRY WALL TILE                 | MATERIAL ALLOWANCE \$20.00 / SF  |
| CTW-7  | BATH 1 + BATH 2 SHOWER WALL TILE  | MATERIAL ALLOWANCE \$6.92 / SF (SIZE TBD - PRICE DOES NOT INCLUDE FREIGHT)   |
| PT-1   | GENERAL WALL PAINT                | SHERWIN WILLIAMS, EGGSHELL FINISH, COLOR: SW 7015 REPOSE GRAY, U.N.O.  |
| PT-2   | DOOR AND WALL TRIM PAINT          | SHERWIN WILLIAMS, SEMI-GLOSS, COLOR: SW 7005 PURE WHITE  |
| PT-3   | ACCENT WALL PAINT - DAUGHTER'S RM | SHERWIN WILLIAMS, EGGSHELL FINISH, COLOR: TBD  |
| PT-4   | ACCENT WALL PAINT - SON'S ROOM    | SHERWIN WILLIAMS, EGGSHELL FINISH, COLOR: TBD  |
| RCAB-1 | WHITE CABINETS                    | PREMIER EUROCASE, ULTRA MATTE, COLOR: 1882, CABINETS TO BE COORDINATED WITH TAD HELLMANN DESIGN, P: 414.303.6010   |
| RCAB-2 | WOOD FACED CABIN                  |  |





2 FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"



1 FIRST FLOOR PLAN

1/4" = 1'-0"

**PROJECT NAME:**  
KLOTH SHUK RESIDENCE  
2381 N. TERRACE AVE.  
MILWAUKEE, WI 53202

**OWNERS INFO:**  
AT TERRACE, LLC.  
1840 N. FARWELL  
SUITE A  
MILWAUKEE, WI 53202  
P 414.271.5263

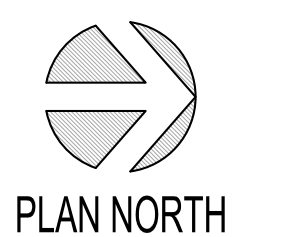
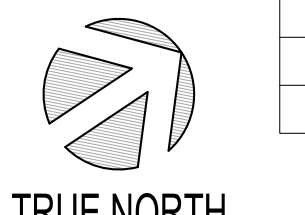
**ARCHITECT:**  
KORB + ASSOCIATES  
648 N. PLANKINTON AVE.  
SUITE 240  
MILWAUKEE, WI 53203  
P 414.273.8230

**CONSTRUCTION MANAGER:**  
JM CONSTRUCTION  
5825 N. 99TH STREET  
MILWAUKEE, WI 53225  
P 414.791.1665

**STRUCTURAL ENGINEER:**  
SPIRE ENGINEERING  
305 N. PLANKINTON AVE.  
SUITE 101  
MILWAUKEE, WI 53203  
414.278.9200

| REV. NO. | DATE       |
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| PHASE: PERMIT SET  |
| DATE: 4-22-2020    |

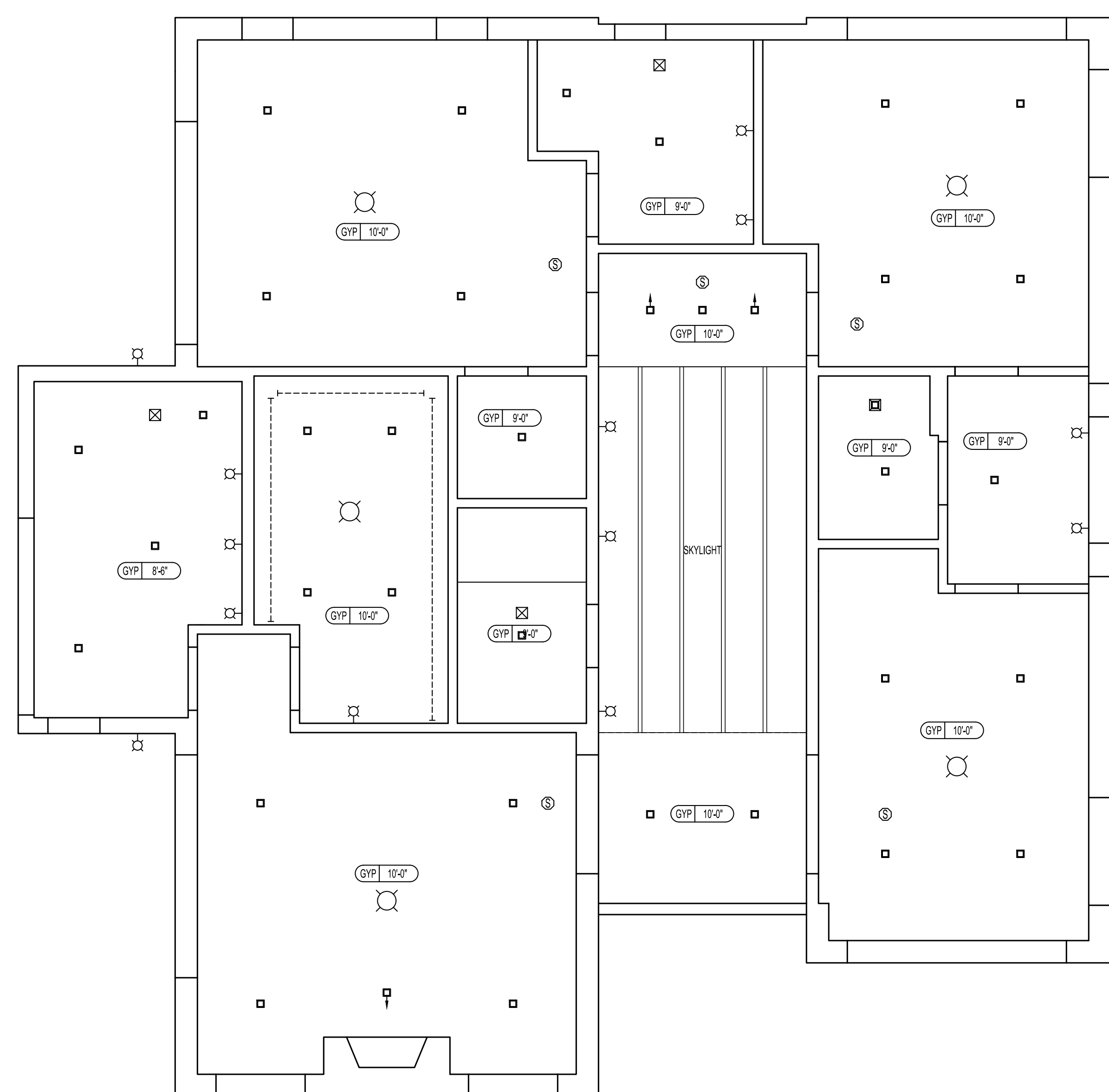


FIRST FLOOR PLAN  
FIRST FLOOR REFLECTED CEILING

**A101**

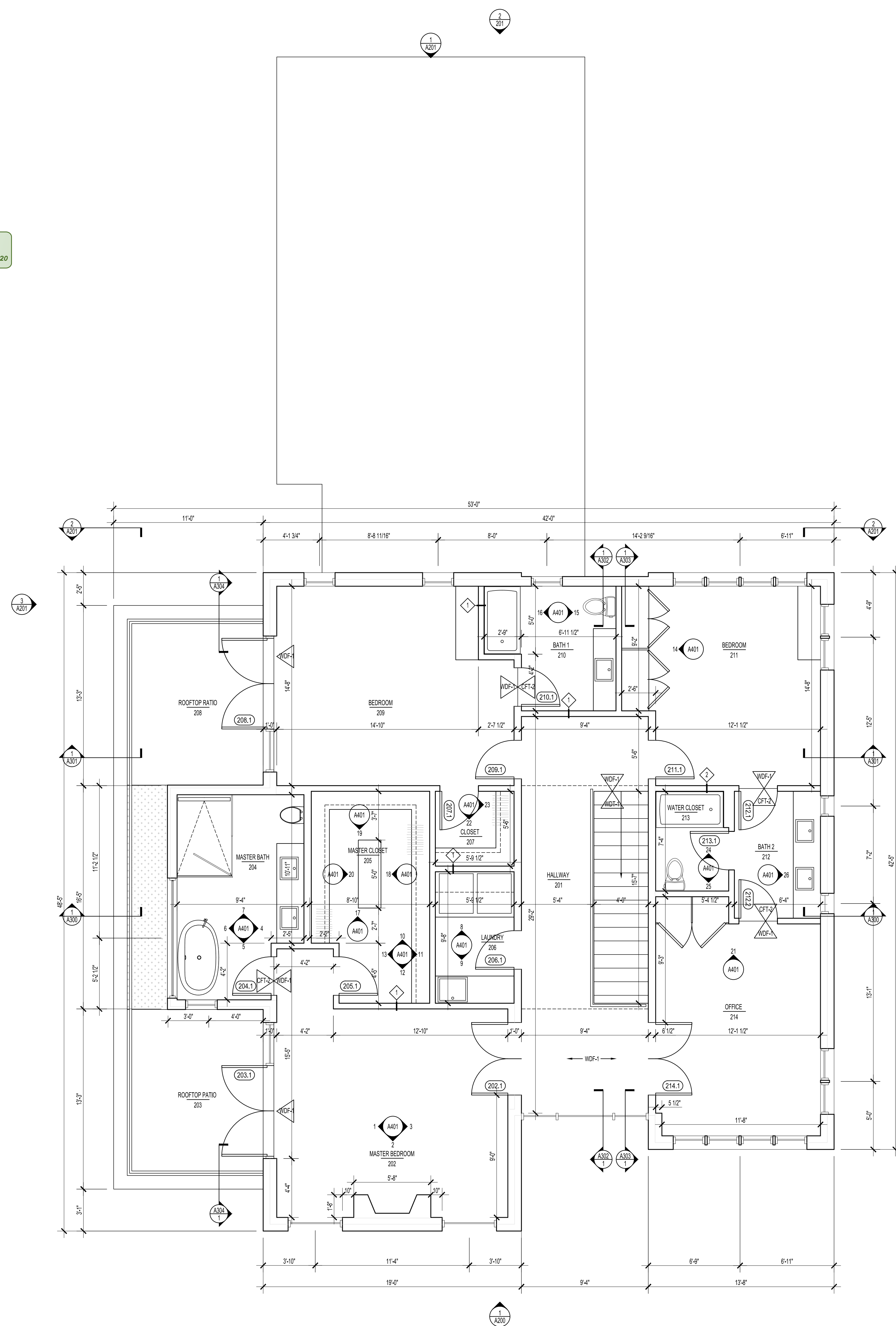


**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:48 pm, Apr 27, 2020



2 SECOND FLOOR REFLECTED CEILING PLAN

1/4" = 1'-0"



1 SECOND FLOOR PLAN

1/4" = 1'-0"

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KLOTH SHUK RESIDENCE  
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1840 N. FARWELL  
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MILWAUKEE, WI 53202  
P 414.271.5263

**ARCHITECT:**  
KORB + ASSOCIATES  
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**CONSTRUCTION MANAGER:**  
JM CONSTRUCTION  
5825 N. 99TH STREET  
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P 414.791.1665

**STRUCTURAL ENGINEER:**  
SPIRE ENGINEERING  
305 N. PLANKINTON AVE.  
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414.278.9200

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| PHASE:    | PERMIT SET |
| DATE:     | 4-22-2020  |

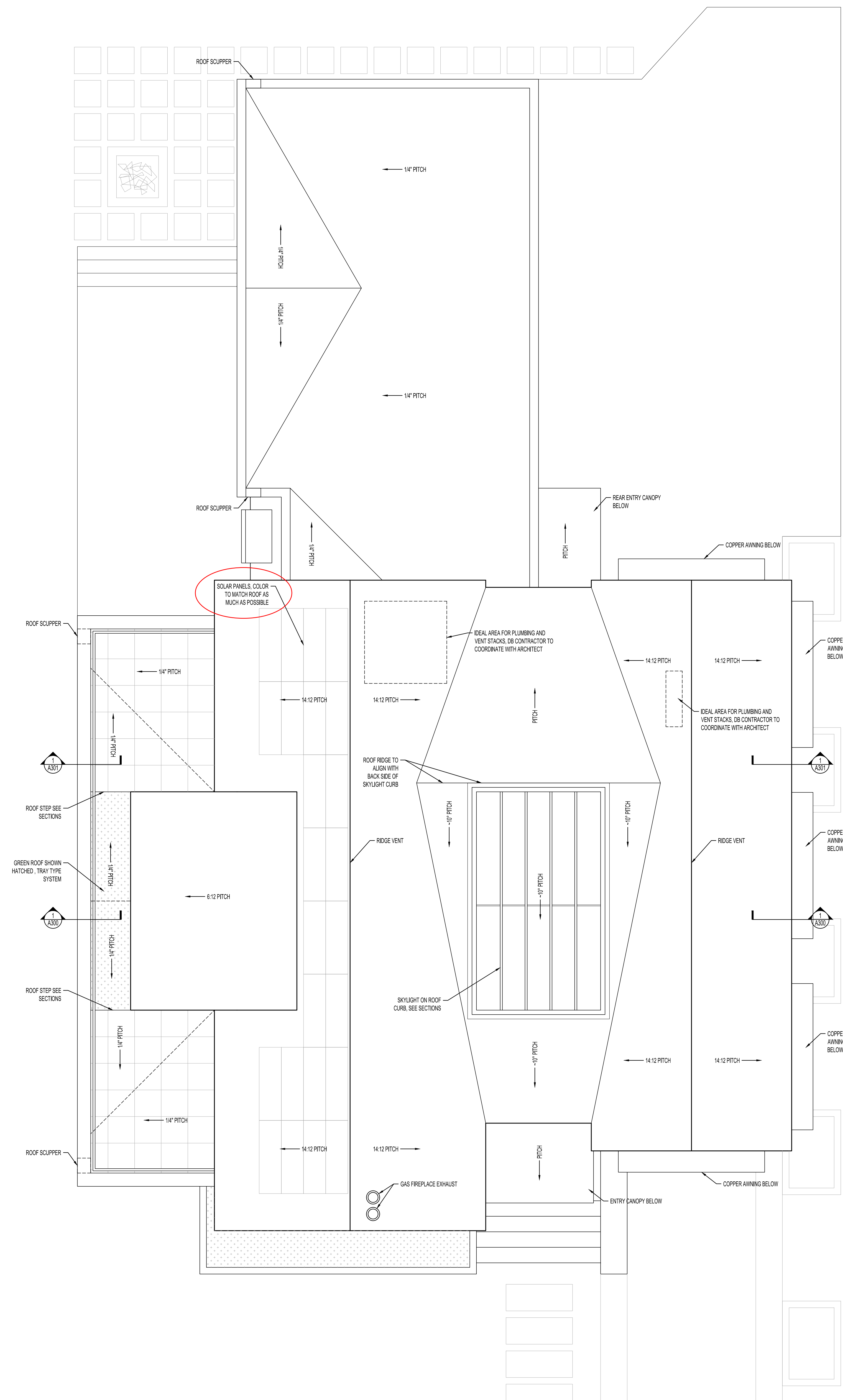


SECOND FLOOR PLAN  
SECOND FLOOR REFLECTED CEILING

**A102**



**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:48 pm, Apr 27, 2020



**PROJECT NAME:**  
KLOTH SHUK RESIDENCE  
2381 N. TERRACE AVE.  
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**OWNERS INFO:**  
AT TERRACE, LLC.  
1840 N. FARWELL  
SUITE A  
MILWAUKEE, WI 53202  
P 414.271.5263

**ARCHITECT:**  
KORB + ASSOCIATES  
648 N. PLANKINTON AVE.  
SUITE 240  
MILWAUKEE, WI 53203  
P 414.273.8230

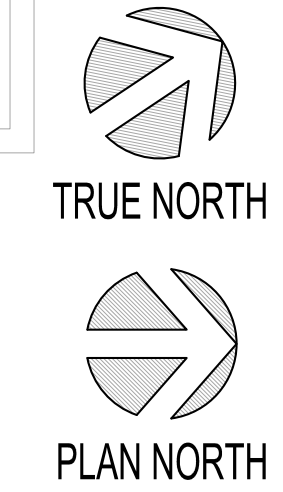
**CONSTRUCTION MANAGER:**  
JM CONSTRUCTION  
5825 N. 99TH STREET  
MILWAUKEE, WI 53225  
P 414.791.1665

**STRUCTURAL ENGINEER:**  
SPIRE ENGINEERING  
305 N. PLANKINTON AVE.  
SUITE 101  
MILWAUKEE, WI 53203  
414.278.9200

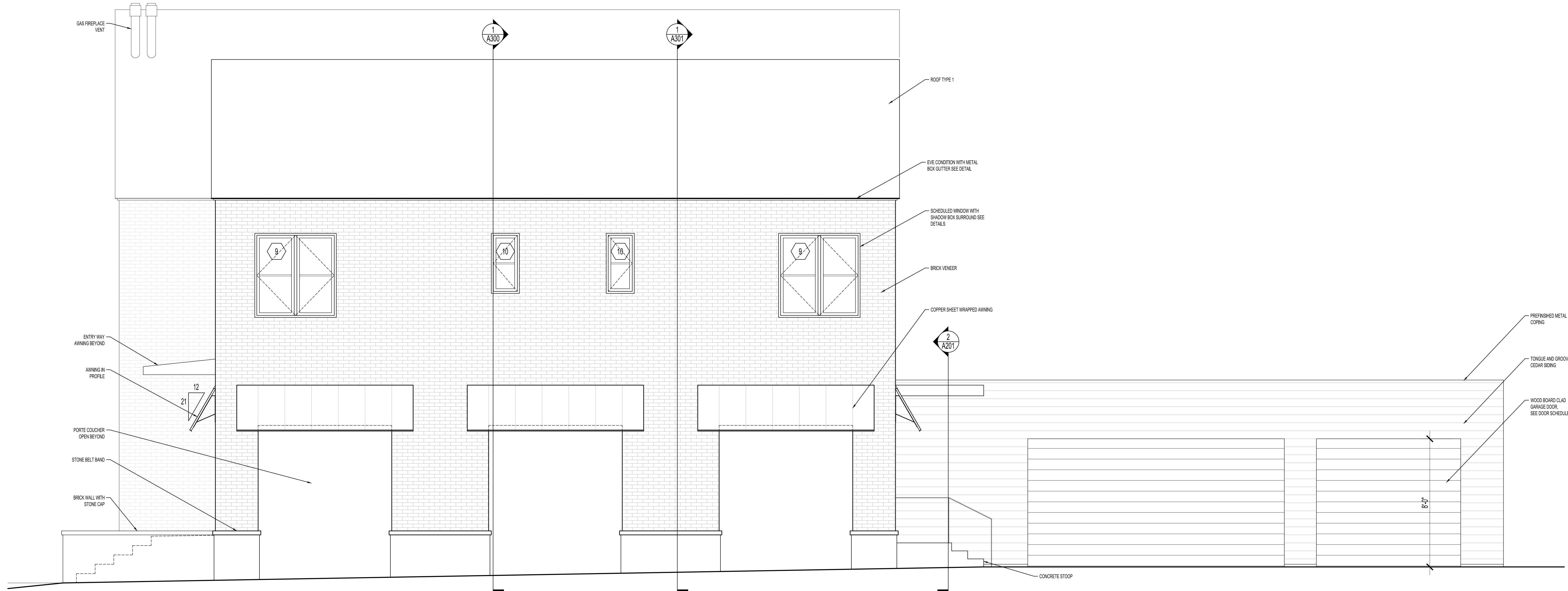
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| PHASE:    | PERMIT SET |
| DATE:     | 4-22-2020  |

1 ROOF PLAN  
1/4" = 1'-0"







2 NORTH ELEVATION  
3/8" = 1'-0"

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:48 pm, Apr 27, 2020

**WINDOW SCHEDULE**

| NO. | TYPE                      | FUNCTION              | SIZE            | MULL | EGRESS | NOTES   |
|-----|---------------------------|-----------------------|-----------------|------|--------|---|
| 1   | ALUMINUM CLAD WOOD WINDOW | PUSHOUT CASEMENT      | 2'-6" x 5'-0"   | NO   |        |   |
| 2   | ALUMINUM CLAD WOOD WINDOW | PUSHOUT CASEMENT      | 2'-4" x 5'-0"   | NO   |        |   |
| 3   | ALUMINUM CLAD WOOD WINDOW | FIXED                 | 4'-0" x 8'-0"   | YES  |        |   |
| 4   | ALUMINUM CLAD WOOD WINDOW | TRANSOM               | 4'-0" x 1'-10"  | YES  |        |   |
| 5   | ALUMINUM CLAD WOOD WINDOW | DUAL PUSHOUT CASEMENT | 4'-0" x 8'-0"   | NO?  |        |   |
| 6   | ALUMINUM CLAD WOOD WINDOW | FIXED                 | 4'-0" x 8'-0"   | YES  |        |   |
| 7   | ALUMINUM CLAD WOOD WINDOW | TRANSOM               | 8'-11" x 1'-10" | YES  |        |   |
| 8   | ALUMINUM CLAD WOOD WINDOW | SIDE LIGHT            | 2'-2" x 7'-0"   | NO   |        | VERIFY SIZING AND FIT WITH DOORS                          |
| 9   | ALUMINUM CLAD WOOD WINDOW | DUAL PUSHOUT CASEMENT | 4'-10" x 5'-0"  | NO?  | YES    |   |
| 10  | ALUMINUM CLAD WOOD WINDOW | PUSHOUT CASEMENT      | 1'-6" x 3'-8"   | NO   |        |   |
| 11  | ALUMINUM CLAD WOOD WINDOW | FIXED                 | 4'-0" x 5'-0"   | YES  |        |   |
| 12  | ALUMINUM CLAD WOOD WINDOW | SIDE LIGHT            | 3'-2" x 8'-0"   | NO?  |        | VERIFY SIZING AND FIT WITH DOORS                          |
| 13  | ALUMINUM CLAD WOOD WINDOW | FIXED PICTURE WINDOW  | 8'-0" x 5'-0"   | NO   |        |   |
| 14  | ALUMINUM CLAD WOOD WINDOW | FIXED PICTURE WINDOW  | 4'-0" x 5'-0"   | YES  |        | VERIFY SIZING AND FIT WITH CASEMENT WINDOWS MULL TO SIDES |

**GENERAL NOTES**

CONTRACTOR TO BID THE FOLLOWING WINDOW MANUFACTURERS: LOEVEN WINDOWS AND DOORS, MARVIN WINDOWS AND DOORS (SIGNATURE ULTIMATE), OR PELLA (ARCHITECT SERIES CONTEMPORARY)  
 EXTERIOR FRAME: BLACK GLAZING 1" CLEAR GLU; INTERIOR: FACTORY PAINTED FINISH  
 MANUFACTURER TO PROVIDE EXTERIOR JAMB EXTENSIONS AS NEEDED IN "SHADOW BOX" DETAIL DOES NOT EXIST. SEE DETAILS  
 MANUFACTURER TO PROVIDE EXTERIOR DOORS TO MATCH WITH SIDELIGHTS, INCLUDING FRONT PIVOT DOOR IF WITHIN THEIR PRODUCT LINE  
 MANUFACTURER TO PROVIDE INTERIOR SCREENS ON OPERABLE UNITS  
 INTERIOR JAMB EXTENSIONS PROVIDED BY FINISH CONTRACTOR AS PART OF INTERIOR TRIM PACKAGE



1 EAST ELEVATION  
3/8" = 1'-0"

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EXTERIOR ELEVATIONS

**A200**



