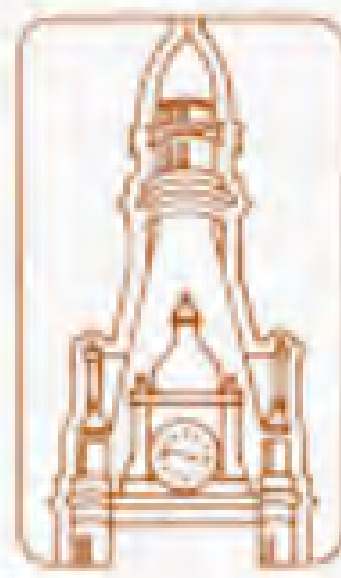




Cupid Development, LLC



City of Milwaukee



ST MATTHEWS MULTI-FAMILY HOUSING

MILWAUKEE, WISCONSIN | NOVEMBER 17, 2023

ST MATTHEWS MULTI-FAMILY HOUSING



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Cupid Development, LLC

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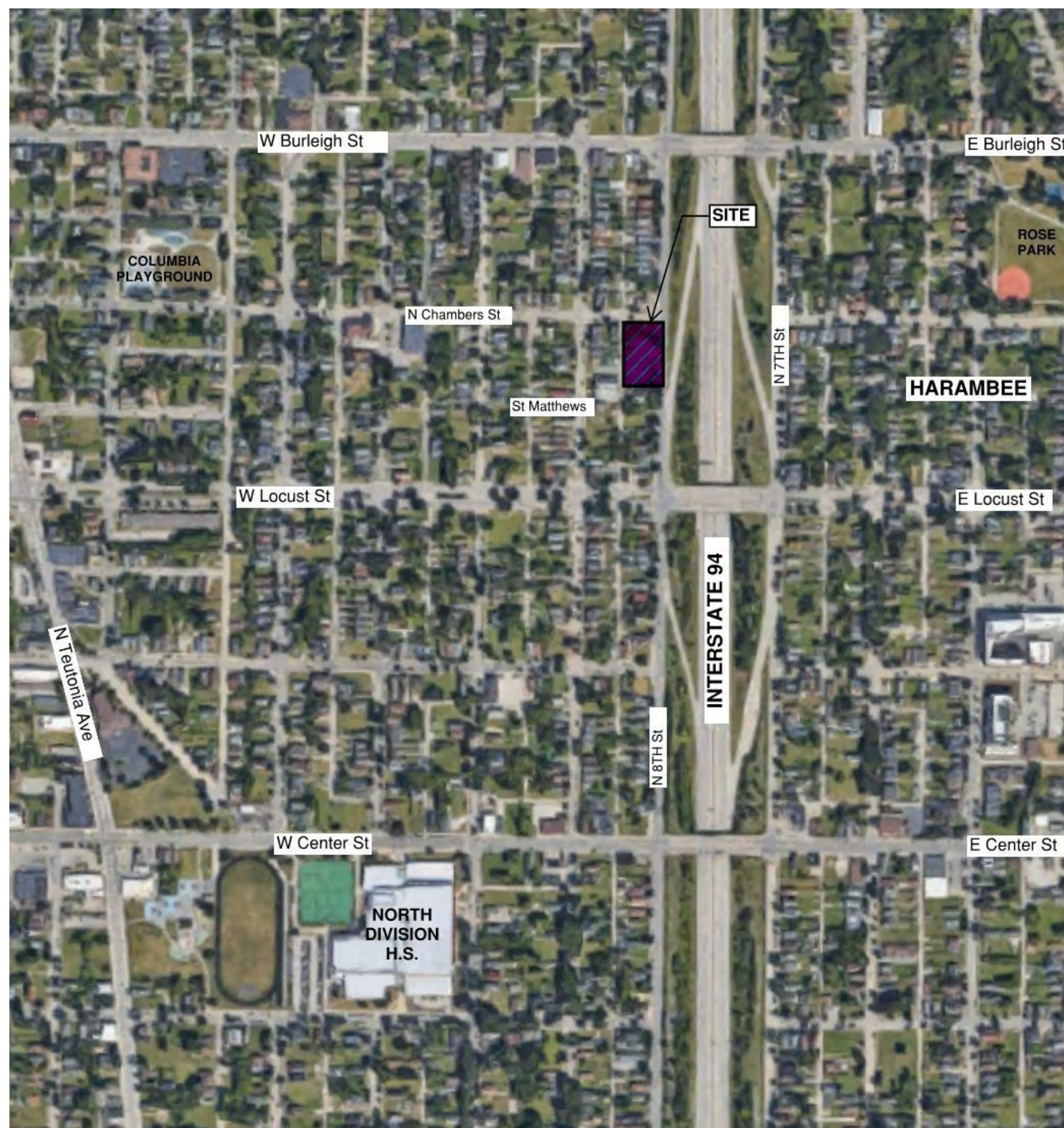
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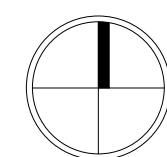
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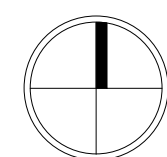
ARCHITECTURE | INTERIOR DESIGN | PLANNING



VICINITY MAP - N.T.S.



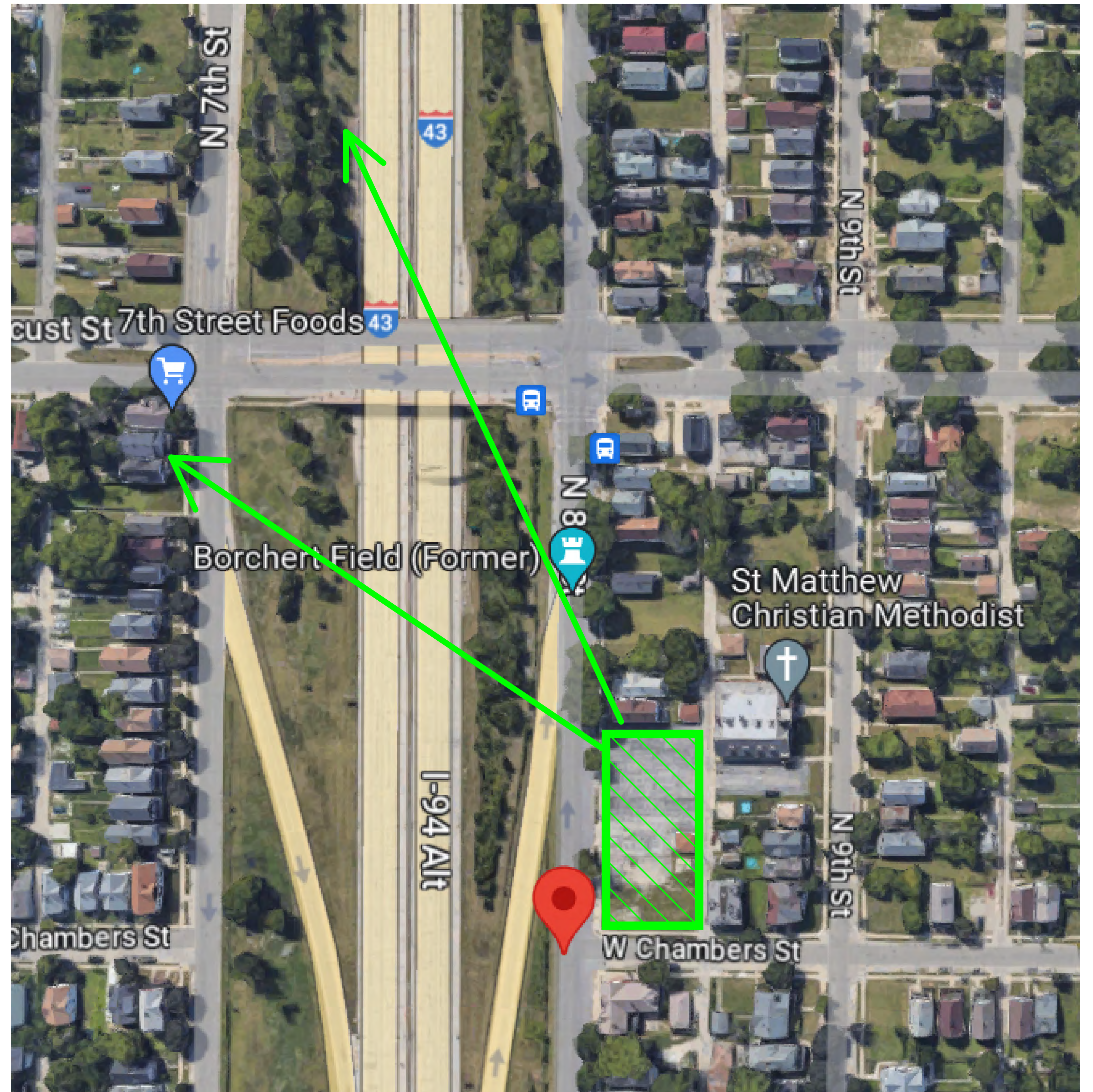
ARCHITECTURAL SITE PLAN



ST. MATTHEW'S SENIOR HOUSING



PROPOSED ST. MATTHEW'S SITE



VIEWS TOWARD DOWNTOWN FROM PROPOSED ST. MATTHEW'S SITE

ST. MATTHEW'S SENIOR HOUSING



2947 N. 8TH ST



2953-2963 N. 8TH ST



2965 N. 8TH ST



2977 N. 8TH ST TOWARD 817 W CHAMBERS ST



802 W CHAMBERS ST



827 W CHAMBERS ST



3002 N 9TH ST



2924 N 9TH ST



ST. MATTHEW CME CHURCH, 2944 N. 9TH ST



ALLEY VIEW: REAR OF ST. MATTHEW CME CHURCH, 2944 N. 9TH ST



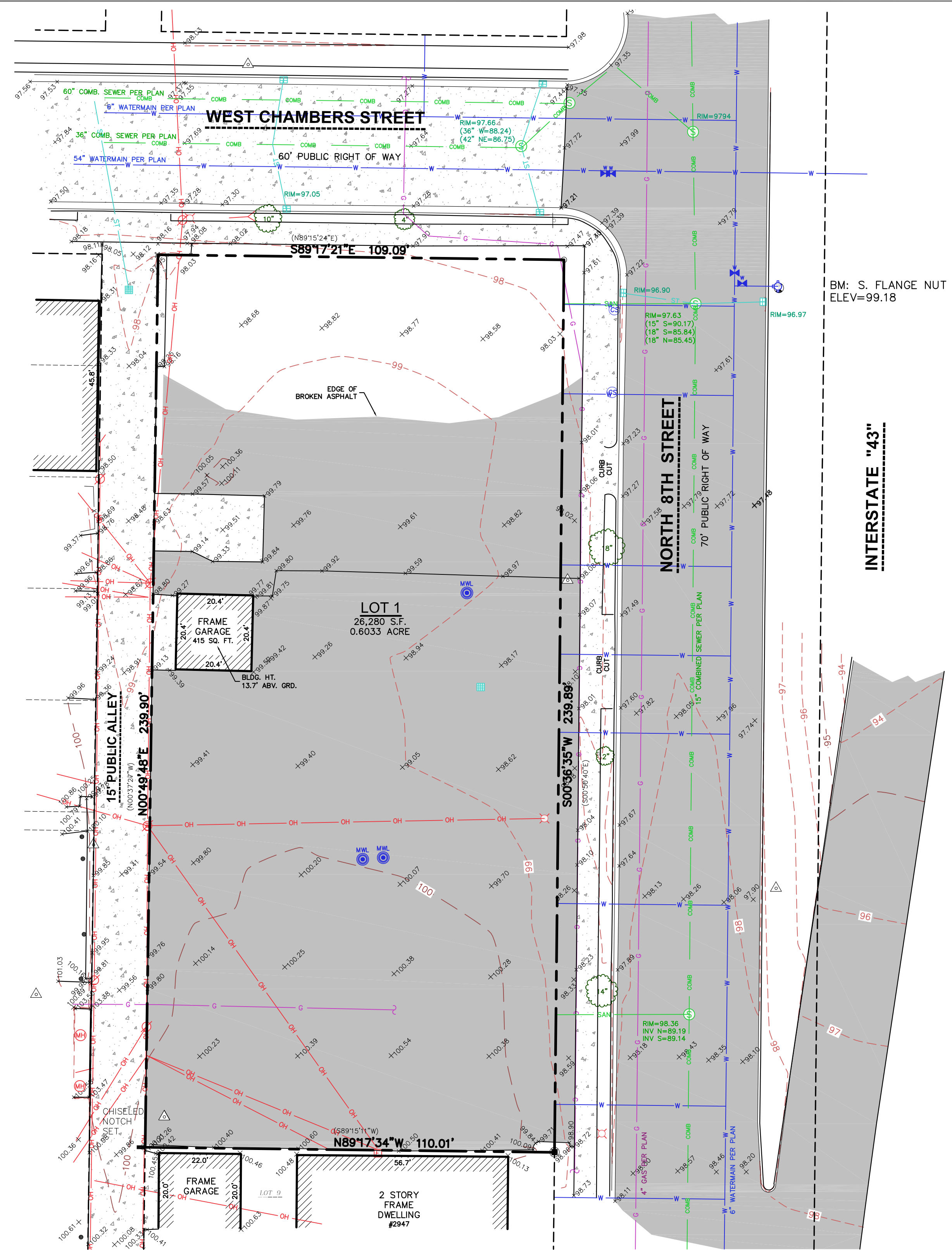
2938 N. 9TH ST



2962, 2966, & 2968 N. 9TH ST (R TO L)



ST. MATTHEW'S SENIOR HOUSING



ALTA/NSPS LAND TITLE SURVEY

ALL OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 14, TOWNSHIP X NORTH, RANGE X EAST, [CITY], [COUNTY], WISCONSIN.



LEGEND

○ 3/4" x 24" REBAR SET (1.50 LBS/LF)	⊗ GAS VALVE	— SAN — SANITARY SEWER
⊗ CHISELED 'X' FOUND	⊗ MANHOLE - UNVERIFIED TYPE	— W — WATER LINE
● RAILROAD SPIKE FOUND	⊗ LIGHT POLE	— ST — STORM SEWER
● CONTROL POINT	⊗ POWER POLE	— G — NATURAL GAS
⊕ BENCHMARK	⊗ POWER POLE W/GUY	— OH — OVERHEAD LINE
⊕ MONITORING WELL	⊗ DECIDUOUS TREE	— B — BUILDING
⊕ SIGN	— CENTERLINE	— 875 — INDEX CONTOUR
⊕ SANITARY MANHOLE	— RIGHT-OF-WAY LINE	— 874 — INTERMEDIATE CONTOUR
⊕ CLEAN OUT	— SETBACK LINE	⊕ SPOT ELEVATION
⊕ HYDRANT	— PARCEL BOUNDARY	— BIT — BITUMINOUS PAVEMENT
⊕ WATER VALVE	— PROPERTY LINE	— CON — CONCRETE PAVEMENT
⊕ CURB STOP/SERVICE VALVE	— EASEMENT LINE	— GRA — GRAVEL
⊕ ROUND CASTED INLET	— FENCE LINE	— E — EDGE OF BITUMINOUS
⊕ SQUARE CASTED INLET	— EDGE OF PAVEMENT	— END — END OF FLAGGED UTILITIES
⊕ CURB INLET	— CONCRETE CURB & GUTTER	() DENOTES RECORDED AS MEASUREMENTS DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED BY ON NOVEMBER 6, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.
- ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS CITY STANDARD BENCH MARK NO. 66-01 AT THE NORTHEAST CORNER OF N. 8TH ST. & W. BURLEIGH ST.
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20234319825 & 20234319827, WITH A CLEAR DATE OF NOVEMBER 1, 2023.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: WISCONSIN DOT SOUTHEAST REGION, CITY OF MILWAUKEE, WE ENERGIES-ELE AND WE GAS, A&T DISTRIBUTION, TIME WARNER CABLE.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MILWAUKEE. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X PER FEMA MAP NUMBER XXXXX, WHICH HAS NOT BEEN PRINTED.
- ITEM 6(a) CURRENT ZONING CLASSIFICATION IS [] OR WAS REQUESTED BUT NOT PROVIDED BY THE INSURER AT THE TIME OF THE SURVEY.
- ITEM 9 THERE ARE XXX PARKING SPACES AND XXX HANDICAP SPACES FOR A TOTAL OF XXX PARKING SPACES.
- ITEM 11 NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 14 [provide distance to nearest intersection if an intersection is not shown on the scalable map]
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER [who did you confirm this with]. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- ITEM 18 [show or state] THERE ARE OFFSITE EASEMENTS FOR THE SUBJECT PROPERTY THAT ARE NOT SHOWN IN THEIR ENTIRETY DUE TO THE LARGE GRAPHICAL NATURE THEREOF.
- ITEM 20 [optional] -- add notes as needed

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

- (FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: xxxxxxx, EFFECTIVE DATE: xxxxxx xx, 20xx AT 12:01 A.M., ISSUE DATE: xxxxxx xx, 20xx)
- RESTRICTIONS AND LIMITATIONS SET FORTH IN ACCESS COVENANT BY THE STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION DATED XXXXXX XX, XXXX AND RECORDED ON XXXX XX, XXXX, IN VOLUME XXX, PAGE XXX, AS DOCUMENT No. XXXXXX.
 - 12 THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON. UTILITY EASEMENT ACROSS THE SUBJECT PREMISES AS SET FORTH ON CERTIFIED SURVEY MAP No. XXXX, RECORDED AS DOCUMENT No. XXXXXX.
 - 13 THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON. SANITARY SEWER AND WATER MAIN EASEMENTS ACROSS THE SUBJECT PREMISES AS SET FORTH ON CERTIFIED SURVEY MAP No. XXXX, RECORDED AS DOCUMENT No. XXXXXX.
 - 14 THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. RIGHTS OF OTHERS TO USE THE INSURED EASEMENT AND ALL CHARGES, ASSESSMENTS OR LIENS WITH REGARD TO THE MAINTENANCE AND REPAIR OF THE INSURED EASEMENT SHOWN ON SCHEDULE A THEREOF. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON. IT IS STIPULATED THAT NOTHING HEREIN IS TO BE CONSTRUED AS INSURING THAT THE EASEMENT DESCRIBED AS PARCEL 2 OF THE SUBJECT PREMISES IS OPEN AND UNOBSTRUCTED (UNLESS WE ARE FURNISHED WITH AN ACCEPTABLE SURVEY INDICATING THAT SAID EASEMENT IS OPEN AND UNOBSTRUCTED).
 - 15 THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON. TERMS, CONDITIONS, RESTRICTIONS SET FORTH IN EASEMENT RECORDED ON XXXX XX, XXXX, AS DOCUMENT No. XXXXXX.
 - 16 THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: xxxxxxx, EFFECTIVE DATE: xxxxxx xx, 20xx AT 12:01 A.M., ISSUE DATE: xxxxxx xx, 20xx)

PARCEL 1:
 LOT X OF CERTIFIED SURVEY MAP XXXX, RECORDED IN VOLUME XX OF CERTIFIED SURVEY MAPS, PAGE XX AS DOCUMENT No. XXXXXX, BEING A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION X, TOWNSHIP X NORTH, RANGE XX EAST, IN THE CITY OF XXXXX, XXXXX COUNTY, WISCONSIN.

PARCEL 2:
 NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS AS CONTAINED IN CROSS-EASEMENT AGREEMENT WITH COVENANTS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED XXXX XX, XXXX, IN VOLUME XXXXX OF RECORDS, PAGE XX, AS DOCUMENT No. XXXXXX AND RE-RECORDED ON XXXX XX, XXXX, IN VOLUME XXXXX OF RECORDS, PAGE X, AS DOCUMENT No. XXXXXX.

FOR INFORMATIONAL PURPOSES ONLY:
 ADDRESS: XXXX AND XXXX US HIGHWAY XX, XXXXXX, WI
 TAX KEY NUMBER: XXX/XXX-XXX-XXXX-X

SURVEYOR'S CERTIFICATE

TO:
 i) (BANK/LENDER),
 ii) (TITLE COMPANY),
 iii) (CLIENT).

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS _____ OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON _____

DAVID H. SPANJAR, S-2646
 PROFESSIONAL LAND SURVEYOR
 Email: dave.spanjar@jsdinc.com
 Website: www.jsdinc.com

DATE



CREATE THE VISION TELL THE STORY

jsdinc.com

MILWAUKEE REGIONAL OFFICE
 W238 N1610 BUSSE ROAD, SUITE 100
 WAUKESHA, WISCONSIN 53188
 P. 262.513.0666

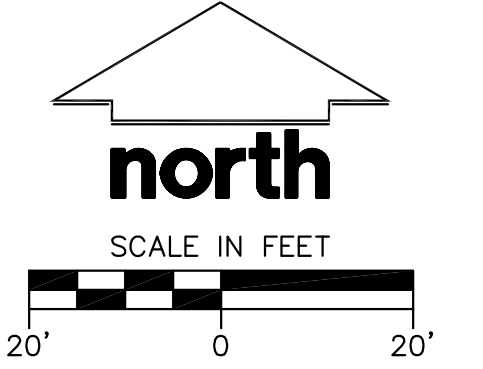
CLIENT:
 CUPID DEVELOPMENT, LLC

CINNAIRE SOLUTIONS

CLIENT ADDRESS:
 5535 WEST MELVINA STREET
 MILWAUKEE, WI 53216

PROJECT:
 ST. MATTHEW'S
 SENIOR
 HOUSING

PROJECT LOCATION:
 2953 NORTH 8TH STREET
 MILWAUKEE, WI
 MILWAUKEE COUNTY



MODIFICATIONS:

#	Date:	Description:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Prepared By: _____ INIT 00/00/00

SHEET TITLE:
**ALTA/NSPS
 LAND
 TITLE
 SURVEY**

SHEET NUMBER:
1 OF 1

PROJECT NO: 23-13657

File: R202302131657/DWG/2313657 ALTA.dwg Layout: 24x36 User: dspanjar Plotter: Nov 08, 2023, 2:03pm Xref:

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CONSTRUCTION SITE SEQUENCE NOTES

4030 N 29TH STREET
MILWAUKEE, WI

ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.

STAGED OPERATIONS

- 1. INSTALL INLET PROTECTION, SILT FENCE, AND SILT SOCKS
- 2. CONDUCT DEMOLITION OF EXISTING SITE FEATURES
- 3. CONDUCT ROUGH GRADING
- 4. INSTALL UTILITIES
- 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT, CURB, WALKS, ETC.
- 6. THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.

ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

PAVING NOTES

- 1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - A. "STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN", CURRENT EDITION, WITH ADDENDA.
 - B. THE CITY OF MILWAUKEE MUNICIPAL CODE, CURRENT EDITION.
- 2. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION.
- 3. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511).
- 4. THE CITY OF MILWAUKEE SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- 5. JSD PROFESSIONAL SERVICES SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- 6. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- 7. EXISTING UTILITY INFORMATION IS BASED ON INFORMATION PROVIDED BY OTHERS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK.
- 8. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 9. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 10. ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- 11. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- 12. ALL NON-HARD SURFACE AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- 14. MINIMUM PAVEMENT STRUCTURE TO BE VERIFIED BY GEOTECHNICAL ENGINEER:
 - A. HOT MIX ASPHALT PAVEMENT PAVING SPECIFICATIONS
 - a. CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALT BINDER COURSE AND ASPHALT SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 450, 455 AND 460 OF THE STATE OF "WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS "STATE HIGHWAY SPECIFICATIONS".
 - b. SURFACE PREPARATION – NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBGRADE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - c. WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50°F (10°C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35°F (1°C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALT PAVEMENT SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40°F (4°C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F (-1°C).
 - d. GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - e. CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO THE 1-1/4 INCH STONE DENSE GRADED BASE MATERIAL SPECIFICATION PER SECTION 305.2.2.1, STATE HIGHWAY SPECIFICATIONS.
 - f. BINDER COURSE (LOWER LAYER PAVEMENT) – THE BINDER COURSE SHALL CONFORM TO THE '3 LT 58-28 S' HMA MIXTURE DESIGN PER TABLE 460-2 MIXTURE REQUIREMENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATIONS. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO THE 19.0MM NOMINAL SIZE GRADATION AS SHOWN IN TABLE 460-1 AGGREGATE GRADATION MASTER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.3, STATE HIGHWAY SPECIFICATIONS.
 - g. SURFACE COURSE (UPPER LAYER PAVEMENT) – THE SURFACE COURSE SHALL CONFORM TO THE '4 LT 58-28 S' HMA MIXTURE DESIGN PER TABLE 460-2 MIXTURE REQUIREMENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATIONS. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO THE 12.5MM NOMINAL SIZE GRADATION AS SHOWN IN TABLE 460-1 AGGREGATE GRADATION MASTER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.3, STATE HIGHWAY SPECIFICATIONS.
 - B. CONCRETE PAVEMENT PAVING SPECIFICATIONS
 - a. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - b. CONCRETE PAVEMENT SHALL REINFORCED WITH 6"x6" WELDED WIRE MESH REINFORCEMENT.
 - c. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- 15. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. THE LOCATION AND ELEVATION OF EXISTING:
 - i. PIPE INVERTS
 - ii. FLOOR ELEVATIONS
 - iii. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK.
 - iv. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES
- NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
- 16. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB, AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS OF UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH.
- 18. ALL COSTS SHALL BE INCLUDED IN THE BID.
- 19. ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- 20. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.
- 21. CURB AND PAVEMENT SHALL BE DOWELED INTO THE EXISTING PAVEMENT.

DEMOLITION NOTES

- 1. ALL DEMOLITION WORK SHALL BE IN COMPLIANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
- 2. ALL DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- 3. CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF MILWAUKEE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY AND APPLY FOR ALL NECESSARY PERMITS.
- 4. CONTRACTOR SHALL PROTECT CITY OF MILWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED.
- 5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
- 6. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTICS BOXES, AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
- 7. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIALS.
- 8. ANY UNUSED OR UNUSABLE MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND BE PROPERLY DISPOSED OF.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MILWAUKEE ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- 2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL PERMITS PRIOR TO COMMENCING WITH WORK.
- 4. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- 5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS EXISTING INLET PROTECTION, SILT FENCE, SILT SOCK, ETC.) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- 6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- 7. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- 8. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- 10. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- 12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- 13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- 14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- 15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
- 16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- 17. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- 18. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- 19. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (a)-(f) OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- 20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
 - **INLET PROTECTION** – CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
 - **CONSTRUCTION WASTE** SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
 - **DUST CONTROL** SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
 - **STREET SWEEEPING** SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.
- 21. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED DEWATERING OPERATIONS.

UTILITY NOTES

- 1. EXISTING UTILITY INFORMATION IS BASED ON INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
 - 2. CONTACT DIGGERS HOTLINE PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 - 3. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
 - 4. STORM SEWER SPECIFICATIONS
 - INLETS AND FRAMES – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.36(9)B.3. FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS.
 - PIPE – HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
 - BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER AND SHALL BE INSPECTED BY THE CITY OF MILWAUKEE PRIOR TO BACKFILLING.
 - 5. SANITARY SEWER SPECIFICATIONS
 - PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
 - 6. WATER MAIN SPECIFICATIONS –
 - PIPE – POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)h).
 - VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER AND SHALL BE INSPECTED BY THE CITY OF MILWAUKEE PRIOR TO BACKFILLING.
 - 7. FOR LOCATIONS WHERE THERE IS LESS THAN 6 FEET OF COVER OVER THE TOP OF THE WATER MAIN PIPE, WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM. THIS WORK SHALL BE INCLUDED ON THE UNIT COST FOR WATER MAIN.
 - 8. FOR LOCATIONS WHERE THERE IS LESS THEN 4 FEET OF COVER OVER THE TOP OF THE SANITARY SEWER PIPE, THE SANITARY SEWER SHALL BE INSULATED IN ACCORDANCE WITH SPS 382.30(11)c.3. THIS WORK SHALL BE INCLUDED IN THE UNIT COST FOR SANITARY SEWERS.
- GRADING NOTES**
- 1. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. LOCATION AND ELEVATION OF:
 - i. FLOOR ELEVATIONS
 - ii. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
 - iv. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES.
 - NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
 - 2. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - 3. THIS PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS IN WHICH MAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
 - 4. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
 - 5. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
 - 6. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS IN WHICH MAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
 - 7. PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED.
 - 8. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
 - 9. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
 - 10. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD IN FULL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
 - 11. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
 - 12. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE

TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.

- 13. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- 14. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- 15. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 17. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- 18. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.



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CLIENT:
**CUPID DEVELOPMENT,
LLC.**

CLIENT ADDRESS:
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MILWAUKEE, WI 53216**

PROJECT:
**ST. MATTHEW'S
SENIOR HOUSING**

PROJECT LOCATION:
**2953-2977 NORTH 8TH STREET
MILWAUKEE, WI 53206**

PLAN MODIFICATIONS:

#	Date:	Description:
1	11/17/2023	DD PLAN SUBMITTAL
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Designed By: CD
Reviewed by: JJS
Approved By: TJB

SHEET TITLE:

NOTES

SHEET NUMBER:

C1.0

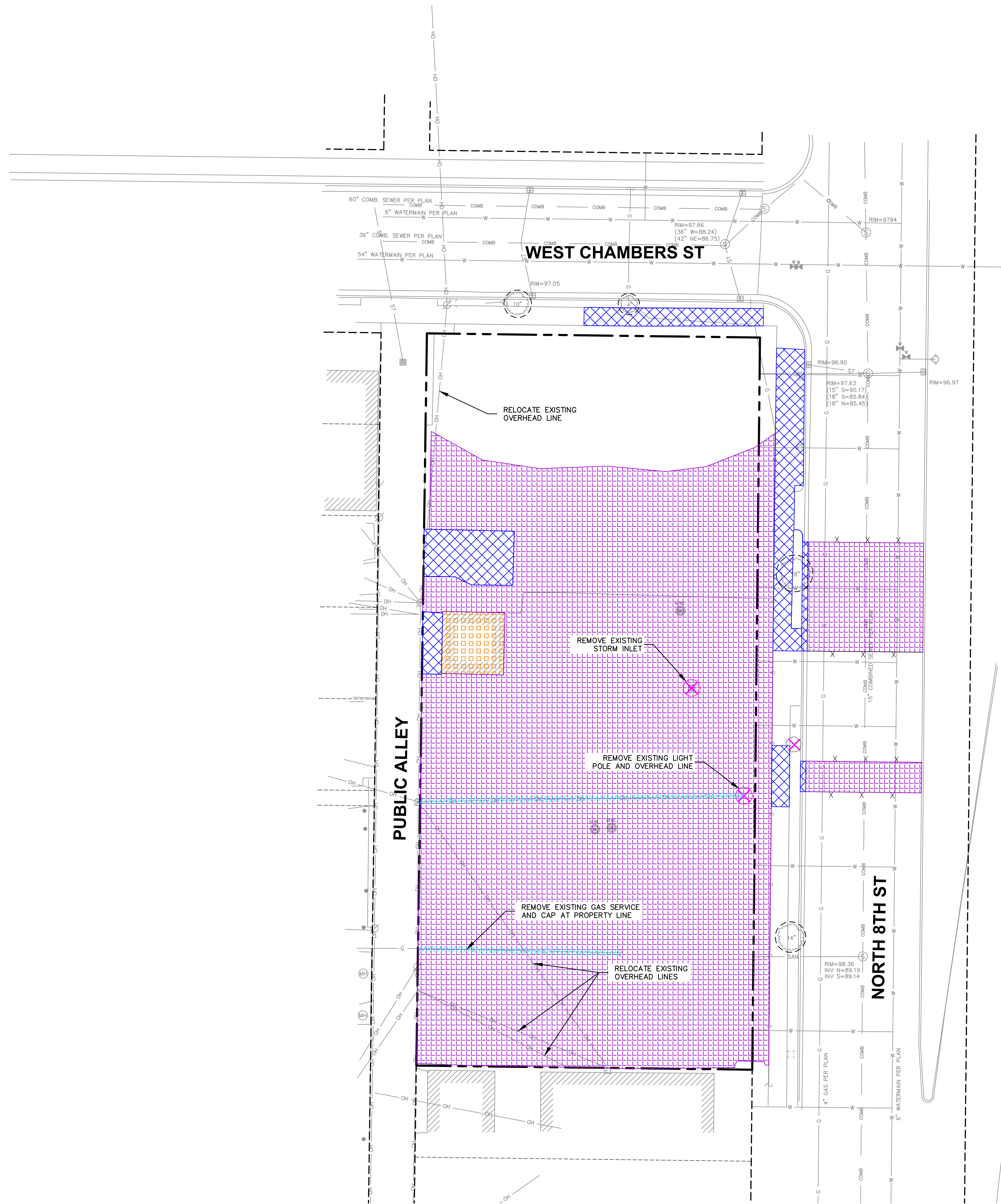
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LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- · - · - EASEMENT LINE
- [Purple Grid] DEMOLITION - REMOVAL OF ASPHALT SURFACES
- [Blue Grid] DEMOLITION - REMOVAL OF CONCRETE SURFACES
- [Orange Grid] DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- X X SAWCUT EXISTING PAVEMENT
- ⊗ TREE REMOVAL
- ⊗ FEATURE REMOVAL
- ⊗ UTILITY REMOVAL
- PROTECT EXISTING TREE



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PROJECT:
ST. MATTHEW'S SENIOR HOUSING

PROJECT LOCATION:
**2953-2977 NORTH 8TH STREET
MILWAUKEE, WI 53206**

PLAN MODIFICATIONS:

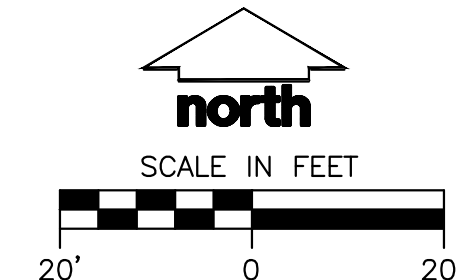
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Designed By: CD
Reviewed By: JJS
Approved By: TJB

SHEET TITLE:
SITE DEMOLITION PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 23-13657



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PROJECT:
**ST. MATTHEW'S
SENIOR HOUSING**

PROJECT LOCATION:
**2953-2977 NORTH 8TH STREET
MILWAUKEE, WI 53206**

PLAN MODIFICATIONS:

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Designed By: CD
Reviewed By: JJS
Approved By: TJB

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

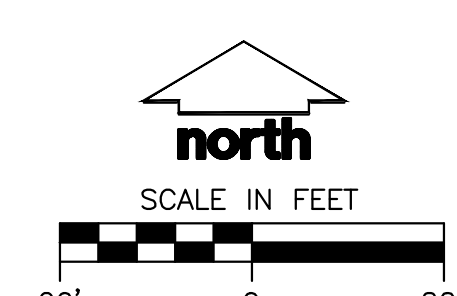
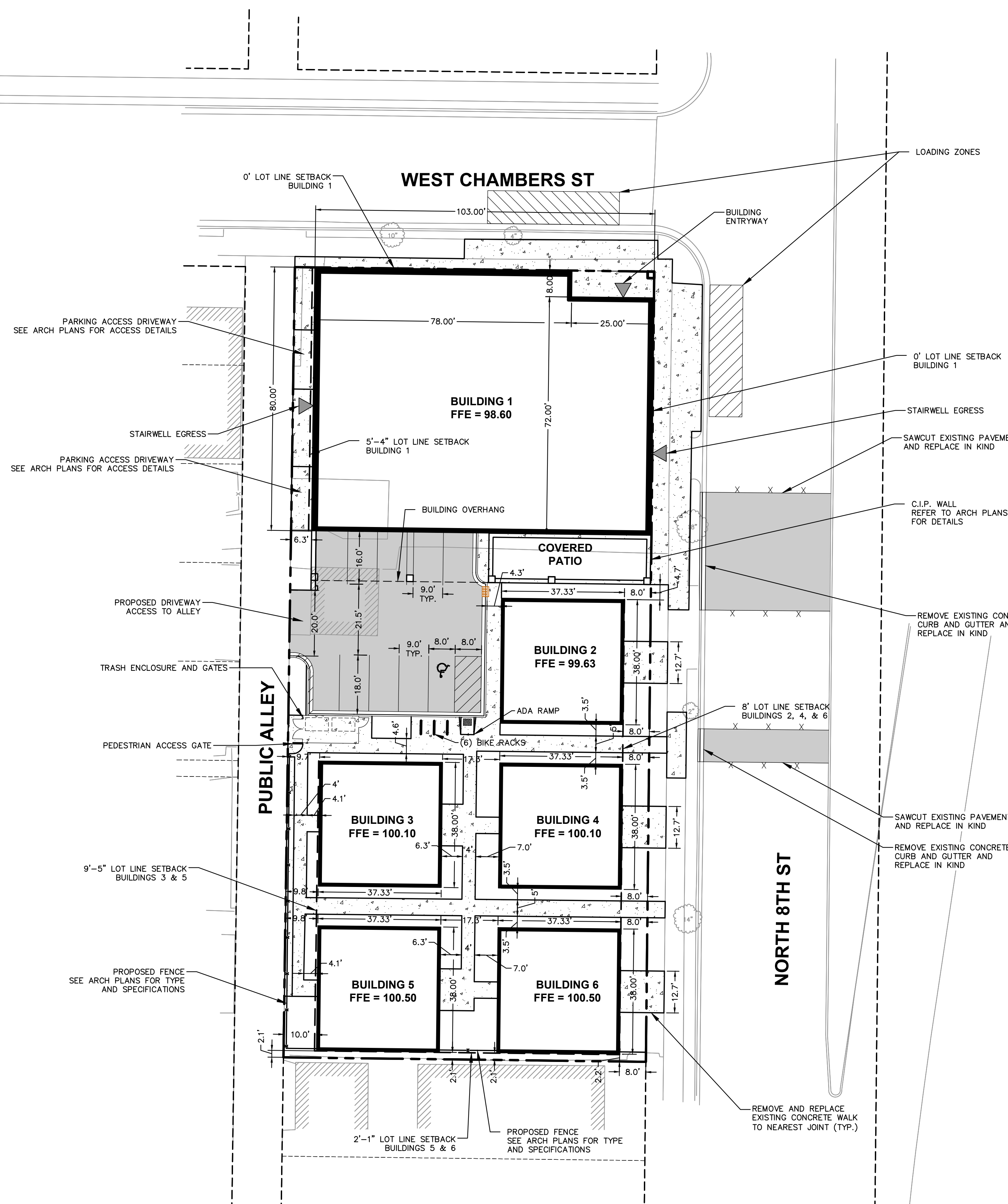
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JSD PROJECT NO: 23-13657

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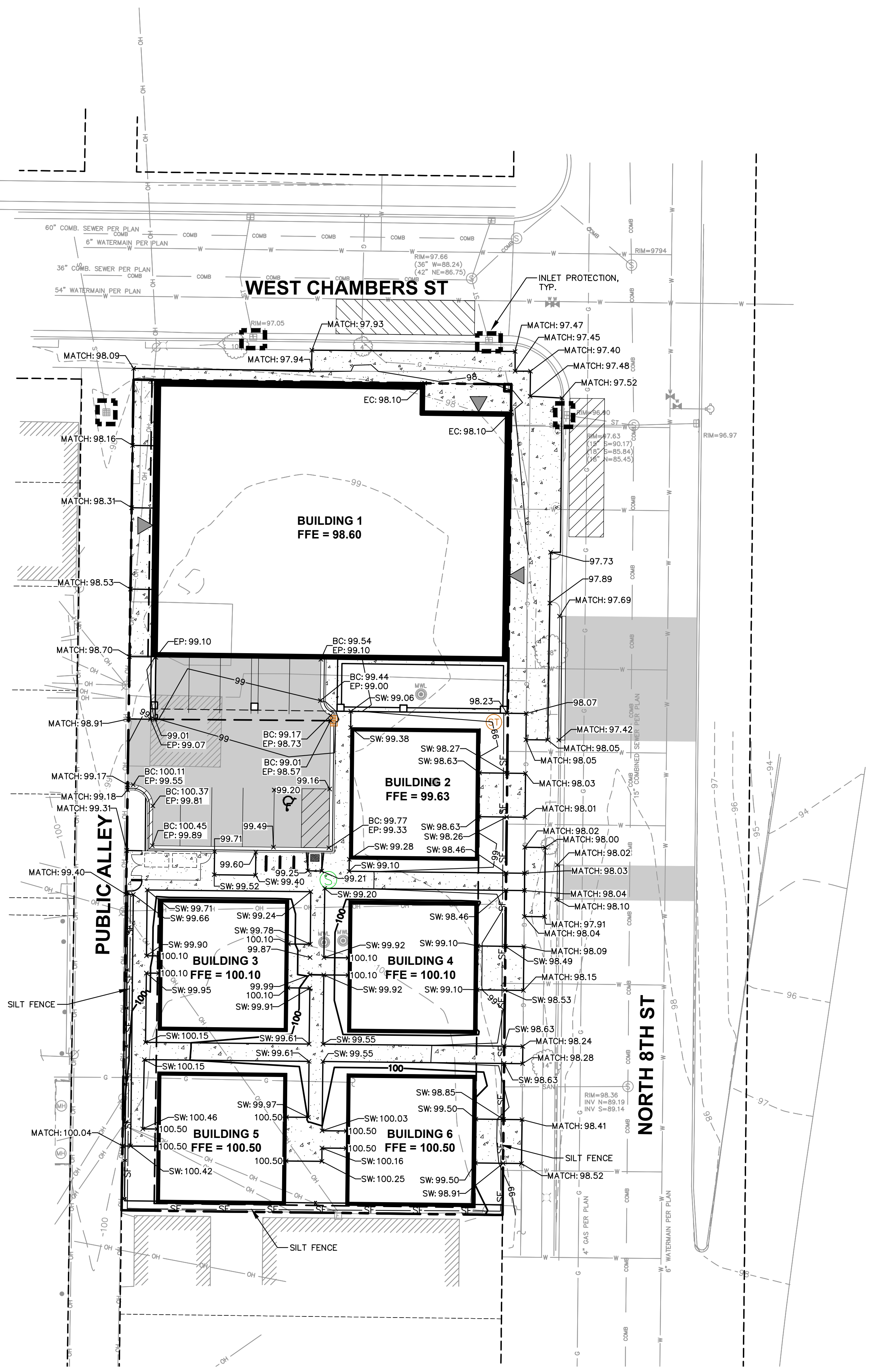
- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- - - BUILDING OVERHANG
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- ==== STANDARD CURB AND GUTTER
- ==== REJECT CURB AND GUTTER
- ==== MOUNTABLE CURB AND GUTTER
- ==== 8" CONCRETE RIBBON CURB
- ==== ASPHALT PAVEMENT
- ==== HEAVY DUTY ASPHALT PAVEMENT
- ==== CONCRETE PAVEMENT
- ==== HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- ==== RETAINING WALL
- ==== BOULDER WALL
- RAILING
- X- FENCE
- ○ ○ ○ ○ LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ~ ADA PARKING SIGN
- ~ FLAG POLE
- BOLLARD
- BOLLARD WITH ADA PARKING SIGN
- BIKE RACK
- X- SAWCUT EXISTING PAVEMENT

BUILDING SETBACKS				
BUILDING NUMBER	N 8TH ST	N CHAMBERS ST	ALLEY	SOUTH LOT LINE
1	0'	0'	5'-4"	-
2	8'	-	-	-
3	-	-	9'-5"	-
4	8'	-	-	-
5	-	-	9'-5"	2'-1"
6	8'	-	-	2'-1"



File: R:\2023\2313657\DWG\Plan Sheets\2313657_C3.0_Site Plan.dwg Layout: C3.0 SITE PLAN User: jimon Plotted: Nov 15, 2023 - 4:38pm Xrefs:

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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
8" CONCRETE RIBBON CURB	
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	BOULDER WALL
	RAILING
	FENCE
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION
	EP - EDGE OF PAVEMENT
	FG - FINISH GRADE
	EC - EDGE OF CONCRETE
	BC - BACK OF CURB
	MATCH - MATCH EXISTING GRADE
	HP - HIGH POINT
	SW - SIDEWALK
	DITCH CHECK
	INLET PROTECTION



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MILWAUKEE REGIONAL OFFICE
 W238 N1810 BUSSE ROAD, SUITE 100
 WALKESHA, WISCONSIN 53188
 P. 262.513.0666

CLIENT:
CUPID DEVELOPMENT, LLC.

CLIENT ADDRESS:
**5535 WEST MELVINA STREET
 MILWAUKEE, WI 53216**

PROJECT:
**ST. MATTHEW'S
 SENIOR HOUSING**

PROJECT LOCATION:
**2953-2977 NORTH 8TH STREET
 MILWAUKEE, WI 53206**

PLAN MODIFICATIONS:

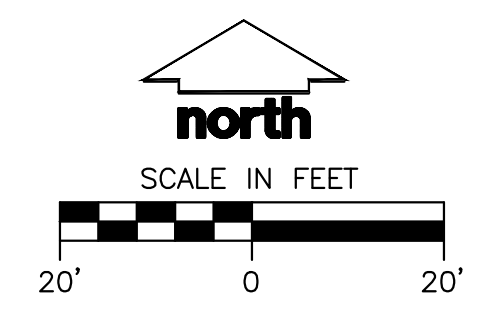
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Designed By: CD
 Reviewed By: JJS
 Approved By: TJB

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:
C4.0

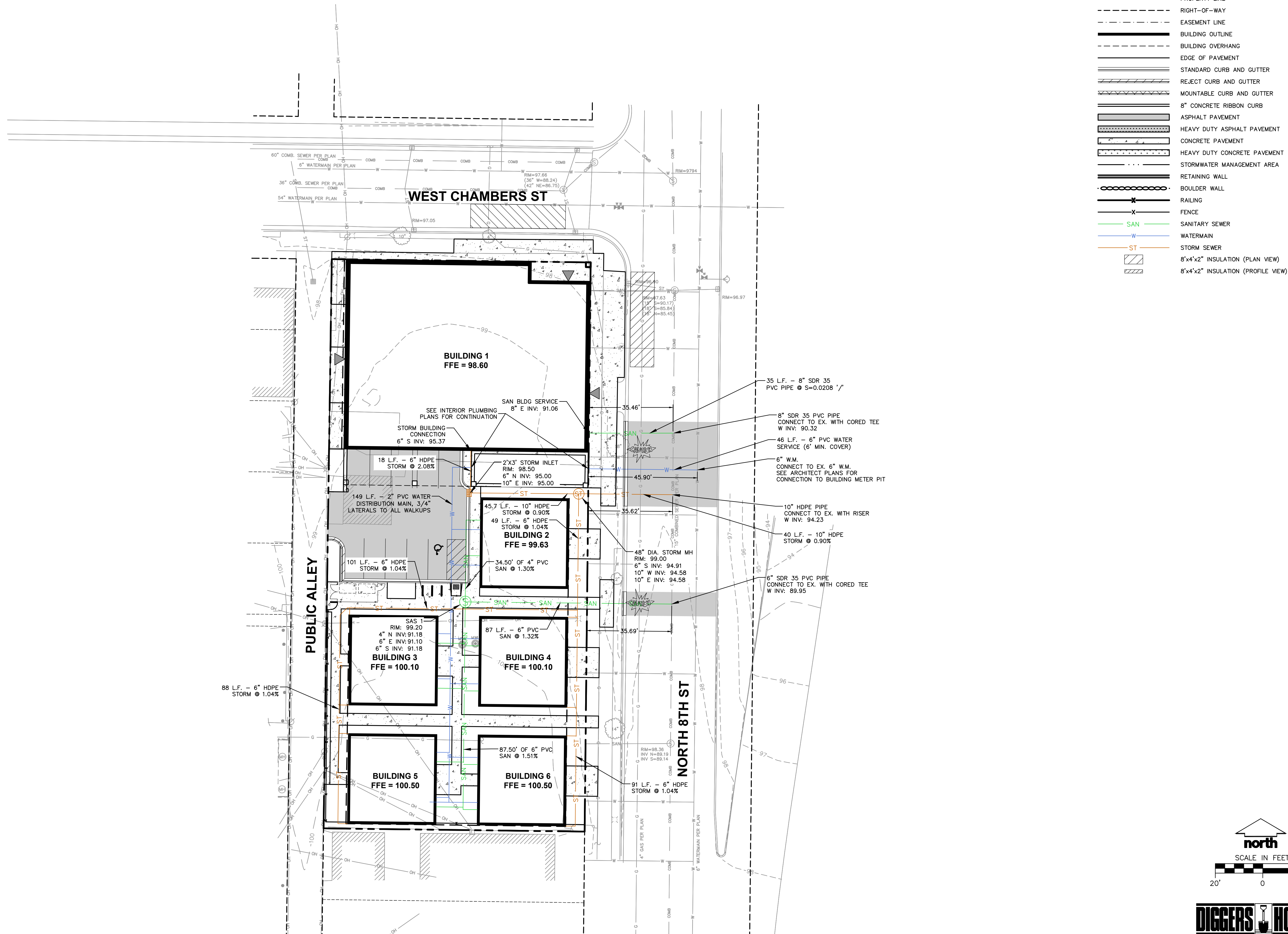
JSD PROJECT NO: 23-13657



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LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
- - - -	BUILDING OVERHANG
---	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	MOUNTABLE CURB AND GUTTER
=====	8" CONCRETE RIBBON CURB
=====	ASPHALT PAVEMENT
=====	HEAVY DUTY ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	HEAVY DUTY CONCRETE PAVEMENT
-----	STORMWATER MANAGEMENT AREA
-----	RETAINING WALL
-----	BOULDER WALL
-----	RAILING
-----	FENCE
---	SAN SANITARY SEWER
---	W WATERMAIN
---	ST STORM SEWER
-----	8'x4'x2" INSULATION (PLAN VIEW)
-----	8'x4'x2" INSULATION (PROFILE VIEW)



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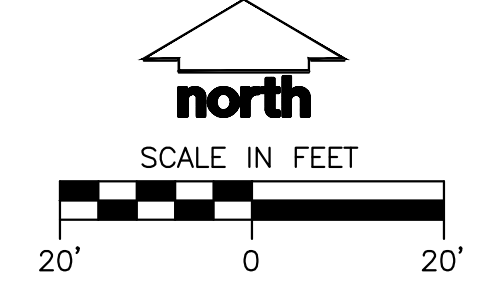
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Designed By: CD
 Reviewed By: JJS
 Approved By: TJB

SHEET TITLE:
SITE UTILITY PLAN

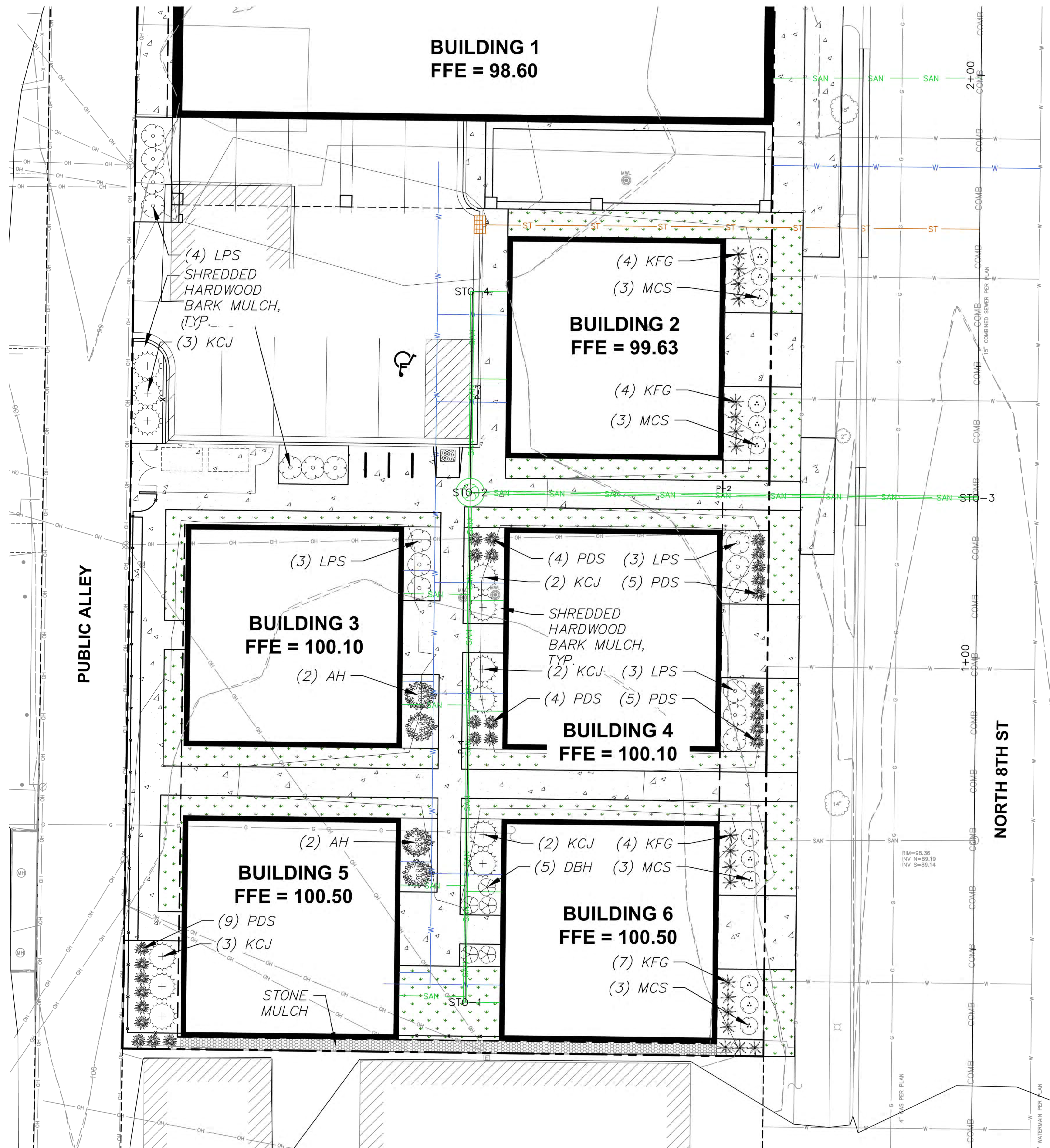
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C5.0

JSD PROJECT NO: 23-13657



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GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- - - BUILDING OVERHANG
- ▬ EDGE OF PAVEMENT
- ▬ STANDARD CURB AND GUTTER
- ▬ REJECT CURB AND GUTTER
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- ▬ STORMWATER MANAGEMENT AREA
- ▬ RETAINING WALL
- ▬ BOULDER WALL
- ▬ RAILING
- ▬ FENCE
- SAN — SANITARY SEWER
- W — WATERMAIN
- ST — STORM SEWER
- ▨ 8'x4'x2" INSULATION (PLAN VIEW)
- ▨ 8'x4'x2" INSULATION (PROFILE VIEW)
- ▬ KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH
- ▬ STONE MULCH
- ▬ ALUMINUM EDGING

LANDSCAPE REQUIREMENTS

PLANT SCHEDULE

DECIJOUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	QTY	SIZE	OTY
DBH		<i>Dierilla lonicera</i> / Dwarf Bush Honeysuckle	Cont. #3	5	
AH		<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Hydrangea	Cont. #3	4	
LPS		<i>Spiraea japonica</i> 'Little Princess' / Little Princess Japanese Spirea	Cont. #3	16	
MCS		<i>Spiraea japonica</i> 'Walburna' / Magic Carpet Japanese Spirea	Cont. #3	12	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	QTY	SIZE	OTY
KCJ		<i>Juniperus chinensis</i> 'Kallays Compact' / Kallay Compact Pfizer Juniper	Cont. #5	12	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	QTY	SIZE	OTY
KFG		<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	Cont. #1	19	
PDS		<i>Sporobolus heterolepis</i> / Prairie Dropseed	Cont. #1	27	



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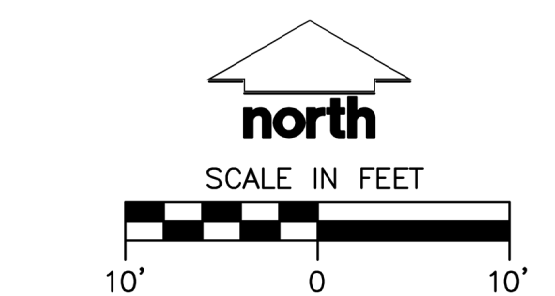
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Designed By: RWN
Reviewed By: KCB
Approved By: TJB

SITE LANDSCAPE PLAN

SHEET NUMBER:
L1.0

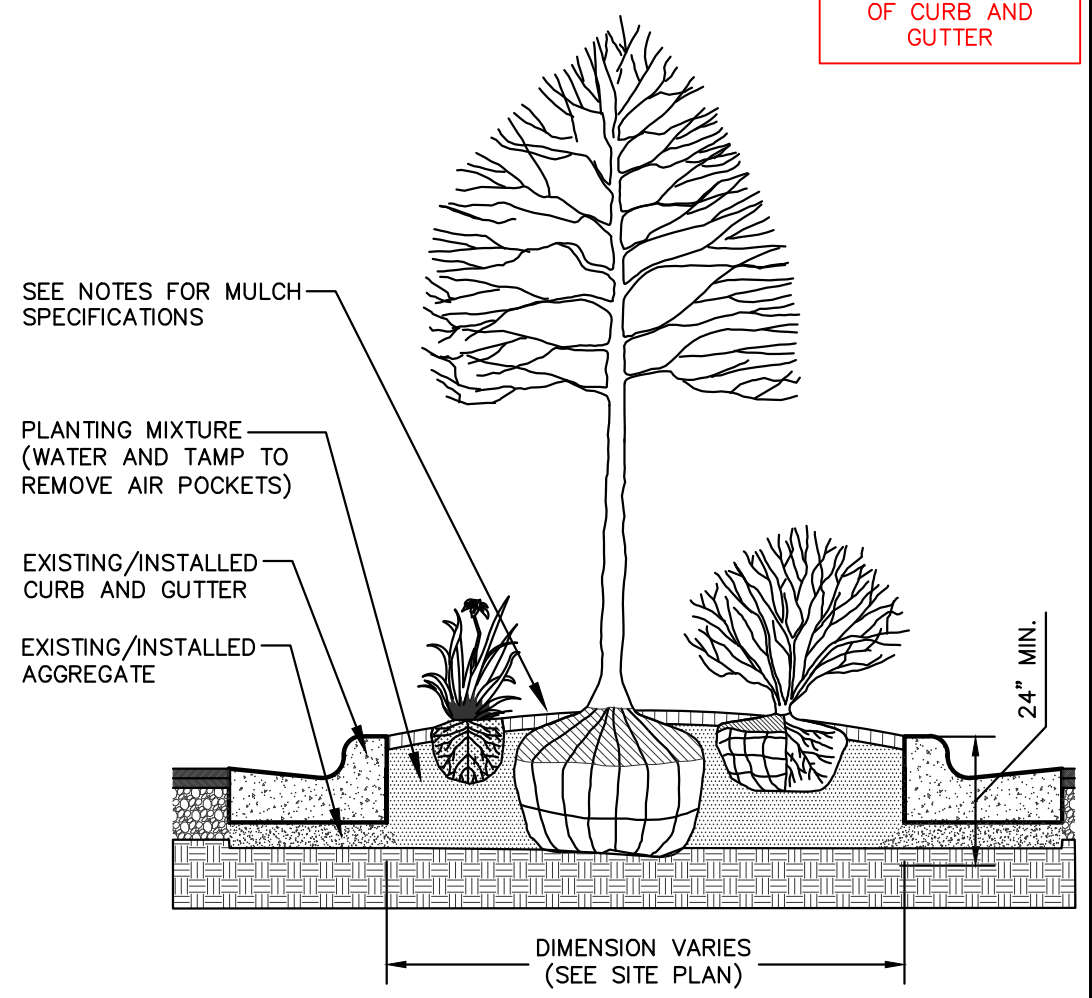
JSD PROJECT NO: 23-13657



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MOUND TOPSOIL 12" ABOVE CURB WITH TOPSOIL PLANT MIX OR AMENDED NATIVE SOILS

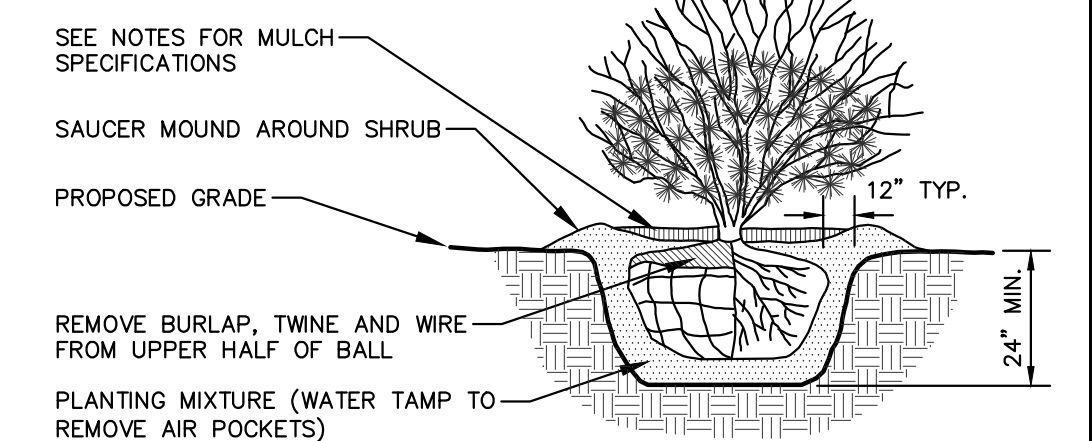
PARKING ISLAND TO BE DUG FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24" AND PREPARED FOR PLANTINGS AFTER INSTALLATION OF CURB AND GUTTER



PARKING ISLAND LANDSCAPE DETAIL

N.T.S.

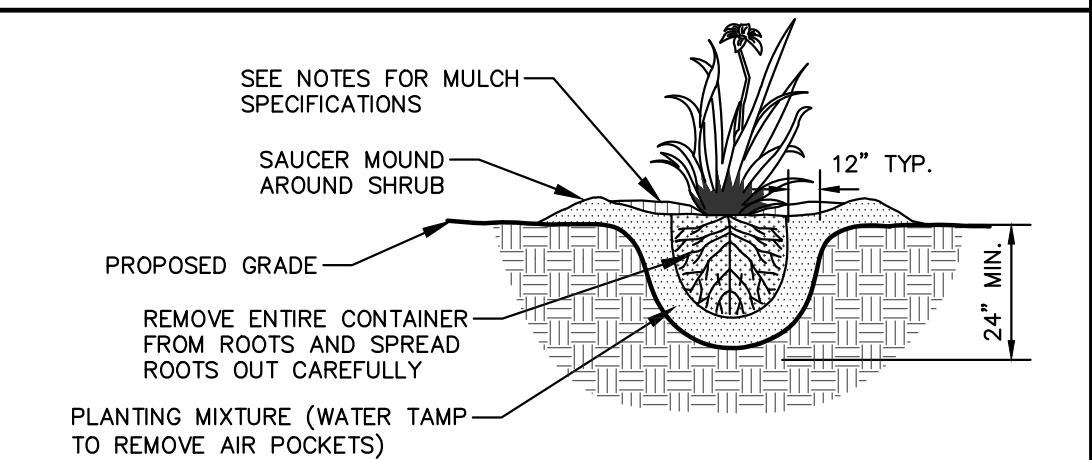
REV. 01-03-2019



SHRUB PLANTING DETAIL

N.T.S.

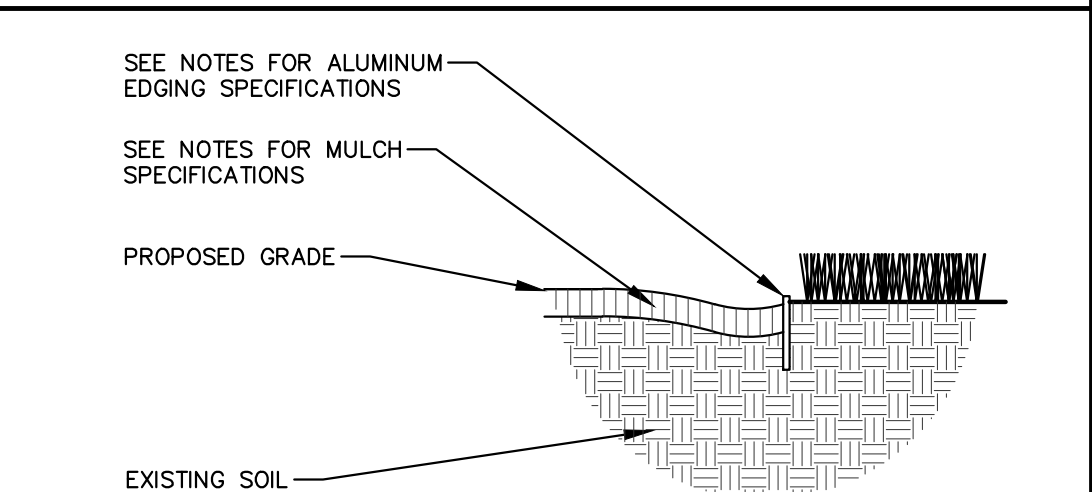
REV. 01-03-2019



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

REV. 01-03-2019



ALUMINUM LANDSCAPE EDGING DETAIL

N.T.S.

REV. 01-03-2019

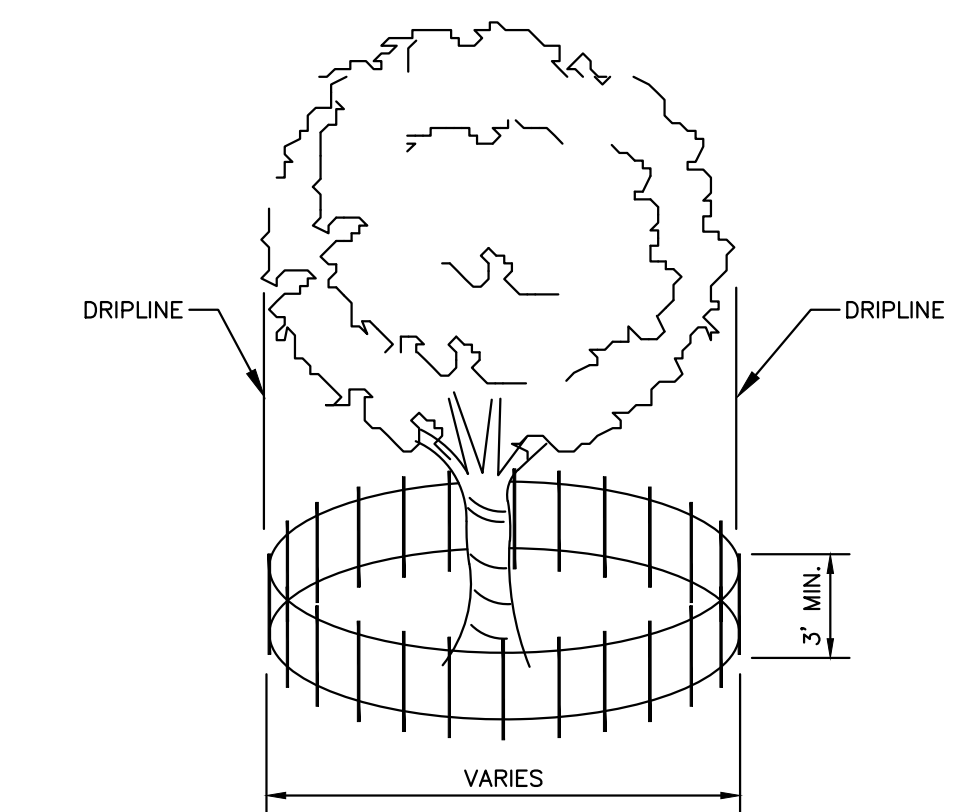
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches
8 x 1.5 = 12
CRR = 12 feet

DBH x 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR
DBH x 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES

PROTECTED ROOT ZONE (PRZ)



NOTE:

- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
- NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
- IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. 3/4" CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK; TRIM THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

SEEDING, SODDING, & POND VEGETATION NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. UNINSTALLED FERTILIZER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE SPARQUEST RED FROM HALQUIST STONE CO, LLC. OR EQUIVALENT. FINAL SELECTION APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.



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Designed By: **RWN**
Reviewed By: **KCB**
Approved By: **TJB**

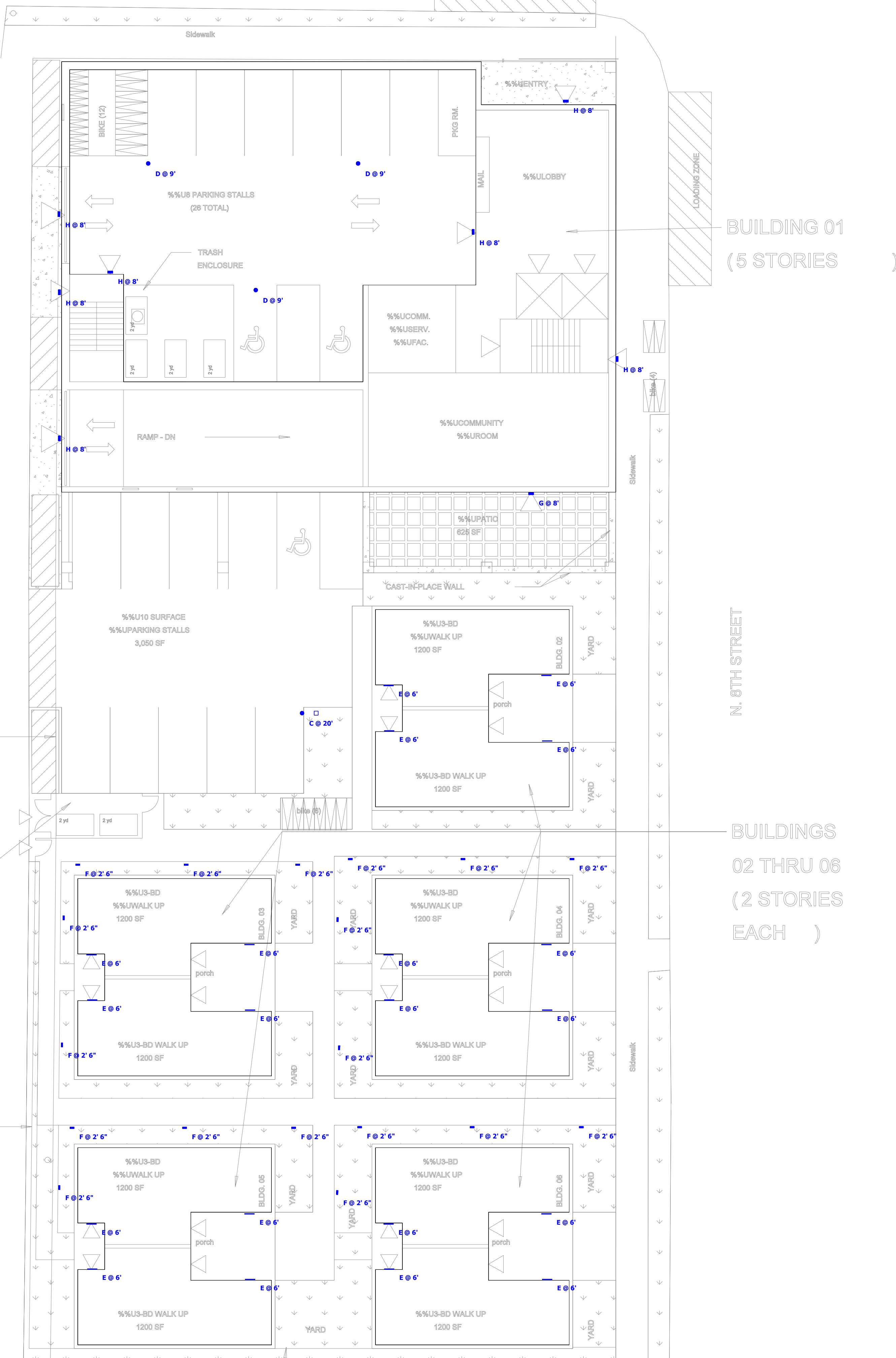
LANDSCAPE DETAILS AND NOTES

SHEET NUMBER:

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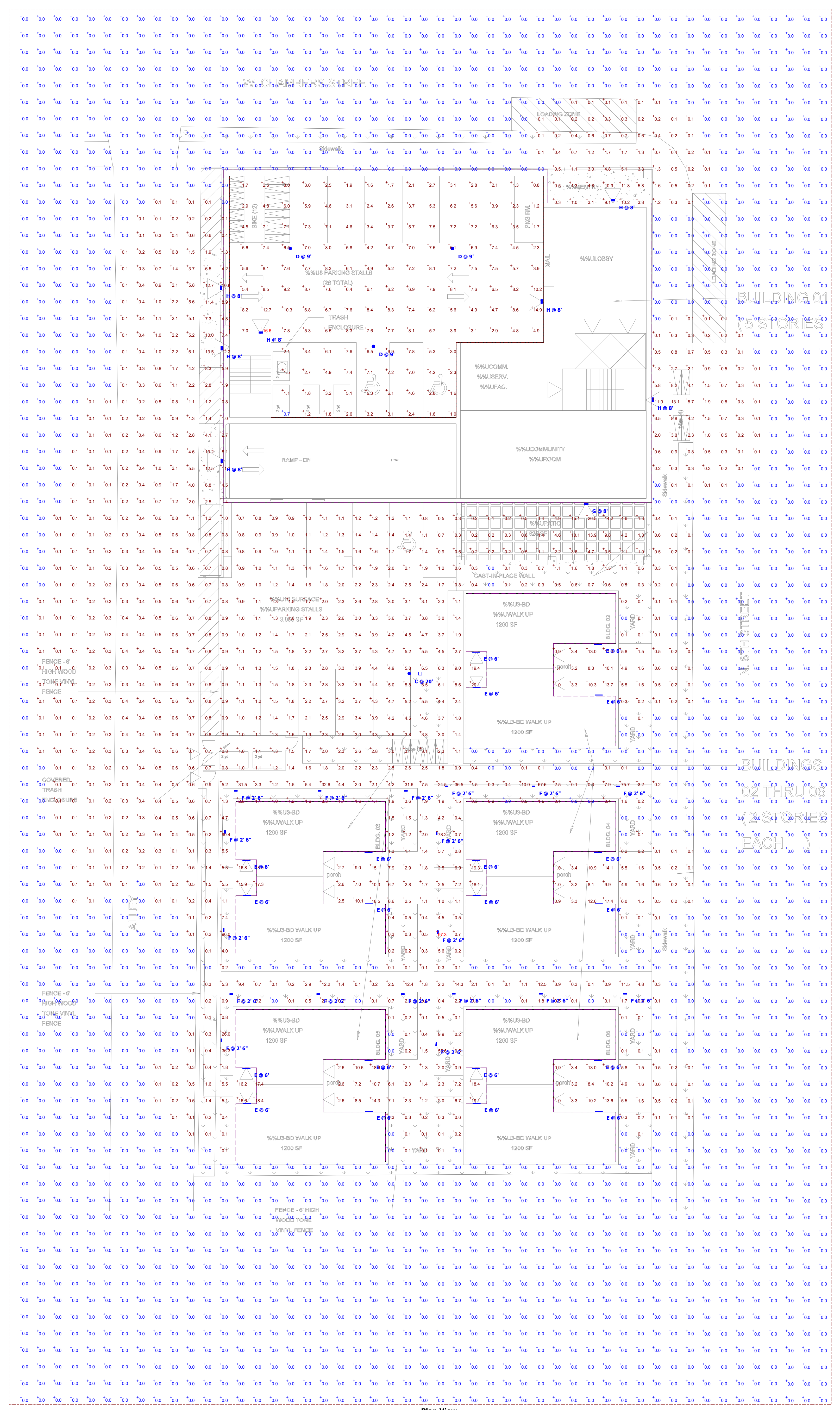
JSD PROJECT NO: 23-13657





BUILDING 01
(5 STORIES)

BUILDINGS
02 THRU 06
(2 STORIES
EACH)

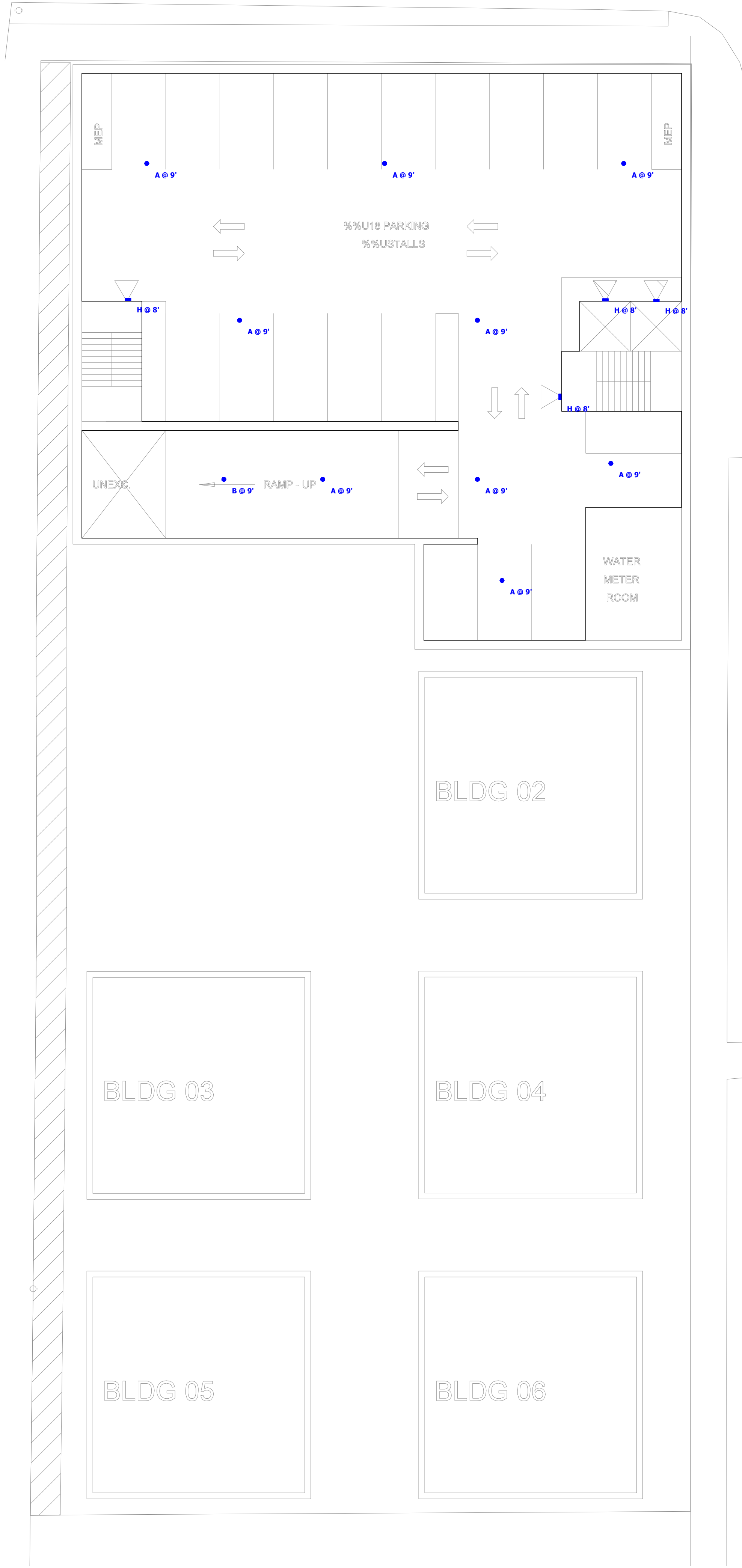


Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	C		1	PHILIPS GARDCO	P26-48L-700-CW-G2-4	PureForm Gen2 - Area Medium (P26), 48 LED's, 3000K CCT, TYPE 4 OPTIC, . . .	1	13432	1	101.0474	
○	D		3	GARDCO	SVPG-A04-830-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 3000K CCT, TYPE SRD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	7501	1	72	
—	E		20	Performance IN Lighting	070004	MIMIK 3D FLAT M 20W 840 Type II 0-10V Iron gray	1	1597	1	20	
—	F		18	Performance IN Lighting	071942	MIMIK 10 BOLLARD 1000 HU 11W 740 Type II Iron gray	1	915	1	11	
—	G		1	Performance IN Lighting	070716	SHIELD+1 28W 840 Type III 1-10V - Black	1	3072	1	28	
—	H		7	Performance IN Lighting	070711	SHIELD+1 14.5W 840 Type III 1-10V - Black	1	1773	1	14.5	

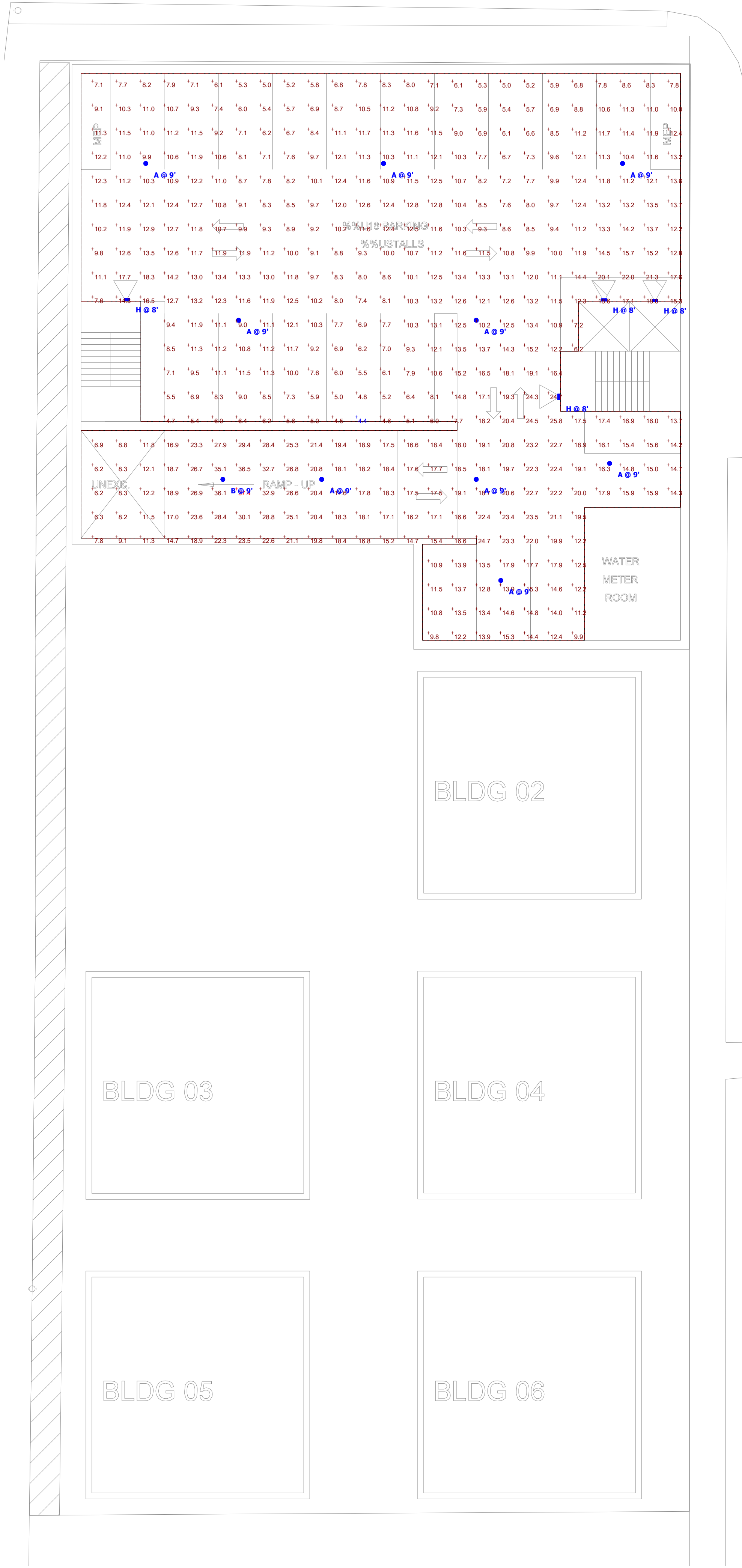
*No substitutions shall be allowed without prior approval from engineer of record and lighting designer.

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written permission.





Plan View
Scale - 1" = 12'



Plan View
Scale - 1" = 12'

N. 8TH STREET

N. 8TH STREET

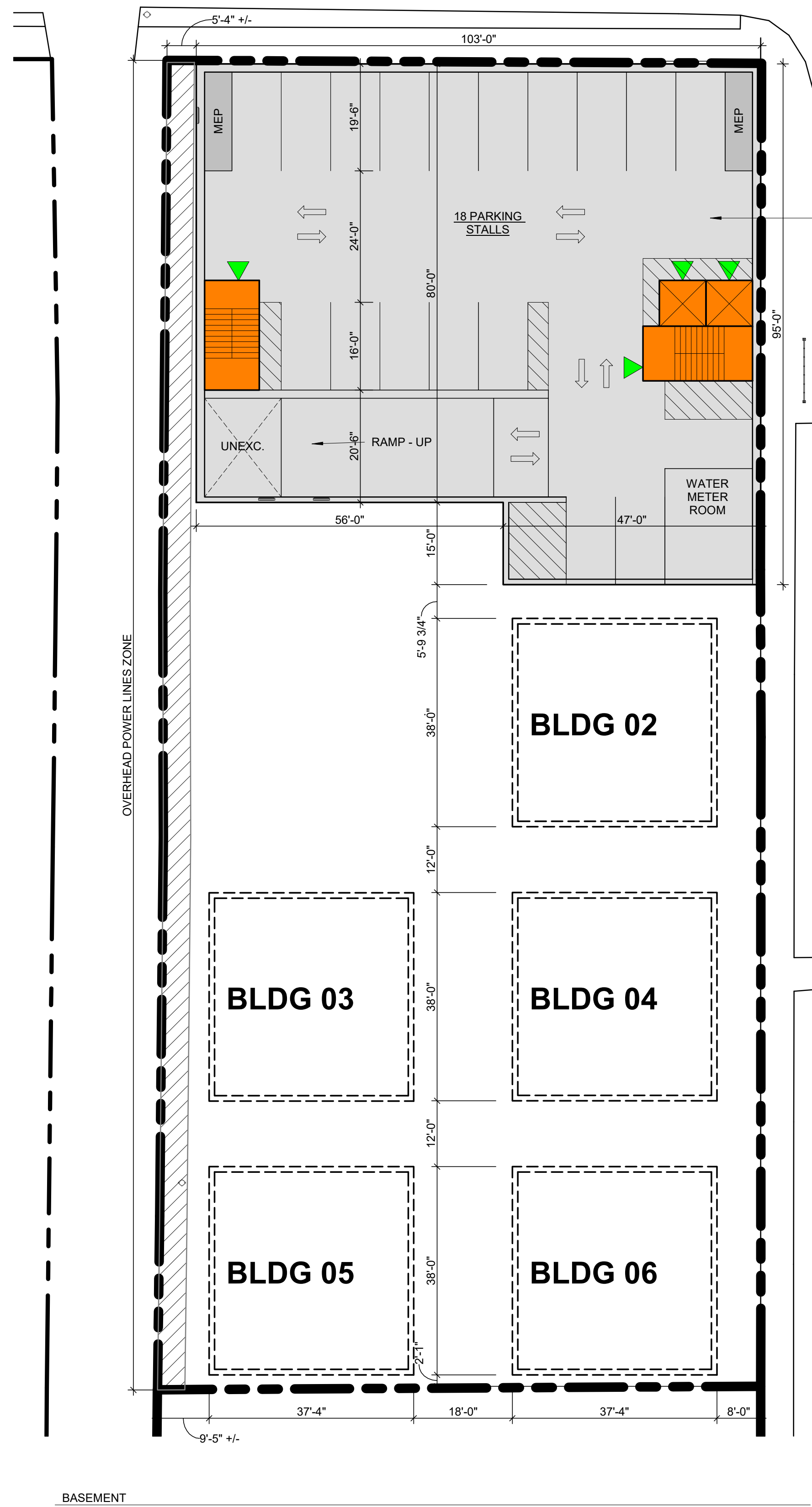
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		9	GARDCO	SVPG-A05-840-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	9556	1	90	
	B		1	GARDCO	SVPG-A11-830-G2-5CD	SoftView Parking Garage (SVPG), 266 LED's, 3000K CCT, TYPE 5CD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	15546	1	149.3019	
	H		4	Performance IN Lighting	070711	SHIELD+1 14.5W 840 Type III 1-10V - Black	1	1773	1	14.5	

*No substitutes shall be allowed without prior approval from engineer of record and lighting designer.

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written permission.



W. CHAMBERS STREET



BUILDING 01
(6 STORIES)

N. 8TH STREET

BASEMENT

ST MATTHEWS DEVELOPMENT DATA

UNIT TOTALS (UNIT MIX 48% 1-BD / 32% 2-BD / 20% 3-BD)

BLDG 01	1BR	2BR	3BR	SUBTOTAL		1BR	2BR	3BR	SUBTOTAL	TOTAL
1ST FL	0	0	0	0	BLDG 02	0	0	2	2	2
2ND FL	6	4	0	10	BLDG 03	0	0	2	2	2
3RD FL	6	4	0	10	BLDG 04	0	0	2	2	2
4TH FL	6	4	0	10	BLDG 05	0	0	2	2	2
5TH FL	6	4	0	10	BLDG 06	0	0	2	2	2
SUBTOTAL	24	16	0		SUBTOTAL	0	0	10	-	10
TOTAL				40	TOTAL				10	50

PARKING TOTALS (UNIT TO STALL RATIO 1:0.72)

BLDG 1	26	<i>in bldg 01 enclosed</i>
BLDG 2,3,4,5 & 6	10	<i>on site surface lot</i>
TOTAL	36	

PROJECT GROSS SQUARE FOOTAGES

BLDG 01	GSF / FLOOR		GSF / FLOOR	SUBTOTALS
BASEMENT	9,525	BLDG 02	1,270/1,270	2,540
1ST FL	8,725	BLDG 03	1,270/1,270	2,540
2ND FL	10,000	BLDG 04	1,270/1,270	2,540
3RD FL	10,000	BLDG 05	1,270/1,270	2,540
4TH FL	10,000	BLDG 06	1,270/1,270	2,540
5TH FL	10,000			
TOTAL	58,250 GSF			12,700 GSF
				70,950 GSF

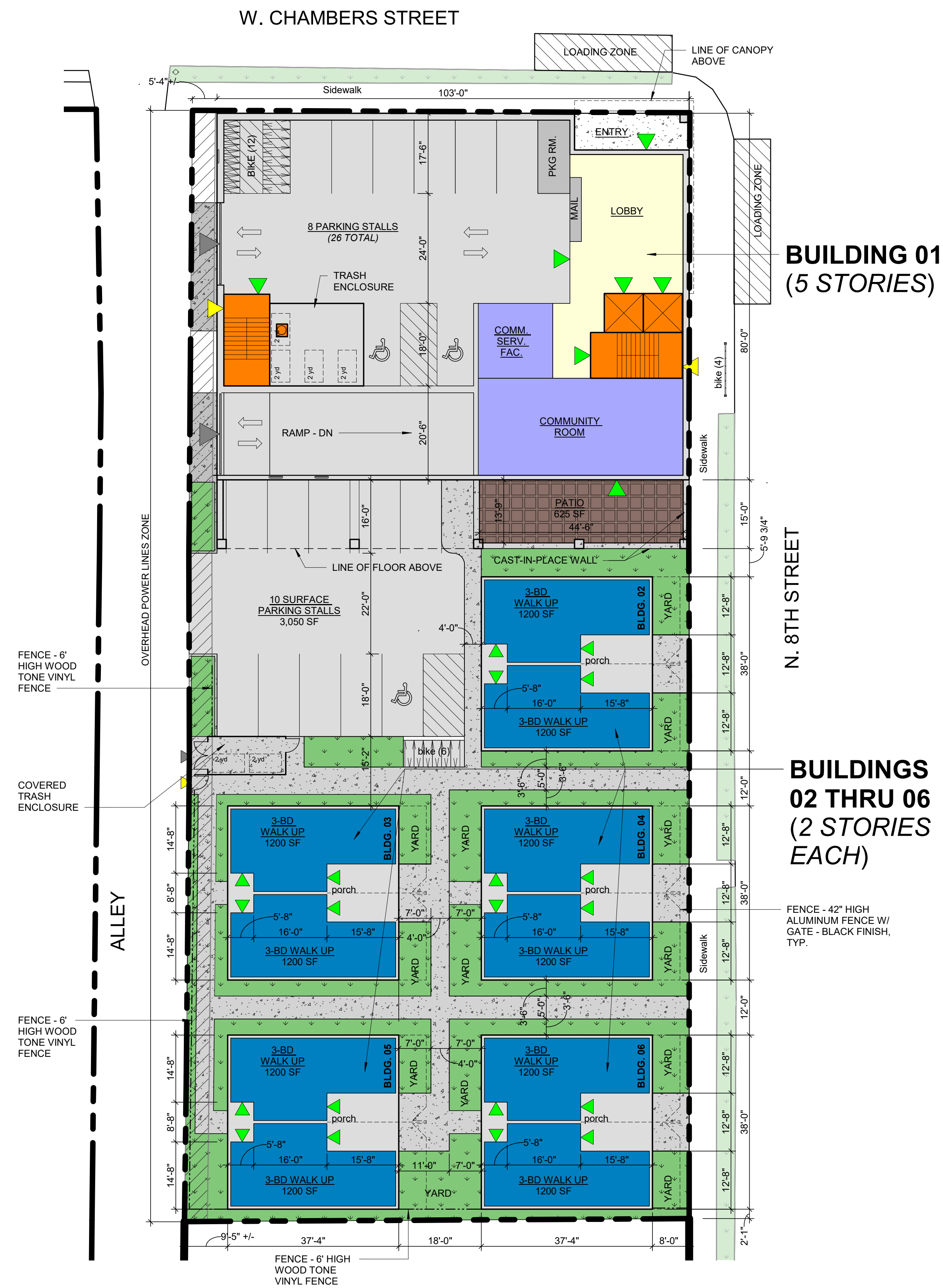
ST. MATTHEW'S SENIOR HOUSING

BASEMENT-FOUNDATION PLAN AND DEVELOPMENT MATRIX

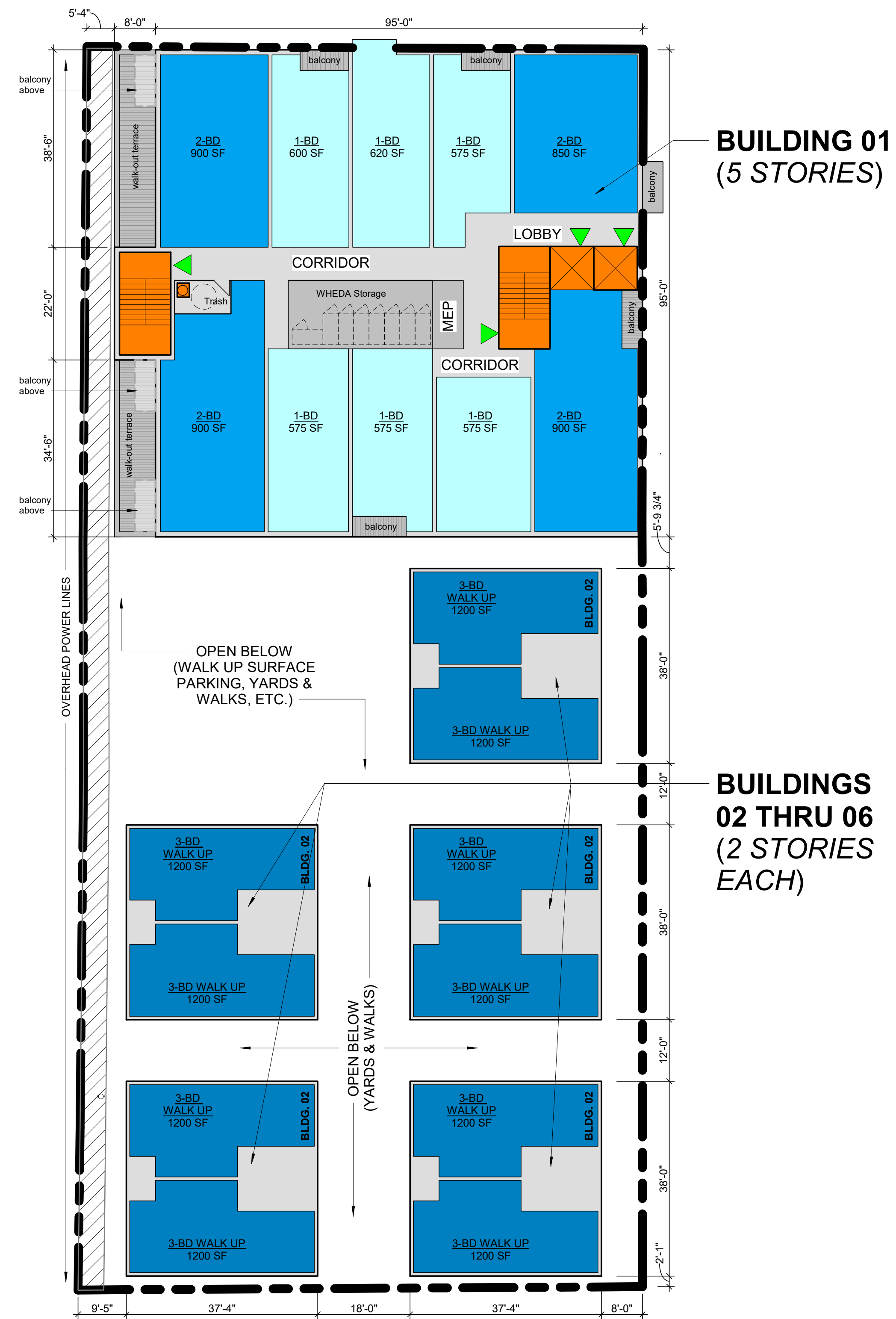
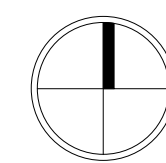
SCALE: 1/16" = 1'-0"

NOVEMBER 17, 2023

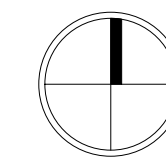
Engberg Anderson Project No. 223433.00



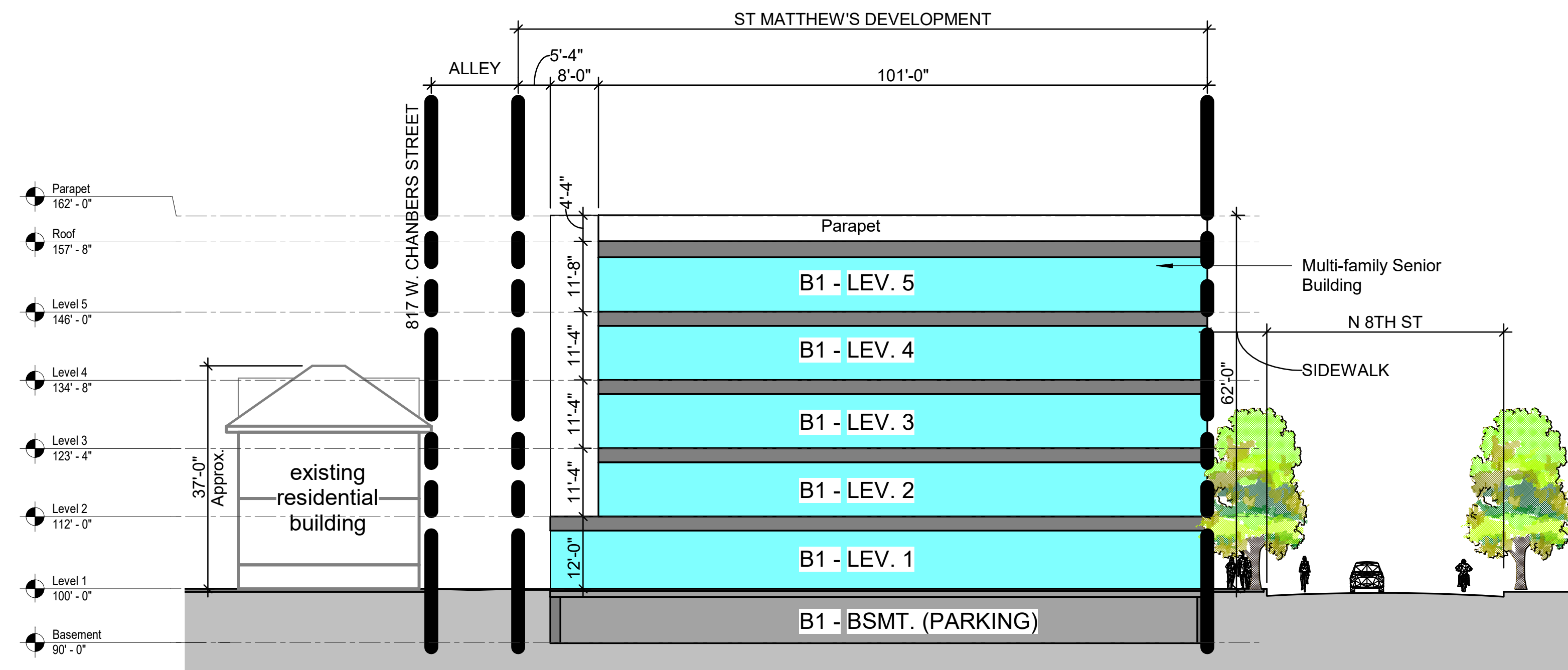
LEVEL 1 PLAN



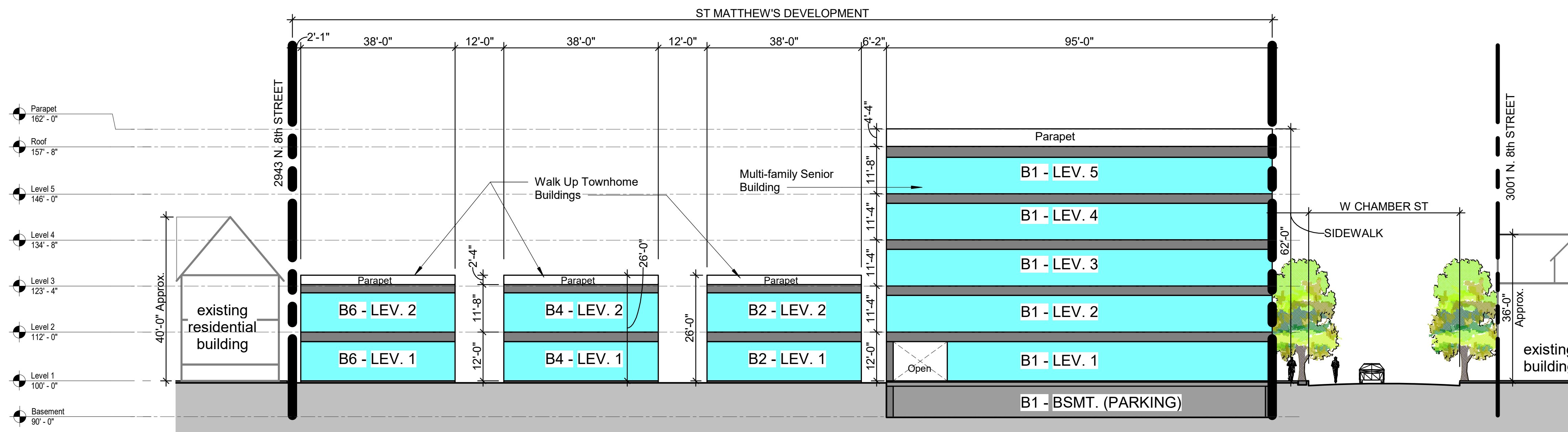
LEVELS 2-5 PLAN



ST. MATTHEW'S SENIOR HOUSING



EAST-WEST SECTION



NORTH-SOUTH SECTION

ST. MATTHEW'S SENIOR HOUSING

SITE SECTIONS
 SCALE: 1/16" = 1'-0"
 NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

MATERIAL DESIGNATIONS

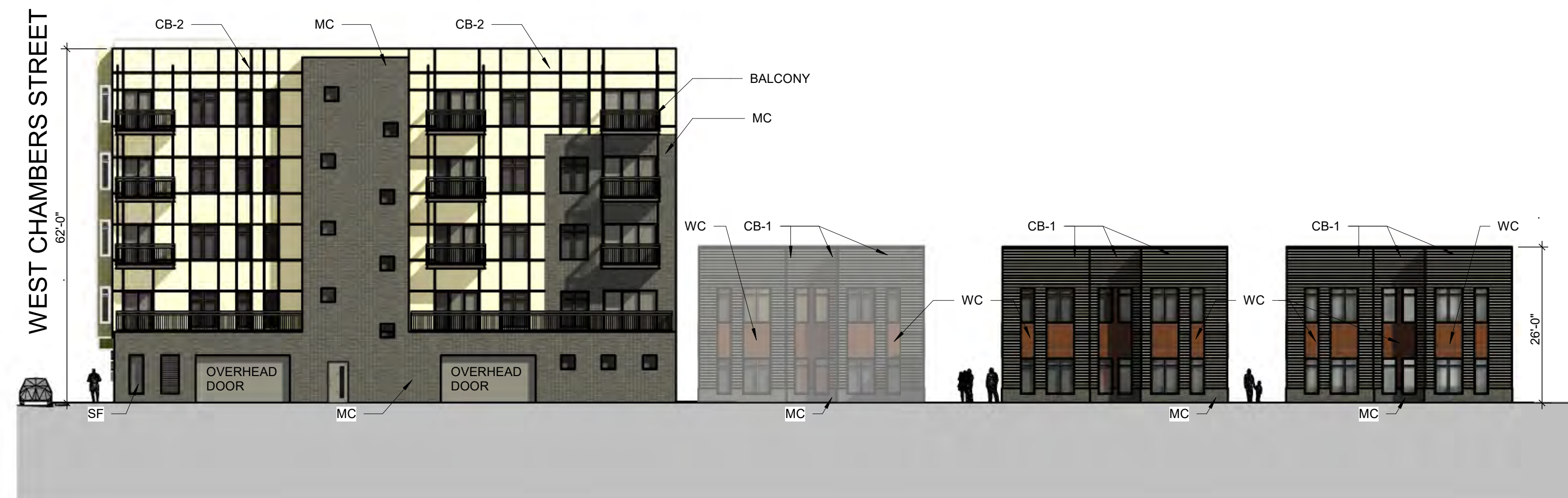
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR

1. ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FIBERGLASS WITH LOW-E COATING
2. OVERHEAD DOORS TO BE INSULATED - BLACK FINISH.
3. BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM DECKS WITH FAWN BROWN FINISH.
4. SIGNAGE TO BE 18" HIGH BACKLIT W/ BLACK METAL FINISH AT BUILDING NAME & 12" HIGH BACKLIT W/ BRUSHED METAL FINISH AT ADDRESS NUMBERING.



SOUTH ELEVATION (ADJACENT PROPERTY)



WEST ELEVATION (ALLEY)



NORTH ELEVATION (W CHAMBERS ST)



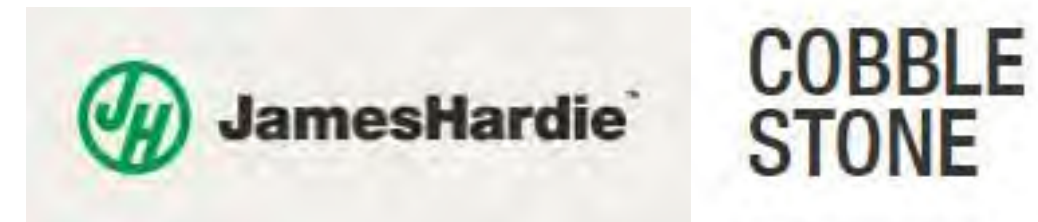
EAST ELEVATION (N 8TH ST)

ST. MATTHEW'S SENIOR HOUSING



CB-1 & CB-2 SMOOTH CEMENT BOARD PANEL

<https://www.jameshardie.com>



WC - WOOD LOOK CEMENT LAP BOARD

<https://woodtone.com/product/rusticseries/rusticseries-lap>



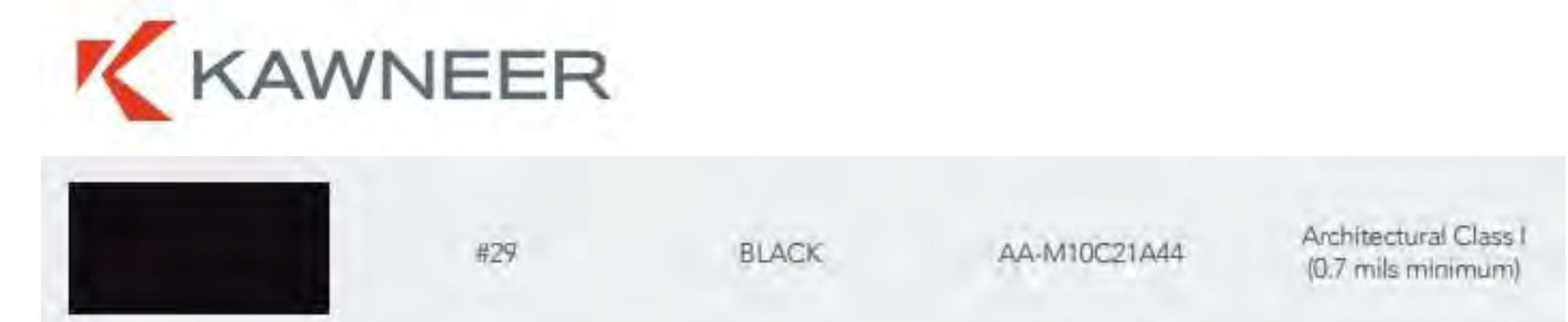
MC - MASONRY CLADDING - FULL BED

<https://www.yankeehillbrick.com>



SF - STOREFRONT SYSTEM - BLACK FINISH

<https://www.kawneer.us>



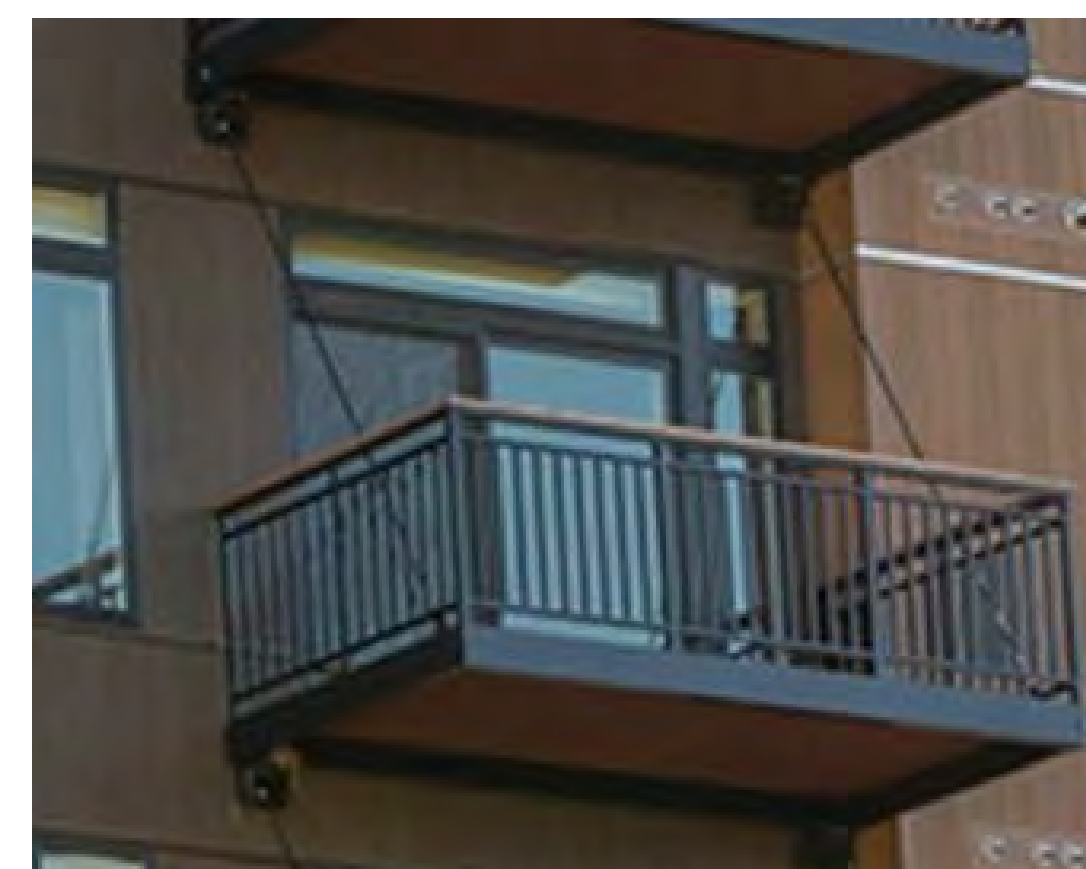
4' HIGH ALL-ALUMINUM FENCE

<https://alumi-guard.com/backyard-collection>



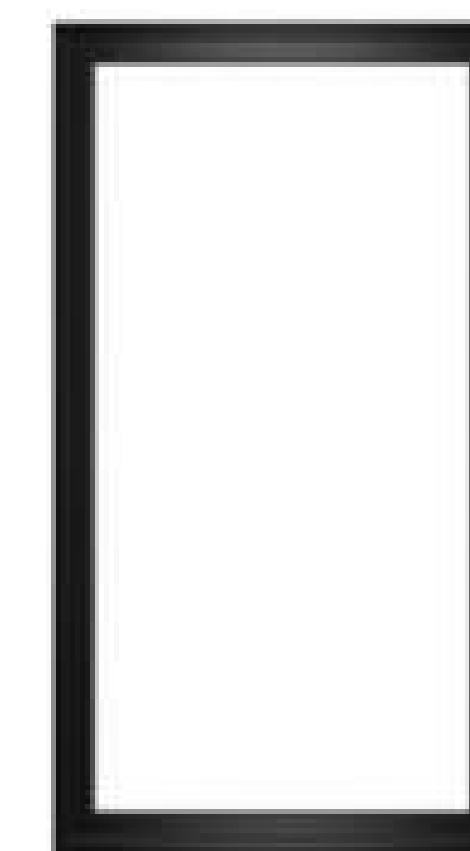
6' HIGH WOOD LOOK VINYL FENCE

<https://bufftech.com>



ALL-ALUMINUM HUNG BALCONY - BLACK W/ FAWN BROWN DECKING

<https://www.webuildiron.com>



FIBERGLASS/VINYL - BLACK WINDOWS

<https://www.pella.com>



MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR	
1.	ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FIBERGLASS WITH LOW-E COATING
2.	OVERHEAD DOORS TO BE INSULATED - BLACK FINISH.
3.	BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM DECKS WITH FAWN BROWN FINISH.
4.	SIGNAGE TO BE 18" HIGH BACKLIT W/ BLACK METAL FINISH AT BUILDING NAME & 12" HIGH BACKLIT W/ BRUSHED METAL FINISH AT ADDRESS NUMBERING.



ST. MATTHEW'S SENIOR HOUSING

EAST ELEVATION SENIOR LIVING
 SCALE: 3/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00

MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

- GENERAL NOTES - EXTERIOR**
- ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FIBERGLASS WITH LOW-E COATING
 - OVERHEAD DOORS TO BE INSULATED - BLACK FINISH.
 - BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM DECKS WITH FAWN BROWN FINISH.
 - SIGNAGE TO BE 18" HIGH BACKLIT W/ BLACK METAL FINISH AT BUILDING NAME & 12" HIGH BACKLIT W/ BRUSHED METAL FINISH AT ADDRESS NUMBERING.



ST. MATTHEW'S SENIOR HOUSING

WEST ELEVATION SENIOR LIVING
 SCALE: 3/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00

MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

- GENERAL NOTES - EXTERIOR**
- ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FIBERGLASS WITH LOW-E COATING
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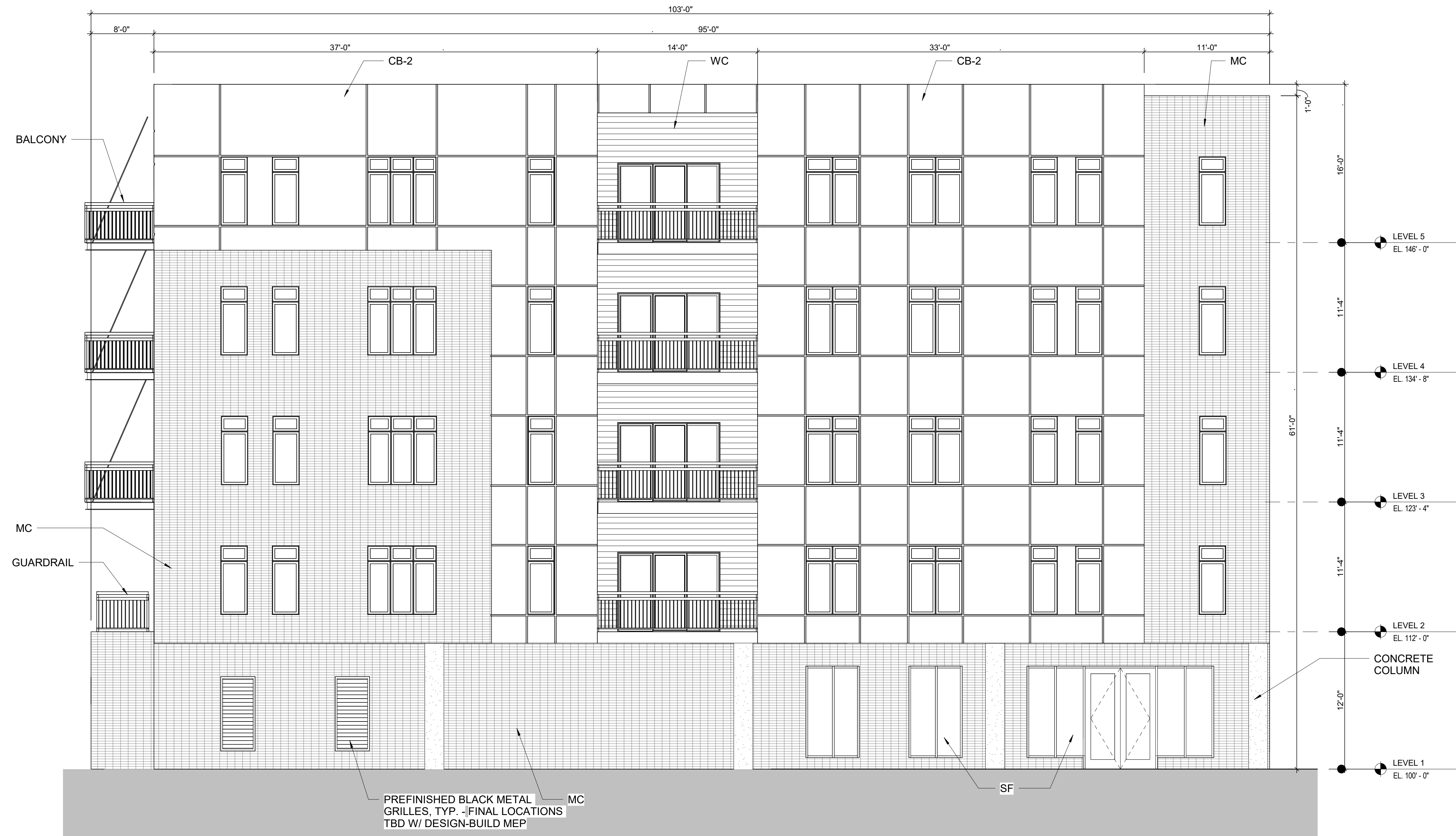


ST. MATTHEW'S SENIOR HOUSING

NORTH ELEVATION SENIOR LIVING
 SCALE: 3/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00

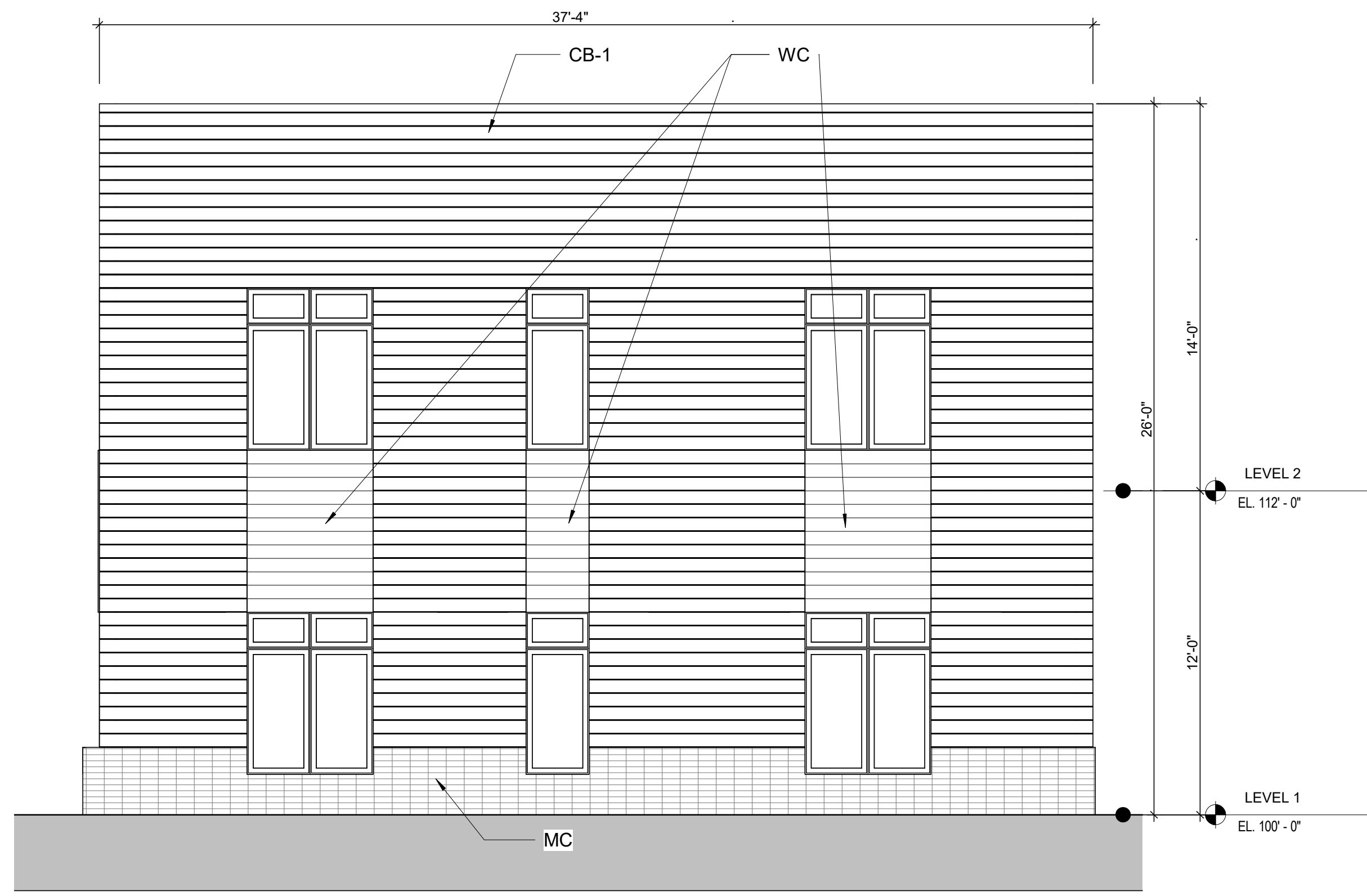
MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR	
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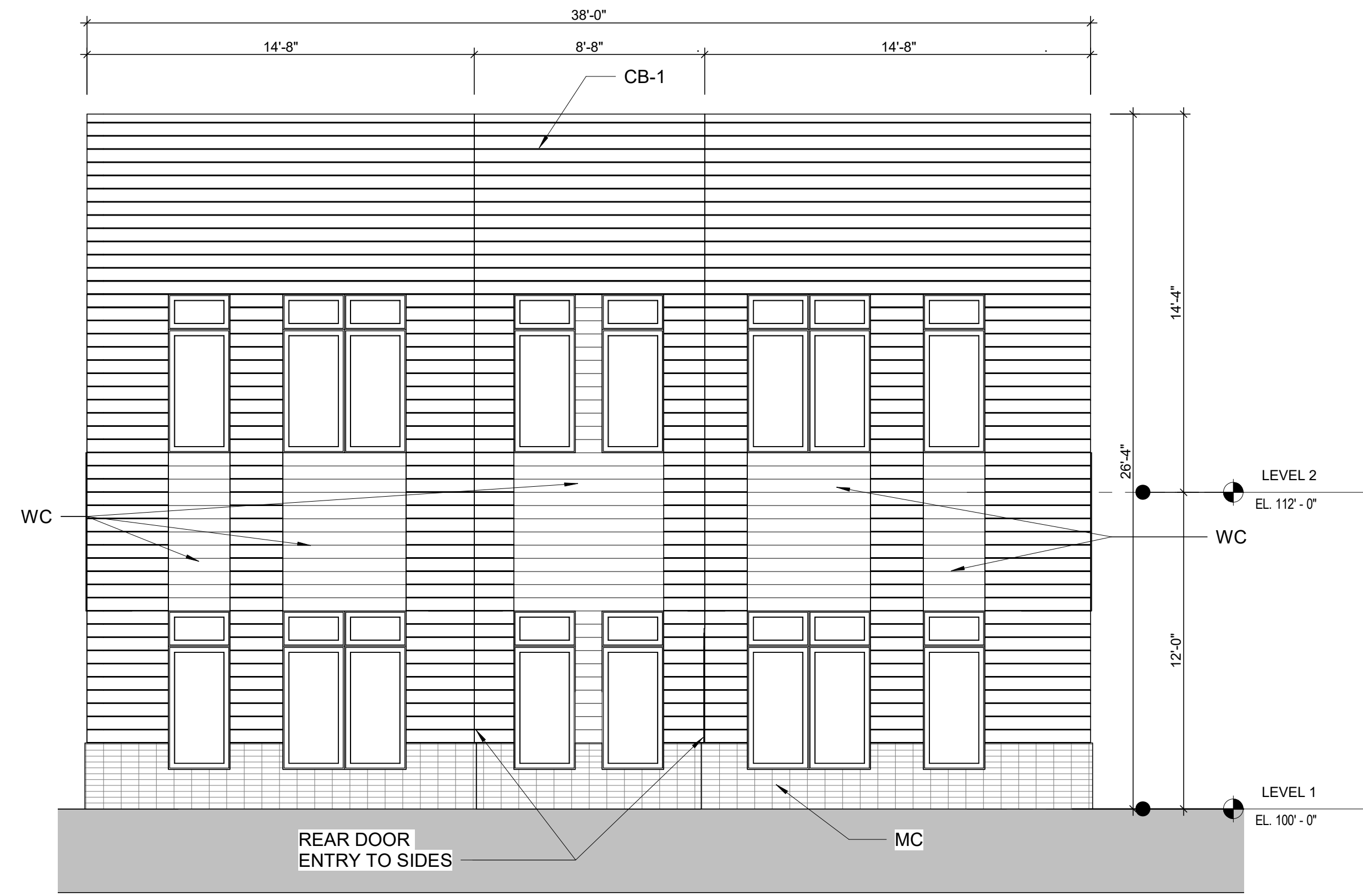


ST. MATTHEW'S SENIOR HOUSING

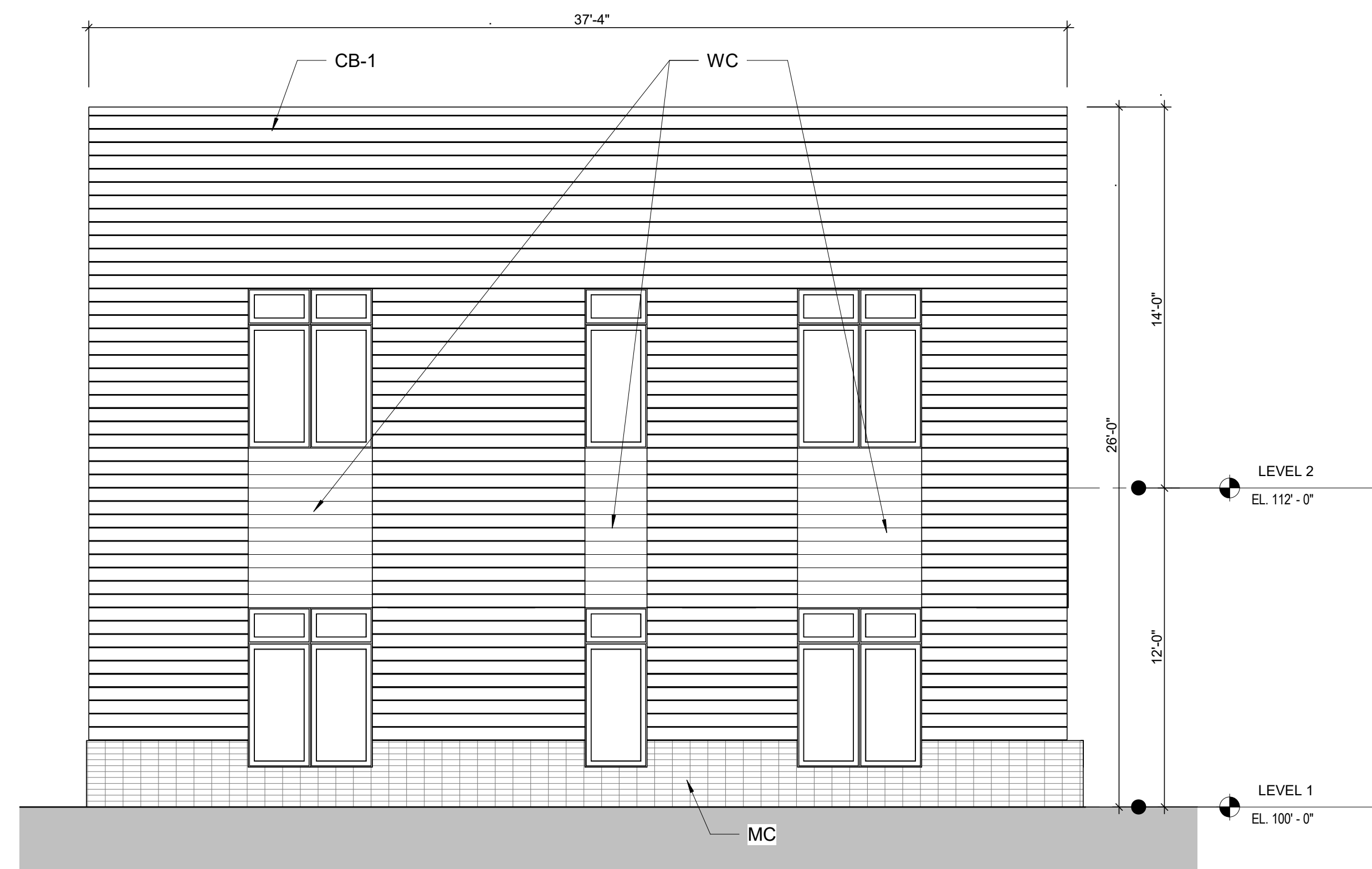
SOUTH ELEVATION SENIOR LIVING
 SCALE: 3/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00



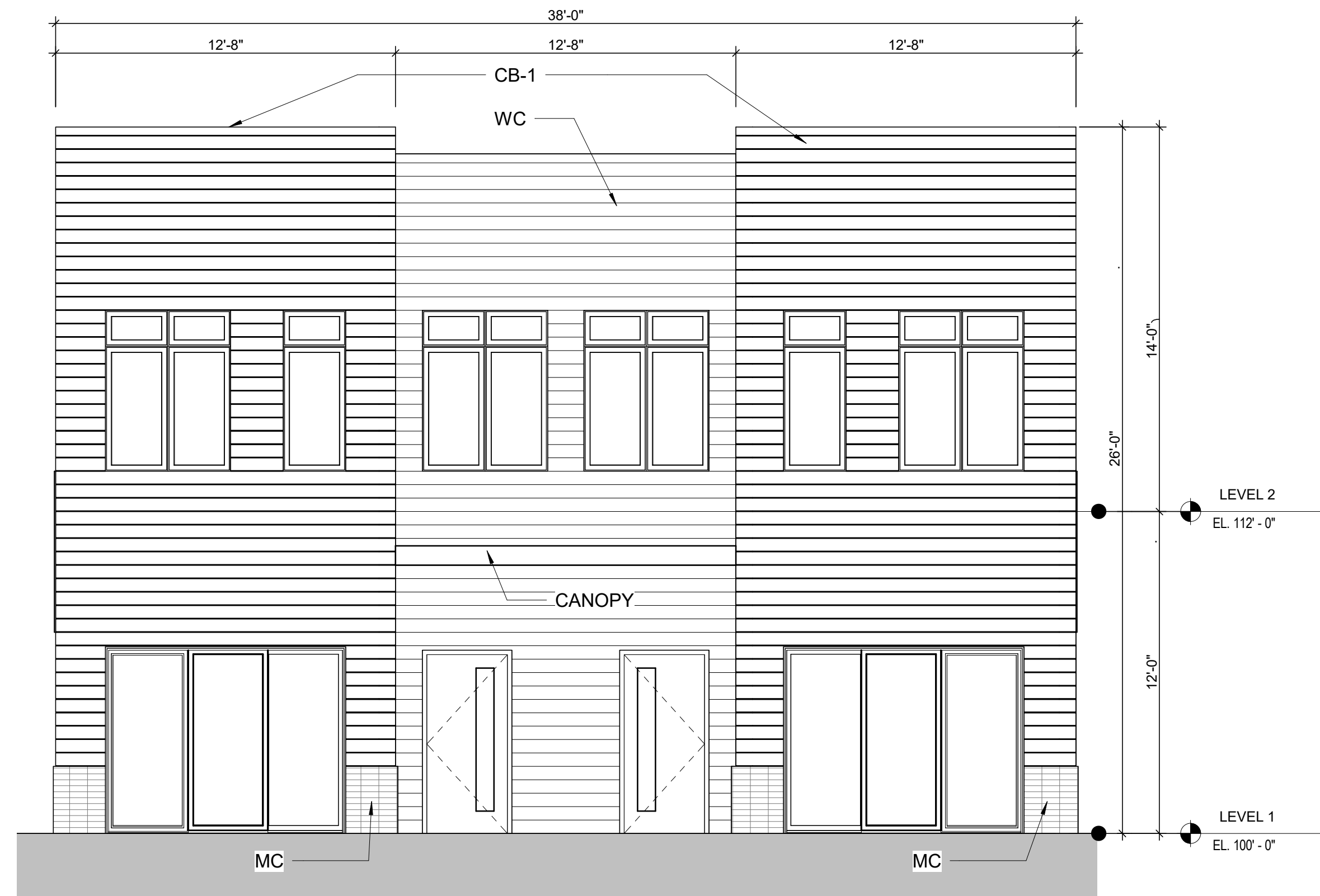
SOUTH ELEVATION WALKUPS



WEST ELEVATION WALKUPS



NORTH ELEVATION WALKUPS



EAST ELEVATION WALKUPS

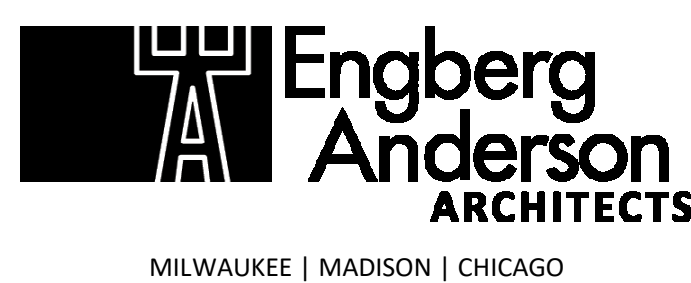
MATERIAL DESIGNATIONS

MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR

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ST. MATTHEW'S SENIOR HOUSING



BUILDING ELEVATIONS WALKUPS

SCALE: 1/4" = 1'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00



ST. MATTHEW'S SENIOR HOUSING



ST. MATTHEW'S SENIOR HOUSING