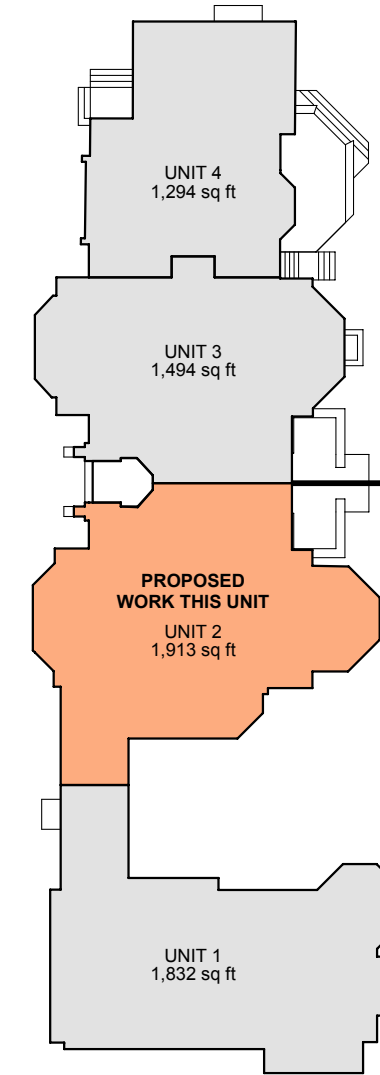


# EDELL - BERLIN REMODEL

3314 N. LAKE DRIVE MILWAUKEE, WI 53211



6528 West North Avenue  
Milwaukee, Wisconsin 53213  
414 291-0772 phone  
www.galbraithcarnahan.com



*N.A.*  
04-09-20

## BUILDING DATA

CONSTRUCTION TYPE	_____	IIIA
OCCUPANCY CLASSIFICATION	_____	R-2
SPRINKLER SYSTEM	_____	NONE
<b>GROSS BUILDING AREAS:</b>		
	total sq ft. of floor	sq ft. of proposed work
LOWER LEVEL	- 1,841	1,528
LEVEL 1	- 1,913	385
LEVEL 2	- 1,610	312
LEVEL 3	- 1,390	NO WORK
<b>TOTAL</b>	<b>- 6,754</b>	<b>2,225</b>

## SHEET INDEX

ID	NAME
G100	COVER SHEET & SITE & CODE INFO
AD101	LOWER LEVEL DEMOLITION PLAN
AD101	FIRST FLOOR DEMOLITION PLAN
AD102	SECOND FLOOR DEMOLITION PLAN
A100	LOWER LEVEL FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN

## CONTACT INFORMATION

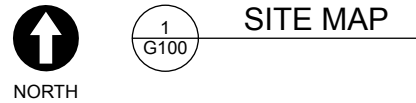
**OWNER:**  
JULIE EDELL BERLIN  
3405 N. LAKE DRIVE  
MILWAUKEE, WI 53211

**ARCHITECT:**  
GALBRAITH CARNAHAN ARCHITECTS  
6404 WEST NORTH AVENUE  
MILWAUKEE, WI 53213  
(414) 291-0772

**CONTACT:**  
JOHN ANNIS  
jpa@galbraithcarnahan.com

## ABBREVIATIONS

# & @	Pound OR Number And At	<b>A</b>	Acoustic Ceiling Tile Area Drain Above Finished Floor Aluminum Anodized Approximately	<b>B</b>	Bank Equipment Supplier Blocking Bulkhead Bearing Basement Base Tile Beyond Bottom Of Bottom	<b>C</b>	Cabinet Cast In Place Channel Control Joint Closet Ceiling Clear Construction Manager Concrete Masonry Unit Column Compressible Concrete CONC BLK Concrete Block Continuous Contractor Carpet Course Ceramic Tile Ceramic Tile Base Courtyard	<b>D</b>	Double Demolish or Demolition Diameter Dimension Dimensions Dispenser Down Door Drawer Downspout Detail Dishwasher Drawing	<b>E</b>	Each Exterior Insulation Finish System Expansion Joint Elevation Electrical Elevator or Elevation Ethylene Propylene Diene M-Class (Roofing) Equal Existing To Remain Existing Expansion Expansion Joint Exterior	<b>F</b>	Floor Drain or Fire Department Fire Extinguisher Fire Extinguisher Cabinet Finished Floor Fixture Floor Fishing Filled Metal Face Of Foot Footing Foundation	<b>G</b>	Gauge Galvanized Grab Bar Gypsum Wall Board	<b>H</b>	Hollow Core Hardwood Header High Hollow Metal Horizontal High Point Hour Height Hardboard Heating, Ventilating, And Air Conditioning	<b>I</b>	Impact Resistant Gypsum Wall Board In Lieu Of Instructions Insulated or Insulation Interior	<b>J</b>	Joint	<b>M</b>	Maximum Manufacturer Masonry Opening Mechanical Membrane Microwave Minimum Miscellaneous Moisture Resistant Dry Wall Moisture-Resistant Gypsum Wall Board Metal Mortar Material	<b>N</b>	Not In Contract Number Nominal	<b>O</b>	On Center Opposite Hand Opening Ounce	<b>P</b>	Pre-Cast Concrete Plumbing Plastic Laminate Plumbing Plywood Plywood Pole & Shelves / Shelf Preliminary Pressure Treated Paint or Painted Polyvinyl Chloride	<b>R</b>	Rubber Base Rubber Reflected Ceiling Plan Roof Drain Refrigerator Reinforced Required Room	<b>S</b>	Sheathing Sheet Flooring Similar Specified OR Specification Sprinkler or Speaker Stainless Steel Stain Sound Transmission Coefficient Steel Structure or Structural	<b>T</b>	Tongue And Groove Telephone Toilet Top Of Top Of Concrete Top Of Steel Toilet Paper Dispenser Telephone Data Typical	<b>U</b>	Unless Noted Otherwise Underside	<b>V</b>	Vinyl Base Vinyl Composition Tile Vertical Verify In Field Vision Panel Vinyl Wall Covering	<b>W</b>	With Wood Window
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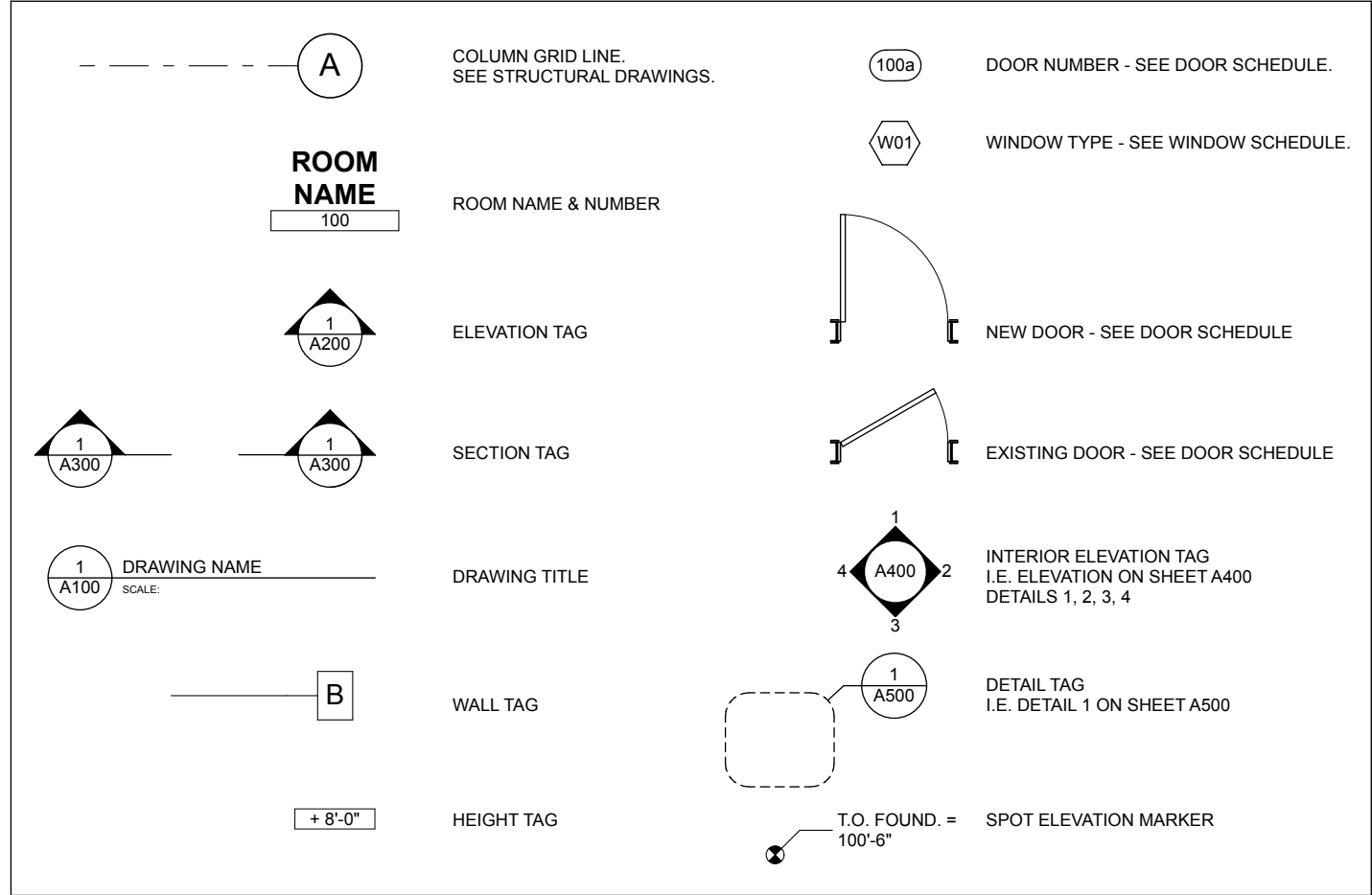


## APPLICABLE CODES

<b>BUILDING CODE</b>	SPS 361-366 STATE OF WISCONSIN COMMERCIAL BUILDING CODE AND THE INTERNATIONAL BUILDING CODE 2015 (IBC).
<b>EXISTING BUILDING CODE</b>	INTERNATIONAL EXISTING BUILDING CODE 2015 (IEBC).
<b>FIRE CODE</b>	INTERNATIONAL FIRE CODE 2015.
<b>ENERGY CODE</b>	INTERNATIONAL ENERGY CONSERVATION CODE 2015.
<b>PLUMBING CODE</b>	INTERNATIONAL PLUMBING CODE 2015.
<b>MECHANICAL CODE</b>	INTERNATIONAL MECHANICAL CODE 2015.
<b>ACCESSIBILITY</b>	ICC/ANSI A117.1-2003 FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

**NOTE: \*\*WORK PROPOSED IS WITHIN THE FOOTPRINT OF THE EXISTING UNIT AND DOES NOT AFFECT EXISTING SEPARATION BETWEEN UNITS.**

## SYMBOL KEY



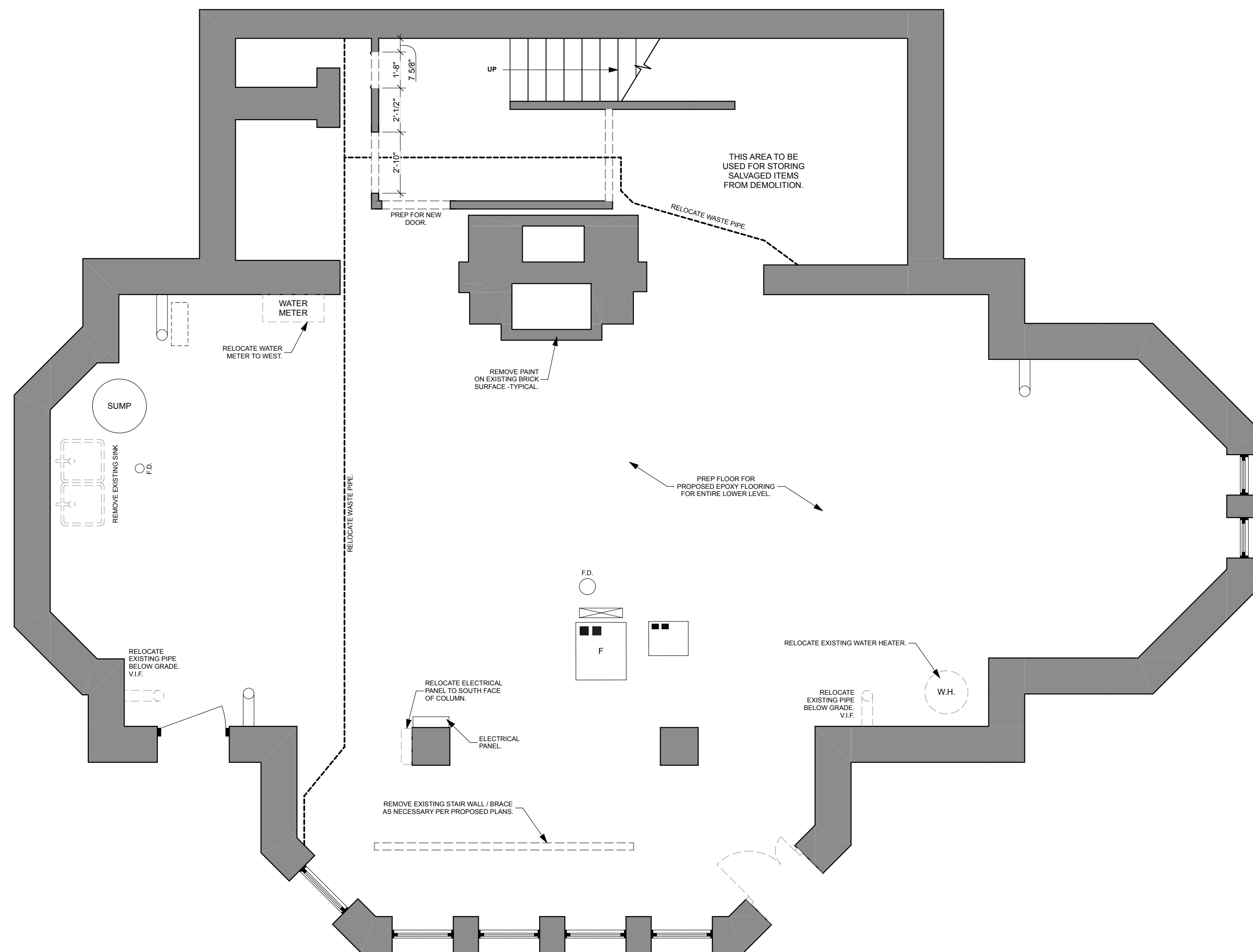
EDELLE - BERLIN REMODEL  
3314 N. LAKE DRIVE MILWAUKEE, WI 53211

DRAWING ISSUE	DATE
PROGRESS SET	02.13.2020
PROGRESS SET	02.25.2020
PRICING SET	03.11.2020
PERMIT SET	03.16.2020
REVISED COVER	04.09.2020

PROJECT # 20.01

COVER SHEET & SITE & CODE INFO

**G100**



1  
AD101

**LOWER LEVEL DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

**DEMOLITION KEY**

----- DASHED LINE INDICATES ELEMENTS TO BE DEMOLISHED.

**DEMOLITION - GENERAL NOTES**

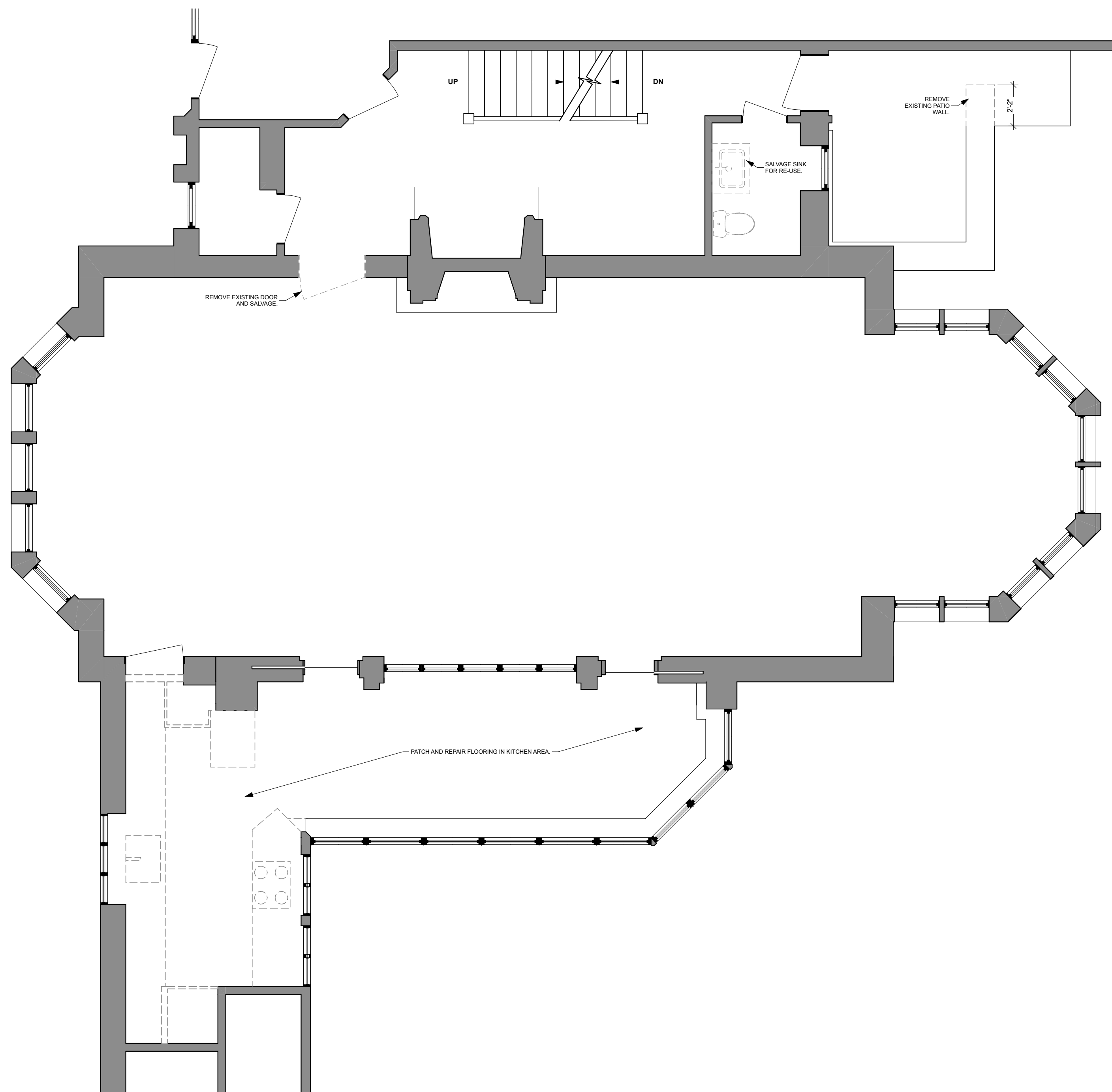
- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
- REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN THE PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNO).
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND / OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
- REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
- UPON REMOVAL OF FINISH MATERIALS INDICATED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REFER ALSO TO ROOM FINISH SCHEDULE FOR NEW MATERIALS. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
- IN WALLS TO BE REFINISHED, REMOVE EXISTING MISCELLANEOUS ACCESSORIES TO FACILITATE THE INSTALLATION OF NEW FINISHES. PATCH, REPAIR, AND PREP WALLS TO RECEIVE NEW FINISHES. ITEMS REMOVED TO BE SALVAGED AND GIVEN BACK TO OWNER.
- REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED.
- REMOVE ALL EXISTING LIGHTING FIXTURES. COORDINATE WITH DESIGN BUILD ELECTRICAL CONTRACTOR WHICH JUNCTION BOXES AND ELECTRICAL RUNS SHOULD REMAIN.

DRAWING ISSUE	DATE
PROGRESS SET	02.13.2020
PROGRESS SET	02.25.2020
PRICING SET	03.11.2020
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PROJECT # 20.01

LOWER LEVEL  
DEMOLITION  
PLAN

**AD101**



**DEMOLITION KEY**

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1  
AD101

**FIRST FLOOR DEMOLITION PLAN**

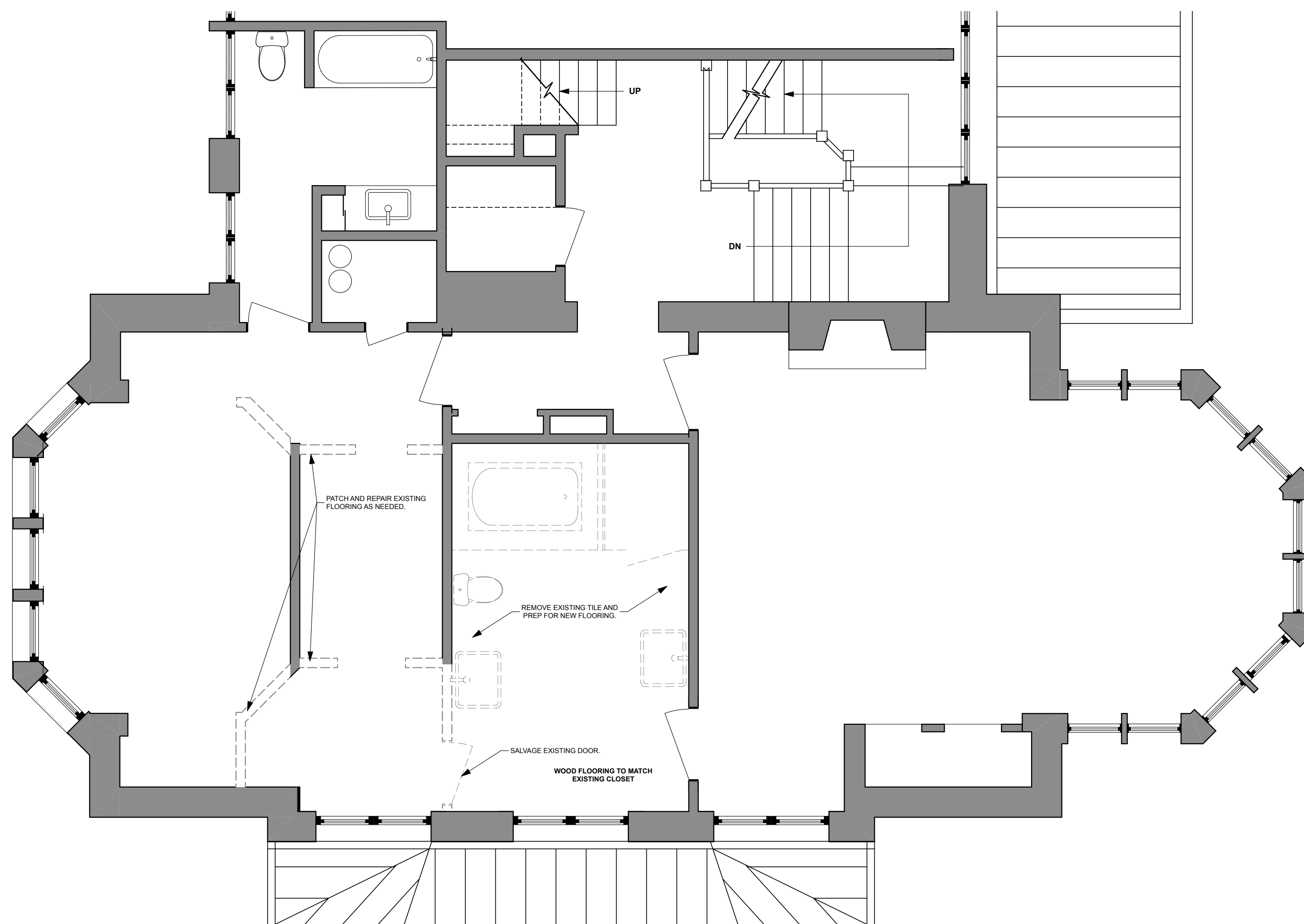
SCALE: 1/4" = 1'-0"

DRAWING ISSUE	DATE
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PERMIT SET	03.16.2020

PROJECT # 20.01

FIRST FLOOR  
DEMOLITION  
PLAN

**AD101**



1  
AD102

**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

**DEMOLITION KEY**

--- DASHED LINE INDICATES ELEMENTS TO BE DEMOLISHED.

**DEMOLITION - GENERAL NOTES**

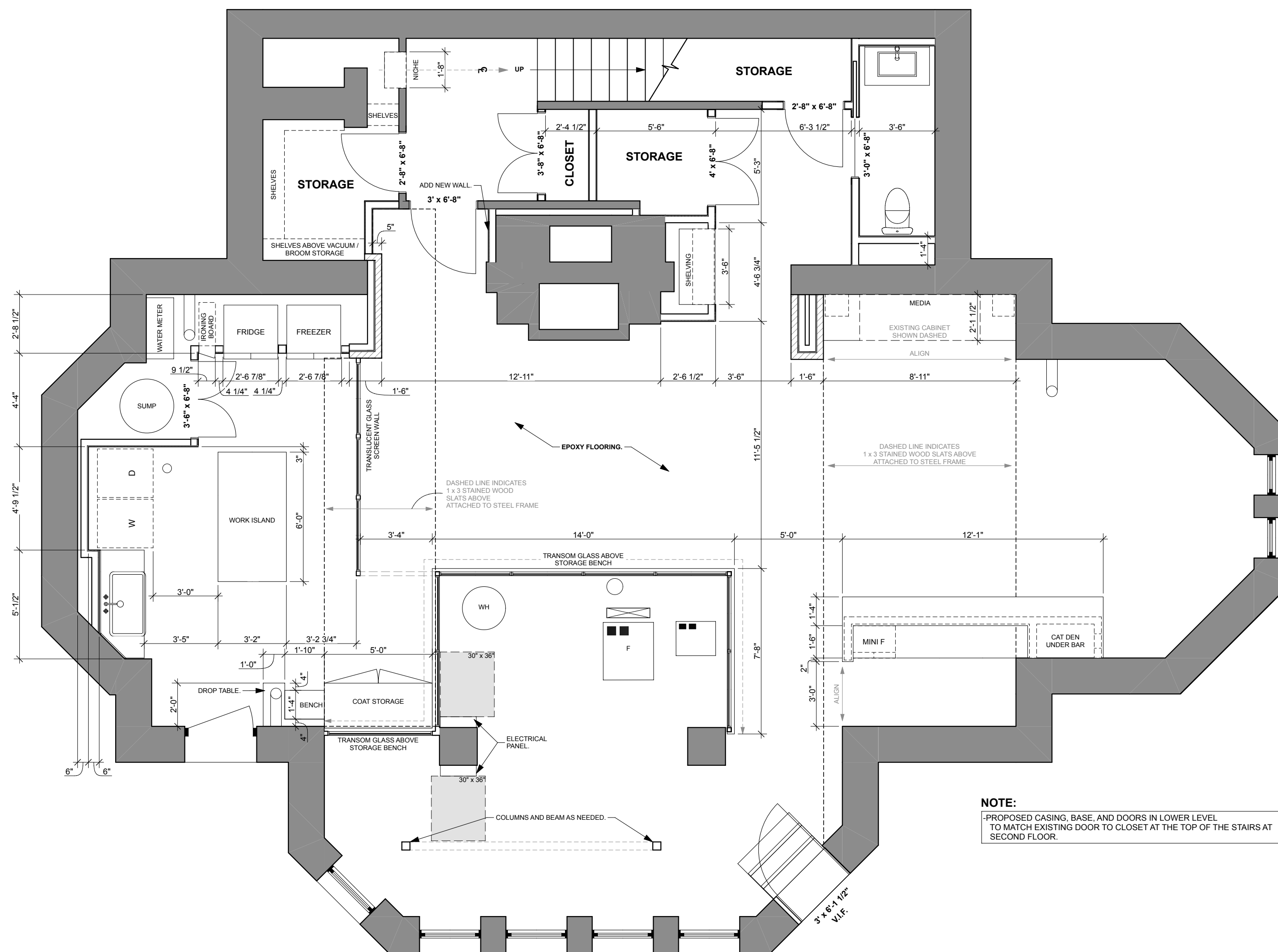
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PROJECT # 20.01

SECOND FLOOR  
DEMOLITION  
PLAN

**AD102**



**NOTE:**  
-PROPOSED CASING, BASE, AND DOORS IN LOWER LEVEL TO MATCH EXISTING DOOR TO CLOSET AT THE TOP OF THE STAIRS AT SECOND FLOOR.



1  
A100

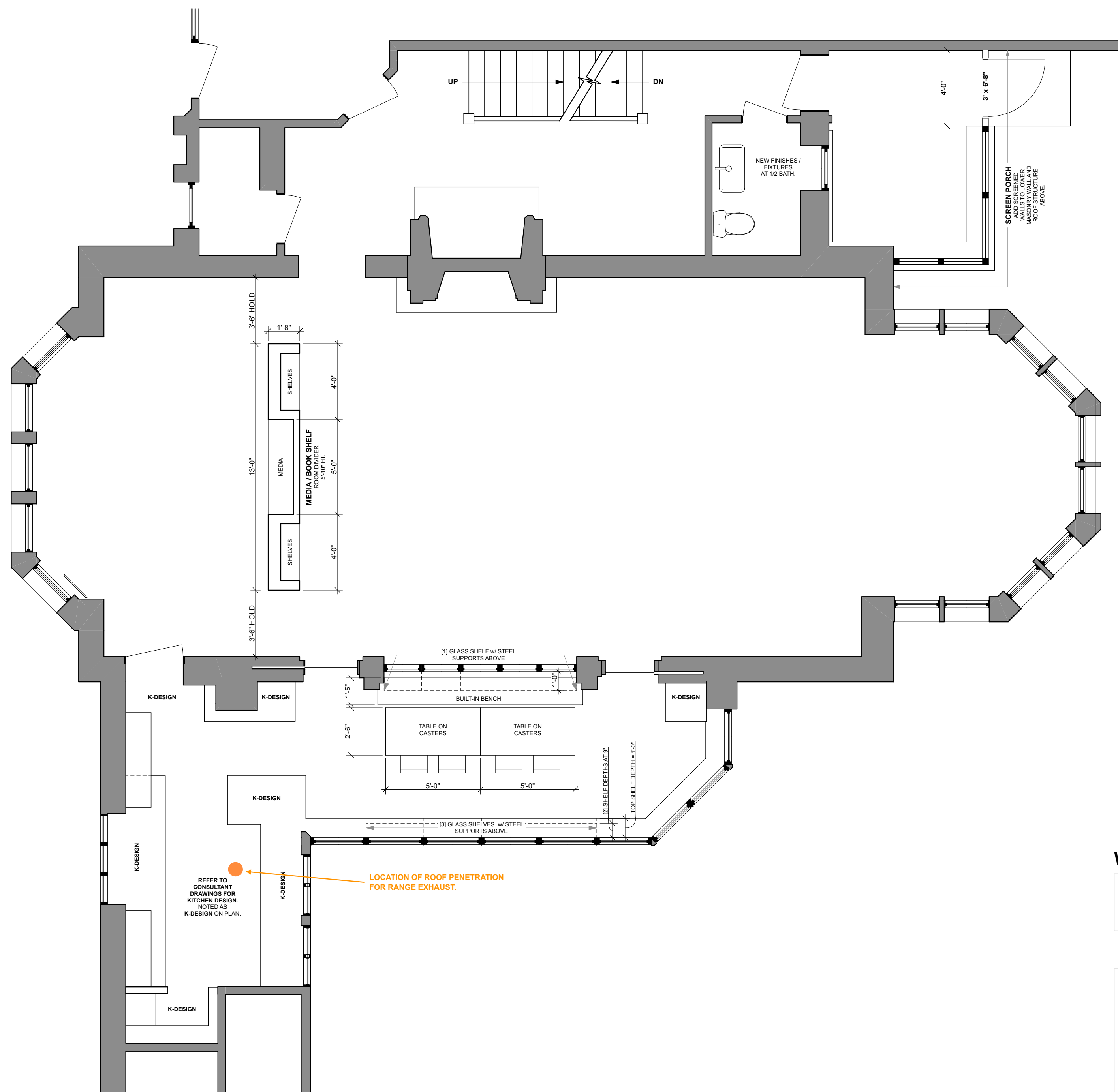
**LOWER LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**WALL TYPE LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN

**FLOOR PLAN - GENERAL NOTES**

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- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- 
-



**WALL TYPE LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN

**FLOOR PLAN - GENERAL NOTES**

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- 8.
- 9.

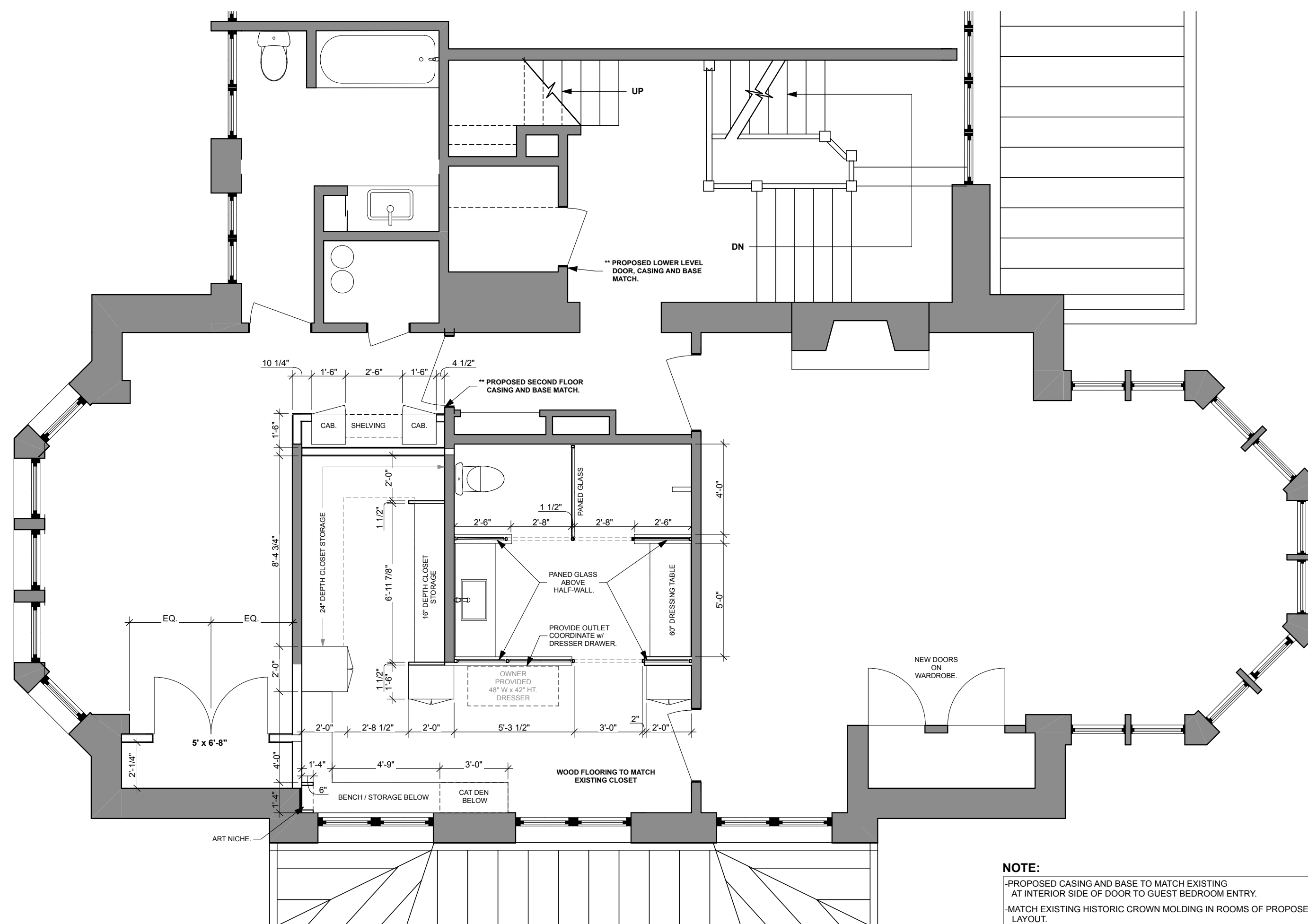
 **FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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PROJECT # 20.01

FIRST FLOOR PLAN

**A101**



**NOTE:**  
 -PROPOSED CASING AND BASE TO MATCH EXISTING AT INTERIOR SIDE OF DOOR TO GUEST BEDROOM ENTRY.  
 -MATCH EXISTING HISTORIC CROWN MOLDING IN ROOMS OF PROPOSED LAYOUT.

**1**  
**A102**  
**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**WALL TYPE LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN

**FLOOR PLAN - GENERAL NOTES**

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SECOND FLOOR PLAN

**A102**