

**ITEMS CORRESPONDING TO SCHEDULE B**

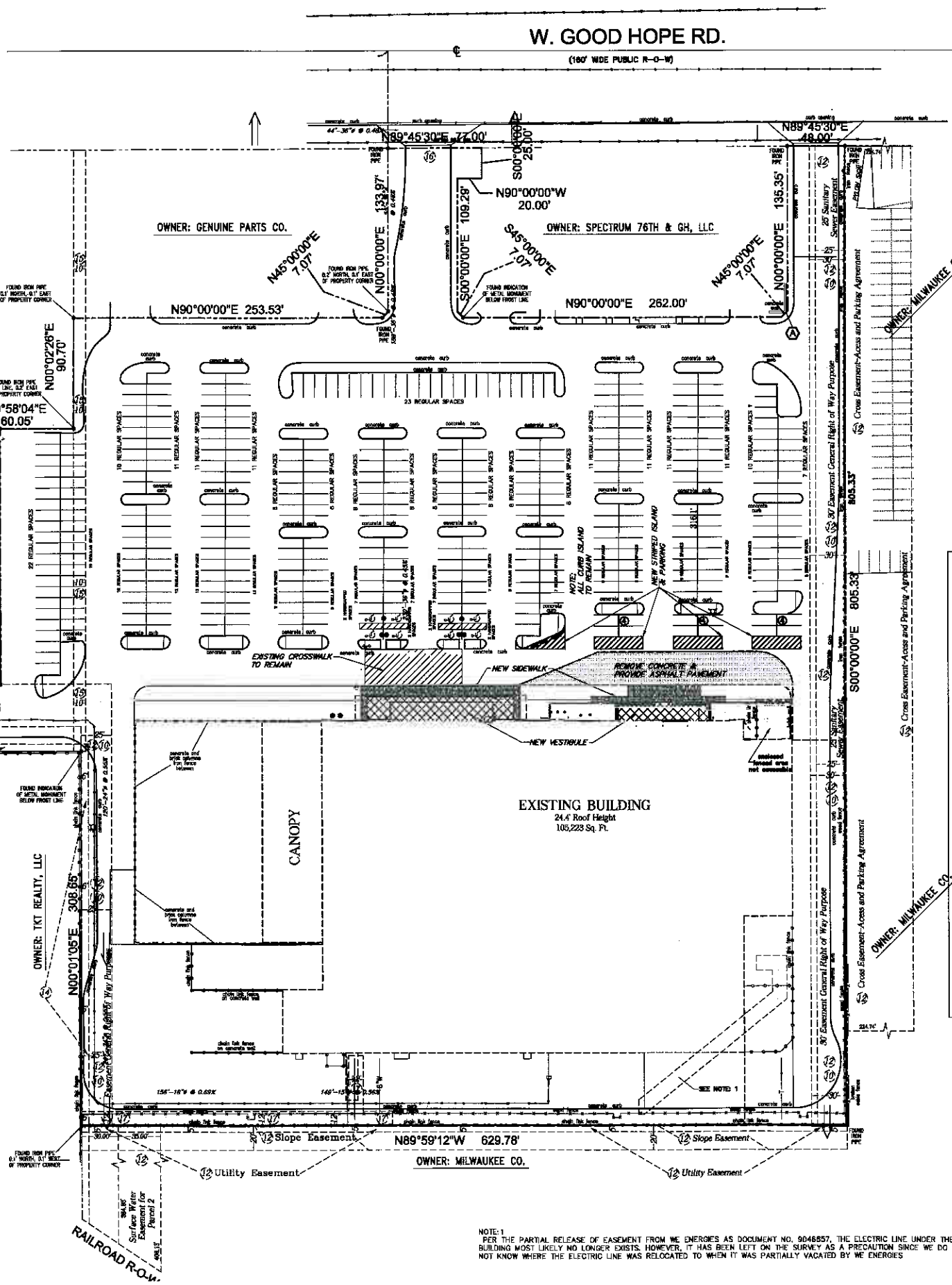
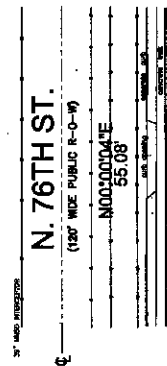
10. Easement - General Right of Way Purposes as shown on the recorded plat of Certified Survey Map No. 1714.
11. Restriction against voluntary lot division without Common Council's approval and agreement that all utility lines to provide electric power and telephone service to all lots in the subdivision shall be installed underground in easements provided therefor, as set forth in the recorded plat of Certified Survey Map No. 1714. (Not Plottable)
12. Easement Agreement recorded as Document No. 4634744.
13. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 4672924.
14. Utility Easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company recorded as Document No. 4375080.
15. Utility Easement granted to Wisconsin Electric Power Company recorded as Document No. 5487419, as modified by Partial Release of Easement recorded as Document No. 9046857.
16. Private Storm Sewer Easement as shown on Certified Survey Map No. 7599. (Not Plottable from CSM 7599, General Location Indicated)
17. Utility Easement granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies recorded as Document No. 9004229.

**ZONING DATA**

Zoning: PD, Planned Development

If site exceeds 5 acres - A setback of at least 25 feet around the perimeter of site is required, unless a smaller setback is approved because adjacent buildings have a setback of less than 25 feet.

(Source: City of Milwaukee, Department of City Development, www.mkdcd.org/czo)



**PROJECT INFORMATION**

SITE AREA	
PICK & SAVE	10.74 AC.
TOTAL	10.74 AC.

STORE DATA	
BASE BUILDING (NOT INCL. VESTIBULES)	102,533 SF
OUTDOOR GARDEN CENTER	27,988 SF
SEASONAL SALES AREA	7,380 SF
GREEN SPACE	38,034 SF, 0.873 AC. (8.13 %)
MAX LAND COVERED BY BLDG.	130,071 SF, 2.99 AC. F.A.R. = 27.69%
MAX LAND COVERED BY DRIVES, PARKING	275,883 SF, 6.33 AC.

PARKING COUNT SUMMARY	
EXISTING FRONT FIELD	395 SP
PROPOSED FRONT FIELD	12 SP
TOTAL (3.97 SPACES P/1000 OFA) (incl. GC, in OFA calculation)	407 SP
REQUIRED BY THE CITY (1/500 OFA) (incl. GC, in OFA calculation)	260

ZONING CLASSIFICATION	
EXISTING	LB-1 (Local Business)
PROPOSED	LB-1 (Local Business)

NOTE: 1  
PER THE PARTIAL RELEASE OF EASEMENT FROM WE ENERGIES AS DOCUMENT NO. 9046857, THE ELECTRIC LINE UNDER THE BUILDING MOST LIKELY NO LONGER EXISTS. HOWEVER, IT HAS BEEN LEFT ON THE SURVEY AS A PRECAUTION SINCE WE DO NOT KNOW WHERE THE ELECTRIC LINE WAS RELOCATED TO WHEN IT WAS PARTIALLY VACATED BY WE ENERGIES

Drawing Name: G:\1100\4152\_Pick n. Save\DWG\C4142000\_01.dwg, Plotted on: Jan 29, 2009 -- 8:45am by GHA - GHA, Inc.

**GEWALT HAMILTON ASSOCIATES, INC.**  
CONSULTING ENGINEERS & SURVEYORS  
850 Forest Edge Drive Verona Hills, IL 60091  
Tel. 847.476.9700 Fax 847.476.8701

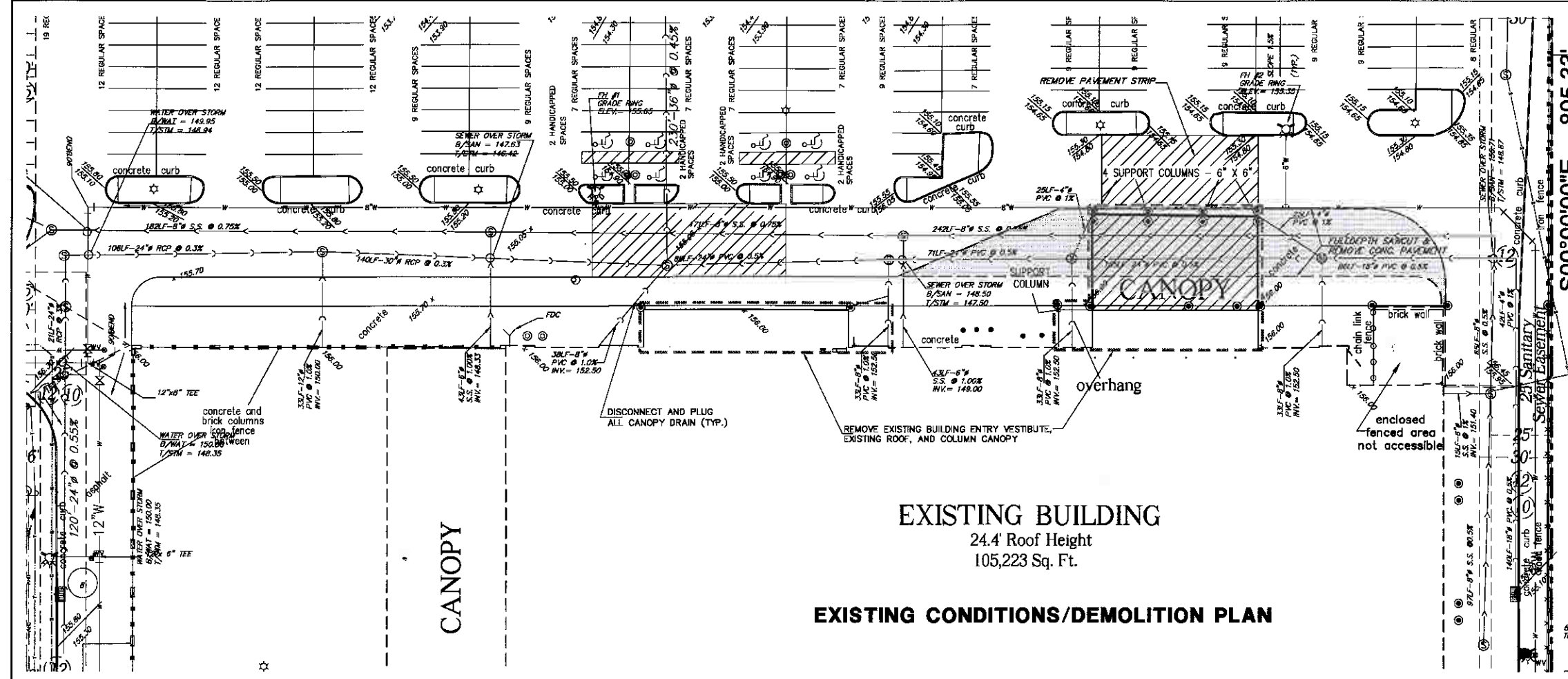
NO.	BY	DATE	REVISION

**SITE PLAN**

**PICK AND SAVE**  
**7401 WEST GOOD HOPE ROAD**  
**MILWAUKEE, WI 53223**

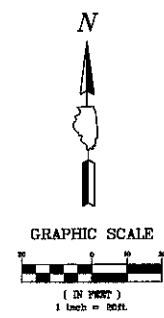
DRAWN BY: AV  
CHECKED BY: DO  
DATE: 01/27/09  
GHA PROJECT # 4142.000  
SCALE: 1" = 40'  
SHEET NUMBER **1**  
OF 3 SHEETS

FILE: C4142000\_01.dwg



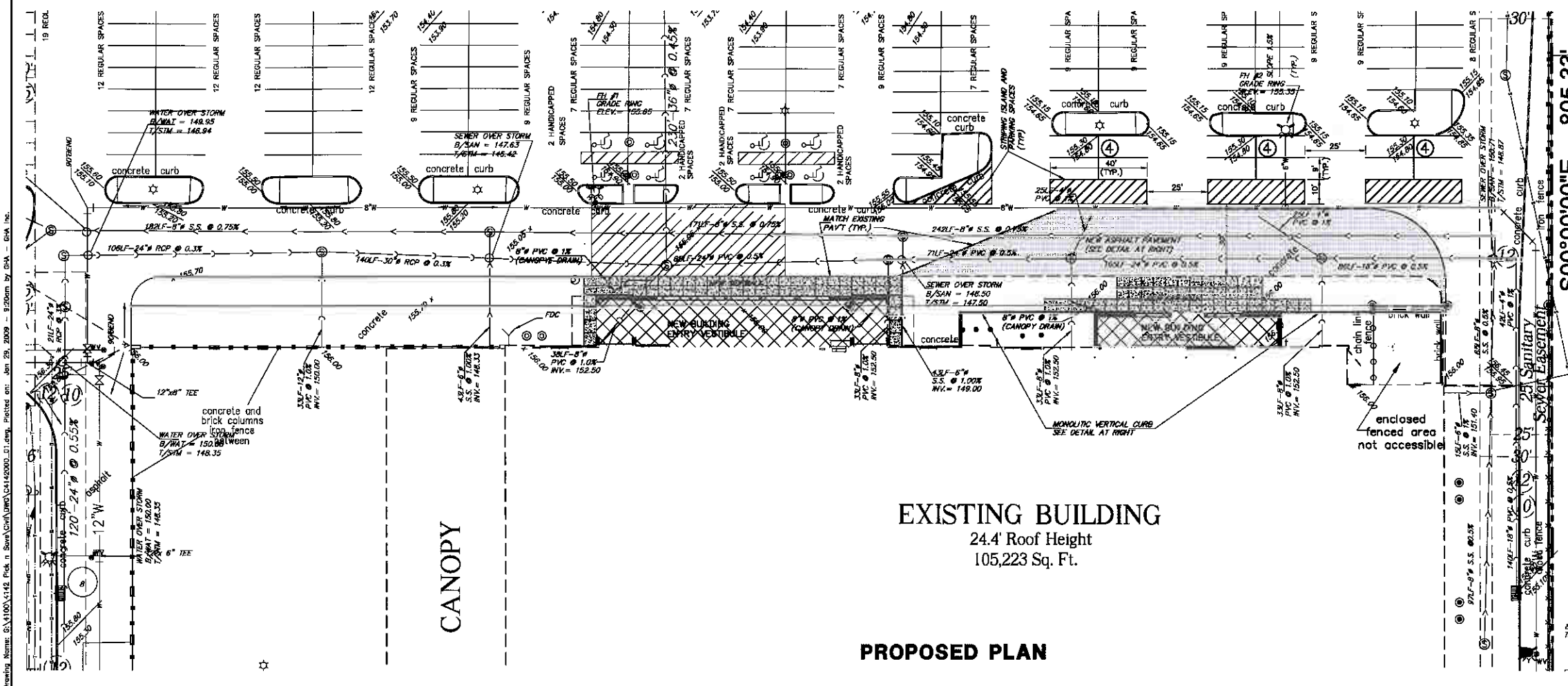
**EXISTING BUILDING**  
24.4' Roof Height  
105,223 Sq. Ft.

**EXISTING CONDITIONS/DEMOLITION PLAN**



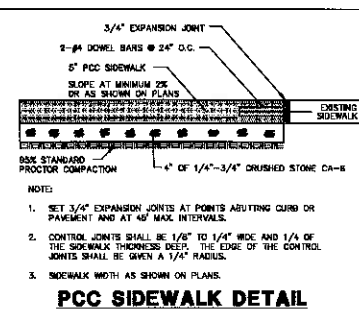
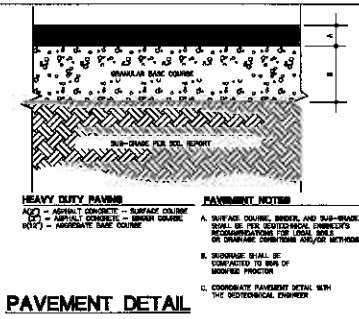
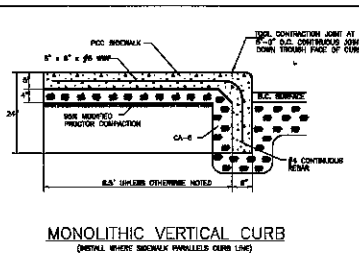
**STRIPING COLOR SCHEDULE:**

ITEM	COLOR
PARKING STALL	WHITE
LETTERING "NO PARKING"	RED
"STOP" LEGENDS	WHITE
ACCESSIBILITY SYMBOL	BLUE W/WHITE SYMBOLS
ACCESSIBLE LOADING	BLUE
LOADING ZONE	YELLOW
DIRECTIONAL SIGNAGE	WHITE
CENTER LINE STRIPING	WHITE



**EXISTING BUILDING**  
24.4' Roof Height  
105,223 Sq. Ft.

**PROPOSED PLAN**



**GEWALT HAMILTON ASSOCIATES, INC.**  
CONSULTING ENGINEERS & SURVEYORS  
850 Forest Ridge Drive, Verona, WI, 53593  
Tel: 608-785-9700 Fax: 608-785-9701

NO.	BY	DATE	REVISION

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**EXISTING/PROPOSED PLAN**  
**PICK AND SAVE**  
7401 WEST GOOD HOPE ROAD  
MILWAUKEE, WI 53223

DRAWN BY: AV  
CHECKED BY: DD  
DATE: 01/26/09  
GHA PROJECT # 4142.000  
SCALE: 1" = 20'  
SHEET NUMBER: **2**  
OF 3 SHEETS

Drawing Name: G:\1100\1142\_Pick n Save\Civil\DWG\C4142000\_01.dwg, Plotted on: Jan 29, 2009 - 9:20am by: GHA - GHA, Inc.

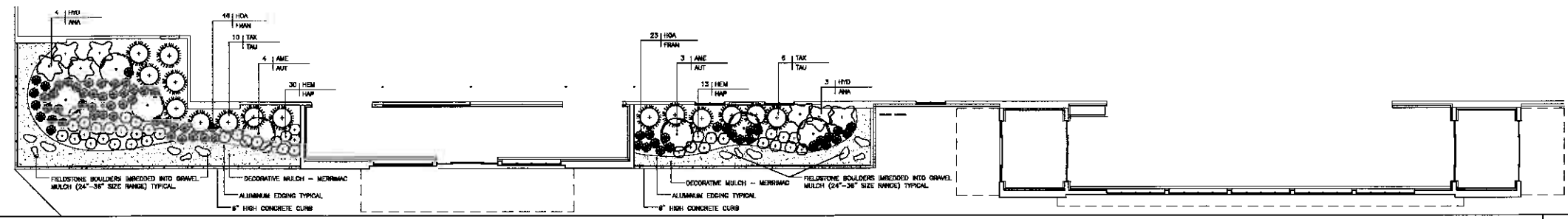
FILE: C4142000\_01.dwg



Store #1742  
7401 WEST GOOD HOPE ROAD  
MILWAUKEE, WI 53223

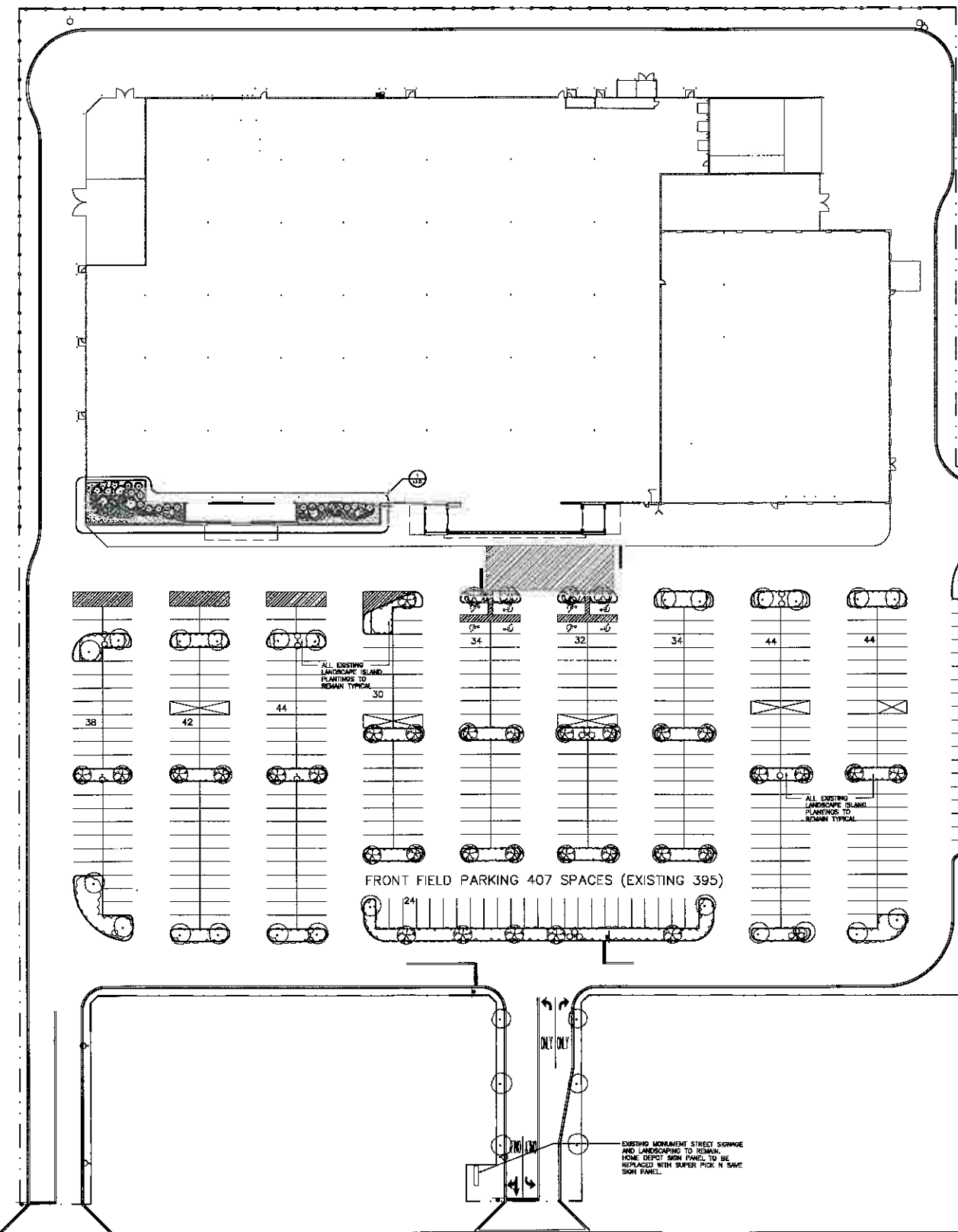
DEVELOPED BY:  
**ROUNDY'S SUPERMARKETS, INC.**  
895 E. Wisconsin Avenue  
Milwaukee, WI 53202

**ROUNDY'S**



ENLARGED LANDSCAPE PLAN

SCALE: 1"=10'



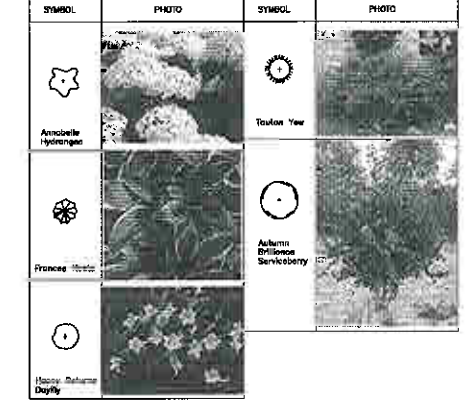
OVERALL LANDSCAPE PLAN

SCALE: 1"=30'

5

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURITY	REMARKS
TREES							
Amel/Am	1	Amelanchier x 'Adam Biltmore'	Adorned Biltmore Serviceberry	1.5"	B/B	20' Ht. / 15' Spd.	Mult-stem, clamp form
EVERGREEN SHRUBS							
Tax/Tax	1	Taxus x media 'Tuxford'	Tuxford Yew	24" Spd.	Cont.	3'-4' Ht. / 4'-6' Spd.	
DECIDUOUS SHRUBS							
Hyd/Hyd	1	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	18" Ht.	Cont.	4'-6' Ht. / 3'-9' Spd.	
Happy/Top	1	Hemerocallis 'Happy Returns'	Happy Returns Daylily	4.2"	Cont.	18" Ht. / 24" Spd.	
Frax/Tru	1	Fraxinus 'Truax'	Fraxinus Hedge	1 Galon	Cont.	15'-18" Ht. / 15'-24" Spd.	



GENERAL NOTES:

- ROUGH GRADING AND DRAINAGE IS TO BE COMPLETED PRIOR TO LANDSCAPING CONTRACTORS WORK. VERIFY ALL EXISTING SITE AND GRADING CONDITIONS PRIOR TO CONSTRUCTION.
- ALL PLANTING BEDS SHALL CONTAIN BLENDING TOPSOIL MIX TO A DEPTH OF 18". SUITABLE EXISTING SOIL MAY BE USED AND MIXED IF APPROPRIATE. REMOVE EXCESSIVE CLAY, GRAVEL AND STONES WHICH WOULD BE DETRIMENTAL TO HEALTHY PLANT GROWTH. REMOVE ALL STONES GREATER THAN 1" DIAMETER. PHOTO-TL NEW TOPSOIL MIX INTO EXISTING SOIL.
- CONTRACTOR SHALL BACKFILL ALL TREES, SHRUBS, AND SPREADERS WITH A MIX OF 1/2 PLANT STARTER MIX AND 1/2 REMAINING SOIL. PLANT STARTER MIX AVAILABLE FROM LIESBNER SOILS, JACKSON, WI OR APPROVED EQUAL.
- ALL PERENNIAL AND ORNAMENTAL AREAS SHALL RECEIVE A 3" LAYER OF PLANT STARTER MIX AND PERENNIAL SERVICE FERTILIZER, ROTOTILLED INTO THE TOP 8" OF BLENDED TOPSOIL IN BEDS.
- ALL PERENNIAL AREAS SHALL RECEIVE A 1-2" LAYER OF SPREADER BURN MULCH. DO NOT ALLOW MULCH TO TOUCH STEMS OR LEAVES OF PERENNIALS. ALL WOODY PLANTING AREAS SHALL RECEIVE A 3" LAYER, UNLESS OTHERWISE SHOWN IN THE PLANS, NO LANDSCAPE FABRIC OR WEED BARRIER IS TO BE INSTALLED.
- UNLESS OTHERWISE SHOWN, ALL PERENNIALS AND SHRUBS TO BE PLANTED IN TRIANGULAR ARRANGEMENTS. FOR PLANTS NOT SHOWN INDIVIDUALLY, REFER TO THE SPACING SHOWN IN THE PLANT SCHEDULE.
- GRAVEL MULCH AREAS TO BE EDGED WITH HEAVY DUTY ALUMINUM EDGING WHERE ADJACENT TO BARK MULCH. GRAVEL MULCH IS MEDIUM SIZE MERRIMAC STONE. FIELDSTONE BOULDERS SHALL BE EMBEDDED 80% INTO GROUND.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS FOR A MINIMUM OF 10'.

INFORMATION ON THIS DRAWING TAKES PRECEDENCE OVER THE PRECEDING DRAWING, IF THE DOCUMENTS HAVE CONFLICTING INFORMATION.

NO.	DATE	BY	DESCRIPTION
△	1/27/09	JAN	CITY PLAN COMMISSION SUBMITTAL
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LANDSCAPE PLAN

SCALE: 1"=30' SHEET:  
PROJECT #: 3400-1742  
DRWN BY: - CHKD BY: -  
BLDG. SUBMITTAL: 1/27/09

**L1.0**

01/27/09 City Planning Commission Submittal

Store #1742  
7401 WEST GOOD HOPE ROAD  
MILWAUKEE, WI 53228

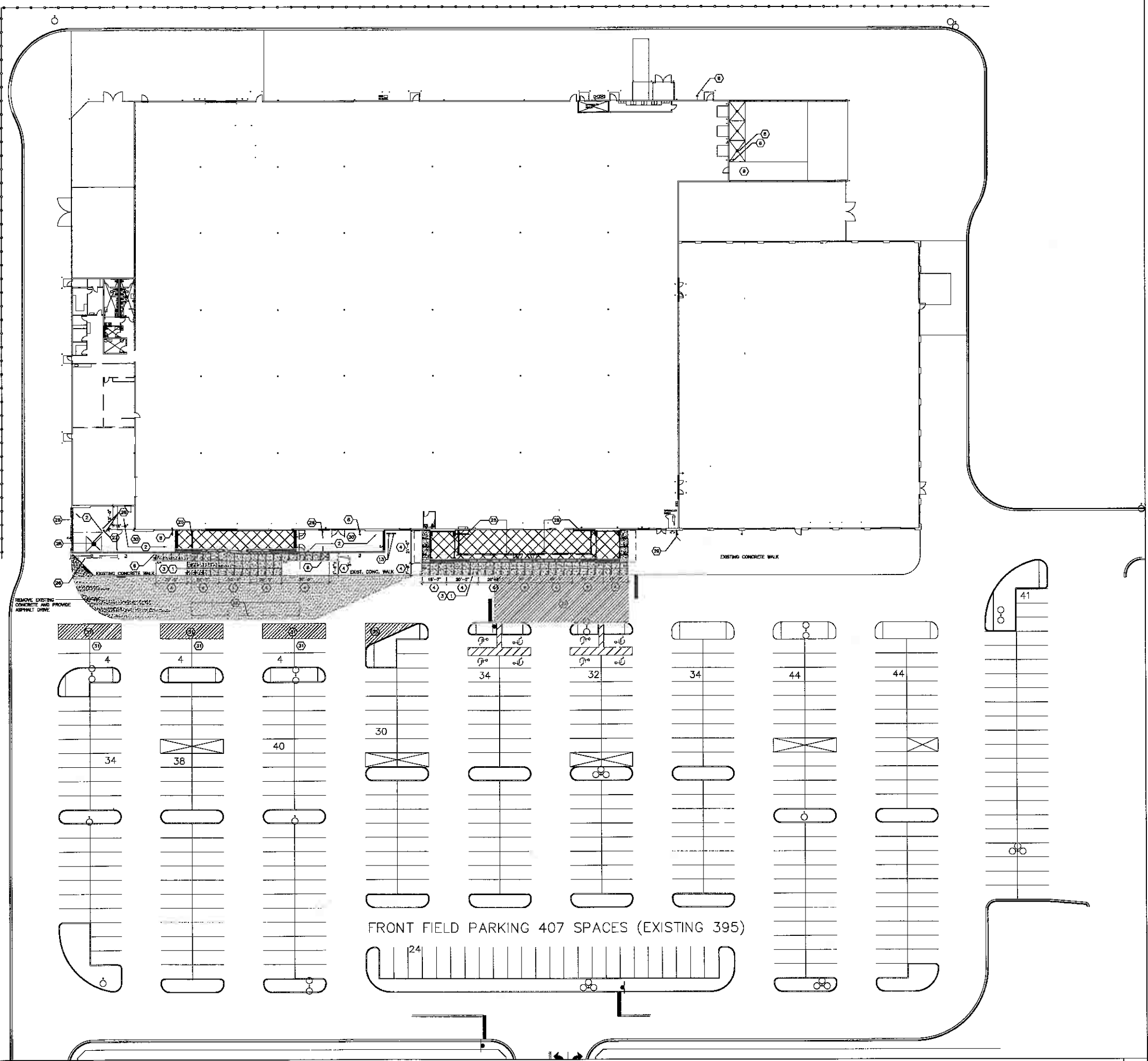
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875 E. Wisconsin Avenue  
Milwaukee, WI 53202

**ROUNDY'S**

**HARDSCAPE KEY NOTES**

- 1. SEE CROSS SECTION DRAWING AT RETAINING WALL
- 2. PROVIDE IRRIGATION LINES FOR PLANTINGS
- 3. SIDEWALKS TO BE BUILT CONCRETE (ADDITIONAL SIDEWALKS TO BE INSTALLED WHERE SHOWN). SHALL BE CONCRETE (ADDITIONAL SIDEWALKS SHALL BE INSTALLED WHERE SHOWN). SHALL BE CONCRETE (ADDITIONAL SIDEWALKS SHALL BE INSTALLED WHERE SHOWN). SHALL BE CONCRETE (ADDITIONAL SIDEWALKS SHALL BE INSTALLED WHERE SHOWN).
- 4. JOINTS AT SIDEWALKS NOT NECESSARY
- 5. NOT USED
- 6. EXISTING EXPANSION JOINTS THROUGH CURBS
- 7. NOT USED
- 8. NOT USED
- 9. NOT USED
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- 99. NOT USED
- 100. NOT USED

NOTE:  
EXISTING MONUMENT STREET SIGNAGE TO REMAIN. HOME DEPOT SIGN PANEL TO BE REPLACED WITH SUPER PICK N SAVE SIGN PANEL.





PROPOSED NORTH (FRONT) ELEVATION SCALE: NTS 1



PERSPECTIVE SCALE: NTS 2



PERSPECTIVE SCALE: NTS 3

Store #1742  
7401 WEST GOOD HOPE ROAD  
MILWAUKEE, WI 53223

DEVELOPED BY:  
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Milwaukee, WI 53202

**ROUNDY'S**

**ELEVATION KEY NOTES**

- 1) EXISTING ROOF LINE AT WALL
- 2) EXISTING SIGNAGE TO REMAIN UNLESS OTHERWISE NOTED - FINISH CONTRACTOR TO VERIFY
- 3) EXISTING BOOK SEAL - FACTORY FINISH TO REMAIN
- 4) EXISTING BOOK BRAMPTON - FACTORY FINISH TO REMAIN
- 5) EXISTING EXPANSION AND CONTROL JOINTS - SEE STRUCTURAL
- 6) OVERHANG
- 7) EXISTING CHAIN LINK FENCE
- 8) EXISTING ACCENT BRICK - PAINT (TYPICAL AT FRONT ELEVATION)
- 9) CAST BLOCK SILL
- 10) 4" HIGH CONCRETE PLANTER
- 11) NOT USED
- 12) NOT USED
- 13) EXISTING SLIDING DOOR - FACTORY FINISH TO REMAIN
- 14) EXISTING YELLOW METAL DOOR
- 15) SPANNING GLASS
- 16) VISION GLASS
- 17) EXISTING DOWNSPOUT
- 18) EXISTING GUTTER
- 19) NOT USED
- 20) EXISTING BOLLARD - PAINT YELLOW
- 21) EXISTING GENERATOR
- 22) EXISTING COMPACTOR
- 23) NOT USED
- 24) NOT USED
- 25) EPS INSULATION SEE DETAIL 1/4/3
- 26) NOT USED
- 27) EXISTING LIGHT FIXTURES - SEE ELECTRICAL FOR ADDITIONAL EXISTING WALKING LIGHT FIXTURES
- 28) NOT USED
- 29) EXISTING OVERFLOW DRAIN
- 30) EXISTING EPS DECORATIVE ELEMENT TO REMAIN
- 31) EXISTING EPS CORNICE TO REMAIN
- 32) EXISTING CORNING AT PARAPET TO REMAIN
- 33) CONCRETE MASONRY UNIT TO MATCH EXISTING
- 34) METAL FLASH
- 35) EPS
- 36) STOREFRONT WINDOW FRAME
- 37) STOREFRONT DOOR FRAME TO EXISTING GLASS DOORS AND FRAME TO REMAIN
- 38) NOT USED
- 39) NOT USED
- 40) CAR WASH DRAINAGE SUPPORT CABLE
- 41) EXISTING PRECAST - PAINT
- 42) EPS CORNICE TO MATCH EXISTING CORNICE
- 43) REMOVE EXISTING ROOF FLASHES AS REQUIRED AND PROVIDE NEW FLASH TO MATCH EXISTING CONDITIONS
- 44) EXISTING STRUCTURE TO REMAIN
- 45) EXISTING ROOF PARAPET TO REMAIN
- 46) EXISTING LIGHT FIXTURE TO REMAIN
- 47) GAS METER

FINISH	COLOR
PRE-FINISHED METAL COATING	HAMBURGER SEA WOLF #201128 - LAMPSON FINISH
EXPOSED STEEL WITH SAND BLASTED FINISH - INTERIOR	DRIVE #151 "GULL GRAY"
CONCRETE MATERIALS COLOR (AS NOTED)	TO MATCH EXISTING BLOCK AT PARAPET JOINT
CONCRETE MATERIALS BLOCK	TO MATCH EXISTING BLOCK STAMPING PATTERN AT JOINT
NOT USED	NOT USED
PRE-FINISHED METAL	NOT USED
NOT USED	ORIGINAL COLOR TO MATCH @
PLATING	VERSALUX R COATED BRONZE
REFINISH PAINTS (PRIMER AND PAINT)	RELIAMARK HOUSE PAINT TO MATCH @
STONEFRONT NUMBER SYSTEM	QUADRA MARK PAINT #200 ALUMINUM BLOCK
CONCRETE MATERIALS GROUND FACE BLOCK SILL	

INFORMATION ON THIS DRAWING TAKES PRECEDENCE OVER THE SPECIFICATIONS MANUAL IF THE DOCUMENTS HAVE CONFLICTING INFORMATION.

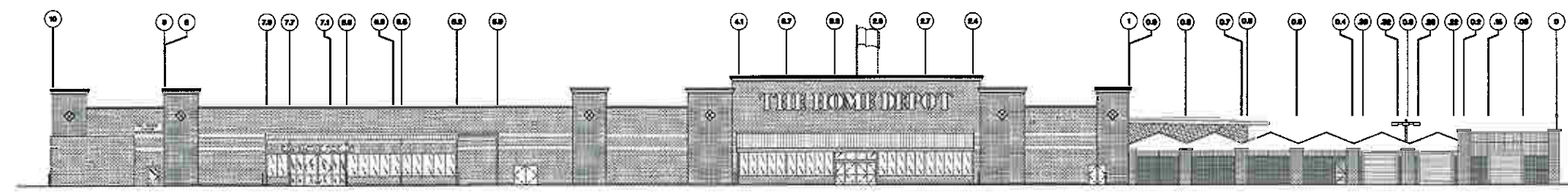
NO.	DATE	BY	DESCRIPTION
1	01/27/09		CITY PLANNING COMMISSION SUBMITTAL
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01/27/09 City Planning Commission Submittal

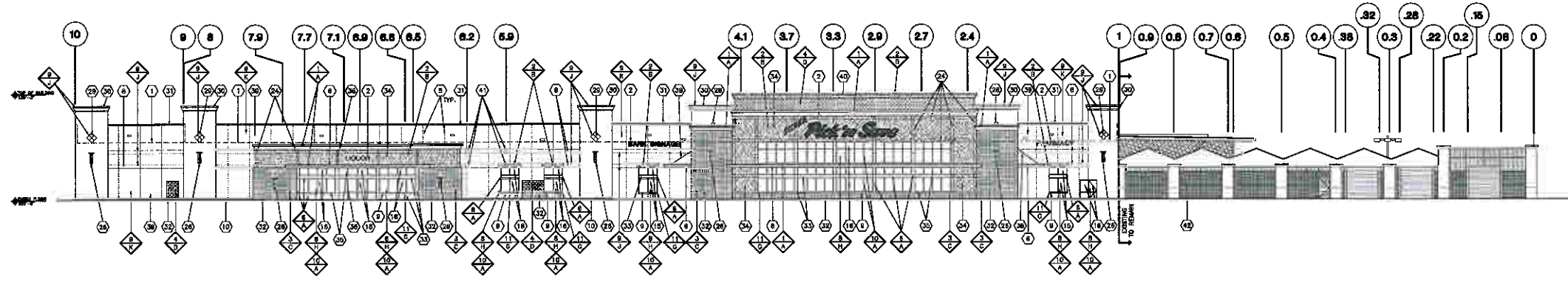
Store #1742  
7401 WEST GOOD HOPE ROAD  
MILWAUKEE, WI 53223

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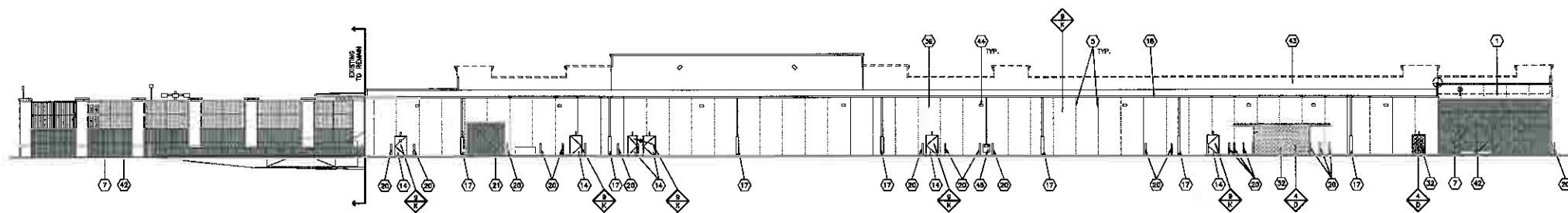
**ROUNDY'S**



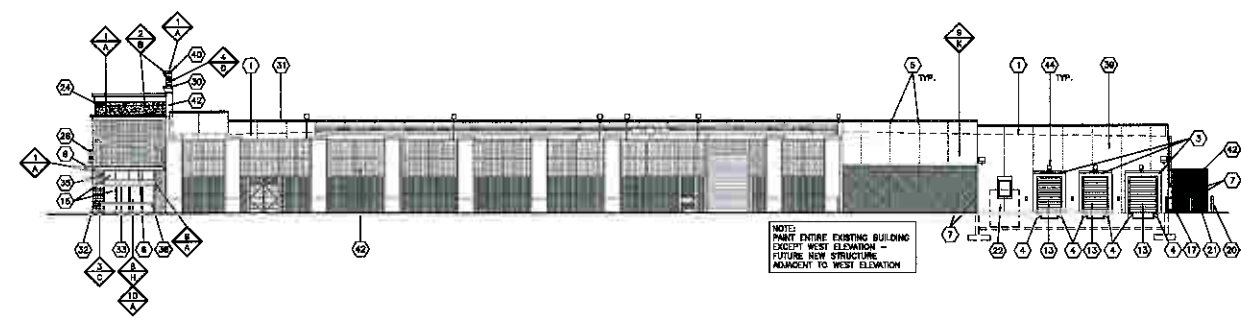
EXISTING NORTH (FRONT) ELEVATION SCALE: 1/16" = 1'-0" 1



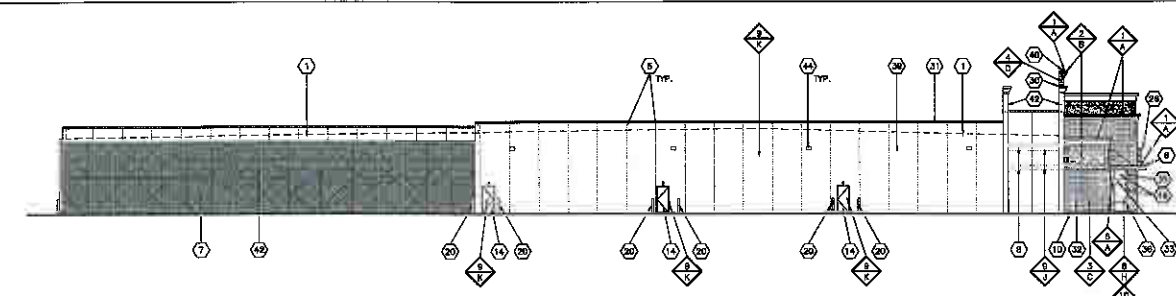
PROPOSED NORTH (FRONT) ELEVATION SCALE: 1/16" = 1'-0" 2



PROPOSED SOUTH (REAR) ELEVATION SCALE: 1/16" = 1'-0" 3



PROPOSED WEST (SIDE) ELEVATION SCALE: 1/16" = 1'-0" 4



PROPOSED EAST (SIDE) ELEVATION SCALE: 1/16" = 1'-0" 5

**ELEVATION KEY NOTES**

- 1 EXISTING ROOF LINE AT WALL
- 2 BUILDING CORNER, 1/2" OFFSET FROM FINISH WALL SURFACE - FINISH CORNERING, SEE DETAIL 1/10.2
- 3 EXISTING DOOR SEAL - FACTORY FINISH TO REMAIN
- 4 EXISTING DOOR SEALS - FACTORY FINISH TO REMAIN
- 5 EXISTING EXPANSION AND CONTROL JOINTS - SEE STRUCTURAL
- 6 EXISTING
- 7 EXISTING CHAIR LIFT FLOOR
- 8 EXISTING ACENT BRND - PAINT TYPICAL AT FRONT ELEVATION
- 9 CHART BLACK SILL
- 10 4" HIGH CONCRETE PLANTER
- 11 NOT USED
- 12 NOT USED
- 13 EXISTING DELIVERY DOOR - FACTORY FINISH TO REMAIN
- 14 EXISTING FLOOR METAL DOOR
- 15 SPANGLER GLASS
- 16 WINDOW GLASS
- 17 EXISTING DOWNPOUT
- 18 EXISTING GUTTER
- 19 NOT USED
- 20 EXISTING WALL/LAND - PAINT YELLOW
- 21 EXISTING GENERATOR
- 22 EXISTING COMPACTOR
- 23 NOT USED
- 24 6" IS REVEAL, SEE DETAIL 1/10.2
- 25 NOT USED
- 26 BRANDING TYPICAL PROVIDE, SEE ELECTRICAL FOR ADDITIONAL EXTERIOR BRANDING LINE LOCATIONS
- 27 NOT USED
- 28 EXISTING OVERFLOW DRAIN
- 29 EXISTING EPS DECORATIVE ELEMENT TO REMAIN
- 30 EXISTING EPS CORNER TO REMAIN
- 31 EXISTING COPING AS SHOWN TO REMAIN
- 32 CONCRETE MANSUARY LIGHT TO MATCH EXISTING
- 33 METAL FLASH
- 34 TYP
- 35 STONE/TROTTER WINDOW FRAME
- 36 STONE/TROTTER DOOR FRAME BY OTHERS (DELIVER DOORS AND FRAME BY OTHERS)
- 37 NOT USED
- 38 6" WIDE CHERRY SUPPORT DABLE
- 39 EXISTING PRESIDENT - PAINT
- 40 EPS CORNER TO MATCH EXISTING CORNER
- 41 EXISTING EXTERIOR WALL FINISH TO MATCH EXISTING AND PROVIDE NEW FINISH TO MATCH EXISTING CONCRETE
- 42 EXISTING STRUCTURE TO REMAIN
- 43 EXISTING ROOF PARAPET TO REMAIN
- 44 EXISTING LIGHT FIXTURE TO REMAIN
- 45 6" WIDE METAL

FINISH	COLOR
1 PFC-FINISHED METAL COPING	1 HARMONY USA BOLD #007100 - (LUMINOUS FINISH)
2 1/2" x 1/2" SYSTEM WIRE MESH	2 DRIVE #131 "SAIL GRAY"
3 POLYMER FINISH - INTERNALLY	3 TO MATCH EXISTING BLOCK AT MANSUARY FLOOR
4 EXISTING MATERIALS BLOCK	4 TO MATCH EXISTING BLOCK STONEWORK FINISH AT WALL BUILDING
5 EXISTING MATERIALS BLOCK	5 NOT USED
6 NOT USED	6 NOT USED
7 PREFABRICATED METAL	7 NOT USED
8 NOT USED	8 MATERIAL COLOR TO MATCH 3
9 GLAZING	9 VERMILION 4 COATED BRONZE
10 PETERBOROUGH PAINTS (PRIMER AND PAINT)	10 BURNHAMMORE MOORE PAINT TO MATCH 3
11 STONE/TROTTER ROAMER SYSTEM	11 BURNHAMMORE MOORE PAINT AND "ALPINE RED"
12 EXISTING MATERIALS GRADING TRUCK BLOCK SEAL	

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NO.	DATE	BY	DESCRIPTION
1	01/27/08		CITY PLANNING COMMISSION SUBMITTAL
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**EXTERIOR ELEVATIONS**

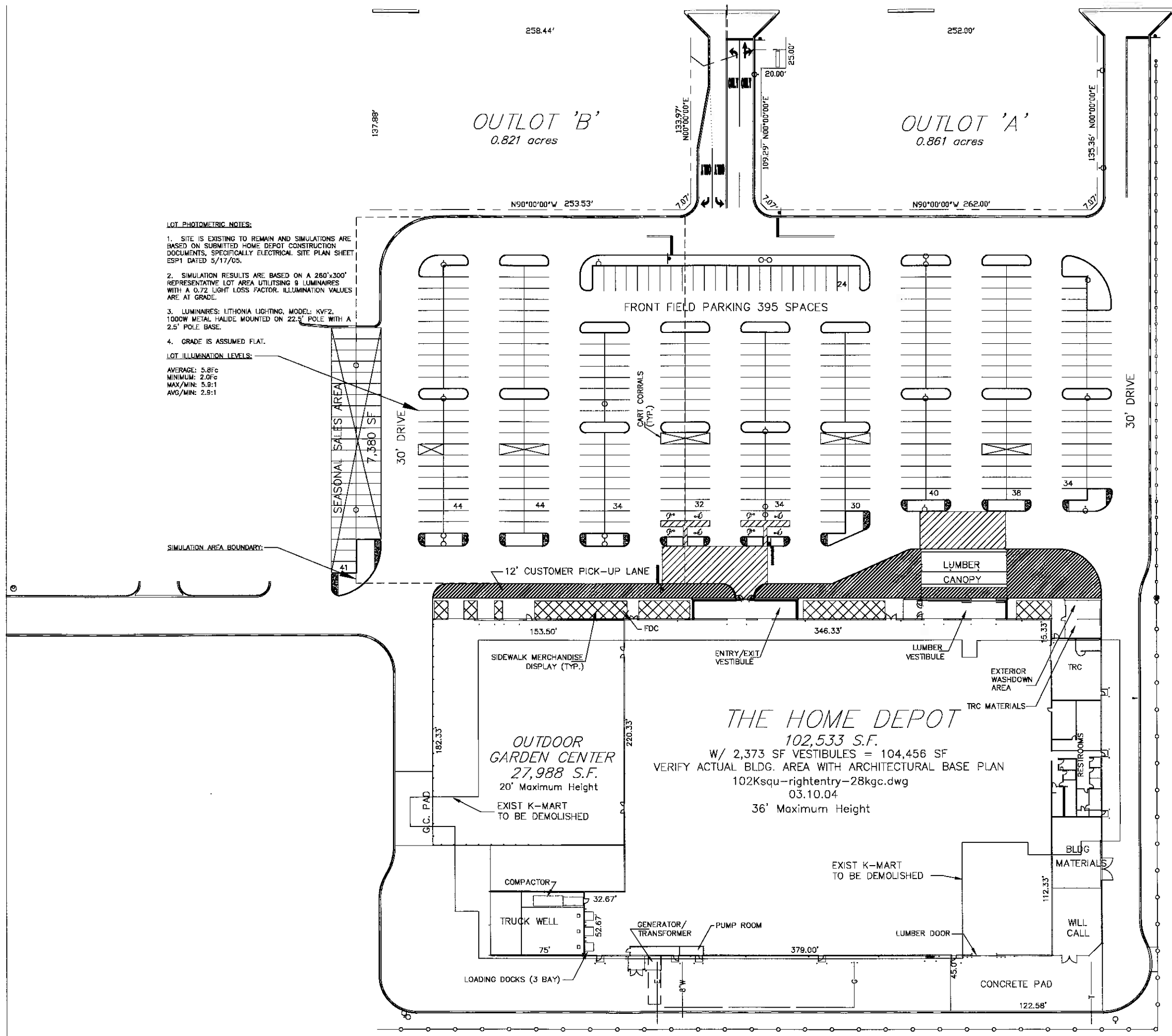
SCALE: AS NOTED SHEET:  
PROJECT #: 3400-1742  
DRAWN BY: JMD CHKD BY: AV  
BLDG. SUBMITTAL: 11/04/08

**A3.0**

Store #1742  
7401 WEST 8000 HOPE ROAD  
MILWAUKEE, WI 53228

DEVELOPED BY:  
**ROUNDY'S SUPERMARKETS, INC.**  
874 E. Wisconsin Avenue  
Milwaukee, WI 53202

**ROUNDY'S**



**LOT PHOTOMETRIC NOTES:**

1. SITE IS EXISTING TO REMAIN AND SIMULATIONS ARE BASED ON SUBMITTED HOME DEPOT CONSTRUCTION DOCUMENTS, SPECIFICALLY ELECTRICAL SITE PLAN SHEET ESP1 DATED 5/17/05.
2. SIMULATION RESULTS ARE BASED ON A 250'x300' REPRESENTATIVE LOT AREA UTILISING 9 LUMINAIRES WITH A 0.72 LIGHT LOSS FACTOR. ILLUMINATION VALUES ARE AT GRADE.
3. LUMINAIRES: LITHONIA LIGHTING, MODEL: KYF2, 1000W METAL HALIDE MOUNTED ON 22.5' POLE WITH A 2.5' POLE BASE.
4. GRADE IS ASSUMED FLAT.

**LOT ILLUMINATION LEVELS:**

AVERAGE: 5.8fc  
MINIMUM: 2.0fc  
MAX/MIN: 5.9:1  
AVG/MIN: 2.9:1

INFORMATION ON THIS DRAWING TAKES PRECEDENCE OVER THE SPECIFICATIONS MANUAL IF THE DOCUMENTS HAVE CONFLICTING INFORMATION.

NO.	DATE	BY	DESCRIPTION

**SITE LIGHTING PLAN SYSTEM**

SCALE: 3/32" = 1'-0" SHEET:  
PROJECT #: 3400-1742  
DRAWN BY: KSD CHKD BY: KSD  
BLDG. SUBMITTAL: **E0.1**

01/27/09 City Planning Commission Submittal