

12/6/04 CPC  
approved

EXHIBIT A  
FN 041001

November 17, 2004  
W.H. Brady Corporate Center

The Honorable  
The Common Council  
City of Milwaukee  
Milwaukee, WI 53202

Gentlemen:

DETAILED PLAN PROJECT DESCRIPTION AND  
OWNER STATEMENT OF INTENT

W.H. Brady Co., a Wisconsin Corporation, proposes a Detailed Plan for Phase II development ("Development") of the W.H. Brady Corporate Center ("Center"), as more particularly described in the attached General Plan. Proposed use for this land area, currently zoned GPD, is consistent with the General Plan and all statistics will be within the stated site statistics. As Brady Corporation continues to develop the site in the future part of the parking lot covered by this plan will need to be converted to building space and additional parking lot constructed. As the site is further developed it is Brady Corporation's intention to maintain the private roads shown for traffic circulation.

The proposed Detailed Plan for the Development is to construct improvements on a rectangular portion in the center one third of the site with its Northern boundary connecting to West Good Hope Road, the western and southern boundaries are the boundaries for the Phase I Detailed Development plan with the eastern boundary approximately 604 feet west of North 60th Street. The development will have a land area of approximately 18.28 acres with dimensions measuring approximately 713 feet along West Good Hope Road and approximately 1,100 feet parallel to North 60th Street, as shown on Exhibit 4.

The Development will contain a surface employee parking lot with approximately 500 parking spaces to replace the existing employee parking lot. In 2005, Phase III will be the construction of a light manufacturing facility expansion on top of the existing employee lot. Access to this parking lot will be from West Good Hope Road, and off North 60th Street along the existing paved service road. In addition to the employee parking lot a stormwater detention pond is being constructed in the southeast corner of the site. This pond is sized to properly handle the stormwater runoff from all improvement made to this site and the existing Phase I site. The parking area will occupy approximately one-quarter of the land area of the

Development. A more detailed description of the location of the proposed structures and all open spaces in the Development are shown on the attached detailed site plan. A Detailed Plan for the Development of the Phase III additions to the manufacturing facility will be submitted by first quarter 2005 approval from the City of Milwaukee at that time.

A setback of approximately 100 feet will be maintained from West Good Hope Road and over 600 feet from North 60th Street. A 2 to 7-foot high wooded berm will be maintained as a buffer between the north edge of the parking lot and West Good Hope Road. An evergreen screening wall will be planted along the eastern edge of the parking lot to provide screen for North 60th Street and the residential properties to the east. The existing berm and landscaping south of the paved service road will be maintained as a buffer with adjacent residential properties. The areas immediately east and south of the parking lot will be drainage swales with prairie grasses as required to maintain proper stormwater management, outlined in the stormwater management plan. The 15 acre area between the Development site and North 60th Street will be returned to natural grass lands until future development occurs.

Lighting for the Development will be consistent with existing site lighting and will conform to the City's established standards. There will be no new signage or utilities, including electric power, telephone and cable. There will be no new traffic requirements associated with this development, minimizing the impact of the Development on the neighborhood's traffic flow and volume.

A 6 foot PVC coated chain link perimeter security fence is being considered for the parking lot and stormwater detention pond.

Plans for grading, landscaping and lighting are shown on Exhibits 1-10 inclusive.

W.H. Brady Co. shall be responsible for on-going landscape maintenance, including plant material replacement on a seasonal basis if such material is no longer comparable in size to the plant list specification, or is inconsistent with the typical form or shape of that species because of dieback, stunting or damage. No approved plant material or other landscape material shall be substituted without Department of City Development approval. Plant material sizes specified are the accepted minimum and shall not be decreased subsequent or prior to installation.

SITE STATISTICS

DETAIL PLAN

LAND AREA GROSS LAND AREA	SQUARE FT. 796,387	ACRES 18.28	PERCENTAGE 100
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SITE COVERAGE			
Buildings	0	0	0
PARKING & DRIVES	212,370	4.88	27
LANDSCAPED OPEN SPACE	584,017	13.4	73

NUMBER OF PARKING SPACES: 500

GROSS BUILDING FLOOR AREA: 0 Square Feet

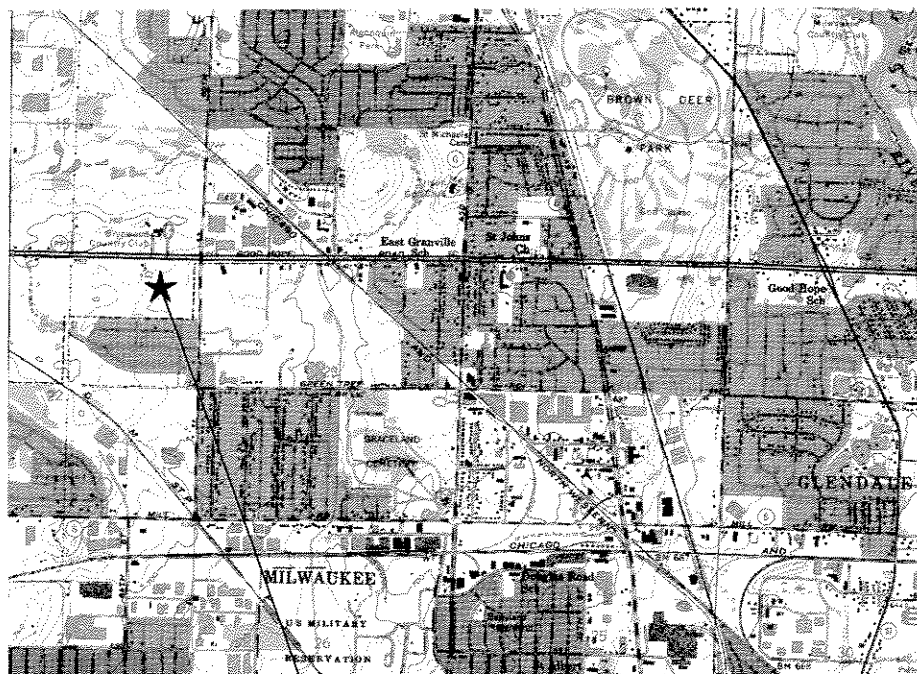
MAXIMUM BUILDING HEIGHT: 0 Feet

# WAREHOUSE EXPANSION DETAILED PLAN DEVELOPMENT

FOR

## BRADY CORPORATION MILWAUKEE, WISCONSIN

### PROJECT LOCATION



PROJECT LOCATION

LOCATION MAP

### DRAWING INDEX

<u>SHEET NO.</u>	<u>TYPE</u>	<u>DESCRIPTION</u>
EXHIBIT 1	GENERAL	SITE LOCATION AND LOCAL TOPOGRAPHY
EXHIBIT 2	GENERAL	AERIAL PHOTOGRAPH
EXHIBIT 3	GENERAL	SURVEY PLAT
EXHIBIT 4	GENERAL	PHASE 2 LAND DEVELOPMENT PLAN - SITE PLAN
EXHIBIT 5	GENERAL	PROJECT IDENTIFICATION PLAN
EXHIBIT 6	CIVIL/SITWORK	SITE GRADING PLAN
EXHIBIT 7	CIVIL/SITWORK	PAVEMENT AND PAVEMENT MARKING PLAN
EXHIBIT 8	CIVIL/SITWORK	LANDSCAPING PLAN
EXHIBIT 9	CIVIL/SITWORK	LANDSCAPING PLAN - PLANTINGS
EXHIBIT 10	ELECTRICAL	ELECTRICAL SITE PLAN

### DRAWINGS PREPARED BY

**TEI** CORPORATION

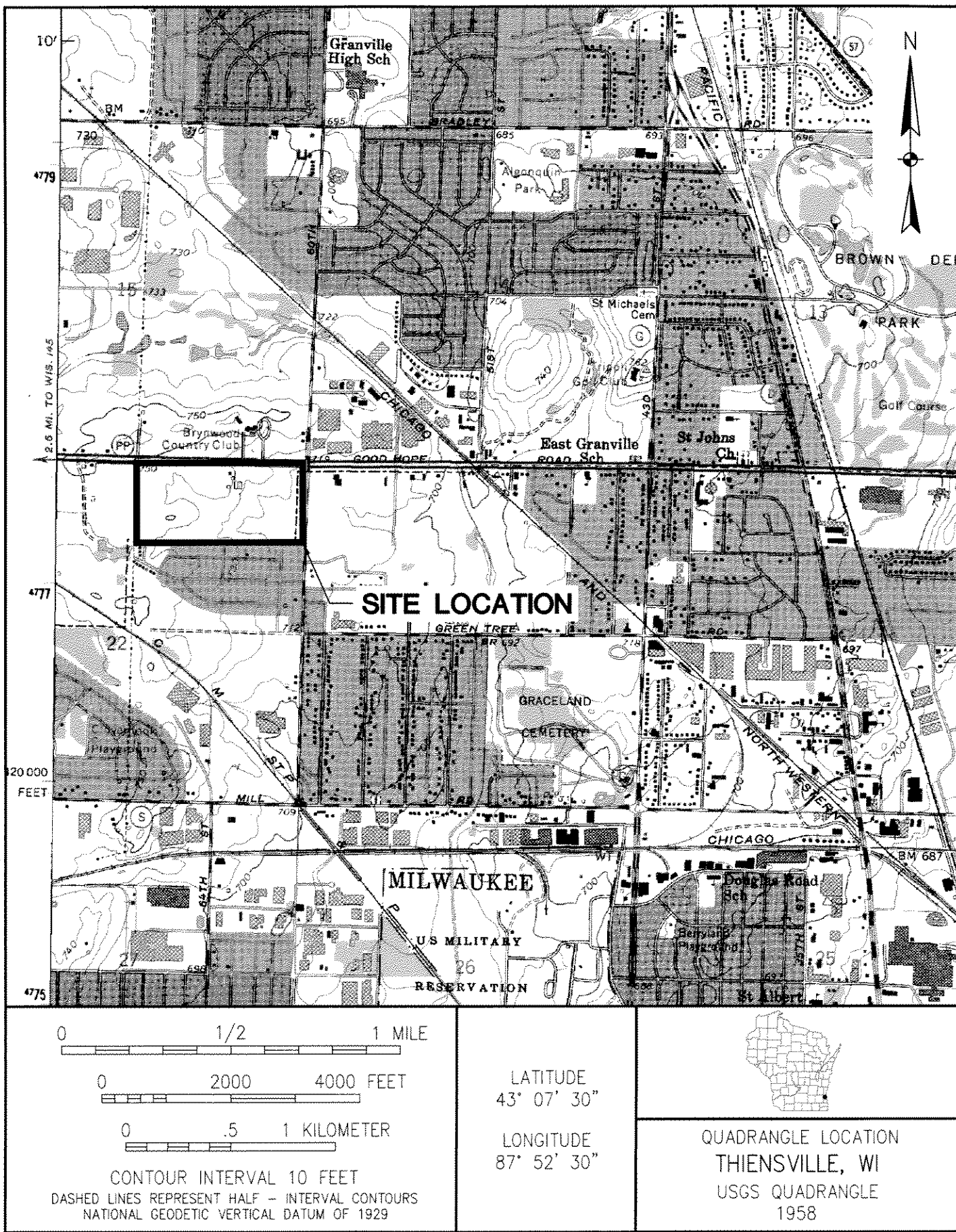
325 East Chicago Street  
Milwaukee, Wisconsin 53202  
(414)-291-8850  
FAX 291-8841

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### PROJECT ADDRESS

BRADY CORPORATION  
6555 WEST GOOD HOPE ROAD  
MILWAUKEE, WISCONSIN 53223

J:\Projects\TW052948\USGS-TW052948.dwg Nov 30, 2004 - 8:16am peter.plewa







Nov 30, 2004 - 8:24am peter.plawo  
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**TEI CORPORATION**

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- DESIGN BUILD
- GENERAL CONTRACTING
- BIDDING ASSISTANCE
- SYSTEM OPERATIONS
- FACILITY ENGINEERING
- COMMISSIONING

**VERIFY SCALE**  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
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 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DSGN	TRS						
DR	PDP						
CHK							
APVD							
NO.	DATE	REVISION	BY	APVD			

**WAREHOUSE EXPANSION FOR  
 BRADY CORPORATION  
 6555 WEST GOOD HOPE ROAD  
 MILWAUKEE, WISCONSIN 53223**

**EXHIBIT 2  
 GENERAL  
 AERIAL PHOTOGRAPH**

SHEET NO.	EXHIBIT 2
DWG NO.	G-9
DATE	Nov 2004
PROJ NO.	TW052948

# EXHIBIT 3 - PLAT OF SURVEY WITH TOPOGRAPHIC DATA

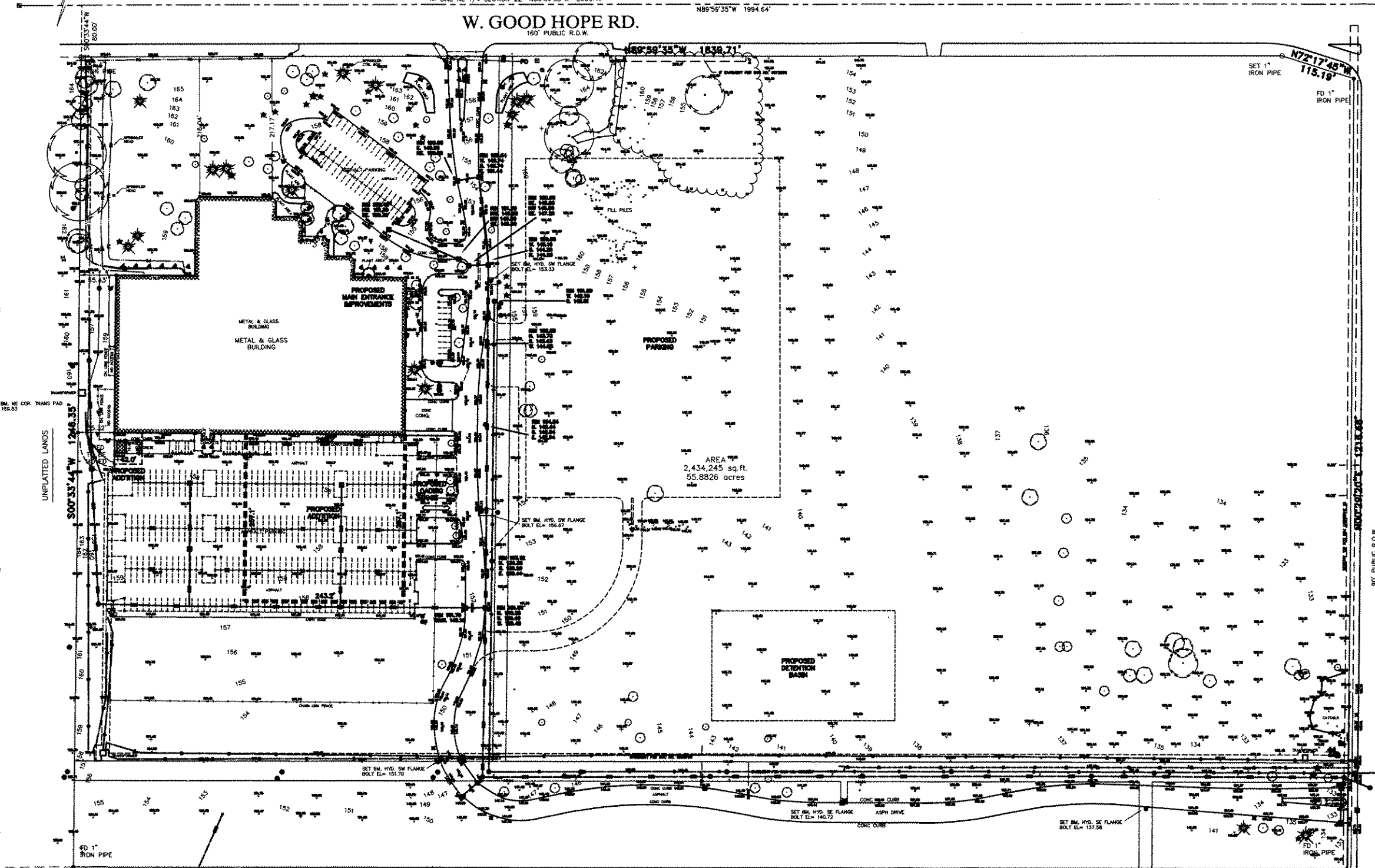
NW COR OF  
NE 1/4 OF SEC  
22-8-21  
FD CONC  
MONUMENT  
W/ BRASS CAP

STARTING BM. RBM FND. CHSLD. SQ. IN TOP OF SE COR.  
OF CONC PAD FOR ELEC. EQUIP. - 99.15' NE OF  
MONUMENT ELEVATION= 724.025 - CITY OF MILWAUKEE  
CONVERSION IS -580.603. ELEVATION= 143.426

NE COR OF  
1/4 OF SEC  
22-8-21  
FD CONC  
MONUMENT  
W/ BRASS CAP

N. LINE NE 1/4 SECTION 22 N89°59'35"W 2659.47' N89°59'35"W 1994.64'

**W. GOOD HOPE RD.**  
160' PUBLIC R.O.W.



KNOWN AS 6321 W. GOOD HOPE ROAD, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

THAT PART OF THE NORTH 80 ACRES OF THE EAST 120 ACRES OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 8 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, WHICH IS BOUNDED AND DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4 SECTION; THENCE NORTH 89° 59' 35" WEST 80.00 FEET TO THE POINT OF BEGINNING OF THE LAND TO BE DESCRIBED; THENCE CONTINUING SOUTH 00° 33' 44" WEST 1246.35 FEET TO POINT ON THE NORTH LINE OF MENOMONEE RIVER HILLS EAST ADDITION NO. 2, BEING A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 8 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN; THENCE SOUTH 89° 50' 08" EAST ALONG SAID NORTH LINE 1951.30 FEET TO A POINT ON THE WEST LINE OF NORTH 60TH STREET; THENCE NORTH 00° 29' 20" EAST ALONG SAID WEST LINE 1216.88 FEET TO A POINT ON THE SOUTH LINE OF WEST GOOD HOPE ROAD; THENCE NORTH 72° 17' 45" WEST ALONG SAID SOUTH LINE 115.19 FEET TO A POINT; THENCE NORTH 89° 59' 35" WEST ALONG SAID SOUTH LINE AND PARALLEL WITH THE NORTH LINE OF SAID 1/4 SECTION 1839.71 FEET TO THE POINT OF BEGINNING.

OCTOBER 20, 2004 BRADY USA, INC. SURVEY NO. 152908-RMK

- NOTES:
- A. BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 22 WHICH IS ASSUMED TO BEAR NORTH 89°59'35" WEST
  - B. THIS SURVEY WAS PREPARED BASED ON CHICAGO TITLE INSURANCE COMPANY LETTER REPORT NO. 1188189, EFFECTIVE DATE OF SEPTEMBER 2, 2004, WHICH LISTS THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:
    - 10. GRANT RECORDED AS DOCUMENT NO. 1206142.
    - 11. EASEMENT RECORDED AS DOCUMENT NO. 4162933. AFFECTS SITE BY LOCATION - SHOWN
    - 12. EASEMENT RECORDED AS DOCUMENT NO. 4672930. AFFECTS SITE BY LOCATION - SHOWN
    - 13. EASEMENT RECORDED AS DOCUMENT NO. 6558769. AFFECTS SITE BY LOCATION - SHOWN
    - 14. EASEMENT RECORDED AS DOCUMENT NO. 6565307. AFFECTS SITE BY LOCATION - SHOWN
  - C. ACCORDING TO FLOOD INSURANCE RATE MAP OF THE CITY OF MILWAUKEE, COMMUNITY PANEL NO. 550278 0026B, EFFECTIVE DATE OF MARCH 1, 1982, THIS SITE FALLS IN ZONE C (AREAS OF MINIMAL FLOODING)
  - D. ELEVATIONS REFER TO THE NGVD 1928 DATUM
  - E. THERE ARE 401 REGULAR AND 12 HANDICAPPED PARKING SPACES MARKED ON THIS SITE
  - F. THE BASIC ZONING INFORMATION LISTED BELOW IS TAKEN FROM MUNICIPAL CODES AND DOES NOT REFLECT ALL REGULATIONS THAT MAY APPLY - SITE IS ZONED PD DEVELOPMENT
    - FRONT SETBACK -
    - SIDEYARD SETBACK -
    - REARYARD SETBACK -
    - MAXIMUM HEIGHT -

SUBJECT TO CITY OF MILWAUKEE APPROVAL
  - G. PROPOSED IMPROVEMENTS PROVIDED ELECTRONICALLY BY TEI.

90' PUBLIC R.O.W. N. 60th ST.

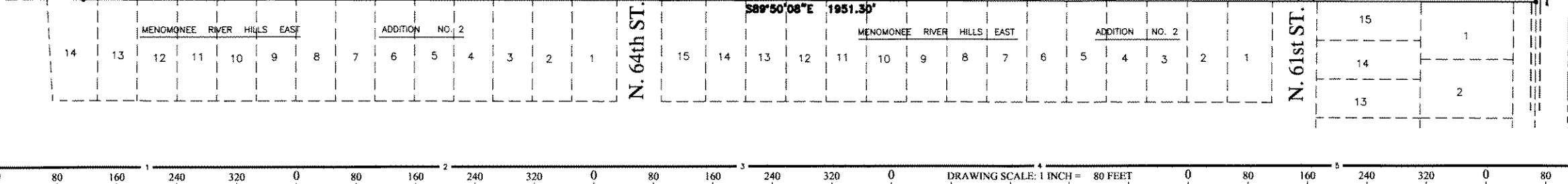
I certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

PAUL A. KUBICEK  
REGISTERED WISCONSIN LAND SURVEYOR S-2232

**National Survey & Engineering**  
A Division of R.A. Smith & Associates, Inc.

262-781-1000  
Fax 262-797-7373  
16745 W. Bluemound Road  
Suite 200  
Brookfield, WI 53005-5938  
www.nsbac.com

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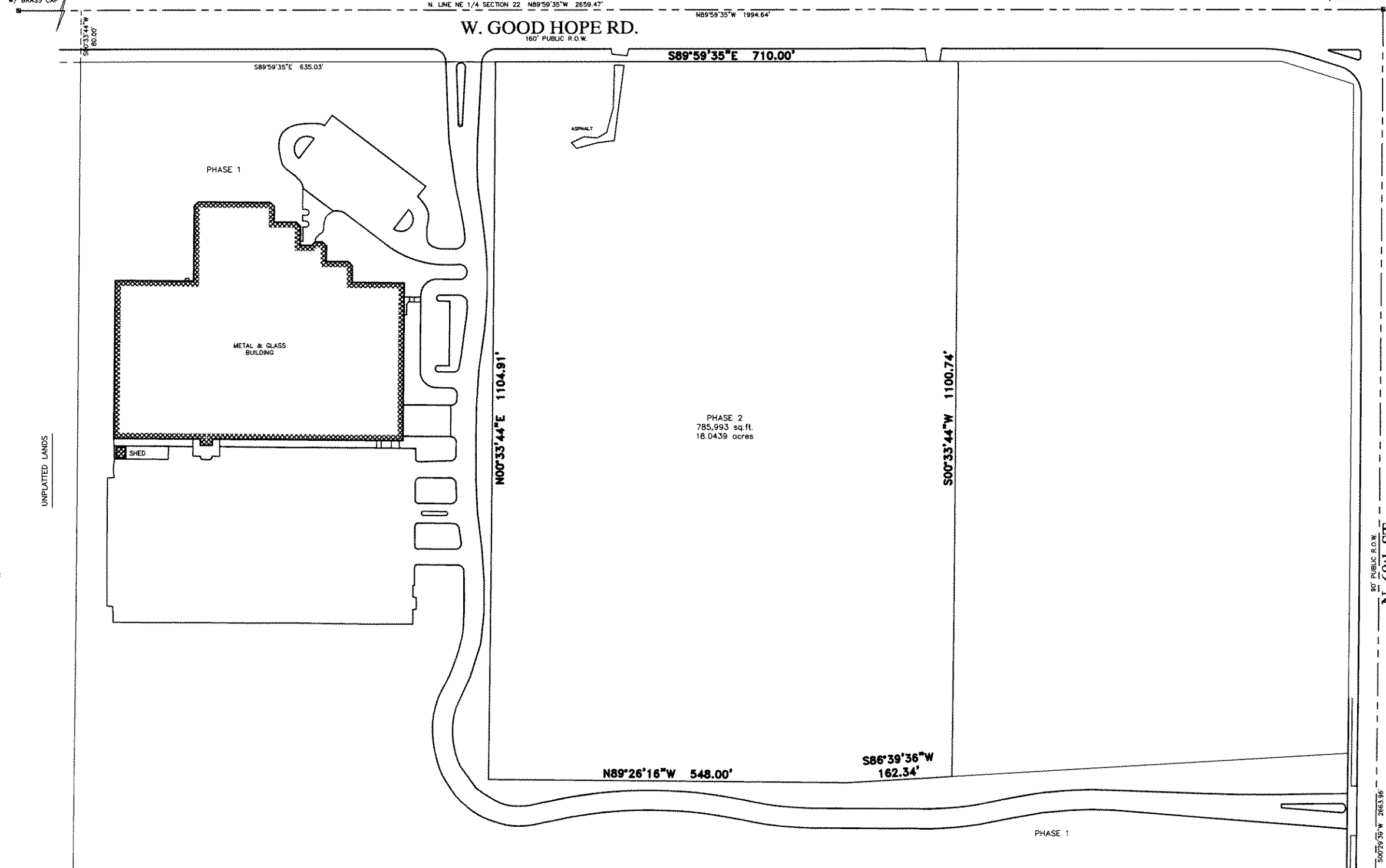


# PROPERTY EXHIBIT 4

NW COR OF  
NE 1/4 OF SEC  
22-8-21  
FD CONC  
MONUMENT  
W/ BRASS CAP

NE COR OF  
NE 1/4 OF SEC  
22-8-21  
FD CONC  
MONUMENT  
W/ BRASS CAP

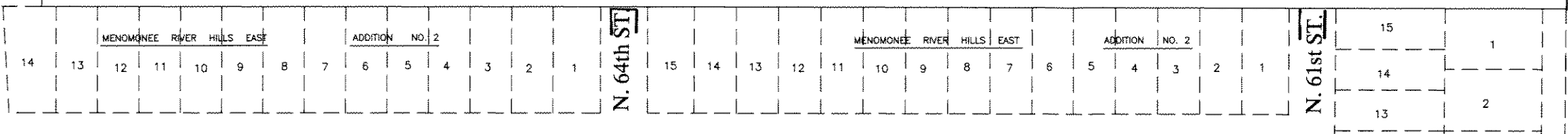
KNOWN AS 6321 W GOOD HOPE ROAD, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN  
 THAT PART OF THE NORTH 60 ACRES OF THE EAST 120 ACRES OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 8 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, WHICH IS BOUNDED AND DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4 SECTION; THENCE NORTH 89° 59' 35" WEST 80.00 FEET TO A POINT IN THE SOUTH LINE OF WEST GOOD HOPE ROAD; THENCE SOUTH 00° 33' 44" WEST ALONG SAID SOUTH LINE 635.03 FEET TO THE POINT OF BEGINNING OF THE LAND TO BE DESCRIBED; THENCE CONTINUING SOUTH 89° 59' 35" EAST ALONG SAID SOUTH LINE 710.00 FEET TO A POINT; THENCE SOUTH 00° 33' 44" WEST 1100.74 FEET TO A POINT; THENCE SOUTH 86° 39' 36" WEST 162.34 FEET TO A POINT; THENCE NORTH 89° 26' 16" WEST 548.00 FEET TO A POINT; THENCE NORTH 00° 33' 44" EAST 1104.91 FEET TO THE POINT OF BEGINNING, CONTAINING 18.0439 ACRES OF LAND.  
 NOVEMBER 29, 2004 BRADY USA, INC. SURVEY NO. 152908-RMK.



UNPLATTED LANDS

30' PUBLIC R.O.W.  
N. 60th ST.

E. LINE NE 1/4 SECTION 22 300°29'35"W 2063.96'



**N**

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 A Division of R.A. Smith & Associates, Inc.

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 Fax 262-797-7373  
 16745 W. Bluemound Road  
 Suite 200  
 Brookfield, WI 53005-5938  
 www.nrsac.com

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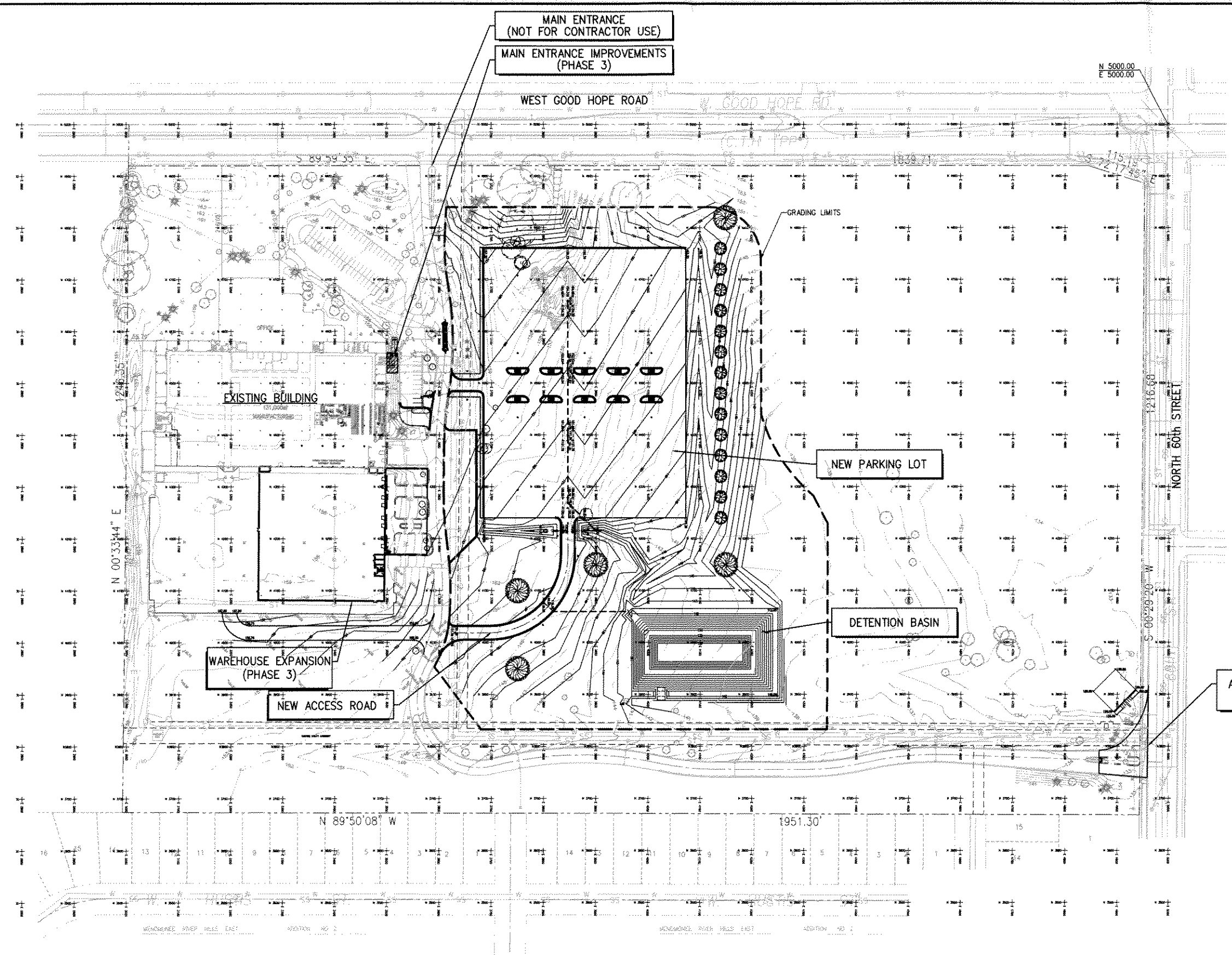
National Survey & Engineering

DRAWING SCALE: 1 INCH = 80 FEET



**GENERAL NOTES:**

1. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED OR CERTIFIED.
2. ALL ELEVATIONS SHOWN ARE BASED ON CITY OF MILWAUKEE DATUM, STARTING BENCHMARK RBN FND CHSLD SQ IN TOP OF SE CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT, 99.15' NE OF MONUMENT ELEVATION = 724.029 - CITY OF MILWAUKEE CONVERSION IS - 580.603. ELEVATION = 143.426.
3. GRID REFERENCE: COORDINATES @ GOOD HOPE ROAD AND 60th STREET MONUMENT 5000 N AND 5000 E. (NE CORNER OF NE 1/4 OF SEC 22-8-21 FOUND CONCRETE MONUMENT WITH BRASS CAP)
4. --- INDICATES GRADING LIMITS



Nov 30 2004 - 8:56am peter.plawa  
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**TEI CORPORATION**  
 325 East Chicago Street  
 Milwaukee, Wisconsin 53202  
 (414)-291-8850  
 FAX 291-8841

- CONSTRUCTION MANAGEMENT
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- DESIGN BUILD
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- BIDDING ASSISTANCE
- SYSTEM OPERATIONS
- FACILITY ENGINEERING
- COMMISSIONING

**VERIFY SCALE**  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 0 1'  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DSGN	TRS				
DR	PDP				
CHK					
APVD					
NO.	DATE	REVISION	BY	APVD	

**WAREHOUSE EXPANSION FOR BRADY CORPORATION**  
 6555 WEST GOOD HOPE ROAD  
 MILWAUKEE, WISCONSIN 53223

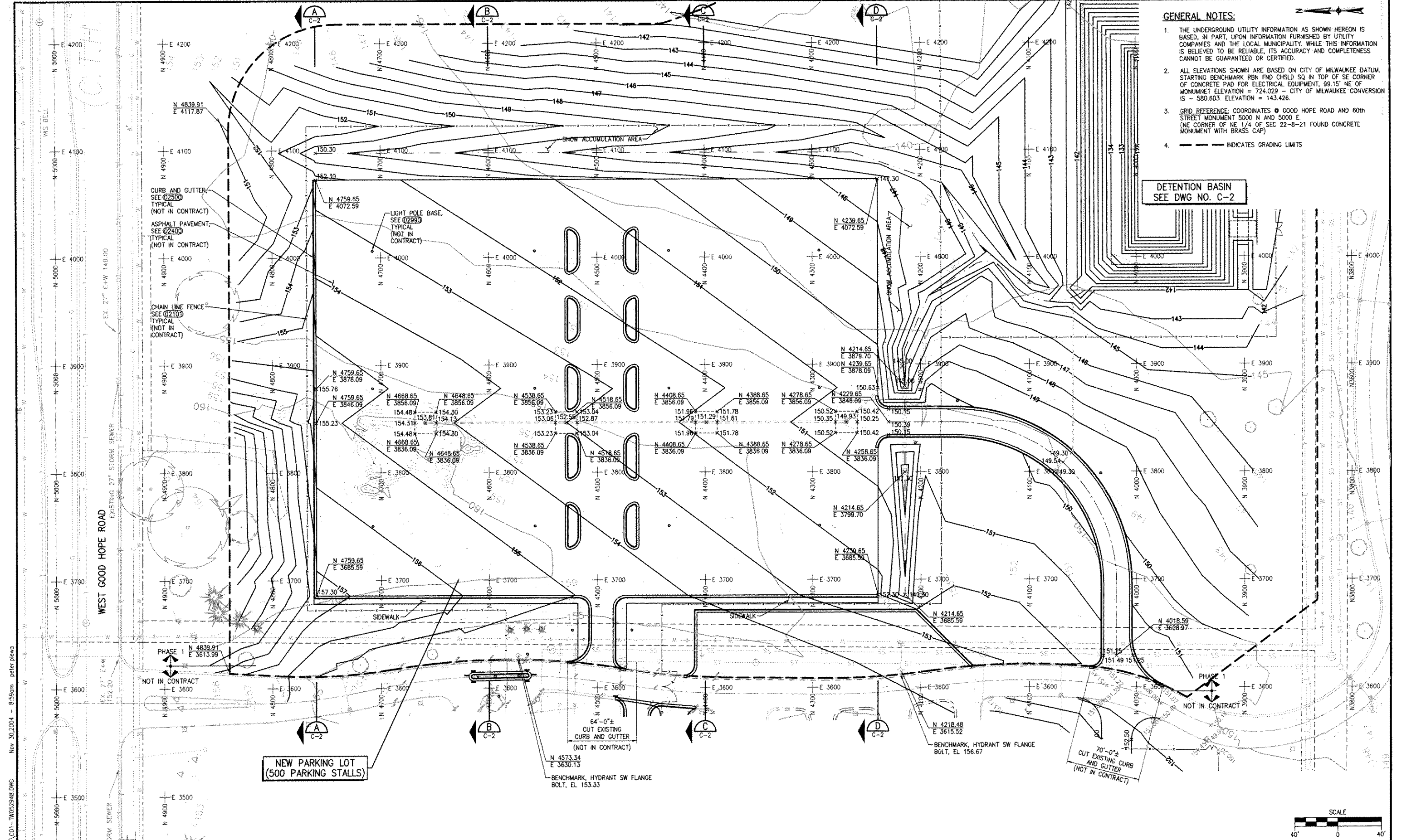
**EXHIBIT 5**  
 GENERAL  
 PROJECT IDENTIFICATION PLAN

SHEET NO.	EXHIBIT 5
DWG NO.	G-8
DATE	Nov 2004
PROJ NO.	TW052948

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4. - - - - - INDICATES GRADING LIMITS

DETENTION BASIN  
SEE DWG NO. C-2



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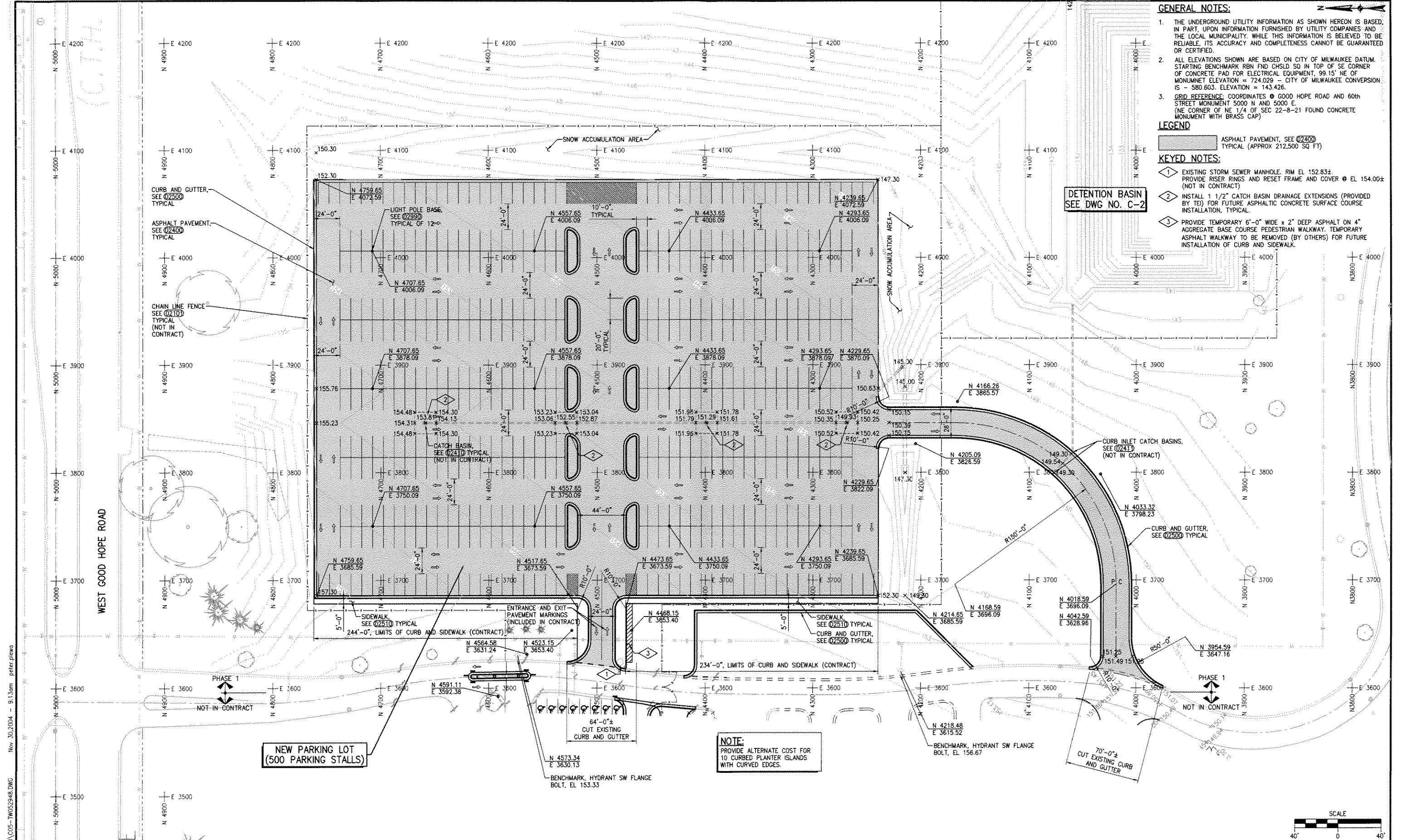
DSGN	TRS						
DR	PDP						
CHK							
APVD							
NO.	DATE	REVISION	BY	APVD			

**WAREHOUSE EXPANSION FOR BRADY CORPORATION**  
6555 WEST GOOD HOPE ROAD  
MILWAUKEE, WISCONSIN 53223

**EXHIBIT 6**  
CIVIL/SITWORK  
SITE GRADING PLAN

SHEET NO.	EXHIBIT 6
DWG NO.	C-1
DATE	Nov 2004
PROJ NO.	TW052948

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**GENERAL NOTES:**

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**LEGEND**

ASPHALT PAVEMENT, SEE 02400  
TYPICAL (APPROX 212,500 SQ FT)

**KEYED NOTES:**

- 1 EXISTING STORM SEWER MANHOLE, RIM EL 152.83±. PROVIDE RISER RINGS AND RESET FRAME AND COVER @ EL 154.00± (NOT IN CONTRACT)
- 2 INSTALL 1 1/2" CATCH BASIN DRAINAGE EXTENSIONS (PROVIDED BY TEI) FOR FUTURE ASPHALTIC CONCRETE SURFACE COURSE INSTALLATION, TYPICAL.
- 3 PROVIDE TEMPORARY 6'-0" WIDE X 2" DEEP ASPHALT ON 4" AGGREGATE BASE COURSE PEDESTRIAN WALKWAY. TEMPORARY ASPHALT WALKWAY TO BE REMOVED (BY OTHERS) FOR FUTURE INSTALLATION OF CURB AND SIDEWALK.

DETECTION BASIN  
SEE DWG NO. C-2

NEW PARKING LOT  
(500 PARKING STALLS)

**NOTE:**  
PROVIDE ALTERNATE COST FOR 10 CURBED PLANTER ISLANDS WITH CURVED EDGES.



Nov 30, 2004 - 9:13am - peter.plawo  
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NO.	DATE	REVISION	BY	APVD

**WAREHOUSE EXPANSION FOR BRADY CORPORATION**  
6555 WEST GOOD HOPE ROAD  
MILWAUKEE, WISCONSIN 53223

**EXHIBIT 7 CIVIL/SITWORK**  
PAVING AND PAVEMENT MARKING PLAN

SHEET NO.	EXHIBIT 7
DWG NO.	C-5
DATE	Nov 2004
PROJ NO.	TW052948

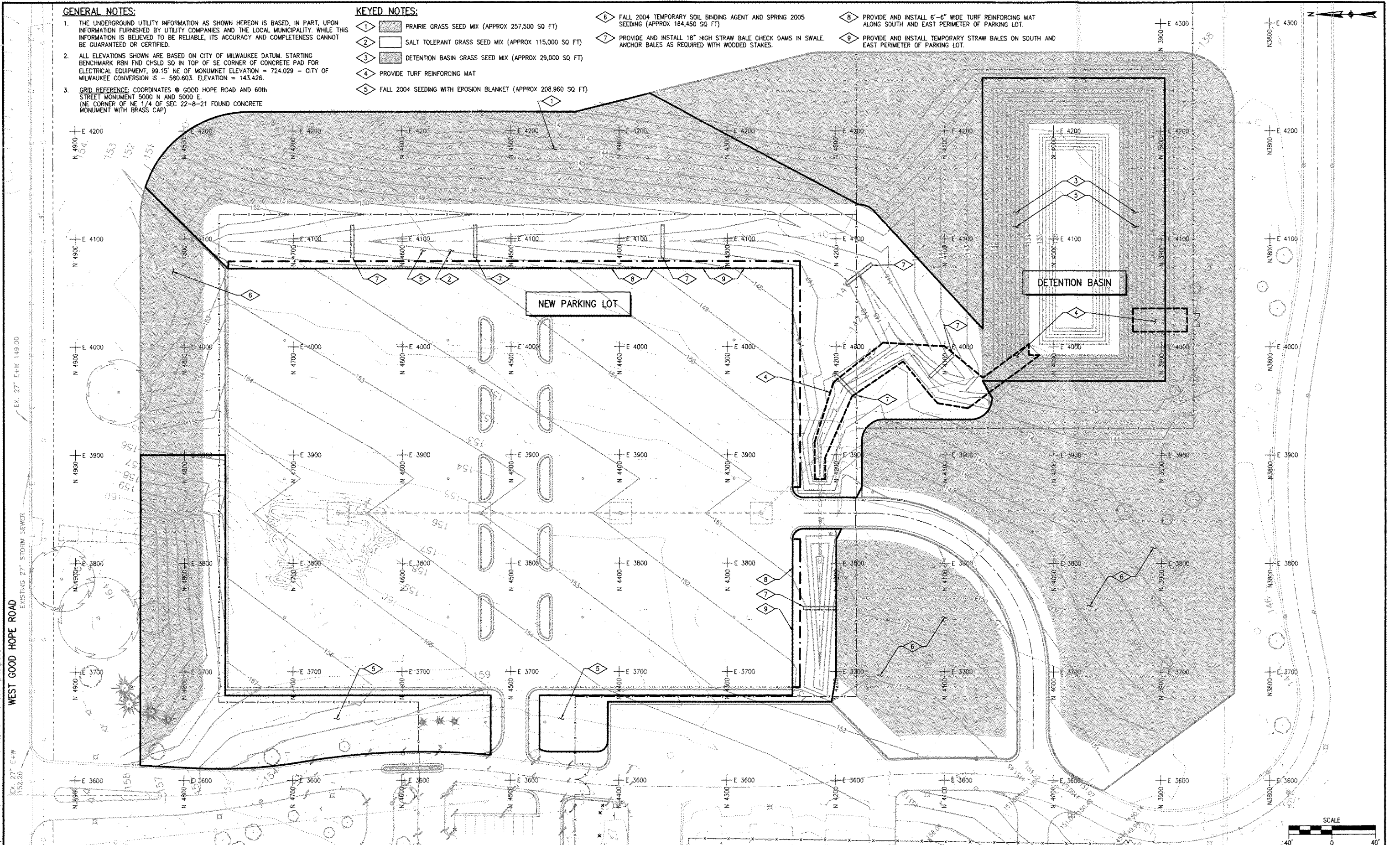


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**KEYED NOTES:**

- 1 PRAIRIE GRASS SEED MIX (APPROX 257,500 SQ FT)
- 2 SALT TOLERANT GRASS SEED MIX (APPROX 115,000 SQ FT)
- 3 DETENTION BASIN GRASS SEED MIX (APPROX 29,000 SQ FT)
- 4 PROVIDE TURF REINFORCING MAT
- 5 FALL 2004 SEEDING WITH EROSION BLANKET (APPROX 208,960 SQ FT)
- 6 FALL 2004 TEMPORARY SOIL BINDING AGENT AND SPRING 2005 SEEDING (APPROX 184,450 SQ FT)
- 7 PROVIDE AND INSTALL 18" HIGH STRAW BALE CHECK DAMS IN SWALE.
- 8 PROVIDE AND INSTALL 6"-6" WIDE TURF REINFORCING MAT ALONG SOUTH AND EAST PERIMETER OF PARKING LOT.
- 9 PROVIDE AND INSTALL TEMPORARY STRAW BALES ON SOUTH AND EAST PERIMETER OF PARKING LOT.



Nov 30, 2004 - 9:15am peter.plewa  
 J:\Projects\TW052948\CD06-TW052948.DWG  
 EX. 27" E+W 1152.20  
 WEST GOOD HOPE ROAD  
 EX. 27" E+W 149.00  
 EXISTING 27" STORM SEWER

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DSGN	BAT
DR	PDP
CHK	
APVD	

NO.	DATE	REVISION	BY	APVD

**WAREHOUSE EXPANSION FOR  
 BRADY CORPORATION  
 6555 WEST GOOD HOPE ROAD  
 MILWAUKEE, WISCONSIN 53223**

**EXHIBIT 8  
 CIVIL/SITWORK  
 LANDSCAPING PLAN**

SHEET NO.	EXHIBIT 8
DWG NO.	C-6
DATE	Nov 2004
PROJ NO.	TW052948

**GENERAL NOTES:**

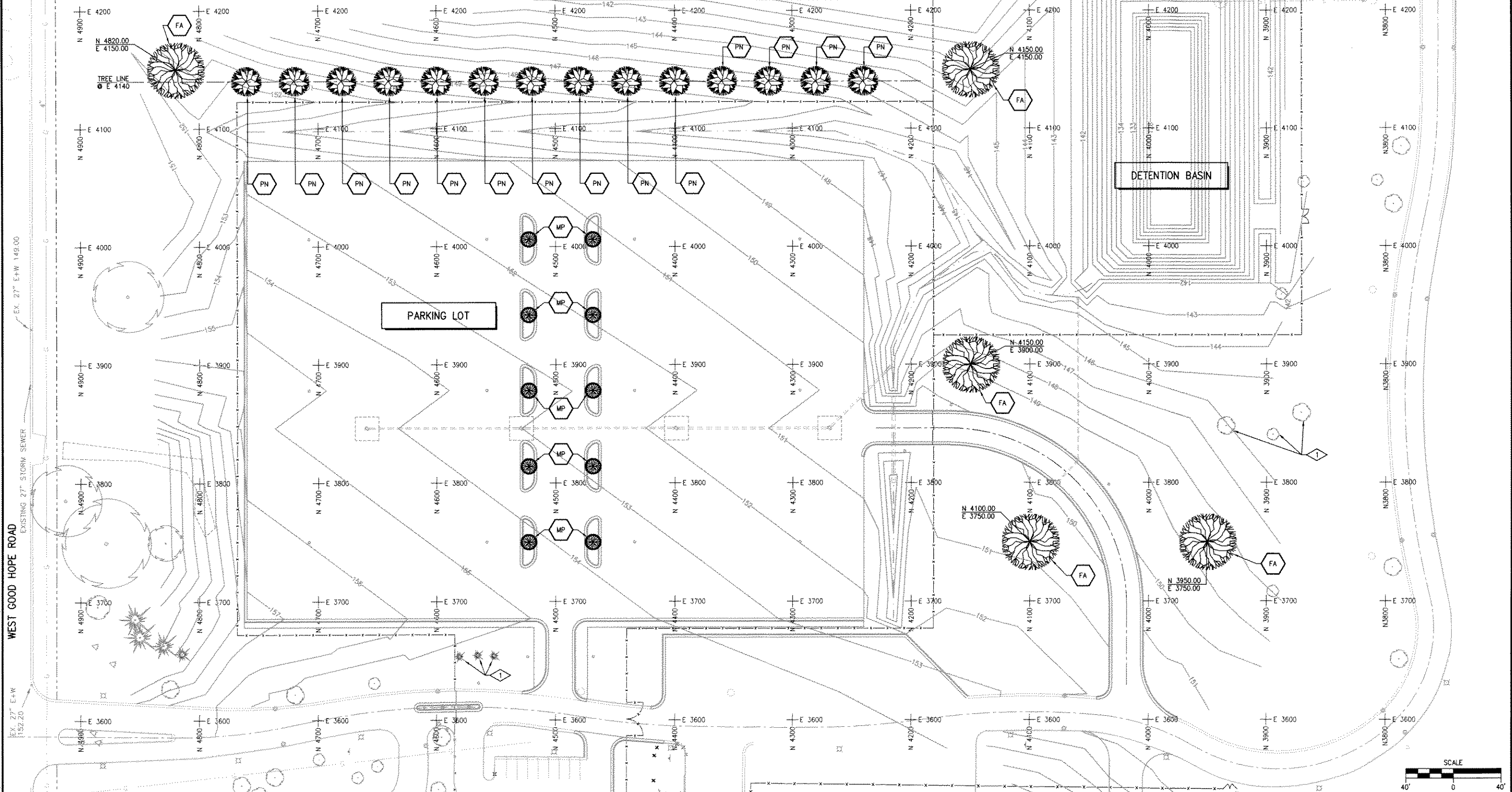
1. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED OR CERTIFIED.
2. ALL ELEVATIONS SHOWN ARE BASED ON CITY OF MILWAUKEE DATUM. STARTING BENCHMARK RBN FND CHSLD SQ IN TOP OF SE CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT, 99.15' NE OF MONUMENT ELEVATION = 724.029 - CITY OF MILWAUKEE CONVERSION IS - 580.603. ELEVATION = 143.426.
3. GRID REFERENCE COORDINATES @ GOOD HOPE ROAD AND 60th STREET MONUMENT 5000 N AND 5000 E. (NE CORNER OF NE 1/4 OF SEC 22-8-21 FOUND CONCRETE MONUMENT WITH BRASS CAP)

**KEYED NOTES:**

- 1 EXISTING TREE TO REMAIN.

**PLANT SCHEDULE**

DESIGNATION	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
FA	FRAXINUS AMERICANA	WHITE ASH	5	2.5" CAL	-
MP	MALUS 'PRAIRIFIRE'	PRAIRIFIRE FLOWERING CRAB	10	2" CAL	OR APPROVED EQUAL ORNAMENTAL TREE
PN	PINUS NIGRA	AUSTRIAN PINE	14	6' - 7'	-



Nov 30, 2004 - 9:17am pater.plewo  
 J:\Projects\TW052948\CD7-TW052948.DWG  
 EX. 27" E+W 152.20  
 WEST GOOD HOPE ROAD  
 EXISTING 27" STORM SEWER  
 EX. 27" E+W 149.00

**TEI CORPORATION**  
 325 East Chicago Street  
 Milwaukee, Wisconsin 53202  
 (414)-291-8850  
 FAX 291-8841

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- DESIGN FUNCTIONS
- DESIGN BUILD
- GENERAL CONTRACTING
- BIDDING ASSISTANCE
- SYSTEM OPERATIONS
- FACILITY ENGINEERING
- COMMISSIONING

**VERIFY SCALE**  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DSGN	BAT				
DR	PDP				
CHK					
APVD					
NO.	DATE	REVISION	BY	APVD	

**WAREHOUSE EXPANSION FOR BRADY CORPORATION**  
 6555 WEST GOOD HOPE ROAD  
 MILWAUKEE, WISCONSIN 53223

**EXHIBIT 9**  
 CIVIL/SITWORK  
 LANDSCAPING PLAN - PLANTINGS

SHEET NO.	EXHIBIT 9
DWG NO.	C-7
DATE	Nov 2004
PROJ NO.	TW052948

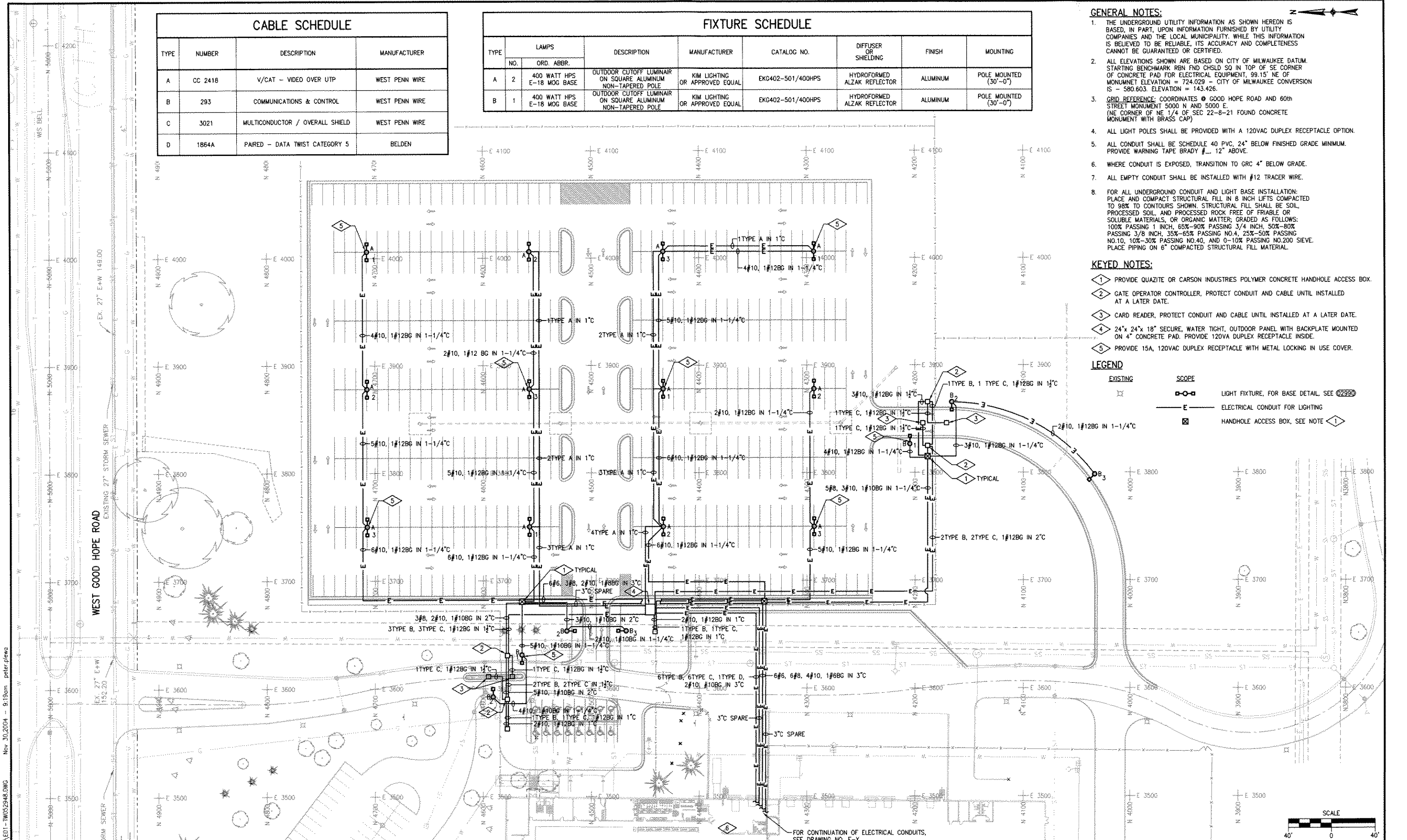
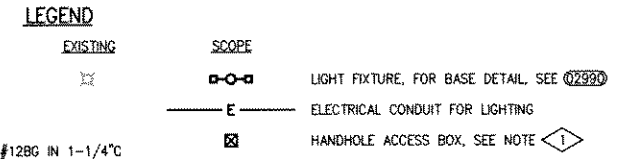


CABLE SCHEDULE			
TYPE	NUMBER	DESCRIPTION	MANUFACTURER
A	CC 2418	V/CAT - VIDED OVER UTP	WEST PENN WIRE
B	293	COMMUNICATIONS & CONTROL	WEST PENN WIRE
C	3021	MULTICONDUCTOR / OVERALL SHIELD	WEST PENN WIRE
D	1864A	PAIRED - DATA TWIST CATEGORY 5	BELDEN

FIXTURE SCHEDULE								
TYPE	LAMPS		DESCRIPTION	MANUFACTURER	CATALOG NO.	DIFFUSER OR SHIELDING	FINISH	MOUNTING
	NO.	ORD. A8BR.						
A	2	400 WATT HPS E-18 MOG BASE	OUTDOOR CUTOFF LUMINAIR ON SQUARE ALUMINUM NON-TAPERED POLE	KIM LIGHTING OR APPROVED EQUAL	EK0402-501/400HPS	HYDROFORMED ALZAK REFLECTOR	ALUMINUM	POLE MOUNTED (30'-0")
B	1	400 WATT HPS E-18 MOG BASE	OUTDOOR CUTOFF LUMINAIR ON SQUARE ALUMINUM NON-TAPERED POLE	KIM LIGHTING OR APPROVED EQUAL	EK0402-501/400HPS	HYDROFORMED ALZAK REFLECTOR	ALUMINUM	POLE MOUNTED (30'-0")

- GENERAL NOTES:**
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  - ALL ELEVATIONS SHOWN ARE BASED ON CITY OF MILWAUKEE DATUM. STARTING BENCHMARK RBN FND CHSLD SO IN TOP OF SE CORNER OF CONCRETE PAD FOR ELECTRICAL EQUIPMENT, 99.15' NE OF MONUMENT ELEVATION = 724.029 - CITY OF MILWAUKEE CONVERSION IS - 580.603. ELEVATION = 143.426.
  - GRID REFERENCE: COORDINATES @ GOOD HOPE ROAD AND 60th STREET MONUMENT 5000 N AND 5000 E. (NE CORNER OF NE 1/4 OF SEC 22-8-21 FOUND CONCRETE MONUMENT WITH BRASS CAP)
  - ALL LIGHT POLES SHALL BE PROVIDED WITH A 120VAC DUPLEX RECEPTACLE OPTION.
  - ALL CONDUIT SHALL BE SCHEDULE 40 PVC, 24" BELOW FINISHED GRADE MINIMUM. PROVIDE WARNING TAPE BRADY #12" ABOVE.
  - WHERE CONDUIT IS EXPOSED, TRANSITION TO GRC 4" BELOW GRADE.
  - ALL EMPTY CONDUIT SHALL BE INSTALLED WITH #12 TRACER WIRE.
  - FOR ALL UNDERGROUND CONDUIT AND LIGHT BASE INSTALLATION: PLACE AND COMPACT STRUCTURAL FILL IN 8 INCH LIFTS COMPACTED TO 98% TO CONTOURS SHOWN. STRUCTURAL FILL SHALL BE SOIL, PROCESSED SOIL, AND PROCESSED ROCK FREE OF FRIABLE OR SOLUBLE MATERIALS, OR ORGANIC MATTER, GRADED AS FOLLOWS: 100% PASSING 1 INCH, 65%-90% PASSING 3/4 INCH, 50%-80% PASSING 3/8 INCH, 35%-65% PASSING NO.4, 25%-50% PASSING NO.10, 10%-30% PASSING NO.40, AND 0-10% PASSING NO.200 SIEVE. PLACE PIPING ON 6" COMPACTED STRUCTURAL FILL MATERIAL.

- KEYED NOTES:**
- PROVIDE QUAZITE OR CARSON INDUSTRIES POLYMER CONCRETE HANDHOLE ACCESS BOX.
  - GATE OPERATOR CONTROLLER, PROTECT CONDUIT AND CABLE UNTIL INSTALLED AT A LATER DATE.
  - CARD READER, PROTECT CONDUIT AND CABLE UNTIL INSTALLED AT A LATER DATE.
  - 24"x 24"x 18" SECURE, WATER TIGHT, OUTDOOR PANEL WITH BACKPLATE MOUNTED ON 4" CONCRETE PAD. PROVIDE 120VA DUPLEX RECEPTACLE INSIDE.
  - PROVIDE 15A, 120VAC DUPLEX RECEPTACLE WITH METAL LOCKING IN USE COVER.



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 BRADY CORPORATION  
 6555 WEST GOOD HOPE ROAD  
 MILWAUKEE, WISCONSIN 53223**

**EXHIBIT 10  
 ELECTRICAL  
 ELECTRICAL SITE PLAN**

SHEET NO.	EXHIBIT 10
DWG NO.	E-1
DATE	Nov 2004
PROJ NO.	TW052948