



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

## Property Description of work

### 2125 N. Lake Drive, North Point South Historic District

Removal and in-kind replacement of deteriorated posts and rails on back porch and back entry stairs. New wood newel posts and railings will match the dimensions, chamfers, and paint colors of the existing construction.

## Date issued 4/30/2024

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**All finish wood must be smooth and free of knots and must be painted or treated with an opaque stain upon completion. Note: when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied to it will be decreased. The use of a decay-resistant wood for is required for porch areas. Using western white pine or Ponderosa pine is "at your own risk" because this wood has no natural decay resistance and can deteriorate in some exterior settings in just a few years.**

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

## Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms) - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Brostoff



# RAILING REPLACEMENT AND ROOF REPAIRS TO EXISTING PORCH AND ROOF DECK

2125 N. LAKE DRIVE  
MILWAUKEE, WISCONSIN



PHOTO 1  
RESIDENCE FROM LAKE DRIVE



PHOTO 2  
REAR PORCH AS SEEN FROM BACK YARD



PHOTO 3  
REAR PORCH AS SEEN FROM BACK YARD

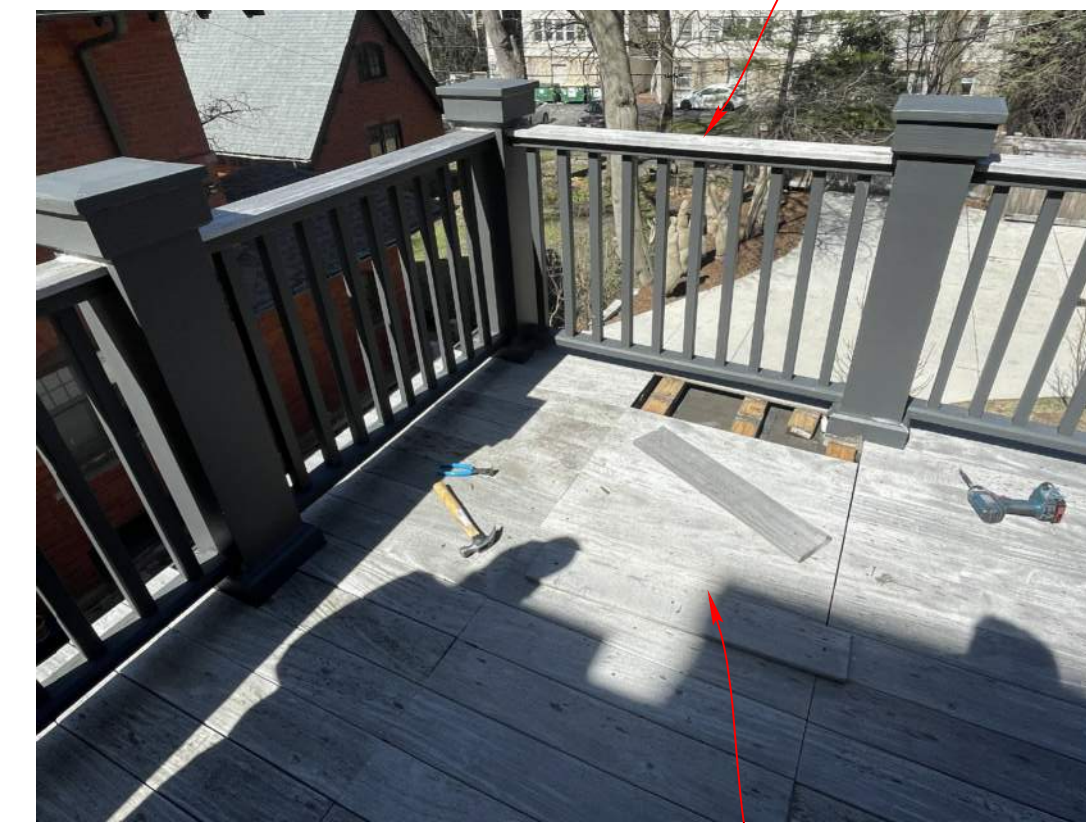


PHOTO 4  
ROOF DECK OUTSIDE CORNER



PHOTO 5  
ROOF DECK AT MAIN HOUSE

**PROJECT NARRATIVE**

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES REPLACING THE EXISTING RAILING ON THE ROOF DECK ABOVE THE EXISTING REAR PORCH, REPLACING THE RAILING AT THE GROUND-LEVEL STAIRS, AND REPAIRING/REPLACING THE ROOF MEMBRANE. THE INTENT OF THIS PROJECT IS TO REPAIR AND REPLACE ALL COMPONENTS TO MATCH THE EXISTING CONDITION WITH DURABLE MATERIALS.

THE WOOD OF THE EXISTING RAILING IS DETERIORATING. THIS PROJECT WILL REPLACE THE POSTS AND RAILINGS WITH NEW WOOD RAILINGS, MATCHING ALL DIMENSIONS AND PROFILES, AND PAINTED THE SAME COLOR AS EXISTING.

THERE ARE SEVERAL AREAS INSIDE THE PORCH WHERE ROOF LEAKS ARE EVIDENT FROM ABOVE. THIS PROJECT WILL REMOVE THE EXISTING ROOF DECK BOARDS AND SLEEPERS, INVESTIGATE THE EXISTING EPDM ROOF MEMBRANE, FLASHINGS, AND PENETRATIONS, AND REPAIR OR REPLACE THE ROOF MEMBRANE TO PROVIDE A NEW WEATHERTIGHT ENCLOSURE.

**PROJECT GENERAL NOTES:**

- ALL WORK TO BE PERFORMED IN CONFORMANCE WITH ALL ADOPTED BUILDING CODES AND LOCAL ORDINANCES (WISCONSIN UNIFORM DWELLING CODE, SPS 320 - SPS 325)
- CONTRACTOR TO FIELD VERIFY ALL CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS

**SCOPE OF WORK DESCRIPTION**

**DEMOLITION:**

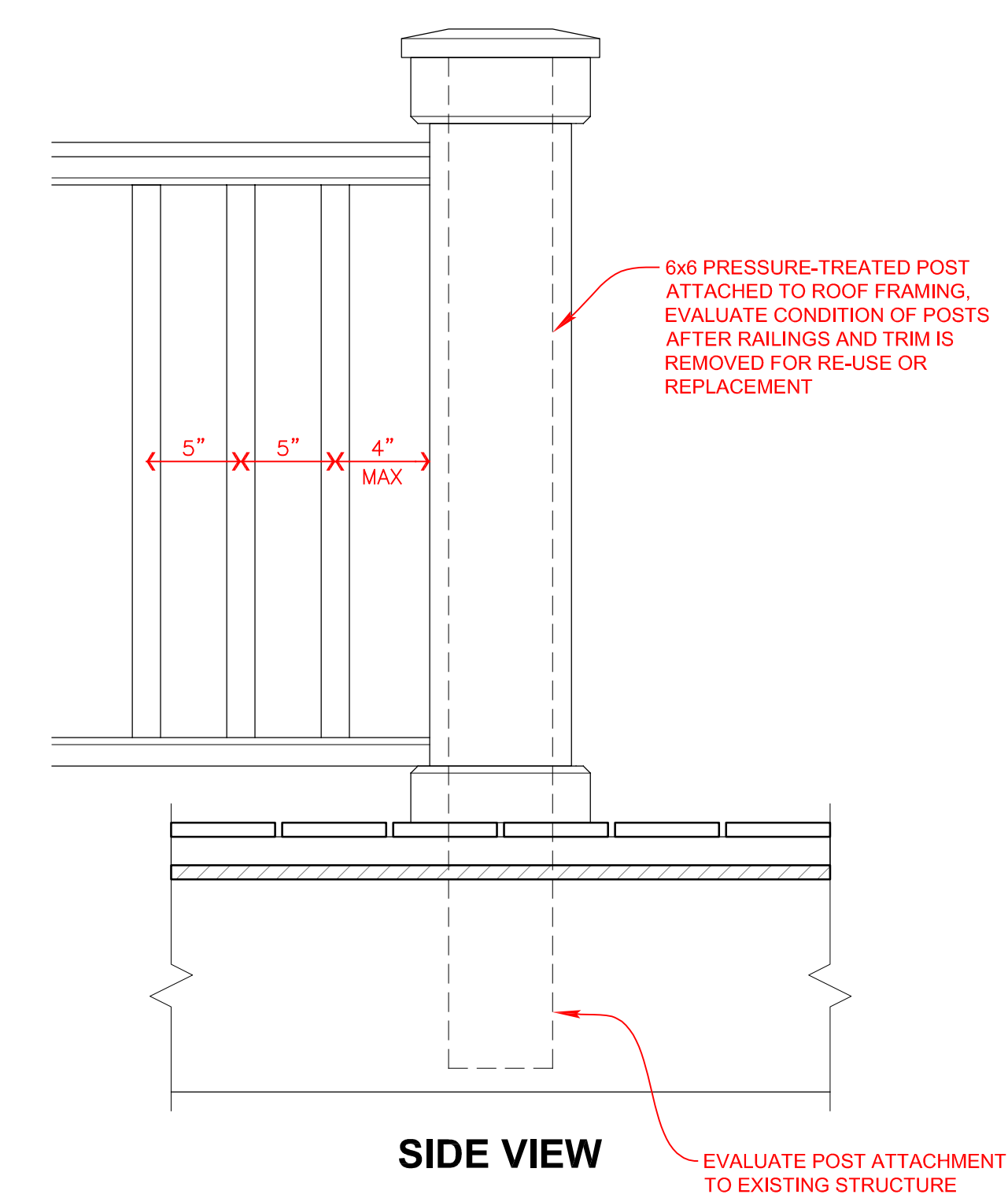
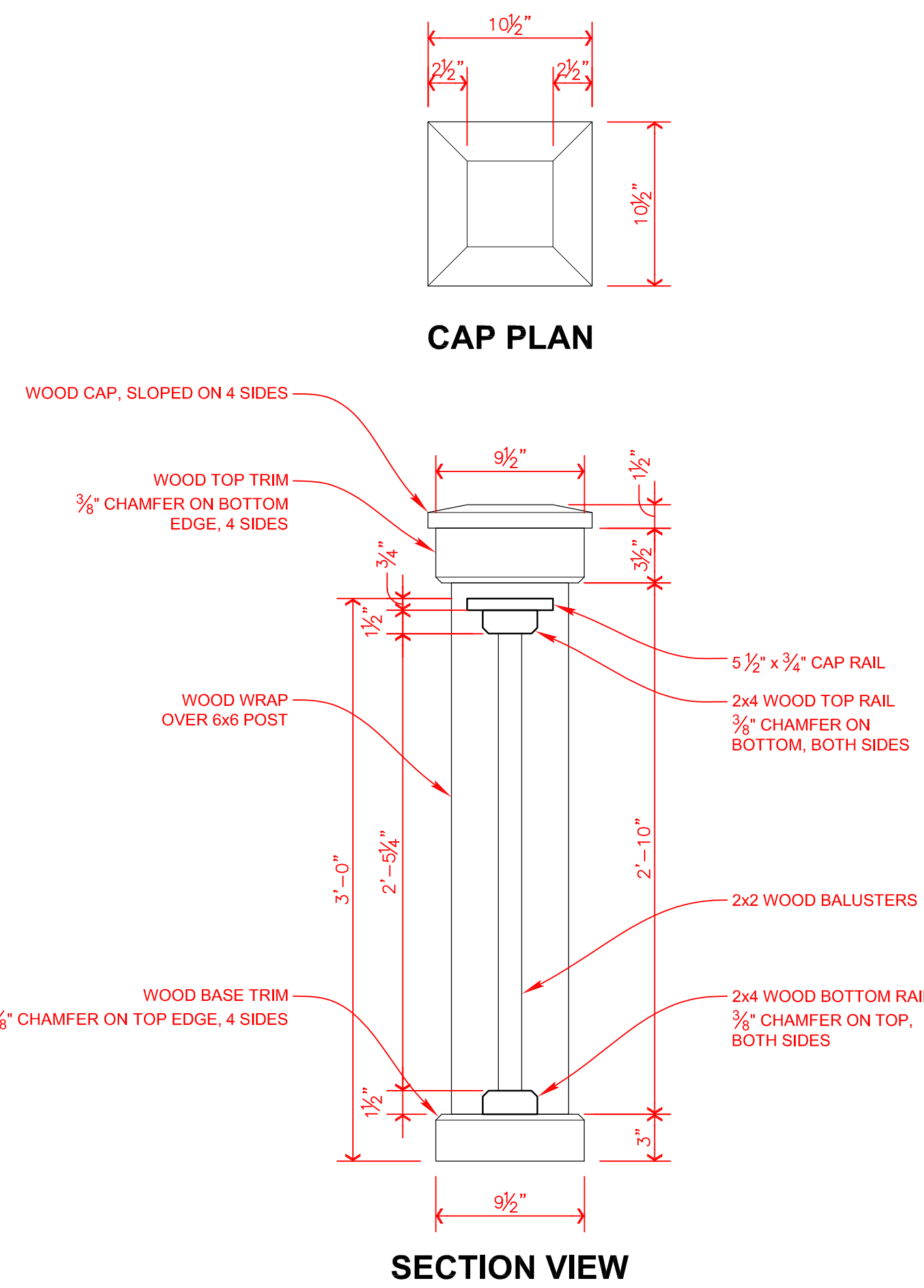
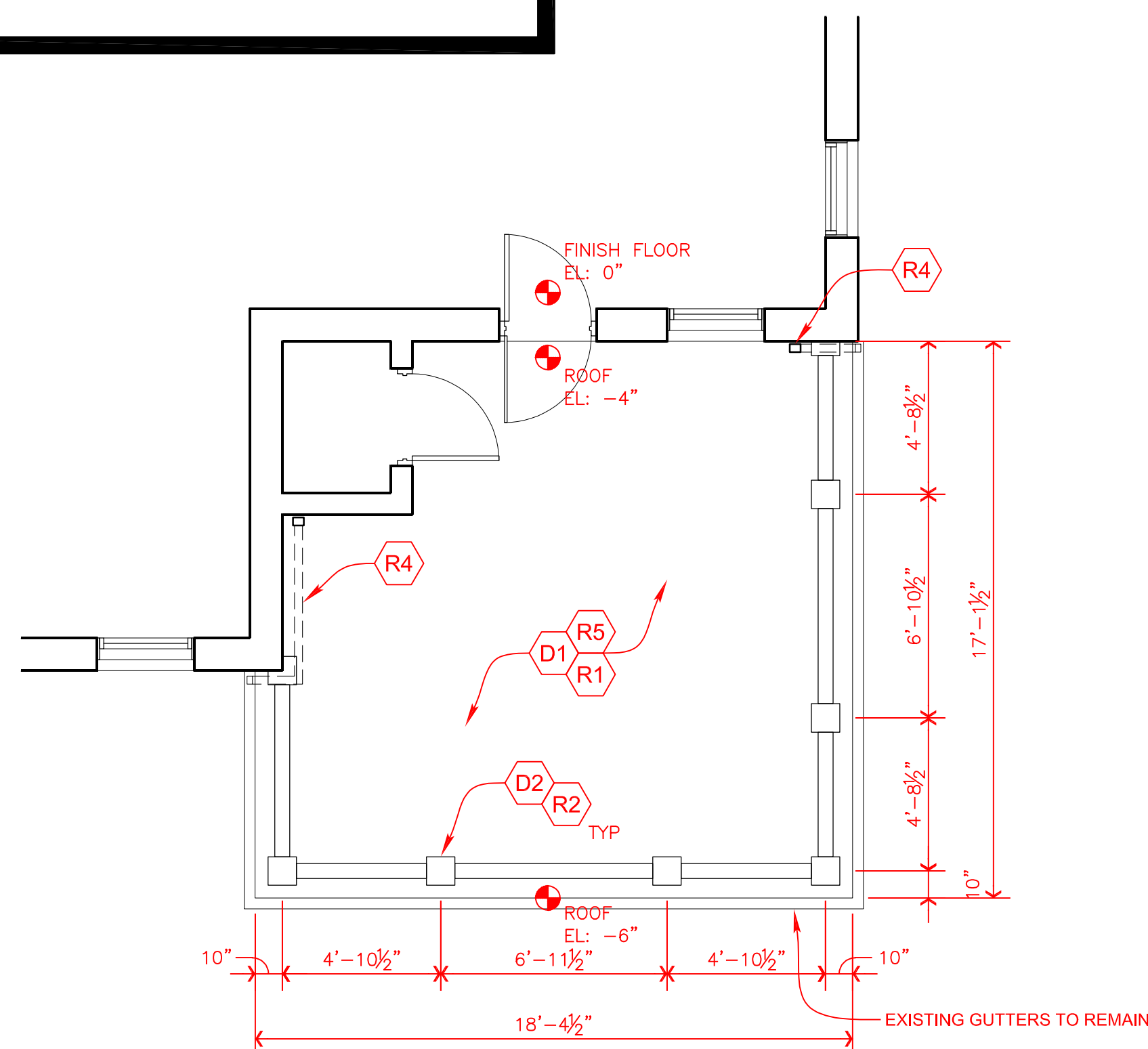
- D1** REMOVE EXISTING WOOD DECK BOARDS AND SLEEPERS, SAVE FOR RE-INSTALLATION.
- D2** DEMOLISH EXISTING RAILINGS AND POST TRIM.

**POST-DEMOLITION EVALUATION:**

- EVALUATE EXISTING 6x6 POSTS FOR RE-USE OR REPLACEMENT.
- EVALUATE EXISTING EPDM ROOF MEMBRANE FOR RE-USE OR REPLACEMENT.
- EVALUATE EXISTING PLYWOOD DECKING AND ROOF FRAMING BEFORE INSTALLING NEW ROOFING.

**REPAIR:**

- R1** INSTALL NEW EPDM ROOF MEMBRANE IF REQUIRED. INSTALL TERMINATION BARS AT GUTTER AND EXTERIOR WALL OF HOUSE. INSTALL FLASHING AT GUARDRAIL POST PENETRATIONS.
- R2** INSTALL NEW WOOD WRAP, TRIM, AND CAPS AT POST. INSTALL NEW WOOD RAILINGS TO MATCH EXISTING DIMENSIONS AND PROFILES. SEE DETAIL 1/A1, THIS SHEET.
- R3** PAINT NEW RAILINGS SW 7069 "IRON ORE" TO MATCH EXISTING.
- R4** INSTALL NEW DOWNSPOUTS TO ROUTE WATER FROM MAIN ROOF GUTTERS DIRECTLY INTO PORCH GUTTER AND DOWNSPOUT (2 LOCATIONS). DOWNSPOUTS TO BE PREFINISHED TO MATCH NORANDEX BRONZE.
- R5** INSTALL EXISTING WOOD DECK BOARDS WITH NEW 2x4 PRESSURE-TREATED SLEEPERS.



**REVISION 1 SUMMARY:**  
ALL NOTES CHANGED FROM "COMPOSITE WOOD" TO "WOOD"

**FISCHER-FISCHER-THEIS, INC.**  
ARCHITECTS • ENGINEERS • PLANNERS

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MILWAUKEE, WISCONSIN

MILWAUKEE HPC	04 / 17 / 2024	C/JF
REVISION 1	04 / 29 / 2024	C/JF

PROJECT NO.  
**24022**

SHEET NO.  
**A1**  
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