

# ART HOUSE HOTEL

817-819 N. MARSHALL ST.  
MILWAUKEE, WI

AKA CHARLES A. KOEFFLER JR. HOUSE

## PETITIONER

DALE STENBROTEN  
544 E. OGDEN AVE., #292  
MILWAUKEE, WI 53202  
T: 262.387.1001  
E: INFO@ARTISTGROUP.NET

## ARCHITECT

RAMSEY JONES ARCHITECTS  
PATRICK R. JONES  
734 E. WRIGHT ST.  
MILWAUKEE, WI 53212  
T: 414.336.5853  
E: RAMSEYJONES@SBCGLOBAL.NET  
RAMSEYJONESARCHITECTS.COM

## SHEET INDEX

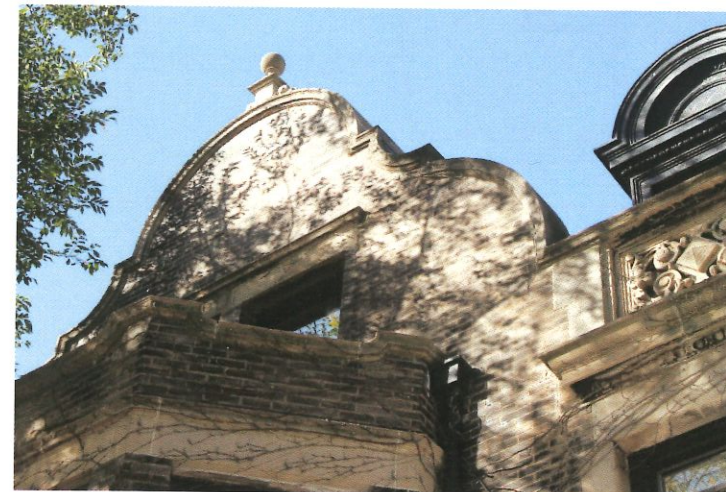
T1.1	TITLE SHEET
SP1.1	SITE PLAN, SURVEY
A0.1	EXISTING FLOOR PLANS
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.1	EAST ELEVATION
A2.2	SOUTH ELEVATION
A2.3	WEST ELEVATION
A2.4	NORTH ELEVATION
A3.1	HVAC ENCLOSURE
A3.2	ELEVATIONS IN CONTEXT
A3.3	COURTYARD SECTIONS
L1.1	LANDSCAPING
P1.1	IMAGES
P1.2	IMAGES
P1.3	IMAGES

## PROJECT DATA

ZONING DISTRICT: C9A HIGH DENSITY RESIDENTIAL  
EXISTING/PREVIOUS USE: BUSINESS, PRIMARILY VACANT CURRENTLY  
PROPOSED USE: HOTEL, COMMERCIAL

## PROJECT SUMMARY

THE EXISTING HISTORIC DOUBLE MANSION SHALL BE REDEVELOPED INTO A BOUTIQUE HOTEL WITH MINIMAL INSIGNIFICANT CHANGES TO THE EXTERIOR AND THE INTENDED RETENTION OF ALL EXTANT HISTORIC INTERIOR FEATURES. SLEEPING ROOMS WILL BE GROUPED INTO SUITE CONFIGURATIONS, WHILE RETAINING THE ABILITY TO BE USED INDEPENDENTLY AS MORE TRADITIONAL SINGLE OCCUPANCY ROOMS.  
SLEEPING ROOMS, DEDICATED: 18  
PARKING: 7 SPACES ON SITE, INCLUDED ACCESSIBLE PARKING



## HPC SUBMITTAL

NOVEMBER 9, 2017

NOTE: DRAWINGS PRINTED AT 50%

414.336.5853 | ramseyjones@sbcglobal.net  
734 East Wright Street | Milwaukee WI | 53212  
ramseyjonesarchitects.com

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Art House Hotel  
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DATE	REASON
11.02.17	BOZA SUBMITTAL
11.09.17	HPC SUBMITTAL

PROJECT NO. 1702

T1.1



# ALTA/ACSM LAND TITLE SURVEY

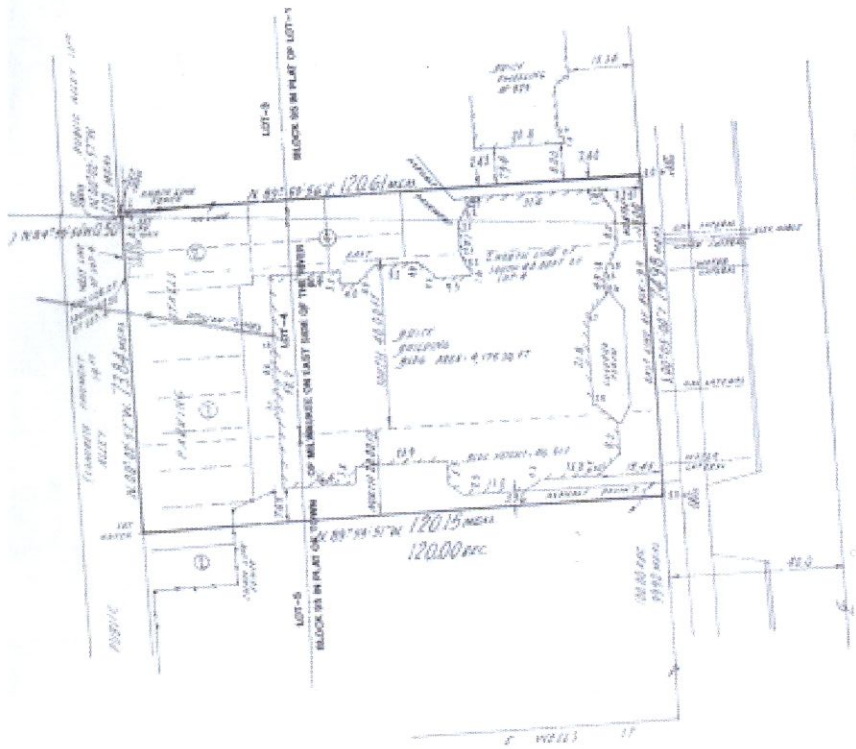
KNOWN AS 819 NORTH MARSHALL STREET, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

THAT PART OF LOT 3 IN BLOCK 95 IN PLAT OF LOT 1 AND THAT PART OF LOT 4 IN BLOCK 95 IN PLAT OF TOWN OF MILWAUKEE ON THE EAST SIDE OF THE RIVER, ALL IN THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN BOUNDED AND DESCRIBED AS FOLLOWS:

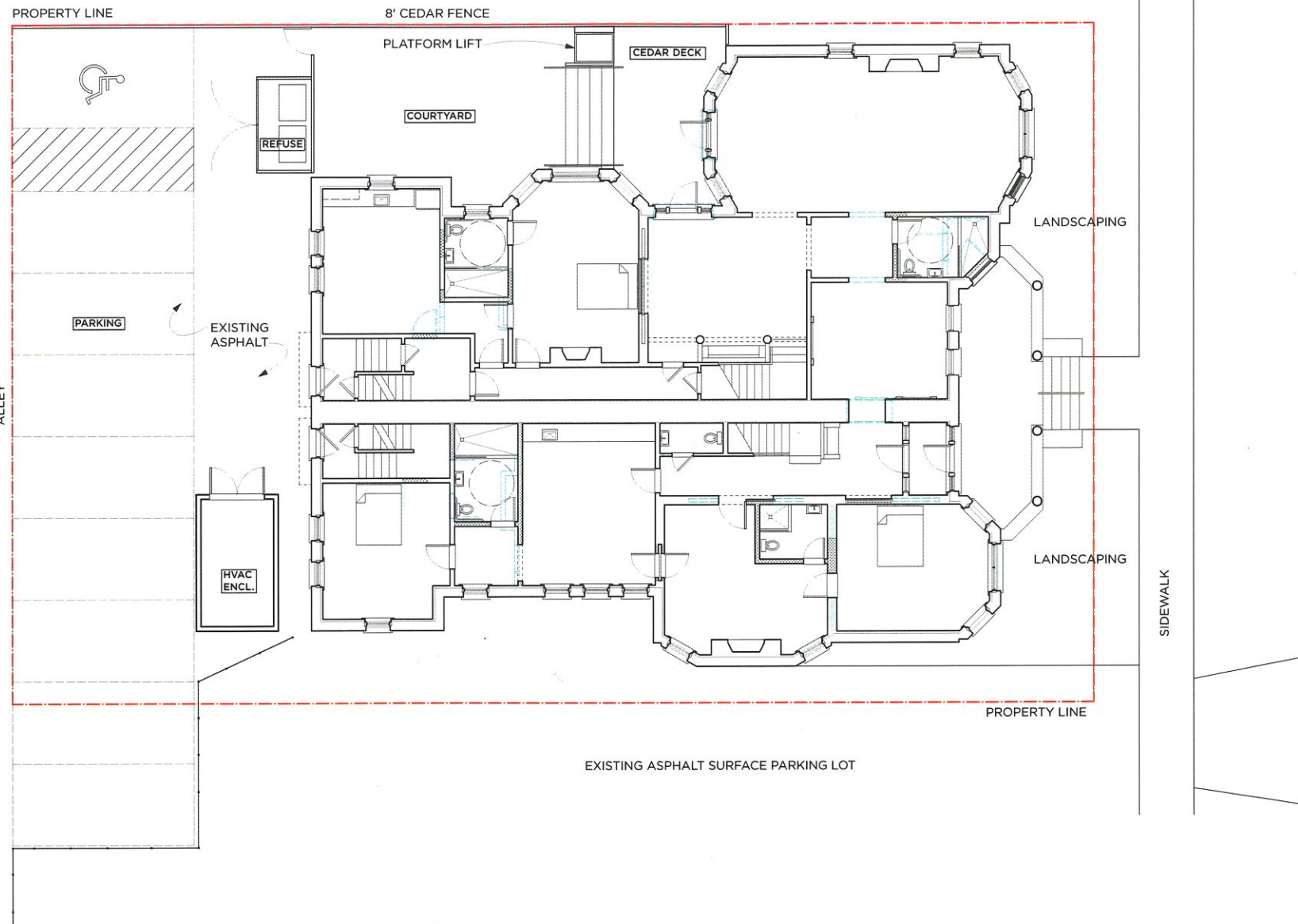
COMMENCING AT THE NORTHWEST CORNER OF THE SOUTH 40.00 FEET OF SAID LOT 4; THENCE EAST ALONG THE NORTH LINE OF SAID SOUTH 40.00 FEET OF SAID LOT 4 TO THE EAST LINE OF SAID BLOCK; THENCE NORTH ALONG THE EAST LINE OF SAID BLOCK 15.00 FEET TO A POINT; THENCE WEST TO A POINT IN THE WEST LINE OF LOT 2 AFORESAID 15.00 FEET NORTH OF THE NORTHWEST CORNER OF THE SOUTH 40.00 FEET OF SAID LOT 4; THENCE SOUTH TO THE POINT OF BEGINNING.

ALSO THE SOUTH 40.00 FEET OF LOT 4 AND THE NORTH 20.00 FEET OF LOT 5 IN BLOCK 95 IN PLAT OF TOWN OF MILWAUKEE ON THE EAST SIDE OF THE RIVER, ALL IN THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

JUNE 21, 2002 TAXMAN INVESTMENT COMPANY SURVEY NO. 124415-MS  
REVISED CERTIFICATE REVISION NO. 1



N. MARSHALL ST. 80FT.



**2** PLAT OF SURVEY  
SP1.1 SCALE: NOT TO SCALE

**1** SITE PLAN  
SP1.1 SCALE: 1/8" = 1' - 0"



CENTERLINE MARSHALL ST.

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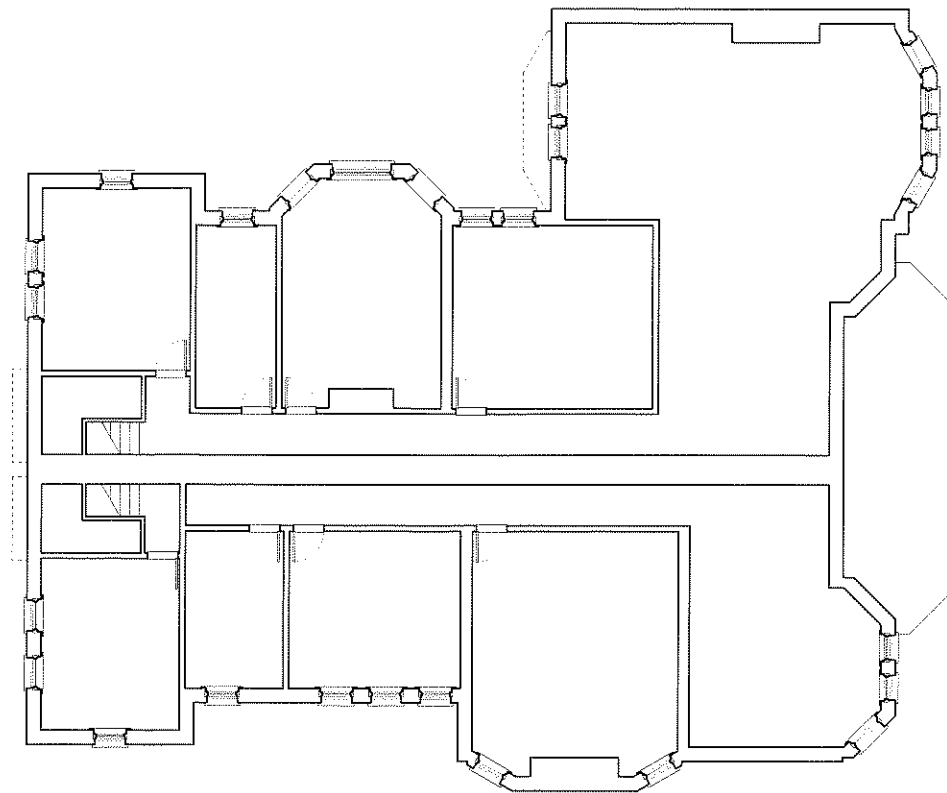
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PROJECT NO. 1702

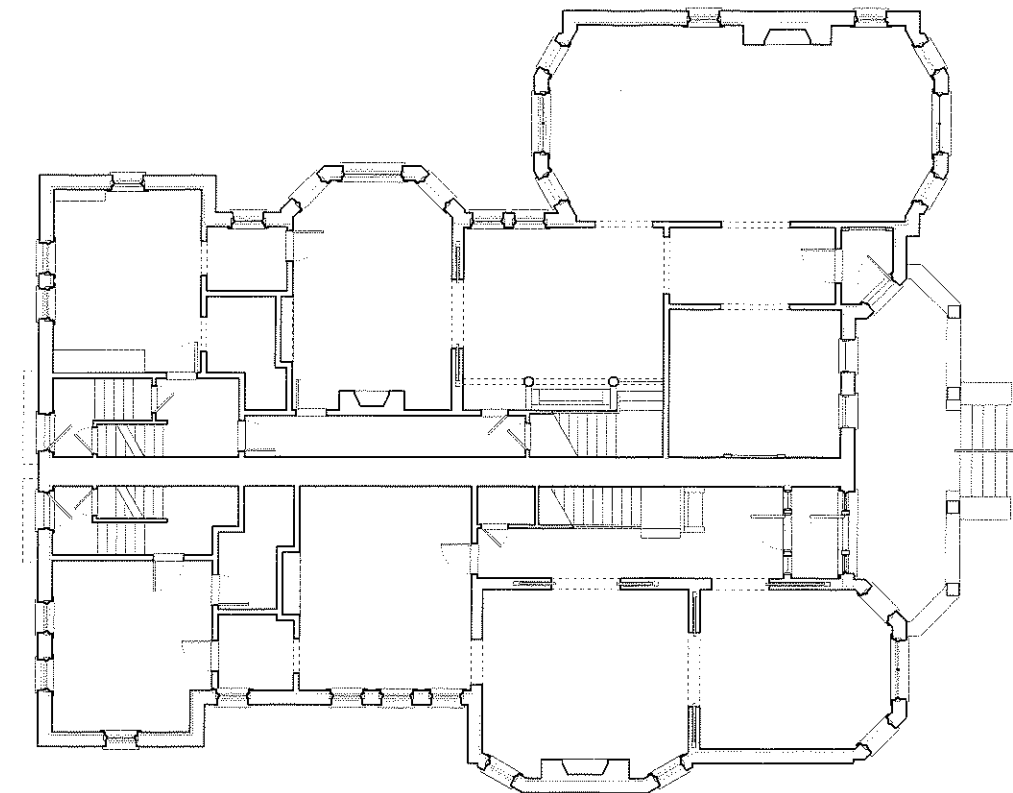
**SP1.1**

414.336.5853 | ramseyjones@sbcglobal.net  
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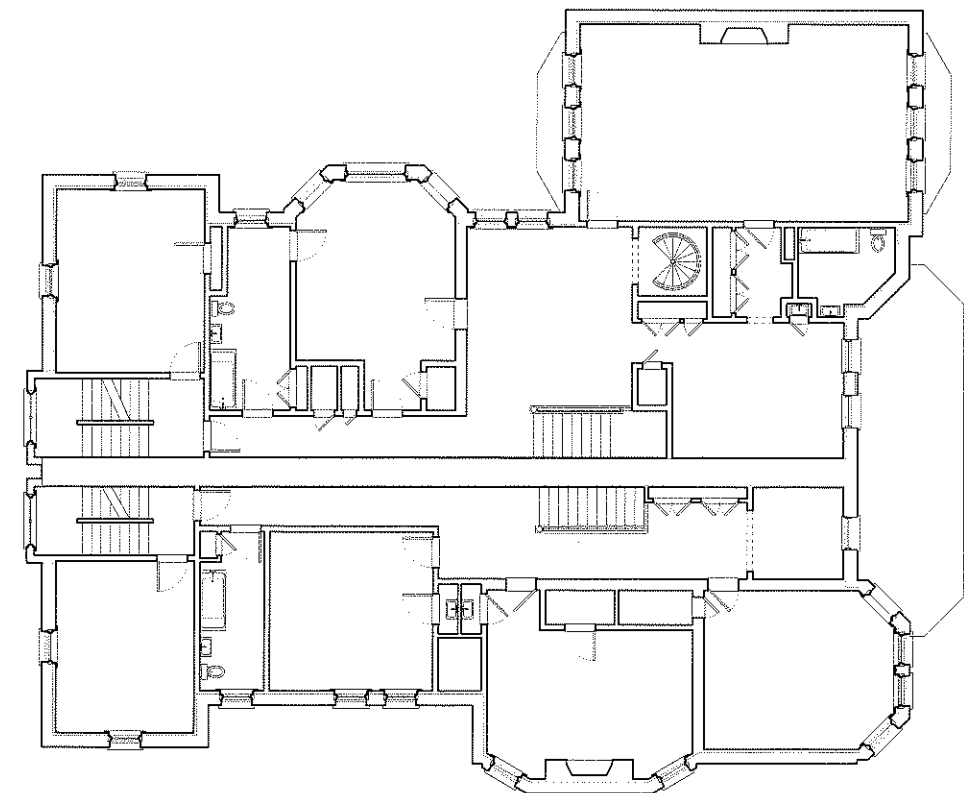
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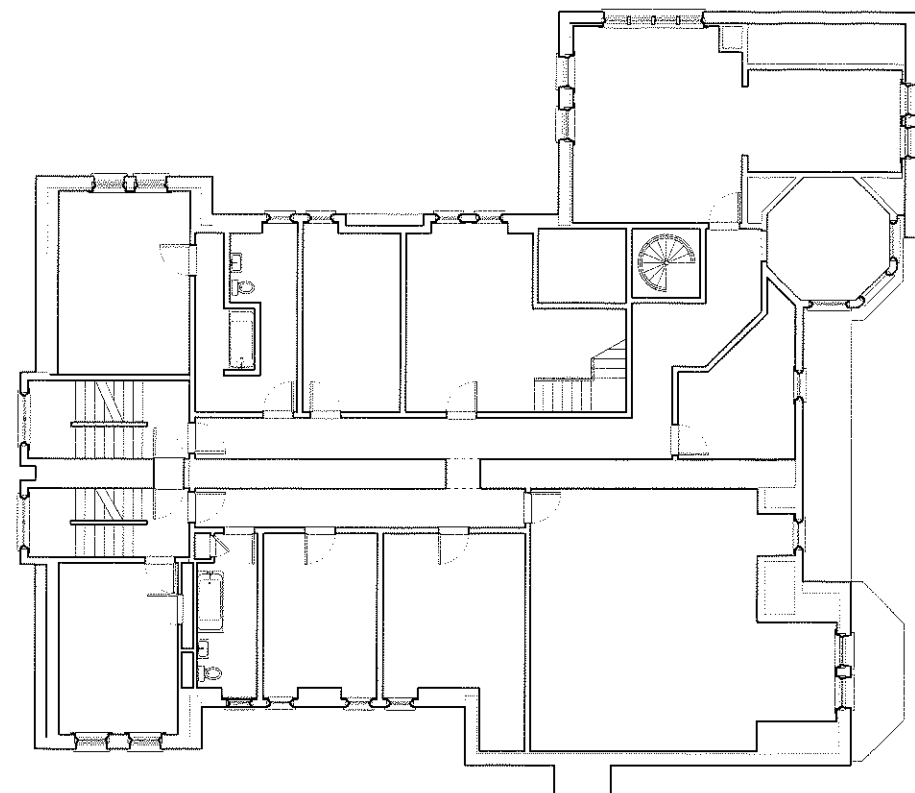
**1** EXISTING BASEMENT FLOOR PLAN  
 A0.1 SCALE: 1/8" = 1' - 0"



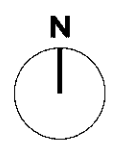
**2** EXISTING FIRST FLOOR PLAN  
 A0.1 SCALE: 1/8" = 1' - 0"



**3** EXISTING SECOND FLOOR PLAN  
 A0.1 SCALE: 1/8" = 1' - 0"



**4** EXISTING THIRD FLOOR PLAN  
 A0.1 SCALE: 1/8" = 1' - 0"



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**A0.1**



**PLAN NOTES**

**GENERAL NOTES**

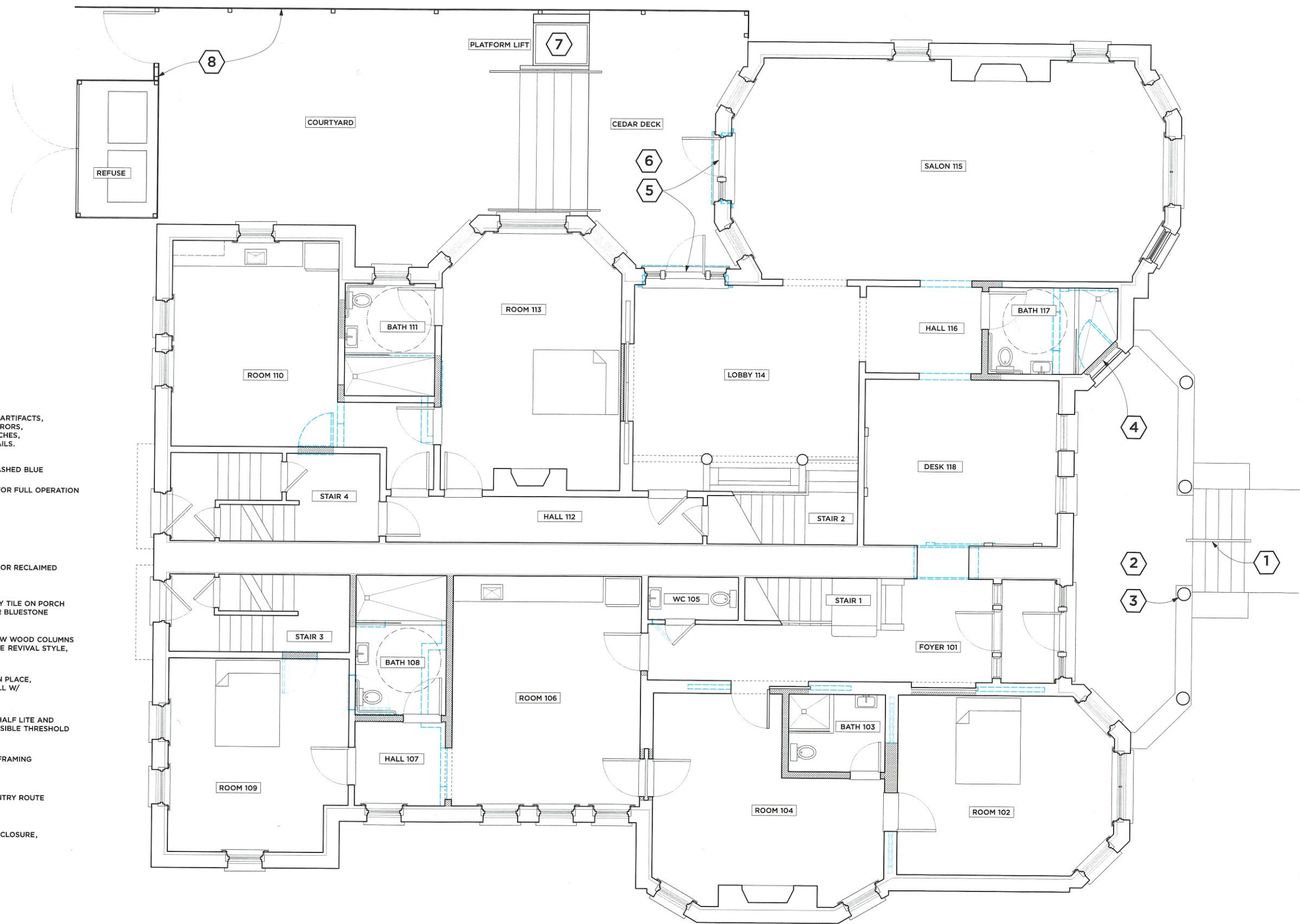
PRESERVE AND PROTECT REMAINING HISTORIC ARTIFACTS, INCLUDING BUT NOT LIMITED TO PANELING, MIRRORS, STAIRS, BASE, CROWN, CASING, CABINETS, BENCHES, MANTELS, SURROUNDS, DOORS AND MISC. DETAILS.

NEW WALLS SHOWN SHADED GREY  
EXISTING WALLS TO BE REMOVED SHOWN IN DASHED BLUE

REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION

**KEY NOTES**

- 1 REPLACE EXISTING PIPE RAIL WITH NEW OR RECLAIMED WROUGHT IRON OR BRONZE HANDRAIL
- 2 REMOVE AND REPLACE EXISTING QUARRY TILE ON PORCH W/ MUDSET FLAGSTONES; LIMESTONE OR BLUESTONE
- 3 REPLACE WOOD BOX COLUMNS WITH NEW WOOD COLUMNS CONSISTENT WITH ENGLISH RENAISSANCE REVIVAL STYLE, ARCHITECT TO SELECT
- 4 REFURBISH AND AFFIX EXISTING DOOR IN PLACE, PAINT DOOR SIDE OF NEW INTERIOR WALL W/ GRAPHITE COLOR, FINISH CLEAN
- 5 NEW RAISED PANEL WOOD DOOR WITH HALF LITE AND WOOD FRAMED SIDE LIGHT(S), W/ ACCESSIBLE THRESHOLD
- 6 NEW 5/4"x6" CEDAR DECK ON TREATED FRAMING FOR ACCESSIBLE ENTRY
- 7 NEW PLATFORM LIFT FOR ACCESSIBLE ENTRY ROUTE
- 8 8'-0" TALL CEDAR FENCE AND REFUSE ENCLOSURE, W/ GATE TO PARKING AREA



**1** FIRST FLOOR PLAN  
A1.1 SCALE: 1/4" = 1' - 0"



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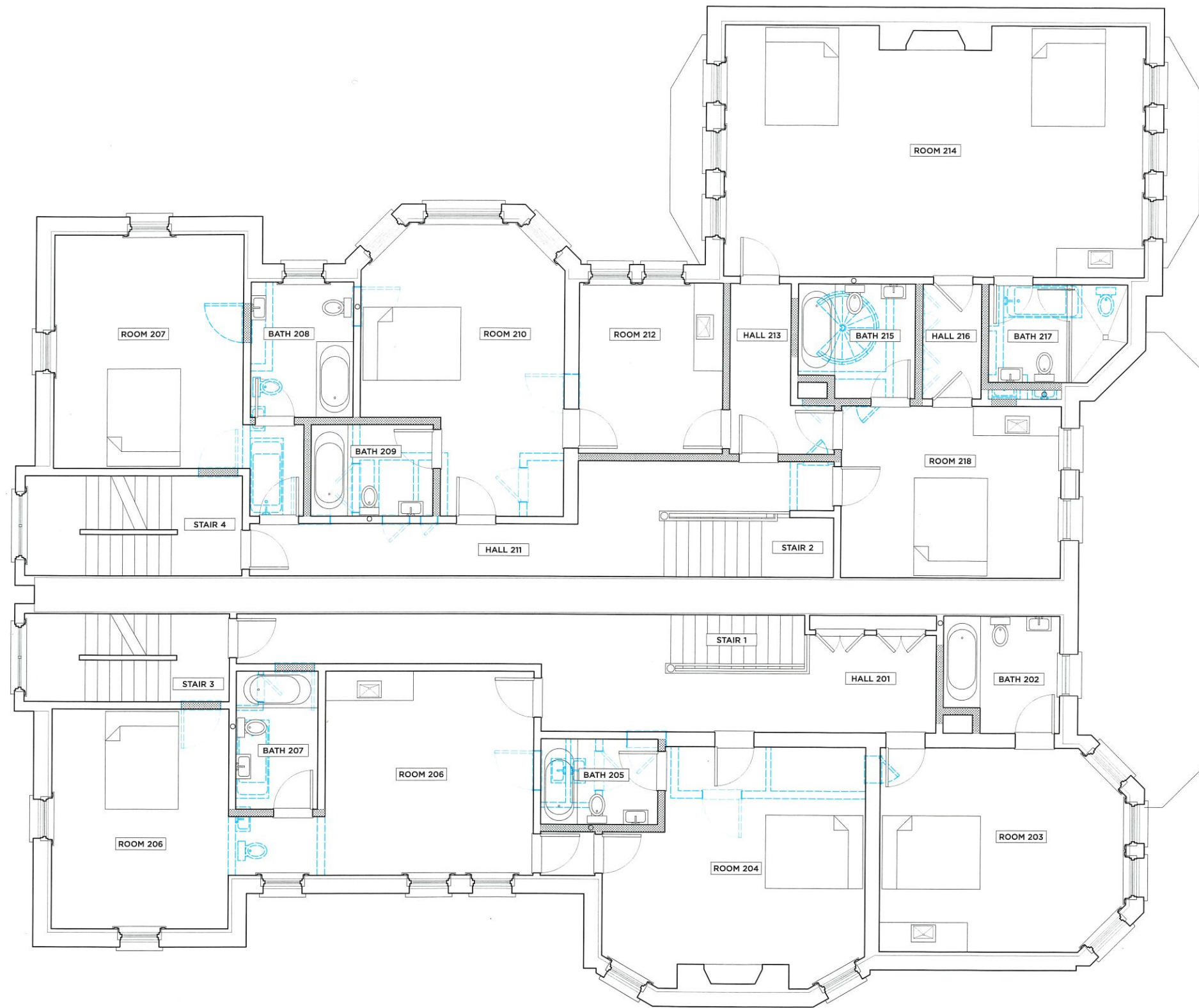
**PLAN NOTES**

**GENERAL NOTES**

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NEW WALLS SHOWN SHADED GREY  
EXISTING WALLS TO BE REMOVED SHOWN IN DASHED BLUE

REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION



**1** SECOND FLOOR PLAN  
A1.2 SCALE: 1/4" = 1' - 0"



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734 East Wright Street | Milwaukee WI | 53212  
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**A1.2**



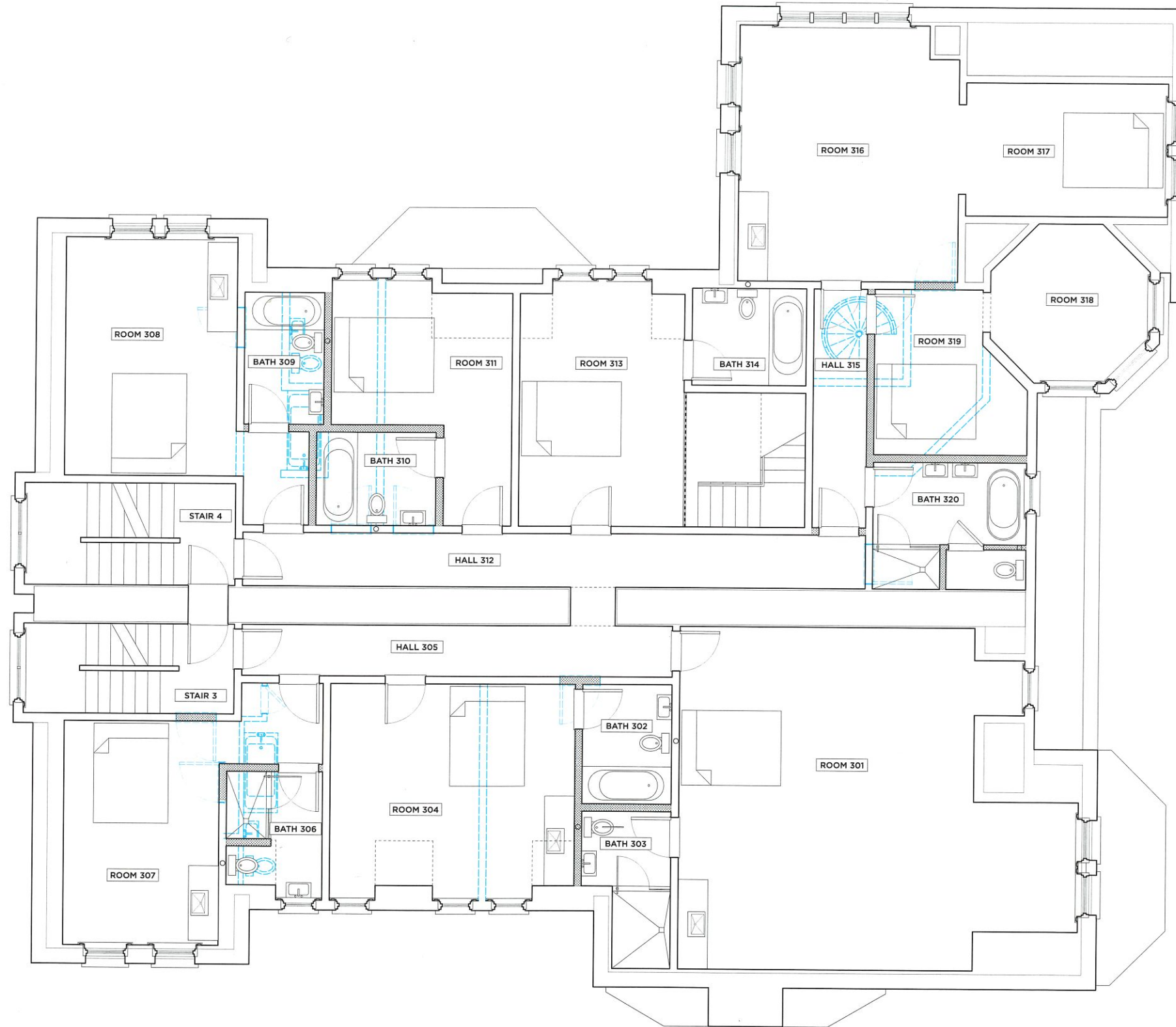
**PLAN NOTES**

**GENERAL NOTES**

PRESERVE AND PROTECT REMAINING HISTORIC ARTIFACTS, INCLUDING BUT NOT LIMITED TO PANELING, MIRRORS, STAIRS, BASE, CROWN, CASING, CABINETS, BENCHES, MANTELS, SURROUNDS, DOORS AND MISC. DETAILS.

NEW WALLS SHOWN SHADED GREY  
EXISTING WALLS TO BE REMOVED SHOWN IN DASHED BLUE

REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION



**1** THIRD FLOOR PLAN  
A1.3 SCALE: 1/4" = 1' - 0"



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414.336.5853 | ramseyjones@sbcglobal.net  
734 East Wright Street | Milwaukee WI | 53212  
ramseyjonesarchitects.com

**RAMSEY JONES** | ARCHITECTS

**A1.3**

### PLAN NOTES

#### GENERAL NOTES

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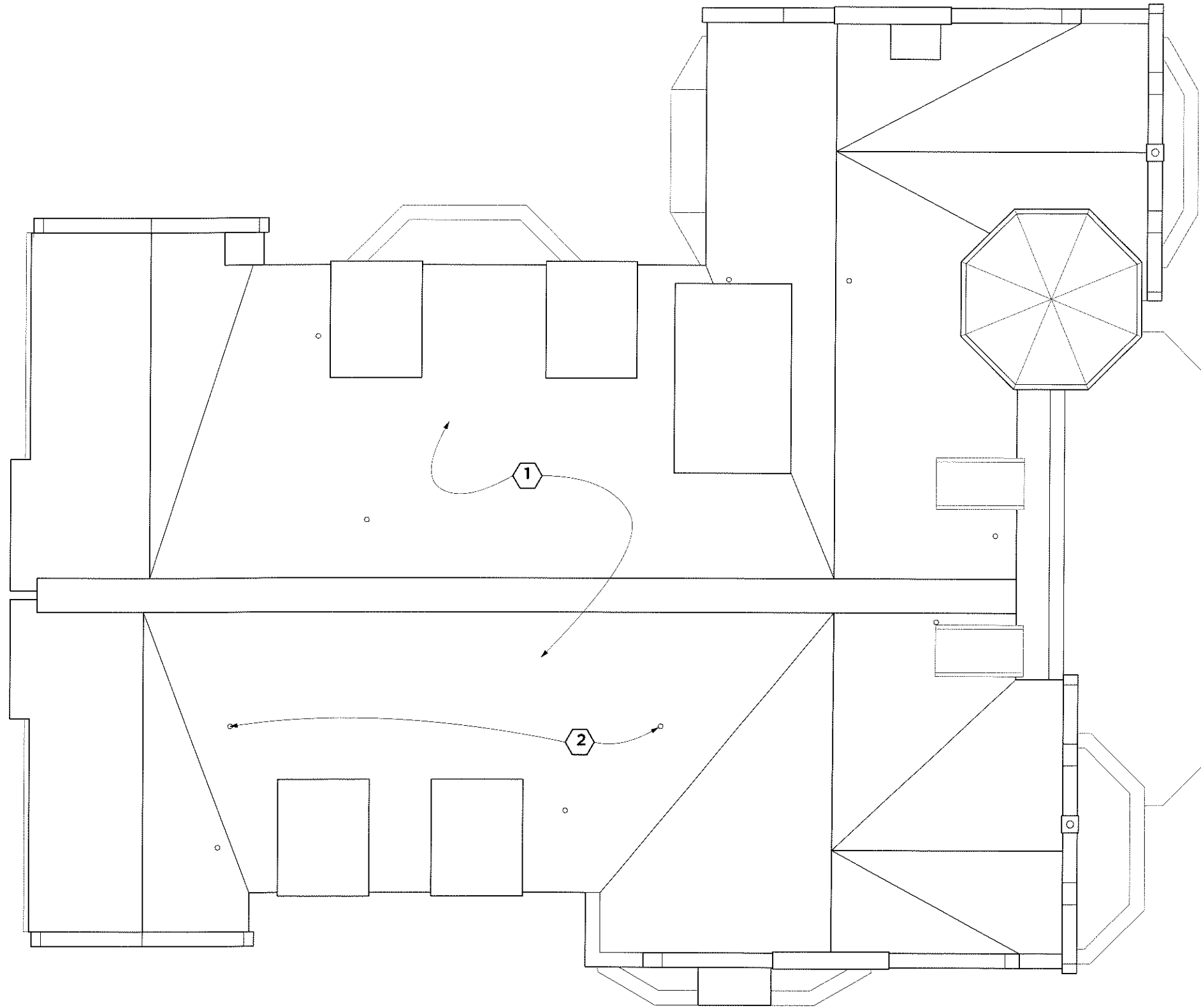
NEW WALLS SHOWN SHADED GREY  
EXISTING WALLS TO BE REMOVED SHOWN IN DASHED BLUE

REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION

#### KEY NOTES

1 INSPECT AND REPAIR ANY IDENTIFIABLE ROOFING, FLASHING, COPING DEFICIENCIES USING LIKE MATERIALS AND METHODS

2 NEW BATHROOM EXHAUST VENTS IN CAST IRON OR GALVANIZED PIPE



**1** ROOF PLAN  
A1.4 SCALE: 1/4" = 1' - 0"

414.336.5853 | ramseyjones@sbcglobal.net  
734 East Wright Street | Milwaukee WI | 53212  
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**A1.4**



**ELEVATION NOTES**

**GENERAL NOTES**

- REPAIR AND RE-PAINT EXISTING WOOD TRIM BLACK
- TUCK POINT BRICK IN LIMITED AREAS W/ MORTAR TO MATCH TYPE AND COLOR OF EXISTING
- REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION, PAINT BLACK TO MATCH EXISTING

**KEY NOTES**

- 1 REPLACE EXISTING PIPE RAIL WITH NEW OR RECLAIMED WROUGHT IRON OR BRONZE HANDRAIL
- 2 REMOVE AND REPLACE EXISTING QUARRY TILE ON PORCH W/ MUDSET FLAGSTONES; LIMESTONE OR BLUESTONE
- 3 REPLACE WOOD BOX COLUMNS WITH NEW WOOD COLUMNS CONSISTENT WITH ENGLISH RENAISSANCE REVIVAL STYLE, ARCHITECT TO SELECT
- 4 REFURBISH AND AFFIX EXISTING DOOR IN PLACE, PAINT DOOR SIDE OF NEW INTERIOR WALL W/ GRAPHITE COLOR, FINISH CLEAN
- 5 NEW CANOPY/HOOD SIGN 7' X 120" = 6.75 SF BRASS OR BRONZE LETTERS W/ GROUND PLACED SPOT UPLIGHTS

**1 EAST ELEVATION**  
 A2.1 SCALE: 1/4" = 1' - 0"

414.336.5853 | ramseyjones@sbcglobal.net  
 734 East Wright Street | Milwaukee WI | 53212  
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PROJECT NO. 1702

**A1.3**





**ELEVATION NOTES**

**GENERAL NOTES**

- REPAIR AND RE-PAINT EXISTING WOOD TRIM BLACK
- TUCK POINT BRICK IN LIMITED AREAS W/ MORTAR TO MATCH TYPE AND COLOR OF EXISTING
- REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION, PAINT BLACK TO MATCH EXISTING

**KEY NOTES**

- 1** NEW WALL SIGN, MOUNTED FLAT W/ BRICK WALL  
5' X 5' = 25 SF

**1 SOUTH ELEVATION**  
A2.2 SCALE: 1/4" = 1' - 0"

414.336.5853 | ramseyjones@sbcglobal.net  
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**A2.2**



**ELEVATION NOTES**

**GENERAL NOTES**

- REPAIR AND RE-PAINT EXISTING WOOD TRIM BLACK
- TUCK POINT BRICK IN LIMITED AREAS W/ MORTAR TO MATCH TYPE AND COLOR OF EXISTING
- REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION, PAINT BLACK TO MATCH EXISTING

**KEY NOTES**

- 1** NEW RAISED PANEL WOOD DOOR WITH HALF LITE AND ACCESSIBLE THRESHOLD, WOOD FRAMED SIDE LIGHT(S) AND TRANSOM SEE A3.3 FOR DOOR IN CONTEXT

**1** WEST ELEVATION  
 A2.3 SCALE: 1/4" = 1' - 0"

414.336.5853 | ramseyjones@sbcglobal.net  
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**A2.3**





**ELEVATION NOTES**

**GENERAL NOTES**

- REPAIR AND RE-PAINT EXISTING WOOD TRIM BLACK
- TUCK POINT BRICK IN LIMITED AREAS W/ MORTAR TO MATCH TYPE AND COLOR OF EXISTING
- REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION, PAINT BLACK TO MATCH EXISTING

**KEY NOTES**

- 1 NEW RAISED PANEL WOOD DOOR WITH HALF LITE AND ACCESSIBLE THRESHOLD, WOOD FRAMED SIDE LIGHT(S) AND TRANSOM SEE A3.3 FOR DOOR IN CONTEXT

**1** NORTH ELEVATION  
 A2.4 SCALE: 1/4" = 1' - 0"

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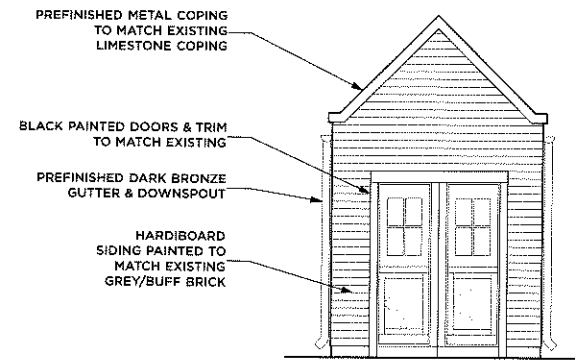
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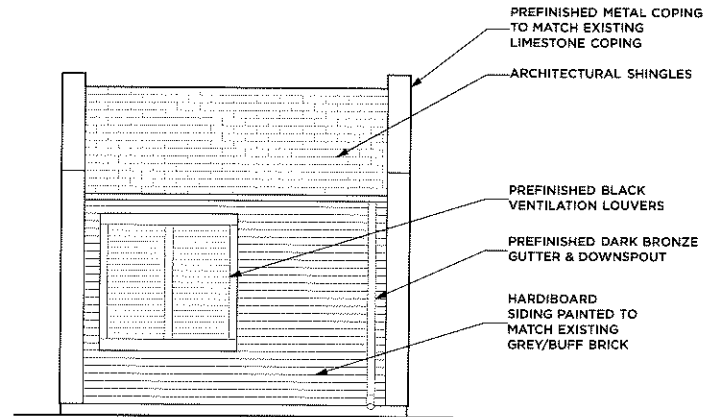
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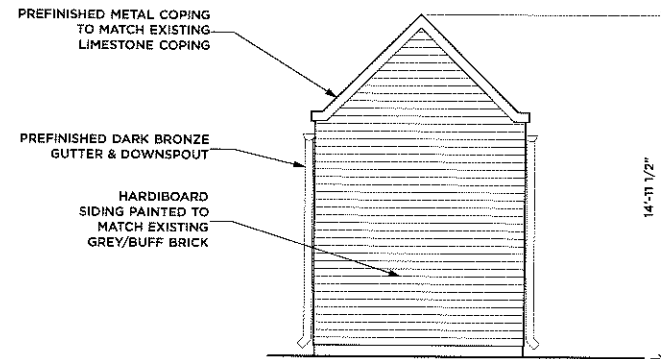
**A2.4**



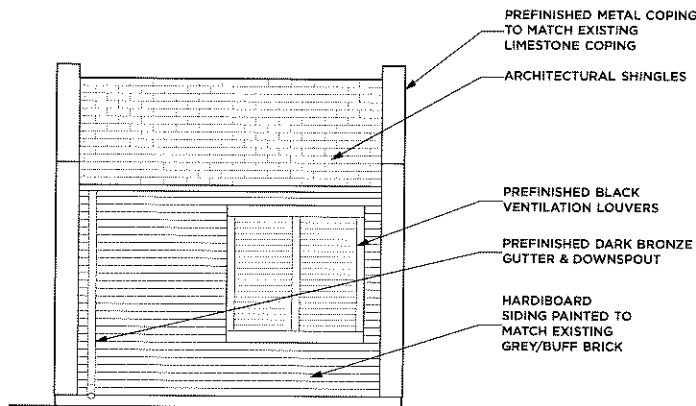
**NORTH ELEVATION**



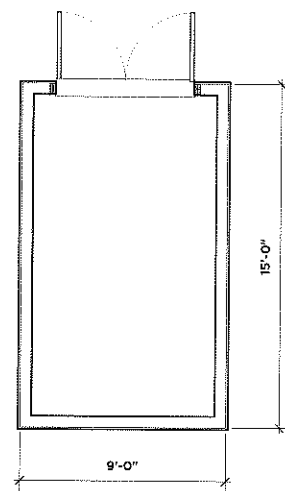
**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**



**PLAN**

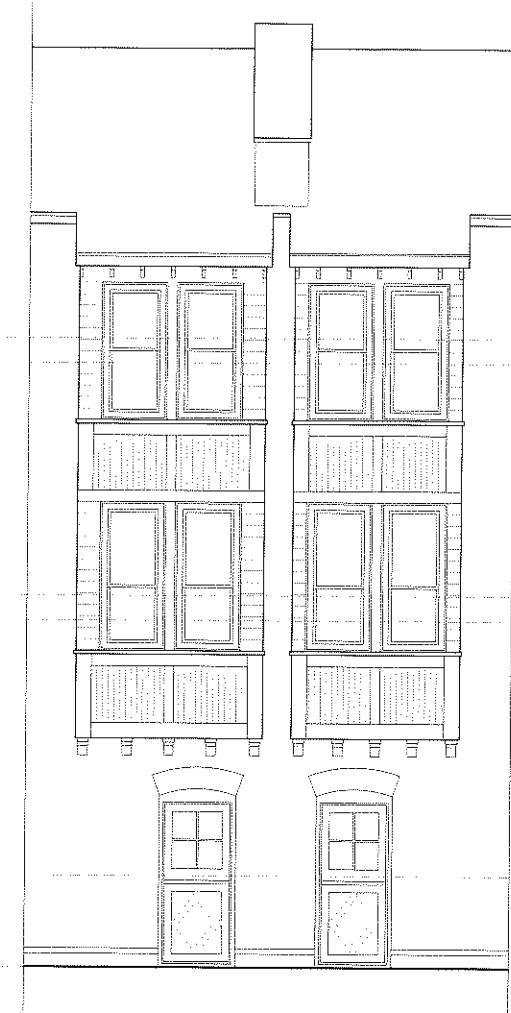
**2 HVAC BLDG**  
A3.1 SCALE: 1/4" = 1' - 0"

F.F. 3RD FLOOR

F.F. 2ND FLOOR

F.F. 1ST FLOOR

FINISH GRADE



**1 PARTIAL ELEVATION**  
A3.1 SCALE: 1/4" = 1' - 0"

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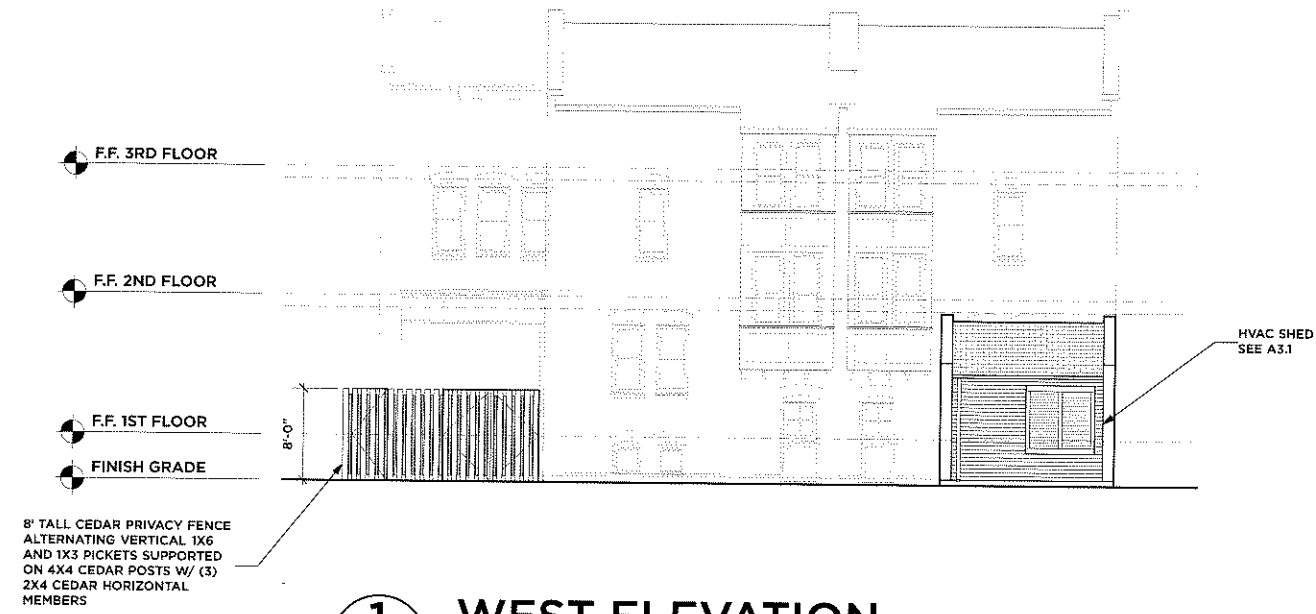
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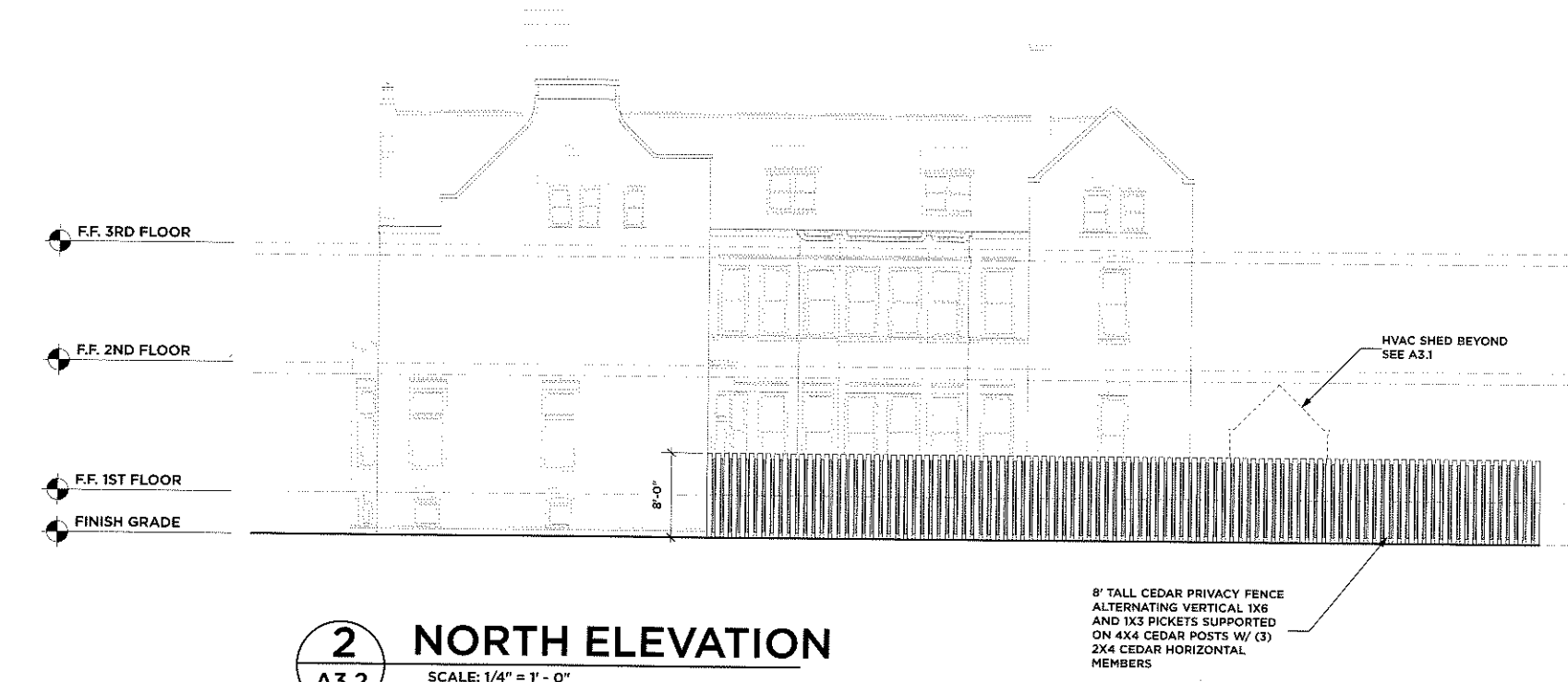
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**A3.1**





**1 WEST ELEVATION**  
 A3.2 SCALE: 1/4" = 1' - 0"



**2 NORTH ELEVATION**  
 A3.2 SCALE: 1/4" = 1' - 0"

8' TALL CEDAR PRIVACY FENCE  
 ALTERNATING VERTICAL 1X6  
 AND 1X3 PICKETS SUPPORTED  
 ON 4X4 CEDAR POSTS W/ (3)  
 2X4 CEDAR HORIZONTAL  
 MEMBERS

8' TALL CEDAR PRIVACY FENCE  
 ALTERNATING VERTICAL 1X6  
 AND 1X3 PICKETS SUPPORTED  
 ON 4X4 CEDAR POSTS W/ (3)  
 2X4 CEDAR HORIZONTAL  
 MEMBERS

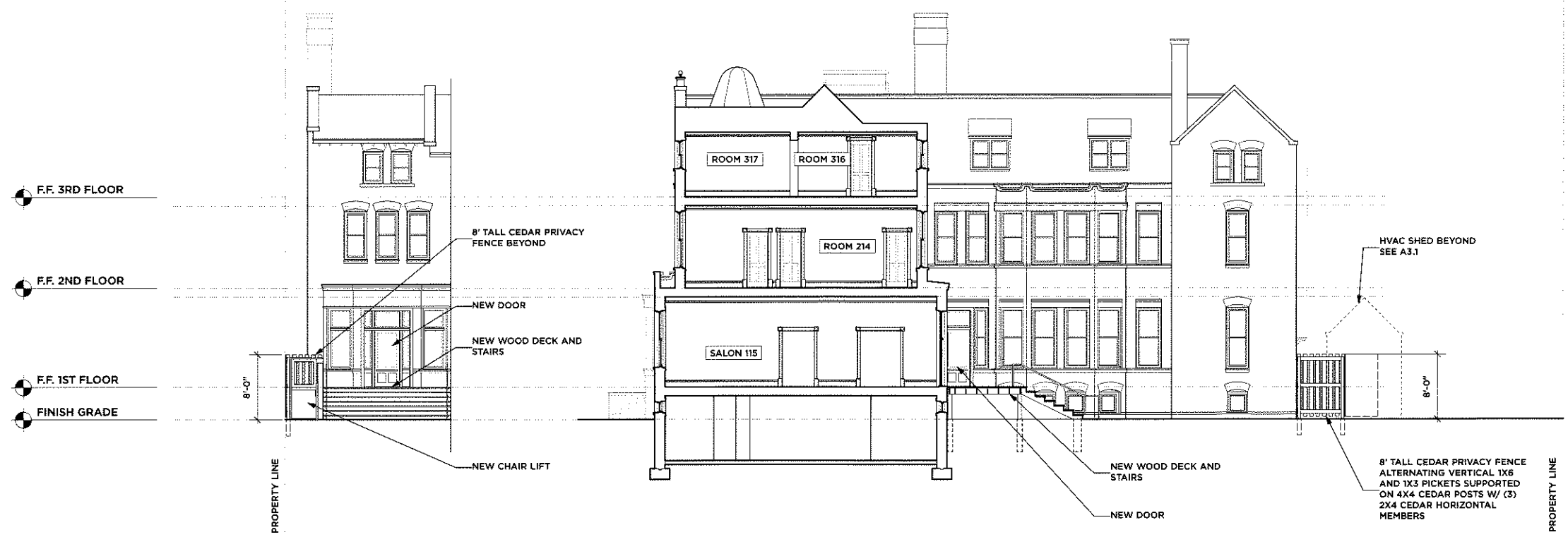
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**A3.2**



**2 PARTIAL ELEVATION**  
 A3.3 SCALE: 1/8" = 1' - 0"

**1 SECTION THRU SALON**  
 A3.3 SCALE: 1/8" = 1' - 0"

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