

1 LOWER LEVEL PLAN  
1/8" = 1'-0"

**KEYED NOTES**

- 1 VERIFY EXISTING WALL MEETS A UL 2 HOUR-RATED ASSEMBLY.
- 2 FULLY ENCLOSE ALL EXISTING STEAM PIPES PASSING THROUGH TRANSFORMER ROOM LL7 WITH UL LISTED 3 HOUR RATED ASSEMBLY (UL19) TO MEET VIBRATION REQUIREMENTS AND SEPARATE STEAM PIPES FROM TRANSFORMER ROOM.
- 3 COORDINATE STORAGE LOCKER CONSTRUCTION WITH OWNER PRIOR TO INSTALLATION. TYPICAL.
- 4 LEVEL FLOOR PRIOR TO INSTALLATION OF STORAGE UNITS.

**LEGEND**

- EXISTING WALLS
- NEW WALLS
- NEW RATED WALLS
- CLEARSTORY WINDOWS
- EXISTING STEEL STRUCTURE WITH 2-HR FIRE RATED COLUMN WRAP
- DENOTES EXISTING DOOR
- DENOTES NEW DOOR
- WALL TYPE

**GENERAL PLAN NOTES**

- A. TYPICAL INTERIOR WALL TYPE SCOF. SEE A101 FOR WALL ASSEMBLY INFORMATION.
- B. TYPICAL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL IF NOT DIMENSIONED.
- C. PROVIDE BLOCKING AS NECESSARY FOR CABINETS, TOILET ACCESSORIES, OR EQUIPMENT SHOWN IN PLANS AND INTERIOR ELEVATIONS.
- D. ALL WHEDA UNIVERSAL UNITS TO MEET ANBI 117, WHEDA CRITERIA.
- E. "ALIGN" MEANS TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- F. "TYPICAL" (OR TYP.) MEANS THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS NOTED.
- G. ALL GRID LINES ARE SHOWN FOR REFERENCE ONLY. ALL DIMENSIONS TO EXISTING SHOULD BE FIELD VERIFIED.
- H. ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE OF GYP, FACE OF CMU OR CENTERLINE OF DEVICES WALL.
- I. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED AS REQUIRED TO MAINTAIN RATED CONDITIONS.
- J. REFER TO A400 FOR ADA STANDARD DIMENSIONS FOR THE LOCATION OF ACCESSORIES, UNLESS NOTED.
- K. ALL SIGNAGE AT COMMON AREAS AND APARTMENT ENTRIES TO MEET ACCESSIBILITY REQUIREMENTS.
- L. ALL FIRE RATED PARTITIONS BETWEEN UNITS TO CONTINUE TO EXTERIOR WALLS.
- M. WALLTYPE\_15 DOORS TO REMAIN AND LOCKED PER NATIONAL PARKS SERVICE HISTORIC TAX CREDIT APPLICATION.
- N. WALL TYPE S2SC TO BE USED AS 2-HOUR FIRE RATED ENCLOSURE OF EXISTING STEEL STRUCTURE WHERE REQUIRED.

**PROJECT NAME:**  
GERMANIA  
135 WEST WELLS  
MILWAUKEE, WI 53203

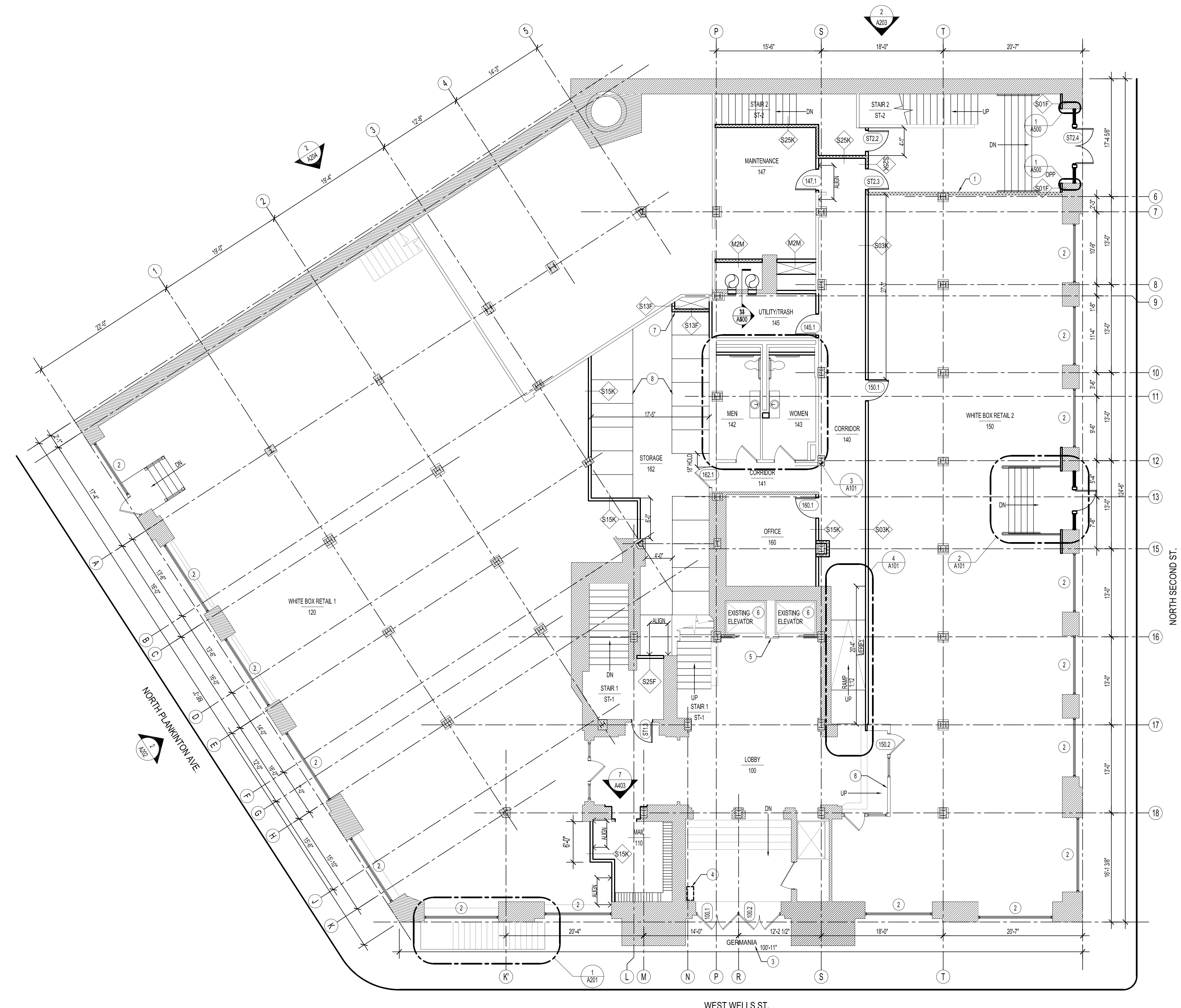
**OWNERS INFO:**  
CARDINAL CAPITAL  
MANAGEMENT, INC.  
901 S. 70TH STREET  
WEST ALLIS, WI 53214  
P 414.727.9902

**ARCHITECT:**  
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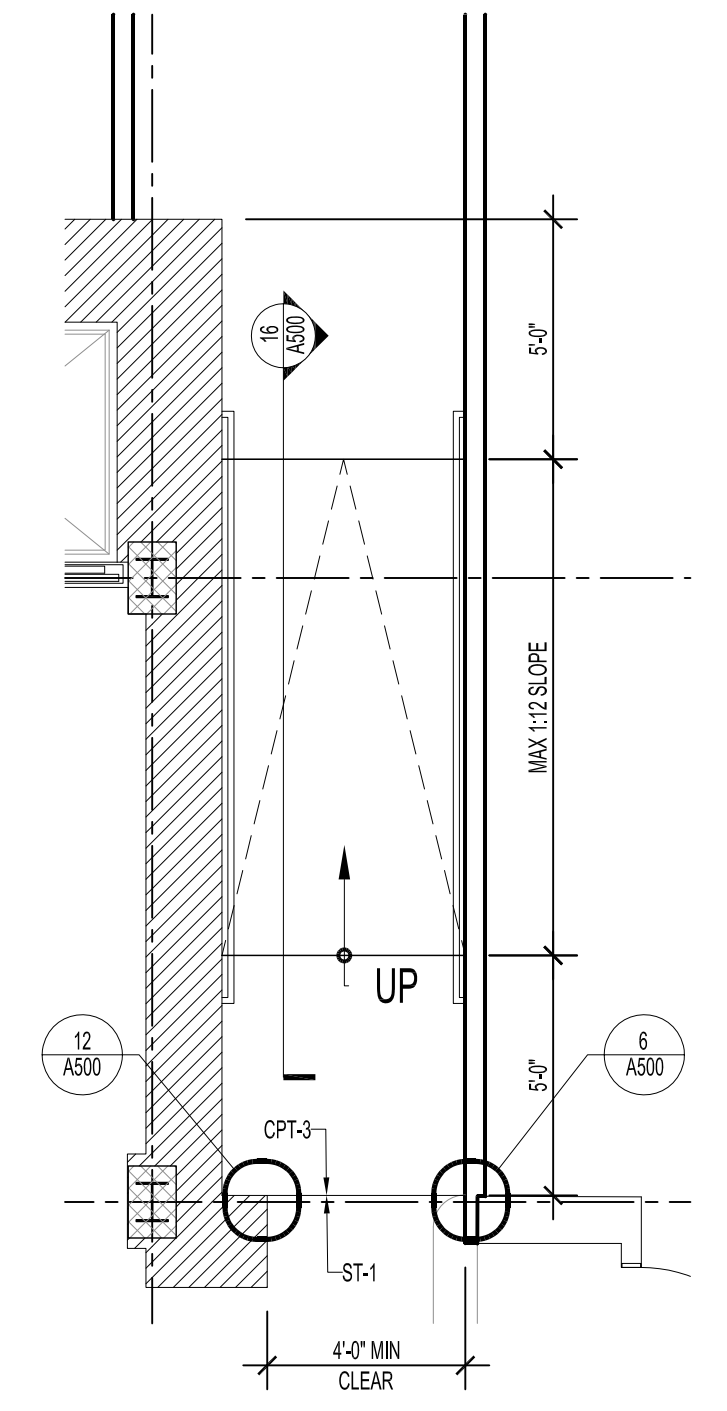
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REV. NO.	DATE

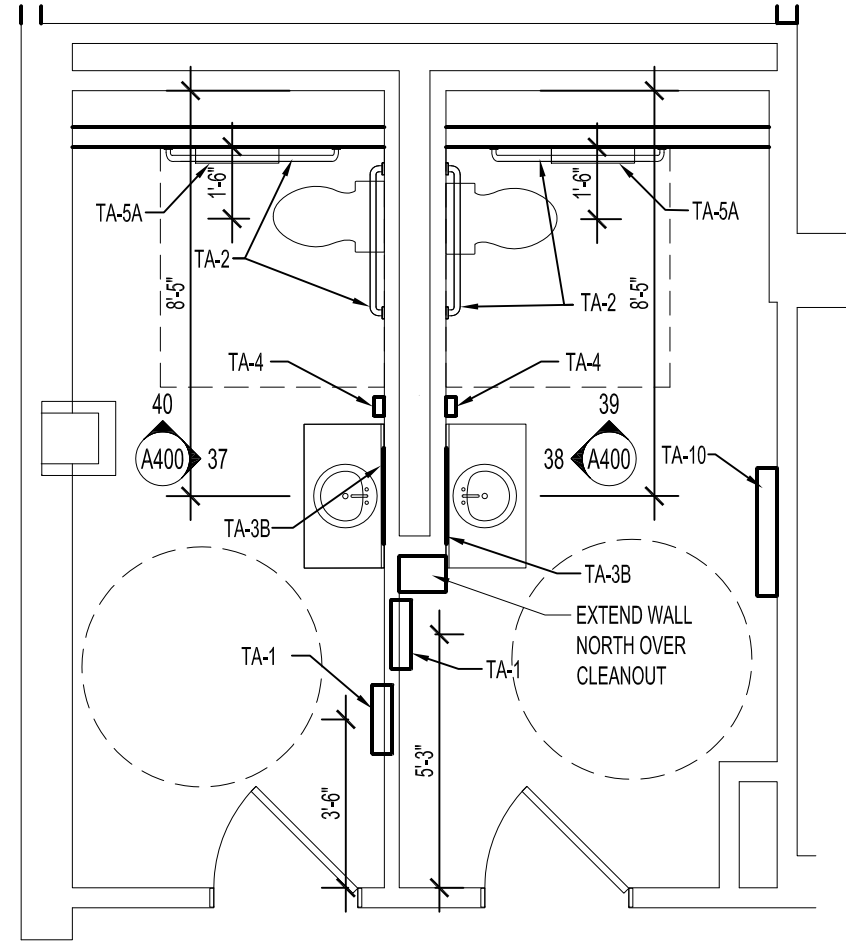
PROJ. NO:	A1023
SCALE:	AS NOTED
PHASE:	CONSTRUCTION SET
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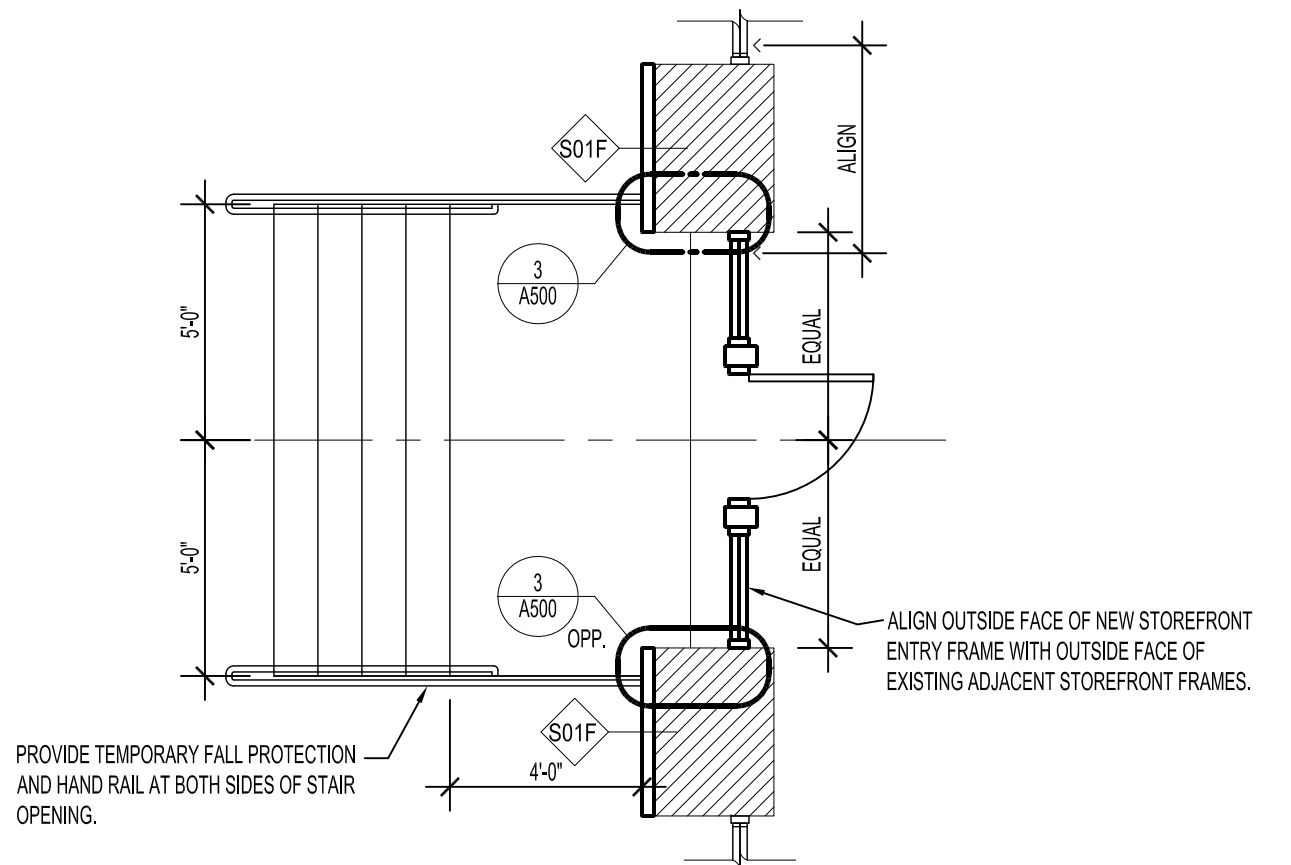
1 FIRST FLOOR PLAN  
1/8" = 1'-0"



4 ENLARGED RAMP PLAN  
1/4" = 1'-0"



3 ENLARGED BATHROOM PLANS  
1/4" = 1'-0"



2 ENLARGED STAIR PLAN  
1/4" = 1'-0"

**KEYED NOTES**

- 1 VERIFY EXISTING ASSEMBLY MEETS A 2-HOUR FIRE RATING. MODIFY WALLS THAT DO NOT MEET A 2-HOUR RATING TO A 2-HOUR RATING ASSEMBLY. VERIFY WALL TYPE WITH ARCHITECT.
- 2 PREPARE AND PAINT INTERIOR AND EXTERIOR WINDOW STOPS.
- 3 REPLACE MISSING 'X' TO MATCH MATERIAL AND FONT OF EXISTING INSET LETTERS.
- 4 NEW FIRE COMMAND CENTER. LOCATION SHOWN FOR DESIGN INTENT. COORDINATE FINAL LOCATION WITH FIRE PROTECTION AND SECURITY DESIGN BUILD CONTRACTORS AND ARCHITECT PRIOR TO INSTALLATION.
- 5 EXISTING MAIL CHUTE TO REMAIN PER NATIONAL PARKS SERVICE FOR HISTORIC TAX CREDITS. MODIFY EXISTING COVER TO SEAL OFF SLOT PANEL AT EACH LEVEL. VERIFY WITH ARCHITECT PRIOR TO MAIL CHUTE MODIFICATIONS.
- 6 MODIFY EXISTING ELEVATOR CONTROLS TO MEET ADA REQUIREMENTS. MODIFY CAB TO INCREASE CAB HEIGHT. INSTALL NEW FLOORING.
- 7 COORDINATE LOCATION AND SIZE OF SHAFT WITH ELECTRICAL DESIGN BUILD CONTRACTOR. STORAGE UNIT LOCATION AND SIZE TO BE MODIFIED TO ACCOMMODATE SHAFT. QUANTITY OF STORAGE UNITS TO REMAIN THE SAME.
- 8 PATCH WALL WHERE SIGN WAS REMOVED AND PREPARE FOR PAINT.

**LEGEND**

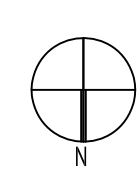
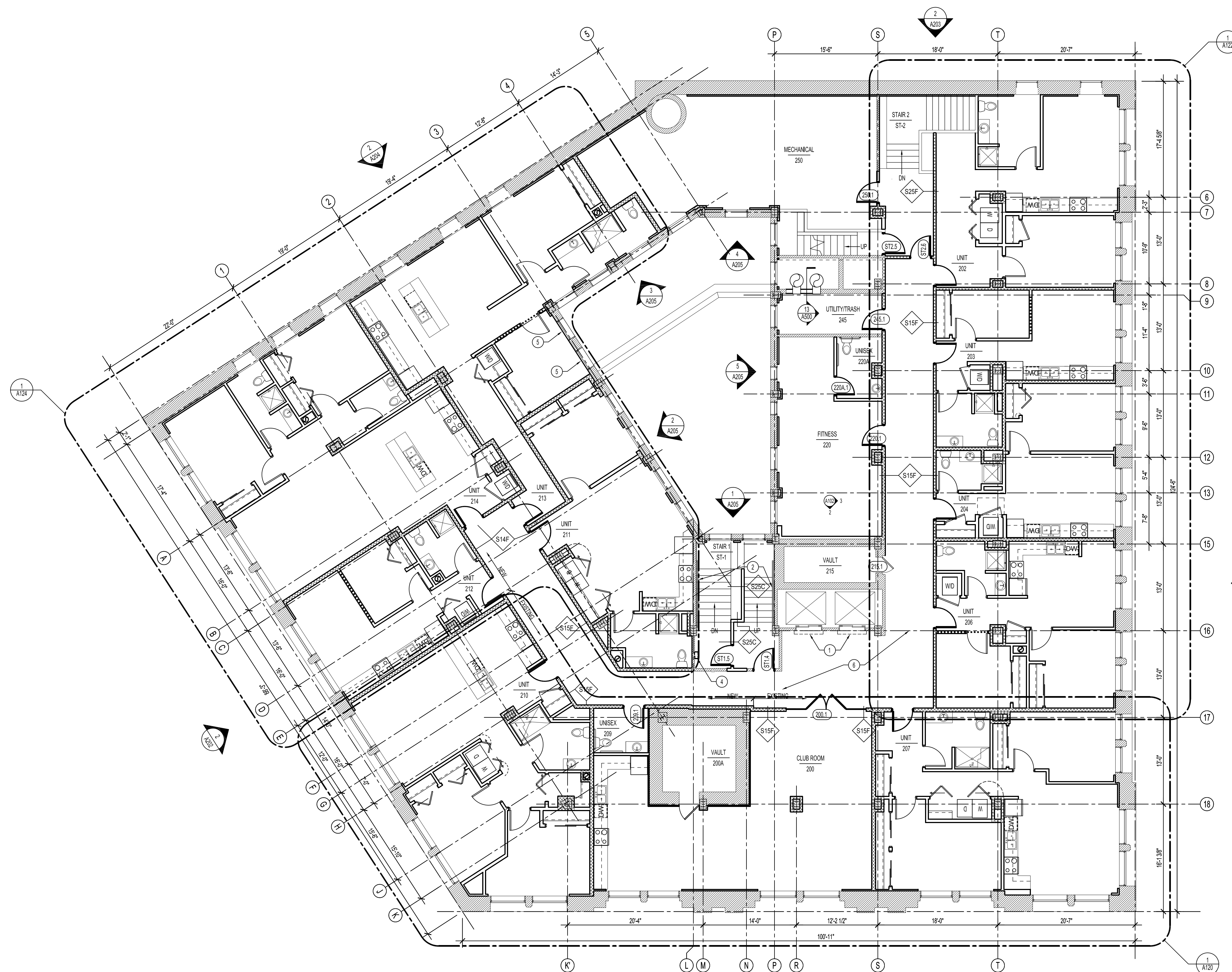
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**GENERAL PLAN NOTES**

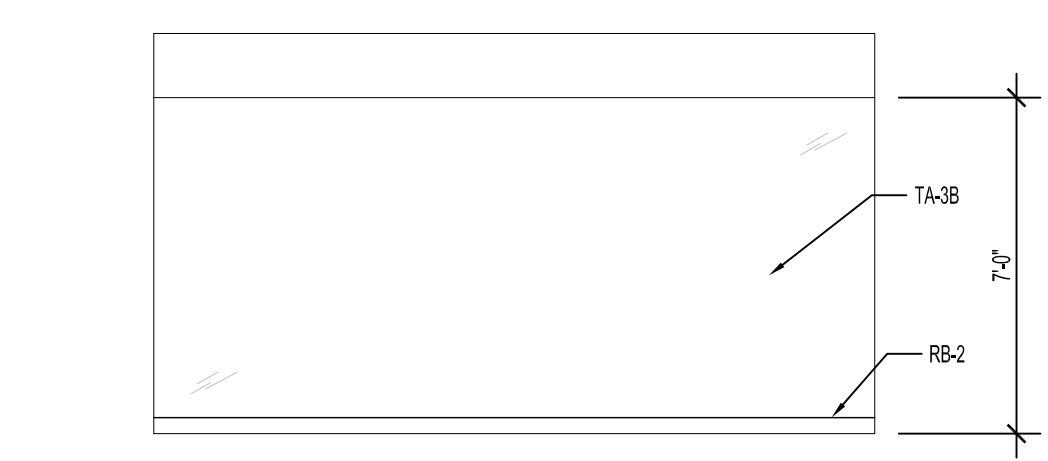
- A. TYPICAL INTERIOR WALL TYPE S20C. SEE A101 FOR WALL ASSEMBLY INFORMATION.
- B. TYPICAL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL IF NOT DIMENSIONED.
- C. PROVIDE BLOCKING AS NECESSARY FOR CABINETS, TOILET ACCESSORIES, OR EQUIPMENT SHOWN IN PLANS AND INTERIOR ELEVATIONS.
- D. ALL WHEBA UNIVERSAL UNITS TO MEET ANBI 117. WHEBA CRITERIA.
- E. "ALIGN" MEANS TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- F. "TYPICAL" (OR TYP.) MEANS THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS NOTED.
- G. ALL GRID LINES ARE SHOWN FOR REFERENCE ONLY. ALL DIMENSIONS TO EXISTING SHOULD BE FIELD VERIFIED.
- H. ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE OF 0'9", FACE OF CMU OR CENTERLINE OF DEVISING WALL.
- I. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED AS REQUIRED TO MAINTAIN RATED CONDITIONS.
- J. REFER TO A401 FOR ADA STANDARD DIMENSIONS FOR THE LOCATION OF ACCESSORIES, UNLESS NOTED.
- K. ALL SIGNAGE AT COMMON AREAS AND APARTMENT ENTRIES TO MEET ACCESSIBILITY REQUIREMENTS.
- L. ALL FIRE RATED PARTITIONS BETWEEN UNITS TO CONTINUE TO EXTERIOR WALLS.
- M. WALLTYPE 15 DOORS TO REMAIN AND LOCKED PER NATIONAL PARKS SERVICE HISTORIC TAX CREDIT APPLICATION.
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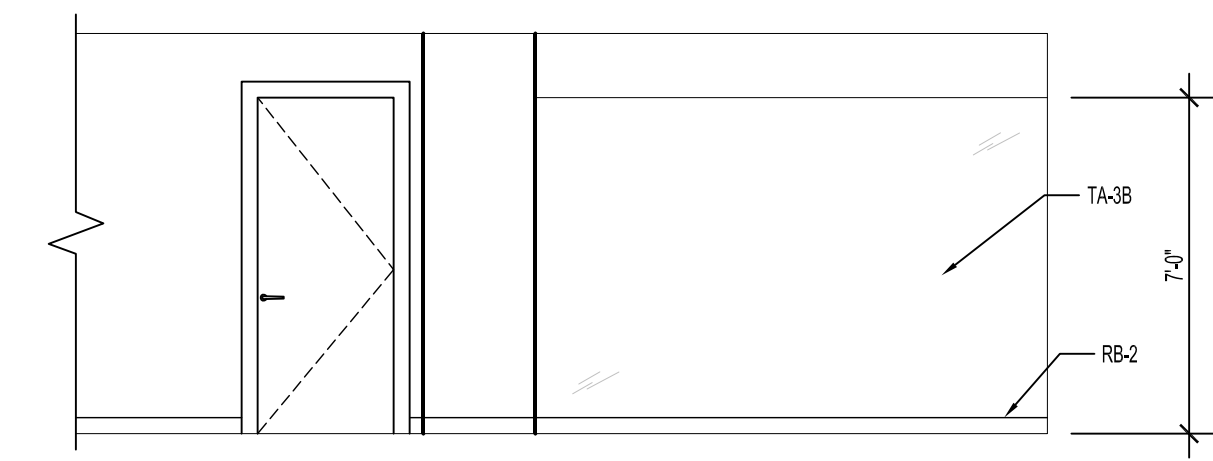
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1 SECOND FLOOR PLAN  
1/8" = 1'-0"



2 FITNESS ROOM - NORTH  
1/4" = 1'-0"



3 FITNESS ROOM - WEST  
1/4" = 1'-0"

**KEYED NOTES**

- 1 SMOKE CURTAIN ABOVE EXISTING ELEVATOR DOOR OPENING TIED INTO FIRE ALARM. ELEVATOR JAMBS TO BE MODIFIED TO ACCEPT.
- 2 HANDRAILS ADDED TO STAIRWELL.
- 3 INSTALL SALVAGED GLASS DOORS. COORDINATE ROUGH OPENING WITH DOOR AND SIDELIGHT DIMENSIONS.
- 4 FIRE CALL/ EVACUATOR PANEL.
- 5 FLOOR OUT WALLS. CONTINUE OVER EXISTING WINDOW OPENING.
- 6 ELEVATOR LOBBY TILE TO BE RE-LAID AND ORIGINAL BORDER DESIGN TO BE CONTINUOUS AROUND THE ENTIRE LOBBY. TILE CAN BE SALVAGED FROM THE ELEVATOR LOBBY ON OTHER FLOORS TO COMPLETE THIS WORK. VERIFY TRANSITION TO OPT LOCATION WITH ARCHITECT.

**LEGEND**

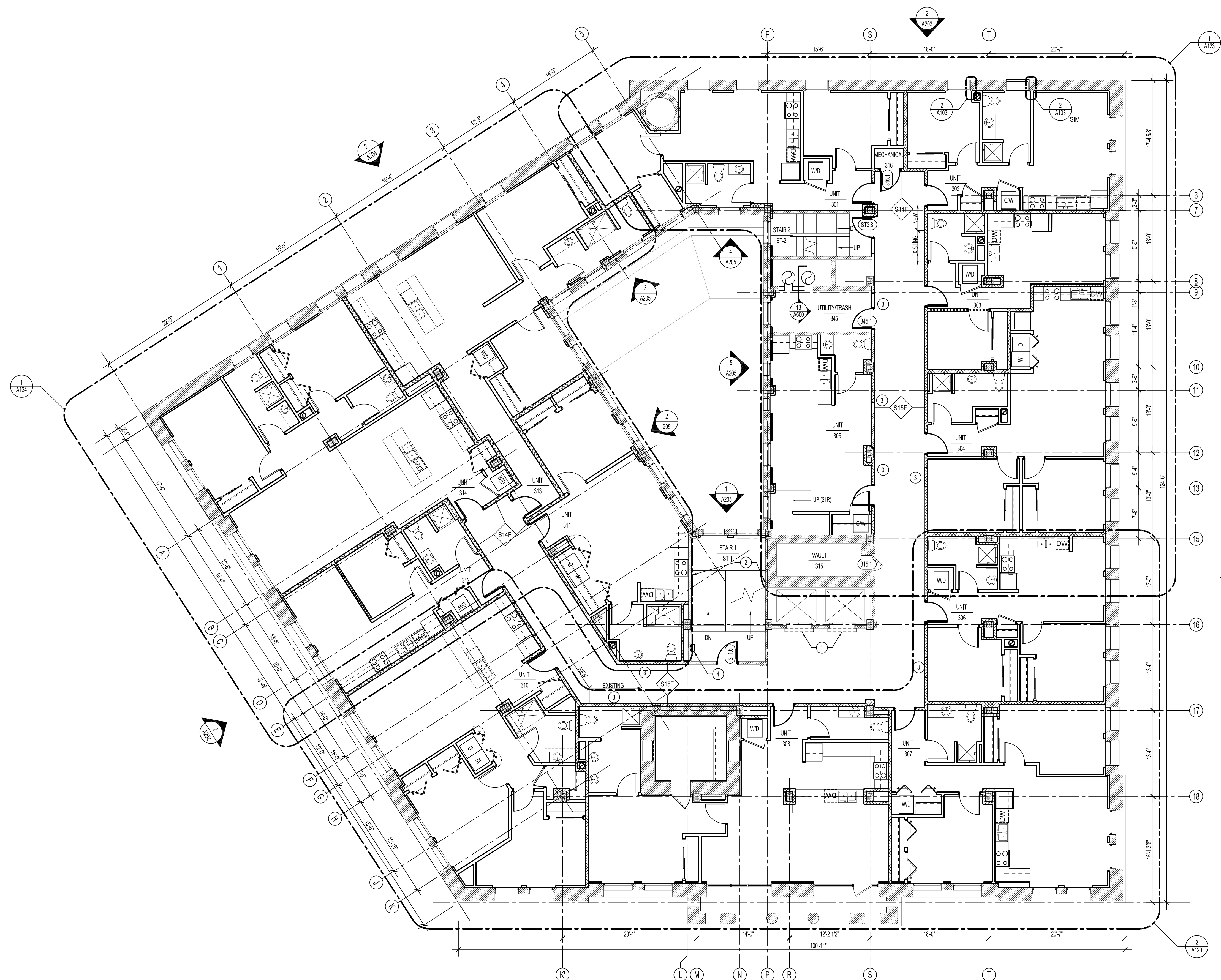
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- NEW RATED WALLS
- CLEARSTORY WINDOWS
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- DNOTES EXISTING DOOR
- DNOTES NEW DOOR
- WALL TYPE

**GENERAL PLAN NOTES**

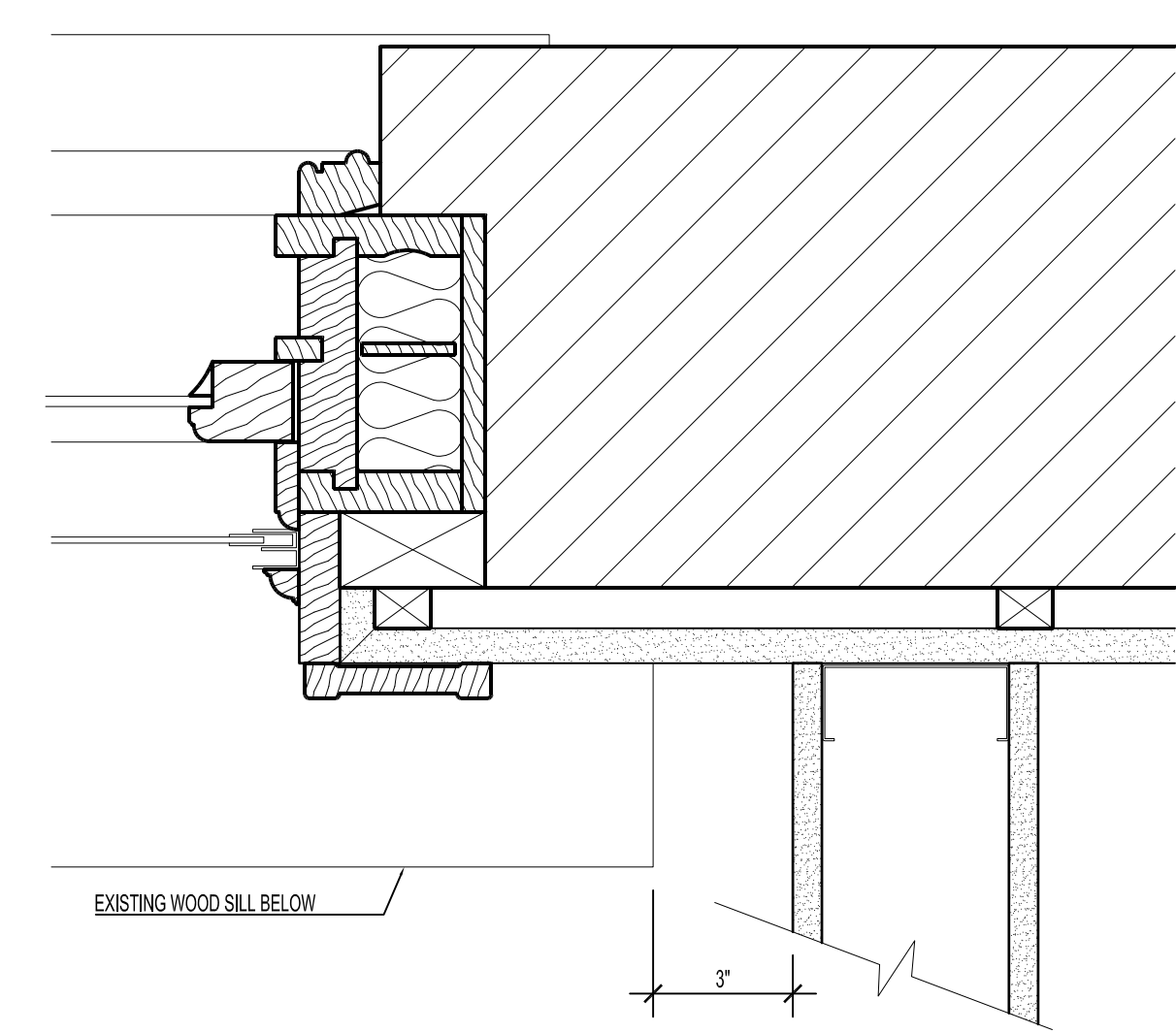
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1 THIRD FLOOR PLAN  
1/8" = 1'-0"



2 MODIFIED WINDOW JAMB DETAIL TYPICAL  
3/8" = 1'-0"

- KEYED NOTES**
- 1 SMOKE CURTAIN ABOVE EXISTING ELEVATOR DOOR OPENING TIED INTO FIRE ALARM. ELEVATOR JAMBS TO BE MODIFIED TO ACCEPT.
  - 2 HANDRAILS ADDED TO STAIRWELL.
  - 3 INFILL WALL AT LOCATION OF REMOVED DOOR OPENING WITH 1-HOUR FIRE RATED ASSEMBLY, ALIGN BOTH FACES OF WALLS WITH ADJACENT. INSTALL MARBLE WAINSCOT PANEL AND WOOD CAP AT CORRIDOR SIDE TO MATCH EXISTING.
  - 4 FIRE CALL / EMUJICATOR PANEL.

**LEGEND**

	EXISTING WALLS
	NEW WALLS
	NEW RATED WALLS
	CLEARSTORY WINDOWS
	EXISTING STEEL STRUCTURE WITH 24HR FIRE RATED COLUMN WRAP
	DENOTES EXISTING DOOR
	DENOTES NEW DOOR
	WALL TYPE

- GENERAL PLAN NOTES**
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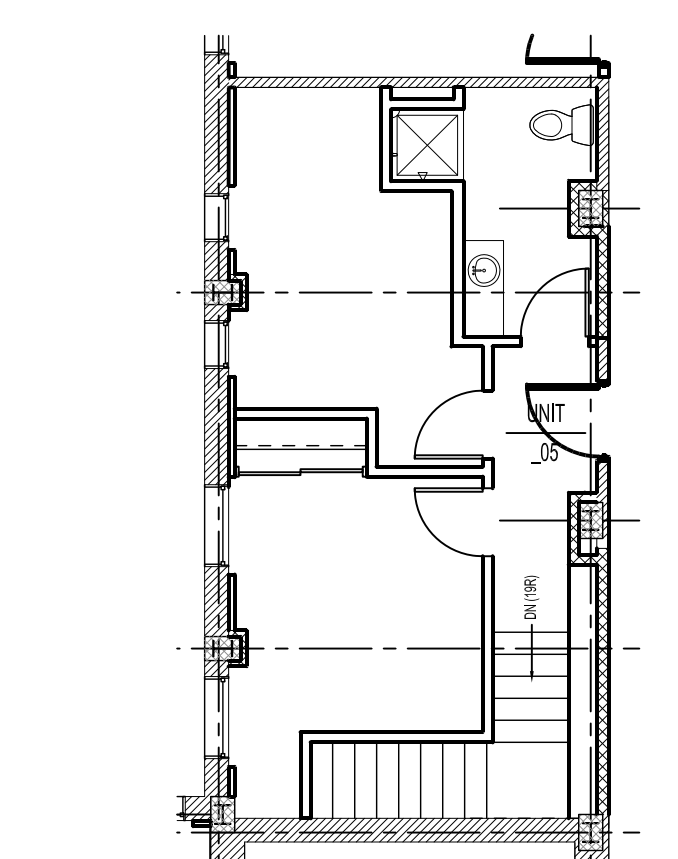
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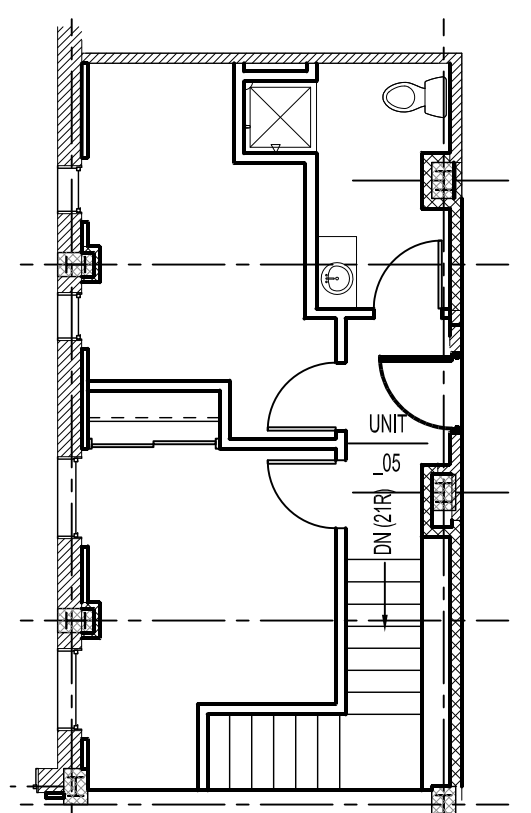
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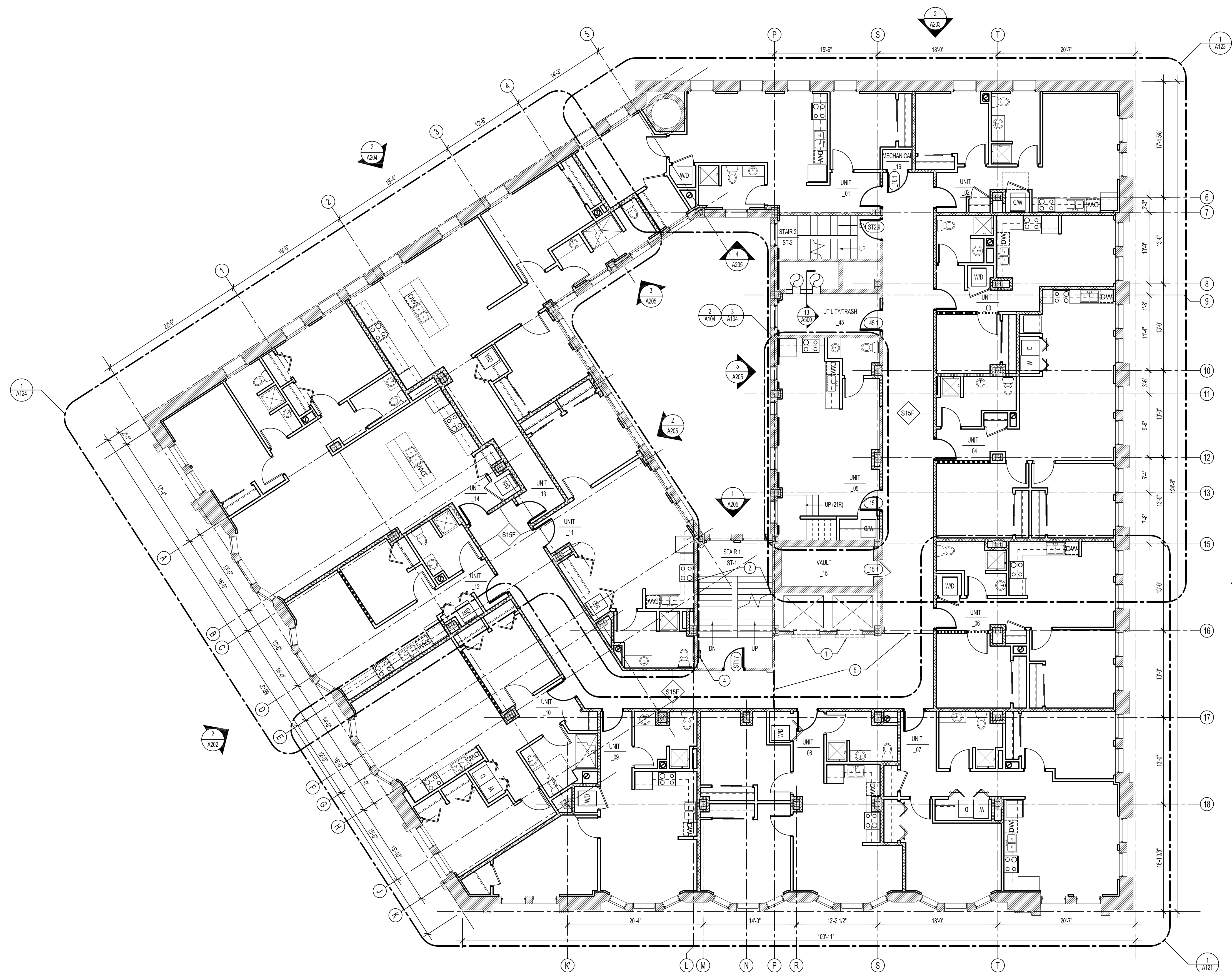
3 SIXTH FLOOR UNIT\_05 PLAN

1/8" = 1'-0"



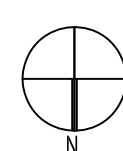
2 FOURTH FLOOR UNIT\_05 PLAN

1/8" = 1'-0"



1 FOURTH - SIXTH FLOOR PLAN

1/8" = 1'-0"



**KEYED NOTES**

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- ② HANDRAILS ADDED TO STAIRWELL.
- ③ INFILL WALL AT LOCATION OF REMOVED DOOR OPENING WITH 1-HOUR FIRE RATED ASSEMBLY. ALIGN BOTH FACES OF WALLS WITH ADJACENT. INSTALL MARBLE IVANSKOT PANEL AND WOOD CAP AT CORRIDOR SIDE TO MATCH EXISTING.
- ④ FIRE CALL / ENUNCIATOR PANEL.
- ⑤ 5TH FLOOR ELEVATOR LOBBY TILE TO BE PATCHED AND REPAIRED AS REQUIRED. TILE CAN BE SALVAGED FROM THE ELEVATOR LOBBY ON OTHER FLOORS TO COMPLETE THIS WORK. VERIFY TRANSITION TO OPT LOCATION WITH ARCHITECT.

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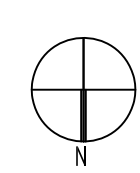
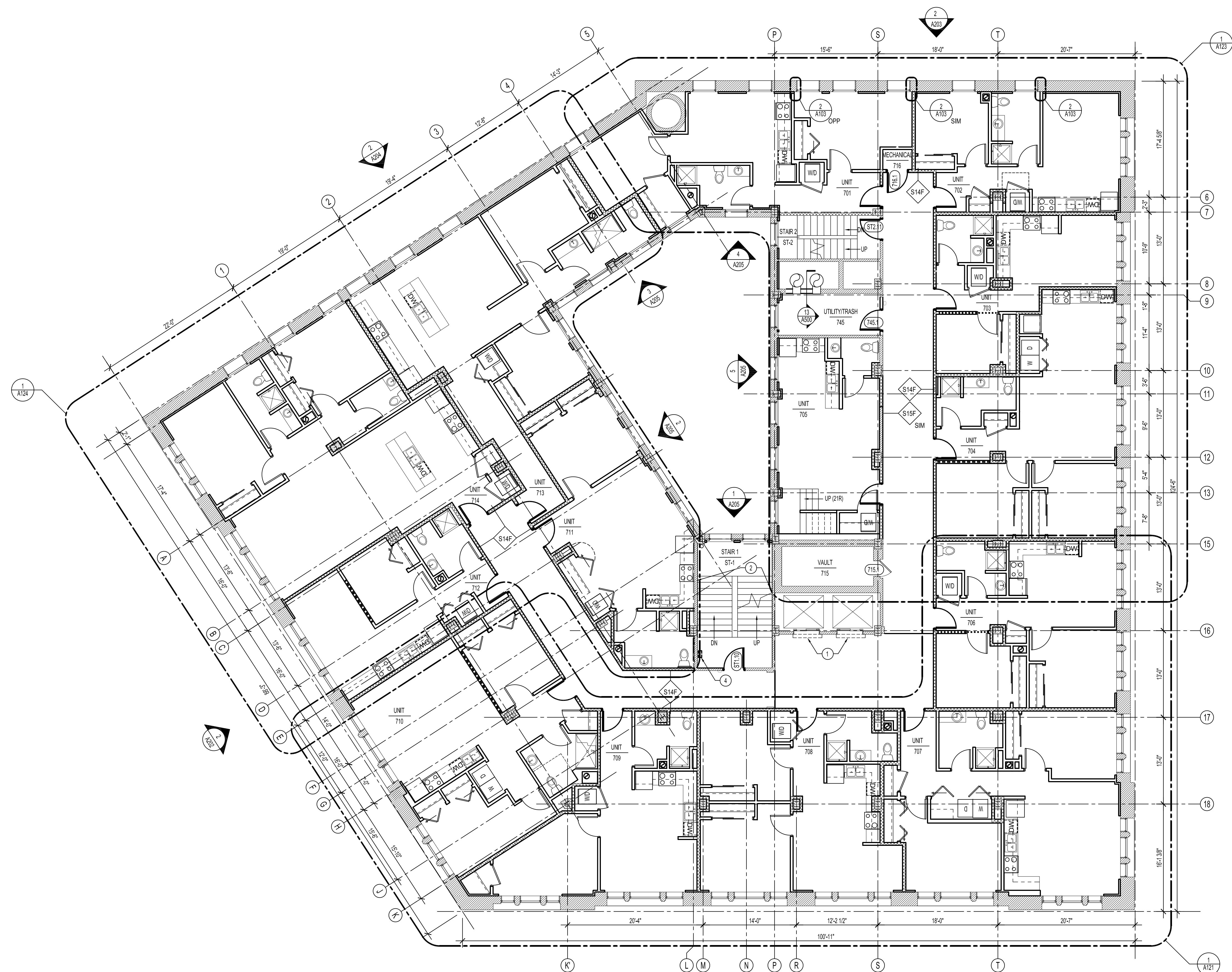
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- B. TYPICAL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL IF NOT DIMENSIONED.
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1 SEVENTH FLOOR PLAN  
1/8" = 1'-0"



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- ② HANDRAILS ADDED TO STAIRWELL.
- ③ IN WALL AT LOCATION OF REMOVED DOOR OPENING WITH 1-HOUR FIRE RATED ASSEMBLY. ALIGN BOTH FACES OF WALLS WITH ADJACENT. INSTALL MARBLE WAINSCOT PANEL AND WOOD CAP AT CORRIDOR SIDE TO MATCH EXISTING.
- ④ FIRE CALL/ ENUNCIATOR PANEL.

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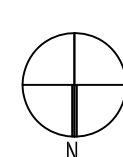
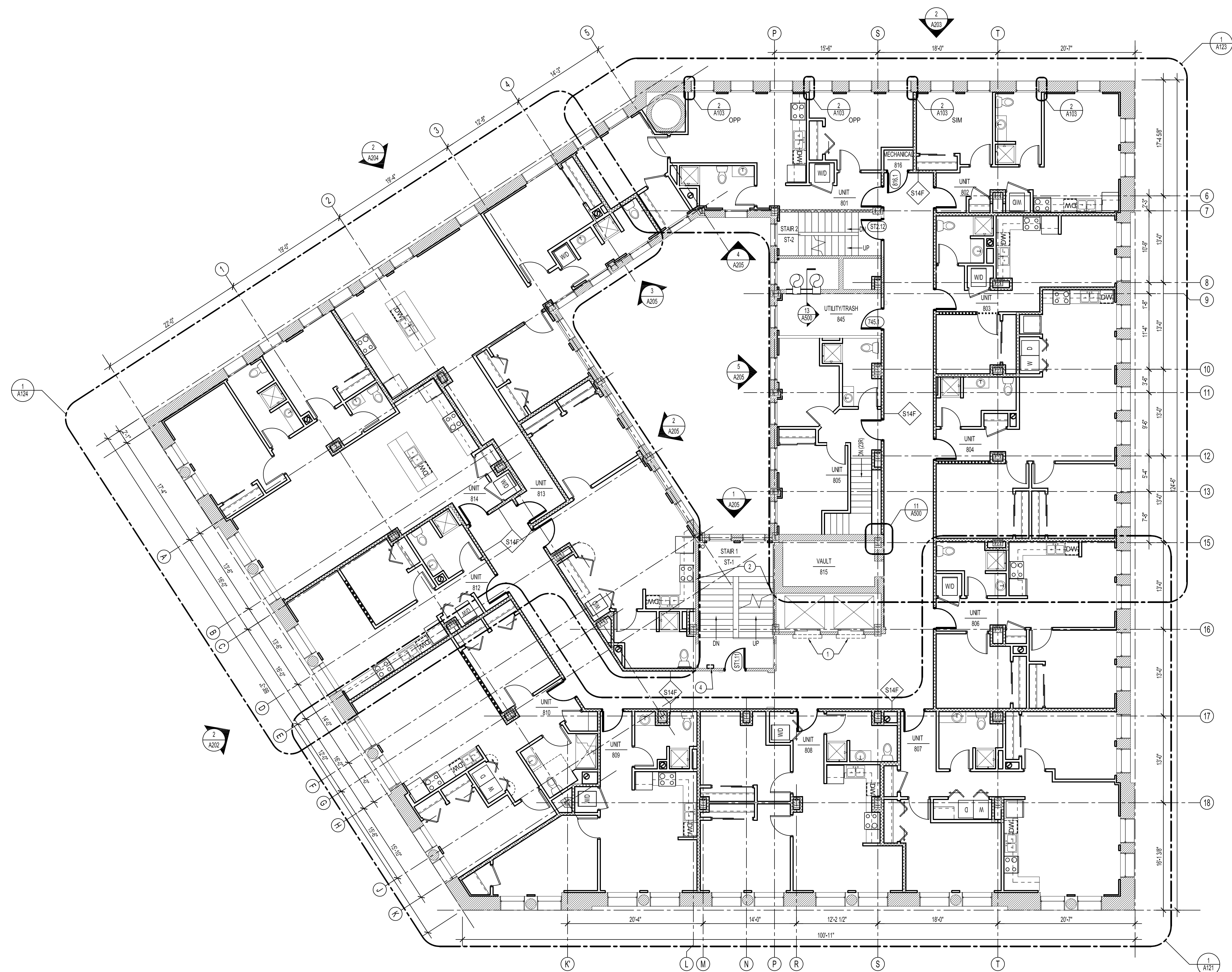
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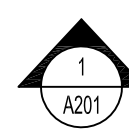
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1 EIGHTH FLOOR PLAN  
1/8" = 1'-0"



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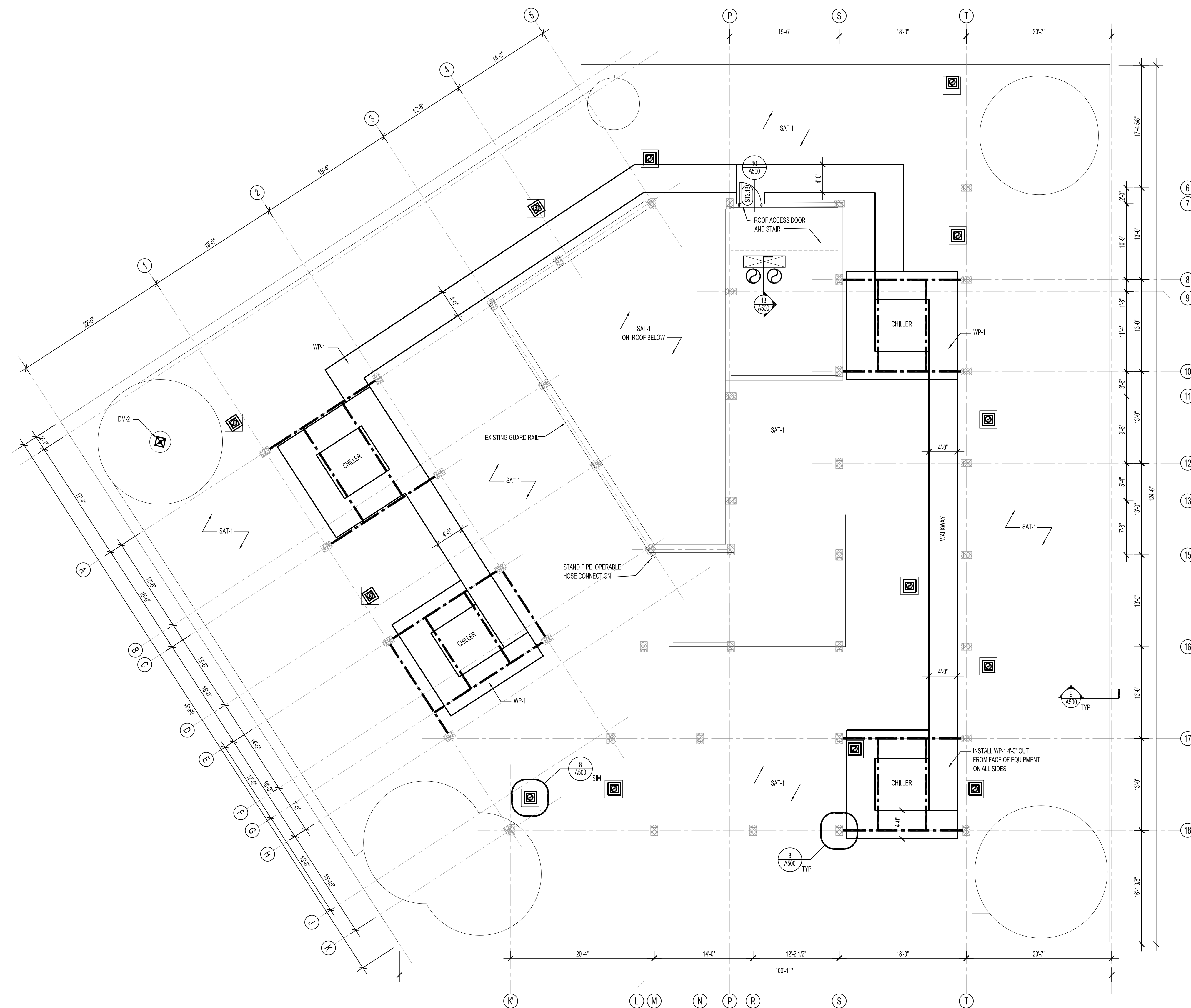
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- NEW WALLS
- NEW RATED WALLS
- CLEARSTORY WINDOWS
- EXISTING STEEL STRUCTURE WITH 2-HR FIRE RATED COLUMN WRAP
- DENOTES EXISTING DOOR
- DENOTES NEW DOOR
- WALL TYPE

**GENERAL PLAN NOTES**

- A. TYPICAL INTERIOR WALL TYPE SCUF. SEE A101 FOR WALL ASSEMBLY INFORMATION.
- B. TYPICAL INTERIOR DOOR FRAMES TO BE 4" FROM ADJACENT WALL IF NOT DIMENSIONED.
- C. PROVIDE BLOCKING AS NECESSARY FOR CABINETS, TOILET ACCESSORIES, OR EQUIPMENT SHOWN IN PLANS AND INTERIOR ELEVATIONS.
- D. ALL WHEDA UNIVERSAL UNITS TO MEET ANSI 117. WHEDA CRITERIA.
- E. "ALIGN" MEANS TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- F. "TYPICAL" (OR TYP.) MEANS THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
- G. ALL GRID LINES ARE SHOWN FOR REFERENCE ONLY. ALL DIMENSIONS TO EXISTING SHOULD BE FIELD VERIFIED.
- H. ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE OF GYP, FACE OF CMU OR CENTERLINE OF DEVIATING WALL.
- I. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED AS REQUIRED TO MAINTAIN RATED CONDITIONS.
- J. REFER TO A410 FOR ADA STANDARD DIMENSIONS FOR THE LOCATION OF ACCESSORIES. U.N.O.
- K. ALL SIGNAGE AT COMMON AREAS AND APARTMENT ENTRIES TO MEET ACCESSIBILITY REQUIREMENTS.
- L. ALL FIRE RATED PARTITIONS BETWEEN UNITS TO CONTINUE TO EXTERIOR WALLS.
- M. WALLTYPE 15 DOORS TO REMAIN AND LOCKED PER NATIONAL PARKS SERVICE HISTORIC TAX CREDIT APPLICATION.
- N. WALL TYPE S2C TO BE USED AS 2-HOUR FIRE RATED ENCLOSURE OF EXISTING STEEL STRUCTURE WHERE REQUIRED.

REV. NO.	DATE:

PROJ. NO: 14023
SCALE: AS NOTED
PHASE: CONSTRUCTION SET
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1 ROOF PLAN  
1/8" = 1'-0"

**PROJECT NAME:**  
GERMANIA  
135 WEST WELLS  
MILWAUKEE, WI 53203

**OWNERS INFO:**  
CARDINAL CAPITAL  
MANAGEMENT, INC.  
901 S. 70TH STREET  
WEST ALLIS, WI 53214  
P 414.727.9902

**ARCHITECT:**  
KORB + ASSOCIATES  
ARCHITECTS  
648 N. PLANKINTON AVE.  
SUITE 240  
MILWAUKEE, WI 53203  
P 414.273.8230

**GENERAL CONTRACTOR:**  
CARDINAL CAPITAL  
MANAGEMENT, INC.  
901 S. 70TH STREET  
WEST ALLIS, WI 53214  
P 414.727.9902

**GENERAL NOTES**

- SEE STRUCTURAL DRAWINGS FOR LOCATION AND DETAILS OF STRUCTURAL SUPPORT OF NEW CHILLER LOCATIONS.
- COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN BUILD CONTRACTORS FOR INSTALLATION OF NEW CHILLER EQUIPMENT.

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