



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Wednesday, July 06, 2016

COMMITTEE MEETING NOTICE

AD 13

PRANAV, Pravin C, Agent
Satyam Holdings, LLC
6575 Montaire St

La Palma, CA 90623

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, July 12, 2016 at 01:45 PM

Regarding: Your Hotel/Motel Application as agent for "Satyam Holdings, LLC" for "Stay Express" at 5037 S Howell Av.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-4-4, unless otherwise specified in the code, probative evidence concerning non-renewal, suspension or revocation may include evidence of the following: failure of the applicant to meet municipal qualifications, pending charges against or the conviction of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the circumstances of the particular licensed or permitted activity, by the applicant or by any employee or other agent of the applicant. If the activities of the applicant involve a licensed premises, whether the premises tends to facilitate a public or private nuisance or has been the source of congregations of persons which have resulted in any of the following: disturbance of the peace; illegal drug activity; public drunkenness; drinking in public; harassment of passers-by; gambling; prostitution; sale of stolen goods; public urination; theft; assaults; battery; acts of vandalism including graffiti, excessive littering, loitering, illegal parking, loud noise at times when the licensed premise is open for business; traffic violations; curfew violations; lewd conduct; display of materials harmful to minors, pursuant to s. 106-9.6; or any other factor which reasonably relates to the public health, safety and welfare, or failure to comply with the approved plan of operation. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OW CZARSKI, CITY CLERK

BY:

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

SATYAM HOLDINGS, LLC

May 23, 2016

City of Milwaukee
License Division
City Hall, Room 105
200 E Wells Street
Milwaukee, WI 53202

Re: Dwelling License Application – 5037 S Howell Ave, Milwaukee, WI

Dear Ms. Becker:

Further to your letter dated May 11, 2016 in which you informed me that the Dwelling Facility license applied for the facilities located at 5037 S Howell Ave, Milwaukee was denied, I wish to appeal this decision.

I am attaching herewith my business plan to reposition the motel as a family and business friendly facility and personal references from California Lodging Industry Association (CLIA) and Petra Risk Solutions, my insurance broker on lodging properties over the last 18 years.

Yours Sincerely,



Pravin Pranav



May 23, 2016

TO: Whom It May Concern

FROM: California Lodging Industry Association/ Bobbie Singh-Allen, Executive Vice President

RE: Pravin Pranav Service to CLIA

"The mission of the California Lodging Industry Association is to promote, protect and advance the interests of lodging owners and their management teams statewide, and to provide a network of resources to support member efficiency, profitability and professionalism."

The California Lodging Industry Association is the only association in California that represents the interests of independent hotels. The vast majority of our members own hotels that have less than 100 rooms. We are small business owners. We have over 1000 members statewide and have represented our members for almost 70 years.

Pravin Pranav serves as a Board of Director for our association. He has faithfully and diligently served for almost four years. In that time, he has provided invaluable guidance on legislative positions, industry trends, feedback on regulatory and legal updates, educational resources, and so much more.

Board members provide invaluable input, leadership and guidance to our association. They are all considered leaders in their respective fields. Pravin was highly recommended to serve as a board of director for CLIA by his peers in the lodging industry. He was unanimously confirmed to join our board.

If you have any questions, please contact me at 916-826-2075 or via e-mail at bsinghallen@clia.org.



*The Art
of Hospitality*

May 23, 2016

City of Milwaukee
Licenses Committee of the Common Council
200 E Wells Street
Milwaukee, WI 53202

Reference: Mr. Pravin Pranav
Satyam Holdings LLC

Property Located at:
5037 S. Howell Ave
Milwaukee, Wisconsin 53207

Dear Council Members,

Petra Risk Solutions' is a national insurance agency specializing in the hospitality industry. We are one of the largest insurance agencies transacting in the hospitality marketplace and insuring over 3,400 locations.

This agency and I personally, have had the pleasure of working with Mr. Pravin Pranav for over 18 years. Mr. Pranav has managed quality hotels for as long as we have been working with him and he has always pushed to provide superior products for the hotel guest and takes great pride in providing a safe and clean hotel experience.

I have also had the privilege of knowing Mr. Pranav on a personal bases, as noted. He is a man of high standards and solid character. He sits on the Board of Directors of a local regional bank and is an active member of the Bellflower Rotary Club servicing the local community.

I have no higher recommendation on a personal level that I can give than to let you know Mr. Pranav is a man of character and pride in his reputation and giving back to the communities he services.

Petra Risk Solutions will be working with Mr. Pranav to re-establish the location in Milwaukee as a strong and reputable hotel. Petra has a significant Risk Management department specializing in guest safety and training the staff to understand the best practices to maintain a good and safe environment at the hotel.

Please feel free to contact me if I can be of any additional assistance or provide any additional comments.

Regards,

A handwritten signature in black ink, appearing to read 'Douglas K. Douthit', written over a horizontal line.

Douglas K. Douthit
Chairman and Chief Executive Officer
Petra Risk Solutions
Petra Pacific Insurance Service, Inc.

13950 Cerritos Corporate Drive, Suite A, Cerritos, CA 90703-2468
Phone: 800.466.8951 • Fax: 800.494.6829 • www.PetraRiskSolutions.com

Petra Pacific Insurance Service, Inc. • Lic. #0817715

SATYAM HOLDINGS, LLC

23rd May 2016

City of Milwaukee
Licenses Committee of the Common Council
License Division
200 E Wells Street
Milwaukee, WI 53202

Respectful members of the Committee, Alderman Terry Witkowski, and Captain, Officers, and staff of MPD 6th District.

I would like to thank you all for this opportunity to present our business plan to revitalize the property located at 5037 S Howell Ave, Milwaukee, WI 53207.

Background - The said property was initially setup as a land lease, and in 1971 a Motel 6 was constructed at the premises. I, along with my brother, acquired the lease in April 2004, and at the time just over 12 years were remaining on the lease. The improvements reverted to us as ground lessors when the lease came to an end on May 12, 2016.

When I applied for the business license in April 2016 to take over the hotel operations, I was informed of several issues in the way the business was being operated at the premises. I was made aware of the societal nuisance the property had become because of unethical business practices by the former property and business managers (G-6 Hospitality, a subsidiary of Blackstone Group). I immediately reached out to the MPD and Alderman's office and met with the Captain and Officers of MPD District 6 to see how we could proactively remedy the situation under our ownership and with new management.

Business Plan - The below business plan acknowledges our findings and lays out steps we are taking to address the problem areas:

1. We have ceased operations at the property and put it on lock down with enhanced 24x7 security cameras and an on-site caretaker. The entire staff, crew, and management of the previous business has been let go. We were informed staff may have been aiding in the illicit activities at the property and we did not want to propagate any nuisances under our management. I have other hotel properties that I own and manage outside of my hometown that have not experienced such issues under my management.
2. We had an in-person meeting with Capt. Rowe, Officer Felix, and Officer Dummann at MPD District 6 to understand the situation so we can better address the issues.
3. We reached out to members of Gateway to Milwaukee and are scheduled to become participating members of this community.

SATYAM HOLDINGS, LLC

4. We met with Ms. Tammy Fraley at the Sleep Inn & Suites Airport. As you already know, Tammy is a well-known champion on hotel security in the community and recognized by the MPD, Gateway to Milwaukee, and the city for her efforts on making the neighborhood safe and secure. Based on guidance from Tammy, we have added security signs at the property and identified business policies to implement and train the staff to prevent past issues from ever occurring again.

5. Business policies - We are extending best practices and business policies from some of our other properties at this location. Policies include but are not limited to:

- a. An ID check and capture at registration using a TriCon identity capture system. This will allow us to have the guests' ID card on file for future reference.
- b. Require a credit card on hold (no cash at check-in).
- c. Generate, partner on, and maintain a 'do not rent to' list based on CCAP and partnerships with other hotel owners.
- d. Staff and general manager training - To look out for tell, tell signs of possible illegal activity such as excessive in and out movement from the same room, smell of marijuana, older men with young(er) women who may not be father/daughter, check for activity on backpage.com.
- e. No parties in room policy.
- f. Do not rent to minors policy.

6. We are also making a significant investment in upgrading the property. We are looking to upgrade the exterior lighting, cameras, and parking lot. We are also planning to renovate the facility by updating all of the furniture, beds, windows, doors, light fixtures, linens, etc. The purpose of this renovation is to start fresh and attract and host respectable customers. We have met with the respective city officials for permitting and are reviewing the scope of work with licensed contractors.

7. We are in the process of identifying and negotiating with established brands that consistently attract professionals, families, and airport commuters.

To summarize, I run a clean and ethical business and plan to do so with this property. In the process, I would like to see this property and business become an asset to the community, and a model for how a responsible motel/hotel should be operated. Thank you.

Regards,



Pravin Pranav

Satyam Holdings, LLC

- cc. Milwaukee Police Department, District 6
cc. Alderman Terry Witkowski

SATYAM HOLDINGS, LLC

Via Email

May 4, 2016

The Honorable Terry Witkowski
City Hall
200 E Wells Street, Room 205
Milwaukee, WI 53202

Re: Business license application – 5037 S Howell Ave, Milwaukee

Dear Alderman Terry Witkowski:

I am a resident of Southern California and am applying for a business license for the lodging facility located at 5037 S Howell Ave, Milwaukee. The facility at this location was constructed in 1972 and has operated as Motel 6 from that date. The land on which the improvements were constructed was subject to a long term ground lease. In 2005 I acquired the ground lease when there were eleven years remaining on the lease. The lease is terminating on May 12, 2016, at which time the improvements are reverting to the ground lessor, Satyam Holdings, LLC. It is my intention to continue operating the lodging facility and hence my application for a business license at this location.

Although this is the first lodging facility I would be operating in Milwaukee, WI, I have over twenty-five years of experience in owning and operating limited-service lodging facilities similar to the Motel 6. Currently I own and operate five facilities in California. From our conversation of April 20, 2016 I understand you have grave concerns as to how the current owners have operated the facility and the drain and strain it has placed on the local law enforcement agencies. I would like to assure you that the activities you described that were occurring at the property would not be tolerated under my management. My staff would be strictly instructed not to allow the facility to be used for any unlawful activity. In addition to initiating policies and procedures to alleviate undesirable activity, training our staff to be vigilant in these matters, installing or upgrading parking lot lighting and security systems and maintaining "do not rent" register, we will fully cooperate with law enforcement agencies and implement their recommendations. To this end, I have already reached out to Community Liaison Officer Carlos Felix and set up an appointment to meet with him on Thursday, May 12 at 2:00 pm at his offices.

It is my intention to conduct business at 5037 S Howell Ave, Milwaukee with the highest professional and ethical standards, and to be a responsible citizen of the community, contributing to its vibrancy. I hope I am able to gain your support in this endeavor, as well as your approval of my application for a business license.

Yours Sincerely,


Pravin Pranam



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 3/7/16

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

- Applying for: Extended Hours Establishment Filling Station
 Self Service Laundry Rooming House Hotel/Motel Massage Establishment
 Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

Overnight limited service lodging facility.

Do you have any experience operating this type of business? No Yes If yes, explain: *operating other facilities.*

2. Business Operations

- a. Proposed Opening Date: 5/12/16
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: Hotel/Motel license - 236015
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: _____

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: _____

4. Smoking & Sanitation

- a. Are there designated outdoor smoking areas? No Yes If yes, describe: _____
- b. Number of Garbage Cans: Inside: 118 Locations: Each room.
Outside: 3 Locations: Parking lot.
- c. Is a crowd control barrier used? No Yes If yes, describe: _____
- d. How many restrooms are on the premises? 120
- e. Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

- a. Are there onsite parking spaces? No Yes If yes, indicate how many? 124 and describe the parking security plan: Adequate lighting in parking lot; Security camera equipment.
- b. Is there a loading zone? No Yes If yes, describe the loading area security plan: _____
- c. Will you have security personnel on premise? No Yes If yes, how many? _____ and answer the following:
 What are their responsibilities? _____
 Is security equipment used? No Yes If yes, describe _____
 List their licensing, certification, or training credentials _____
- d. Will there be security cameras? No Yes If yes, where? Both inside and outside the property
- e. Will searches/identification checks be done upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol _____%	Food _____%	Secondhand Merchandise _____%	Precious Metals & Gems _____%
Entertainment _____%	Cigarettes _____%		
Pawnbroker Activity _____%	Salvaged Materials _____% (such as scrap metal)	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) _____%	Other <u>100 %</u> Describe: <u>Room charge</u>

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
 Night Club Tavern Cocktail Lounge Teen Club
 Banquet Hall Sports Facility Bowling Alley
 Hotel/Motel : Number of Floors: 2 Rooming House: Number of Floors: _____
 Number of Rooms: 118 Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
 Gas Station Amusement/Phonograph Distributor Recycling, Salvage or Towing
 Used Car Dealer Personal Service Establishment
 (such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures
 Secondhand Dealer Precious Metal & Gem Other: _____

8. Legal Capacity (only if a Type 1 premises in #7 above)

Capacity 476 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

- a. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):
 1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop
 Other: Describe: _____
- b. Describe Location: Major Thoroughfare Secondary Street Other: _____
- c. Nearest Major Cross Street: S Howell Ave and W Edgeston Ave.
- d. Describe Building: Free Standing Building Strip Mall Other: _____
- e. Describe Premises Structure: Single Story Multi-Story - # of Stories 2. Other: _____
- f. Describe Surrounding Area: Commercial Residential Industrial Other: _____
- g. Building Owner Name: Satyam Holdings LLC. Phone Number: 562 372 9484.
 Business Owner Address: P.O. Box 4209, Cerritos, CA 90703

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Tavern Applicant Only: Age Restriction (If none, write 'None')	
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)				
Sunday	} 24 Hours.		} Between 50 to 250.	All age range.		
Monday						
Tuesday						
Wednesday						
Thursday						
Friday						
Saturday						

Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12 a.m. and 5 a.m.

Entertainment Indoor Closing Hours : If alcohol beverage establishment, same as alcohol license hours.
 If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours : 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
 unless otherwise approved by Common Council in licensee's plan of operation.

11. Signature(s)

[Signature]
 Sole Proprietor, Partner, Agent, or 20% or more Shareholder

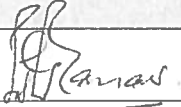
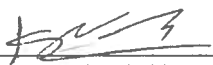
[Signature]
 Signature of additional partner or 20% or more Shareholder

See Application Information for a list of all required application forms.

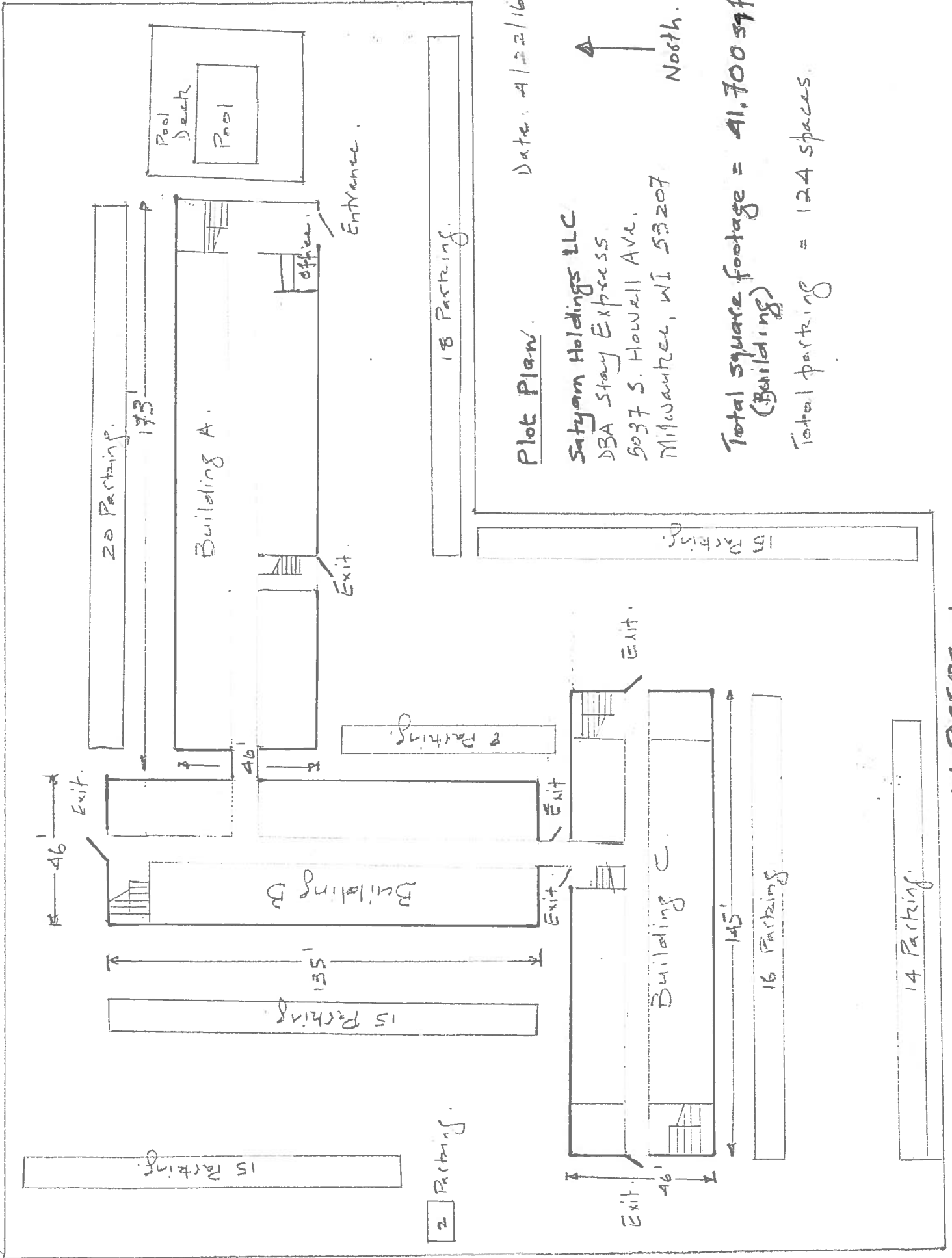


ROOMING HOUSE LICENSE SUPPLEMENTAL APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name:	Satyam Holdings LLC.
Premises Address:	5037 S Howell Ave, Milwaukee, WI 53207.
MILWAUKEE COUNTY REPRESENTATIVE	
Is the applicant (sole proprietor, partners, or agent of Corp/LLC) a resident of Milwaukee County? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If NO, a local representative (natural person) residing in Milwaukee County must be appointed. Provide the person's name and street address. P.O. Boxes are not acceptable.	
Name of Person:	
Street Address: (include city and zip code)	
APPLICANT'S SIGNATURE	
	<div style="text-align: center;">  <u>Pravin Pranav</u> Print Name of individual, partner, agent or 20% or more shareholder </div> <div style="text-align: center;">  <u>Kantilal Pranav</u> Signature of individual, partner, agent or 20% or more shareholder </div>

5 HOWELL AVE



Plot Plan.

Date: 4/22/16

Satyam Holdings LLC
 DBA Stay Express
 5037 S. Howell Ave.
 Milwaukee, WI 53207

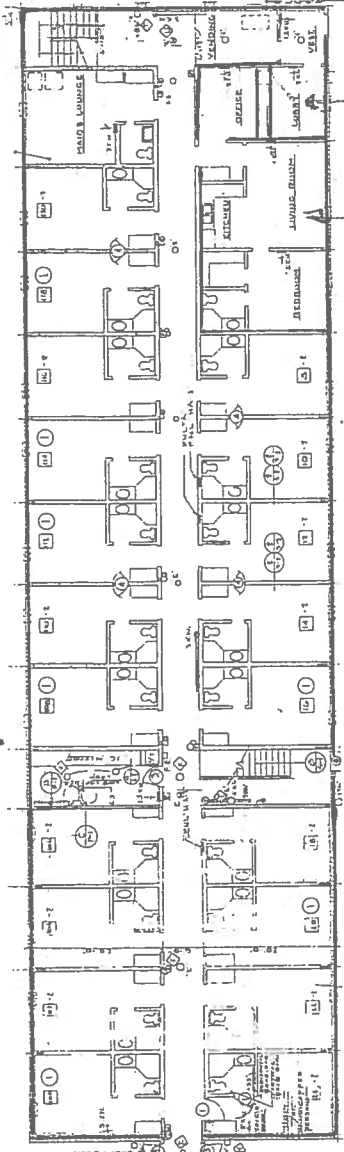
Total Square Footage = 41,700 sqft.
 (Building)

Total parking = 124 spaces.

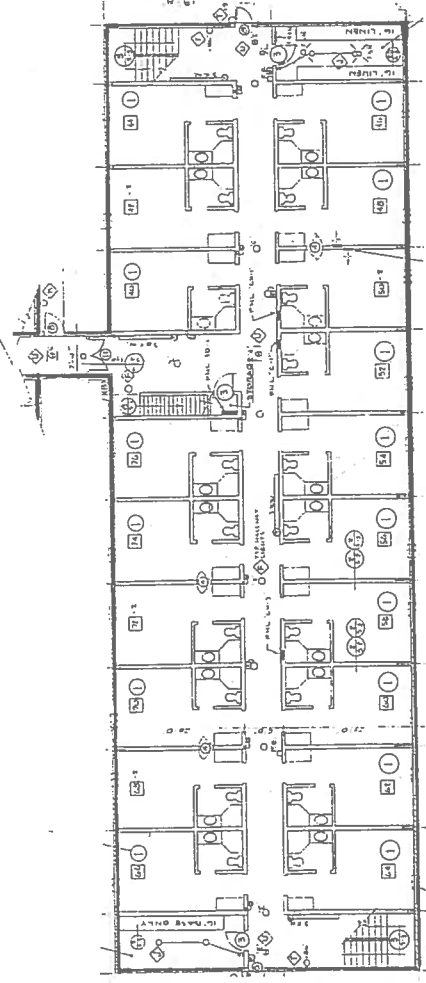
North.

W EDGERTON

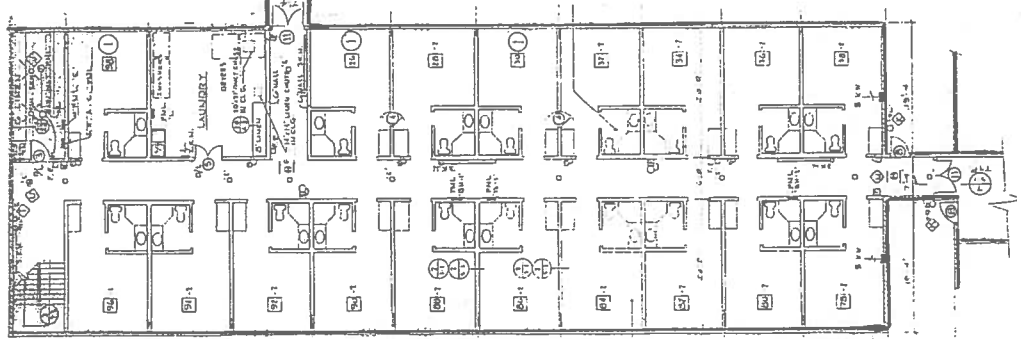
1 Front Office
 1 Manager Unit with kitchen.
 Building A
 20 Guest Rooms



Front Office
 Manager Unit
 with kitchen.



Building C
 19 Guest Rooms.



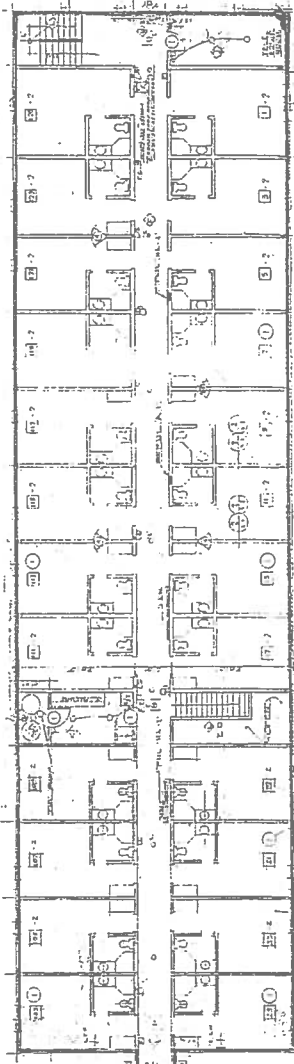
1 Laundry Rm
 18 Guest Rm
 Building B

FIRST FLOOR PLAN. Date 4/22/16.

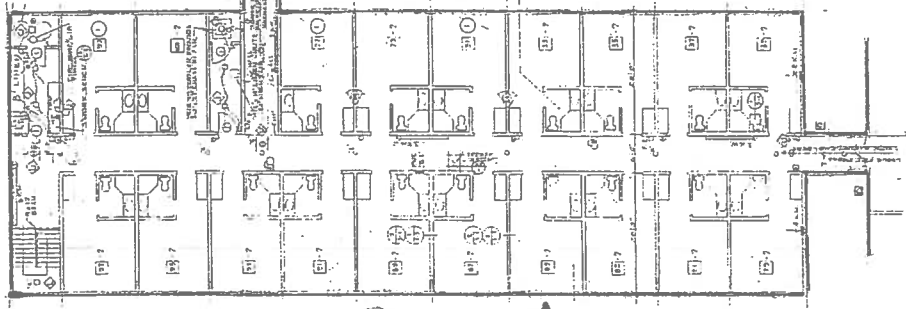
Total Guest Rooms = 57
 (every guest room has a rest room)

Satyam Holdings LLC
 DBA Stay Express
 5037 S Howell Ave,
 Milwaukee, WI 53207

Building A 24 Guest Rooms

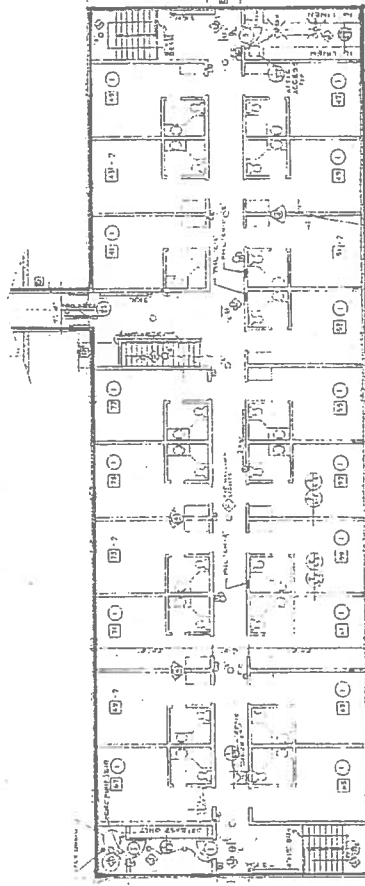


Building B



19 Guest Rooms

Building C 19 Guest Rooms



SECOND FLOOR PLAN Date 4/22/16

Satyam Holdings LLC

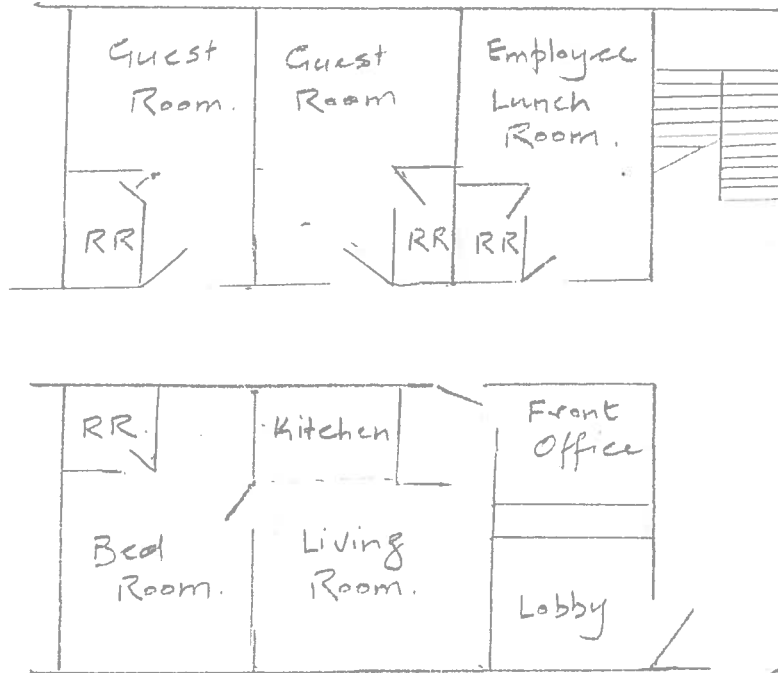
DBA Stay Express

5037 S HOWELL AVE.

MILWAUKEE WI 53207

Total Guest Rooms = 62

(every guest room has a restroom)



Front Entrance.

Front Office, Lobby & Manager Unit

Date 4/22/16.

Satyam Holdings LLC.

RR = Rest room.

DBA Stay Express.

5037 S Howell Ave,

Milwaukee, WI 53207.

LAYTON AVE

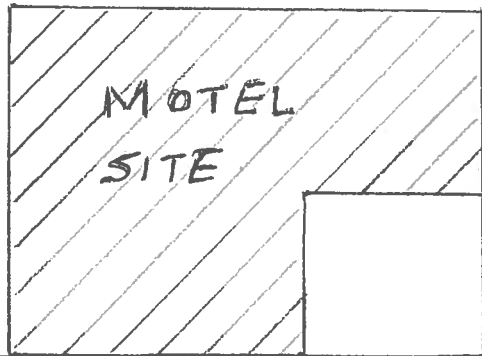
VICINITY MAP

Date 4/22/16

Satyam Holdings LLC
DBA Stay Express
5037 S Howell Ave
Milwaukee, WI 53207



S HOWELL AVE



WEST EDGERTON AVE