



# PETITION FOR A SPECIAL PRIVILEGE

ccl-246 (7/15)

SP 2746

CCF \_\_\_\_\_

- New application \$250.00 Fee**
- Amendment to add items to Special Privilege # \_\_\_\_\_ (\$125.00 Fee)**
- Amendment to remove items from Special Privilege # \_\_\_\_\_ (No fee)**
- Amendment for change of ownership for Special Privilege # \_\_\_\_\_ (No fee)**

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee Adam Smith  
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 838 S 1st, Milwaukee WI 53204  
(Street Address and Zip Code)

in the 12 Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: PROVIDE HANDICAP ACCESSIBLE WOOD RAMP TO PRIMARY FLOOR LEVEL AT SOUTH SIDE OF BUILDING / PROPERTY LINE BETWEEN EXISTING CONCRETE SIDEWALK.

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): Adam Smith  
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: [Signature] Date: 7/26/16  
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: D.B.A. Champion Property Mgmt LLC  
(If applicable, as shown above)

Mailing Address (If different than property address above): P.O. Box 4193, Milwaukee WI 53204

(OVER)

City: MILWAUKEE State: WI Zip: 53204

Telephone: 414-732-6107 E-Mail: HAMMY4945@GMAIL.COM

Architect/Engineer/Contractor (If Applicable)

Name: DOUGLAS A. GALLUS, ARCHITECT

Address: 214 N. 76<sup>TH</sup> STREET

City: MILWAUKEE State: WI Zip: 53213

Telephone: 414-259-9555 E-Mail: DGALLUS@SBCGLOBAL.NET

**IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK**

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

**PAID**

\$ 250.00

**AUG 02 2016**

Special Privilege Application  
City of Milwaukee  
Department of Public Works



SOUTH ELEVATION - WEST WALKER STREET



WEST ELEVATION - SOUTH 1st STREET



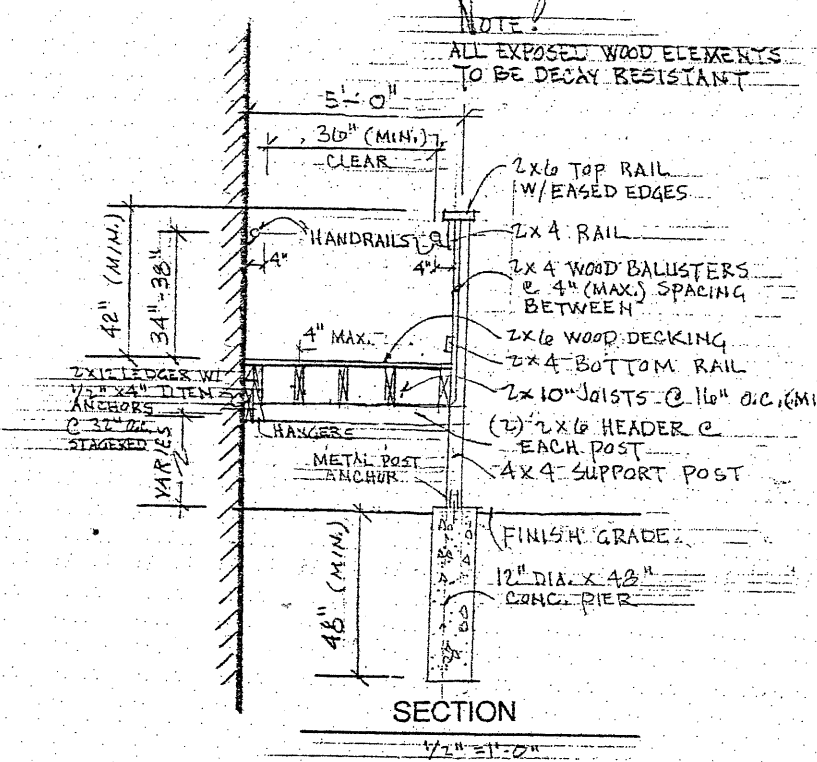
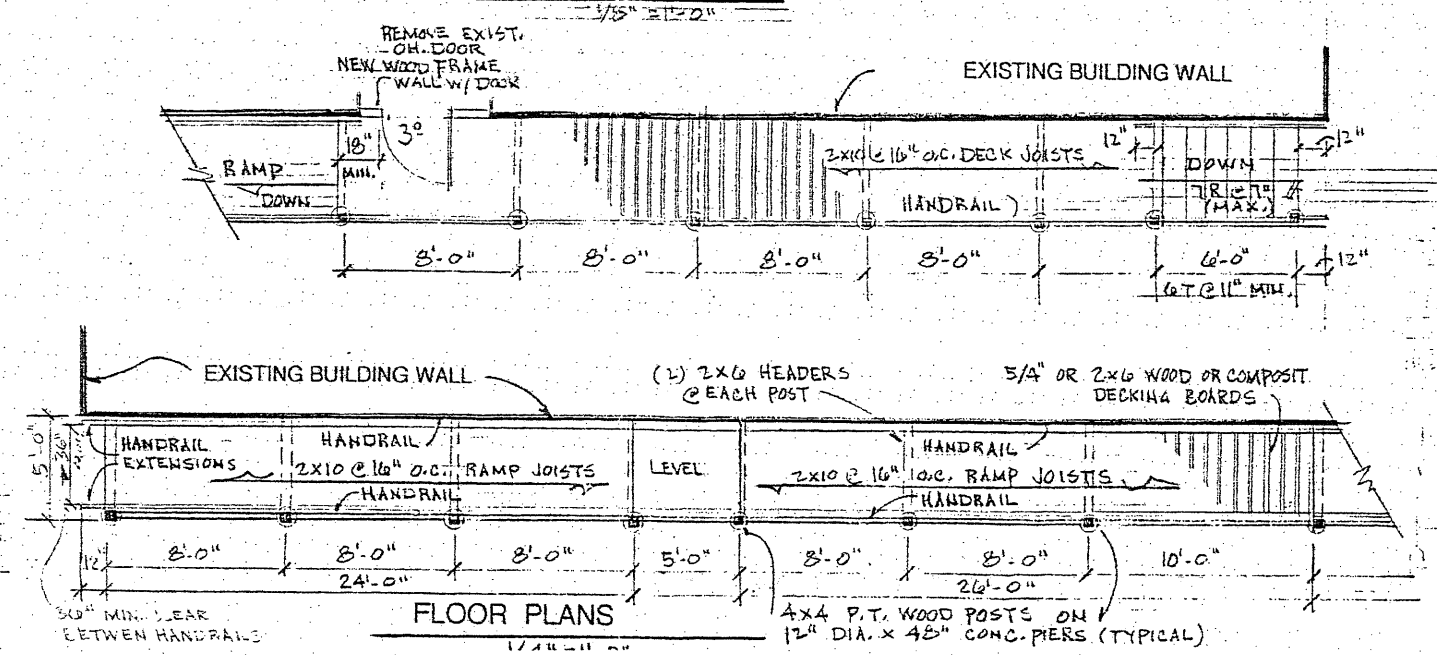
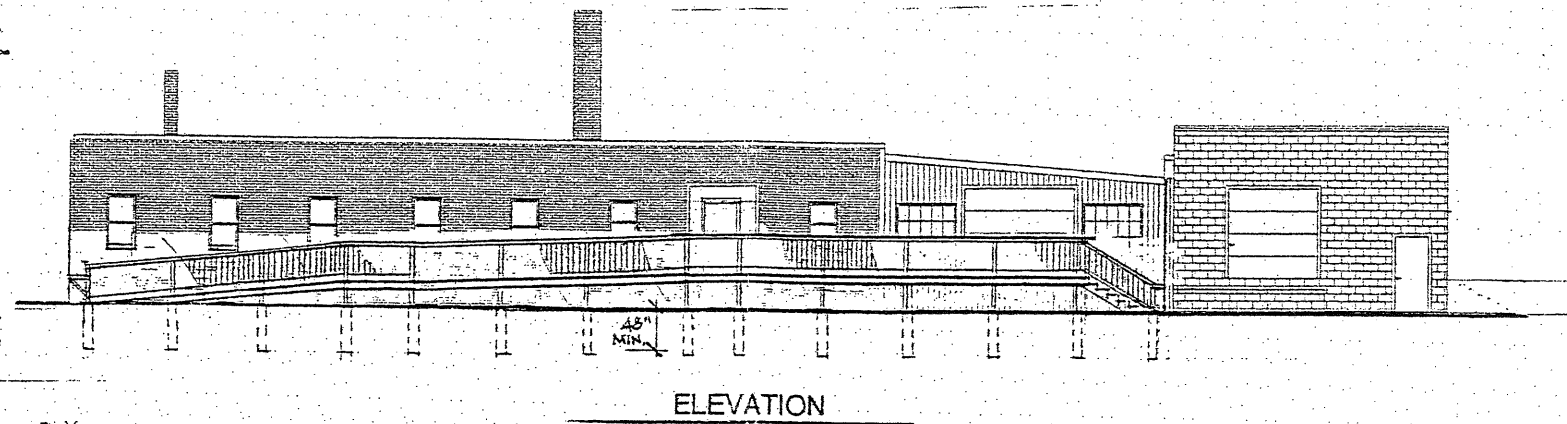
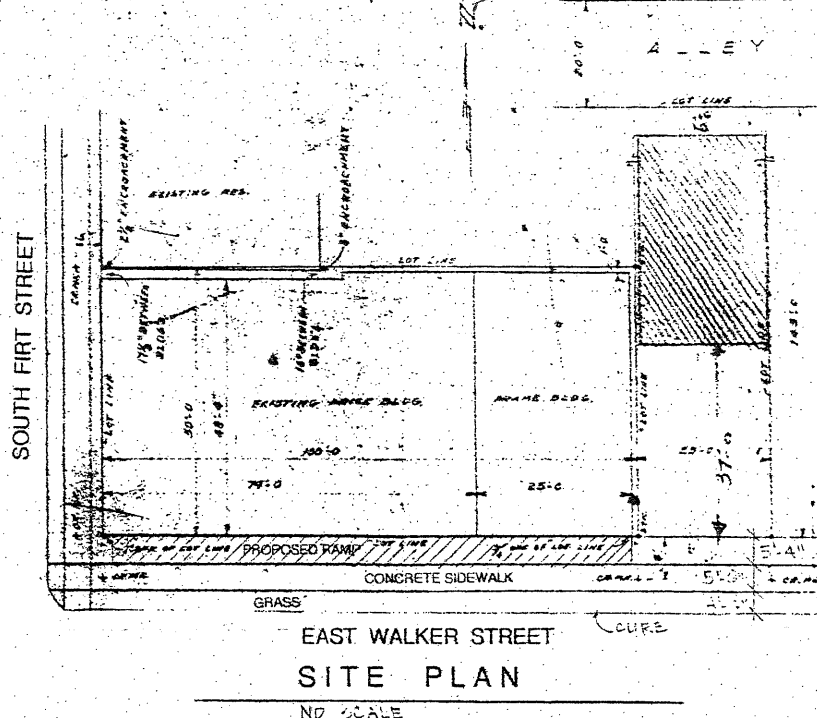
**DOUGLAS A. GALLUS**  
Architect  
214 N. 76th Street  
MILWAUKEE, WISCONSIN 53213-3532  
(414) 259-9555

838 S. 1st. Street  
Milwaukee, WI 53204

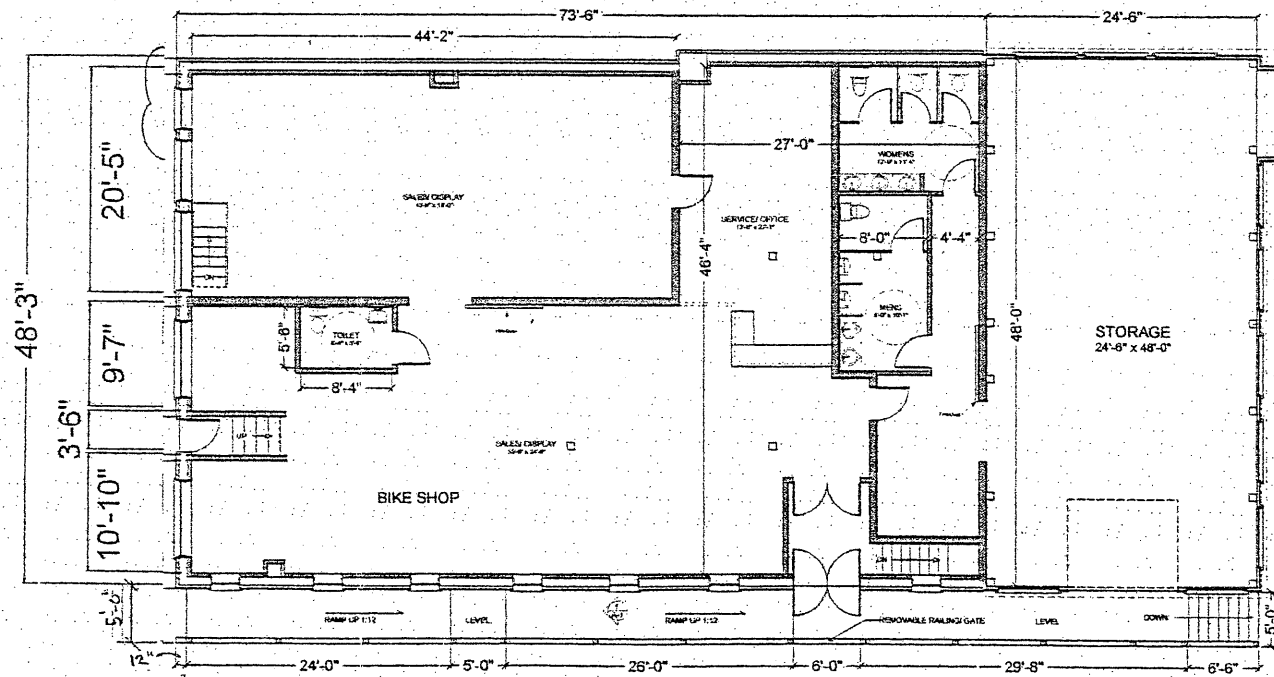
**PROJECT NOTES**

1. Although every effort has been made in checking & preparing these plans for accuracy, all contractors shall check & be responsible for verification of all field measurements, field conditions & construction criteria & all details & conditions on site or existing structure & the means & methods of construction.
2. All work on this project that is not covered by these plans shall be governed & controlled by the latest edition of the code applicable to the local ordinance in practice at the time of these documents and/or required approvals.
3. All work shall be performed in accordance with accepted building practices & industry standards.
4. Verify & use only written conditions. DO NOT make or make changes orally from drawings.
5. All contractors shall be responsible for all & any damage to existing structure caused either directly or by their trades.
6. Verify all uncertain items with the owner, builder, and/or architect.
7. Architect shall not be responsible for existing or pre-existing, not shown and any and all existing structural conditions, including, but not limited to, conditions of deteriorated masonry, masonry failures, masonry spalling, decay, rot, mold, mildew or other existing non-structural items or code conditions.
8. The architect shall not be required to make sensitive or conclusive on-site observations to check the quality or quantity of work performed.

9. The architect shall not be responsible for construction means, methods, techniques, sequence of procedures, or for safety precautions & programs in connection with the work. He shall not be responsible for the contractor's failure to carry out the work in accordance with the contract documents.
10. All materials, components, systems, structural elements and hardware shall be of the highest quality and shall conform to the manufacturer's specifications, details and installation requirements. The architect shall not be responsible for the substitution of any materials, components or systems as specified in the contract documents.
11. All contractors shall be responsible for all tests and required (RPA) "Lead-Base Renovation" requirements.
12. LIMITATION OF WARRANTY OF ARCHITECTURAL WORK PRODUCT: The architect and the contractor do not warrant or guarantee the accuracy and completeness of the work product they provide beyond a reasonable diligence. If any materials, portions or components are found to exist with the work product, the architect shall be promptly notified so that they may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the architect of such conditions shall deprive the architect of any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the architect or in connection with the work product, the architect's work, products or recommendations, shall become the responsibility of the contractor. The architect, one of the parties responsible for taking such action.
13. Designer reserves all copyrights to these documents, drawings & designs which are not to be reproduced, copied, changed, altered, utilized for another project or assigned to any third party in any form or manner without the expressed written permission of Douglas A. Gallus, architect.



**SOUTH FIRST STREET**  
838



**EAST WALKER STREET**  
**FIRST FLOOR PLAN**

7,200 SQ. FT. TOTAL 1/8" = 1'-0"

DESIGNER RESERVES ALL COPYRIGHTS TO THESE DRAWINGS & DESIGNS WHICH ARE NOT TO BE REPRODUCED, CHANGED, COPIED, OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF Douglas A. Gallus, Architect.

REVISIONS:  
DATE: 18 JULY 2016

DRAWN BY:  
DAG & KD  
DATE: 12 JUNE 2015

**Douglas A. Gallus**  
AIA, ARCHITECT  
214 N. 76 ST  
MILWAUKEE, WI 53213  
(414) 259-9555

ALTERATIONS AT: EXTERIOR ACCESSIBILITY RAMP  
**114 E. WALKER STREET**  
MILWAUKEE, WISCONSIN 53204

PLAN NO.  
**15034**  
SHEET NO.  
1-1