



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission / 841 N Broadway, B1 / Milwaukee, WI 53202  
[hpc@milwaukee.gov](mailto:hpc@milwaukee.gov) / 414-286-5712 / 414-286-5722

## Address

2007 E Windsor Pl

## Property/District Name

North Point South Historic District

## Description of Work

Exterior renovation of property per attached drawings (five pages). Roof to be Landmark Pro Moire Black.

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines.

### The following conditions apply to this certificate of appropriateness:

**Awning must be made a knit or woven product. Plastic sheeting is not permitted. New chimney must be installed using step-flashing.**

All work must be done in a craftsman-like manner. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations.

### Permits and timeline

You are responsible for determining if permits are required and obtaining them prior to commencing work. Consult the Development Center on the web or by telephone for details: [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms) - (414) 286-8210. If permits are not required, work must be completed within one year of the date this certificate was issued. If permits are required, permits must be obtained within one year of the date this certificate was issued.

City of Milwaukee Historic Preservation



NORTH ELEVATION PHOTO



EAST ELEVATION PHOTO



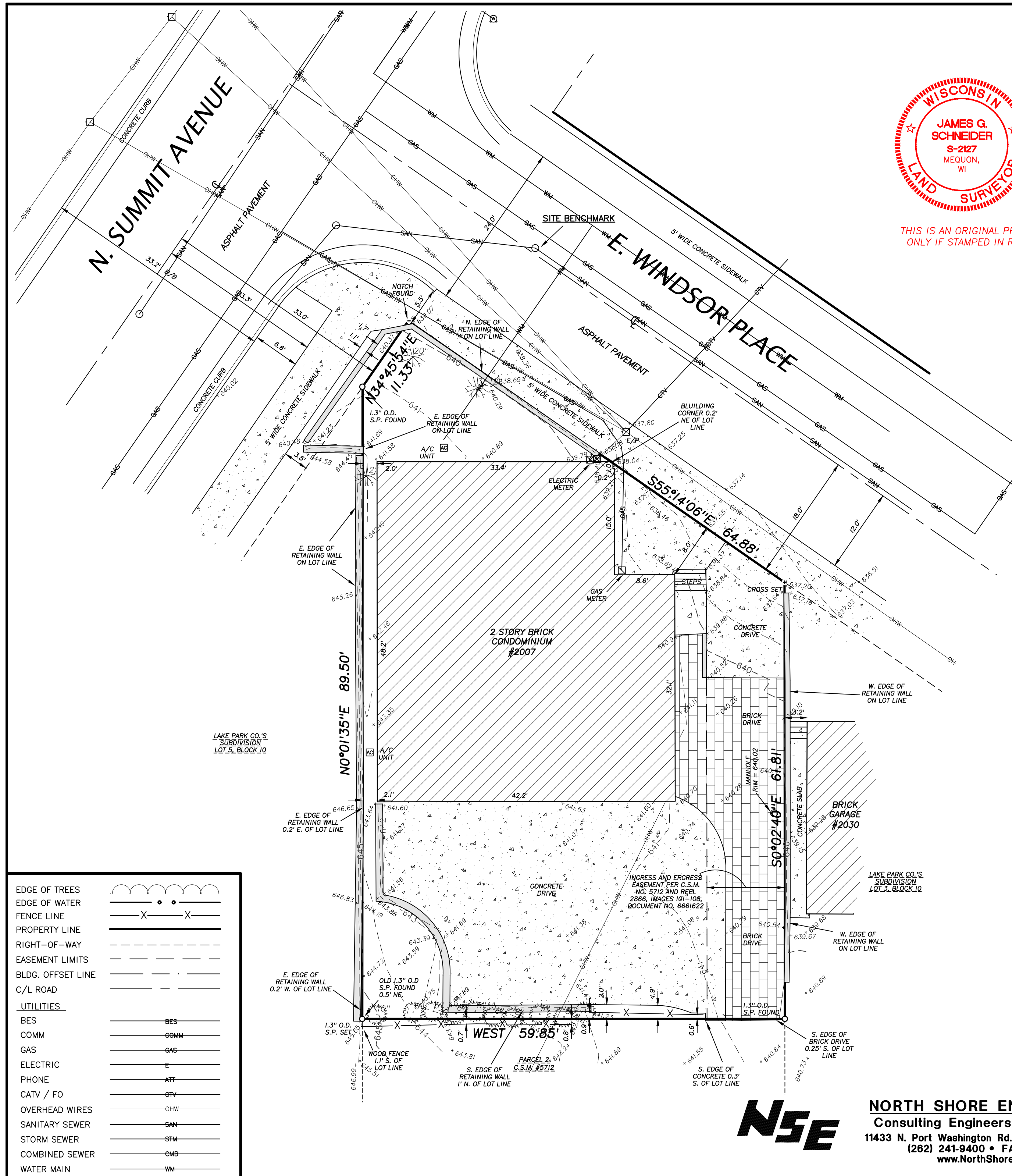
SOUTH ELEVATION PHOTO



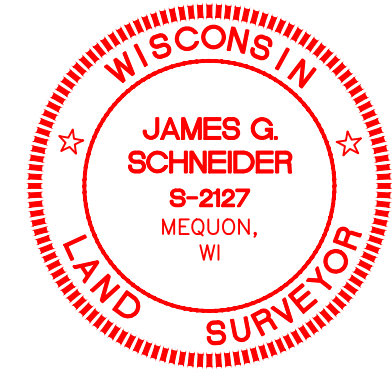
WEST ELEVATION PHOTO



NORTH PARTIAL ELEVATION PHOTO



EDGE OF TREES	
EDGE OF WATER	
FENCE LINE	
PROPERTY LINE	
RIGHT-OF-WAY	
EASEMENT LIMITS	
BLDG. OFFSET LIMIT	
C/L ROAD	
UTILITIES	
BES	
COMM	
GAS	
ELECTRIC	
PHONE	
CATV / FO	
OVERHEAD WIRES	
SANITARY SEWER	
STORM SEWER	
COMBINED SEWER	
WATER MAIN	



THIS IS AN ORIGINAL PRINT  
ONLY IF STAMPED IN RED

**LEGAL DESCRIPTION :**

Unit N and Unit S, together with an undivided interest in the common elements and the exclusive use of the limited common elements appurtenant to said unit, in "WINDSOR COACHHOUSE CONDOMINIUM", a condominium created and existing under and by virtue of the Condominium Ownership Act of the state of Wisconsin by declaration recorded on May 31, 2000, as Document No. 7917336, and any and all amendments thereto. Incorporated herein by this reference thereto is the real estate described in and made subject to said declaration, which is located in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

Land area known as Parcel 1 of Certified Survey Map No. 5712, being a redivision of Lot 4 in Lake Park Company's Subdivision of Block 10 in Glidden and Lockwood's Addition, being a subdivision of a part of the Southwest 1/4 of the Northwest 1/4 of Section 22, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

Said Parcel containing 4,892 sq. ft./0.112 acres of land, more or less.

**SURVEY CERTIFICATE**

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadway, and visible encroachments, if any.

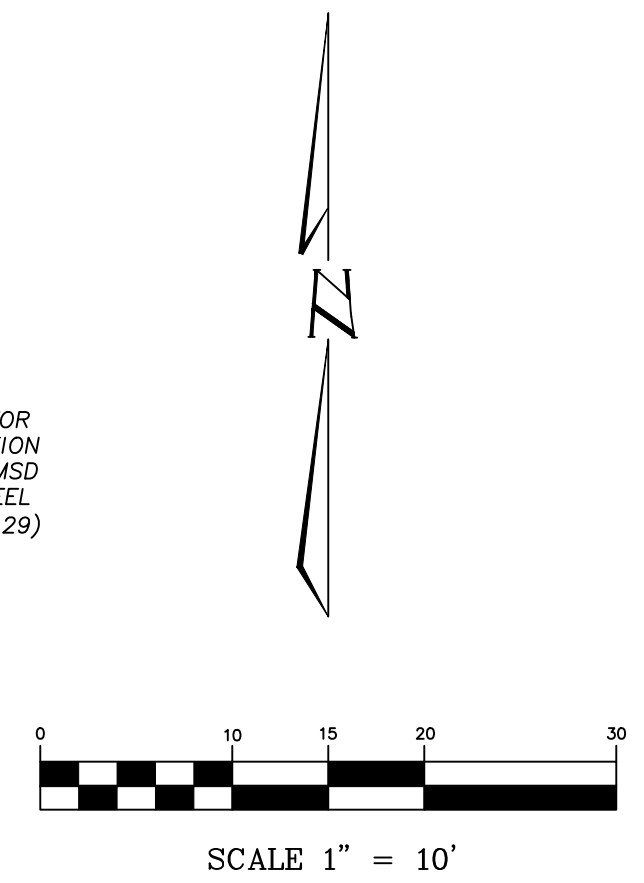
This survey is made for the exclusive use of the present owners of the property, and also those who purchase mortgage, or guarantee the title thereto within one (1) year from date hereof.

Dated at City of Mequon, State of Wisconsin this 14th day of April, 2023.

James G. Schneider  
Surveyor - S-2127

**NOTES :**

- ALL BEARINGS REFERENCED TO THE SOUTHERLY LINE OF E. WINDSOR PLACE, WHICH BEARS S55°14'06"E, PER C.S.M. NO. 5712.
- SITE BENCHMARK ON MANHOLE IN E. WINDSOR PLACE AS SHOWN ON SURVEY. MANHOLE RIM ELEVATION = 638.12.
- MAIN BENCHMARK IS REFERENCE BENCHMARK FOR SECTION CORNER MONUMENT IN THE INTERSECTION OF N. OAKLAND AVENUE & E. NORTH AVENUE. MMSD BENCHMARK NO. 7898-1 ALUMINUM CAP ON STEEL ROD IN HANDHOLE ELEVATION = 636.82. (NGVD 29)



2.	5/2/23	FINALIZE WITH EASEMENTS	J.G.S.	A.R.H.
1.	4/27/23	ADD TOPOGRAPHY	A.R.H.	J.G.S.
MARK	DATE	REVISION	BY	APVD

**"PROPERTY SURVEY"**

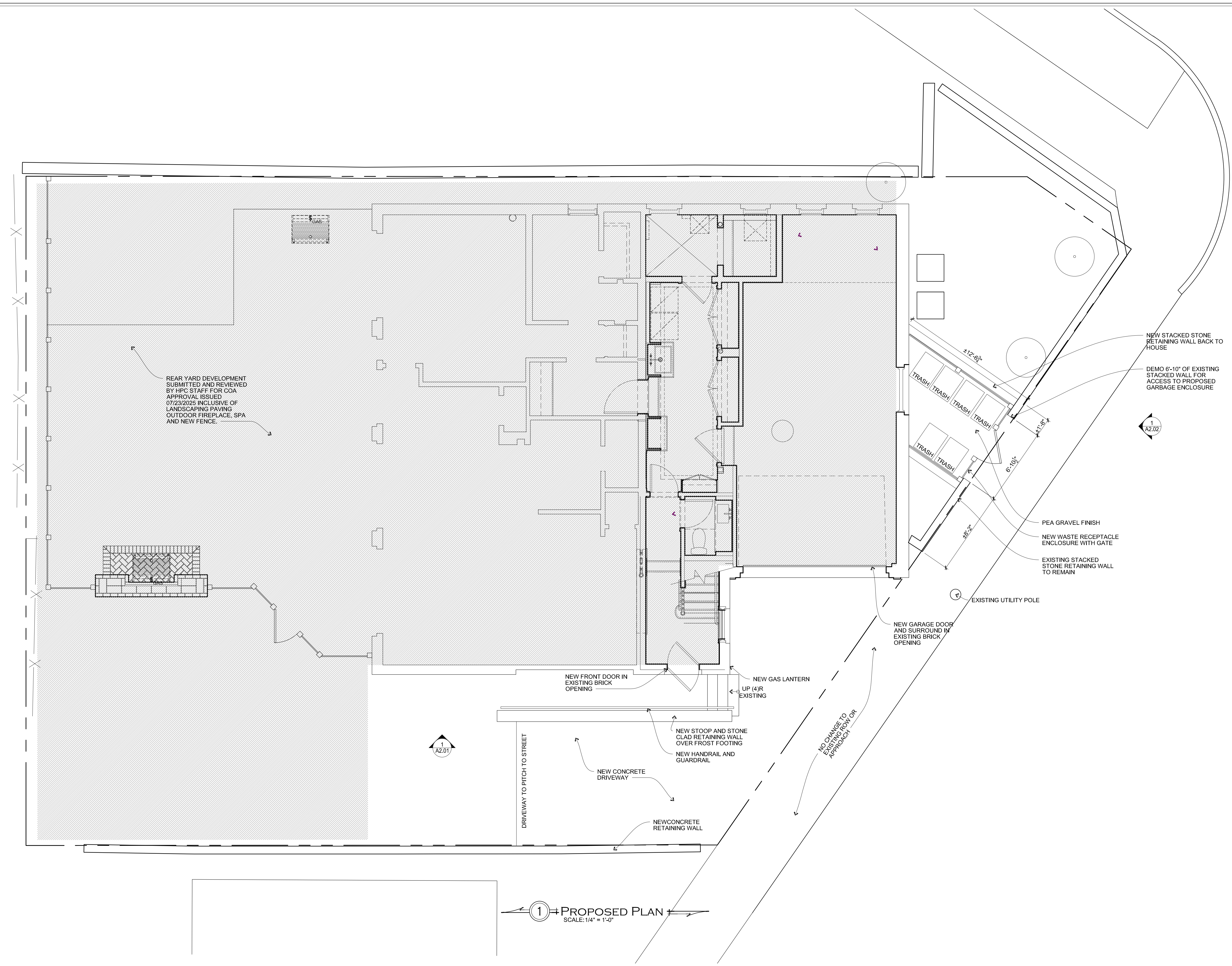
for  
**Wade Weissmann**

**2007 E. Windsor Place  
Milwaukee, WI**

DATE:	APRIL 14, 2023	DRAWN BY:	J.R.S.
FIELD CREW:	E.A.J. & S.F.Z.	Plat No.	LS-5486-23



**NORTH SHORE ENGINEERING, INC.**  
Consulting Engineers & Land Surveyors  
11433 N. Port Washington Rd., Mequon, Wisconsin, 53092  
(262) 241-9400 • FAX: (262) 241-5337  
www.NorthShoreEngineering.net



REAR YARD DEVELOPMENT  
SUBMITTED AND REVIEWED  
BY HPC STAFF FOR COA  
APPROVAL ISSUED  
07/23/2025 INCLUSIVE OF  
LANDSCAPING PAVING  
OUTDOOR FIREPLACE, SPA  
AND NEW FENCE.

NEW STACKED STONE  
RETAINING WALL BACK TO  
HOUSE  
DEMO 6'-10" OF EXISTING  
STACKED WALL FOR  
ACCESS TO PROPOSED  
GARBAGE ENCLOSURE

PEA GRAVEL FINISH  
NEW WASTE RECEPTACLE  
ENCLOSURE WITH GATE  
EXISTING STACKED  
STONE RETAINING WALL  
TO REMAIN

EXISTING UTILITY POLE

NEW GARAGE DOOR  
AND SURROUND IN  
EXISTING BRICK  
OPENING

NEW GAS LANTERN  
UP (4)R  
EXISTING

NEW FRONT DOOR IN  
EXISTING BRICK  
OPENING

NEW STOOP AND STONE  
CLAD RETAINING WALL  
OVER FROST FOOTING

NEW HANDRAIL AND  
GUARDRAIL

DRIVEWAY TO PITCH TO STREET

NEW CONCRETE  
DRIVEWAY

NEW CONCRETE  
RETAINING WALL

NO CHANGE TO  
EXISTING FLOOR OR  
APPROACH

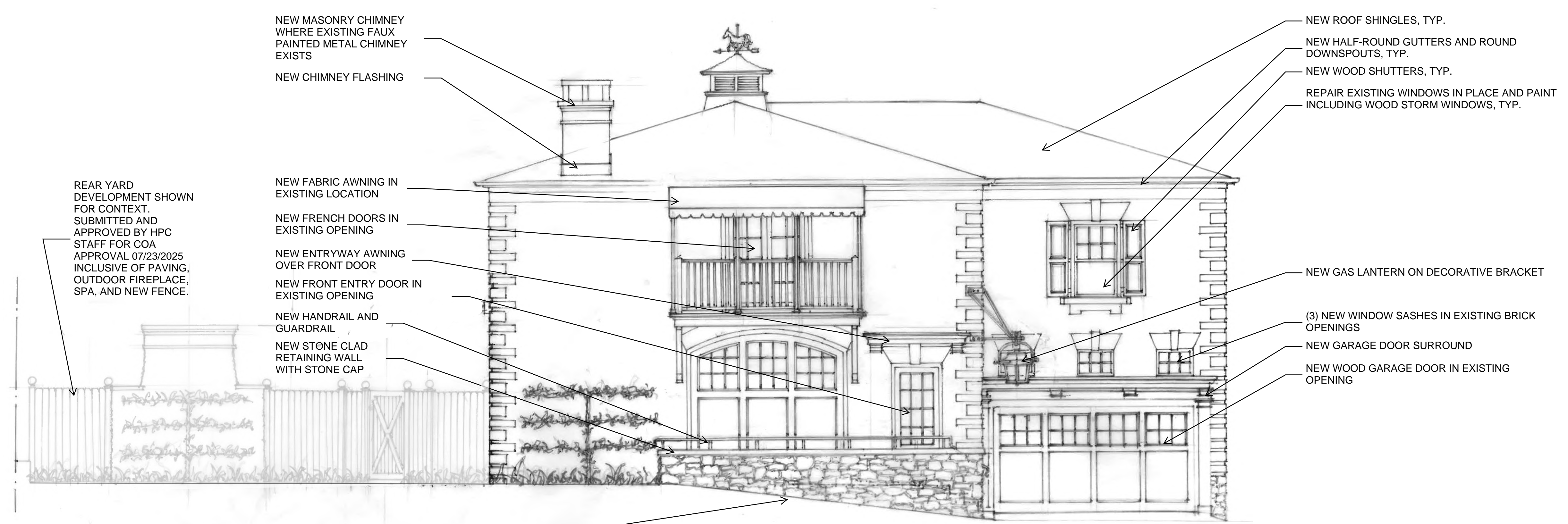
1 PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



PLAN NORTH



**1** EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

REAR YARD DEVELOPMENT SHOWN FOR CONTEXT. SUBMITTED AND APPROVED BY HPC STAFF FOR COA APPROVAL 07/23/2025 INCLUSIVE OF PAVING, OUTDOOR FIREPLACE, SPA, AND NEW FENCE.

NEW MASONRY CHIMNEY WHERE EXISTING FAUX PAINTED METAL CHIMNEY EXISTS  
NEW CHIMNEY FLASHING

NEW FABRIC AWNING IN EXISTING LOCATION  
NEW FRENCH DOORS IN EXISTING OPENING  
NEW ENTRYWAY AWNING OVER FRONT DOOR  
NEW FRONT ENTRY DOOR IN EXISTING OPENING  
NEW HANDRAIL AND GUARDRAIL  
NEW STONE CLAD RETAINING WALL WITH STONE CAP

NEW CONCRETE DRIVEWAY

NEW ROOF SHINGLES, TYP.  
NEW HALF-ROUND GUTTERS AND ROUND DOWNSPOUTS, TYP.  
NEW WOOD SHUTTERS, TYP.  
REPAIR EXISTING WINDOWS IN PLACE AND PAINT INCLUDING WOOD STORM WINDOWS, TYP.

NEW GAS LANTERN ON DECORATIVE BRACKET  
(3) NEW WINDOW SASHES IN EXISTING BRICK OPENINGS  
NEW GARAGE DOOR SURROUND  
NEW WOOD GARAGE DOOR IN EXISTING OPENING

PRELIMINARY NOT FOR CONSTRUCTION  
ISSUE: COA APPLICATION 2026.03.13



**1** EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

NEW MASONRY CHIMNEY  
WHERE EXISTING FAUX  
PAINTED METAL CHIMNEY  
EXISTS  
NEW CHIMNEY FLASHING

NEW GARAGE DOOR  
SURROUND  
NEW GAS LANTERN ON  
DECORATIVE BRACKET  
NEW ENTRYWAY AWNING  
OVER FRONT DOOR

NEW HANDRAIL AND  
GUARDRAIL  
NEW STONE CLAD  
RETAINING WALL  
WITH STONE CAP  
NEW STOOP OVER  
FROST FOOTING  
NEW CONCRETE  
RETAINING WALL

NEW CONCRETE  
DRIVEWAY

NEW ROOF SHINGLES, TYP.  
NEW HALF-ROUND GUTTERS AND ROUND  
DOWNSPOUTS, TYP.  
NEW WOOD SHUTTERS, TYP.  
REPAIR EXISTING WINDOWS IN PLACE AND PAINT  
INCLUDING WOOD STORM WINDOWS, TYP.

NEW PLANTINGS FOR VEGETATIVE SCREENING  
OF EXISTING A/C UNITS  
MODIFY EXISTING STACKED STONE WALL FOR  
ACCESS TO NEW ENCLOSURE  
NEW 4'-0" FENCED ENCLOSURE WITH GATE

**Table 295-505-5  
RESIDENTIAL DISTRICT SIGN STANDARDS**

	Elementary and secondary schools, colleges and religious assembly
<i>Freestanding Signs</i>	<i>permitted</i>
Maximum number	1 per street frontage
Type "A" max. display area (sq. ft.)	64***
Type "B" max. display area (sq. ft.)	32
Maximum height	6