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November 10, 2004

VIA MESSENGER

Mr. John Hyslop
Manager/Planning Administration
Department of City Development
809 North Broadway
Milwaukee, WI 53202

Re: American Stores Properties, Inc./Request for Minor Modification to Humboldt Yards
Planned Development

Dear Mr. Hyslop:

American Stores Properties, Inc. ("ASPI") hereby requests a minor modification to the General and Detailed Plans for the Humboldt Yards Planned Development to more expressly permit the retail sale of alcohol in the Jewel-Osco store. Specifically, the sale of alcohol will occur in an area containing about 3,100 square feet located in the southwest corner of the store as unanimously approved by the Utilities & Licenses Committee on July 16, 2004 and by the Common Council on July 27, 2004.

For your convenience, I have included copies of both the Detailed and General Plan Project Descriptions for the Planned Development. Paragraph 3.(b) of both documents contains the description of the Jewel-Osco store. ASPI intended this language to include a liquor department to be added in the future. This is consistent with the format of modern grocery/drug stores. In fact, almost all Jewel-Osco stores have liquor departments and this is an integral part of their business model.

ASPI respectfully suggests that the requested minor modification should be approved. The liquor area will be fully contained within the existing building. There will be no change in the character of the Planned Development; no relocation of structures; no reduction of parking, loading and recreational areas; no relocation of traffic facilities; no increase in land coverage; and no reduction in the amount of approved open spaces, landscaping and screening. In addition, the Common Council thoroughly reviewed this matter and approved the granting of the necessary liquor licenses to operate within the Jewel-Osco store.

Please acknowledge receipt on the enclosed copy of this letter and return it to me in the envelope enclosed for that purpose.

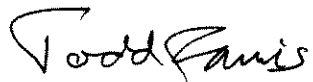
Mr. John Hyslop
November 10, 2004
Page 2

If you have any questions or concerns about this matter or if you need additional information, call me at your convenience.

Thank you for your assistance.

Very truly yours,

FRIEBERT, FINERTY & ST. JOHN, S.C.

A handwritten signature in black ink that reads "S. Todd Farris". The signature is written in a cursive style with a large, stylized initial 'S'.

S. Todd Farris
stf@ffsj.com

STF/sjf
Enclosures
cc: Alderman Michael I. McGee

01/10/2004 09:02 AM 4142000001 REINHARDT BURNER 002/020

HUMBOLDT YARDS (Commercial Parcel)

DETAILED PLAN PROJECT DESCRIPTION AND OWNER'S STATEMENT OF INTENT (THE "STATEMENT")

American Stores Properties, Inc. ("ASPI") has purchased that certain 7.97-acre parcel of real estate located at the southeast corner of North Humboldt Avenue and East North Avenue in the City of Milwaukee, Wisconsin (the "Site"), which Site is legally described on Exhibit A attached hereto. ASPI proposes to construct an integrated commercial development on the Site consisting of (1) assorted retail establishments at the street corner oriented toward East North Avenue, (2) a combination grocery store and pharmacy/drug store adjoining such retail space at the south, (3) a parking deck and surface parking, (4) additional retail establishments to be developed in the future near the center of the Site and (5) various pedestrian oriented site features including, but not limited to, a town square. This Statement supplements the General Planned Development application submitted by ASPI for the Site and the 4.60 acres of land adjoining the Site at the south and east.

1. A general plan development vicinity map showing the boundaries of the Site, the territory within 1,000 feet of the Site, proposed access to the Site and community facilities in the surrounding area is included with this Statement as Sheet No. C-0.1 (the "Vicinity Plan"). (See also the general plan development site plan included with this Statement as Sheet No. GDP-1.) To provide access to the Site, Commerce Street will be extended east across North Humboldt Avenue and along the southeastern boundary of the entire Site. Extended Commerce Street will connect to East North Avenue by an opening approximately 501 feet east of the corner of North Humboldt and East North Avenues. Private drives servicing the Site will be located along the Commerce Street extension. In addition, a private drive with traffic calming measures will be extended east from Garfield Street across North Humboldt Avenue. As outlined on the Vicinity Plan, community facilities in the surrounding area include a restaurant located southeast of the Site along the Milwaukee River; industrial and residential uses located southwest of the Site; taverns, ground level retail stores and apartments due west of the Site; and residential and modest industrial development to the north of the Site.

2. The Detailed Plan Development Exhibit Plat included with this Statement shows the exterior boundaries, legal description and the area of the Site. The Site is currently vacant and unimproved. The Site was a former railyard and has undergone significant environmental remediation. Thus, no significant

improvements or natural features exist to be disturbed by ASPI's development plans.

3. A detailed plan development site plan showing dimensions and the detailed location of all proposed structures and improvements is included with this Statement as Sheet No. C1.0 (the "Site Plan"). The structures and improvements that will be developed on the Site, as shown on the Site Plan, are described below.

(a) Two single story buildings measuring approximately 313 feet along East North Avenue, 76 feet along North Humboldt Avenue and consisting of an aggregate of approximately 21,726 square feet of area will be built at the southeast corner of East North and North Humboldt Avenues. (The square footage of such buildings may change slightly as the design for the rear loading area is finalized, but in no event shall the east, north or west walls vary from the locations shown nor shall the total square footage for the buildings exceed a maximum of 22,500.) The roof of such buildings shall measure approximately 22 feet above grade; however, architectural elements, including but not limited to roof parapets and building corners, may extend up to 40 feet above grade. The buildings will be divided into separate retail spaces. These spaces in the buildings will be available for lease for any of the uses described in subparagraph 3(a) of the General Plan Project Description and Owner's Statement of Intent. ASPI anticipates that these retail spaces may remain open from 6 a.m. to 12 midnight, seven days per week.

(b) A building for use as a combination general purpose grocery store and retail drug store and pharmacy will be developed due south of and adjacent to the retail space described in subparagraph (a). The building will measure approximately 313 feet east to west and approximately 195 feet north to south along North Humboldt Avenue. The roof of such building shall measure approximately 26 feet in height above grade; however, architectural elements, including but not limited to parapet walls, may extend up to 32 feet above grade. Such building will consist of approximately 63,931 square feet in area on its first floor. (The first floor square footage of such building may change slightly as the design for the rear loading area is finalized, but in no event shall the east, south or west walls vary from the locations shown, nor shall the first floor square footage exceed a maximum of 65,000.) Such building will also have a small mezzanine not to exceed approximately 6,192 square feet for administrative offices and building, mechanical, electrical and maintenance areas; no retail activities will occur on the mezzanine. Elevations for the building are included with this Statement as Drawing Nos. A.1a, A.1b, A.2a, A.3a and A.4a (the "Elevations").

ASPI anticipates operating the combination grocery store and pharmacy/drug store during the hours of 6 a.m. to 12 midnight.

(c) A parking deck for 39 spaces will be developed along East North Avenue, adjacent to the retail space described in subparagraph (a) on its east wall. The parking deck will measure approximately 240 feet along East North Avenue, approximately 70 feet along the east wall of the retail space and approximately 16,800 square feet in area. The parking deck shall be at the right-of-way surface grade at its entrance drive along East North Avenue and shall be constructed in a manner enabling ASPI to create a loading area beneath the parking deck. Trucks for the combination grocery store and pharmacy/drug store described in subparagraph (b) shall load and unload at five truck berths to be developed in the area created beneath the western portion of the parking structure. Trucks for the combination store shall collect refuse from a sealed compartment which is located along the east wall of the building and which is internally loaded. ASPI will create access to loading and refuse/recyclable collection space to service the subparagraph (a) retail space from the 39-space parking area adjacent to such retail space. Such retail space may also be loaded off of East North Avenue.

(d) Other parking on the Site shall be surface parking. In addition to the 39 spaces to be provided in the deck described in subparagraph (c), 324 parking spaces shall be provided at the south and east portions of the Site. Thus, a total of 363 parking spaces will be available for service to the retail space and combination grocery store and pharmacy/drug store. Interspersed throughout the parking lot on the Site, a total of approximately 11,921 square feet of landscaped green space will be created and maintained. Such green space shall include landscaped islands within the surface parking areas and green space buffers between the southern and eastern edges of the parking areas and extended Commerce Street and between the western edge of the parking areas and North Humboldt Avenue.

(e) At present, approximately 11,361 square feet located south of the parking deck described in subparagraph (c) and east of the combination grocery store and retail drug store and pharmacy described in subparagraph (b) shall be maintained as sod; no vehicles will drive or park on such space. In the future, ASPI may sell or lease such area for the development of a building to house additional retail and/or office space. The building shall front onto the "town square" described in subparagraph (f) below and measure approximately 180 feet east to west and approximately 60 feet north to south. The first floor of the building (with approximately 10,800 square feet in area) may be used for any of the uses listed as permitted under subparagraph (a) above. A second floor to the building (of an additional approximately 10,800 square feet in

area) may also be developed for any uses permitted under subparagraph (a) above or for residential uses. Parking for this building would be provided by the 363 spaces described in subparagraph (d).

(f) Portions of the Site will be developed as improvements to be made available for public use. As mentioned above, Commerce Street will be extended through the Site. A "town square" will be created at the southeast corner of the Site. Such town square shall be an open, landscaped parklike area, possibly with a gazebo, including approximately 26,968 square feet of area.

4. Signage and lighting plans for the Site are depicted on the Site Plan and Elevations. ASPI anticipates using a total of approximately 1,612 square feet of signage at the Site as set forth below.

Building mounted signs for combination grocery store and pharmacy/drug store	346 square feet
Retaining/screening wall mounted signage for combination grocery store and pharmacy/drug store	126 square feet
Center identification signage in building corner element at northwest corner of Site	100 square feet
Building signage for subparagraph (a) retail space	660 square feet
Building signage for subparagraph (e) retail space	380 square feet

(The 1,612 square feet of signage does not include on-site directional signs, none of which shall exceed six square feet in size.) All signs will be mounted on building walls, retaining walls or brick screening walls, and no one sign shall exceed 300 square feet in size on any one face. All signage other than that located in the retail buildings described in subparagraphs (a) and (e) shall be channelized pin set letters which will be back lit. The center identification sign located in the building element at the northwest corner of the development will be mounted behind glazing. The building signage located on the retail buildings described in subparagraphs (a) and (e) may be internally illuminated channelized letters, wall billboards or channelized pin set letters which may be internally illuminated or back lit. The building signage located on the retail buildings described in subparagraphs (a) and (e) shall run no more than the length of 70 percent of the building frontage and shall not exceed three feet in height; however, heights of signs may vary based on specific logo designs. Variation of color and style for

such signs will be encouraged. (Representative signs are depicted on the Elevations.)

ASPI anticipates using up to 40 light poles throughout the parking areas on the Site. A representative lighting detail is included with this Statement as Sheet No. LT-X. All parking area lighting shall be metal halide, shall be designed and located to minimize glare onto adjoining properties and shall not be intermittent. All building mounted lighting shall be either sign illumination or soffit type lighting. Parking lot lighting shall be mounted on poles no higher than 20 feet. Lighting within any public right-of-way shall conform to all applicable regulations.

5. A detailed plan development site grading and paving plan indicating existing and proposed topography and showing how positive runoff of surface waters will be achieved and the means by which ultimate disposal of the Site's surface waters will be accomplished is included with this Statement as Sheet No. C2.0. ASPI shall comply with all applicable stormwater management regulations. Stormwater will be collected on-site through a series of inlets and storm sewer pipes which will outflow into the existing municipal system. No stormwater detention ponds will be required on the Site.

6. A detailed plan development utility plan showing the proposed location of storm and sanitary sewers, water mains and laterals, parking and roadway storm inlets and elevations is included with this Statement as Sheet No. C3.0. All utility lines, mains and laterals serving the Site shall be buried underground.

7. A landscape plan for the Site showing the location, number, size and type of all plantings is included with this Statement as Sheet No. L-1. Parking lots will be screened by three-foot tall brick walls along the west and south edges of the parking areas. Trees will be spaced along the west and south edges of the parking areas at approximately 30 foot intervals and shrubs will be maintained between the trees. A three-foot tall wrought iron fence with brick pilasters spaced every 30 feet and filled with shrubs will screen the east side of the parking area. Trees will be located in curbed islands throughout the parking lot in a grid fashion; curbed islands at the end of each parking aisle will be planted with shade trees and shrubs. All public rights-of-way will be planted with street trees in accordance with all applicable regulations. Details of the brick screen walls and wrought iron fences are shown on the Elevations.

Minor modifications may occur to the detailed plans included with this Statement.

Exhibit "A"

A PART OF PARCELS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 5633, RECORDED ON DECEMBER 27, 1991, AS DOCUMENT NO. 6554614, BEING A REDIVISION OF A PART OF LOT 82 IN THE PLAT OF LOTS 2 AND 3 IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID 1/4 SECTION; THENCE NORTH $89^{\circ}04'24''$ EAST ALONG THE NORTH LINE OF SAID 1/4 SECTION 50.00 FEET TO A POINT; THENCE SOUTH $00^{\circ}18'59''$ EAST AND PARALLEL WITH THE WEST LINE OF SAID 1/4 SECTION 53.00 FEET TO THE SOUTH LINE OF EAST NORTH AVENUE AND THE POINT OF BEGINNING OF THE LANDS TO BE DESCRIBED; THENCE NORTH $89^{\circ}04'24''$ EAST ALONG THE SOUTH LINE OF EAST NORTH AVENUE AND PARALLEL WITH THE NORTH LINE OF SAID 1/4 SECTION 500.56 FEET TO A POINT; THENCE NORTH $85^{\circ}38'23''$ EAST ALONG THE SOUTH LINE OF EAST NORTH AVENUE 92.68 FEET TO A POINT 47.19 FEET SOUTH OF THE NORTH LINE OF SAID 1/4 SECTION; THENCE SOUTH $00^{\circ}00'01''$ EAST, 406.47 FEET TO A POINT OF CURVATURE, THENCE ALONG A 115.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AN ARC DISTANCE OF 119.44 FEET TO A POINT OF TANGENCY, SAID CURVE HAVING A CHORD LENGTH OF 114.14 FEET AND A CHORD BEARING OF SOUTH $29^{\circ}45'12''$ WEST; THENCE SOUTH $59^{\circ}30'24''$ WEST, 158.12 FEET TO A POINT OF CURVATURE; THENCE ALONG A 400.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST AN ARC DISTANCE OF 214.42 FEET TO A POINT OF TANGENCY, SAID CURVE HAVING A CHORD LENGTH OF 211.86 FEET AND A CHORD BEARING OF SOUTH $74^{\circ}51'48''$ WEST; THENCE NORTH $89^{\circ}46'49''$ WEST, 192.04 FEET TO THE EASTERLY RIGHT OF WAY LINE OF NORTH HUMBOLDT AVENUE; THENCE NORTH $00^{\circ}18'59''$ WEST, 625.01 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE TO THE POINT OF BEGINNING

HUMBOLDT YARDS

GENERAL PLAN PROJECT DESCRIPTION AND OWNER'S STATEMENT OF INTENT (THE "STATEMENT")

American Stores Properties, Inc. ("ASPI") has purchased a certain 12.57-acre parcel of real estate located at the southeast corner of North Humboldt Avenue and East North Avenue in the City of Milwaukee, Wisconsin (the "Site"), which Site is legally described in the plat of Survey No. 151231 included with this Statement (the "Survey"). ASPI proposes to develop the northwest 7.97 acres of the Site as an integrated retail and commercial development. ASPI proposes to sell the south and east 4.60 acre perimeter of the Site for development by a third party of an integrated residential development.

1. A general plan development vicinity map showing the boundaries of the Site, the territory within 1,000 feet of the Site, proposed access to the Site and community facilities in the surrounding area is included with this Statement as Sheet No. C-O.1 (the "Vicinity Plan"). To provide access to the Site, Commerce Street will be extended east across North Humboldt Avenue running between the commercial and residential parcels on the Site. Extended Commerce Street will connect to East North Avenue by an opening approximately 501 feet east of the corner of North Humboldt and East North Avenues. In addition, a private drive with traffic calming measures will be extended east from Garfield Street through the commercial site. Upon development of the residential parcel, it is contemplated that a public street with cul de sac will be continued eastward from Garfield Street into the residential site, and North Riverboat Road along the eastern boundary of the Site may be extended up to the residential area. As outlined on the Vicinity Plan, community facilities in the surrounding area include: a restaurant located southeast of the Site along the Milwaukee River; industrial and residential uses located southwest of the Site; taverns, ground level retail stores and apartments west of the Site; and residential and modest industrial development to the north of the Site. Beneath the bluff on the east boundary of the Site, the Milwaukee River runs freely, and natural open space is visible.

2. The Survey included with this Statement shows the exterior boundaries, legal description, existing topography and the area of the Site. The Site is currently vacant and unimproved. The Site was a former railyard and has undergone significant environmental remediation. Thus, no significant improvements exist to be disturbed by ASPI's development plans.

3. A general plan development site plan showing the general location and estimated dimensions of all proposed structures and improvements at the Site is included with this Statement as Sheet No. GDP-1 (the "Site Plan"). The structures and improvements that may be developed on the Site, as shown on the Site Plan, are described below.

(a) Two single story buildings measuring approximately 313 feet along East North Avenue, 76 feet along North Humboldt Avenue and consisting of an aggregate of approximately 21,726 square feet of area will be built at the southeast corner of East North and North Humboldt Avenues. (The square footage of such buildings may change slightly as the design for the rear loading area is finalized but in no event shall the east, north and west walls vary from the locations shown nor shall the total square footage for the buildings exceed a maximum of 22,500.) These buildings will be available for lease for any of the following uses: (i) offices, banks and other financial institutions and membership organizations, (ii) general retail establishments, general purpose grocery stores, office furniture sales, mail order and catalog sales centers, consumer services, ticket offices and travel agencies and pet shops, (iii) motor vehicle rental offices and motor vehicle supply stores, (iv) personal services, business services, photographic stores, photographic and art studios or schools, dance and music halls, studios or schools, dry cleaning and laundry stations and laundromats, (v) type "A" and type "B" restaurants without drive-thrus, and (vi) other uses that are similar in kind and nature. Unless otherwise defined in this Statement, these uses shall have the meanings set forth in Chapter 295 of the City of Milwaukee Zoning Code.

(b) A building for use as a combination general purpose grocery store and retail drug store and pharmacy will be developed due south of and adjacent to the retail space described in subparagraph (a). The building will measure approximately 313 feet east to west and approximately 195 feet north to south along North Humboldt Avenue. Such building will consist of approximately 63,931 square feet in area on its first floor. (The first floor square footage of such building may change slightly as the design for the rear loading area is finalized, but in no event shall the east, south or west walls vary from the locations shown, nor shall the first floor square footage exceed a maximum of 65,000.) Such building will also have a small mezzanine not to exceed approximately 6,392 square feet for administrative offices and building, mechanical, electrical and maintenance areas; no retail activities will occur on the mezzanine.

(c) A parking deck for 39 spaces will be developed along East North Avenue, adjacent to the retail space described in subparagraph (a) on its east wall. The parking structure will measure approximately 240 feet along

East North Avenue, approximately 70 feet along the east wall of the retail space and approximately 16,800 square feet in area. The parking deck shall be at the right-of-way surface grade at its entrance drive along East North Avenue and shall be constructed in a manner enabling ASPI to create a refuse collection and a loading area beneath the parking deck. Other parking on the Site shall be surface parking. In addition to the 39 spaces to be provided on the deck described above, 324 parking spaces shall be provided at the south and east portions of the commercial parcel on the Site. Thus, a total of 363 parking spaces will be available for service to the retail space and combination grocery store and pharmacy/drug store. Interspersed throughout the parking lot on the Site, landscaped green space will be created and maintained.

(d) At present, approximately 11,361 square feet located south of the parking deck described in subparagraph (c) and east of the combination grocery store and retail drug store and pharmacy described in subparagraph (b) shall be maintained as sod; no vehicles will drive or park on such space. In the future, ASPI may sell or lease such area for the development of a building to house any of the uses listed as permitted under subparagraph (a) above. Parking for this building would be provided by the 363 spaces described in subparagraph (c).

(e) Up to 34 attached or detached single family homes, townhouses and/or apartment buildings may be developed throughout the south and east 4.60 acre perimeter of the Site. Such buildings shall be developed in accordance with the Beer Line "E" Master Plan & Neighborhood Code attached hereto as Exhibit A. Buildings at the north portions of such 4.60 acres will be grouped side by side. Buildings at the south portions of such acreage may be separated by up to 25 feet of open space, but efforts will be made to maintain an urban design. Each building may house between one and six dwelling units, each with between one and three bedrooms for a total of up to 69 primary dwelling units. Additional accessory units for apartment and/or office uses may also be developed above garages, resulting in a total of up to 96 primary and accessory units. Enclosed parking garages and surface spaces will provide parking for each dwelling unit in accordance with building code requirements. Garages for the buildings at the north will be attached; garages for buildings at the south will be detached and front on the future Riverboat Road extension.

(f) Portions of the Site will be developed for various improvements available for public use. As mentioned above, Commerce Street will be extended. Pedestrian-friendly boulevards will be developed throughout the Site, and pedestrian accessways and stairways to the Milwaukee River may be

created. A "town square" will be developed in the middle of the Site. Finally, a sizeable open green space at the northeast corner of the Site will be created.

(g) In most areas, at least a five-foot setback shall be maintained to separate the boundaries of the commercial parcel of the Site from public rights-of-way, including extended Commerce Street. Planters, pilasters, building corner elements, fencing and landscaping elements may be located within such setback as shown on the Site Plan. In addition, not less than a five-foot setback shall be maintained to buffer dwelling units on the residential parcel of the Site from extended Commerce Street. However, garages serving such residential dwelling units may be located closer to the Riverboat Road right-of-way as shown on the Site Plan.

4. A total of approximately 1,612 square feet of signage will be used for all commercial spaces on the Site, including individual signs for each separate retail space. All signs will be mounted on building walls or retaining walls, and no one sign shall exceed 300 square feet in size on any one face. Signage for commercial spaces may be internally illuminated channelized letters, back lit channelized pin set letters, or wall billboards and will be directed to attract passersby from the surrounding city streets and other commercial areas. All parking area lighting for commercial spaces shall minimize glare onto adjoining properties and shall not be intermittent. Signage and lighting on the south and east 4.60 acre perimeter of the Site will be similar to those in other residential developments. Two free-standing signs not larger than 36 square feet each shall advertise the residential development from public rights-of-way, and up to 15 signs within the residential development may be used to provide direction or instruction.

As mentioned above, a detailed planned development application shall be submitted for the Site prior to development. A detailed planned development application for retail and commercial development on the northwest 7.97 acres of the Site accompanies this application.

EXHIBIT A**BEER LINE "B" MASTER PLAN & NEIGHBORHOOD CODE**

**Building Type I: SINGLE FAMILY HOMES OR
TWO-FAMILY CONDOMINIUMS**

Building Use:

1. The following uses are permitted either as attached to the principal or as accessory buildings: garage, home office, artist studio, guest cottage, gazebo, conservatory.
2. The maximum land coverage of an accessory building shall be 500 square feet, with a maximum of two stories.

Building Placement:

1. Buildings shall be located on lots relative to the property lines as shown in the lot diagram for each lot.
2. Building street facades must occupy a minimum of 50% of the build-to line.
3. Buildings located on lots with curved property lines at the street may substitute for that line, a straight line located at the average depth of the curved line segment fronting the building.
4. Accessory buildings shall be separated from the main building house by a 15-foot minimum distance.
5. For lots at the intersection of streets and/or pedestrian ways, houses shall have the entry walkway and porch accessed from either Commerce Street extended or the pedestrian way, depending upon location.

Permitted Encroachments Beyond the Build-To Line:

1. Front porches, balconies, stoops, bay windows and open side porches shall be permitted within the encroachment zone (shaded areas) shown in the diagram.
2. Garden walls or fences shall be permitted only along the build-to line at street or public way frontage or at a common property line.
3. Eaves may extend up to (3) three feet beyond the maximum permitted encroachment. In no case may an eave extend beyond the property line or

3. Eaves may extend up to (3) three feet beyond the maximum permitted encroachment. In no case may an eave extend beyond the property line or over a utility easement. Lots with zero lot line development may not have eaves extending past the face of the wall on the shared property line.

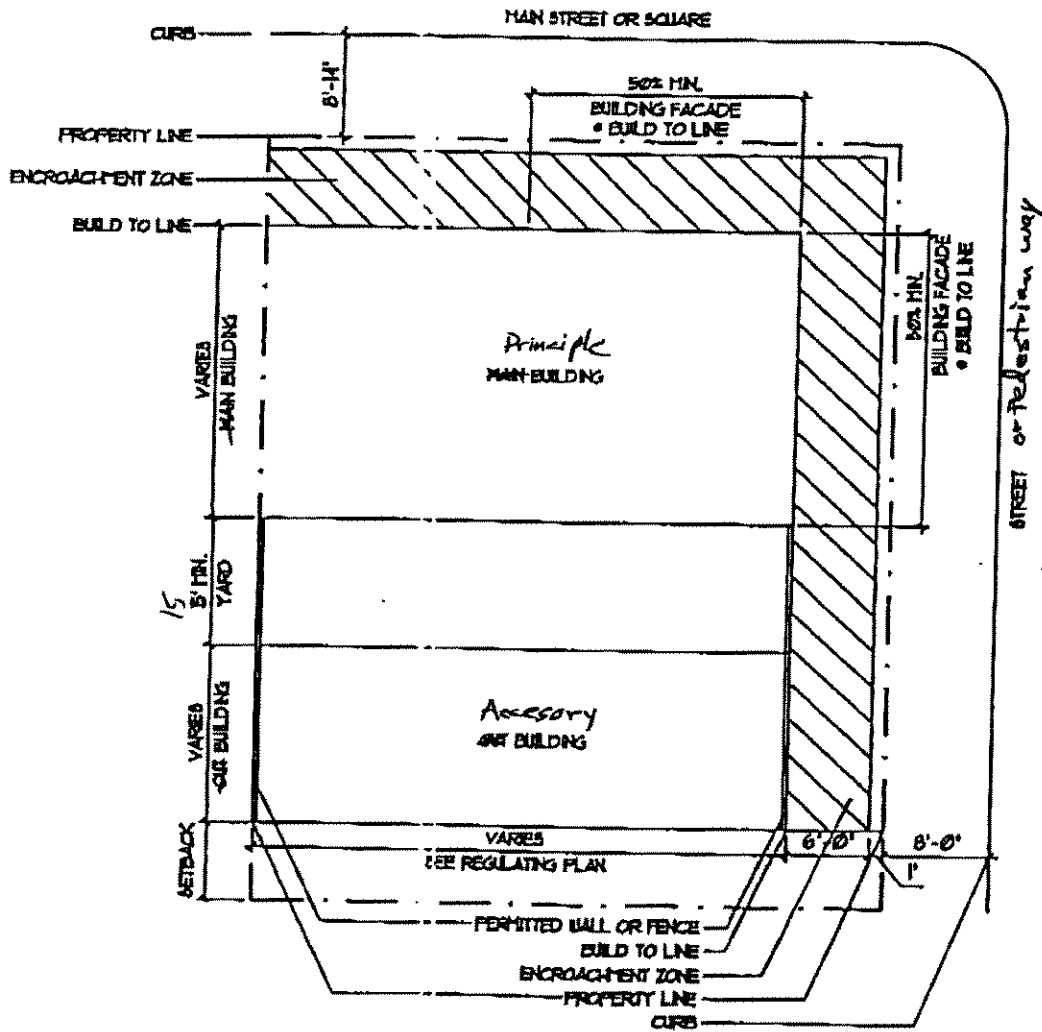
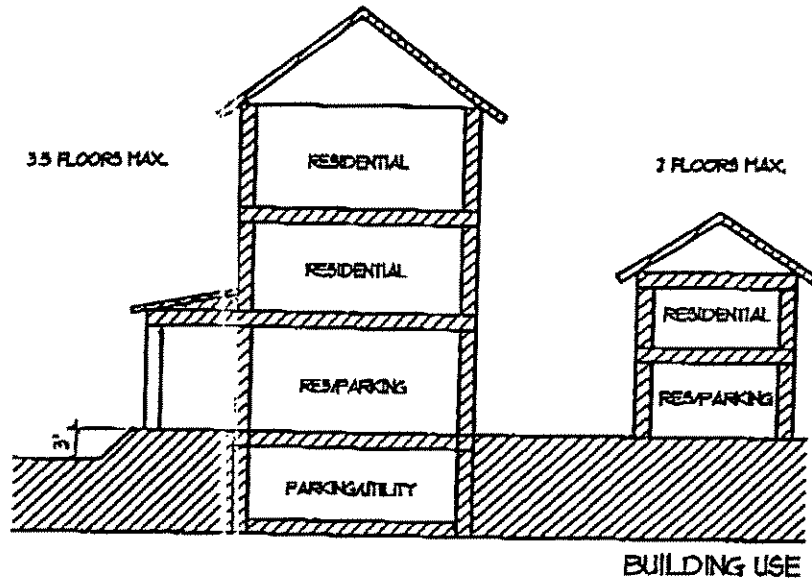
Parking:

1. Garage doors are not permitted to face directly onto Commerce Street extended or pedestrian ways.
2. Private parking spaces shall be no less than 9' x 19' with access to a street or alley.
3. Trash containers must be screened from public view.
4. One parking space is required for each dwelling unit.
5. Required parking spaces shall be covered.

Building Height:

1. Heights shall be measured relative to the average fronting street elevation measured at the property line.
2. Minimum and maximum building heights shall be measured in number of stories, each story not to exceed 12 feet to ceiling height. Minimum height shall be 2 floors and a maximum height of 3.5 stories.
3. Half stories indicate stories above the eave line which receive light through dormers.
4. Fences and walls shall be a minimum of 3 feet and a maximum of 6 feet high.
5. Basements are allowed in all structures as an additional floor without penalty.

BUILDING TYPE SINGLE FAMILY



BUILDING PLACEMENT AND ENCROACHMENTS

Building Type II: TOWNHOUSE

Building Use:

1. Building uses as shown in the diagram.

Building Placement:

1. Buildings shall be set on lots relative to the property lines as shown on the diagram.
2. Building street facades must occupy 100% of the lot frontage. On corner lots, building street facades shall occupy a minimum of 100% of the lot frontage.
3. Buildings located on lots with curved property lines at the street may substitute for that line, a straight line located at the average depth of the curved line segment fronting the building.
4. For lots at the intersection of streets and/or pedestrian ways, corner townhouses shall have the entry walkway and porch accessed from either Commerce Street extended or the pedestrian way, depending upon location.

Permitted Encroachments Beyond the Build-To Line:

1. Open front porches, balconies, stoops, bay windows and roof eaves shall be permitted within the encroachment zone (shaded areas) shown in the diagram.
2. Front porches or stoops are required.
3. Eaves may extend up to (3) three feet beyond the maximum permitted encroachment. In no case may an eave extend beyond the property line or over a utility easement. Lots with zero lot line development may not have eaves extending past the face of the wall on the shared property line.
4. Garden walls or fences shall be permitted only along the build-to line at street or public way frontage or at a common property line.

Parking:

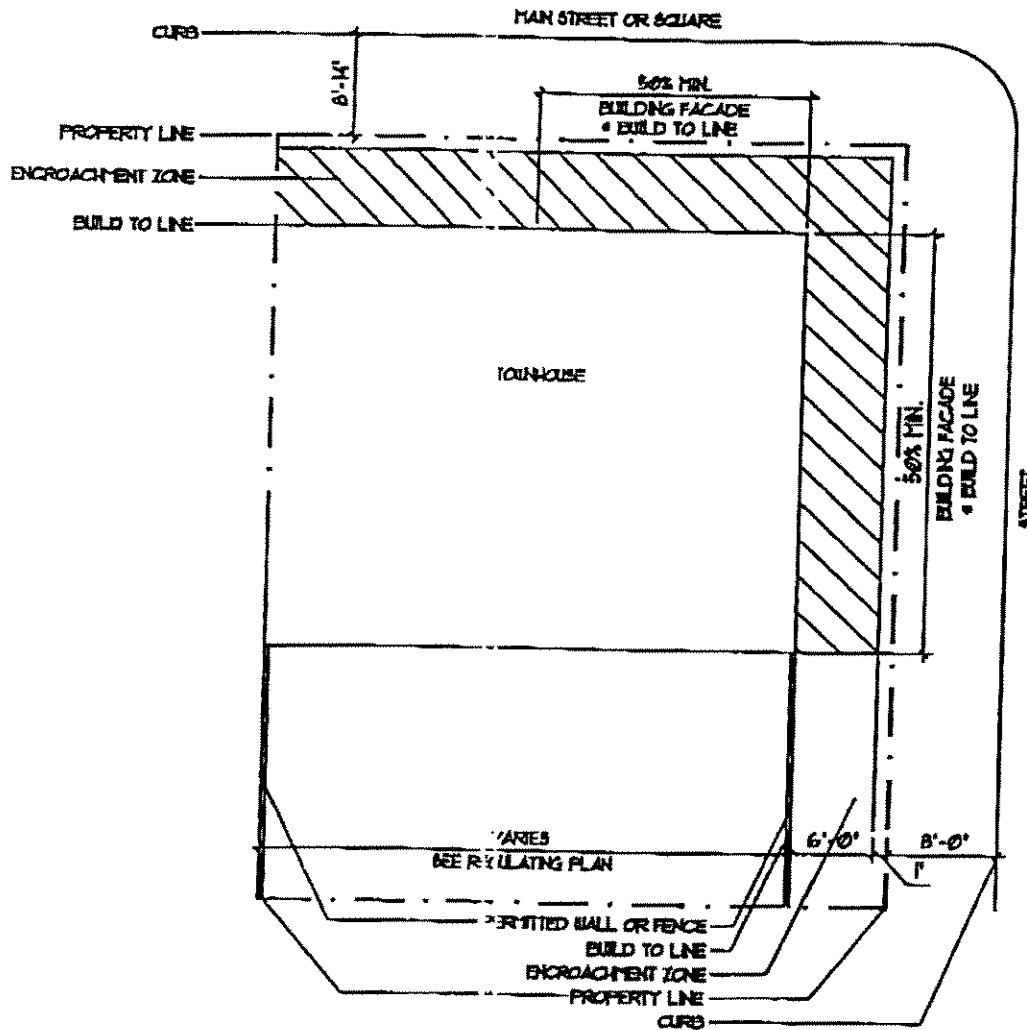
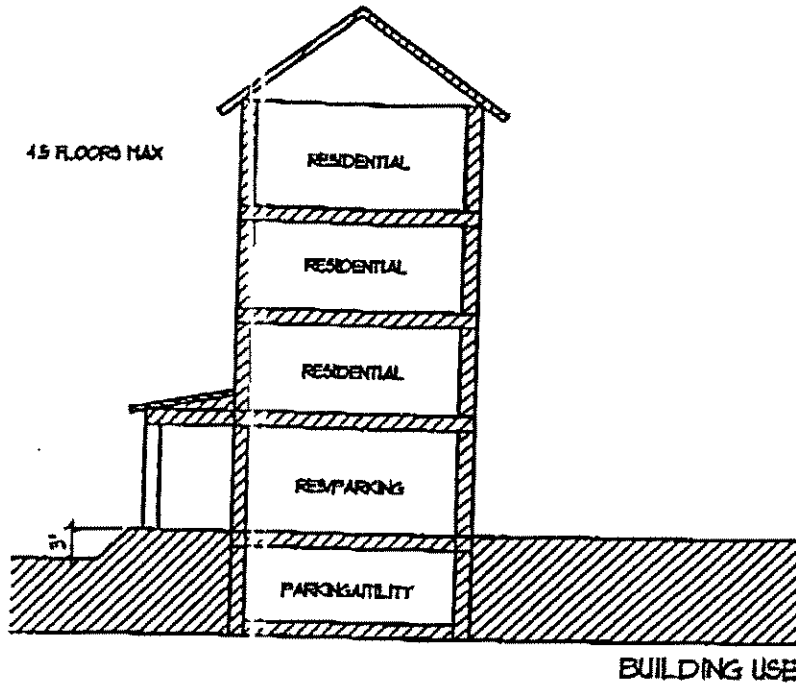
1. Garage doors are not permitted to face directly onto Commerce Street extended or pedestrian ways.
2. Private parking spaces shall be no less than 9' x 19' with access to a street or alley.

3. Trash containers must be screened from public view.
4. One parking space is required for each dwelling unit.
5. Required parking spaces shall be covered.

Building Height:

1. Heights shall be measured relative to the average fronting street elevation measured at the property line.
2. Minimum and maximum building heights shall be measured in number of stories, each story not to exceed 12 feet to ceiling height. Minimum height shall be 2.5 floors and a maximum height of 4.5 stories.
3. Half stories indicate stories above the eave line which receive light through dormers.
4. Fences and walls shall be a minimum of 3 feet and a maximum of 6 feet high.
5. Basements are allowed in all structures as an additional floor without penalty.

BUILDING TYPE TOWNHOUSE



BUILDING PLACEMENT AND ENCROACHMENTS

Building Type III: COURTYARD APARTMENT

Building Use:

1. Building uses as shown in the diagram.

Building Placement:

1. Buildings shall be set on lots relative to the property lines as shown on the diagram.
2. Building street facades shall occupy 100% of the lot frontage. On corner lots, building street facades shall occupy a minimum of 100% of the lot frontage.
3. Buildings located on lots with curved property lines at the street may substitute for that line, a straight line located at the average depth of the curved line segment fronting the building.

Permitted Encroachments Beyond the Build-To Line:

1. Open front porches, balconies, stoops, bay windows and roof eaves shall be permitted within the encroachment zone (shaded areas) shown in the diagram.
2. Front porches or stoops are required.
3. Eaves may extend up to (3) three feet beyond the maximum permitted encroachment. In no case may an eave extend beyond the property line or over a utility easement. Lots with zero lot line development may not have eaves extending past the face of the wall on the shared property line.
4. Garden walls or fences shall be permitted only along the build-to line at street or public way frontage or at a common property line.

Parking:

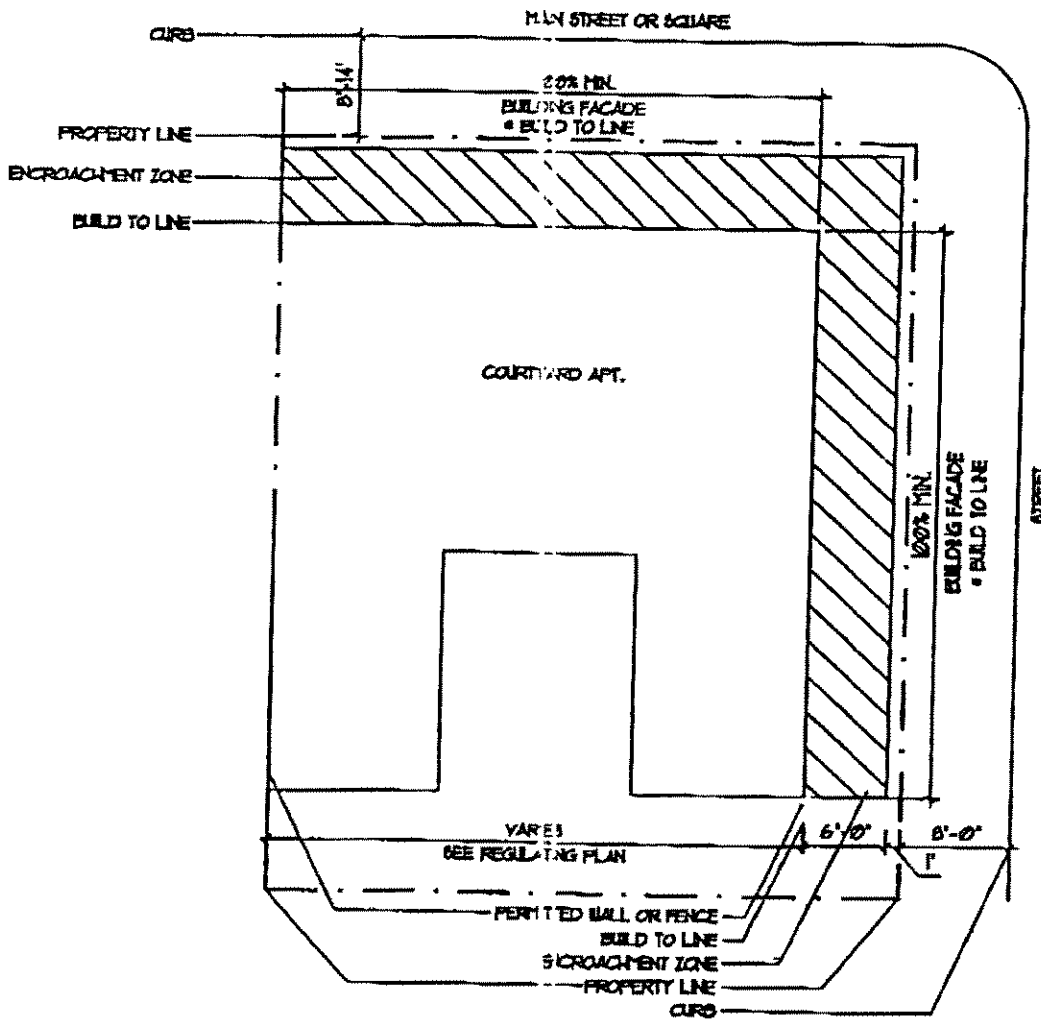
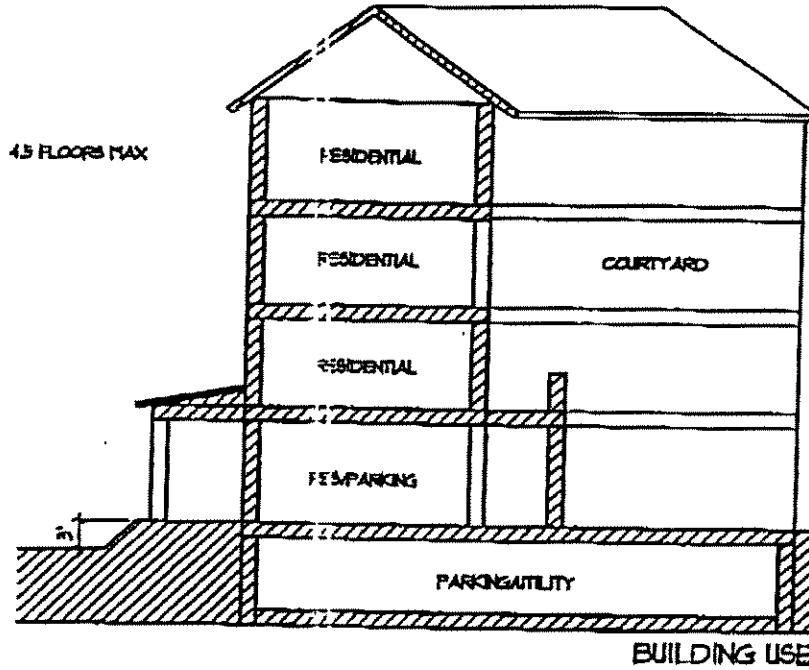
1. Garage doors are not permitted to face directly onto Commerce Street extended or pedestrian ways.
2. Private parking spaces shall be no less than 9' x 19' with access to a street or alley.
3. Trash containers must be screened from public view.
4. One parking space is required per dwelling unit.

5. Required parking spaces shall be covered.
6. On-site parking spaces shall be provided only within the areas shown in the diagram.

Building Height:

1. Heights shall be measured relative to the average fronting street elevation measured at the property line.
2. Minimum and maximum building heights shall be measured in number of stories, each story not to exceed 12 feet to ceiling height. Minimum height shall be 2.5 floors and a maximum height of 4.5 stories.
3. Half stories indicate stories above the eave line which receive light through dormers.
4. Fences and walls shall be a minimum of 3 feet and a maximum of 6 feet high.
5. Basements are allowed in all structures as an additional floor without penalty.

BUILDING TYPE COURTYARD APT.



BUILDING PLACEMENT AND ENCROACHMENTS