

INDEX OF DRAWINGS

CONSTRUCTION DOCUMENTS

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NOTE: ALL MEP TO BE DESIGN BUILD. REVIEW ALL DESIGNS, LOCATIONS AND FIXTURES WITH OWNER PRIOR TO INSTALL.

HVAC NOTES:

1. Base bid to include the reuse and reconfiguration of two (2) existing HVAC units mounted in the space and the accompanying units located on the roof of the sitting porch.
2. **ALT #1** Bid to include new HVAC units accompanying ducts, and any accessories sized to handle the new space for Stone Creek Coffee.
3. Coordinate with demolish contractor to save, salvage, or reuse any existing HVAC equipment, ducts, wiring etc.



PROJECT TEAM

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STRUCTURAL

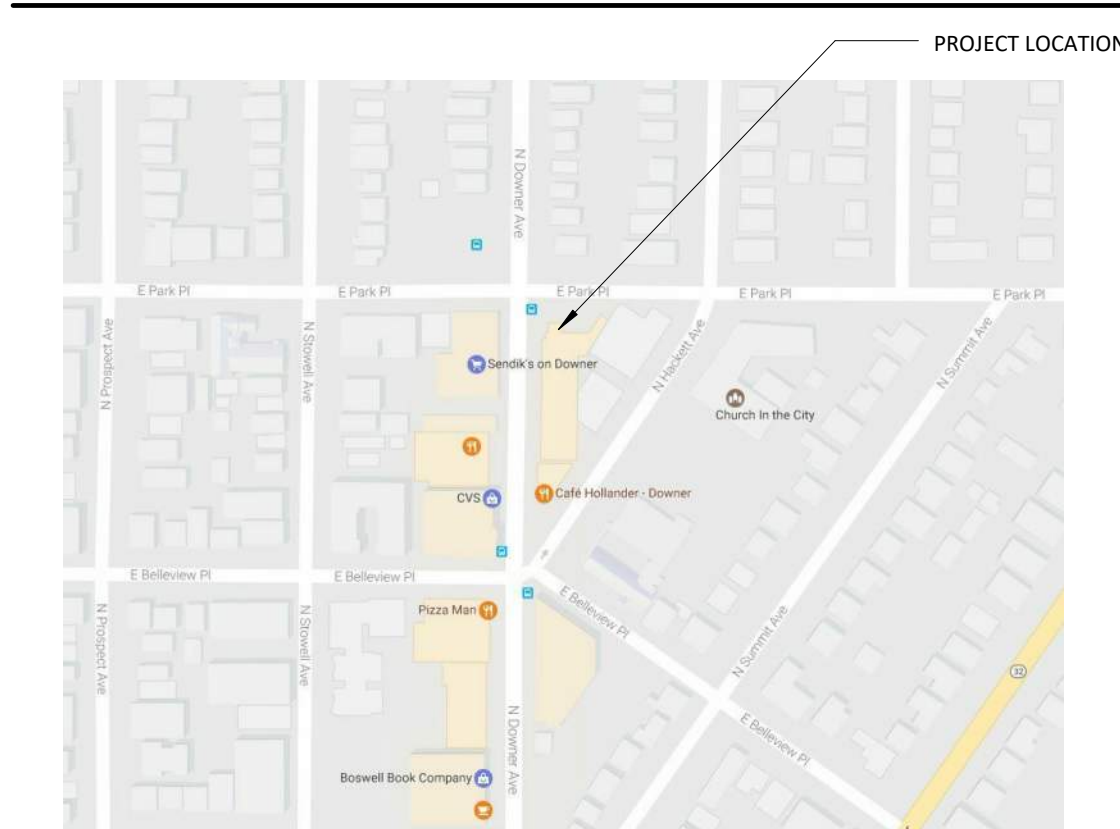
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STONE CREEK COFFEE

DOWNER AVE

N DOWNER AVE AND E PARK PL
 MILWAUKEE, WI 53211

LOCATION MAP



PROJECT INFO

Date
 7.17.2017
 Project No.
 17.055

SHEET TITLE

TITLE SHEET, SHEET INDEX, LOCATION MAP

G001

PRICING SET

NO.	ROOM	DOOR SCHEDULE										COMMENTS				
		TYPE	OVERALL WIDTH	ACTIVE LEAF	HEIGHT	MAT'L	FINISH	TYPE	MAT'L	FINISH	RATING		HINGE	LOCK	CLOSER	STOP
100.1	VESTIBULE	FG	3'-0"		7'-0"	ALUM	ANOD	FR1	ALUM	ANOD		BT	ED-EO	X	WL	PROVIDED SEPARATE LINE ITEM TO BE PROVIDED BY LANDLORD
100.2	VESTIBULE	FG	3'-0"		7'-0"	ALUM	ANOD	FR1	ALUM	ANOD		BT	PS	X	WL	PROVIDED SEPARATE LINE ITEM TO BE PROVIDED BY LANDLORD
101.1	ENTRY VEST.	FG	6'-0"	3'-0"	7'-0"	ALUM	ANOD	FR1	ALUM	ANOD		CS	PS	-	WL	PROVIDE ALL CODE REQUIRED EGRESS HARDWARE AND SIGNAGE. COORDINATE LOCKING REQUIREMENTS WITH OWNER
101.2	SERVING AREA	FG	3'-0"		7'-0"	ALUM	ANOD	FR1	ALUM	ANOD		CS	ED-EO	X	WL	PROVIDE ALL CODE REQUIRED EGRESS HARDWARE AND SIGNAGE. COORDINATE LOCKING REQUIREMENTS WITH OWNER
103.1	SEATING AREA	NP	6'-0"	3'-0"	7'-10"	STL	PT	FR4	STL	PT		BT	OF	-	FR K10	PROVIDE 180 SWING ON BOTH LEAVES
103.2	SEATING AREA	NP	6'-0"	3'-0"	7'-10"	STL	PT	FR4	STL	PT		BT	OF	-	FR K10	PROVIDE 180 SWING ON BOTH LEAVES
103.3	SEATING AREA	NP	6'-0"	3'-0"	7'-10"	STL	PT	FR4	STL	PT		BT	OF	-	FR K10	PROVIDE 180 SWING ON BOTH LEAVES
104.1	SITTING PORCH	OH	8'-0"		9'-0"	ALUM	ANOD									SEE DOOR TYPE OH, FRAME BY DOOR MANUFACTURER. PROVIDE CEDAR BOARD TRIM AT JAMB AND HEAD. PROVIDE MANUAL LATCH.
104.2	SITTING PORCH	OH	8'-0"		9'-0"	ALUM	ANOD									SEE DOOR TYPE OH, FRAME BY DOOR MANUFACTURER. PROVIDE CEDAR BOARD TRIM AT JAMB AND HEAD. PROVIDE MANUAL LATCH.
104.3	SITTING PORCH	OH	8'-0"		9'-0"	ALUM	ANOD									SEE DOOR TYPE OH, FRAME BY DOOR MANUFACTURER. PROVIDE CEDAR BOARD TRIM AT JAMB AND HEAD. PROVIDE MANUAL LATCH.
105	MEN	F	3'-0"		7'-0"	WD	STN	FR1	HM	PT		BT	PS	-	WL PRT	DOOR TO BE TREEFROG VENEER - SEE FINISH SCHEDULE
106	WOMEN	F	3'-0"		7'-0"	WD	STN	FR1	HM	PT		BT	PS	-	WL PRT	DOOR TO BE TREEFROG VENEER - SEE FINISH SCHEDULE
107.1	STORAGE	F	3'-0"		7'-0"	WD	STN	FR1	HM	PT		BT	ST	-	WL	DOOR TO BE TREEFROG VENEER - SEE FINISH SCHEDULE. KEYPAD TO SAME KEY AS DOOR 101.1

GENERAL DOOR AND HARDWARE NOTES:

- VERIFY LEVER STYLE WITH OWNER PRIOR TO APPROVAL. HARDWARE SUPPLIER TO INCLUDE ALL HARDWARE NECESSARY FOR DOORS TO OPERATE AND FUNCTION PROPERLY AND AS INTENDED. TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO, CLOSERS AND WEATHER SEALING AT ALL EXTERIOR DOORS, CLOSERS AND LATCHING HARDWARE AT ALL RATED OPENINGS, AND OVERHEAD STOPS ANYWHERE A WALL STOP IS NOT ABLE TO BE UTILIZED.
- HARDWARE SUPPLIER TO COORDINATE ELECTRICAL HARDWARE WITH ELECTRICAL CONTRACTOR. VERIFY ALL VOLTAGES AND TRANSFORMER REQUIREMENTS.
- VERIFY EXISTING KEYS, KEYWAY, AND CYLINDER REQUIREMENTS WITH OWNER.
- PROVIDE CYLINDERS FOR ALL NEW HARDWARE.
- PROVIDE NEW KEY CABINET AS SPECIFIED.
- CONFIRM ALL KEYING WITH OWNER PRIOR TO ORDERING CYLINDERS. VERIFY EXISTING HARDWARE TO REMAIN IS FULLY FUNCTIONING - REPLACE / ADJUST AS NECESSARY.
- THE HOLD OPENS INTO FIRE ALARM CONTROL SYSTEM.
- THE ELECTRICAL LOCKS TO ACCESS CONTROL SYSTEM.
- THE DOOR POSITION SWITCHES TO ACCESS CONTROL SYSTEM.
- THE DELAYED EGRESS INTO FIRE ALARM SYSTEM.

DOOR SCHEDULE KEYED NOTES:

- HARDWARE BY DOOR MFG
- AUTOMATIC SLIDING DOOR. SEE SECTION 08.42.43
- EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. MODIFY HARDWARE AS NECESSARY TO PROVIDE DESIRED FUNCTION.

DOOR SCHEDULE ABBREVIATIONS:

ALUM ALUMINUM
FRP FIBERGLASS REINFORCED PANEL
HM HOLLOW METAL
SST STAINLESS STEEL
WD WOOD

FINISHES:

ANO ANODIZED
P# PAINTED, SEE FINISH SCHEDULE FOR COLOR
STN STAINED, SEE FINISH SCHEDULE FOR COLOR

HARDWARE:

BT BUTT HINGES (801279 HAGER)
BT-180 BUTT HINGES, 180 DEGREE SWING
CS CONTINUOUS HINGE
NRP BUTT HINGES W/ NON-REMOVABLE PIN
SW SWING CLEAR

HINGES:

BT BUTT HINGES (801279 HAGER)
BT-180 BUTT HINGES, 180 DEGREE SWING
CS CONTINUOUS HINGE
NRP BUTT HINGES W/ NON-REMOVABLE PIN
SW SWING CLEAR

LOCK FUNCTION:

CL CLASSROOM (NO SERIES SCHEDULE)
ED-EO EXIT DEVICE, EXIT ONLY (89 SERIES VON DUPPIN)
EK EXIT ONLY (NO SERIES SCHEDULE)
KP-M KEYPAD TRIM, MECHANICAL
KP-E KEYPAD TRIM, ELECTRICAL
OF OFFICE (NO SERIES SCHEDULE)
PP PUSH/PULL
PPB PUSH BARS ONLY
PPT PUSH PLATE ONLY
PR PRIVACY (NO SERIES SCHEDULE)
PS PASSAGE (NO SERIES SCHEDULE)
ST STOREROOM (NO SERIES SCHEDULE)

CLOSER/OPEATORS:

CUSH CLOSER W/ CUSH STOP ARM
HD HOLD OPEN
OP OPERATOR, PROVIDE ACTUATORS AS SHOWN ON PLAN, PROVIDE SAFETY EYE TOUCHLESS SENSOR
CLOSER W/ TELEPHONE BOOTHS CYLINDER
CLOSER

STOPS:

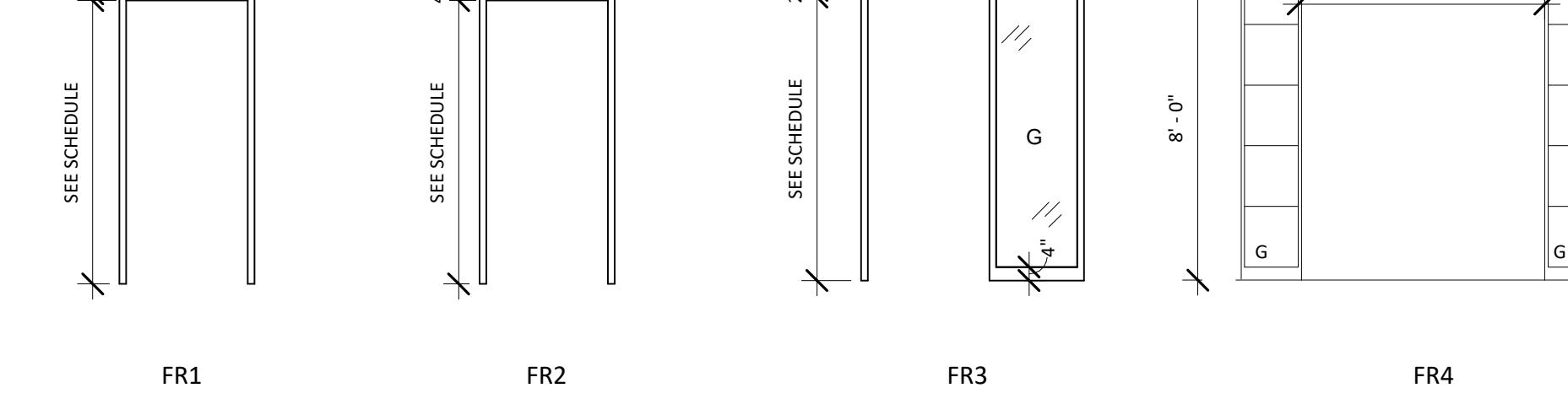
WL WALL
OH OVERHEAD
FR FLOOR

MISCELLANEOUS HARDWARE:

AP ARMOR PLATE, # INDICATES HEIGHT
AB AUTO DOOR BOTTOM
AS ASTRAGAL
CD COORDINATOR (BAR OR DROPPER)
CR CARD READER (PROVIDE CARD READERS AS SHOWN ON PLAN)
DE DRIP EDGE
DP DOOR POSITION SWITCH
EPT ELECTRIC POWER TRANSFER
ES-FS ELECTRIC STRIKE, FAIL SAFE
ES-FSE ELECTRIC STRIKE, FAIL SECURE
FL-A FLUSH BOLTS - AUTO
FL-M FLUSH BOLTS - MANUAL
FS FINGERPRINT SCANNER (PROVIDE AS SHOWN ON PLAN)
JS JAMB SEALS
K# KICKPLATE, # INDICATES HEIGHT
KP NUMERIC KEYPAD (PROVIDE AS SHOWN ON PLAN)
MHO MAGNETIC HOLD OPENS)
PS POWER SUPPLY BY DIVISION 26
RK-OH REQUEST TO EXIT - OVERHEAD MOTION DETECTOR
SW SWEEP
TH THRESHOLD
TR THUMB TURN OCCUPIED DEADBOLT

GENERAL DOOR AND HARDWARE NOTES:

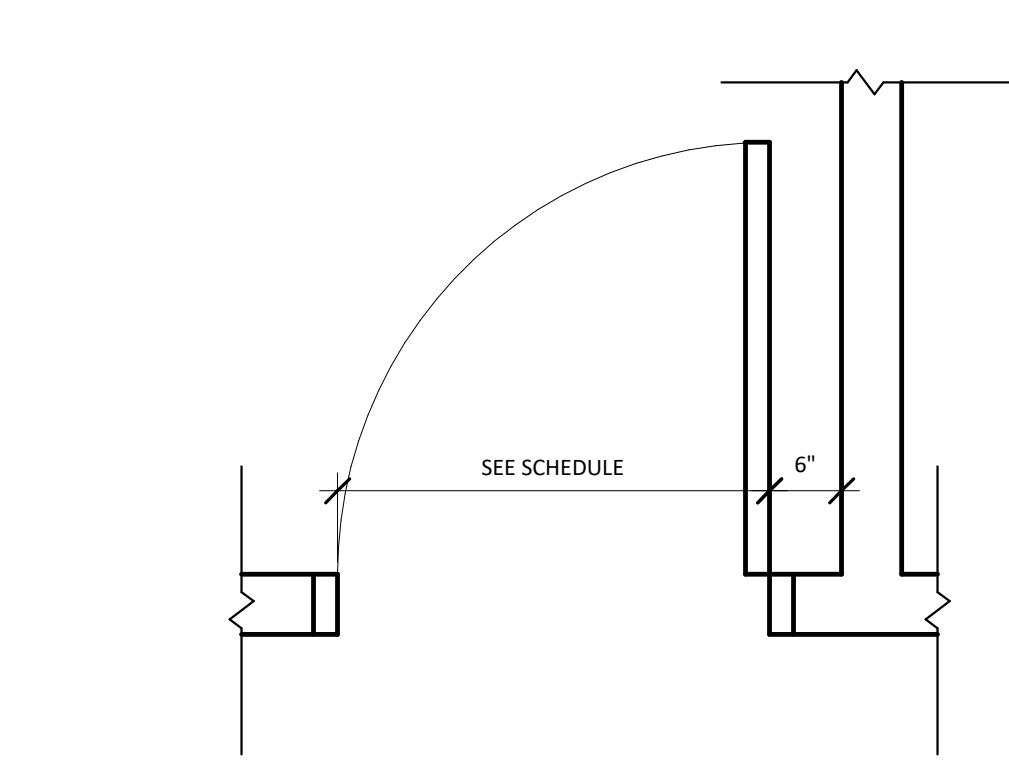
- VERIFY LEVER STYLE WITH OWNER PRIOR TO APPROVAL.
- HARDWARE SUPPLIER TO INCLUDE ALL HARDWARE NECESSARY FOR DOORS TO OPERATE AND FUNCTION PROPERLY AND AS INTENDED. TO COMPLY WITH ALL APPLICABLE CODES.
- HARDWARE SUPPLIER TO COORDINATE ELECTRICAL CONTRACTOR. VERIFY ALL VOLTAGES AND TRANSFORMER REQUIREMENTS.
- VERIFY EXISTING KEYS, KEYWAY, AND CYLINDER REQUIREMENTS WITH OWNER.
- PROVIDE CYLINDERS FOR ALL NEW HARDWARE.
- PROVIDE NEW KEY CABINET AS SPECIFIED.
- CONFIRM ALL KEYING WITH OWNER PRIOR TO ORDERING CYLINDERS.
- VERIFY EXISTING HARDWARE TO REMAIN IS FULLY FUNCTIONING - REPLACE / ADJUST AS NECESSARY.
- THE HOLD OPENS INTO FIRE ALARM CONTROL SYSTEM.
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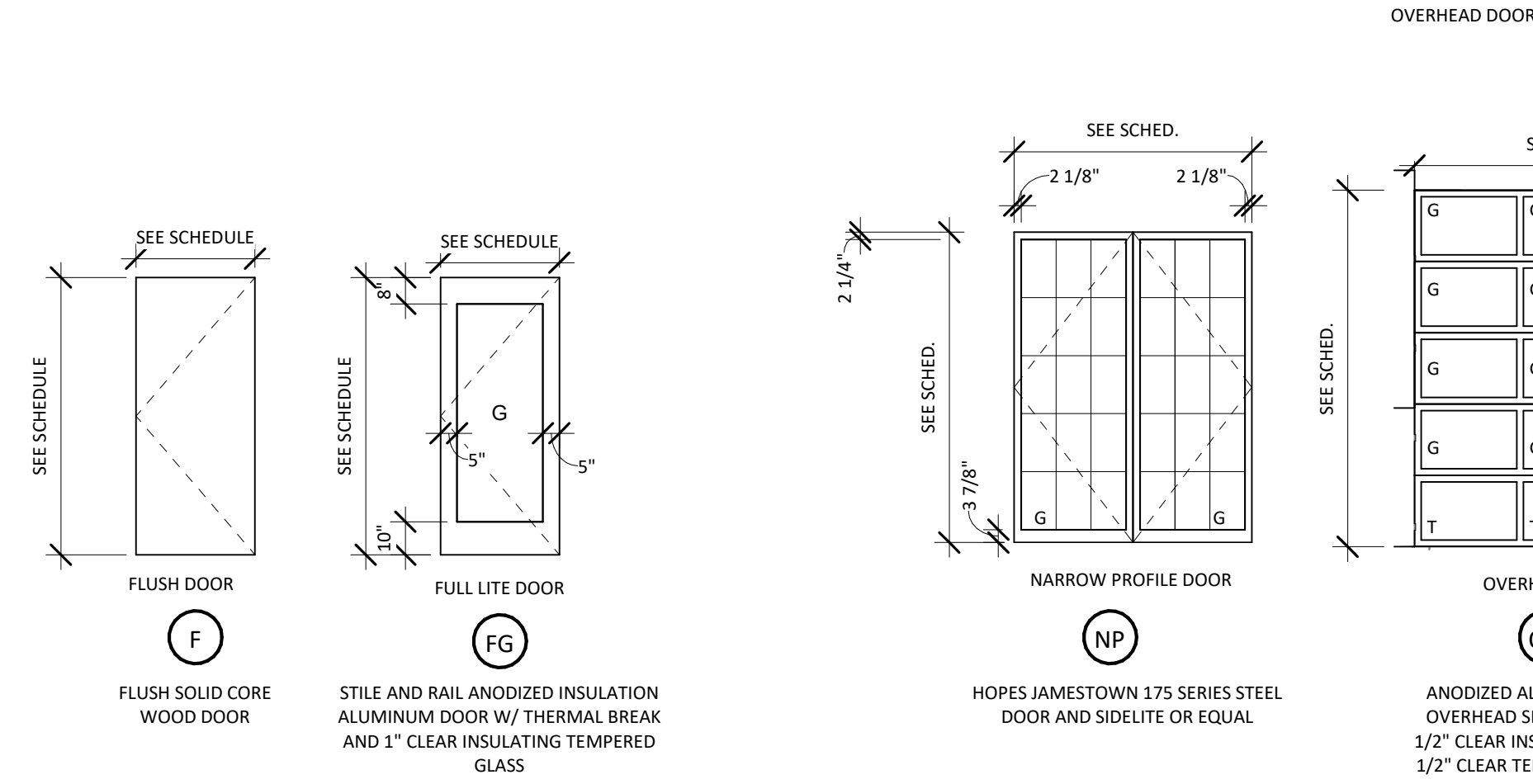
GENERAL NOTES:

- NOT ALL TYPES SHOWN HERE MAY BE USED. SEE DOOR SCHEDULE.
- "G" DENOTES GLAZING. SEE SCHEDULE AND NOTES FOR DOOR GLAZING TYPE.
- ALL FRAMES TO BE PAINTED BLACK OR DARK ANODIZED BRONZE ALUMINUM EXTERIOR UNO.

FRAME TYPES
1/4" = 1'-0"



12 TYP. DOOR OFFSET
3/4" = 1'-0"

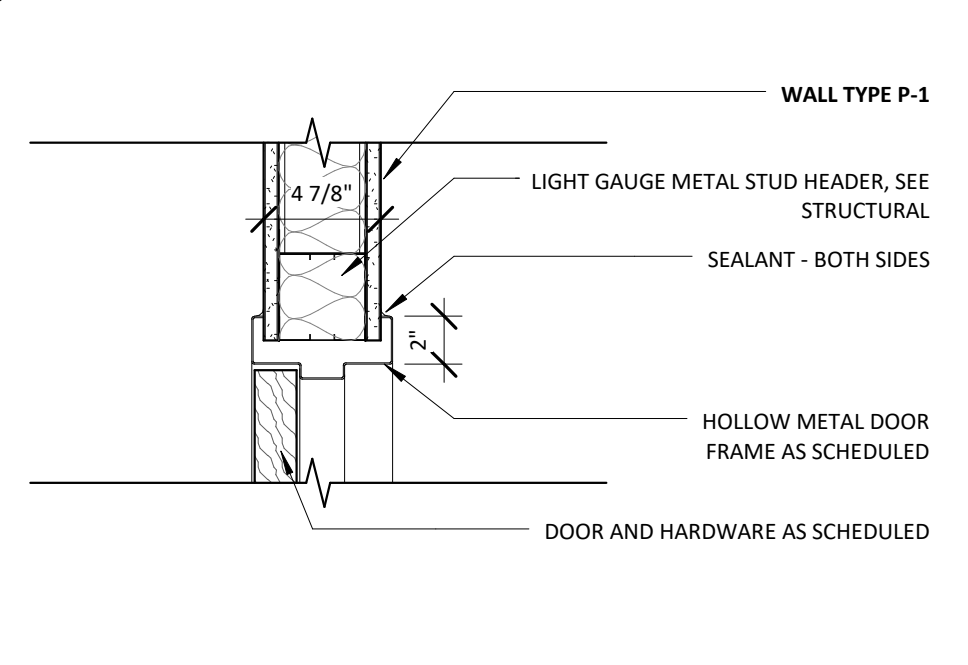


GENERAL NOTES:

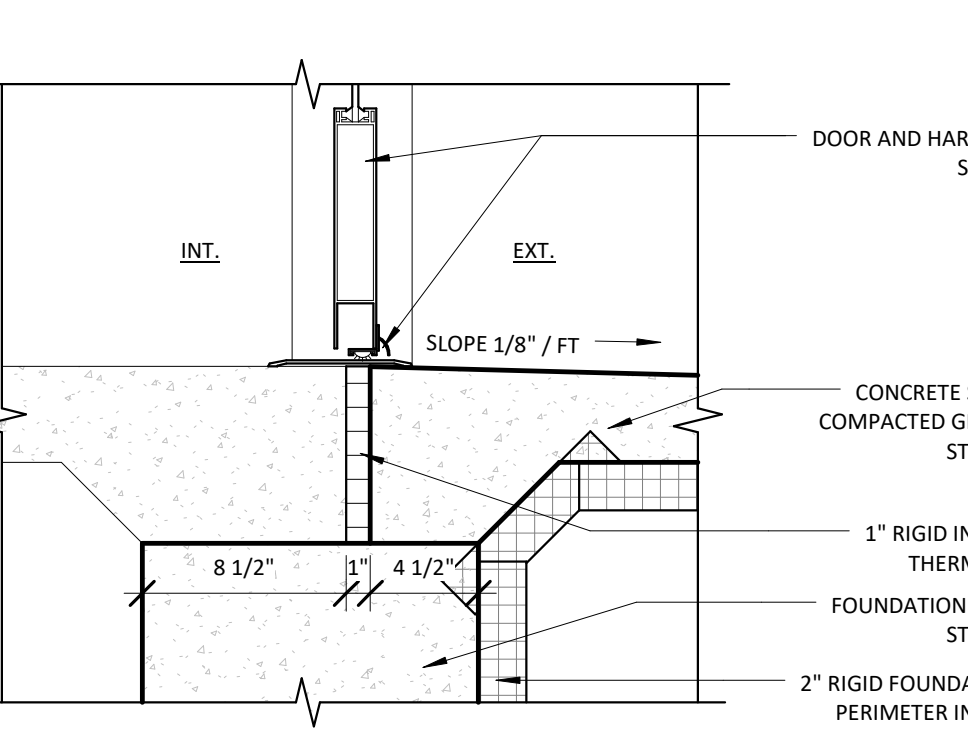
- NOT ALL TYPES SHOWN HERE MAY BE USED. SEE DOOR SCHEDULE.
- "G" DENOTES GLAZING. SEE SCHEDULE AND NOTES FOR DOOR GLAZING TYPE.
- SEE FINISHED SCHEDULE AND DOOR SCHEDULE FOR COLORED GLASS.

DOOR TYPES
1/4" = 1'-0"

DOOR AND HARDWARE NOTES
1/8" = 1'-0"

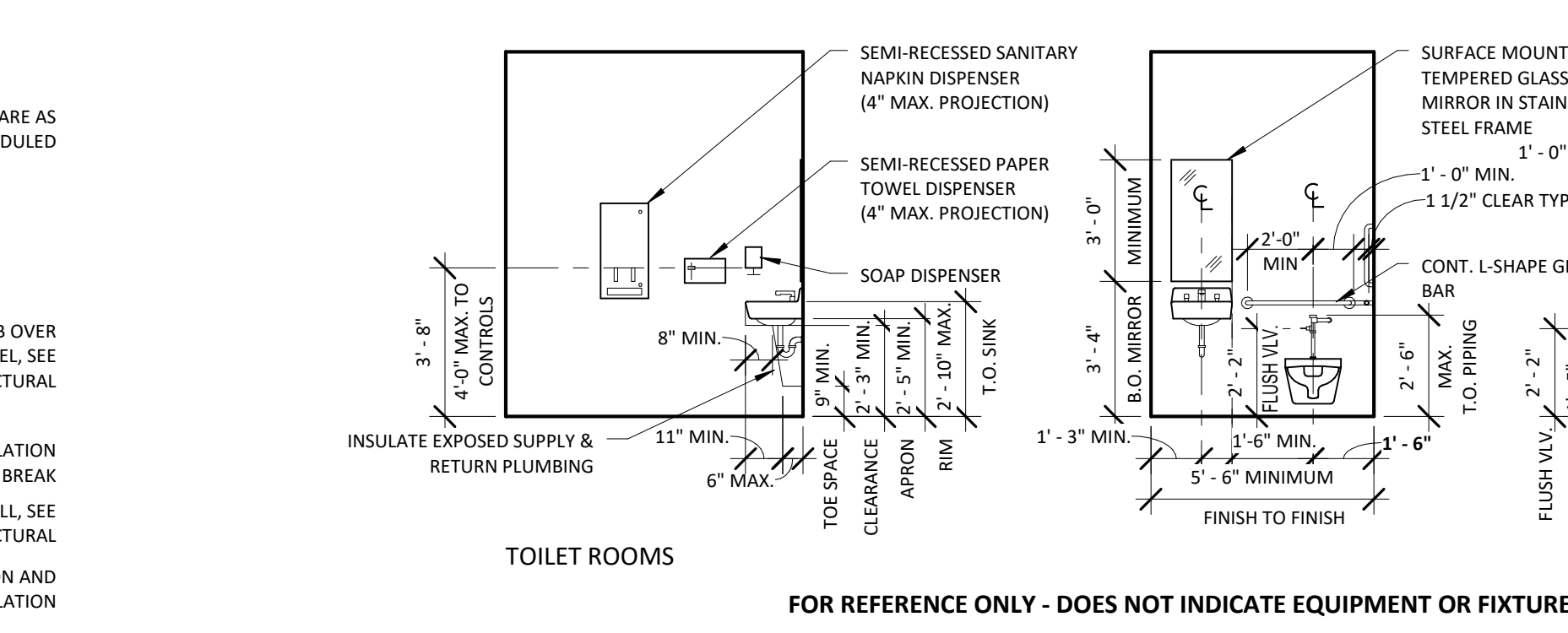


7 DOOR HEAD - JAMB SIM
1 1/2" = 1'-0"



8 THRESHOLD DETAIL
1 1/2" = 1'-0"

4 DOOR HEAD DETAIL
3/4" = 1'-0"



BARRIER-FREE MOUNTING HEIGHTS
1/4" = 1'-0"

PROJECT ABBREVIATION LIST

ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ADA	AMERICAN WITH DISABILITIES ACT	LTG	LIGHTING
ADDL	ADDITIONAL		
ADJ	ADJACENT, ADDING, OR ADJUSTABLE		
AF	ABOVE FINISHED FLOOR	MAS	MASONRY
ALT	ALTERNATE	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
		MECH	MECHANICAL
		MEZZ	MEZZANINE
		MFR	MANUFACTURER
		MIR	MINIMUM OR MINUTE
		MISC	MISCELLANEOUS
		MD	MAGNETIC OPENING OR MOTOR OPERATED
		MTL	METAL
CAB	CABINET	NA	NOT APPLICABLE
CALC	CALCULATION	NIC	NOT IN CONTRACT
CEQ	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	NO	NUMBER
CF	CAST IN PLACE	NOM	NOMINAL
CI	CONSTRUCTION JOINT OR CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CEG	CEILING	OD	OUTSIDE DIAMETER OR OUTSIDE DIMENSION
CMU	CONCRETE MASONRY UNIT	OF	OWNER FURNISHED, CONTRACTOR INSTALLED
COL	COLUMN	OFI	OWNER FURNISHED, CONTRACTOR INSTALLED
CONC	CONCRETE	OH	OVERHANG OR OVERHEAD
CONT	CONTINUOUS	OPH	OPPOSITE HAND
CONTR	CONTRACTOR OR CONTRACTOR OWNER INSTALLED	OPN	OPENING
COOR	COORDINATE	OPP	OPPOSITE
CORR	CORRIDOR		
CPT	CERAMIC TILE		
CT			
DEG	DEGREE		
DEAD	DEMOLISH, DEMOLITION	PERP	PERPENDICULAR
DEPT	DEPARTMENT	PLAM	PLASTIC LAMINATE
DIAM	DIAMETER	PR	PAIR
DNM	DOWN	PREFAB	PREFABRICATED
DN	DOWN	PRELIM	PRELIMINARY
DS	DOWNSPROUT	PROJ	PROJECT
DW	DRYWALL	PROP	PROPERTY
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
EA	EACH	QT	QUANTITY
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	QTY	QUANTITY
EJ	EXPANSION JOINT	R	RADIUS OR RISER
EL	ELEVATION	RCP	REFLECTED CEILING PLAN
ELEC	ELECTRIC	RD	ROAD OR ROOF DRAIN
EQU	EQUAL	REF	REFERENCE OR REFRIGERATOR
EQUIP	EQUIPMENT	REIN	REINFORCE
EMT	EASEMENT	REQD	REQUIRED
EXIST	EXISTING	REV	REVISION
EXT	EXTERIOR, EXTERNAL, OR EXTINGUISHER	RFP	ROUGH OPENING
FD	FLOOR DRAIN	RM	ROOM
FDN	FOUNDATION	RO	ROUGH OPENING RIGHT OF WAY
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE
FEC	FIRE EXTINGUISHER CABINET	SF	SQUARE FOOT (FEET)
FIN	FINISH	SIM	SIMILAR
FLR	FLOOR	SPEC	SPECIFICATION
FP	FIRE PROTECTION OR FIREPROOF	SQ	SQUARE
FT	FOOT OR FEET	SQ IN	SQUARE INCH
FTG	FOOTING	STC	SOUND TRANSMISSION CLASS
FURN	FURNISH OR FURNITURE	STOR	STORAGE
GA	GAUGE OR GYPSUM ASSOCIATION	STRUC	STRUCTURE OR STRUCTURAL
GB	GRAB BAR	SUSP	SUSPENDED OR SUSPENDED SYSTEM
GALV	GALVANIC OR GALVANIZED	SYS	SYSTEM
GLU	GLUED LAMINATED WOOD	T&G	TONGUE AND GROOVE
GOVT	GOVERNMENT	TEL	TELEPHONE
GYP	GYPSUM	TEMP	TEMPERATURE OR TEMPORARY
GWB	GYPSUM WALL BOARD	THRU	THROUGH
HB	HOSE BIBB	TOT	TOTAL
HGT	HEIGHT	TOW	TOP OF WALL
HM	HOLLOW METAL	TPP	TYPICAL
HORIZ	HORIZONTAL	UNFN	UNFINISHED
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING, VENTILATION, AND CONDITIONING	UTL	UTILITY
HW	HOT WATER	VERT	VERTICAL
INT	INTERIOR	W/	WITH
		W/O	WITHOUT
		WD	WOOD

SYMBOL KEY

1	COLUMN REFERENCE SYMBOL	1000	DETAIL SYMBOL
1000	ELEVATION REFERENCE SYMBOL	1	KEYNOTE
1000	EXTERIOR ELEVATION SYMBOL	1	ROOM TAG
1000	INTERIOR ELEVATION SYMBOL	1	DOOR TAG
1000	BUILDING SECTION SYMBOL	1	WINDOW TAG
1000	WALL SECTION SYMBOL	1	REVISION TAG
1000	ENLARGED DETAIL SYMBOL		

GENERAL NOTES:

A. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.

B. THE GENERAL CONTRACTOR & DESIGN/BUILD CONTRACTORS SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND PERMITS FOR THIS PROJECT IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION. EACH DESIGN/BUILD CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED DRAWINGS, CALCULATIONS, FEES, AND PERMITS PERTAINING TO THE WORK UNDER THEIR CONTRACT. DESIGN AND CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO OWNER & PROJECT DESIGNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF WORK. ALL PERMITS, INSPECTION REPORTS, AND CERTIFICATES OF INSURANCE ARE TO BE TURNED OVER TO OWNER.

C. THE GENERAL CONTRACTOR & THEIR SUBCONTRACTORS SHALL CAREFULLY REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS AND CONDITIONS REPORTS, VERIFY EXISTING JOB SITE CONDITIONS & DIMENSIONS PRIOR TO THE FABRICATION OR COMMENCEMENT OF WORK. ANY DISCREPANCIES MUST BE PROMPTLY REPORTED TO THE ARCHITECT. GENERAL CONTRACTOR SHALL FIELD CHECK AND COORDINATE WORK PERFORMED BY ALL TRADES. UNINTERRUPTED POWER, TELEPHONE ACCESS TO EQUIPMENT, STORAGE, BREAK ROOM, ETC. INSTALL TEMPORARY BARRIERS AS REQUIRED TO PROTECT OCCUPANTS.

D. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THEIR CONTRACT AND THE CONTRACTS WITH THEIR CONTRACTOR AND THE CONTRACTS WITH THEIR SUB-CONTRACTORS AND ANY OTHER VENDORS.

E. THE GENERAL CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITION OF THE JOB SITE. THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

F. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. PRIOR TO THE START OF THE PROJECT, CONTRACTOR SHALL VERIFY LEAD TIMES OF FINISH MATERIALS AND SPECIAL ITEMS TO ASSURE AVAILABILITY AS SCHEDULE REQUIRES.

G. ALL WORK PERFORMED (LABOR AND MATERIALS) SHALL BE GUARANTEED FOR ONE (1) YEAR.

H. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE THIS CONTRACT AS DIRECTED BY THE OWNER.

I. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.

J. THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES (WALLS, FLOORING, CEILING, ETC.) ON ADJACENT SURFACES AND OTHER BUILDING AREAS FROM DAMAGE RESULTING FROM THIS WORK. PATCH, REPAIR, OR REPLACE TO ORIGINAL CONDITION UPON COMPLETION (AT NO ADDITIONAL COST TO OWNER). PATCH ALL EXISTING WALLS AFFECTED BY DEMOLITION AS REQUIRED.

K. NO WORK DEFECTIVE IN CONSTRUCTION, QUALITY OR DEFICIENT IN ANY REQUIREMENT OF DRAWINGS OR SPECIFICATIONS WILL BE ACCEPTABLE REGARDLESS OF OWNER'S, TENANT'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK FOUND WITHIN TIME LIMITATIONS ALLOWED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT.

L. GENERAL CONTRACTOR IS TO CONTACT A QUALIFIED PROFESSIONAL TO ASSESS THE EXISTENCE OF HAZARDOUS MATERIAL, I.E. LEAD PAINT, ASBESTOS ETC. AND TO RECOMMEND ANY CORRECTIVE ACTION. PROVIDE COST TO COMPLETE RECOMMENDED WORK, IF ANY.

M. GENERAL CONTRACTOR IS RESPONSIBLE TO INCLUDE ALL DEMOLITION, CONSTRUCTION, FINISH WORK AND ALIKE, REQUIRED BY MEP INSTALLATIONS.

N. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND NOTIFICATION TO BUILDING OWNER AND OTHER APPROPRIATE AUTHORITIES OF ANY BUILDING SYSTEM SHUT DOWN.

O. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED, WHERE SO REQUIRED, EXCEPT AS NOTED OTHERWISE.

P. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

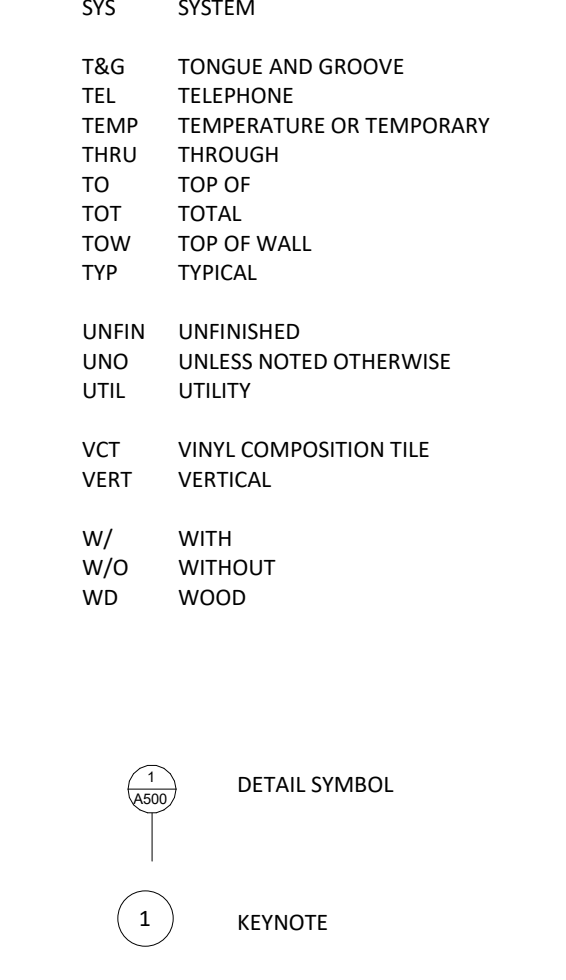
Q. ALL PLAN DIMENSIONS ARE TO FACE OF WALL FINISH, U.N.O.

R. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.

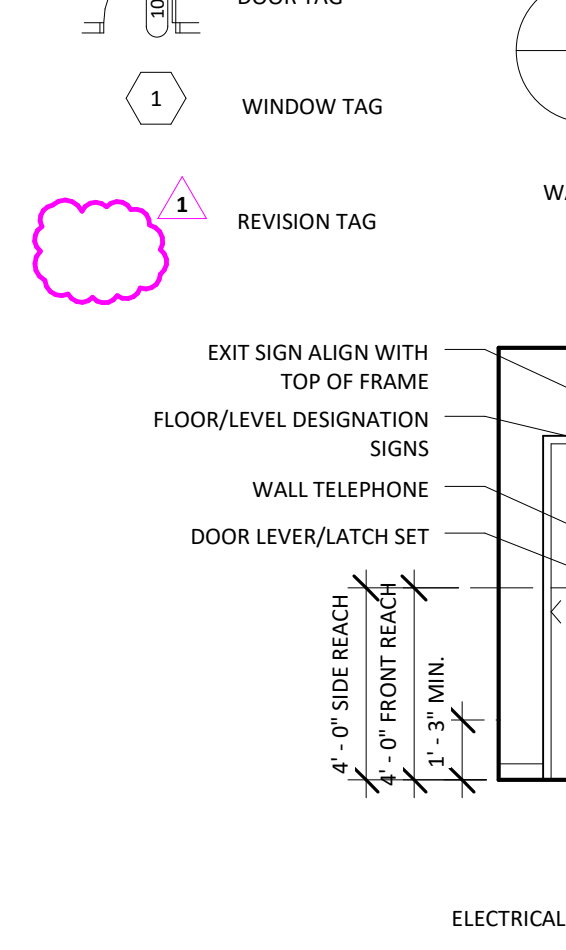
S. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO BE OPENED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.

T. GENERAL CONTRACTOR IS TO RECEIVE AND INSTALL APPLIANCES AS REQUIRED.

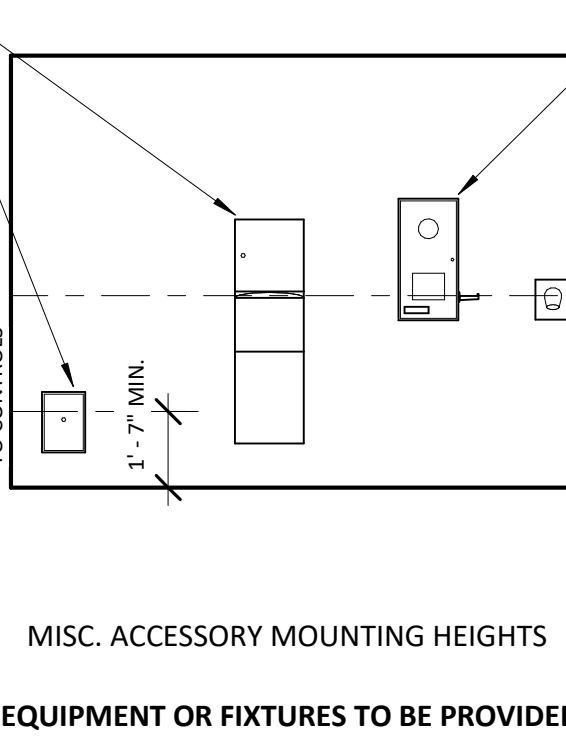
U. THE TERMS LANDLORD AND OWNERS ARE USED INTERCHANGEABLY.



9 TYP. HARDWARE LOCATIONS
3/4" = 1'-0"



FOR REFERENCE ONLY - DOES NOT INDICATE EQUIPMENT OR FIXTURES TO BE PROVIDED



FOR REFERENCE ONLY - DOES NOT INDICATE EQUIPMENT OR FIXTURES TO BE PROVIDED



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PROJECT

STONE CREEK COFFEE
DOWNER AVE

N DOWNER AVE AND E
PARK PL
MILWAUKEE, WI 53211

ISSUE

NO. REV. DATE DESCRIPTION

PROJECT INFO

Date: 7.17.2017
Project No.: 17.055

SHEET TITLE

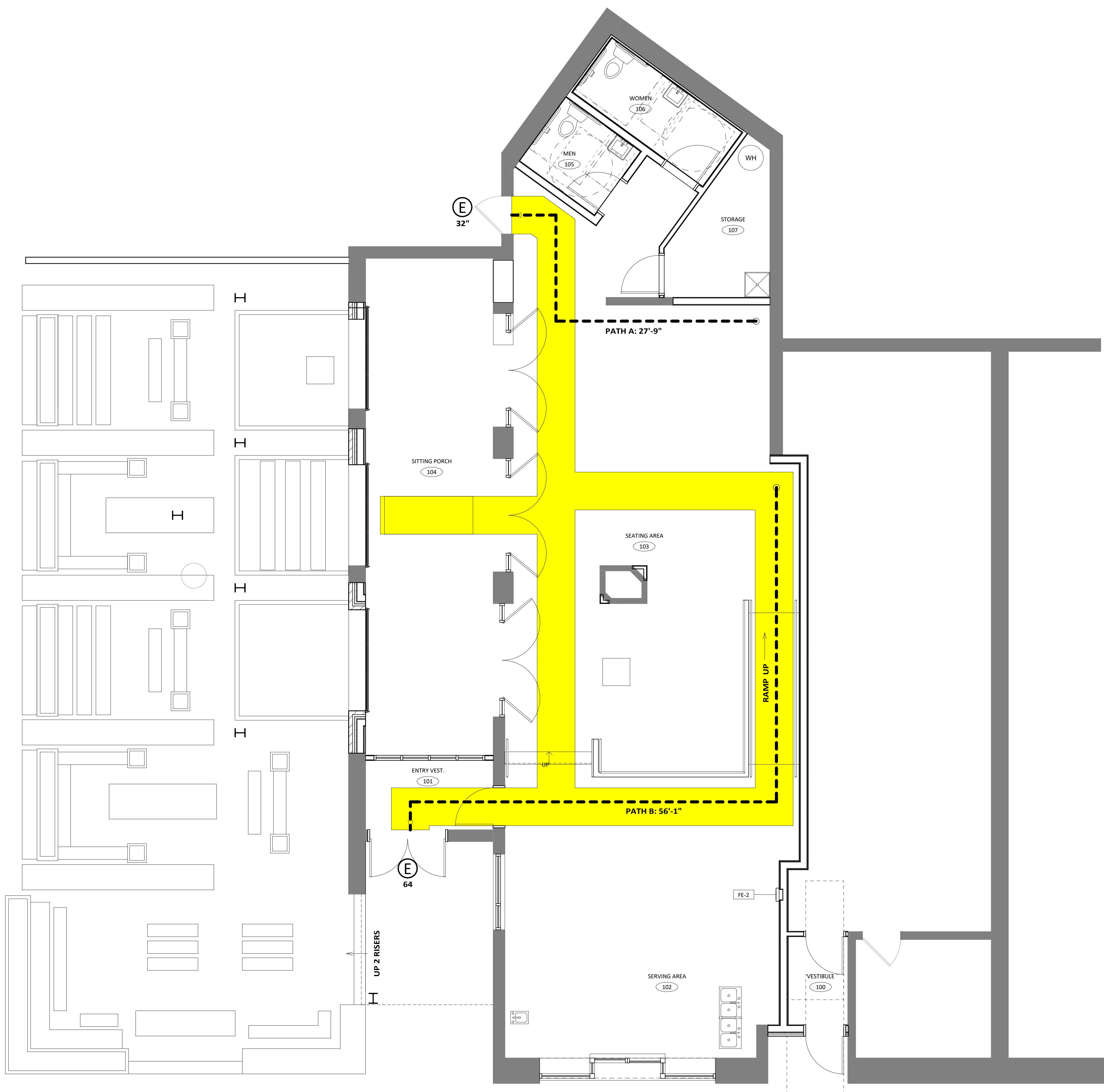
CODE INFORMATION - LEVEL 1

G101

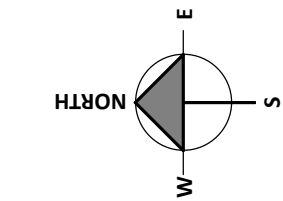
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CODE SUMMARY	
GOVERNING CODES:	
WISCONSIN BUILDING CODE 2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2009 INTERNATIONAL BUILDING CODE (IBC)	
OCCUPANCY GROUP (IBC Chapter 3):	
GROUP A2: ASSEMBLY	
REQUIRED SEPARATION OF OCCUPANCES:	
IBC (TABLE 508.4): NONE REQUIRED	
TYPE OF CONSTRUCTION (IBC Chapter 6):	
TYPE II-B	
FIRE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC Table 601):	
TYPE II-B	
STRUCTURAL FRAME	0 HOURS
BEARING WALLS - EXTERIOR	0 HOURS
BEARING WALLS - INTERIOR	0 HOURS
NONBEARING WALLS & PARTITIONS (EXT)	0 HOURS
NONBEARING WALLS & PARTITIONS (INT)	0 HOURS
FLOOR CONSTRUCTION	0 HOURS
ROOF CONSTRUCTION	0 HOURS
OCCUPANCY LOAD (IBC Table 1004.1.1):	
LEVEL 2 (GROUP B):	
ASSEMBLY (UNCONC.)	2,127 SF/ 15 = 142 OCCUPANTS
STORAGE/MECH	91 SF/ 300 = 1 OCCUPANT
BUILDING TOTAL:	= 143 OCCUPANTS
EGRESS WIDTH (IEBC 705 and IBC 1005.1):	
REQUIRED:	
LEVEL 1 (OTHER EGRESS COMPONENTS):	143 X .20 = 28.6"
PROVIDED:	
LEVEL 1	96"
EXIT ACCESS TRAVEL DISTANCE (IBC Table 1016.2):	
GROUP A2 (WITHOUT SPRINKLER):	
MAX TRAVEL DISTANCE IN BUILDING AS DESIGNED:	200' - 0" MAX 56' - 1"
FIRE EXTINGUISHERS (IFC & NFPA 10):	
CLASS A	
MINIMUM RATED SINGLE EXTINGUISHER:	2A
MAX FLOOR AREA PER UNIT OF A:	3000 SF
MAX TRAVEL DISTANCE BETWEEN TYPE A EXTINGUISHERS:	75FT
LEVEL 1:	AREA TOTAL REQUIRED* EXISTING PROVIDED*
	2,168 2 0 2
*CALCULATIONS BASED ON 4A-80B:C FIRE EXTINGUISHERS	
CLASS B	
MINIMUM RATED SINGLE EXTINGUISHER:	10B
MAXIMUM TRAVEL DISTANCE BETWEEN TYPE B EXTINGUISHERS:	50FT
MINIMUM PLUMBING FIXTURES (IBC TABLE 2902.1):	
WATER CLOSETS:	
GROUP A2: 143 PPL / 2	= 71 MALE / 71 FEMALE *1 PER 75
TOTAL REQUIRED	= 1 MALE WATER CLOSETS / 1 FEMALE WATER CLOSETS
LAVATORIES	
GROUP A2: 143 PPL / 2	= 71 MALE / 71 FEMALE *1 PER 200
TOTAL REQUIRED	= 1 MALE LAVATORIES / 1 FEMALE LAVATORIES
TOTAL PROVIDED	= 1 MALE WATER CLOSET 1 FEMALE WATER CLOSET 1 MALE LAVATORY 1 FEMALE LAVATORY

LIFE SAFETY KEY	
	CORRIDOR
	VERTICAL EXIT ENCLOSURE
	EGRESS PATH
	EXIT DISCHARGE
	EXIT # INDICATES EGRESS WIDTH (INCHES)
	SMOKE BARRIER/PARTITION SEE PLANS FOR WALL TYPES
	1 HOUR FIRE WALL/BARRIER/PARTITION SEE PLANS FOR WALL TYPES
	2 HOUR FIRE WALL/BARRIER/PARTITION SEE PLANS FOR WALL TYPES
	CARD READER
	KEYPAD
	FINGERPRINT SCANNER
	HANDICAP PUSH BUTTON
	TOUCHLESS SENSOR
	FIRE EXTINGUISHERS FE-1 - RECESSED CABINET FE-2 - SEMI-RECESSED CABINET FE-3 - SURFACE MOUNTED CABINET FE-4 - SURFACE MOUNTED EXTINGUISHER
	EXIT LIGHT



1 LEVEL 1 - LIFE SAFETY PLAN
G101 1/4" = 1'-0"



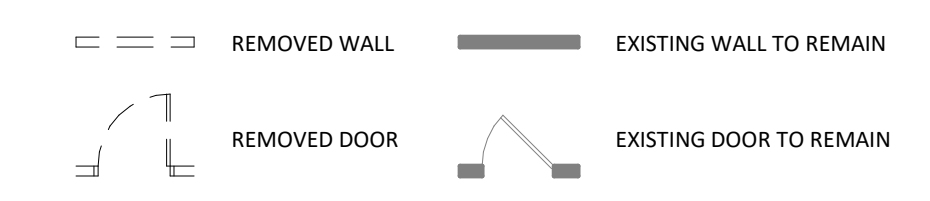
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PRICING SET

DEMOLITION PLAN GENERAL NOTES:

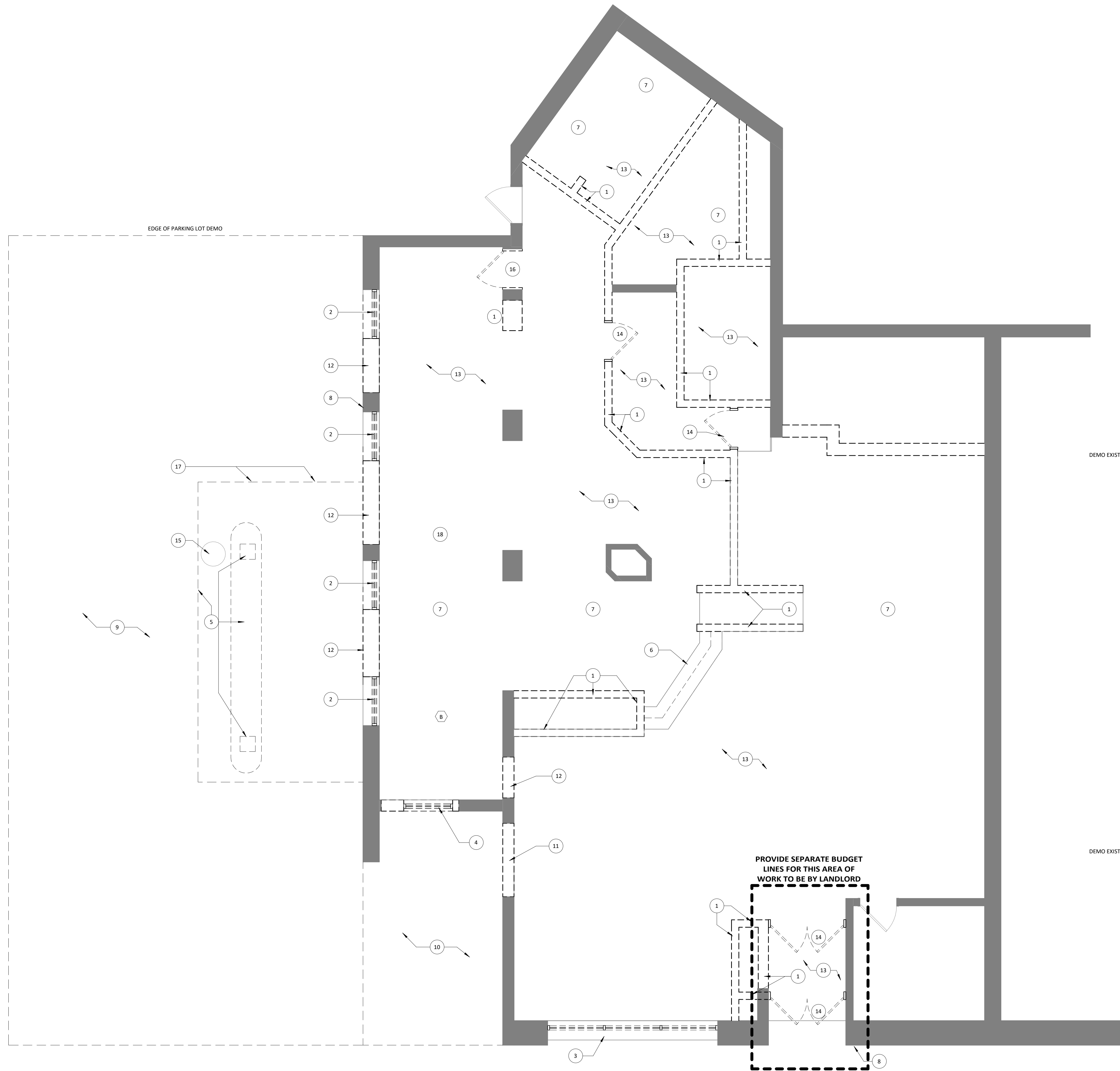
- A. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING BUILDING AMENITIES NOT SLATED FOR DEMOLITION OR REMODELING.
- B. PATCH AND REPAIR EXISTING WALLS TO REMAIN TO PROVIDE A SUITABLE SURFACE FOR NEW FINISHES.
- C. REMOVE EXISTING FLOOR FINISHES SLATED FOR DEMOLITION TO SUB FLOOR AND PREPARE FOR NEW FINISHES.
- H. SALVAGE EXISTING LIFE SAFETY EQUIPMENT, FIRE EXTINGUISHERS, EXIT SIGNS, ETC. FOR REUSE. RETURN EXCESS EQUIPMENT TO OWNER.
- J. SALVAGE EXISTING OUTLETS AND SWITCHES AND LIGHT FIXTURES FOR REUSE, PULL ALL ABANDONED WIRE FROM CONDUIT. RETURN EXCESS MATERIAL TO OWNER.

FLOOR PLAN - SYMBOL KEY



KEYED DEMOLITION PLAN NOTES	
TAG #	DESCRIPTION

- | | |
|----|---|
| 1 | DEMO EXISTING WALL IN ITS ENTIRETY TO EXTENTS SHOWN ON PLAN |
| 2 | REMOVE EXISTING WINDOW IN ITS ENTIRETY |
| 3 | REMOVE EXISTING WINDOW IN ITS ENTIRETY AND EXISTING WALL BELOW WINDOW. EXISTING LINTEL TO REMAIN. PREP OPENING TO RECEIVE NEW PASS THROUGH WINDOW |
| 4 | REMOVE EXISTING WINDOW IN ITS ENTIRETY AND PREP OPENING FOR NEW DOOR |
| 5 | REMOVE DRIVE THROUGH ELEMENTS INCLUDING COLUMNS, BOLLARDS, MEDIAN, TELLER TUBE, CANOPY, ETC. |
| 6 | REMOVE EXISTING STAIRS |
| 7 | DEMO EXISTING FLOOR FINISH TO CONCRETE. CLEAN AND PREP EXISTING CONCRETE TO BE STAINED AND SEALED |
| 8 | DEMO EXISTING DECORATIVE EXTERIOR SOFFIT BACK TO ORIGINAL BUILDING FACADE. |
| 9 | DEMO ALL EXISTING PARKING LOT TO SIDEWALKS DOWN TO SUB SURFACE. PREP AREA FOR NEW CONCRETE PATIO |
| 10 | DEMO EXISTING WALK WAY AND REGRADE FOR NEW ENTRY SEQUENCE |
| 11 | REMOVE PORTION OF WALL FOR NEW WINDOW |
| 12 | REMOVE PORTION OF WALL FOR NEW DOOR |
| 13 | DEMO ALL CEILING ELEMENTS TO DECK AND STRUCTURE. PREP EXISTING STRUCTURE AND MECHANICALS FOR NEW PAINT |
| 14 | REMOVE EXISTING DOOR AND FRAME |
| 15 | EXISTING STORM SEWER TO REMAIN |
| 16 | REMOVE EXISTING DOOR AND FRAME - PREP OPENING FOR NEW WALL INFILL |
| 17 | SALVAGE "OPEN/CLOSE" SIGNAGE AT DRIVE THRU CANOPY AND RETURN TO OWNER FOR REUSE |
| 18 | SALVAGE SALES FOR OWNER TO REUSE. COORDINATE NUMBER AND LOCATION WITH OWNER DURING DEMO |



PROJECT

STONE CREEK COFFEE
DOWNER AVE

N DOWNER AVE AND E PARK PL
MILWAUKEE, WI 53211

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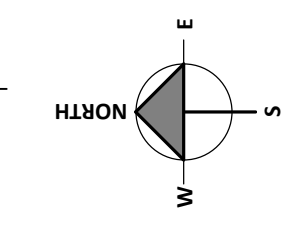
PROJECT INFO

Date: 7.17.2017
Project No.: 17.055

SHEET TITLE

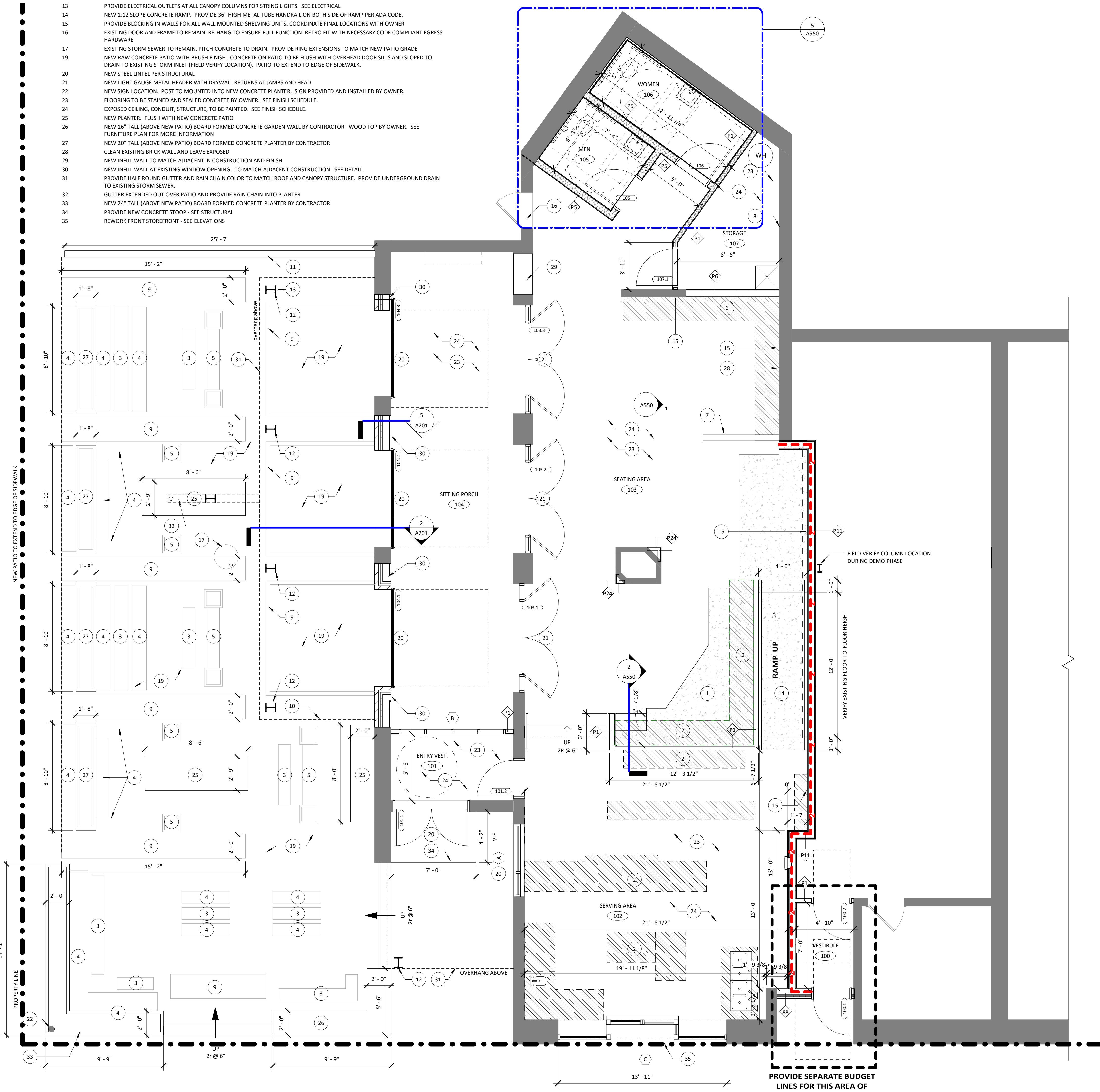
DEMOLITION PLAN

1 DEMOLITION PLAN
AD101 1/4" = 1'-0"



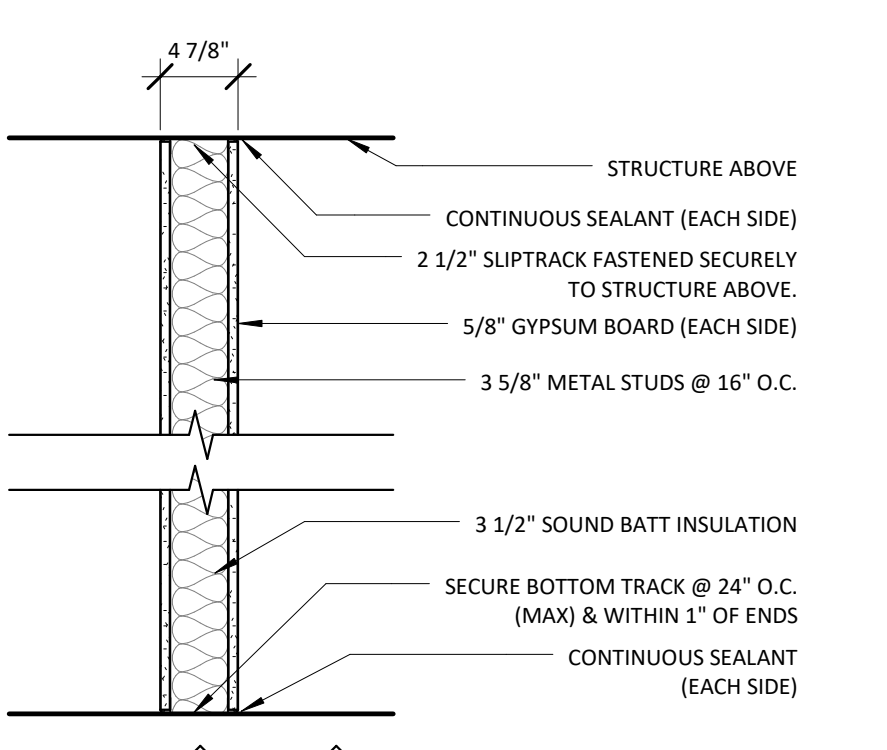
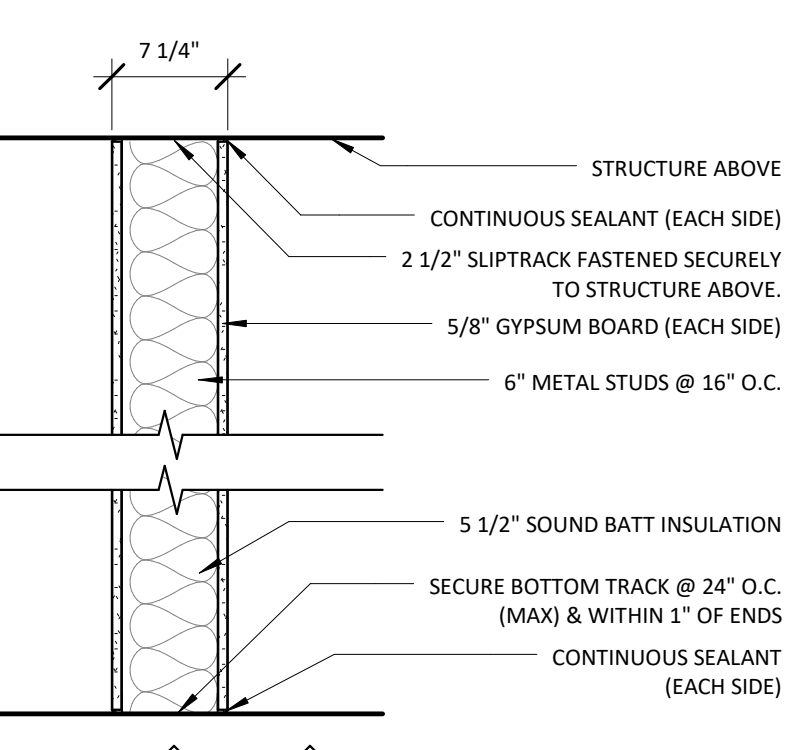
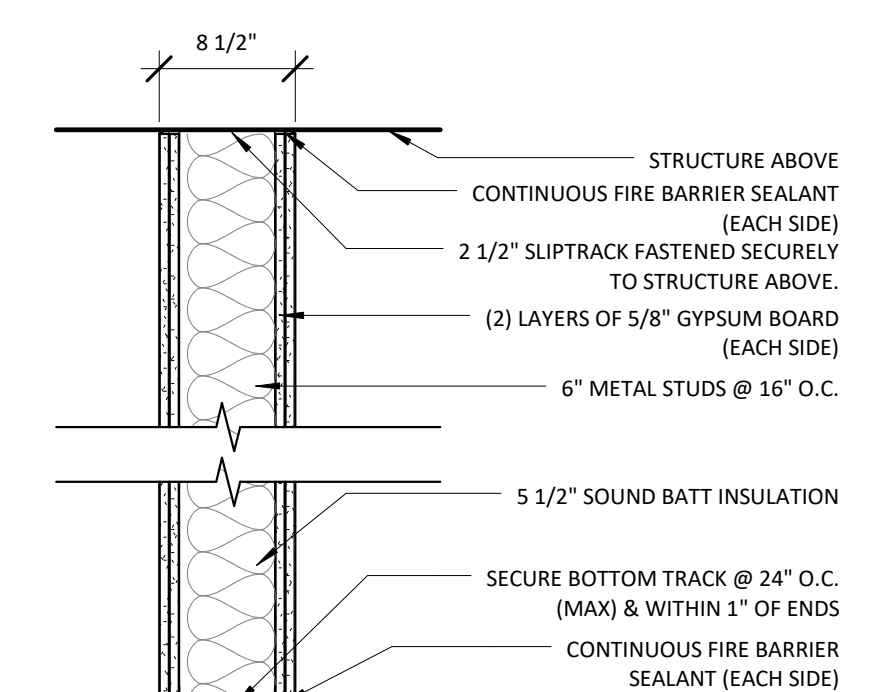
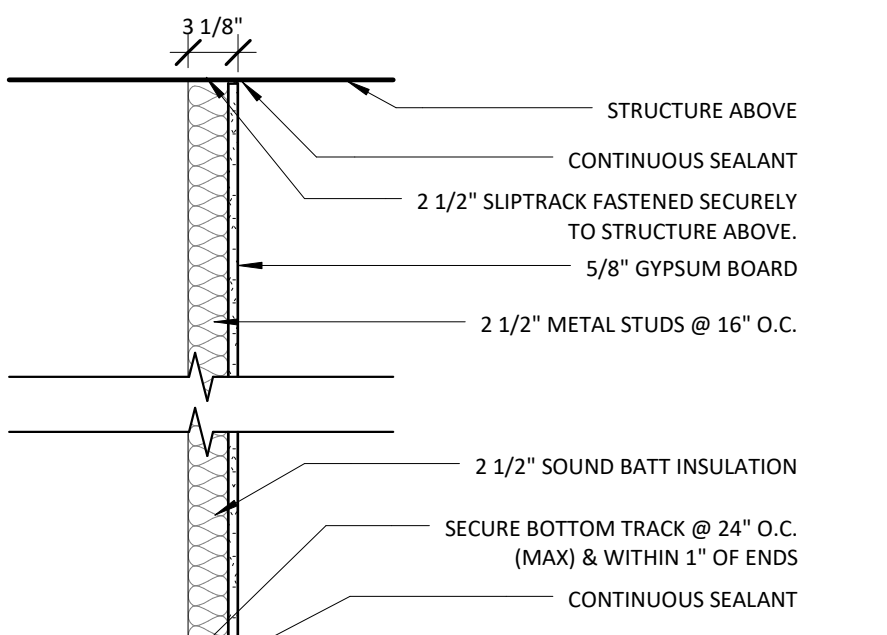
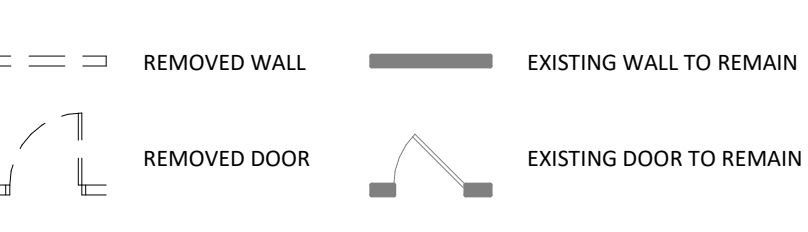
KEYED FLOOR PLAN NOTES - LEVEL 1	
TAG #	DESCRIPTION

- 1 INFILL CONCRETE FLOOR - FLUSH WITH EXISTING. FINISH TO MATCH EXISTING
- 2 EQUIPMENT BY OWNER - SEE EQUIPMENT & FURNITURE PLAN FOR MORE INFORMATION
- 3 NEW WOOD TABLE 30" H x APPROXIMATELY 1'-0" WIDE. LENGTH VARIES SEE FURNITURE PLAN. PROVIDED AND INSTALLED BY OWNER
- 4 NEW 18" TALL WOOD BENCH W/ PIPE FITTING LEGS - PROVIDED AND INSTALLED BY OWNER. SEE FURNITURE PLAN FOR MORE INFORMATION
- 5 BOARD FORMED CONCRETE PLANTER - 18" x 18" x 19" HIGH W/ WOOD BENCH - PROVIDED AND INSTALLED BY OWNER.
- 6 42" TALL BUILT-IN WOOD BAR BY OWNER.
- 7 DECORATIVE WALL ELEMENT BY OWNER - SEE FURNITURE PLAN
- 8 EXISTING BUILDING MECHANICAL PANELS TO REMAIN
- 9 GREY BRICK INSET FLUSH WITH NEW CONCRETE PATIO. BRICK TO BE LAYED IN A HERRINGBONE PATTERN. SEE FINISH SCHEDULE FOR MORE INFORMATION
- 10 PAINTED 3" STRUCTURAL METAL DECK SUPPORTED ON METAL FRAMING WITH WIDE FLANGE COLUMNS SET INTO SONO TUBE FOOTINGS. ALL EXPOSED STEEL TO BE PAINTED
- 11 CEDAR SLAT FENCE WITH RECESSED SHELF. SEE DETAIL
- 12 PAINTED WIDE FLANGE COLUMNS SET INTO SONO TUBE FOOTINGS. ALL EXPOSED STEEL TO BE PAINTED
- 13 PROVIDE ELECTRICAL OUTLETS AT ALL CANOPY COLUMNS FOR STRING LIGHTS. SEE ELECTRICAL
- 14 NEW 1:12 SLOPE CONCRETE RAMP. PROVIDE 36" HIGH METAL TUBE HANDRAIL ON BOTH SIDE OF RAMP PER ADA CODE.
- 15 PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED SHELVING UNITS. COORDINATE FINAL LOCATIONS WITH OWNER
- 16 EXISTING DOOR AND FRAME TO REMAIN. RE-HANG TO ENSURE FULL FUNCTION. RETRO FIT WITH NECESSARY CODE COMPLIANT EGRESS HARDWARE
- 17 EXISTING STORM SEWER TO REMAIN. PITCH CONCRETE TO DRAIN. PROVIDE RING EXTENSIONS TO MATCH NEW PATIO GRADE
- 18 NEW RAW CONCRETE PATIO WITH BRUSH FINISH. CONCRETE ON PATIO TO BE FLUSH WITH OVERHEAD DOOR SILLS AND SLOPED TO DRAIN TO EXISTING STORM INLET (FIELD VERIFY LOCATION). PATIO TO EXTEND TO EDGE OF SIDEWALK.
- 19 NEW STEEL LINTEL PER STRUCTURAL
- 20 NEW LIGHT GAUGE METAL HEADER WITH DRYWALL RETURNS AT JAMBS AND HEAD
- 21 NEW SIGN LOCATION. POST TO MOUNTED INTO NEW CONCRETE PLANTER. SIGN PROVIDED AND INSTALLED BY OWNER.
- 22 FLOORING TO BE STAINED AND SEALED CONCRETE BY OWNER. SEE FINISH SCHEDULE.
- 23 EXPOSED CEILING, CONDUIT, STRUCTURE, TO BE PAINTED. SEE FINISH SCHEDULE.
- 24 NEW PLANTER. FLUSH WITH NEW CONCRETE PATIO
- 25 NEW 16" TALL (ABOVE NEW PATIO) BOARD FORMED CONCRETE GARDEN WALL BY CONTRACTOR. WOOD TOP BY OWNER. SEE FURNITURE PLAN FOR MORE INFORMATION
- 26 NEW 20" TALL (ABOVE NEW PATIO) BOARD FORMED CONCRETE PLANTER BY CONTRACTOR
- 27 CLEAN EXISTING BRICK WALL AND LEAVE EXPOSED
- 28 NEW INFILL WALL TO MATCH ADJACENT IN CONSTRUCTION AND FINISH
- 29 NEW INFILL WALL AT EXISTING WINDOW OPENING. TO MATCH ADJACENT CONSTRUCTION. SEE DETAIL.
- 30 PROVIDE HALF ROUND GUTTER AND RAIN CHAIN COLOR TO MATCH ROOF AND CANOPY STRUCTURE. PROVIDE UNDERGROUND DRAIN TO EXISTING STORM SEWER
- 31 GUTTER EXTENDED OUT OVER PATIO AND PROVIDE RAIN CHAIN INTO PLANTER
- 32 NEW 24" TALL (ABOVE NEW PATIO) BOARD FORMED CONCRETE PLANTER BY CONTRACTOR
- 33 PROVIDE NEW CONCRETE STOOP - SEE STRUCTURAL
- 34 REWORK FRONT STOREFRONT - SEE ELEVATIONS



- FLOOR PLAN GENERAL NOTES:**
- A. INDICATES WALL TYPE. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED @PLAN CUT.
 - B. SEE 12/6002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
 - C. PROVIDE FIRE-RETARDANT TREATED BLOCKING AT MILLWORK AND WALL HUNG ELEMENTS IN RATED WALLS.
 - D. INDICATES NEW MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS.
 - E. FE# INDICATES FIRE EXTINGUISHER LOCATION. SEE SPEC FOR DIFFERENT TYPES.
 - F. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES.
 - G. PROVIDE GALVANIZED METAL STUDS AT ALL WET LOCATIONS.
 - H. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
 - I. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
 - J. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
 - K. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.
 - L. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
 - M. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE CONTRACT AS DIRECTED BY THE OWNER.
 - N. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OR CENTER OF WALL, U.N.O.
 - O. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
 - P. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
 - Q. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
 - R. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISH FACE TO EXTERIOR FINISH FACE U.N.O.
 - S. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION
 - T. ALL WALLS TO EXTEND TO UNDERSIDE OF FLOOR/ROOF DECK U.N.O.
 - U. "TYPICAL" (OR TYP.) AS USED IN THESE DOCS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
 - V. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED & BRACED & SEALED AS REQUIRED
 - W. PROVIDE BLOCKING AT MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 13/A002
 - X. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES
 - Y. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR, COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
 - Z. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.

FLOOR PLAN - SYMBOL KEY



1HR FIRE BARRIER (UL U419) AS NOTED ON PLANS. USE UL-APPROVED FIRE BARRIER SEALANT IN LIEU OF ACOUSTIC SEALANT

1HR FIRE BARRIER (UL U419) AS NOTED ON PLANS. USE UL-APPROVED FIRE BARRIER SEALANT IN LIEU OF ACOUSTIC SEALANT

- GENERAL PARTITION NOTES:**
1. NOT ALL PARTITION TYPES MAY BE USED. SEE PLANS FOR PARTITION TYPES
 2. HOLD GYPSUM BOARD 1/2" FROM FINISHED FLOOR AND STRUCTURE ABOVE AND PROVIDE SEALANT
 3. GYPSUM BOARD TO BE TYPE X TYPICAL UNLESS NOTED AS OTHERWISE TO MEET UL LISTING
 4. SEALANT NOTED IS WATER RESISTANT, ACOUSTIC TYPE UNLESS NOTED OTHERWISE TO MEET UL LISTING



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PROJECT

STONE CREEK COFFEE
DOWNER AVE

N DOWNER AVE AND E PARK PL
MILWAUKEE, WI 53211

ISSUE

NO.	REV. DATE	DESCRIPTION
1		

PROJECT INFO

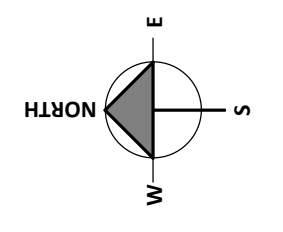
Date: 7.17.2017
Project No: 17.055

SHEET TITLE

FLOOR PLAN - LEVEL 1

1 FLOOR PLAN
1/4" = 1'-0"

WALL TYPES
1" = 1'-0"



A101

PRICING SET

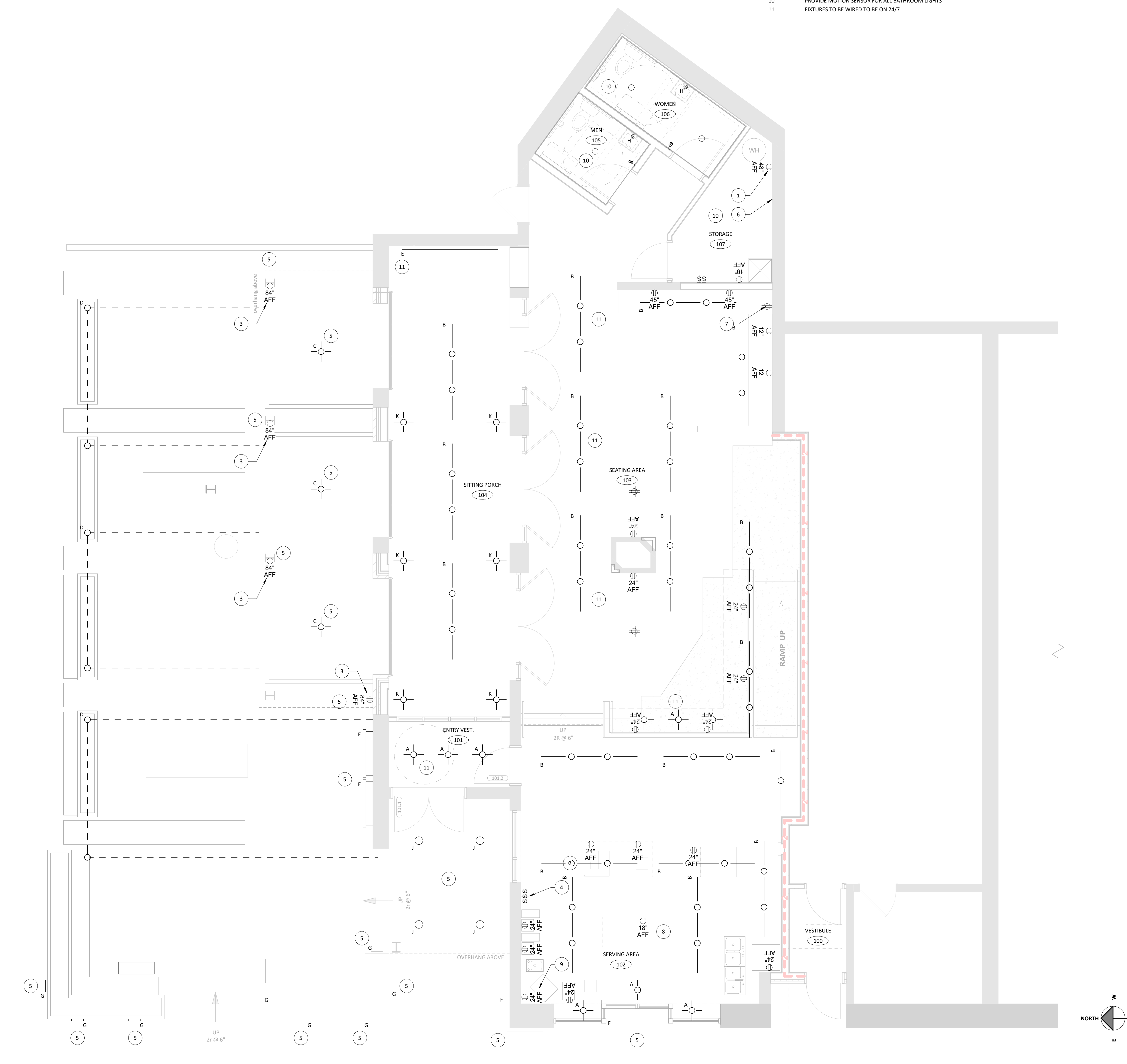
KEYED ELECTRICAL FLOOR PLAN NOTES	
TAG #	DESCRIPTION
1	PROVIDE 30 AMP 110/220V NON-FUSIBLE AC DISCONNECT MOUNTED ON WALL 48" AFF FOR WATER HEATER. COORDINATE LOCATION W/OWNER AND PLUMBING CONTRACTOR
2	PROVIDE 16-30 RECEPTACLE, 10 GAUGE - 3 WIRES (BLACK/RED/WHITE), MOUNTED IN CABINET, 24" AFF
3	PROVIDE POWER FOR STRING LIGHTS. MOUNTED TO UNDERSIDE OF METAL CANOPY.
4	SWITCH FOR ALL B FIXTURES. SWITCH FOR A FIXTURES IN THE VESTIBULE. SEPARATE SWITCH FOR ALL ANOTHER A FIXTURES.
5	ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE EXTERIOR LIGHTS ON PHOTO CELL AND TIMER. CANS TO BE MOUNTED TO UNDERSIDE OF CANOPY. COLOR: BLACK
6	EXISTING ELECTRICAL PANELS TO REMAIN
7	PROVIDE OUTLETS FOR TRAMP MOUNTED LAMPS. COORDINATE FINAL NUMBER AND HEIGHT WITH OWNER
8	VERIFY ALL ELECTRICAL REQUIREMENTS AND FINAL OUTLET LOCATIONS FOR EQUIPMENT WITH OWNER
9	30 AMP; 110/220V 3 PHASE + NEUTRAL + GROUND NON-FUSIBLE AC DISCONNECT (3 PHASE 30 A RECEPTACLE ALSO ACCEPTABLE), MOUNTED IN CABINET, 24" AFF
10	PROVIDE MOTION SENSOR FOR ALL BATHROOM LIGHTS
11	FIXTURES TO BE WIRED TO BE ON 24/7

POWER & DATA PLAN SYMBOL LEGEND		

NOTE:
SYSTEMS FURNITURE IS SHOWN FOR REFERENCE ONLY. COORDINATE EXACT SIZE AND LOCATION W/ SYSTEMS FURNITURE SUPPLIER & VENDOR. COORDINATE POWER & TELE/DATA REQUIREMENTS W/ TENANT AND FURN. SUPPLIER/VENDOR.

POWER & DATA PLAN GENERAL NOTES:

- A. TELEPHONE & ELECTRICAL PLAN INDICATES THE GENERAL LOCATION OF FIXTURES, DEVICES, EQUIPMENT FURNITURE AND COMPONENTS. REFER TO DESIGN BUILD ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION, SPECIFICATIONS, AND SCHEDULES.
- B. LOCATIONS OF OUTLETS SHALL BE PER DESIGN BUILD ELECTRICAL DRAWINGS. WHERE DISCREPANCIES OCCUR, CONTACT ARCHITECT PRIOR TO COMMENCING WITH WORK.
- C. ALL OUTLETS TO BE INSTALLED BACK TO BACK SHALL BE OFFSET 6" MIN. PROVIDE NECESSARY METAL STUD SUPPORTS NEEDED FOR INSTALLATION.
- D. OUTLETS OR SWITCHES SHOWN TOGETHER SHALL BE MOUNTED STRAIGHT, LEVEL, AT THE SAME HEIGHT, AND AS CLOSE TOGETHER AS POSSIBLE. PROVIDE STUD BRIDGE AS REQUIRED TO MAINTAIN OUTLET PAIRS.
- E. WHEN NO DIMENSIONS ARE SHOWN, THE LOCATION OF POWER AND TELEPHONE OUTLETS IS NOT CRITICAL. WHERE DIMENSIONS ARE GIVEN IN FEET AND INCHES, LOCATION IS CRITICAL.
- F. ALL DIMENSIONS ARE TO THE CENTERLINE OF OUTLETS OR PAIRS OR OUTLETS, U.N.O.
- G. OUTLETS WHICH OCCUR IN AND AROUND PROXIMITY OF BUILT-IN MILLWORK TO BE COORDINATED WITH INTERIOR ELEVATIONS/MILLWORK SHOP DRAWINGS.
- H. ALL OUTLETS SHOWN IN ACOUSTICAL PARTITIONS TO BE SEALED WITH ACOUSTICAL SEALANT.
- I. FURNITURE SHOWN FOR INFORMATION ONLY. FURNITURE BY OWNER.
- J. PROVIDE JUNCTION BOX AND "N" CONDUIT WITH PULL STRING TO ACCESSIBLE CEILING FOR ALL COMMUNICATION DEVICES.
- K. PROVIDE AND INSTALL FLOOR FLUSH-MOUNTED JUNCTION-BOXES FOR TENANT FURNITURE SYSTEMS/FLOOR OUTLETS (AS INDICATED PER PLANS).
- L. ALL ELECTRICAL MATERIALS AND WORKMANSHIP SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS, AS A MINIMUM STANDARD.
- M. ELECTRICAL CONTRACTOR SHALL VERIFY AND NOTIFY G.C. IF METERING OF ELECTRICAL SERVICE WILL BE REQUIRED FOR DEMAND LOAD. PROVIDE ALLOWANCE FOR METERING AND SUB-PANEL WITH TRANSFORMER.



A		INTERIOR DECORATIVE PENDANT MANUFACTURER: CUSTOM BY STONE CREEK COFFEE DESCRIPTION: HANGING PENDANT COMMENTS: PROVIDED BY OWNER INSTALLED BY CONTRACTOR. MOUNTED TO STANDARD 4" J BOX. LIGHTS TO BE HARDWIRED TO BE ON 24/7
B		TRACK LIGHTING MANUFACTURER: DIRECT-LIGHTING DESCRIPTION: MODEL: 50047 BLACK UNIVERSAL LINE VOLTAGE TRACK LIGHTING HEAD, LED. COLOR: BLACK COMMENTS: COMPATIBLE WITH ANY TYPICAL "H" STYLE TRACK SYSTEM. CONTRACTOR TO PROVIDE AND INSTALL TRACK, HEADS PROVIDED BY OWNER INSTALLED BY OWNER. COORDINATE TRACK HEIGHT WITH OWNER.
C		EXTERIOR PENDANT LIGHTING MANUFACTURER: BALDWIN DESCRIPTION: 6", PAINTED-BLACK COMMENTS: PROVIDED BY OWNER INSTALLED BY CONTRACTOR. MOUNTED TO UNDERSIDE OF METAL DECK IN STANDARD 4" J BOX. CONTRACTOR TO PROVIDE AND INSTALL WEATHER PROOF BOX W/ PHOTO-CELL AND TIMER. WIRE POWER TO PHOTO-CELL (BEFORE TIMER)
D		STRING LIGHTS MANUFACTURER: BY OWNER (PARTY/LIGHTS.COM - ITEM# MSB/BRK) DESCRIPTION: STRING LIGHTS APPROXIMATELY 45' IN LENGTH STRING LIGHTS. COLOR: BLACK COMMENTS: FIXTURES PROVIDED AND INSTALLED BY OWNER. CONTRACTOR TO PROVIDE AND INSTALL WEATHER PROOF BOX W/ PHOTO-CELL AND TIMER. WIRE POWER TO PHOTO-CELL (BEFORE TIMER)
E		SIGN LIGHT MANUFACTURER: BY DESIGN BUILD CONTRACTOR DESCRIPTION: EXTERIOR RATED LINEAR LED WALL MOUNTED WALL WASHES COMMENTS: FIXTURES PROVIDED. ALL EXTERIOR SIGN LIGHTING TO BE ON TIMER COORDINATE WITH F FIXTURES, COORDINATE FINAL HEIGHT WITH OWNER
F		LED TAPE LIGHT MANUFACTURER: BY DESIGN BUILD CONTRACTOR DESCRIPTION: EXTERIOR RATED DIMMABLE LED STRIP ACCENT LIGHTS APPROXIMATELY 1/2" WIDE COMMENTS: REVIEW SELECTION WITH OWNER PRIOR TO ORDERING. ALL EXTERIOR LED TAPE LIGHT TO BE ON PHOTOCELL/TIMER
G		EXTERIOR STEP LIGHT MANUFACTURER: ARES OUTDOOR BY FLOS DESCRIPTION: MODEL: CAMILLA LED. COLOR: ANTRACITE COMMENTS: COORDINATE TIMER/PHOTO-CELL SWITCHING WITH OTHER EXTERIOR LIGHTS. INSTALLED IN NEW CONCRETE WALLS. UNO. VERIFY HEIGHT WITH OWNER PRIOR TO INSTALLATION.
H		WALL MOUNTED SCONCE MANUFACTURER: ADVENT - HARBOR AN18266 DESCRIPTION: WALL MOUNTED - FORMED OPAL ACRYLIC LENS 7" x 14.5" x 4" x 7. COMMENTS: MOUNT TO STANDARD 4" J BOX
I		OFFICE LIGHT MANUFACTURER: LITHONIA OR SIM. DESCRIPTION: MODEL WL LED SURFACE MOUNTED, FINISH: WHITE SURFACE MOUNTED LED COMMENTS: MOUNT TO STANDARD 4" JUNCTION BOX
J		DOWNLIGHT MANUFACTURER: BY DESIGN BUILD CONTRACTOR DESCRIPTION: 4" RECESSED CAN LIGHT COMMENTS: REVIEW FINAL SELECTION AND COLOR (SAME AS ROOF) WITH OWNER PRIOR TO ORDERING. SEE DRAWINGS FOR ADDITIONAL INFORMATION. AT EXTERIOR CANS PROVIDE SURFACE MOUNTED BLACK/DARK BRONZE HOUSING.
K		WALL SCONCE MANUFACTURER: BY OWNER DESCRIPTION: WALL MOUNTED SCONCE COMMENTS: PROVIDED BY OWNER INSTALLED BY CONTRACTOR. VERIFY FINAL HEIGHT PRIOR TO INSTALLATION

- NOTES:**
- ALL LIGHTS TO BE DIMMABLE LED UNO
 - ALL LEDS TO BE 2,200K UNO
 - ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE ALL NECESSARY EMERGENCY EGRESS LIGHTING AND ILLUMINATED SIGNAGE. COLOR BLACK OR CLEAR GLASS WITH RED LETTERING - VERIFY FINAL COLOR SELECTION WITH OWNER PRIOR TO ORDERING

PROJECT

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PROJECT INFO

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SHEET TITLE

ELECTRICAL PLAN

1 ELECTRICAL AND LIGHTING PLAN
A201 | A103
1/4" = 1'-0"

NOTE: FOR REFERENCE ONLY. FINAL PLANS BY DESIGN BUILD CONTRACTOR

PROJECT

STONE CREEK
COFFEE
DOWNER AVE

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SHEET TITLE

PLUMBING PLAN

KEYED PLUMBING FLOOR PLAN NOTES

TAG #	DESCRIPTION
1	COLD SUPPLY LINE (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, CHUDNOW BACK FLOW PREVENTER, MOUNTED ON DENISING WALL, 18" AFF. HUB DRAIN, ADAPTOR TO 4" DIA OPENING, TOP OF OPENING @ 2" AFF, MOUNT 2/4" FLEXIBLE DRAIN FROM MACHINE W/ 1" AIR GAP, TRENCH TO MAIN DRAIN.
2	COLD SUPPLY (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, CHUDNOW BACKFLOW PREVENTER, MOUNTED ON DENISING WALL 18" AFF
3	COLD SUPPLY (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, WATTS 90 BLACKFLOW PREVENTER, MOUNTED ON CABINET 18" AFF
4	WATER FILTRATION - R/O FILTER SYSTEM (SUPPLIED BY OWNER). COLD SUPPLY INPUT, RUN FILTERED LINES TO FILTERED EQUIPMENT PER SCOPE. INSTALL "B-BALVE" BYPASS (SEE STONE CREEK COFFEE FOR DETAILS)
5	INSTALL FILTERED HOSE BIB, INSTALL AFTER FILTER SYSTEM, MOUNTED ON WALL @ 36" AFF
6	INSTALL MOP SINK AND MOP FAUCET (PROVIDED BY OWNER INSTALLED BY CONTRACTOR)
7	PROVIDE & INSTALL TOILET (SEE BATHROOM PLANS FOR MORE INFORMATION)
8	PROVIDE & INSTALL WALL MOUNTED SINKS W/ FAUCETS (SEE BATHROOM PLANS FOR MORE INFORMATION)
9	INSTALL (4) COMPARTMENT SINK STAINLESS STEEL WITH HAND SPRAYER FAUCET X2 (PROVIDED BY OWNER INSTALLED BY CONTRACTOR)
10	INSTALL STAINLESS STEEL HAND SINK AND FAUCET (PROVIDED BY OWNER INSTALLED BY CONTRACTOR)
11	PROVIDE AND INSTALL ELECTRIC WATER HEATER (COORDINATE WITH OWNER FOR SIZE AND LOCATION). PROVIDE HUB DRAIN ADAPTOR TO 6" DIA OPENING 2" AFF
12	HUB DRAIN ADAPTOR TO 6" DIA OPENING. TOP OF OPENING 12" AFF IN CABINET. MOUNT 3/4" FLEXIBLE DRAIN FROM GLASS WASHER AND EXPRESSO MACH W/ 1" AIR GAP. TRENCH TO MAIN DRAIN.
13	PROVIDE HOSE BID



1 PLUMBING PLAN
A201 A104 1/4" = 1'-0"

NOTE: FOR REFERENCE ONLY. FINAL PLANS BY DESIGN BUILD CONTRACTOR



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KEYED EQUIPMENT FLOOR PLAN NOTES

TAG #	DESCRIPTION
1	TAP PROVIDED AND INSTALLED BY OWNER
2	GLASS FOOD SHIELD PROVIDED AND INSTALLED BY OWNER.
3	KNOCK BOX PROVIDED AND INSTALLED BY OWNER.

EQUIPMENT SCHEDULE

NO	DEPARTMENT	DESCRIPTION	Q/QT	Q/CI	Q/CO	ROOM	COMMENTS
CS-1							
OP-01	OPERATIONS	MINI REFRIGERATOR		X		SERVING AREA	UNDER CABINET, 20A 110V DEDICATED OUTLET, MOUNTED IN CABINET, 24" AFF
OP-02	OPERATIONS	GRINDER		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF
OP-03	OPERATIONS	BREWER		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF. COLD SUPPLY (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, CHUDNOW BACKFLOW PREVENTER, MOUNTED ON DEMISING WALL 18" AFF
OP-04	OPERATIONS	REACH-IN AIR CURTAIN		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED IN CABINET, 24" AFF
OP-05	OPERATIONS	BLENDER		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF
OP-06	OPERATIONS	ICE MAKER		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF. COLD SUPPLY LINE (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, CHUDNOW BACK FLOW PREVENTER, MOUNTED ON DEMISING WALL 18" AFF. HUB DRAIN, ADAPTOR TO 4" DIA OPENING, TOP OF OPENING @ 2" AFF. MOUNT 3/4" FLEXIBLE DRAIN FROM MACHINE W/ 1" AIR GAP, TRENCH TO MAIN DRAIN.
OP-07	OPERATIONS	SCALE		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF
OP-08	OPERATIONS	TOASTER		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED ON WALL 24" AFF
OP-09	OPERATIONS	ESPRESSO MACHINE		X		SERVING AREA	20A 110V DEDICATED OUTLET, MOUNTED IN CABINET, 24" AFF. COLD SUPPLY (FILTERED LINE), 1/4 TURN SHUT OFF VALVE, WATTS 9D BACKFLOW PREVENTER, MOUNTED ON CABINET 18" AFF
OP-10	OPERATIONS	POS		X		SERVING AREA	UNDER CABINET, 20A 110V DEDICATED OUTLET, MOUNTED IN CABINET, 24" AFF
OP-11	OPERATIONS	GLASS WASHER		X		SERVING AREA	COLD SUPPLY 1/4 TURN SHUT OFF VALVE WATT 9D BACKFLOW PREVENTER MOUNTED IN CABINET 18" AFF
PT-1							
SD-1							

NOTE: ALL EQUIPMENT PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR UNO.



PROJECT

STONE CREEK COFFEE
DOWNER AVE

N DOWNER AVE AND E
PARK PL
MILWAUKEE, WI 53211

ISSUE

NO.	REV. DATE	DESCRIPTION
1		

PROJECT INFO

Date
7.17.2017
Project No.
17.055

SHEET TITLE

EQUIPMENT PLAN

1 LEVEL 1 - EQUIPMENT
A201 | A105
1/4" = 1'-0"

NOTE: FOR REFERENCE ONLY. CONFIRM FINAL EQUIPMENT AND LOCATION WITH OWNER PRIOR TO INSTALLATION

A105

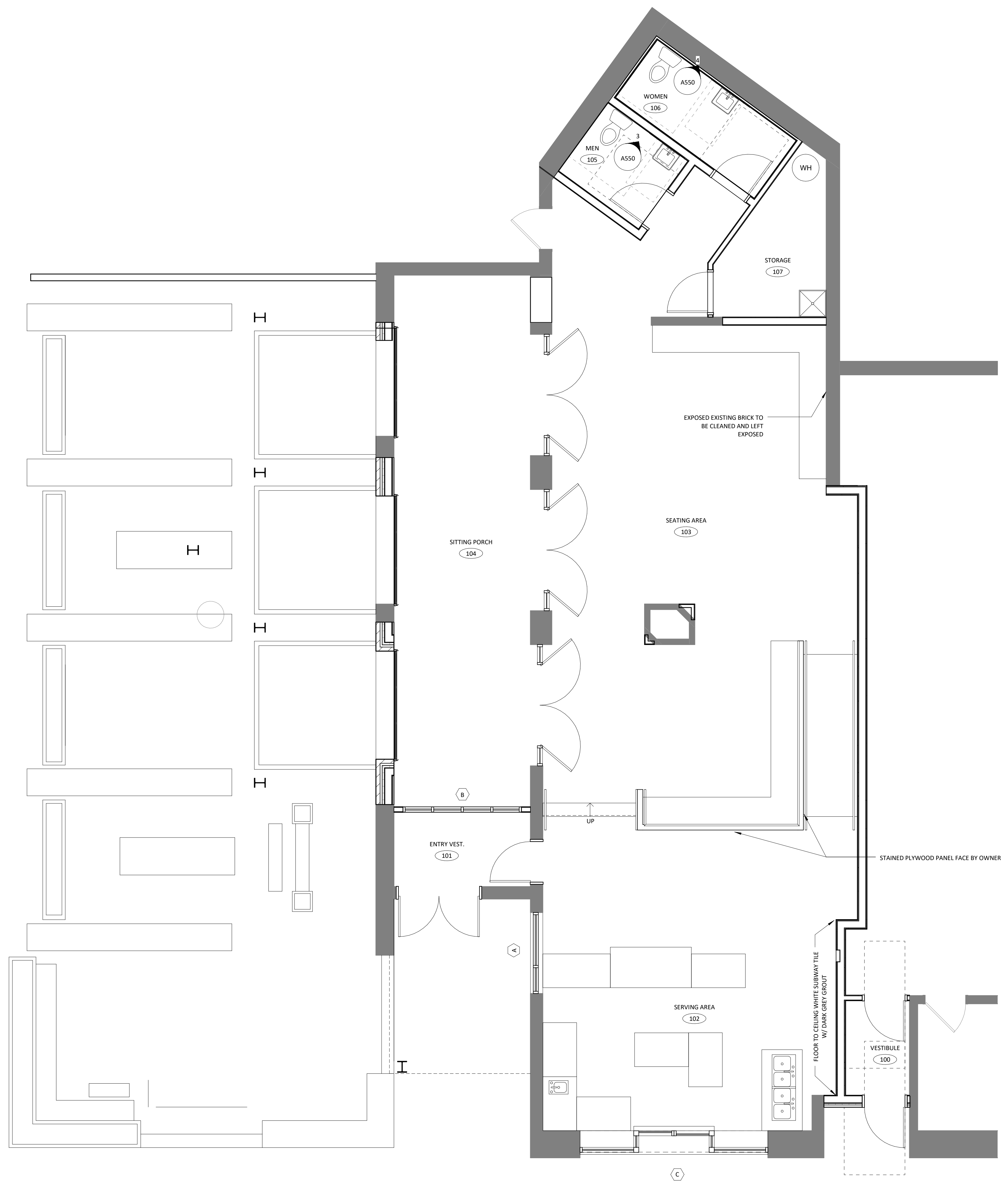
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KEY SCHEDULE - FINISHES					
Key Name	MATERIAL TYPE	MANUFACTURER	SIZE / FINISH	CONTACT	NOTES
-	ADA TOILET ROOM SIGNAGE	COMPLIANCE SIGNS			WWW.COMPLIANCESIGNS.COM
-	WINDOW TREATMENTS	SWF CONTRACT	3% OPEN WEAVE		OPERATION MECHANISM: PULL CHAIN, INCLUDE VALANCE
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	TILE 24" x 24", GRID 9/16"	SCOTT MESKAN (608) 354-2167	
CONC-1	FLOOR STAIN	CONCRETE RESURRECTION	ACID STAIN - RAC - GOLDEN SAND		
FAB-1	BUILT-IN SEAT BACK CUSHION	DESIGN TEX	BILLIARD CLOTH 3549 - TEAK	TRISH WOLLERSHEIM (414) 507-4250	
FAB-2	BUILT-IN SEAT CUSHION	DESIGN TEX	677/2052387-188	TRISH WOLLERSHEIM (414) 507-4250	
GT-1	GROUT	TIC	UNSAILED	CHAD MILLER, LEXCO TILE (414) 530-3300	
MT-1	METAL FRAMING (INTERIOR FRAMING)	UNITEC	DARK BRONZE		
MT-2	CORRUGATED METAL (EXTERIOR PATIO ROOF)	PAC-CLAD	DARK BRONZE		
MT-3	METAL POSTS (EXTERIOR METAL POSTS)	PAC-CLAD	DARK BRONZE		
PCT-1	PORCELAIN MOSAICS (WET WALL BEHIND MIRRORS)	LEXCO TILE AND STONE	1X3 MOSAICS UNICOLOR - DARK GREY	CHAD MILLER (414) 530-3300	TILE BASE ALSO FROM LEXCO USING 6X24 TILES
PCT-2	PORCELAIN WALL TILE (RESTROOM WAINSCOT)	LEXCO TILE AND STONE	6"X24" UNICOLOR - DARK GREY	CHAD MILLER (414) 530-3300	TILE BASE ALSO FROM LEXCO USING 6X24 TILES
PCT-3	PORCELAIN FLOOR TILE (RESTROOMS)	LEXCO TILE AND STONE	24"X24" UNICOLOR - DARK GREY	CHAD MILLER (414) 530-3300	TILE BASE ALSO FROM LEXCO USING 6X24 TILES
PT-1	PAINT	SHERWIN WILLIAMS	URBANE BRONZE SW7048		CAFE CEILING, BASEBOARDS, TRIM, CHAIR RAIL, DOORS, WOOD AT COUNTER AND PASTRY CASE, UNISTRUT SHELVING
PT-2	PAINT	SHERWIN WILLIAMS	CHOP STICKS SW7575		WALL COLOR, WALL AND CEILING COLOR IN RESTROOMS
PT-3	PAINT	SHERWIN WILLIAMS	ANONYMOUS GRAY SW7046		BACK RESTROOM/OFFICE/EXIT CORRIDOR WALLS AND CEILINGS
PT-4	PAINT	SHERWIN WILLIAMS	BARE GRAY SW6199		CLOUD COLOR
PT-5	PAINT	SHERWIN WILLIAMS	DOVETAIL GRAY SW7018		EXTERIOR WALL COLOR
PT-6	PAINT	SHERWIN WILLIAMS	CHOP STICKS SW7575		EXTERIOR BRICK COLOR
QT-1	QUARTZ	ZODIAQ		HALMARK SUPPLIES, KIM BROSE (612) 791-4961	
RB-1	RUBBER BASE	JOHNSONITE	6" COVE - BLACK		
SC-1	SEALED CONCRETE				
ST-1	WOOD STAIN 1				
ST-2	WOOD STAIN 2				
WD-1	WOOD (BENCHES/EXTERIOR)				
WD-2	WOOD (DOOR/FRAMES)				
WD-3	WOOD (BASE AND RUNNING TRIM)	PAC-CLAD	WHITE OAK, STAINED MINIWAX EBONY 6" STRAIGHT		6" BASEBOARD
WD-4	WOOD BASE AND TRIM	MINIWAX	EBONY		
WD-5	CHAIR RAIL IN CORRIDORS/RESTROOMS	MINIWAX	2-1/2" DECORATIVE - EBONY		
WD-6	EXTERIOR SEATING STAIN	MINIWAX	CLASSIC GRAY		BY OWNER
WD-7	TABLE AND BUILT IN SEATING	MINIWAX	TREATED PINE STAINED CLASSIC GRAY		BY OWNER
WOM-1	WALK OFF MATT - EXTERIOR (SNAP IN)	MILIKEN	PRIOR 16-CLOSED - CHARCOAL	ROXANNE CARLSON (414) 438-9614	
WOM-2	WALK OFF MATT - EXTERIOR (SNAP IN)	MILIKEN	FORMA 16 - CLOSED - CHARCOAL	ROXANNE CARLSON (414) 438-9614	
WV-1	WOOD VENEER FOR DOORS	WASHED WALNUT GROVE	64816	(800) 807-7341	TREEFROGVENEER.COM

ROOM FINISH SCHEDULE										
ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH				CEILING FINISH	COMMENTS	Schedule
				NORTH	EAST	SOUTH	WEST			
100	VESTIBULE	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" EBONY STAINED	PT-7	PT-7	PT-7	PT-7	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	
101	ENTRY VEST.	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" EBONY STAINED	PT-7	PT-7	PT-7	PT-7	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	
102	SERVING AREA	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" EBONY STAINED	PT-7	PT-7	PT-7	PT-7	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	
103	SEATING AREA	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" EBONY STAINED	PT-7	PT-7	PT-7	PT-7	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	
104	SITTING PORCH	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" EBONY STAINED	PT-7	PT-7	PT-7	PT-7	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	
105	MEN	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6"X24" TILES	PT-3/PORT-2	PT-3/PORT-2	PT-3/PORT-2	PT-3/PORT-2	GVP. BOARD, PT-7	TILE WAINSCOT PT-7/PT-8 AT SINK	
106	WOMEN	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6"X24" TILES	PT-3/PORT-2	PT-3/PORT-2	PT-3/PORT-2	PT-3/PORT-2	GVP. BOARD, PT-7	TILE WAINSCOT PT-7/PT-8 AT SINK	
107	STORAGE	STAINED AND SEALED CONCRETE. COORDINATE WITH OWNER	6" COVE	PT-8	PT-8	PT-8	PT-8	PT-8	PAINT EXPOSED STRUCTURE AT CEILING	



1 LEVEL 1 - FINISH FLOOR PLAN
 A201 A121 1/4" = 1'-0"



NSR W6181 COLUMBIA RD.
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PROJECT

STONE CREEK COFFEE
 DOWNER AVE

N DOWNER AVE AND E
 PARK PL
 MILWAUKEE, WI 53211

ISSUE

NO. REV. DATE DESCRIPTION

PROJECT INFO

Date
 7.17.2017
 Project No.
 17.055

SHEET TITLE

FINISH FLOOR PLANS

A121

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PROJECT

STONE CREEK COFFEE
DOWNER AVE

N DOWNER AVE AND E PARK PL
MILWAUKEE, WI 53211

ISSUE

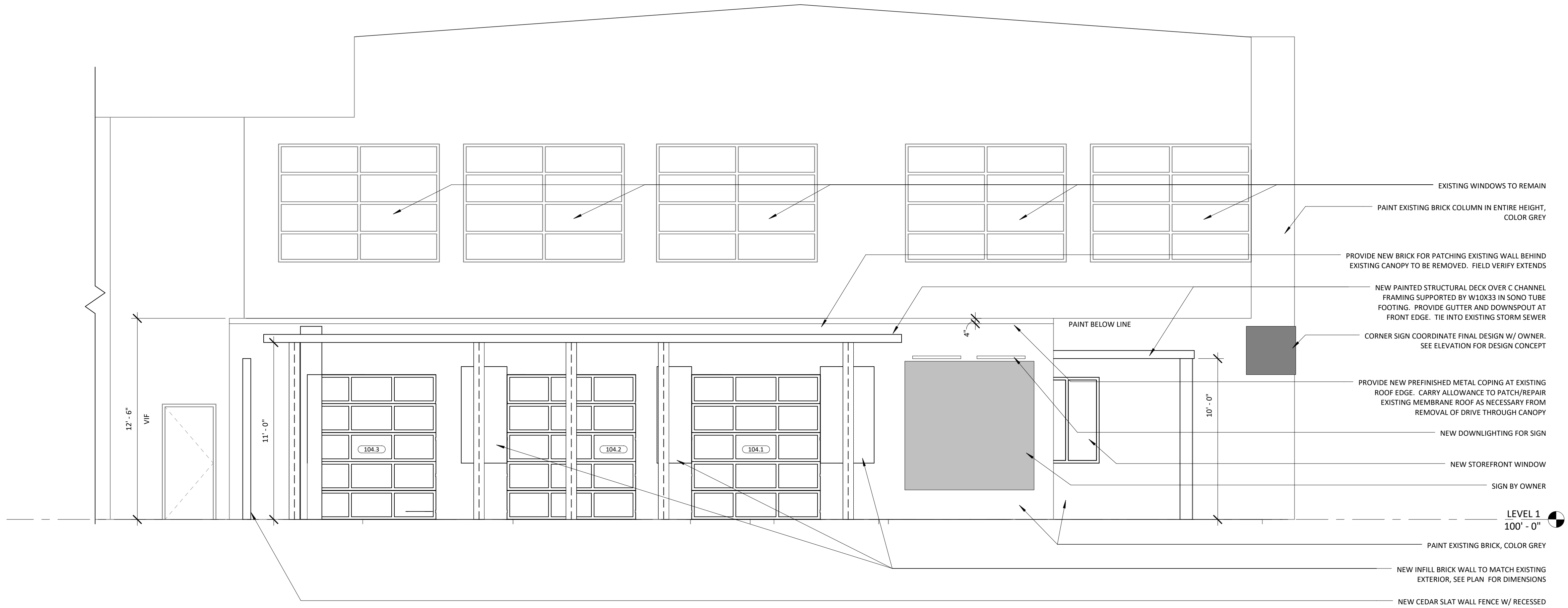
NO.	REV. DATE	DESCRIPTION

PROJECT INFO

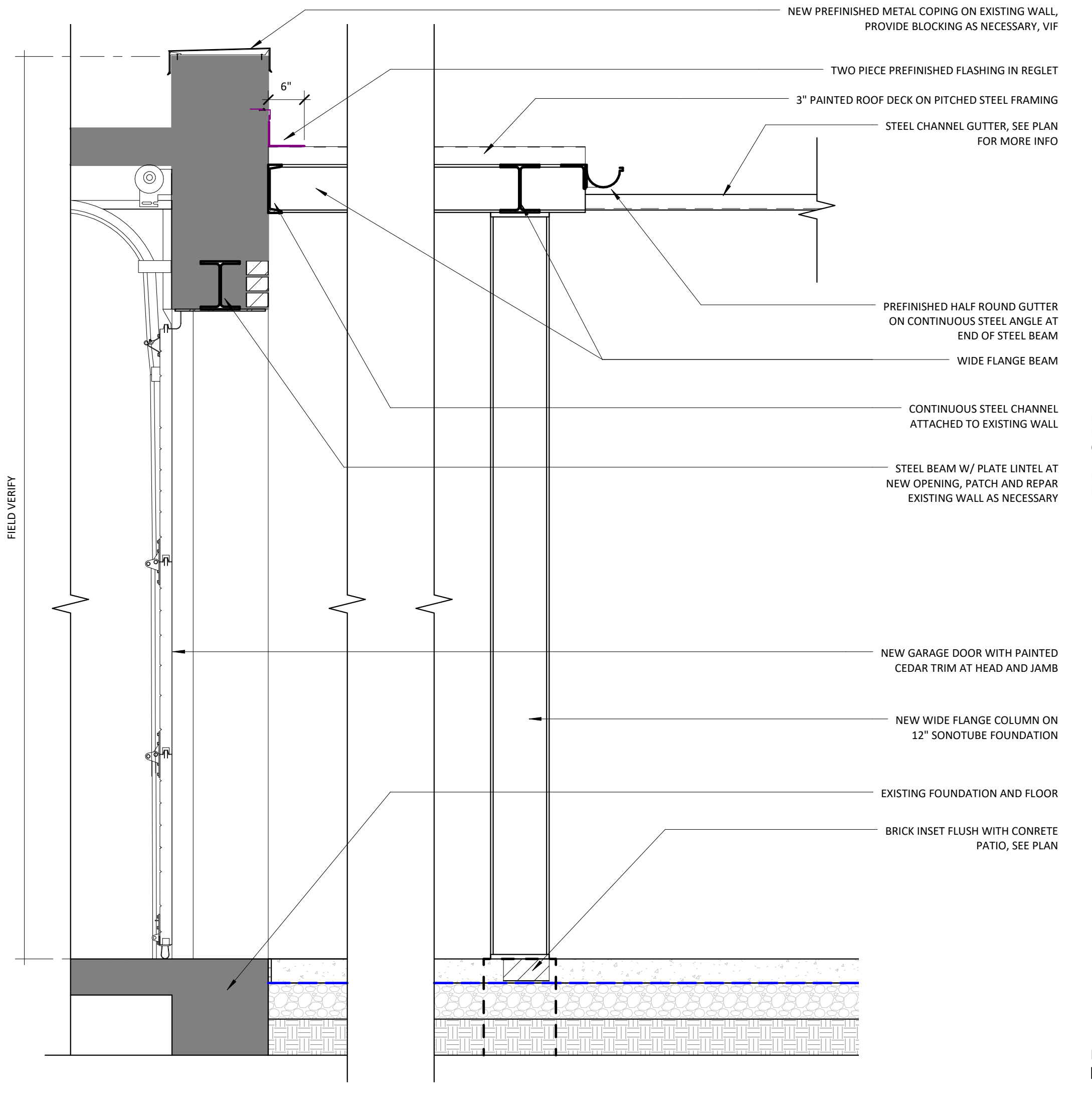
Date	7.17.2017
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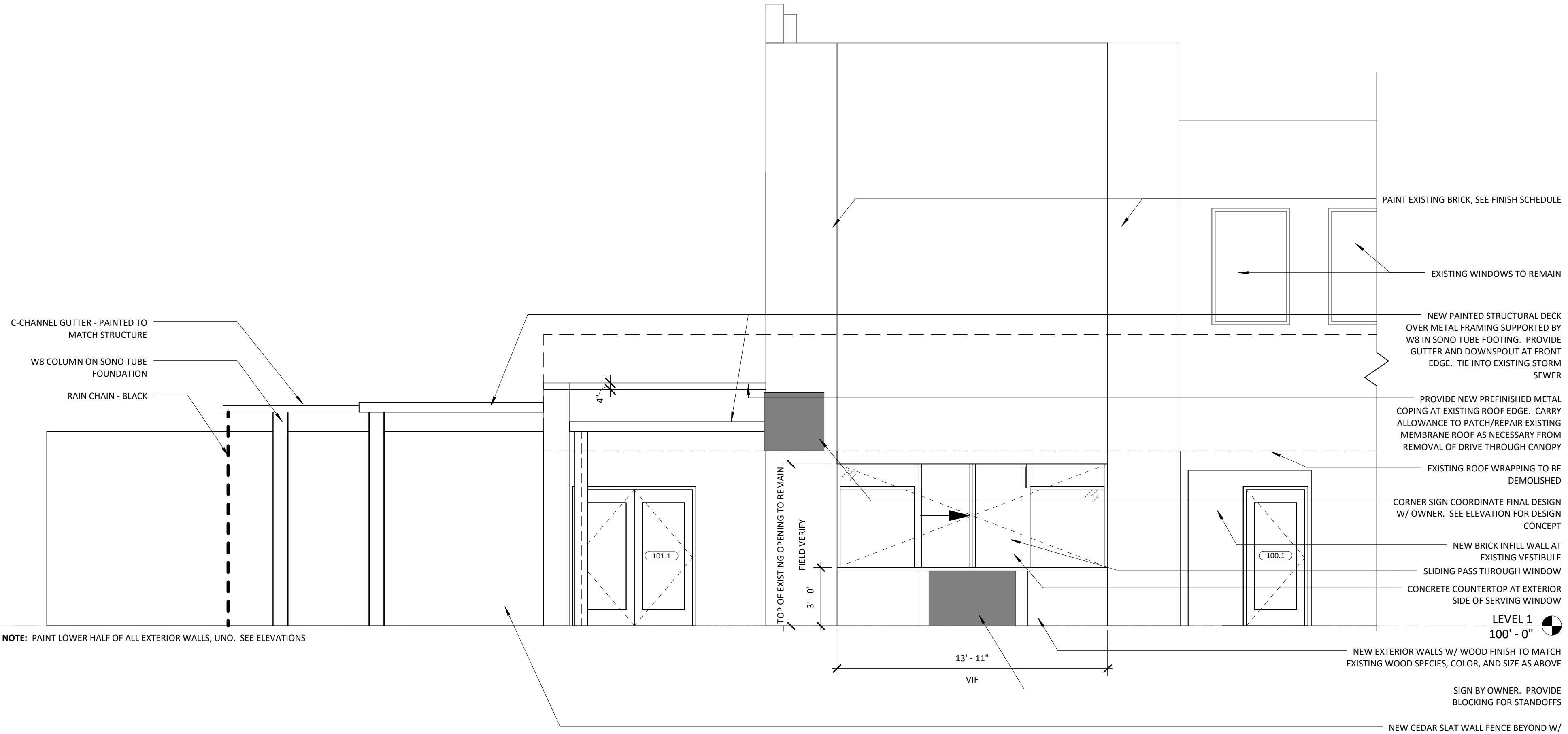
BUILDING / WINDOW ELEVATIONS



1 NORTH ELEVATION
1/4" = 1'-0"



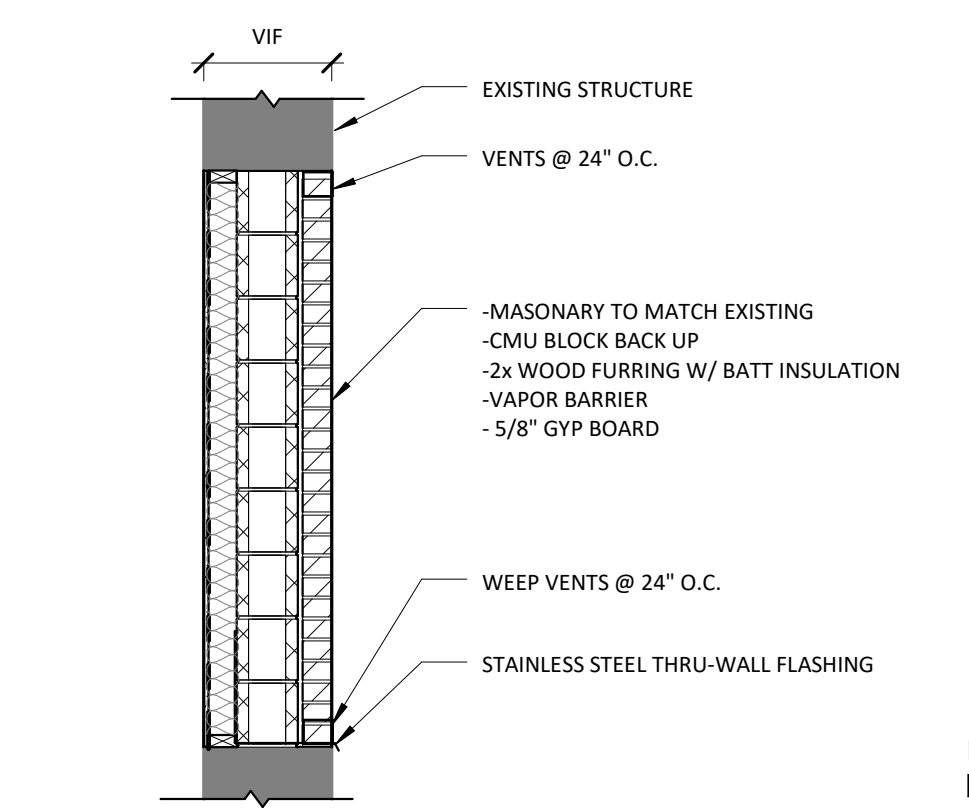
2 OH DOOR HEAD DETAIL
3/4" = 1'-0"



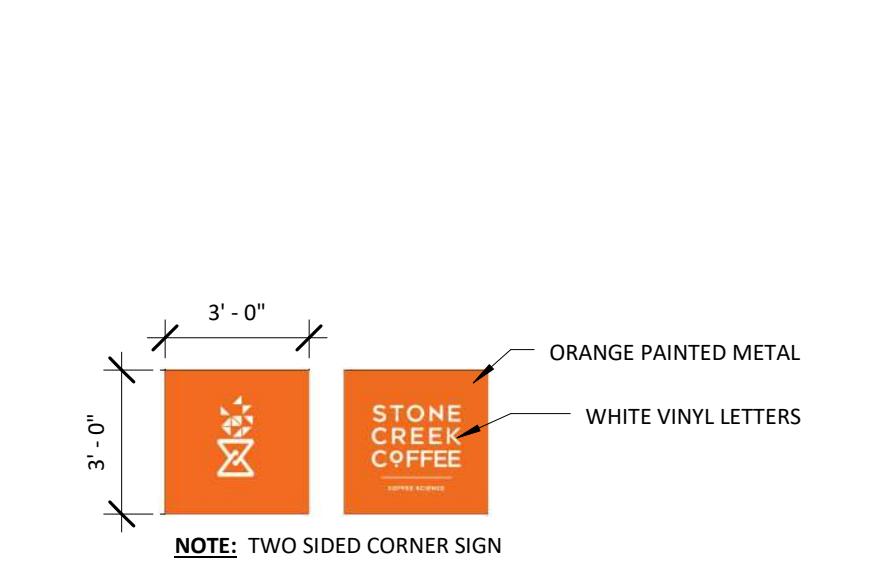
3 WEST ELEVATION
1/4" = 1'-0"



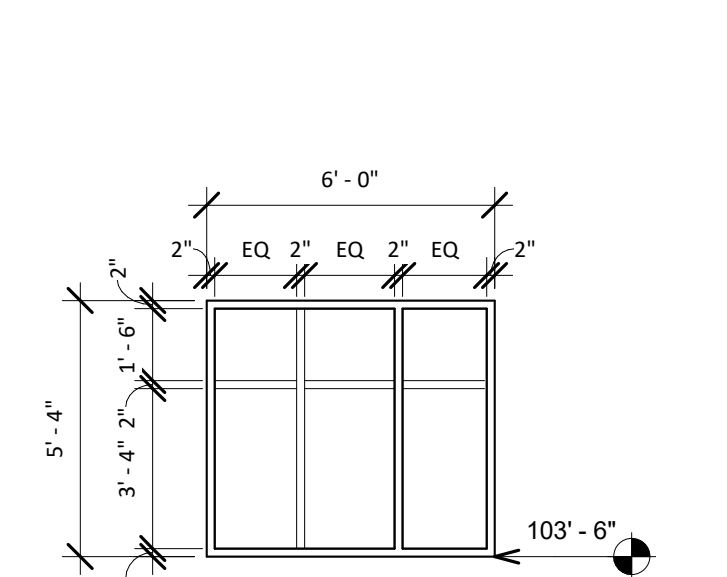
4 FENCE ELEVATION TYP
1/4" = 1'-0"



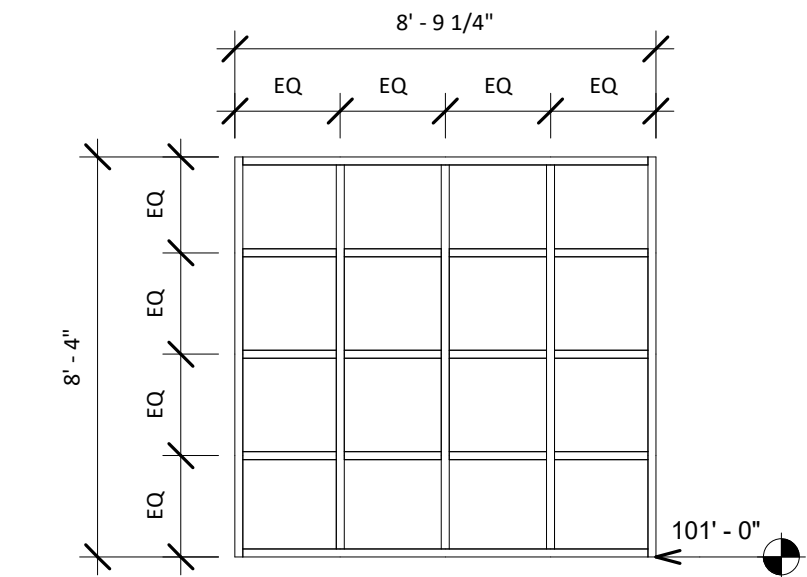
5 WALL INFILL DETAIL
1/2" = 1'-0"



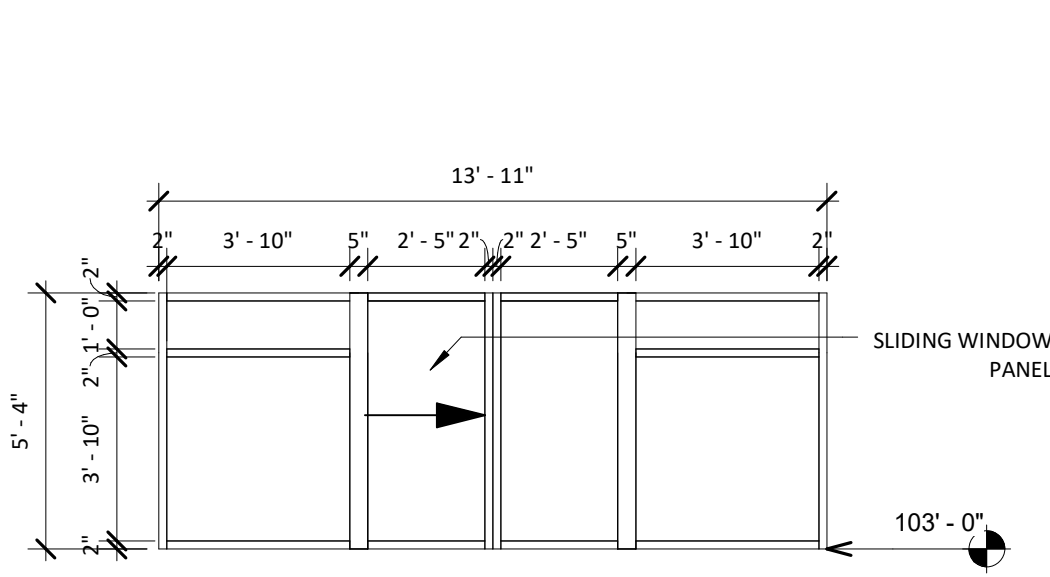
6 CORNER SIGN DETAIL
1/4" = 1'-0"



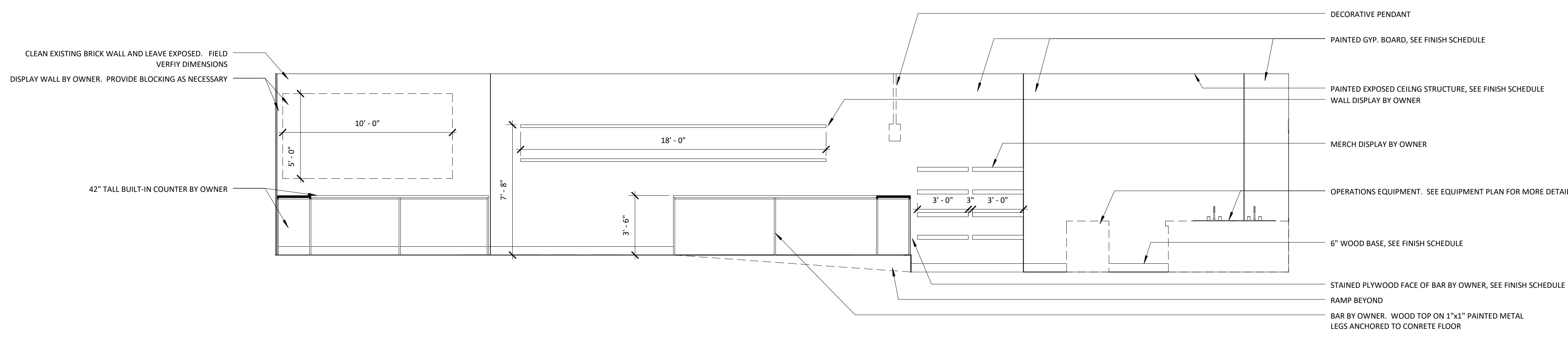
A WINDOW A
1/4" = 1'-0"



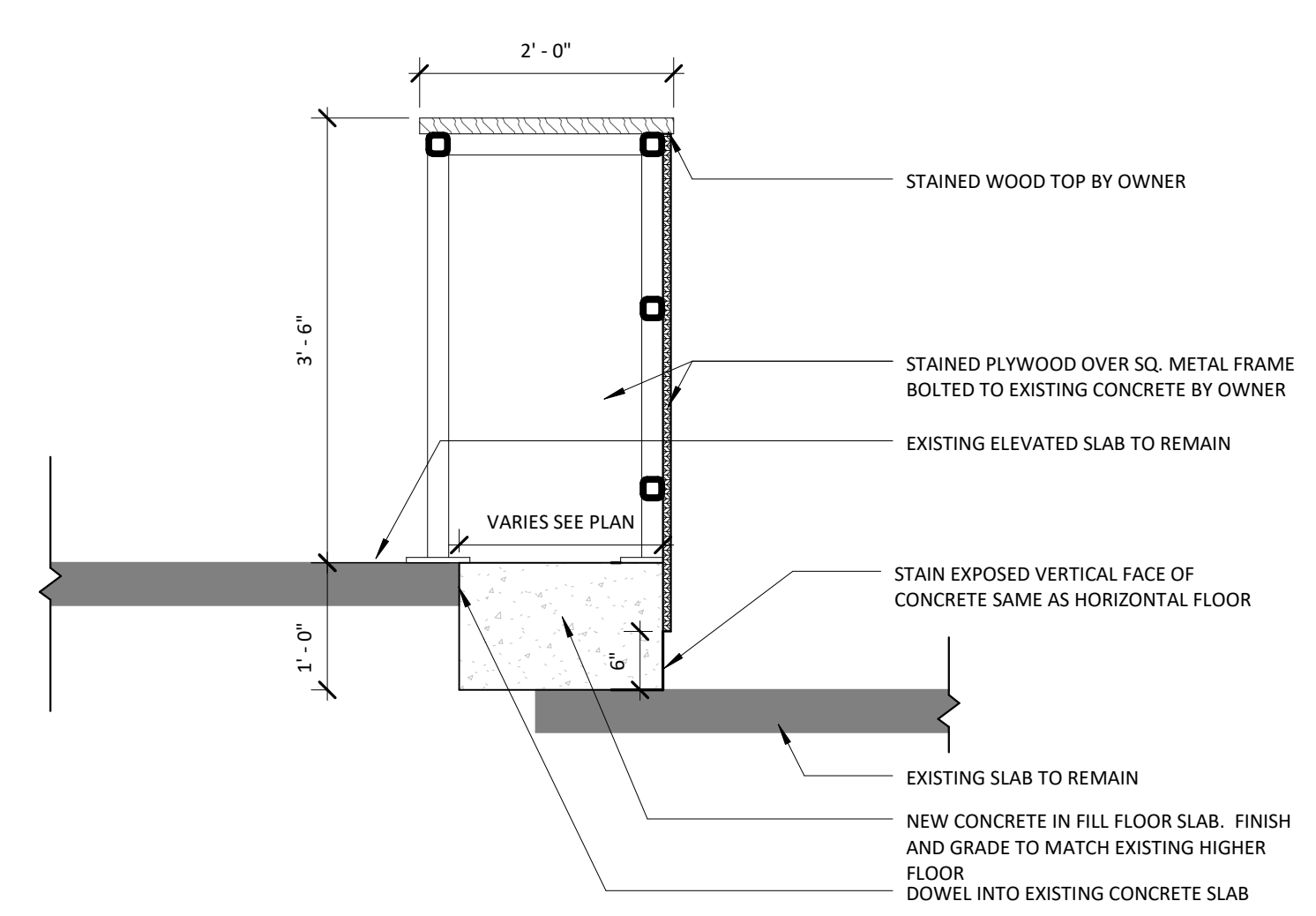
B WINDOW B
1/4" = 1'-0"



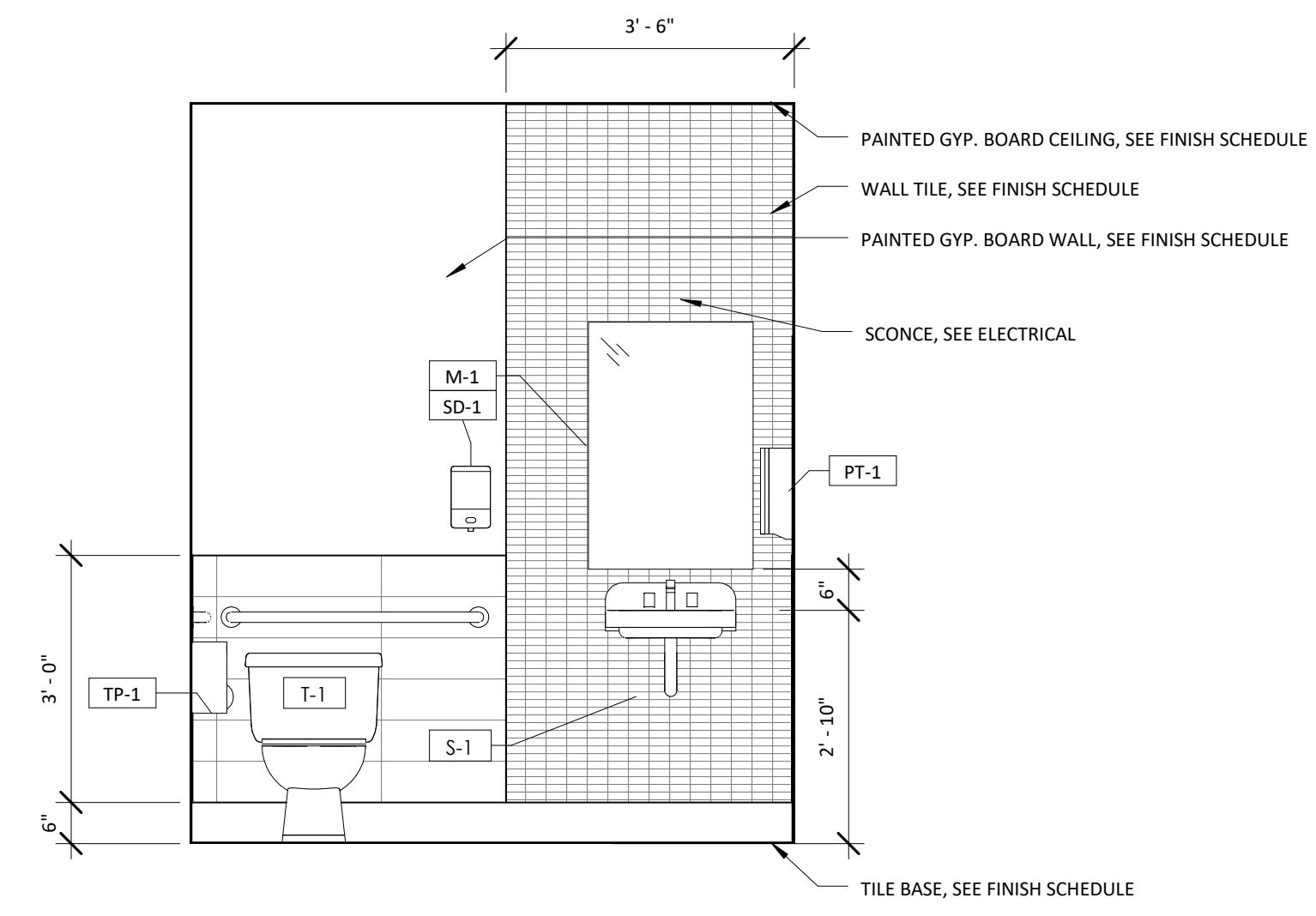
C WINDOW C
1/4" = 1'-0"



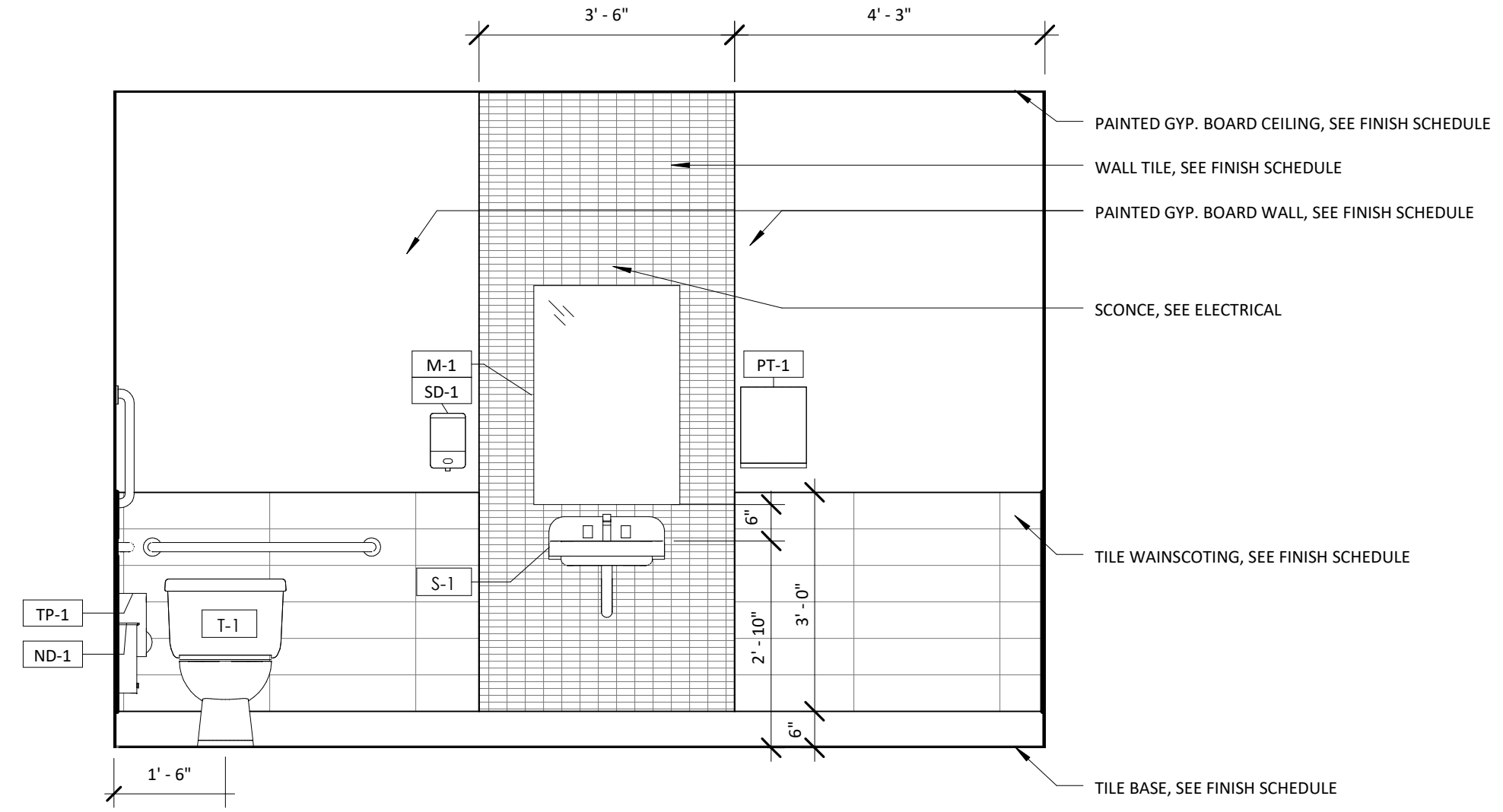
1 INTERIOR ELEVATION 2
A101 A550
1/4" = 1'-0"



2 SECTION THRU CONCRETE FLOOR
A101 A550
3/4" = 1'-0"



3 BATHROOM ELEVATION 2
A121 A550
1/2" = 1'-0"



4 BATHROOM ELEVATION 1
A121 A550
1/2" = 1'-0"

TOILET ROOM ACCESSORY SCHEDULE	
TAG	DESCRIPTION
CS-1	WALL MOUNTED KDALA KARE KB101 BABY CHANGING STATION, COLOR: GRAY
F-1	KOHLER TRITON K-7404-KNE, BRASS
GB-1	GRAB BARS (3) TOTAL - 18" VERTICAL, 36" BEHIND TOILET, AND 42" ADJACENT TO TOILET. STAINLESS STEEL. PROVIDE WALL BLOCKING AS NECESSARY
M-1	MCS WEDGE MIRROR, 30" x 42", COLOR: BLACK. PROVIDED BY OWNER INSTALLED BY CONTRACTOR
ND-1	NAPKIN DISPOSAL - BRADLEY MODEL 4722-10-15
PT-1	PAPER TOWEL DISPENSER - PROVIDED BY OWNER INSTALLED BY CONTRACTOR
RH-1	ROBE HOOK - BRADLEY MODEL 9334
S-1	KOHLER SOND K-2023 - WALL MOUNTED 20"L x 18"W W/ KOHLER TRITON 4" CENTERSET K-7404-KNE
SD-1	SOAP DISPENSER - BRADLEY MODEL S402 OR SIM. PROVIDED BY OWNER INSTALLED BY CONTRACTOR.
T-1	KOHLER HIGHCREST K-4301-L - 26" x 14 1/2" x 16 1/2"
TC-1	ROUND STAINLESS STEEL STEP TRASH CAN WITH LINER - 30 LITER PER 8 GALLON. PROVIDED BY OWNER
TP-1	TOILET PAPER DISPENSER - BRADLEY MODEL S402 OR SIM. PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
WS-1	WELLESIR MEN'S AND WOMEN'S OR UNISEX BATHROOM SIGN
WS-2	ADA HYGIENE SIGN 6 x 9, COLOR: GRAY

NOTE: CONTRACTOR TO PROVIDE IN WALL BLOCKING FOR ALL BATHROOM ACCESSORIES

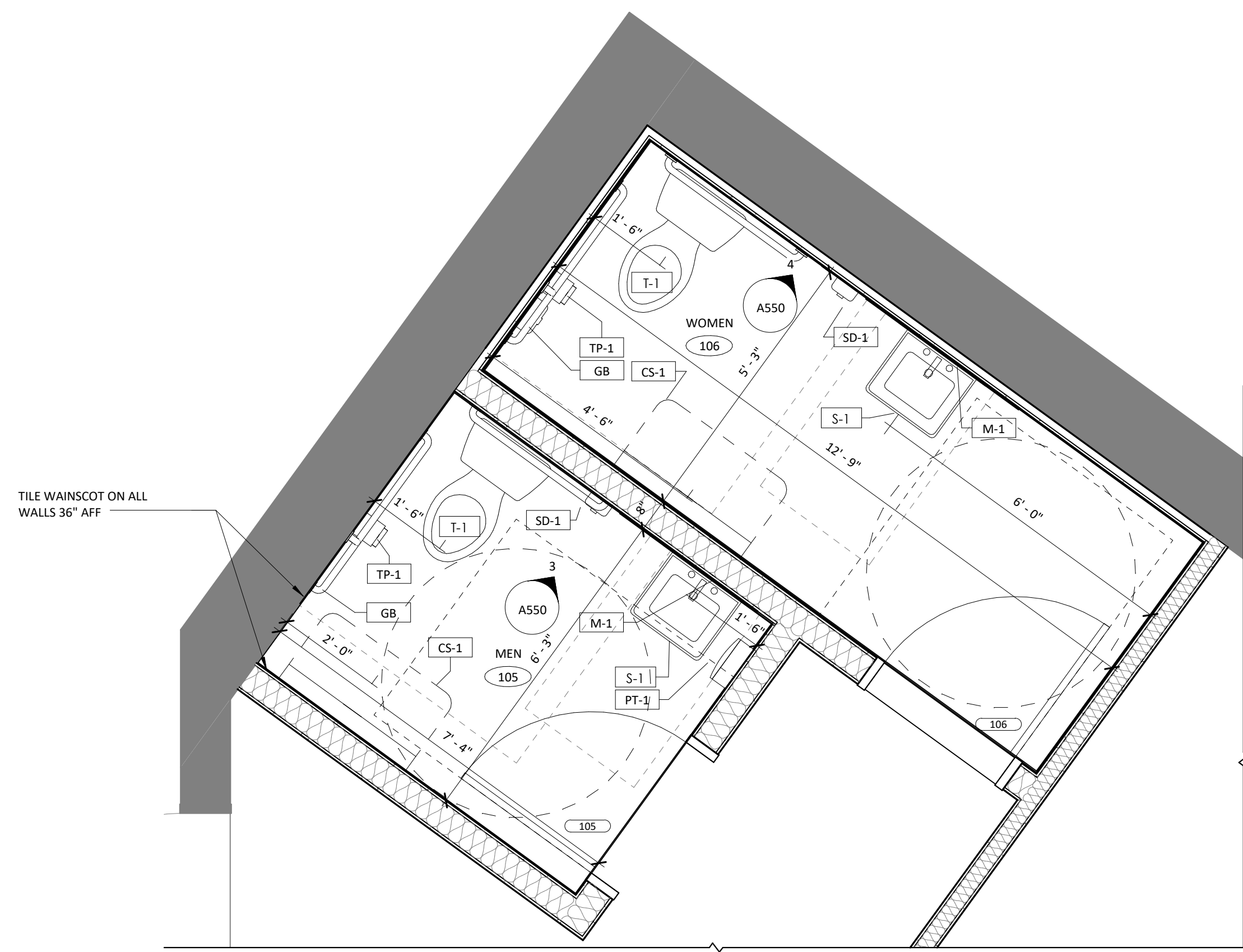
PROJECT

STONE CREEK COFFEE
DOWNER AVE

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MILWAUKEE, WI 53211

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5 ENLARGED PLAN - TOILET ROOMS
A101 A550
1/2" = 1'-0"

PROJECT INFO

Date: 7.17.2017
Project No.: 17.055

SHEET TITLE

GENERAL INTERIOR DETAILS

A550