

FIRST AMENDMENT TO  
GOOD HOPE LIBRARY  
PURCHASE, SALE, &  
DEVELOPMENT AGREEMENT

FIRST AMENDMENT TO GOOD HOPE LIBRARY  
PURCHASE, SALE, & DEVELOPMENT  
AGREEMENT

Recording Area

Name and Return Address:

Mary L. Schanning  
Deputy City Attorney  
841 N. Broadway – 7<sup>th</sup> Floor  
Milwaukee, WI 53202

Tax Key Numbers:

118-0302-000; 118-0301-000

THIS FIRST AMENDMENT TO THE GOOD HOPE LIBRARY PURCHASE, SALE, AND DEVELOPMENT AGREEMENT (this “**Amendment**”) is made as of this 8th day of May, 2020, and is between the City of Milwaukee (“**City**”) and Mill Road Library Redevelopment, LLC (“**Developer**”).

RECITALS

- A. The City and Developer entered into the Good Hope Library Purchase, Sale, and Development Agreement (the “**Original Agreement**”), dated July 19, 2018 which is memorialized by the Memorandum of Good Hope Library Purchase, Sale, and Development Agreement recorded in the Milwaukee County Register of Deeds Office on July 23, 2018 as Document No. 10796372.
- B. Any capitalized terms in this Amendment not defined herein shall be defined as they are in the Original Agreement.
- C. The Original Agreement contemplated that after Substantial Completion, title to the Library Unit would be transferred from Developer to the City at Closing 2.

- D. The Original Agreement also contemplated that Developer would complete the Project and request the Certificate.
- E. The Parties desire to enter into this Amendment because Developer has not met Substantial Completion and has not requested the Certificate, but the City would like to take ownership of the Library Unit to complete its build out while Developer continues to work toward Substantial Completion of the Project.
- F. The City has, via Resolution No. 191779 approved this Amendment and authorized the proper City officers to execute same on the City's behalf.
- G. The Milwaukee Public Library Board of Trustees ("MPL") approved this Amendment at its meeting on March 24, 2020.
- H. Developer has approved the Amendment and authorized execution of same on its behalf.

**AMENDMENT**

The recitals above and all attached exhibits are hereby accepted and incorporated herein. The section numbering below coincides with the sections being amended in the Original Agreement. The Original Agreement is hereby amended as follows:

**1. DEFINITIONS**

The following definitions are added to Section 1 of the Original Agreement.

**Completion Agreement:** Means the Completion Agreement by and among the City, Royal Capital Group, LLC and Maures Development LLC dated even herewith. A copy of the Completion Agreement is attached as Exhibit F.

**Completion Bids:** Means bids for completion of the Outstanding Items.

**Completion Costs:** Means an amount equal to the sum of the Completion Bids for the completion of the Outstanding Items plus a 10% contingency.

**Exterior Panels:** Means the removal of replacement of the decorative exterior panels on the north and west façade of the Library Unit and installation of aluminum "Longboard" extruded louver design features as shown in in accordance with the plans and specifications dated April 3, 2018 and attached as Exhibit G.

**Landscaping:** Means outstanding landscaping items as described in the letter from Heller & Associates dated January 17, 2020, and attached as Exhibit H.

Outstanding Items: Means collectively the Exterior Panels and Storm Water Basin.

Punch List Items: Means the outstanding items that are the responsibility of the Developer under the terms of the Original Agreement as described in Exhibit I.

Storm Water Basin: Means the completion of the revised storm water management plan for the Property to include demolition of the existing storm water basin located on the northwest corner of the Library Unit and installation of the new storm water management facilities as show in the plans attached as Exhibit J along with repair and restoration of the parking lot and associated landscaping following installation of the new storm water facilities.

The following definition in the Original Agreement is amended to read as follows:

Substantial Completion: Means all of the following items have been completed to the satisfaction of both Developer and MPL: (1) a written acknowledgment from Developer's Architect and MPL that the Library Unit construction, including the Library Shell, is substantially completed by Developer to a point in accordance with the Approved Final Plans except for the Outstanding Items; (2) the condominium documents required by Section 3.E. of this Agreement have been completed and recorded; (3) Developer has provided to the City and MPL evidence that title to the Library Unit is free of any liens, encumbrances, and mortgages that encumber the Property except for City Encumbrances, as defined in Section 9.F. of this Agreement; (4) the Developer has provided to the City and MPL documentation showing that the Loan was expended in accordance with Section 5 of this Agreement; (5) Developer has paid the Completion Costs to the City or has caused the Completion Agreement to be executed and delivered to the City; and the Library Unit can legally be conveyed to the City.

## 2. PROJECT DESCRIPTION

The Original Agreement is amended so that the introductory language of Section 2 reads as follows:

The Property will be redeveloped by Developer as set forth in items "A" through "I" immediately below and that those general activities constitute the "Project."

The Original Agreement is amended by adding Section 2.H. and I as follows:

- H. Developer shall complete the Punch List Items and the Landscaping within 45 days after City completes the Outstanding Items or City gives Developer notice that it has decided to not complete the Outstanding Items.
- I. Developer shall provide the services of Developer's Architect for MPL's completion of the Outstanding Items at Developer's sole cost to include: (1) review and provide feedback for shop drawings associated with the Outstanding Items and (2) consult with City and its contractor(s) on the design intent associated with the Outstanding Items.

### **3. DEVELOPER'S OBLIGATIONS**

Section 3.L. is deleted and replaced with the following:

- L. Developer shall meet Substantial Completion by April 30, 2020.

Section 3.M. is deleted and replaced with the following:

- M. Developer shall request the Certificate, pursuant to Section 8 of this Agreement, within 60 days after completion of the Project .

Section 3.N. is deleted and replaced with the following:

- N. Developer shall cause the Completion Agreement to be executed and delivered to the City.

Section 3.O. is deleted and replaced with the following:

- O. Developer shall submit to MPL prior to Substantial Completion, documentation of how the Loan was expended. This documentation shall be consistent with Exhibit B and shall include detailed invoices from contractors who completed work on the items listed in Exhibit B. Developer shall also submit to MPL actual bid(s), subject to approval by MPL in writing, for the Landscaping and Punch List Items to be completed by Developer following Substantial Completion and Closing 2.

### **4. CITY'S OBLIGATIONS**

Section 4.D. is deleted and replaced with the following:

- D. MPL shall continue interior build out of the Library Unit ("Library Build Out") at its sole expense and shall diligently and continuously pursue completion of the Library Build Out and then relocate from the Mill Road Library to the Library Unit at its expense.

Section 4.F. is created to read as follows:

- F. In the event that City decides to complete the Outstanding Items and the cost of the Outstanding Items is less than the Completion Cost, City shall return to Developer any portion of the 10% contingency included in the Completion Costs to Developer within 30 days following completion of the Outstanding Items. In the event the City decides not to complete the Outstanding Items, the entire 10% contingency included in the Completion Costs shall be returned to Developer upon Developer requesting the Certificate pursuant to Section 8 of this Agreement.

## **5. MPL LOAN TO DEVELOPER**

Section 5.F. is deleted and replaced with the following:

- F. In the event that the Loan Documentation shows that any portion of the Loan was not expended on construction of the Library Unit and the portions of the Developer Unit sharing common walls and ceiling with the Library Unit as set forth in Exhibit B even though Developer has completed all of the items outlined in Exhibit B, except the Outstanding Items, Developer shall, at MPL's sole discretion, either use the remaining Loan funds to complete the Outstanding Items or repay that portion of the Loan at the time Developer requests the Certificate.

## **8. CERTIFICATE OF COMPLETION**

The first sentence of Section 8 is deleted and replaced with the following:

Promptly after completion of the Project, including, but not limited to, all closings, construction, condominium documents and landscaping and payment of the Completion Costs, in accordance with this Agreement, the Human Resources Agreement attached as Exhibit C, and the Approved Final Plans (with exception of the Outstanding Items), Developer shall request that the Commissioner of DCD in cooperation with MPL issue a Certificate of Completion certifying to Developer and its successors and assigns and Developer's successors in title to the Property, which certification shall be a conclusive determination, that the Project has been built in compliance with, and is in fact in compliance with, the covenants, conditions, requirements, and restrictions in this Agreement and the Approved Final Plans, not including the Outstanding Items (the "Certificate").

## **9. CONVEYANCE OF LIBRARY UNIT – DEVELOPER TO CITY (CLOSING 2)**

Section 9.A. is deleted and replaced with the following:

- A. Preconditions of Closing 2. Developer shall meet Substantial Completion and Developer shall notify MPL in writing of any amendments made to the Plat, Declaration, and Condominium By-laws subsequent to Closing 1, or if none, confirm in writing to MPL that there are none. MPL's approval of such amendments, if any, is a precondition to Closing 2.

Section 9.I. is deleted and replaced with the following:

- J. Construction Continuation. The parties acknowledge that after Closing 2 both Developer and MPL may be performing work on the Property and may need staging areas and on-site trailers. The parties and their contractors shall work together to develop mutually agreeable locations for their trailers and staging areas in a way that does not significantly interfere with library operations once the Library Unit is open to the public as an MPL branch library. As necessary for Developer to complete work on the Outstanding Items following Closing 2, MPL hereby grants Developer a right of entry over portions of the Library Unit (the "Right of Entry") necessary for the purpose of completing the Outstanding Items. Prior to Closing 2, Developer shall provide proof to MPL that the outdoor portions of the Library Unit are covered under Developer's liability insurance and that MPL is named as an additional insured. Developer shall maintain such liability insurance coverage at all times that it uses the Right of Entry.

## 27. NOTICES

The addresses to provide notice to the Developer shall be amended to remove the contact information for Attorney Danielle Bergner and replace it with the following:

Michael Best & Friedrich LLP  
Attn: Thomas O. Gartner, Esq.  
100 E. Wisconsin Ave., Ste. 3300  
Milwaukee, WI 53202

## 31. MISCELLANEOUS PROVISIONS

This Section 31 shall be added to the Original Agreement to read as follows:

- A. This Amendment shall be recorded against the Property in the Register of Deeds Office at Developer's expense and the Property's title will be encumbered by it until issuance of the Certificate.
- B. Except as otherwise expressly amended or clarified hereby, the Original Agreement and its terms and conditions remain in full force and effect and shall apply to the terms of this Amendment. If there is any conflict between the terms of the Original Agreement and this Amendment, this Amendment shall control.

(Signatures appear on the following page(s))

Dated and entered into as of the date first written above.

<p><b>City:</b> CITY OF MILWAUKEE</p> <p>By: <u><i>Paula A. Kiely</i></u> Paula A. Kiely, Director Milwaukee Public Library</p> <p>By: _____ Amy Turim, Special Deputy Commissioner Department of City Development</p> <p>Countersigned:  _____ Martin Matson, Comptroller</p> <p>City Common Council Resolution File No. 191779</p> <p><b>CITY ATTORNEY APPROVAL/AUTHENTICATION</b> The undersigned, a member in good standing of the State Bar of Wisconsin, hereby approves the signatures of the City representatives above per MCO 304-21, and also authenticates the signatures of those City representatives per Wis. Stat. 706.06 so this document may be recorded per Wis. Stat. 706.05 (2)(b).</p> <p>By: <u><i>Mary L. Schanning</i></u> Mary L. Schanning, Deputy City Attorney State Bar No. 1029016 Date: <u>May 15, 2020</u></p>	<p><b>Developer:</b> MILL ROAD LIBRARY REDEVELOPMENT, LLC</p> <p>By: Mill Road Library Redevelopment Managing Member, LLC Its: Managing Member</p> <p>By: Mill Road MM Holdings, LLC Its: Manager</p> <p>By: Royal Capital Group, LLC Its: Manager</p> <p>By: <u><i>Kevin L. Newell</i></u> Kevin L. Newell, President</p> <p><b>DEVELOPER NOTARY</b></p> <p>STATE OF WISCONSIN     )   )s. COUNTY OF MILWAUKEE )</p> <p>Personally appeared before me the above-named Developer representative, to me known to be such person and officer, who executed this document on behalf of and with authority of Developer.</p> <p>By: <u><i>Sarah S. Cook</i></u> Name Printed: <u>SARAH S. COOK</u> Date: <u>04-28-2020</u></p> <p>Notary Public My Commission expires: <u>05-23-2023</u></p> <p>[NOTARIAL SEAL]</p>
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Dated and entered into as of the date first written above.

**City:**  
CITY OF MILWAUKEE

By: \_\_\_\_\_  
Paula A. Kiely, Director  
Milwaukee Public Library

By: Martha L Brown  
Martha Brown, Deputy Commissioner  
Department of City Development

Countersigned:

Aycha Sawa  
Aycha Sawa, Comptroller

City Common Council Resolution File  
No. 191779

**CITY ATTORNEY  
APPROVAL/AUTHENTICATION**

The undersigned, a member in good standing of the State Bar of Wisconsin, hereby approves the signatures of the City representatives above per MCO 304-21, and also authenticates the signatures of those City representatives per Wis. Stat. 706.06 so this document may be recorded per Wis. Stat. 706.05 (2)(b).

By: Mary L Schanning  
Mary L. Schanning, Deputy City Attorney  
State Bar No. 1029016

Date: May 15, 2020

**Developer:**  
MILL ROAD LIBRARY REDEVELOPMENT,  
LLC

By: Mill Road Library Redevelopment  
Managing Member, LLC  
Its: Managing Member

By: Mill Road MM Holdings, LLC  
Its: Manager

By: Royal Capital Group, LLC  
Its: Manager

By: \_\_\_\_\_  
Kevin L. Newell, President

**DEVELOPER NOTARY**

STATE OF WISCONSIN     )  
   )s.  
COUNTY OF MILWAUKEE )

Personally appeared before me the above-named Developer representative, to me known to be such person and officer, who executed this document on behalf of and with authority of Developer.

By: \_\_\_\_\_  
Name Printed: \_\_\_\_\_  
Date: \_\_\_\_\_

Notary Public  
My Commission expires: \_\_\_\_\_

[NOTARIAL SEAL]



**EXHIBIT F**  
**COMPLETION AGREEMENT**

## COMPLETION AGREEMENT

THIS COMPLETION AGREEMENT is made as of the 8th day of May, 2020 by and among the City of Milwaukee ("City"), Royal Capital Group, LLC and Maures Development LLC (collectively, "R/M").

- A. The City and Mill Road Library Redevelopment, LLC ("Developer") entered into the Good Hope Library Purchase, Sale, and Development Agreement (the "**Original Agreement**"), dated July 19, 2018 which is memorialized by the Memorandum of Good Hope Library Purchase, Sale, and Development Agreement recorded in the Milwaukee County Register of Deeds Office on July 23, 2018 as Document No. 10796372 as well as a First Amendment to Good Hope Library Purchase, Sale and Development Agreement (the "**First Amendment**"), dated as of May 8, 2020 (collectively, the "**Development Agreement**").
- B. Any capitalized terms in this Completion Agreement not defined herein shall be defined as they are in the Development Agreement.
- C. The parties desire to enter into this Completion Agreement because Developer has not met Substantial Completion as defined in the Original Agreement, but the City would like to take ownership of the Library Unit to complete the Library Build Out while providing for Substantial Completion pursuant to the terms of the First Amendment by having R/M cause the Completion Agreement to be executed and delivered to the City.
- D. The City has, via Resolution No. 191779 approved this Completion Agreement and authorized the proper City officers to execute same on the City's behalf.
- E. The Milwaukee Public Library Board of Trustees ("MPL") approved this Completion Agreement at its meeting on March 24, 2020.
- F. R/M has approved this Completion Agreement and authorized execution of same on its behalf.
- G. Exhibit A to this Completion Agreement as well as these recitals A through G are incorporated herein and made part of this Completion Agreement.

NOW, THEREFORE, in consideration of the foregoing, of the mutual promises of the parties hereto and of other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed as follows:

### 1. R/M OBLIGATIONS.

Contemporaneously with the execution and delivery of this Completion Agreement, R/M shall:

a) Execute and deliver to City a Note in substantially the form attached as EXHIBIT A; and

b) Execute and deliver to the City the First Amendment.

2. CITY OBLIGATIONS.

Contemporaneously with the execution and delivery of this Completion Agreement, the City shall:

a) Provide written acknowledgement to R/M that the execution and delivery of this Completion Agreement satisfies the requirements of (5) in the definition of Substantial Completion set forth in the First Amendment; and

b) Assume full responsibility for completion of the Outstanding Items and hold R/M harmless from and against all costs and obligations with respect to completion of the Outstanding Items with the exception of payment of the Completion Costs pursuant to the Note.

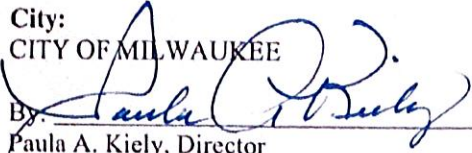
3. NOTICES.

Notices under this Completion Agreement shall be delivered in accordance with the requirements of the Development Agreement.

(Signatures appear on the following page)

Dated and entered as of the date first written above.

City:  
CITY OF MILWAUKEE

By:   
Paula A. Kiely, Director  
Milwaukee Public Library

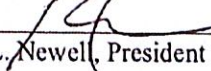
By: \_\_\_\_\_  
Amy Turim, Special Deputy Commissioner  
Department of City Development

Countersigned:

\_\_\_\_\_  
Martin Matson, Comptroller

City Common Council Resolution File  
No. 191779

Royal Capital Group, LLC

By:   
Kevin L. Newell, President

Maures Development LLC

By: \_\_\_\_\_  
Melissa Nicole Allen

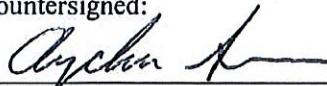
211273-0002\27815843.v3

Dated and entered as of the date first written above.

City:  
CITY OF MILWAUKEE

By: \_\_\_\_\_  
Paula A. Kiely, Director  
Milwaukee Public Library

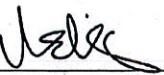
By:   
\_\_\_\_\_  
~~Amy Turin~~, Special Deputy Commissioner  
Department of City Development

Countersigned:  
  
\_\_\_\_\_  
~~Martin Iverson~~, Comptroller  
Aycha Sawa  
City Common Council Resolution File  
No. 191779

Royal Capital Group, LLC

By: \_\_\_\_\_  
Kevin L. Newell, President

Maures Development LLC

By:   
\_\_\_\_\_  
Melissa Nicole Allen

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1125-2014-2934:267667

**NOTE**

**\$283,096.00**

**Milwaukee, Wisconsin  
April 28, 2020**

**FOR VALUE RECEIVED**, and subject to the terms set forth below, the undersigned promises to pay to the **CITY OF MILWAUKEE** (the "City") or order, at 200 East Wells Street, Milwaukee, Wisconsin 53202, the principal sum of Two Hundred Eighty Three Thousand and Ninety Six Dollars (\$283,096.00), without interest, in one lump sum payment on the "Maturity Date" which shall be June 30, 2020.

In the event of default or of failure to comply with any of the terms of this Note or the Completion Agreement between the undersigned and City, which failure or default shall continue beyond any applicable grace period set forth therein, the then outstanding balance of the principal, together with interest at the rate of 3% per year from the date of default, at the option of the holder, shall become due and payable immediately, without any notice whatsoever, such option to be exercised at any time after default. Undersigned agrees to pay all costs of collecting any amounts due hereunder, including reasonable attorney's fees.

All makers, endorsers, sureties and guarantors hereof waive presentment, protest, demand and notice of dishonor. The holder may, without notice, renew or extend the time for payment, accept partial payments, release or impair any collateral security for the payment of this Note, or agree not to sue any party liable on it.

All makers, endorsers, sureties and guarantors hereon hereby consent to the holder hereof commencing action on this Note at any time after maturity or default in any court in the State of Wisconsin and agree to be bound by the jurisdiction of such court.

In the event any one or more of the provisions contained in this Note shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision of this Note, but this Note shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein.

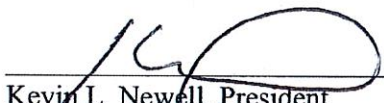
This Note may be prepaid, in whole or in part, at any time without penalty.

[Signature on next page]

Executed at Milwaukee, Wisconsin, as of the 28<sup>th</sup> day of April, 2020.

**MAKER:**

Royal Capital Group, LLC

By:   
Kevin L. Newell, President

Phone #: \_\_\_\_\_

Email: [k.newell@royalcapital.net](mailto:k.newell@royalcapital.net)

Date: April 28, 2020

Maures Development LLC

By: \_\_\_\_\_  
Melissa Nicole Allen

Phone #: \_\_\_\_\_

Email: [melissa@mauresllc.com](mailto:melissa@mauresllc.com)

Date: April \_\_\_\_\_, 2020

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CAO: 1125-2014-2934:267668

Executed at Milwaukee, Wisconsin, as of the 28 day of April, 2020.

**MAKER:**

Royal Capital Group, LLC

By: \_\_\_\_\_  
Kevin L. Newell, President

Phone #: \_\_\_\_\_

Email: [k.newell@royalcapital.net](mailto:k.newell@royalcapital.net)

Date: April \_\_\_\_\_, 2020

Maures Development LLC

By:  \_\_\_\_\_  
Melissa Nicole Allen

Phone #: 414-271-6560

Email: [melissa@mauresllc.com](mailto:melissa@mauresllc.com)

Date: April 09, 2020



**EXHIBIT G**

**EXTERIOR PANELS PLANS & SPECIFICATIONS**



10/18/2019

## ADDENDUM

**PROJECT:** Mill Road Library  
**DOCUMENT:** N/A  
**PRICE:**

Labor:	\$1,162.00	12 hrs
Materials	\$2,473	Zuern, boom lift cost, traffic control
Equipment	\$0	
10% M/U	<u>\$363</u>	
	<u>\$3,998</u>	

**DESCRIPTION:** Cost associated with delayed library soffit installation and soffit depth changes

**INCLUDES:** Supply additional panels due to depth change on library soffit.  
Lift costs associated with installation of panels from street  
Barricades for traffic control  
Re-Mobilization

**EXCLUDES:** Any work not mentioned above, weather barrier/waterproofing, lane closure permits

**NOTES:**

- 1) No work will be performed on this Addendum until a signed acceptance is received in our office.
- 3) Pricing good for 30 days

---

Nick Wellenstein  
WELLENSTEIN AND SONS, INC.

**ACCEPTED ON:** \_\_\_\_\_

---

Ken Breidel  
Northtrack Construction

WELLENSTEIN & SONS, INC.-DWELLING CONTRACTOR CERTIFICATION ID 2295

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227 Sussex Street Pewaukee, Wisconsin 53072 nick@wellensteinandsons.com  
Phone: 262-695-3580 Fax: 262-695-3580 www.wellensteinandsons.com





4111 W. Mill Rd. - P.O. Box 90168 - Milwaukee, Wisconsin 53209-0168  
(414) 358-3100 - Fax: (414) 358-1363

12/6/2019  
Northtrack Construction  
6938 Santa Monica Blvd.  
Fox Point, WI 53217  
RE: Mill Road Library Longboard Siding

Dear David,

I am pleased to submit the following proposal for your consideration.

Work Includes:

- Remove existing morin red panels and properly dispose of them
- Furnish and Install Longboard Link and Lock system on North and West elevations
- Fabricate and Install all flashing at windows in 24-gauge prefinished steel. Color to be standard color
- Includes all truck and lift costs
- 

<b>Removal of Red Panels</b>	<b>\$3475.00</b>
<b>Install Longboard (Small Side out)</b>	<b>\$132,850.00</b>
<b>Install Longboard (Large side out)</b>	<b>\$108,775.00</b>
<b>Credit for Red Panels not installed</b>	<b>\$5500.00</b>

Exclusions:

- Painting of existing sheathing
- Installation of steel framing for West elevation pilasters
- Caulking of metal flashings to windows

Thank you for the opportunity to submit the above quotation. If you have any questions, feel free to contact me.

Kevin Brennan  
Sheet Metal Project Manager  
M.M. Schranz Roofing Inc.  
4111 W Mill Road Milwaukee, WI 53209  
Cell: 414-418-6267  
Office: 414-358-3100  
[Kevin@schranzroofing.com](mailto:Kevin@schranzroofing.com)

**Mill Road Library  
Redevelopment**

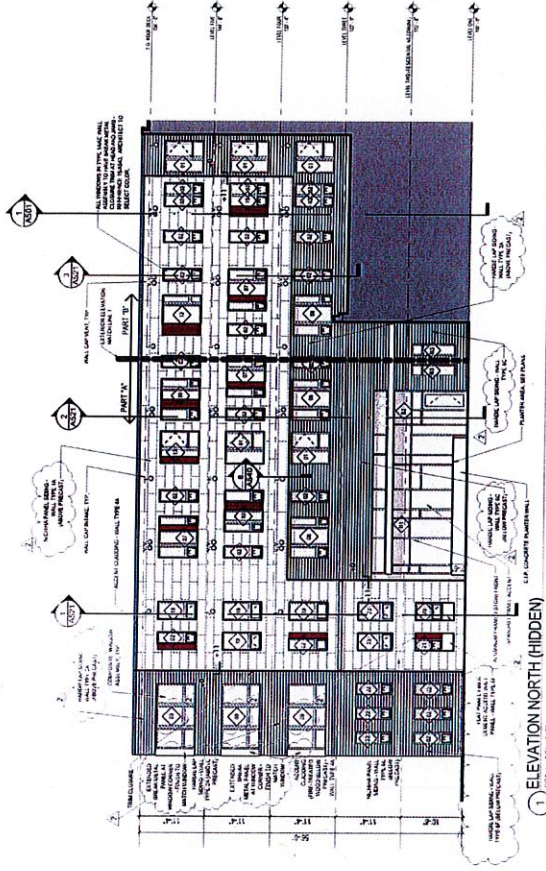
1217 N. Cooper Road  
Memphis, TN 38104  
Owner: Royal Capital Group  
1217 N. Cooper Road, Suite 200  
Memphis, TN 38104

PROJECT NUMBER: 150437

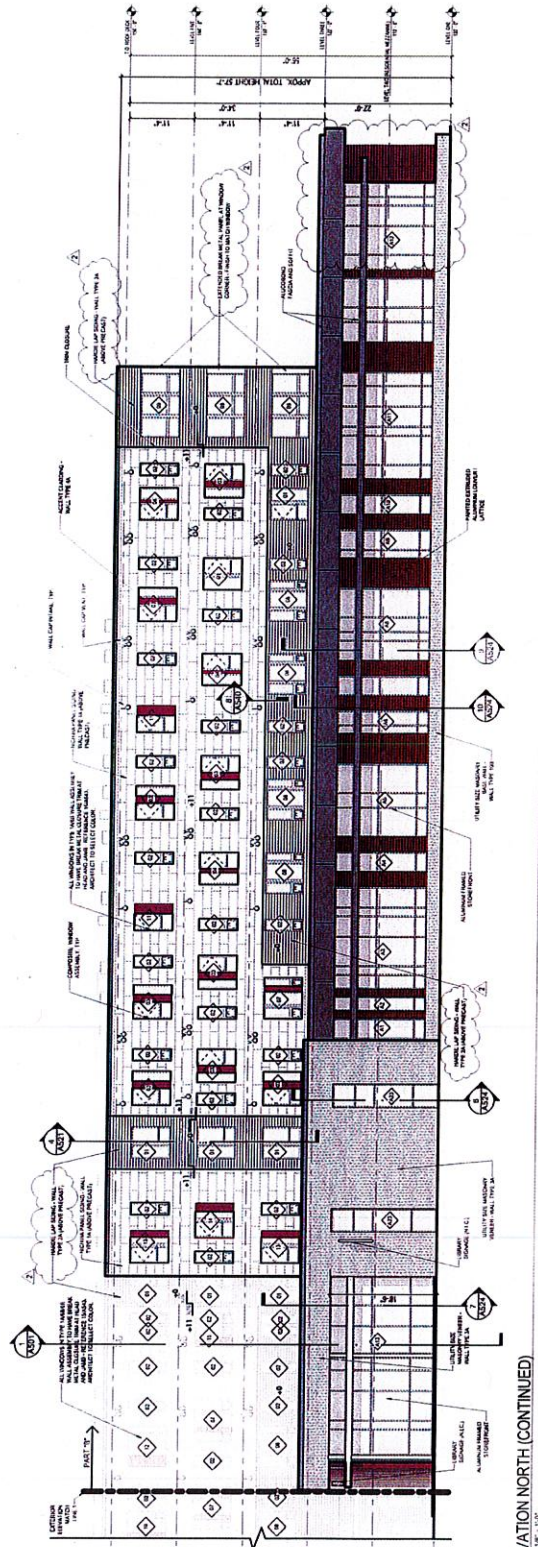
SCALE:  
ISSUED FOR:  
PERMIT SET  
REVISION FOR:  
DATE:  
DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:

DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:

**EXTERIOR  
ELEVATIONS**



1 ELEVATION NORTH (HIDDEN)  
SCALE: 1/8" = 1'-0"

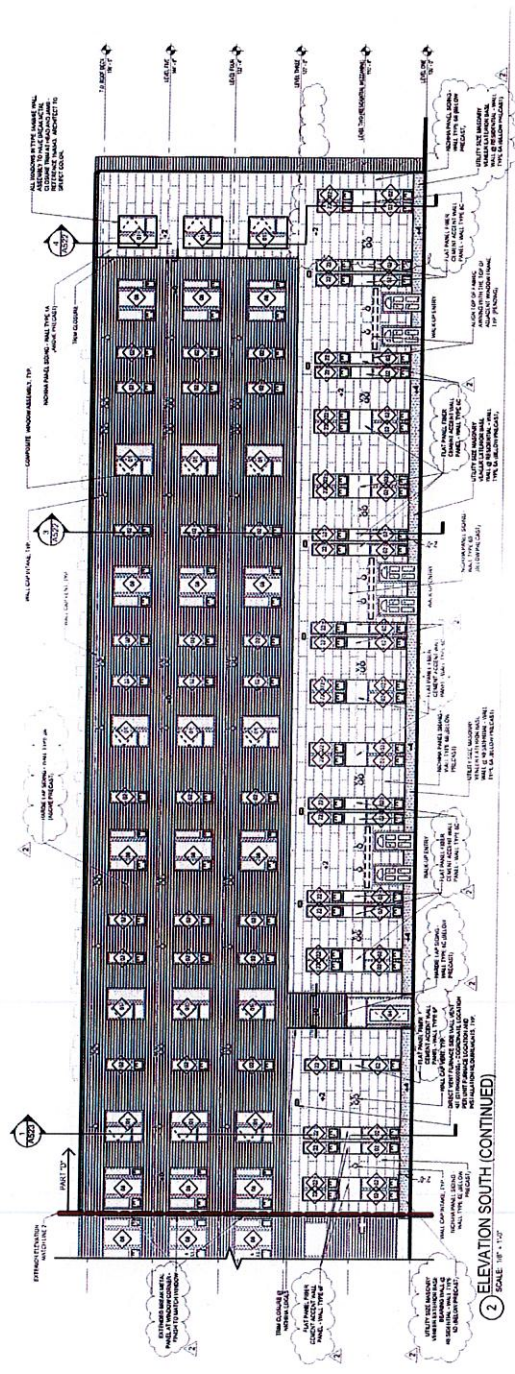
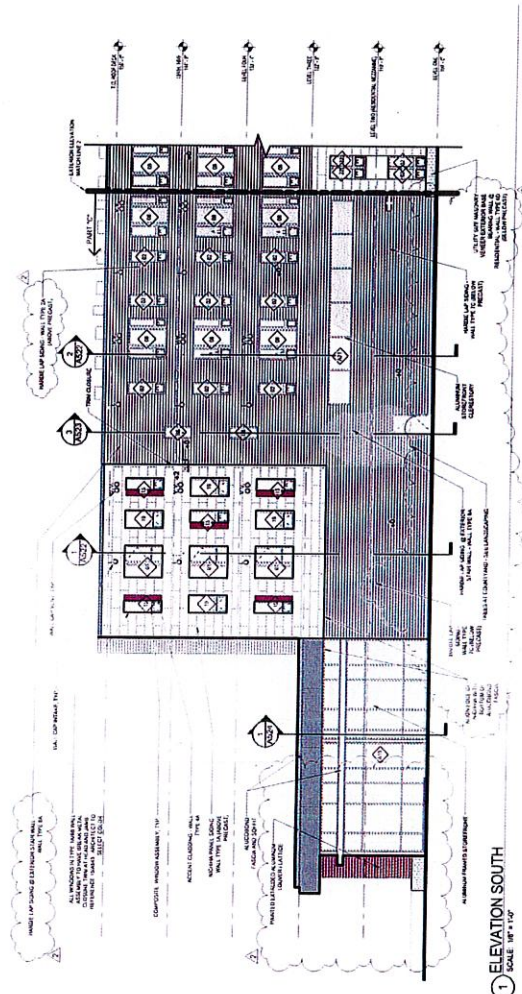


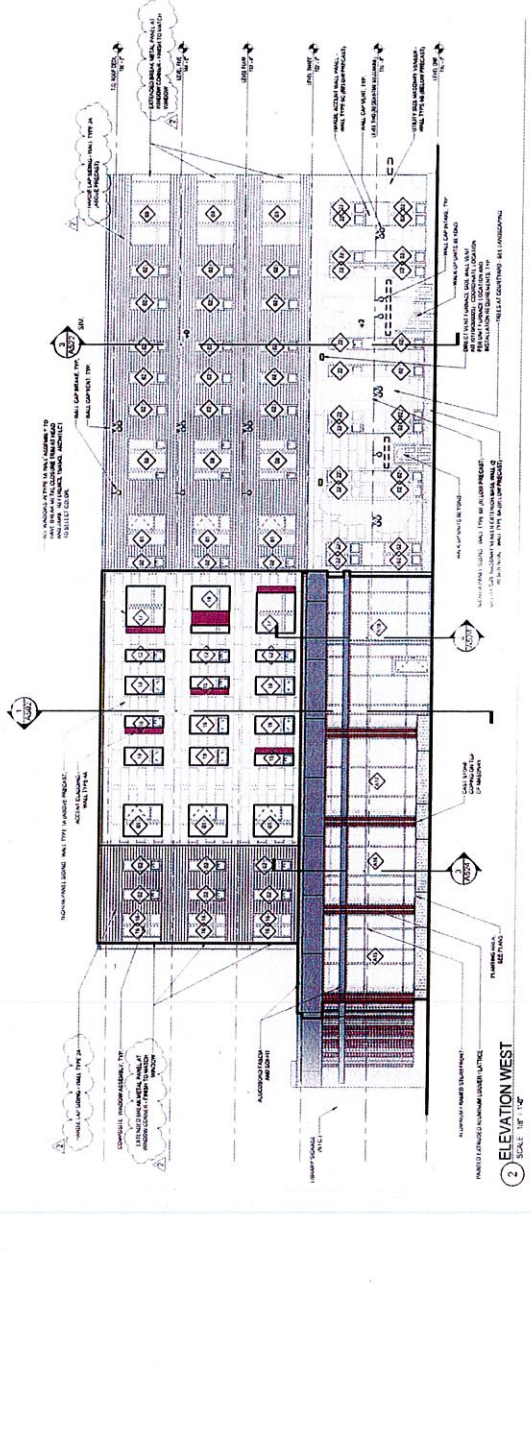
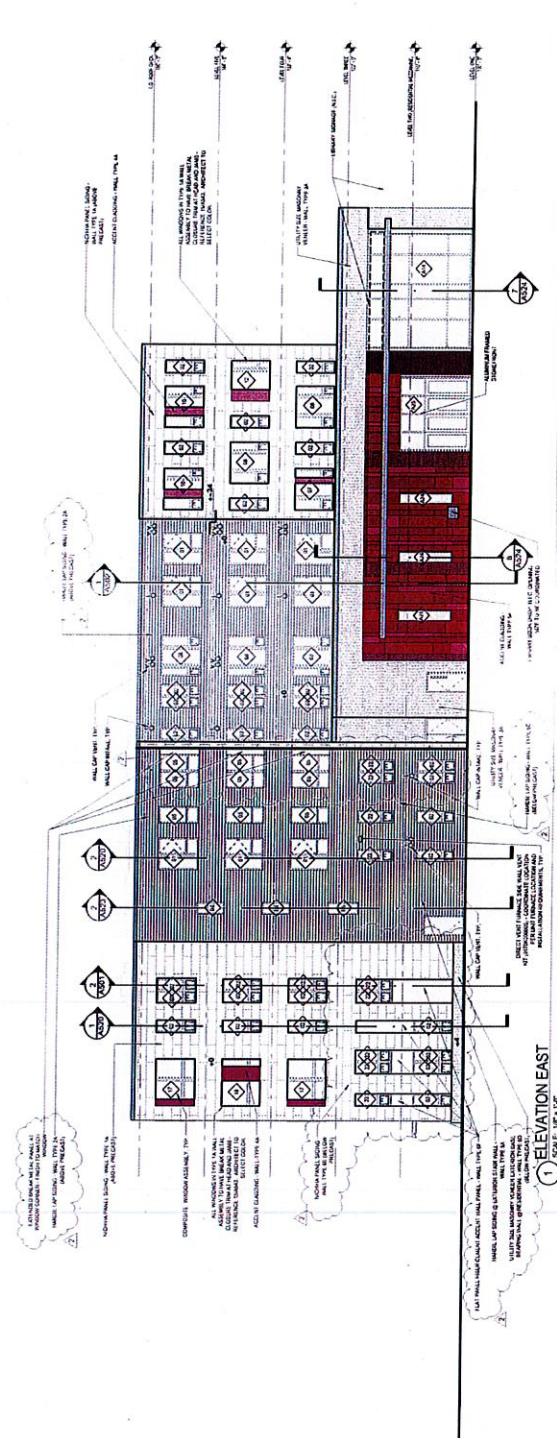
2 ELEVATION NORTH (CONTINUED)  
SCALE: 1/8" = 1'-0"

**Mill Road Library  
Redevelopment**  
777 P.M. Court  
Hartford, CT 06105  
Hartford Capital Group  
712 N. Flower Ave., Suite 200  
Hartford, CT 06103  
PROJECT NUMBER: 150437

SEAL: \_\_\_\_\_  
DESIGNED FOR: \_\_\_\_\_  
PERMIT SET: \_\_\_\_\_  
REVISION FOR: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
EXTERIOR  
ELEVATIONS





**Mill Road Library  
Redevelopment**

7717 N. Cass Road  
Chicago, IL 60630  
773.462.1000  
www.engagearch.com

Project Number: 15247

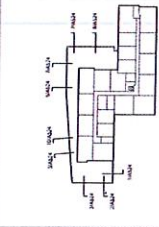
**GENERAL NOTES - WALL SECTIONS**

- SEE SHEET A524 FOR FLOORING ASSEMBLY S-5
  - SEE SHEET A524 FOR CEILING ASSEMBLY S-5
  - 1/2" X 2" DIM. 1" HIGH X 1" WIDE
  - 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 1**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 2**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 3**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 4**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 5**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 6**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 7**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 8**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 9**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 10**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE

**EXTERIOR WALL ASSEMBLIES**

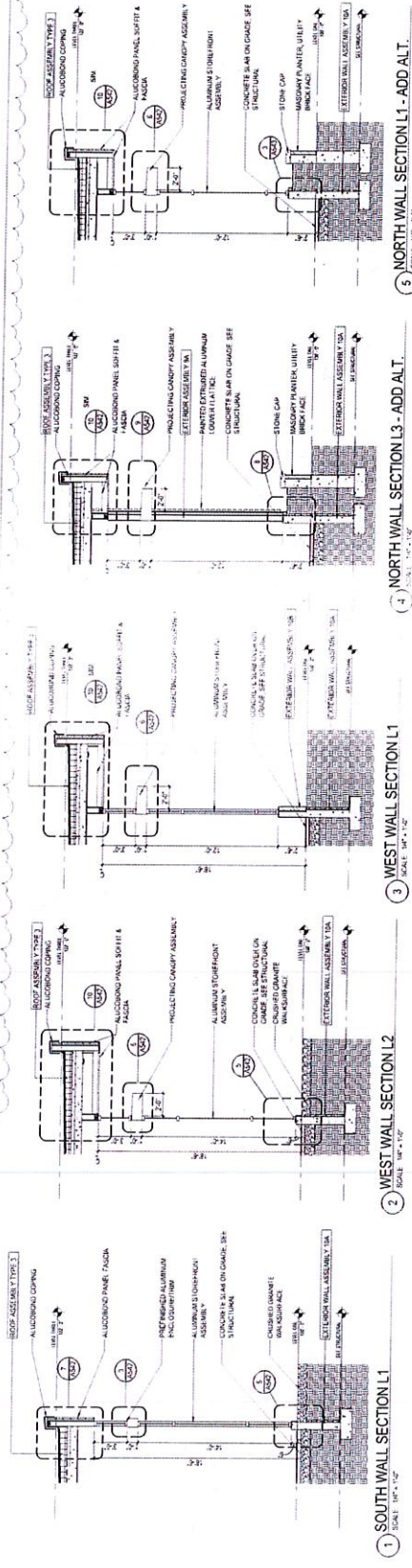
- EXTERIOR WALL ASSEMBLY TYPE 1**  
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 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 2**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 3**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 4**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 5**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 6**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 7**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 8**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 9**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE
- EXTERIOR WALL ASSEMBLY TYPE 10**  
 1. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 2. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 3. 1/2" X 2" DIM. 1" HIGH X 1" WIDE  
 4. 1/2" X 2" DIM. 1" HIGH X 1" WIDE

**KEY PLAN**

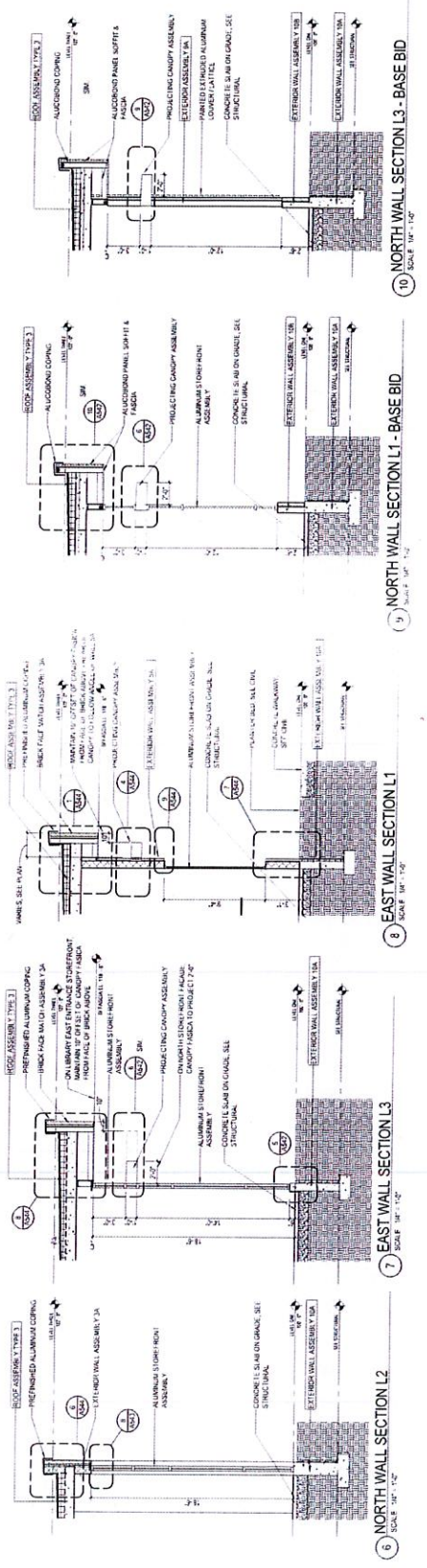


GENERAL NOTE:  
 CHECK THE SILL PLATE OF ALL EXTERIOR WALLS.

DATE:	04/20/2015
REVISIONS FOR:	1. REVISION
BY:	MM
CHECKED BY:	CH



DATE:	04/20/2015
REVISIONS FOR:	1. REVISION
BY:	MM
CHECKED BY:	CH







**EXHIBIT H**

**HELLER LETTER RE; LANDSCAPING**



January 17, 2020

Terrell Walter  
Royal Capitol Group, LLC  
710 N. Plankinton Avenue Ste 300  
Milwaukee, Wisconsin 53202

RE: Mill Road Library | Residences  
7717 W. Good Hope Road  
Landscape Inspection

Dear Mr. Walter:

I am writing to you today to give my impressions and observations of the installed landscape at your new project located on the Milwaukee's northwest side.

I had the opportunity, along with you, to walk the grounds on Friday, January 10, 2020 at 10:00 AM. For the record, I was using the Landscape Plan, issue #4 (ASI #2) with a sheet date of 8/06/2018.

My observations are as follows:

**1. Library Building Perimeter Installation:**

- The landscape bed immediately to the north of the Library entrance (against the building) was not installed per plan. The specified 31 RRD (Rosy Returns Daylilly), a perennial, were not installed, and some of the specified 23 RSG (Red Switch Grass) were planted in the location of the proposed Daylilly
- Similarly, the landscape bed to the immediately south of the Library entrance (against the building) also had ornamental grasses relocated to along the north/south walkway. Long term, the spacing and growth habit of these grasses might hinder the view of the Hydrangea in the row behind. With respect to the IH (Incrediball Hydrangea), there were six (6) plants installed instead of the specified four (4).
- At the immediate northeast corner of the Library building, the specified 39 MRCB (Midnight Rose Coral Bells), a perennial variety, were not installed.
- The relocation of the "Future Monument Sign" from the far north west of the site to the northwest corner of the library building has caused disruption and some damage to the existing, installed landscaping. Restoration, including adding new landscaping to the aforementioned Monument Sign should be included in a future site landscape development.

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m 414 614 9733

david@wdavidheller.com  
www.wdavidheller.com



- The proposed material along the west foundation of the library portion of the building has NOT been installed. It is my understanding that the created detention pond will be abandoned, in lieu of underground stormwater storage. Any planting or restoration of landscape material should not occur until excavation and back-filing operations are completed.
- In this same regard, the specified / proposed landscape material along the new sidewalk (parallel to the railroad corridor) was altered at the time of installation. Now that the detention pond may be "filled" (see the above note) the reconfiguration / replacement of this material should not occur until excavation and back-filing operations are completed.
- The Library Public outdoor reading/gathering area: It appears that the installed decomposed granite has some "wave" to the surface, and may need to be rolled again to ensure that water run-off (that which is not absorbed) flows un-obstructed over this surface.
- The 19 CBSI (Caesars' Brother Siberian Iris), the 3 KKC (Kit-Cat Catmint), and the 5 MRCB (Midnight Rose Coral Bells)- all perennial plantings- were not installed at the constructed seat/retaining wall along the southwest portion of the Library Public outdoor gravel reading/gathering area.

## **2. Site / Parking Lot(s) Landscape Installation:**

- In the far southeast corner of the project, it's evident that the wooden privacy fence was installed over and on top of the landscape plantings.
- The installation of a flagpole- after a tree was installed in this same location- will necessitate the restoration of lawn to this flagpole area.
- All of the interior green spaces at the interior of the Library parking lot area being "rutted" by automobile and light truck traffic trying to maneuver the parking lot. The greenspace "islands" are not protected by concrete curbing or other objects (large boulders) to deter such maneuvers.
- The planting bed immediately to the east of the "exit" gate from the Library Residences parking lot has had vehicles drive over the installed plantings. Several of the installed GLS (Gro-Low Sumac) are damaged beyond repair (or "self-healing") and should be replaced.
- One (1) of the two (2) proposed JTL (Japanese Tree Lilac), an ornamental tree, has been removed and was observed laying on the ground. It was mentioned on site that a new directional signage (not originally proposed). The extent of landscape damage, or the need to reconfigure the installed plantings in this area is not yet clear.

## **3. Library Residences Foundation Plantings:**

- It should be noted that Mr. Walter was a little concerned with the open visibility to of the installed electric transformer near the gated entry to the residences parking lot area. Due to the lack of available planting space around this transformer, only limited "buffering" solutions are available.

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- There area 25 THG (Tufted Hair Grass) of the specified 37 THG (Tufted Hair Grass) were installed in the narrow planting strip along the south side of the Library Residences façade.
- At the stablized granite space for the Library Residences, the perennial area directly north of the installed bicycle rack were not installed. These plants were not identified as to the type and quantity on the landscape plan. These plants should be added to a future installation / renovation of other portions of the site

Should you have any questions on any of these observation or notations, I would be happy to speak with you personally.

Thank you in advance for your consideration.

Very Truly Yours,

W. David Heller, ASLA

*Registered Landscape Architect WI- 438-014*

*Dh/wdh*

*Attachments*

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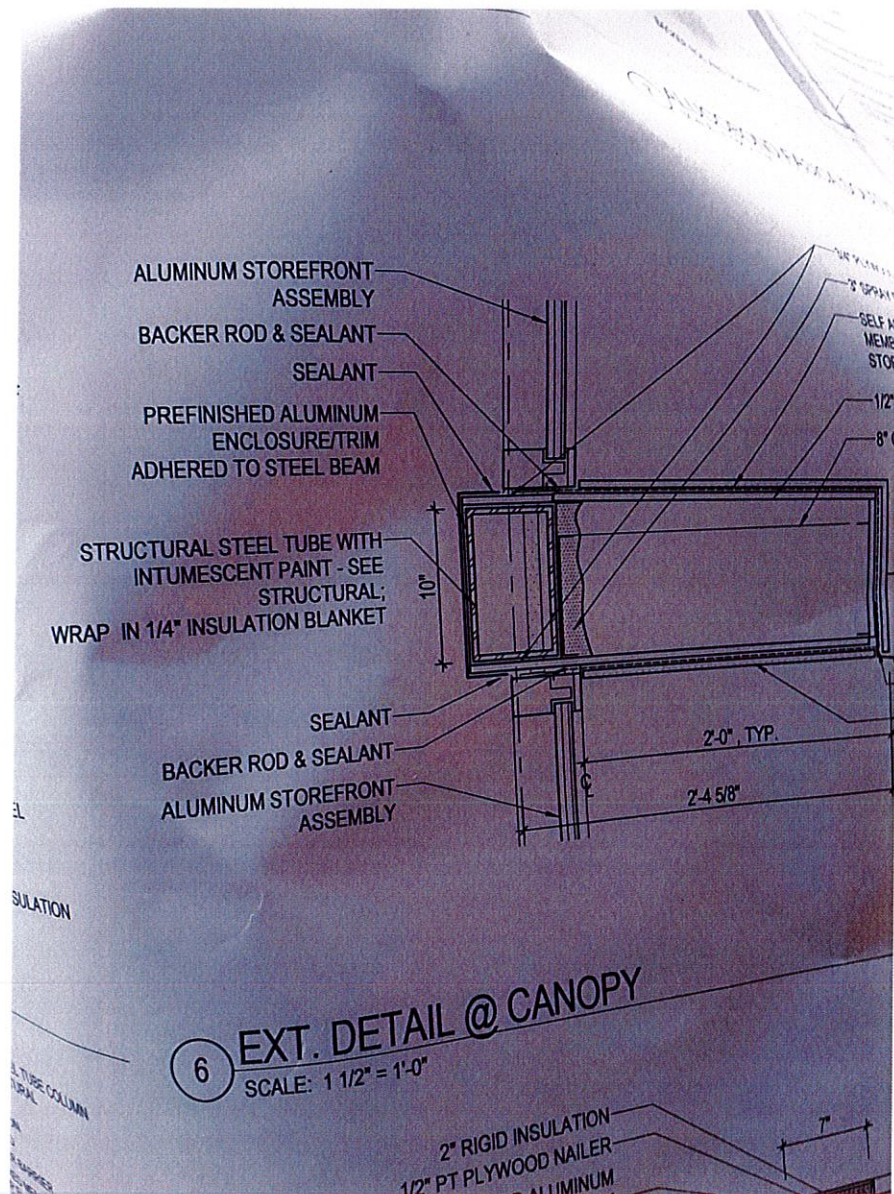


**EXHIBIT I**

**PUNCH LIST OF ITEMS**



Typical multiple locations, verify correct color for all exterior masonry joints on east, north and west facades or replace with the correct color. The gray looks incorrect. Provide copy of architect's approved submittal as verification.



Interior side of eyebrow canopy, typical on all elevations, does not have continuous aluminum trim returning along the top side of the beam nor does it have a bead of sealant between the edge of the trim and the window mullion. Both conditions need to be corrected.

There are several items observed relative to the break metal, flashing, gaskets, caulk joints and replacement of a broken piece of glazing, etc.

GC is required to walk each of the frames with the glazing contractor for compliance and will then need to schedule a review by the Kawneer rep following those corrections. MPL must also be invited to the review with the manufacturer.



Base flashing jointing not aligned properly, several locations



Base flashing dented and needs to be replaced, several locations



Gaskets loose / not installed properly in several locations



Gaskets stops short in several locations



Soffits not installed multiple exterior locations





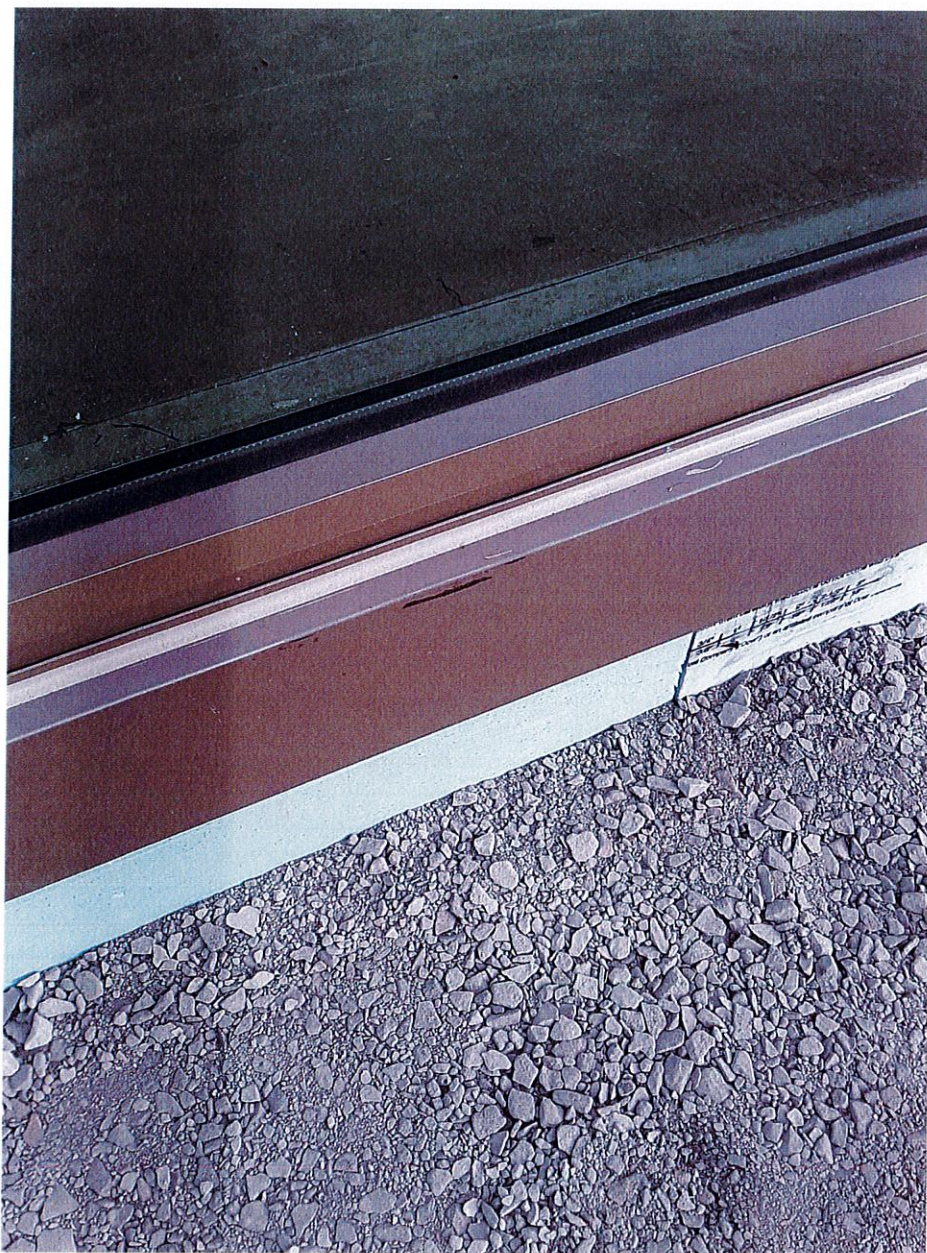
Dented mullion on north façade near NW corner needs to be replaced



Workmanship of caulking is unsatisfactory, several locations



Backer rod and caulk need to be completed, several locations.



Base trim has over-caulk residue and scuff marks; several locations

Items observed 2/20/20.

1. Exterior upper transom windows need to be checked for gaskets throughout. Janitorial staff cleaning the glass reported several "loose panels" when hand pressure was applied to them.
2. Exterior window air gaps were observed in several locations where vertical mullions intersect with adjacent dissimilar façade materials. Consult the shop drawings and architectural drawings to determine what is causing the air leakage.
3. Exterior horizontal window sill plate air gaps were observed in several locations around the perimeter of the space. Consult the shop drawings and architectural drawings to determine what is causing the air leakage.
4. Exterior west planter cap stones were re-set without tuck pointing or caulking the joints behind them that are at the building façade. Significant air leakage was observed in those areas coming into the building. Consult the shop drawings and architectural drawings to determine what is causing the air leakage.
5. Provide window framing and glazing manufacturer's performance data required for the system.

Review core & shell corridor doors at MPL access points and shared amenities. When Firefighters were on site 2/15/20 investigating the fire sprinkler head discharge incident, security footage shows potential damage to doors, frames or hardware due to door pry bars being used. Repair as needed.

*NorthTrack did walk the building with MPL to investigate the air gaps. Still need an update on the transom windows*

**West exterior landscaping: (Royal Capital/NorthTrack)**

- The original proposed landscape material along the west foundation of the library portion of the building was not installed (as described by the landscape punch list provided by Heller Landscape Architects.) As agreed, the created detention pond will be abandoned and restored. It shall be the responsibility of Royal Capital to restore the planting back to the original landscape material after the work to remove the detention pond is completed. The timing shall coincide with the timing of the rest of the landscape work described in the Heller Punch list.
- The specified / proposed landscape material along the new sidewalk (parallel to the railroad track) was altered at the time of installation. Now that the detention pond may be “filled” (see the above note) the reconfiguration / replacement of this material should not occur until the excavation and back-filing operations are completed.



## Good Hope Library Interior Punch list

- 1) Excessive air leakage at spots along the window sill radiation area on north and west sides of building. This air leakage should be addressed in some fashion. (NorthTrack)



## Exterior Windows in general: (NorthTrack)

- 1) All around the building there are issues with the weather stripping. It is coming out of the seams in many places. There are multiple gaps. There appear to have been leaks in the small conference rooms. You can feel drafts around the windows. (NorthTrack)

## Vestibule

- 1) There is paint or drywall splashing and plastic to be removed on the aluminum frames around exterior door inside the vestibule. (NorthTrack)



- 2) Verify weather stripping/Air Gaps are installed correctly (NorthTrack)

## Marketplace Room #101:

- 1) East wall of windows:
  - 2<sup>nd</sup> from left bank of windows- there is an aluminum divider between two windows that is crookedly installed and also has gaps between the aluminum sections. (NorthTrack)
  - 3<sup>rd</sup> from left bank of windows- multiple gaps in weather stripping plus corner gaps in weather stripping (NorthTrack)
- 2) North wall of windows:
  - Multiple places where there is falling weather stripping (NorthTrack)
  - Gaps in weather stripping (NorthTrack)

- 3) Frame fix, Left over shims to be removed and gaps fixed. Caulking color and install is not acceptable. (NorthTrack)

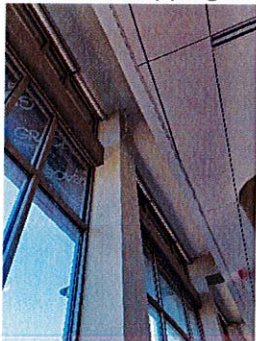


#### **Community Room #131:**

- 1) Both windows need the weather stripping to be checked. (NorthTrack)
- 2) The windows directly across from the storage closet- there are gaps in the weather stripping (NorthTrack)

#### **Study rooms 122-124**

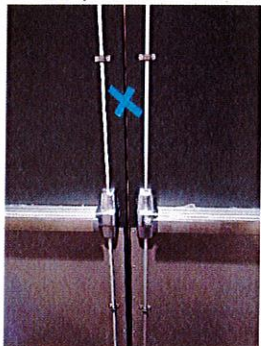
- 1) 124- Looks like there have been leaks around the windows on the south wall. (NorthTrack)
- 2) 124- Gaps and other issues with weather stripping not completely pushed in. (NorthTrack)
- 3) Windows between 124 and 123- behind the column there is a spot where the weather stripping is twisted/pinched. (NorthTrack)





**Staff Area Room #107 & Corridor 103A**

- 1) Doors to shared hallway- you can feel a stiff breeze between the doors. (NorthTrack)



**Staff Vestibule - Room #102**

- 1) Exterior latch-undersized/ hole visible from side (NorthTrack)
- 2) Exterior entry door not latching unless it is pulled shut. (NorthTrack)



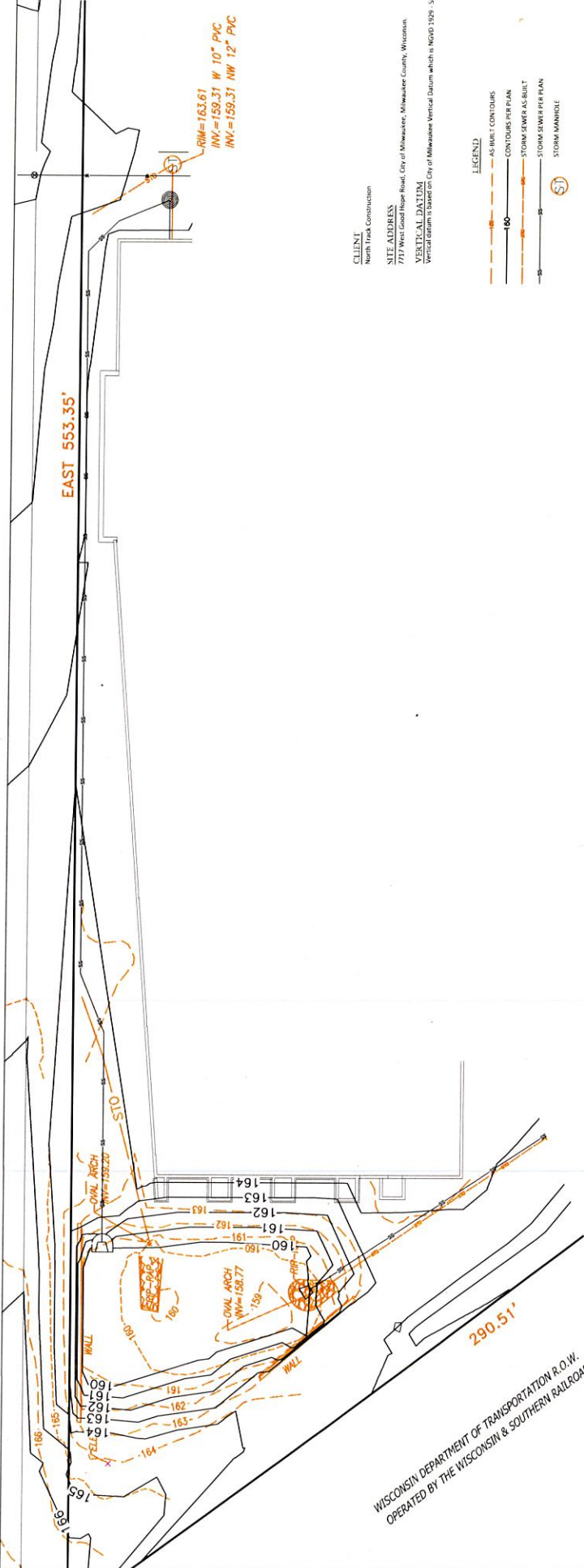
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**EXHIBIT J**  
**STORM WATER PLANS**

EXHIBIT

**WEST GOOD HOPE ROAD**  
160' PUBLIC R.O.W.

SITE BENCHMARK: 163.66'  
TOP OF HYDRANT NOZZLE

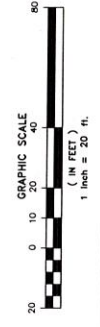


CLIENT  
North Trek Construction

SITE ADDRESS  
717 West Good Hope Road, City of Milwaukee, Milwaukee County, Wisconsin

VERTICAL DATUM  
Vertical datum is based on City of Milwaukee Vertical Datum which is NAD83 1989 - 580 600

- LEGEND
- AS BUILT CONTOURS
  - CONTOURS PER PLAN
  - STORM SEWER AS BUILT
  - STORM SEWER PER PLAN
  - STORM MANHOLE



DATE	REVISION DESCRIPTION
December 16, 2019	

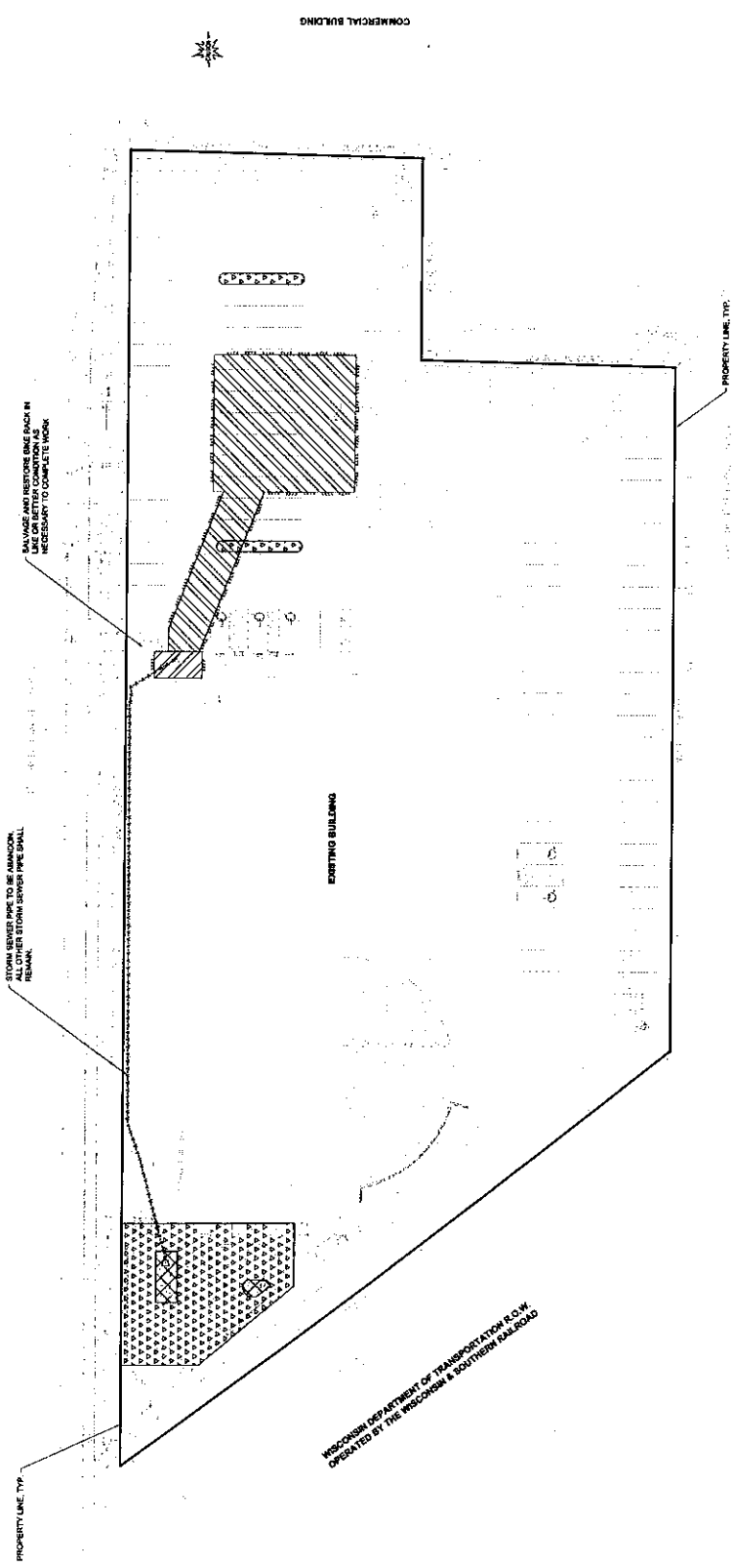
**CHAPUT**  
LAND SURVEYS  
1000 W. WISCONSIN AVENUE  
MILWAUKEE, WI 53233  
WWW.CHAPUTLANDSURVEYS.COM



- LEGEND**
- [Hatched Box] REMOVE EXISTING ASPHALTIC PAVEMENT
  - [Hatched Box] REMOVE EXISTING CONCRETE SIDEWALK
  - [Hatched Box] REMOVE EXISTING LANDSCAPE AREA
  - [Hatched Box] ASH 1
  - [Hatched Box] ASH 2
  - [Hatched Box] ASH 3
  - [Hatched Box] ASH 4
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  - [Hatched Box] ASH 100

TO WISDOT STANDARDS, SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.  
 CONTRACTOR TO COORDINATE REMOVALS BEFORE CONSTRUCTION.  
 PROPERTY LIMITS WITH NEIGHBORING PROPERTY OWNERS AND CITY.  
 DEMOLITION ITEMS NOT SHOWN TO BE REMOVED WITHIN CONSTRUCTION LIMITS SHALL BE PROTECTED UNLESS REVIEWED WITH OWNER, ENGINEER, OR ARCHITECT.

- DEMOLITION NOTES:**
- CONTRACTOR SHALL REMOVE PIPE IF PREVIOUSLY ABANDONED AND PIPE IN CONFLICT WITH NEW CONSTRUCTION.
  - CLEARING AND GRUBBING REQUIRED WITHIN GRADING EXTERNS.
  - UNLESS OTHERWISE NOTED, ALL REMOVED ITEMS WILL BECOME PROPERTY OF THE CONTRACTOR.
  - SHOULD EXISTING FOUNDATIONS TO MAKE A FLUSH FINISH TO UNDERPAVEMENTS.
  - REMOVE ALL EXISTING CONCRETE PAVEMENTS AND WALKWAYS/TOURTS.
  - ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED PER MUNICIPALITY STANDARDS.
  - ALL WORK IN CITY RIGHT OF WAY SHALL CONFORM TO CITY STANDARDS, SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
  - ALL WORK IN WISDOT RIGHT OF WAY SHALL CONFORM



ISSUED FOR:	PERMIT SET	DATE
REVISION 105		04/02/2015
11	ADDITIONAL	02/02/2015
42	ADDITIONAL	02/02/2015
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98	ASH 56	02/02/2015
99	ASH 57	02/02/2015
100	ASH 58	02/02/2015

**DEMOLITION PLAN**

- PERFORM OPERATIONS OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WORK TECHNICAL STANDARD FIRST EDITION.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 HOURS OF CONSTRUCTION TO PREVENT DUST OR WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED ON THE PLANS IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
- PARKING LOTS AND DRIVES SHALL BE CLEANED ONLY AS NEEDED. STREET CURBS SHALL BE MAINTAINED TO MAINTAIN THE PUBLIC STREET FREE OF MATERIAL COMPLETED TO MAINTAIN THE PUBLIC STREET.
- CONTRACTOR SHALL NEED A MAINTENANCE MAT ALL DISTURBED AREAS WITHIN 7 DAYS OF TOPSOIL PLACEMENT.

- SEPARATE SWEEP MATERIALS (BOGS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST FROM ALL AREAS AND TO USE DUST CONTROL MEASURES ONLY WHEN NECESSARY FOR CONSTRUCTION SITES.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING DRUMS, DEBRIS, CLEANING SUPPLIES, ETC. AS NEEDED ON A DEDICATED RECEIVING CHANNEL.
- IF DRAINAGE IS NEEDED, CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCES TO ALL AREAS THAT WILL BE DISTURBED. WATER PAVED FROM THE SITE SHALL BE COLLECTED IN A SEDIMENTATION BASIN, DIRT TRAP, OR OTHER APPROPRIATE DEVICE. HYDRO-CYCLES, SWIRL CONCENTRATORS, OR OTHER DEVICES THAT CAUSE EROSION OF THE SITE OR RECEIVING CHANNEL.
- PROVIDE ANTI-SOIL PROTECTION AND MAINTAIN PROTECTION THROUGHOUT CONSTRUCTION. PROTECT AREAS OF THE ROAD OR THE SAME OR NEARBY RELEASE DRAINAGE TO THE CORRECTLY FITTED HOME AND GEOTEXTILE FILTER BAG.

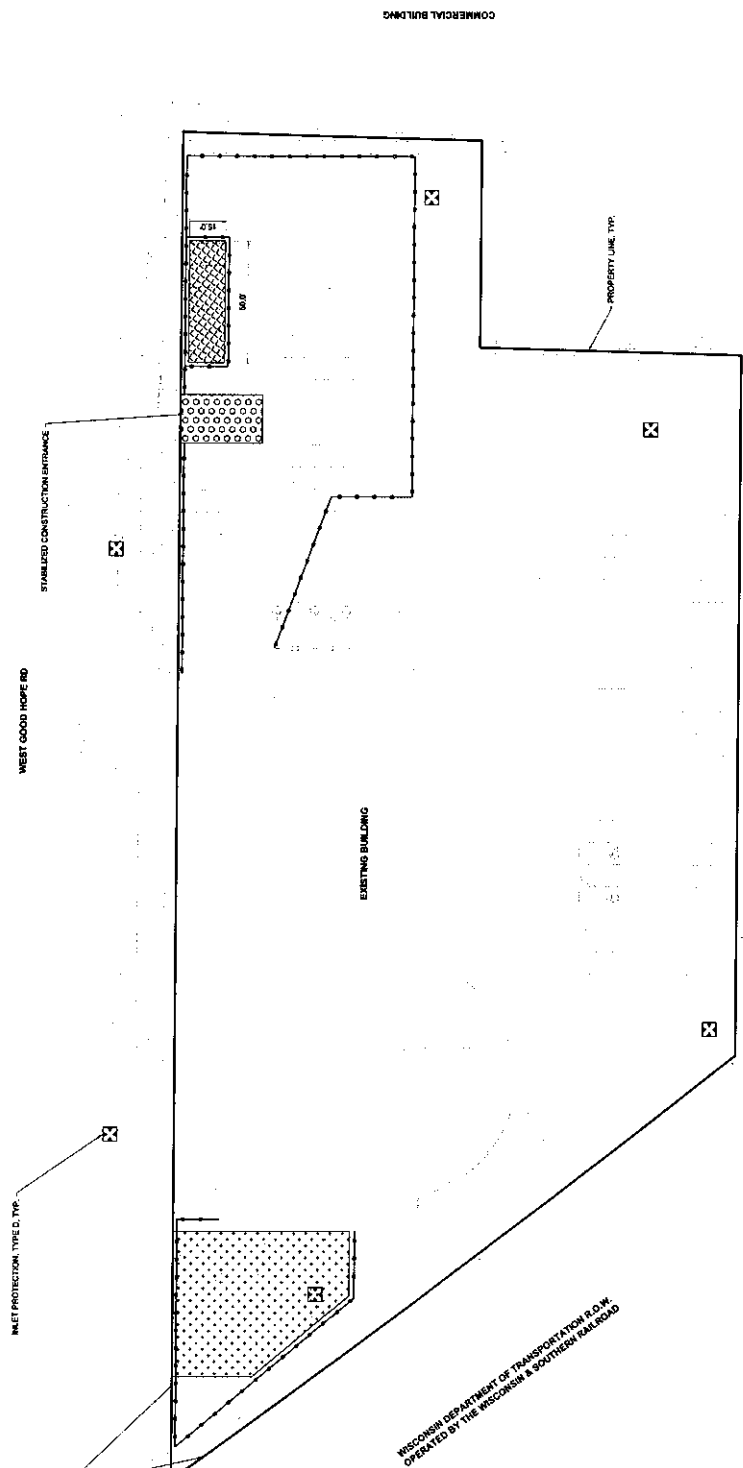
- INSTALL INLET PROTECTION.
- REMOVE ACCUMULATED SEDIMENT FROM SITE.
- ALL EXPOSURE SOIL AREAS MUST BE COVERED WITH SEED AND MULCH.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL BE EXPOSED TO WEATHER. STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS OF DISTURBANCE. STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS OF DISTURBANCE.
- CONSTRUCTION OF ALL DISTURBED AREAS SHALL BE COMPLETED WITHIN 14 DAYS OF DISTURBANCE.
- RESTORATION OF ALL DISTURBED AREAS SHALL BE COMPLETED WITHIN 14 DAYS OF DISTURBANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

ISSUED FOR:	PERMIT SET	DATE
ISSUED FOR:	PERMIT SET	04/03/2019
REVISION:	DATE	
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#2	06/09/2019	
#3	06/09/2019	
#4	06/09/2019	
#5	06/09/2019	
#6	06/09/2019	

DRAWN BY	R. THAPA
CHECKED BY	A. SINGH

**EROSION  
CONTROL  
PLAN**

**C110**



**LEGEND**

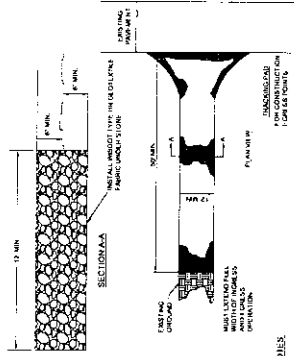
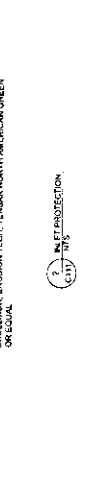
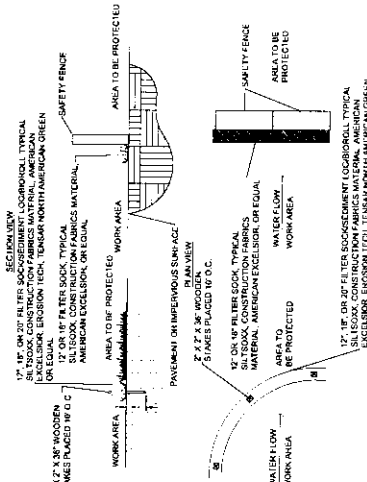
- LANDSCAPING, SEE LANDSCAPING PLAN
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE/SILT SOCK
- INLET PROTECTION, TYPE D
- STAGING & STOCKPILE AREA

\* CONTRACTOR TO RESTORE STOCKPILE AREA & STABILIZED CONSTRUCTION ENTRANCE TO EXISTING OR BETTER CONDITION.

DATE	04/03/2019
ISSUED FOR	1524/1 SET 1
REVISION NO.	01
BY	ADDENDUM
DATE	02/02/2019
BY	ADDENDUM
DATE	06/07/2018
BY	ADDENDUM
DATE	08/09/2018
BY	ADDENDUM
DATE	01/11/18
BY	ADDENDUM
DATE	01/02/2019
BY	ADDENDUM

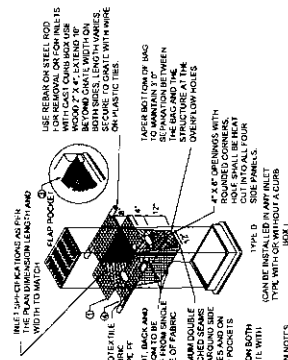
DRAWN BY	H. THAPA
CHECKED BY	A. SINGH

**EROSION  
CONTROL  
DETAILS**



- NOTES:**
1. TRACKING PAD SHALL BE REPLACED DAILY. RUTS IN PAD SHALL BE REPAIRED ON REPLACEMENT IMMEDIATELY.
  2. STONE - CLEAR OR WASHED 1/4\"/>

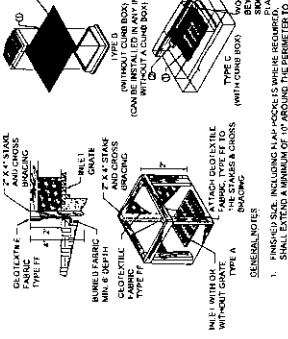
**3. STABILIZED CONSTRUCTION ENTRANCE**  
C111



**INSTALLATION NOTES:**

1. TYPE F GEOTEXTILE FABRIC (EXTEND) FABRIC A MINIMUM OF 10\"/>

**INLET PROTECTION**  
C111



**NOTES:**

1. PROTECTIVE CURB SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. CURB SHALL BE REPLACED IMMEDIATELY IF DAMAGED OR WHEN DAMAGED CURB REACHES THE FRONT OF THE FENCE.
2. ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATHING NAILS.

**INLET FENCE**  
C111

**BUILDING AREA:**  
EXISTING FIRST FLOOR AREA: 2000 S.F.

**PARKING DATA:**  
TOTAL PARKING SPACES: 45  
HANDICAP ACCESSIBLE PARKING SPACES: 5

**SITE DATA:**  
TOTAL AREA OF LOT: 84,965 S.F. = 2.266 ACRES  
EXISTING IMPROVEMENTS ON LOT: 77,430 S.F. = 1.774 ACRES  
EXISTING OPEN SPACE: 7,535 S.F. = 0.188 ACRES = 21.5%

**PARCEL ADDRESS:**  
7777 N. GOOD HOPE ROAD  
MILWAUKEE, WI

**ZONING:**  
COMMUNITY: C3  
PROPOSED: C3

**PLAN NOTES:**

1. 8" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C01.
2. PAVEMENT MARKING WHICH MATCHES EXISTING COLOR, TYP. SEE DETAIL 8, C01.
3. HMA PAVEMENT, SEE DETAIL 2, SHEET C01.

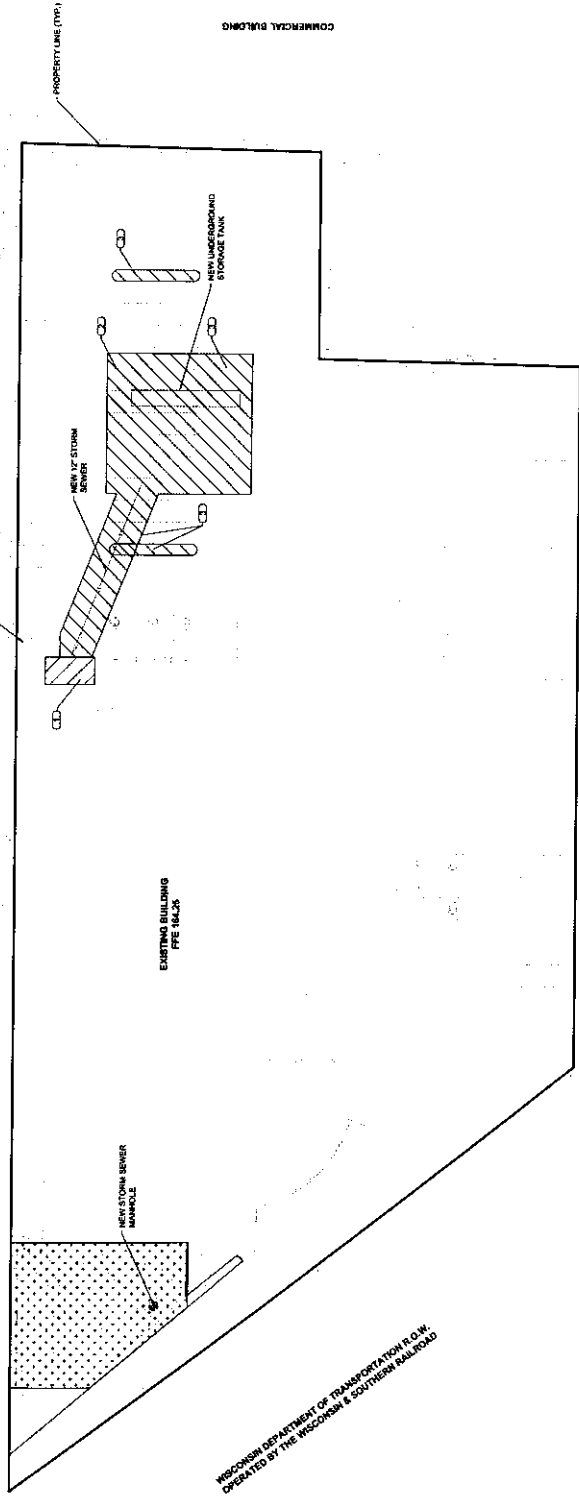
**GENERAL NOTES:**

1. SITE LOCATION: 7777 WEST GOOD HOPE ROAD, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.
2. ANY WORK OUTSIDE OF PROPERTY LINE AND IN RIGHT OF WAY SHALL CONFORM TO THE CITY OF MILWAUKEE AND MILWAUKEE COUNTY STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF MILWAUKEE AND MILWAUKEE COUNTY STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES. NECESSARY TO COMPLETE THE WORK.



WEST GOOD HOPE RD

SALVAGE AND RESTORE BIKE RACK IN  
USE OR BETTER CONDITION AS  
NECESSARY TO COMPLETE WORK.



WISCONSIN DEPARTMENT OF TRANSPORTATION T.O.M.  
OPERATED BY THE WISCONSIN & SOUTHERN RAILROAD

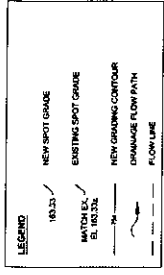
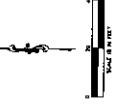
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REVISION FOR:	DATE
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R2 ADDITIONAL	05/07/2016
R3 ASH 1	06/06/2016
R4 ASH 2	06/06/2016
R5 ASH 3	05/20/2016
R6 ASH 4	07/07/2016

DRAWN BY:	R. TRIMON
CHECKED BY:	A. SINGH

**SITE PLAN**

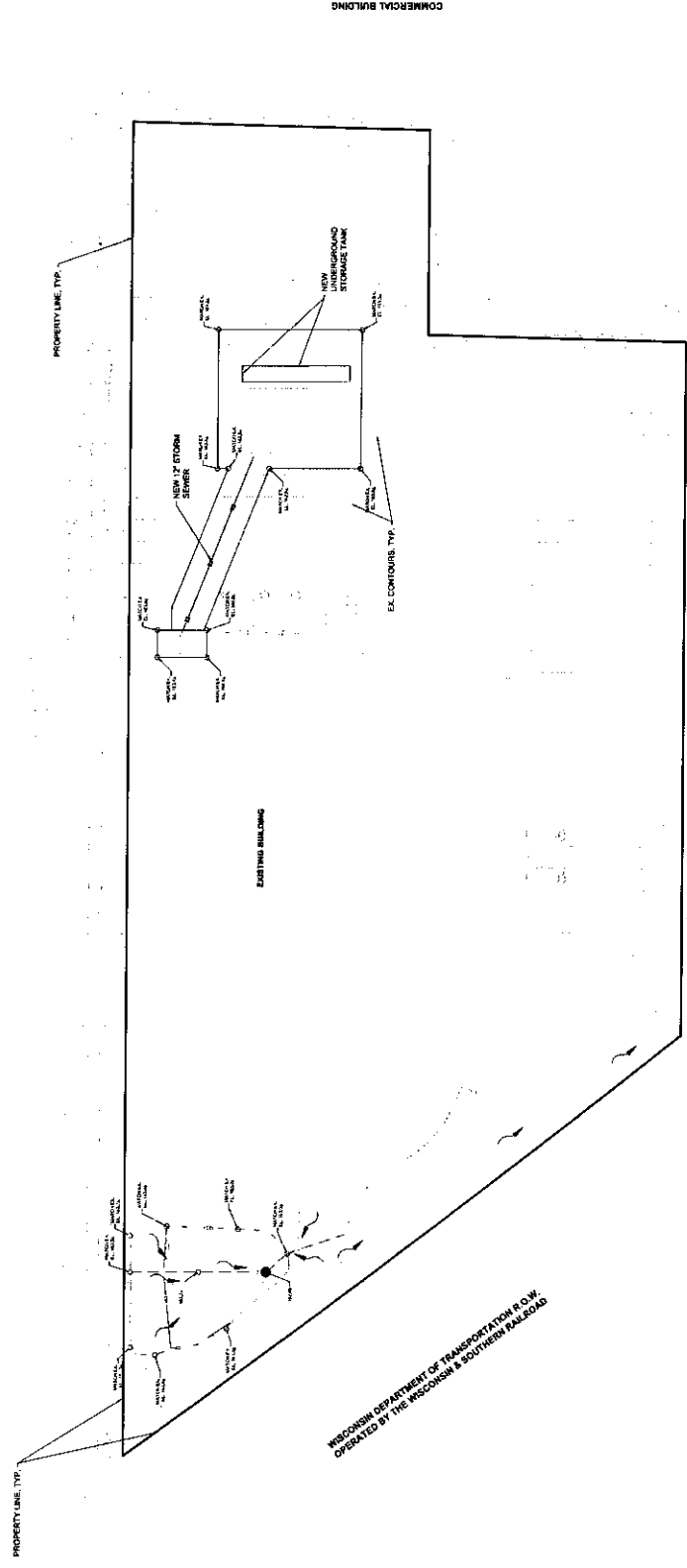


REVISION NO.	DATE
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#3	02/26/2018
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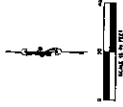


- GENERAL NOTES:**
- SEE DEMOLITION PLANS, SIDEWALK AND PARKING LOT REMOVAL.
  - GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITIES AND CONDUITS ON SITE AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
  - CONTRACTOR TO STOP AND REPORT ANY UTILITIES FOUND FROM SITE SURFACE GRADE.
  - ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO GRADE OR DEPTHS INDICATED BY THE CONTRACTOR. MATCH IS INDICATED AT A SPECIFIC UTILITY.
  - PAVEMENT RESTORATIONS SHALL BE MADE TO MATCH EXISTING PAVEMENT SURFACE.

WEST GOOD HOPE RD

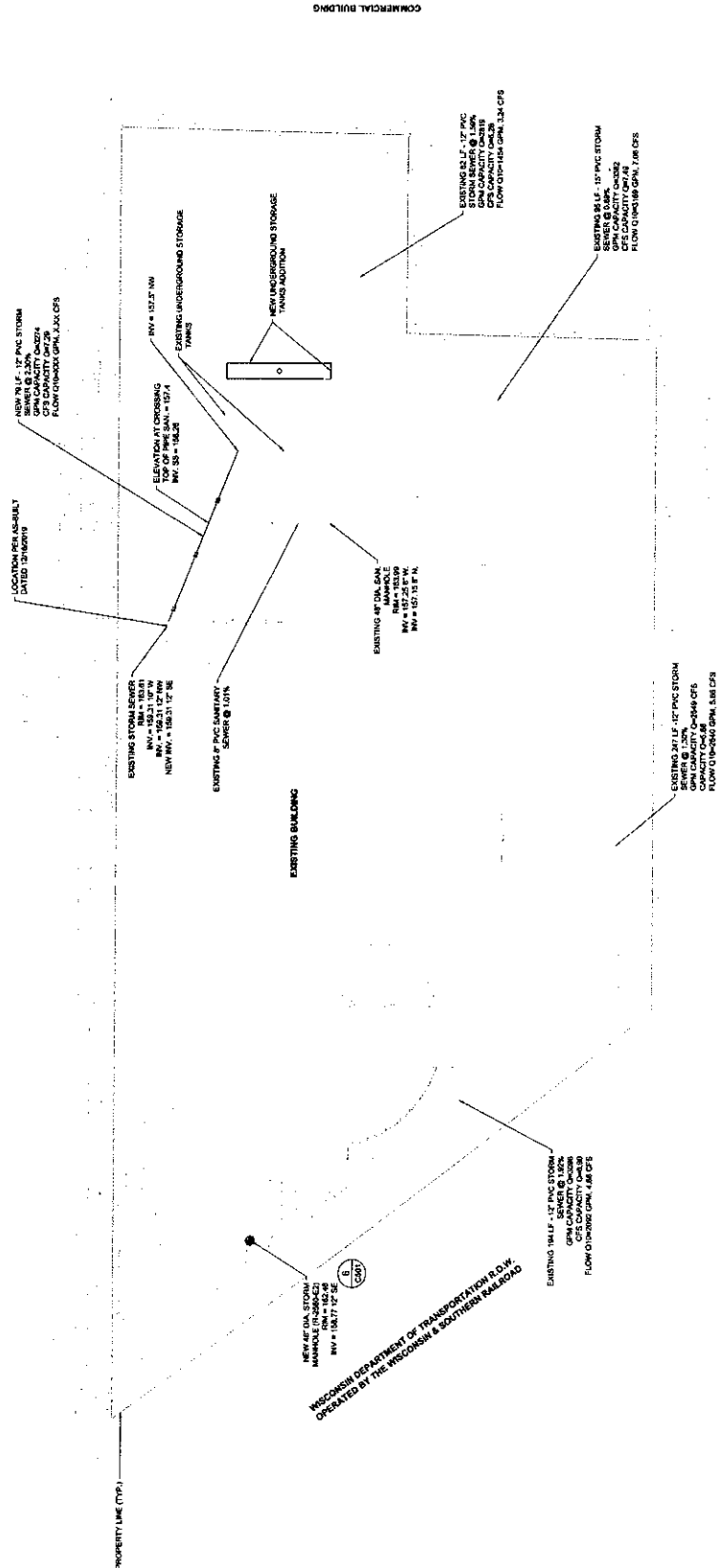


WISCONSIN DEPARTMENT OF TRANSPORTATION (DOW)  
OPERATED BY THE WISCONSIN & SOUTHERN RAILROAD



- GENERAL NOTES:**
- SEE SHEET C40 FOR GRADING PLAN AND ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
  - PIPE LENGTHS ARE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL VERIFY EXISTING PIPE MATERIAL, PIPE SIZE AND CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER PRIOR TO CONSTRUCTION.
  - STORM SEWERS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
  - SEE DEMOLITION PLANS FOR PIPE AND MANHOLE REMOVAL.
  - ALL EXISTING LATERALS NOT SHOWN AS REMOVED SHALL BE MAINTAINED AT THE STANDARD.
  - MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
  - NO PRIVATE WATER MAIN ON WATER MAIN SHALL BE INSTALLED WITHIN 5 FEET OF A STORM SEWER.
  - ALL STORM SEWER PIPE MATERIAL SHALL MEET WISCONSIN STANDARD SPECIFICATIONS FOR STORM SEWER PIPE MATERIAL. ALL STORM SEWER PIPE SHALL BE 12" PVC WITH A MINIMUM COVER OF 1.5 FEET UNLESS OTHERWISE NOTED. ALL STORM SEWER SHALL BE 12" PVC UNLESS OTHERWISE NOTED. SUBGRADE, TRENCH AND JOINTS SHALL BE APPROVED BY THE CITY OF MILWAUKEE, CITY OF MILWAUKEE AND OWNER.
  - ALL PVC STORM PIPE SHALL BE 12" WITH SMOOTH INTERIOR FINISH. FOR INSTALLATION AND SUBMIT TO ENGINEER FOR REVIEW.
  - NO PRIVATE WATER MAIN ON WATER MAIN SHALL BE INSTALLED WITHIN 5 FEET OF A STORM SEWER.
  - ALL STORM SEWER PIPE MATERIAL SHALL MEET WISCONSIN STANDARD SPECIFICATIONS FOR STORM SEWER PIPE MATERIAL. ALL STORM SEWER PIPE SHALL BE 12" PVC WITH A MINIMUM COVER OF 1.5 FEET UNLESS OTHERWISE NOTED. ALL STORM SEWER SHALL BE 12" PVC UNLESS OTHERWISE NOTED. SUBGRADE, TRENCH AND JOINTS SHALL BE APPROVED BY THE CITY OF MILWAUKEE, CITY OF MILWAUKEE AND OWNER.
  - ALL PVC STORM PIPE SHALL BE 12" WITH SMOOTH INTERIOR FINISH. FOR INSTALLATION AND SUBMIT TO ENGINEER FOR REVIEW.

WEST GOOD HOPE RD

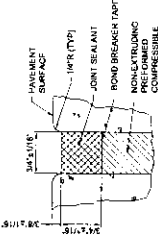


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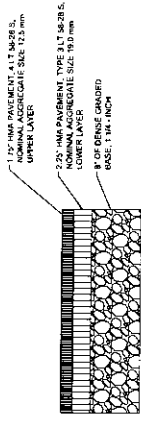
DRAWN BY:	R. THOMPSON
CHECKED BY:	A. SINGH

UTILITY PLAN

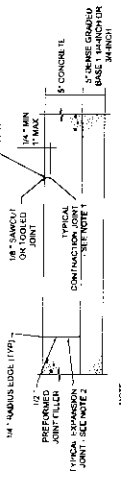
C400



1. TYPICAL EXPANSION JOINT  
C507 NIS



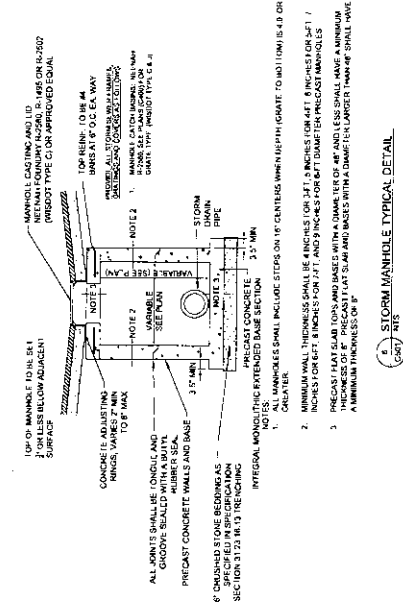
2. 1/2\"/>



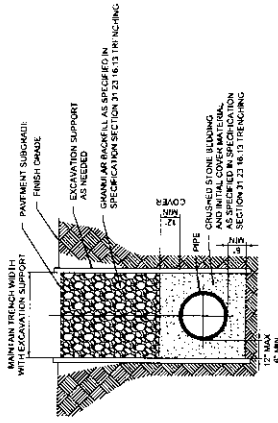
NOTE:  
1. CONTRACTION JOINTS TO BE SPACED AT 6' O.C. MAXIMUM EACH DIRECTION.  
2. JOINTS TO BE FILLER WITH JOINT FILLER.  
3. IN PLACES WHERE JOINTS ARE NOT REQUIRED, JOINTS SHALL BE 1/4\"/>

3. UNREINFORCED CONCRETE SIDEWALK  
C507 NIS

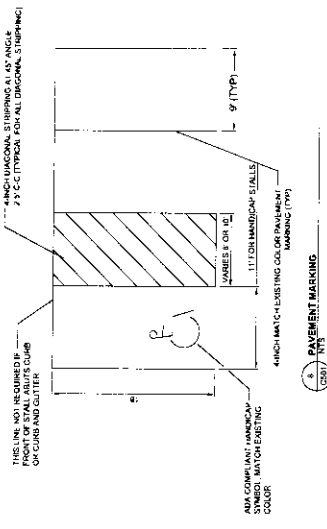
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ADDITIONAL	09/02/2018
ADDITIONAL	01/10/2020



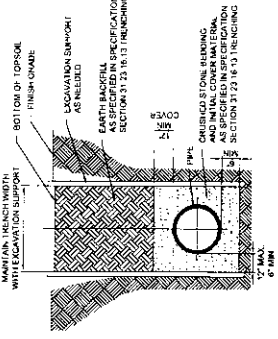
4. STORM MANHOLE TYPICAL DETAIL  
C507 NIS



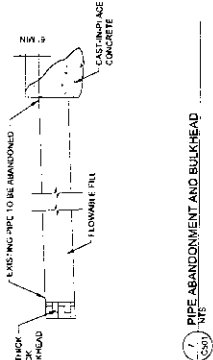
5. TYPICAL PIPE UTILITY TRENCH UNDER PAVEMENT  
C507 NIS



6. PIPE ABANDONMENT AND BULKHEAD  
C507 NIS



7. TYPICAL PIPE UTILITY TRENCH BELOW LANDSCAPING  
C507 NIS



8. PIPE ABANDONMENT AND BULKHEAD  
C507 NIS